

Docket Item #11 & 12  
BAR #2018-00575 & 2018-00576

BAR Meeting  
January 16, 2019

**ISSUE:** Permit to Demolish/Capsulate (partial) and a Certificate of Appropriateness for Alterations

**APPLICANT:** Robert & Caroline Reich

**LOCATION:** 430 South Saint Asaph Street

**ZONE:** RM/Townhouse zone

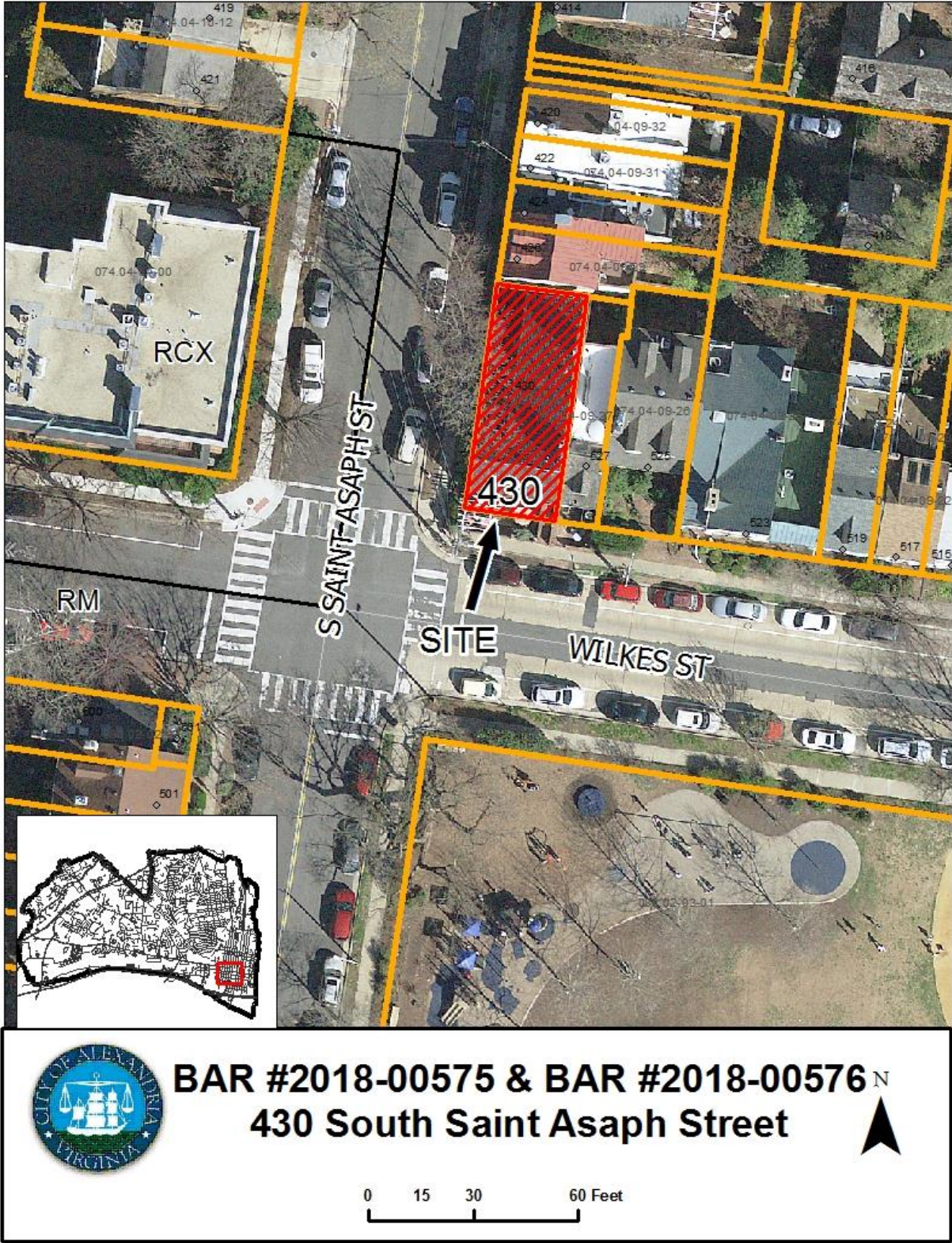
---

#### **STAFF RECOMMENDATION**

Staff recommends approval of the Certificate of Appropriateness with the condition that the awning be retracted when not in active use.

#### **GENERAL NOTES TO THE APPLICANT**

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



## **I. ISSUE**

The applicant is requesting a Permit to Demolish/Capsulate and Certificate of Appropriateness for alterations at 430 South Saint Asaph Street.

### **Permit to Demolish**

#### *South elevation, Wilkes Street*

The applicant is proposing to demolish approximately 76 square feet of the south elevation wall to install French doors.

### **Certificate of Appropriateness**

#### *South elevation, Wilkes Street*

The project calls for the removal of the existing utilitarian service door and the existing arbor. Once the service door is removed, the opening will be filled with new beaded wood siding toothed in to match the existing siding. The applicant is also proposing the installation of a canvas retractable awning measuring 10' - 6" wide and projecting up to 10 feet from the face of the house. The center wood multi-light French doors will be operable, and the flanking doors will be fixed.

#### *West elevation, South Saint Asaph Street*

The applicant proposes to replace the existing trellis above the building's main entrance with a taller wood trellis and replace the existing front door surround with a new surround and entablature with corbels. Five wood columns will be installed above the existing brick wall to support the new thirty-two feet long wood trellis along the length of the west façade.

## **II. HISTORY**

The three-story frame Colonial Revival style structure sits at the corner of South Saint Asaph and Wilkes Streets. Although the nucleus of the building may be historic, it was extensively altered in **1970s** and staff believes that it should be considered a later, modern building for purposes of review.

#### *Previous BAR applications:*

BAR1996-00088 – for the replacement of windows and installation of a wood arbor

BAR2016-00176 – for installation of a new gate and a HVAC wood Chippendale style screening

BAR2016-00227 – for replacement of windows

BAR2018-00550 – for the installation of a gas meter

## **III. ANALYSIS**

### **Permit to Demolish/Capsulate**

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the	No

	detriment of the public interest?	
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

Staff has no objection to the partial demolition of approximately seventy-six square feet of the south elevation wall to install four wood French doors because it does not meet any of the criteria above. While this is a street facing elevation, it is not the side with the front door and the BAR generally approves small changes on secondary façades to accommodate a more modern and functional interior layout and use of space. Therefore, staff recommends that the Permit to Demolish/Capsulate be granted on this elevation.

#### Certificate of Appropriateness (Alterations)

The house at 430 South Saint Asaph Street is located on a corner and has no side or rear yards. The fence with brick piers and portions of the existing trellis on the south side were constructed by a previous owner within the public right-of-way and staff has required the trellis to be removed. In addition, the house has two street frontages but lacks any hierarchy and has no obvious front door. Staff recommended that the applicant reduce the architectural embellishments on the south façade and increase the detail on the west façade to visually identify the entrance.

Staff, therefore, supports removal of the existing service door and arbor on the south side, the installation of four wood multi-light French doors and retractable awning on the south elevation. Because there is no rear yard on this property, this street-facing elevation is used as a side yard by the property owners. The proposed retractable awning is consistent with the Design *Guidelines* with respect to material (canvas, not plastic/vinyl) and it does not obscure the architecture and decorative features of historic buildings and will be withdrawn when not in use.



Staff also supports the proposed trellis on the west elevation to identify this as the primary façade. While these garden features are typically in rear yards, the Board has routinely approved arbors and trellises throughout the historic district over the years and staff finds the arbor design to be appropriate at this mid-20<sup>th</sup> century townhouse. Likewise, the proposed new door surround with corbel and entablature will emphasize that the Saint Asaph Street elevation is the building's primary façade.

Staff finds the proposed alterations to be compatible with the Colonial Revival architectural style of the house and recommends that the Certificate of Appropriateness should be approved, provided that the awning is retracted when not in use.

**STAFF**

Marina Novaes, Historic Preservation Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

**IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

**Zoning:**

- F-1 Retractable awning will not count against open space or towards FAR.
- C-1 Proposed retractable awning projects 4' into the public right of way facing Wilkes Street. The bottom of the awning must be at least 8' above the sidewalk.
- C-2 Proposed trellis must be at least 80% open.

**Code Administration:**

No Code Administration comments.

**Transportation and Environmental Services:**

- C-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- C-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- C-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- C-4 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

- C-5 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-6 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-7 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-8 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-9 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)
- F-1 The applicant should provide a determination of disturbed area per City Guidelines to T&ES prior to submitting for permits. If the land disturbance meets or exceeds 2500 square feet, a released grading plan will be required prior to submitting for permits. (T&ES)

#### **Alexandria Archaeology**

- F-1 No archaeological oversight necessary for this project.

#### **V. ATTACHMENTS**

- 1 – Application for BAR2018-0575 & 00576 - 430 South Saint Asaph Street*
- 2 – Supplemental Materials*

BAR Case # \_\_\_\_\_

ADDRESS OF PROJECT: 430 S. ST. ASAPH STREET

TAX MAP AND PARCEL: 074.04-09-28 ZONING: RM

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☒ Business (Please provide business name & contact person)

Name: HOPKINS & ROETER INC.

Address: 12944-C TRAVILAH RD.

City: POTOMAC State: MD Zip: 20854

Phone: 703-981-8812 E-mail: KTDAPH1@YMAIL.COM

Authorized Agent (if applicable): ☐ Attorney ☐ Architect ☒ DESIGNER/CONTRACTOR

Name: KAI TONG

Phone: 703-981-8812

E-mail: KTDAPH1@YMAIL.COM

Legal Property Owner:

Name: ROBERT & CAROLINE REKH

Address: 430 S. ST. ASAPH ST.

City: ALEXANDRIA State: VA Zip: 22314

Phone: 703-405-0174 E-mail: CPEIGH@AOL.COM

- |                              |  |  |
|------------------------------|--|--|
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | Is there an historic preservation easement on this property?               |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | If yes, has the easement holder agreed to the proposed alterations?        |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | Is there a homeowner's association for this property?                      |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | If yes, has the homeowner's association approved the proposed alterations? |

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** Please check all that apply

- ☐ NEW CONSTRUCTION  
☒ EXTERIOR ALTERATION: Please check all that apply.
- |  |  |   |                                   |
|--|--|---|-----------------------------------|
| <input checked="" type="checkbox"/> awning | <input checked="" type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment             | <input type="checkbox"/> shutters |
| <input checked="" type="checkbox"/> doors  | <input type="checkbox"/> windows                               | <input checked="" type="checkbox"/> siding          | <input type="checkbox"/> shed     |
| <input type="checkbox"/> lighting          | <input checked="" type="checkbox"/> pergola/trellis            | <input type="checkbox"/> painting unpainted masonry |                                   |
| <input type="checkbox"/> other _____       |  |   |                                   |
- ☐ ADDITION  
☒ DEMOLITION/ENCAPSULATION  
☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** Please describe the proposed work in detail (Additional pages may be attached).

The overall goal of this alteration project is to establish a clearer, less ambiguous hierarchy between the two facades of this corner lot, and reinforce that the S. St. Asaph Street facade is not only the front door location [leading to the formal entry foyer within], but the most formal and weighted facade of the two facades. At the same time, the project intends to convey the comparatively informal and more private and leisurely character of the Wilkes Street facade [which leads to a breakfast area overlooking the enclosed patio].

Specifically:

**S. St. Asaph Street facade:** 1. Replace existing front door trellis with taller, more visually prominent trellis.  
 2. Add new trellis across remainder of facade, with columns and brick pilasters at the existing low brick wall running along S. St. Asaph facade's sidewalk. The resulting colonnade will visually shelter and allow flow from the formal living room, through existing French doors, onto the existing bowling green.

3. Replace existing front door surround with new, more prominent door surround and entablature with corbels, to convey greater visual weight to the existing front door and sidelight. New surround will be similar to door surround and entablature found on many Old Town row homes, especially those with siding.

**Wilkes Street facade:** 1. Remove existing trellis to eliminate visual clutter and competition with proposed S. St. Asaph Street trellises.

2. Replace two existing patio doors with two new French doors, and add two new French doors, opening up onto the enclosed patio largely private patio, and allowing much needed daylight and sense of space in the much used breakfast area. Provide expressed lintel over the new doors.

~~3. Extend existing patio enclosure to include existing path to the right, with new brick pier and brick knee wall, and fence to match existing brick and fence. \*\*~~

4. Remove existing flush door, and tooth in area with siding to match existing 4" beaded lap siding, which is painted wood.

5. Add retractable awning over proposed doors, to add to the intended sense of informality and privacy of the Wilkes Street facade.

[alternative awning would be retractable umbrellas, not attached to the house, per Virtue Feed and Grain on Union Street]

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.  
☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.  
☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.  
☒ ☐ Description of the reason for demolition/encapsulation.  
☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

\*\*

28 DEC 2018  
 - DELETE FROM  
 THIS APPLICATION  




**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

N/A

- ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ FAR & Open Space calculation form.
- ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ Existing elevations must be scaled and include dimensions.
- ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

N/A

- ☐ Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_
- ☐ Square feet of existing signs to remain: \_\_\_\_\_
- ☐ Photograph of building showing existing conditions.
- ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

N/A

- ☒ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** Please read and check that you have read and understand the following items:

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Date: \_\_\_\_\_

*[Signature]*  
 KAI TONG / HOPKINS & PORTER INC.  
 11 DEC 2013



# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Robert & Caroline Reich	430 S. St. Asaph St.	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 430 S. St. Asaph St. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Robert & Caroline Reich	430 S. St. Asaph St.	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Robert & Caroline Reich	NONE	NONE
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

1/2 Dec 2013 Date  
KAI TONG/Hopkins & Porter Inc. Printed Name  
Signature



Alterations to  
430 S. ST. ASAPH STREET  
ALEXANDRIA, VIRGINIA  
22314

INDEX:

- 00: COVER SHEET
- \* 01: PLAT ANNOTATED
- \* 02: EXISTING ELEVATION: S. ST. ASAPH STREET
- \* 03: EXISTING ELEVATION: WILKES STREET
- \* 04: EXISTING PLAN/PROPOSED PLAN: S. ST. ASAPH STREET
- \* 05: EXISTING PLAN/PROPOSED PLAN: WILKES STREET
- 06: EXISTING AND PROPOSED SECTION ELEVATIONS: S. ST. ASAPH STREET
- \* 07: PROPOSED ELEVATION FROM STREET: S. ST. ASAPH STREET
- \* 08: PROPOSED ELEVATION FROM STREET: WILKES STREET
- \* 09: EXISTING ELEVATION FROM WITHIN COURTYARD: S. ST. ASAPH STREET
- \* 10: EXISTING ELEVATION FROM WITHIN PATIO: WILKES STREET
- \* 11: PROPOSED ELEVATION FROM WITHIN COURTYARD: S. ST. ASAPH ST.
- \* 12: PROPOSED ELEVATION FROM WITHIN PATIO: WILKES STREET
- 13: REFERENCE PHOTOS
- 14: REFERENCE PHOTOS
- 15: REFERENCE PHOTOS
- 16: REFERENCE PHOTOS
- \* 17: REFERENCE PHOTOS
- 18: DOOR SPECIFICATIONS

NOTES:

1. NEW TRELLISES AND TRIM AND FENCING SHALL BE PAINTED WOOD OR COMPOSITE MATERIAL.
2. NEW TRELLISES SHALL BE MINIMUM 80% OPEN TO SKY.
3. NEW INFILL SIDING SHALL MATCH EXISTING PAINTED WOOD 4" BEADED LAP SIDING.
4. NEW DOORS SHALL COMPLY WITH CITY OF ALEXANDRIA WINDOW PERFORMANCE SPECIFICATIONS.
5. HOUSE WAS BUILT 1978.

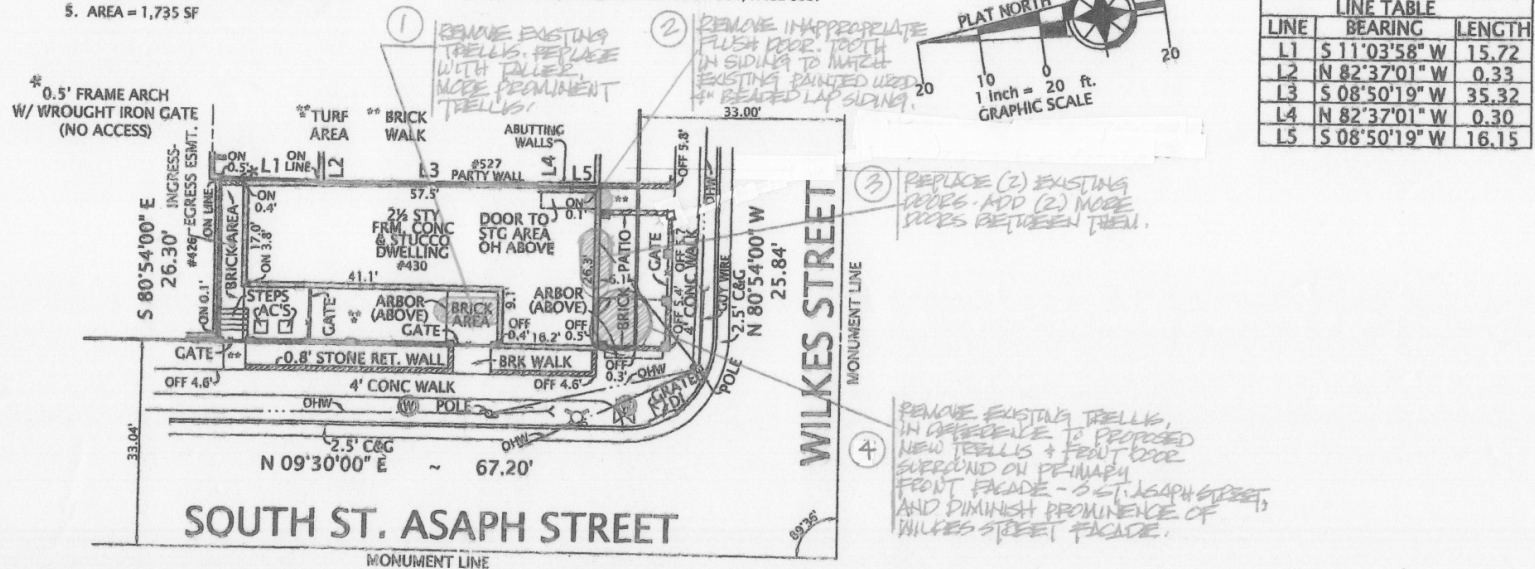
\* REVISED 28 DEC 2018

00



COPYRIGHT BY DOMINION SURVEYORS, INC. THE INFORMATION CONTAINED ON THIS DOCUMENT MAY NOT BE COPIED, REPRODUCED OR ALTERED IN ANY FORM WITHOUT PERMISSION IN WRITING FROM THE COPYRIGHT OWNER.

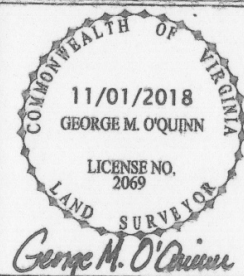
- NOTES: 1. UTILITIES ARE UNDERGROUND UNLESS NOTED. 2. PILLARS ARE BRICK.  
3. WALLS ARE 0.7' BRICK UNLESS NOTED. 4. EASEMENT RECORDED IN DEED BOOK 984, PAGE 833.  
5. AREA = 1,735 SF



I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.  
A TITLE REPORT WAS NOT FURNISHED.  
NO CORNER MARKERS SET.

CASE NAME: REICH



ORDERED BY:  
REICH  
HOPKINS & PORTER, INC.

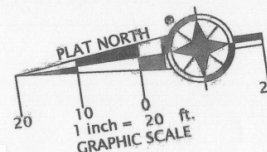
**DOMINION** Surveyors Inc.  
8808-H PEAR TREE VILLAGE COURT  
ALEXANDRIA, VIRGINIA 22309  
703-619-6555  
FAX: 703-799-6412

**PLAT / DEMO NOTES**  
SHOWING HOUSE LOCATION ON  
THE PROPERTY LOCATED AT  
**#430 SOUTH SAINT ASAPH STREET**  
(INSTRUMENT NO. 040013280)  
**CITY OF ALEXANDRIA, VIRGINIA**  
SCALE: 1" = 20' NOVEMBER 01, 2018

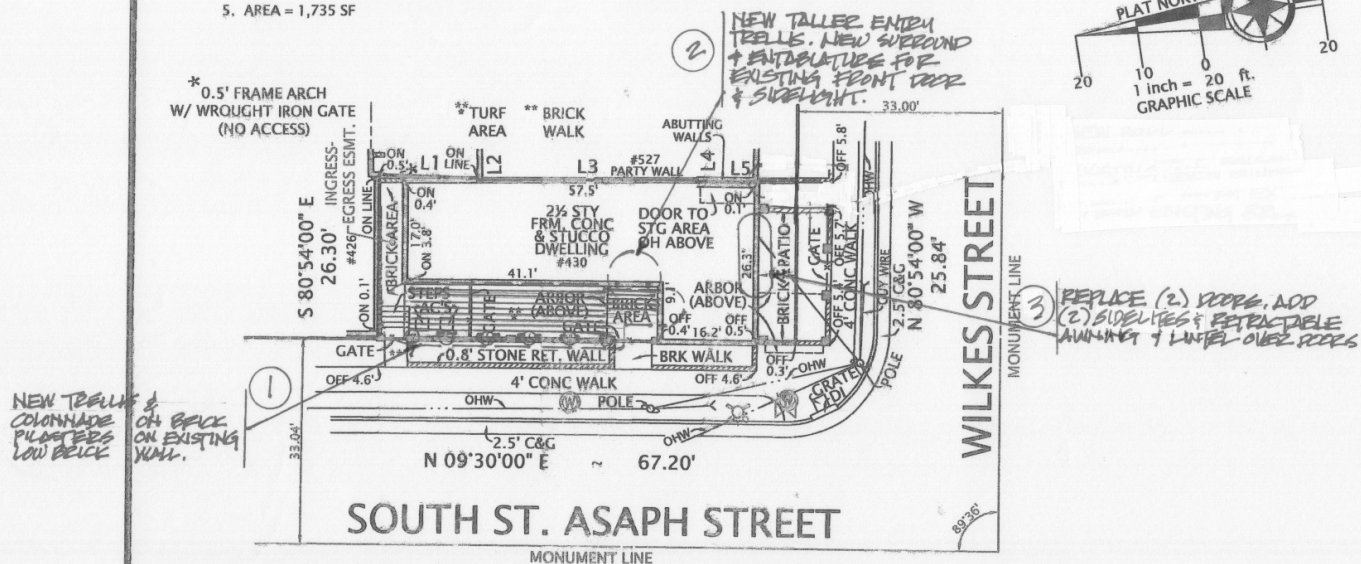
#181017025

COPYRIGHT BY DOMINION SURVEYORS, INC. THE INFORMATION CONTAINED ON THIS DOCUMENT MAY NOT BE COPIED, REPRODUCED OR ALTERED IN ANY FORM WITHOUT PERMISSION IN WRITING FROM THE COPYRIGHT OWNER.

- NOTES: 1. UTILITIES ARE UNDERGROUND UNLESS NOTED. 2. PILLARS ARE BRICK.  
3. WALLS ARE 0.7" BRICK UNLESS NOTED. 4. EASEMENT RECORDED IN DEED BOOK 984, PAGE 833.  
5. AREA = 1,735 SF



LINE TABLE		
LINE	BEARING	LENGTH
L1	S 11°03'58" W	15.72
L2	N 82°37'01" W	0.33
L3	S 08°50'19" W	35.32
L4	N 82°37'01" W	0.30
L5	S 08°50'19" W	16.15

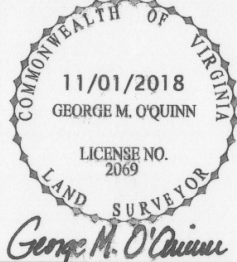


I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.

A TITLE REPORT WAS NOT FURNISHED.

NO CORNER MARKERS SET.



ORDERED BY:

REICH

HOPKINS & PORTER, INC.

**DOMINION** Surveyors Inc.  
8808-H PEAR TREE VILLAGE COURT  
ALEXANDRIA, VIRGINIA 22309  
703-619-6555  
FAX: 703-799-6412

**PLAT ALTERATION NOTES**  
17 DEC 2018  
20 DEC 2018  
SHOWING HOUSE LOCATION ON THE PROPERTY LOCATED AT  
**#430 SOUTH SAINT ASAPH STREET**  
(INSTRUMENT NO. 040013280)  
CITY OF ALEXANDRIA, VIRGINIA  
SCALE: 1" = 20' NOVEMBER 01, 2018

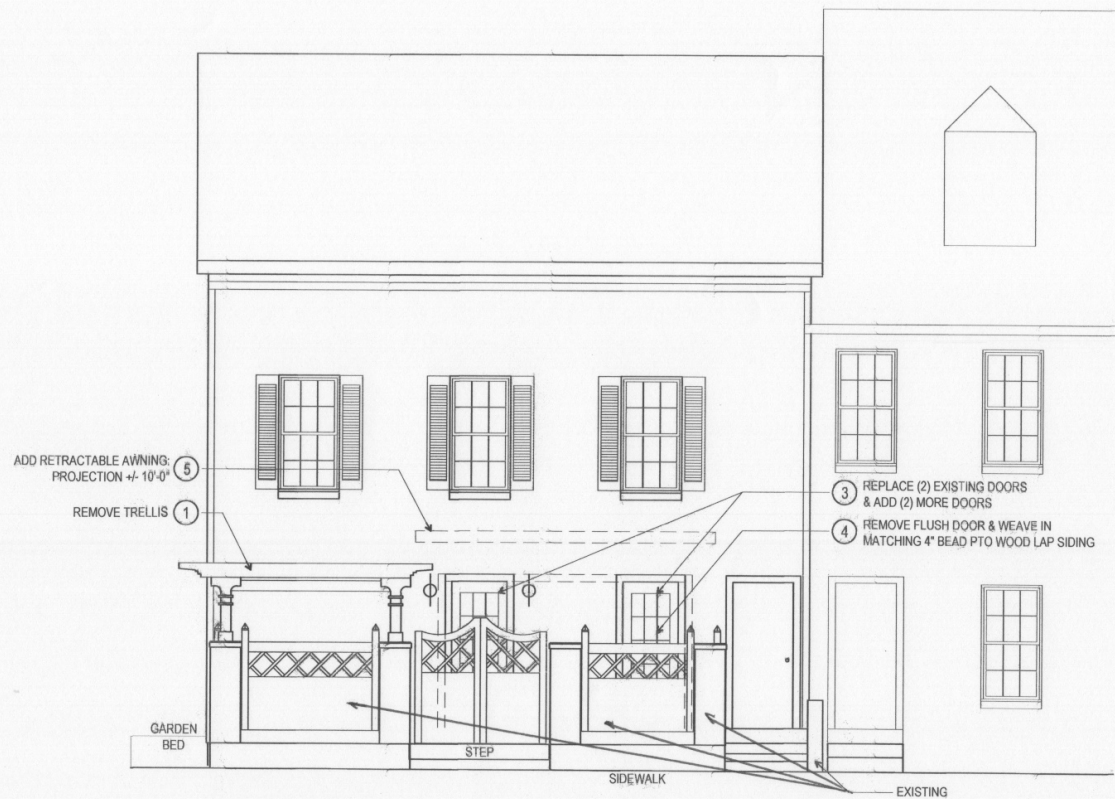
CASE NAME: REICH

#181017025

01 cont'd







EXISTING ELEVATION  
WILKES STREET  
PRELIM. ELEV: SCOPE NOTES  
SCALE: 3/16"=1'-0"

**Hopkins & Porter**  
**CONSTRUCTION**  
ARCHITECTS  
1000 N. 10TH ST. SUITE 200  
ALEXANDRIA, VA 22304  
COPYRIGHT 2018 HOPKINS & PORTER CONSTRUCTION

# REICH RESIDENCE

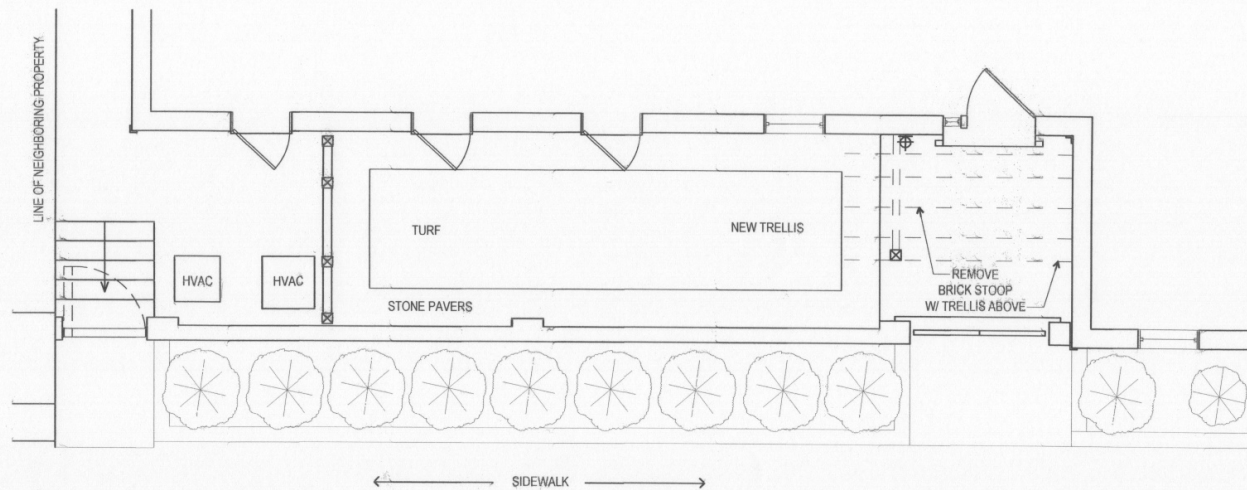
430 ST. ASAPH STREET S.  
ALEXANDRIA, VIRGINIA 22314

REVISIONS:  
12-13-18  
12-17-18  
12-28-18

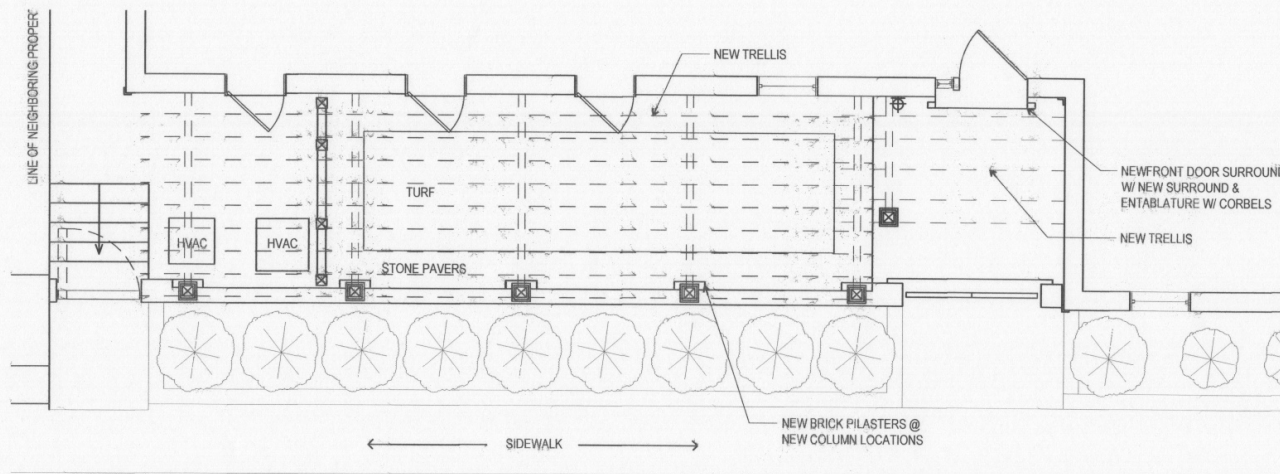
**03**



EXISTING /DEMO PLAN  
ST. ASAPH STREET S.  
SCALE: 3/16"=1'-0"



PROPOSED PLAN  
ST. ASAPH STREET S.  
SCALE: 3/16"=1'-0"



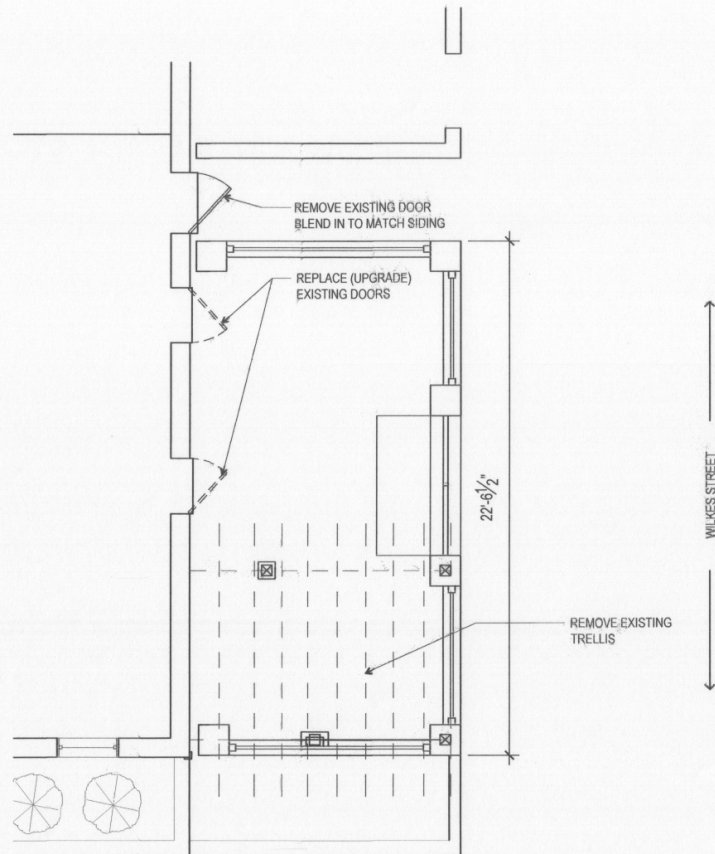
**Hopkins & Porter**  
CONSTRUCTION

**REICH RESIDENCE**

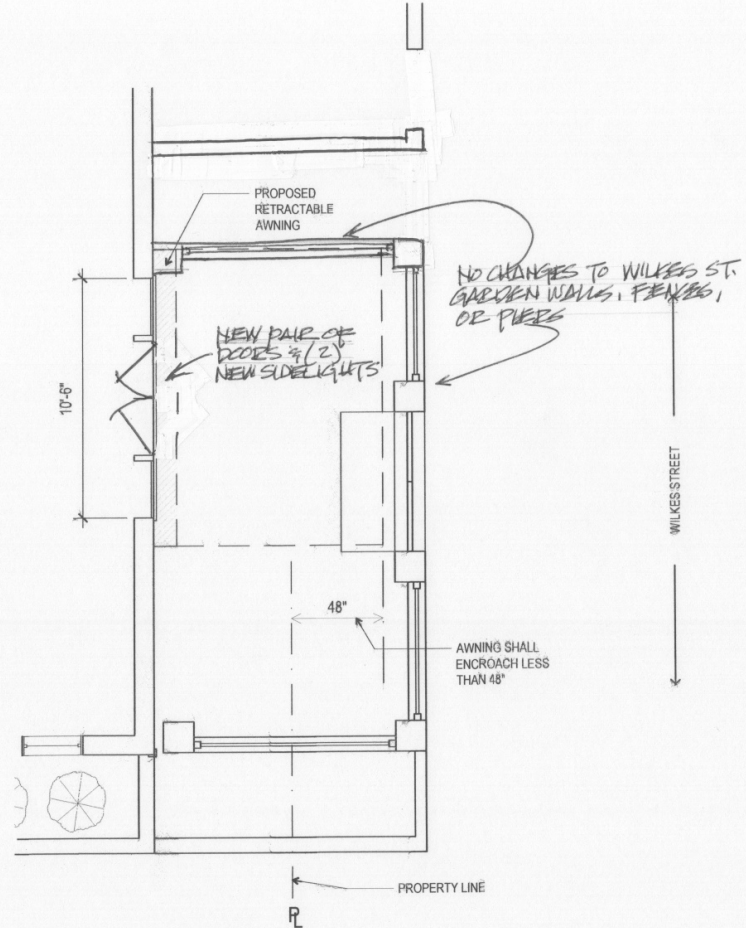
430 ST. ASAPH STREET S.  
ALEXANDRIA, VIRGINIA 22314

REVISIONS:  
12-13-18  
12-17-18

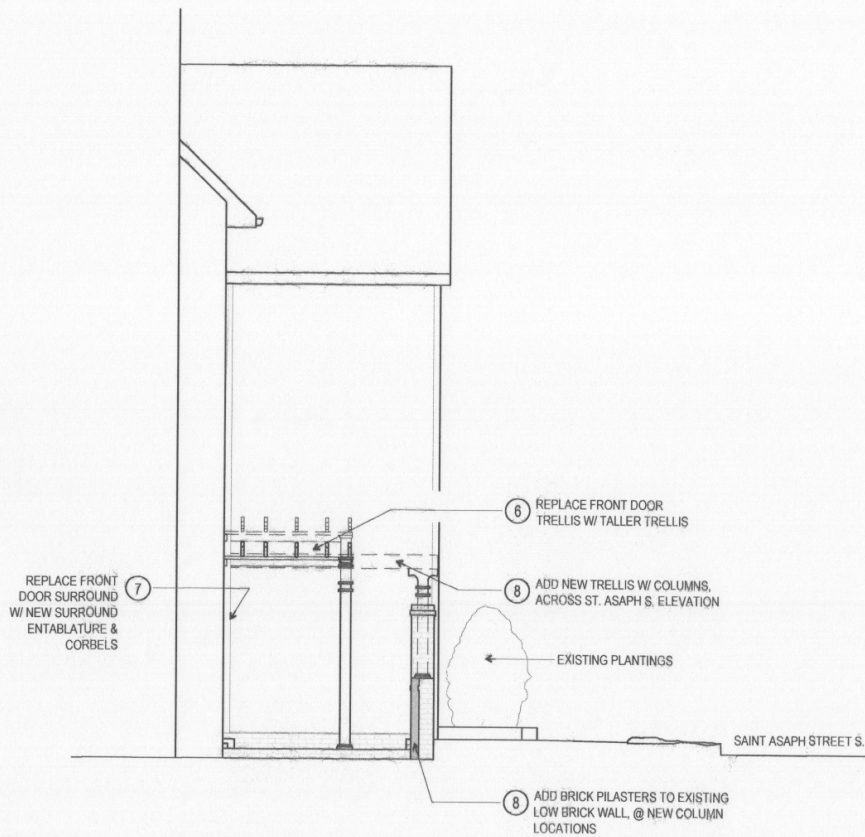
**04**



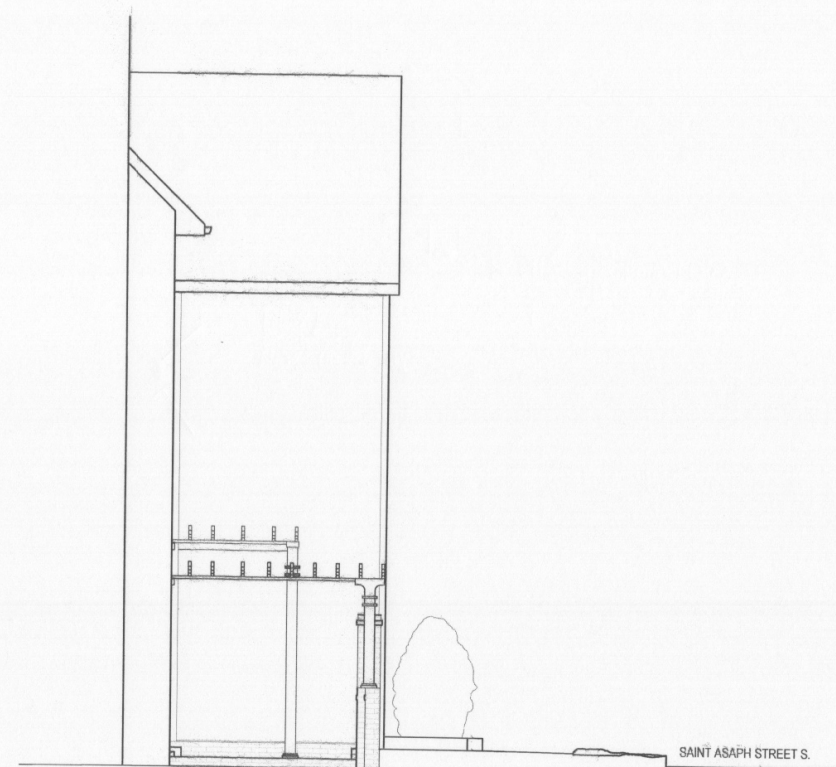
EXISTING / DEMO PLAN  
PRELIM. PLAN: SCOPE NOTES  
WILKES STREET  
SCALE: 3/16"=1'-0"



PROPOSED PLAN  
WILKES STREET  
SCALE: 3/16"=1'-0"



EXISTING  
ST. ASAPH STREET S.  
PRELIM. SECTION/ELEV : SCOPE NOTES  
SCALE: 3/16"=1'-0"



PROPOSED SECTION/ ELEV.  
ST. ASAPH STREET S.  
SCALE: 3/16"=1'-0"









WILKES STREET

PROPOSED ELEVATION  
WILKES STREET (VIEWED FROM STREET)  
SCALE: 3/16"=1'-0"

**Hopkins & Porter**  
**CONSTRUCTION**  
ARCHITECTS  
1100 N. 1ST ST.  
ALEXANDRIA, VA 22304  
CONTACT: 703.836.1000

**REICH RESIDENCE**

430 ST. ASAPH STREET S.  
ALEXANDRIA, VIRGINIA 22314

REVISIONS:  
12-13-18  
12-17-18  
12-28-18

**08**



EXISTING ELEVATION WITHIN FRONT COURTYARD  
 ST. ASAPH STREET S.  
 SCALE: 3/16"=1'-0"

**Hopkins & Porter**  
 CONSTRUCTION  
DESIGN, ARCHITECTURE, INTERIOR DESIGN, LANDSCAPE ARCHITECTURE, CIVIL ENGINEERING, SURVEYING, AND CONSTRUCTION

**REICH RESIDENCE**

430 ST. ASAPH STREET S.  
 ALEXANDRIA, VIRGINIA 22314

REVISIONS:  
 12-13-18  
 12-17-18

**09**



EXISTING ELEVATION FROM WITHIN PATIO  
WILKES STREET  
SCALE: 3/16"=1'-0"

**Hopkins & Porter**  
CONSTRUCTION  
ARCHITECTS  
1000 N. 1ST ST.  
ALEXANDRIA, VA 22314  
(703) 746-1100  
WWW.HOPKINS-AND-PORTER.COM

**REICH RESIDENCE**

430 ST. ASAPH STREET S.  
ALEXANDRIA, VIRGINIA 22314

REVISIONS: 12-13-18  
12-17-18

**010**





PROPOSED ELEVATION FROM WITHIN COURTYARD  
ST. ASAPH STREET S.  
SCALE: 3/16"=1'-0"

**Hopkins & Porter**  
CONSTRUCTION

10000 TULLAHAM ROAD, SUITE 204  
FARMERS BRANCH, VA 22034  
CONTACT: 703.875.0000

## REICH RESIDENCE

430 ST. ASAPH STREET S.  
ALEXANDRIA, VIRGINIA 22314

REVISIONS:  
12-13-18  
12-17-18  
12-28-18

**011**





PROPOSED ELEVATION FROM WITHIN PATIO  
 WILKES STREET  
 SCALE: 3/16"=1'-0"

**Hopkins & Porter**  
**CONSTRUCTION**  
 1000 N. 10TH ST. SUITE 100  
 ALEXANDRIA, VA 22304  
 (703) 746-1000  
 WWW.HOPKINSANDPORTER.COM

**REICH RESIDENCE**

430 ST. ASAPH STREET S.  
 ALEXANDRIA, VIRGINIA 22314

REVISIONS:  
 12-13-18  
 12-17-18  
 12-28-18

**012**





S. ST. ASAPH STREET EXISTING VIEW





WILKES STREET EXISTING VIEW





S. ST. ASAPH STREET EXISTING VIEWS WITHIN  
COURTYARD





WILKES STREET EXISTING VIEW WITHIN PATIO





PROPOSED FRONT DOOR SURROUND AND  
ENTABLATURE WITH PROPOSED CORBEL



DOOR SPECIFICATIONS

Line Item #: 0004      Line Item Qty: 1      Initial:

Location:  
RO Size = 10' 1 3/4" W x 6' 8" H    Unit Size = 10' 1" W x 6' 7 1/2" H

123

Composite Unit  
Part Number: 0000000  
Mulling Location: Job Site  
Mull Priority: Vertical  
Mulling Material: LVL 4 9/16 Reinforced Mull  
Unit Code/Item Size: FWHID2768-FWHID5068-FWHID2768  
Operation/Handing: S-APLR-S

Viewed from Exterior

Comments:

Qty    Part Num    Item Size      Description      Total Price

Unit 1 of 3

Viewed from Exterior

A Series, FWHID Inswing Single Units  
Unit Code/Item Size: FWHID2768  
Operation/Handing: S  
Frame Depth: 4 9/16"  
Exterior Color: Black  
Interior Species: Pine  
Interior Color: White - Factory Painted  
Glass Type: High Performance SmartSun Low-E4 Tempered Glass, Divided Light with Spacer, Colonial  
Assembly Required: Factory Assembled  
Interior Grille: Grille, Interior, Permanently Applied, Pine, White - Factory Painted, Colonial, 7/8" , Chamfer  
Exterior Grille: Grille, Exterior, Permanently Applied, Black, Colonial, 7/8" , High Definition Chamfer  
Grille Construction: Divided Light with Spacer  
Threshold: Maple

Zone: North-Central  
U-Factor: 0.31, SHGC: 0.14, ENERGY STAR® Certified: No

Comments:

Qty	Part Num	Item Size	Description
1	0000000	FWHID2768	Unit, Inswing, 4 9/16" Frame Depth, Gray Sill, S Handing, Black/Pine, White - Factory Painted, High Performance SmartSun Low-E4 Tempered, Divided Light with Spacer, Colonial, 3W5H, 7/8", Ext Grille - Black, Int Species - Pine, Int Grille - White - Factory Painted
1	1207056	29/30/33	Threshold, Maple w/Screws

Unit 2 of 3

Viewed from Exterior

A Series, FWHID Inswing Double-wide Units  
Unit Code/Item Size: FWHID5068  
Operation/Handing: APLR  
Frame Depth: 4 9/16"  
Exterior Color: Black  
Interior Species: Pine  
Interior Color: White - Factory Painted  
Glass Type: High Performance SmartSun Low-E4 Tempered Glass, Divided Light with Spacer, Colonial  
Assembly Required: Factory Assembled  
Interior Grille: Grille, Interior, Permanently Applied, Pine, White - Factory Painted, Colonial, 7/8" , Chamfer  
Exterior Grille: Grille, Exterior, Permanently Applied, Black, Colonial, 7/8" , High Definition Chamfer  
Grille Construction: Divided Light with Spacer  
Insect Screens: Hinged Insect Screen, Black  
Factory Applied Hinge Finish: Oil Rubbed Bronze  
Trimset Finish: Whitmore - Oil Rubbed Bronze  
Exterior Keyed Lock Finish: Whitmore - Oil Rubbed Bronze  
Panel Stop Finish: White  
Threshold: Maple

Zone: North-Central  
U-Factor: 0.31, SHGC: 0.14, ENERGY STAR® Certified: No

Comments:

Qty	Part Num	Item Size	Description
1	0000000	FWHID5068	Unit, Inswing, 4 9/16" Frame Depth, Gray Sill, APLR Handing, Black/Pine, White - Factory Painted, High Performance SmartSun Low-E4 Tempered, Divided Light with Spacer, Colonial, 3W5H, 7/8", Ext Grille - Black, Int Species - Pine, Int Grille - White - Factory Painted, Factory Applied Oil Rubbed Bronze Hinges
1	9129890	FWHID5068	Hinged Insect Screen, APLR, Black
1	2578926	-----	Hardware Trim Set, FWH/FWO, AP/PA, Whitmore - Oil Rubbed Bronze
1	2579752	-----	Lock, FWH/FWO, Exterior Keyed, Oil Rubbed Bronze
2	2579687	-----	Stop, Panel, FWH/FWO, White
1	1207058	5	Threshold, Maple w/Screws