

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
1200 NORTH HENRY STREET

CITY OF ALEXANDRIA, VIRGINIA

AREA TABULATIONS

TOTAL SITE AREA = 0.8017 AC 34,921 SF
TOTAL AREA OF TAX PARCELS = 0.8017 AC 34,921 SF
TOTAL EXISTING IMPERVIOUS AREA = 0.7604 AC 33,122 SF
TOTAL PROPOSED IMPERVIOUS AREA = 0.7517 AC 32,746 SF
TOTAL DISTURBED AREA = 1.28 AC 55,756 SF

ENVIRONMENTAL SITE ASSESSMENT

- THERE ARE NO TIDAL WETLANDS, TIDAL SHORES, TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS, OR BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS OR WETLANDS LOCATED ON THIS SITE. FURTHER THERE ARE NO WETLANDS PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT. ADDITIONALLY, THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS OR AREAS OF SOIL OR GROUNDWATER CONTAMINATION ON THE SITE.
- THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, DIVISION OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT TO PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINERS REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE AND CITY REGULATIONS.
- ALL WELLS TO BE DEMOLISHED IN THIS PROJECT, INCLUDING MONITORING WELLS, MUST BE CLOSED IN ACCORDANCE WITH VIRGINIA STATE WATER CONTROL BOARD (VSWCB) REQUIREMENTS. CONTACT ENVIRONMENTAL HEALTH SPECIALIST AND COORDINATE WITH THE ALEXANDRIA HEALTH DEPARTMENT AT 703-838-4400 EXT 267/255.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE 11, CHAPTER 5, WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:
 - MONDAY THROUGH FRIDAY FROM 7am TO 6pm AND
 - SATURDAYS FROM 9am TO 6pm
 - NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYSPILE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING HOURS:
 - MONDAY THROUGH FRIDAY FROM 9am TO 6pm AND
 - SATURDAYS FROM 10am TO 4pm

ENVIRONMENTAL PERMITS NOTES

ALL REQUIRED PERMITS FROM VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY, ENVIRONMENTAL PROTECTION AGENCY, ARMY CORPS OF ENGINEERS, VIRGINIA MARINE RESOURCES MUST BE IN PLACE FOR ALL PROJECT CONSTRUCTION AND MITIGATION WORK PRIOR TO RELEASE OF THE FINAL SITE PLAN.

THIS PROJECT PROPOSES CONSTRUCTION ACTIVITIES WHICH DISTURB GREATER THAN 1 ACRE, THEREFORE A VPDES PERMIT IS REQUIRED.

ARCHAEOLOGY NOTES

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

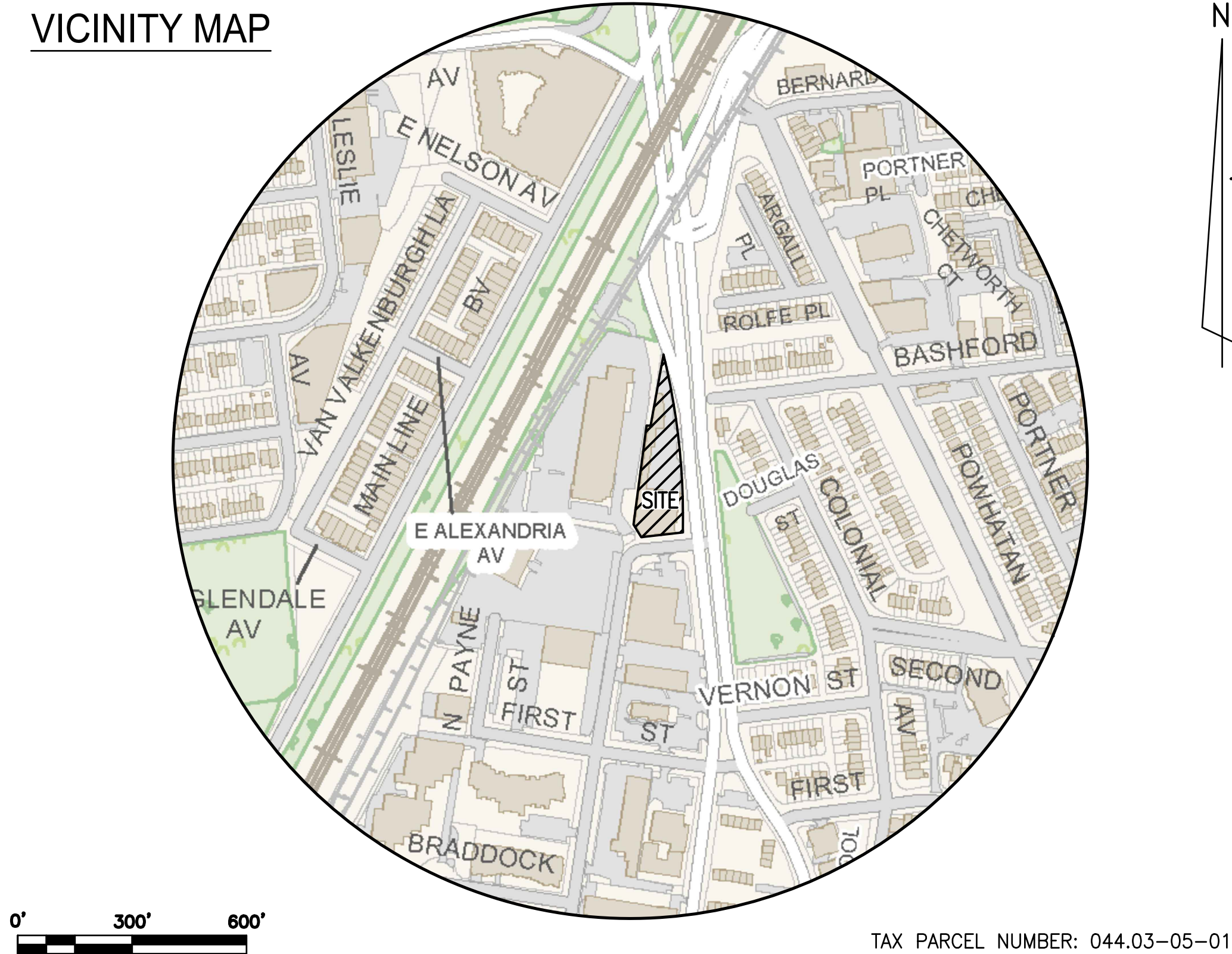
THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

GENERAL NOTES

- PRIOR TO THE APPLICATION FOR NEW CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL SUBMIT A BUILDING PERMIT FOR A CHANGE OF USE. DRAWINGS PREPARED BY A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER SHALL ACCOMPANY THE PERMIT APPLICATION. THE PLANS SHALL SHOW PROPOSED CONDITIONS AND PROVIDE DATA BY THE DESIGN PROFESSIONAL WHICH DETAILS HOW THE PROPOSED USE WILL COMPLY WITH THE CURRENT EDITION OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE FOR THE NEW USE IN THE AREA OF STRUCTURAL STRENGTH, MEANS OF EGRESS, PASSIVE AND ACTIVE FIRE PROTECTION, HEATING AND VENTILATING SYSTEMS, HANDICAPPED ACCESSIBILITY AND PLUMBING FACILITIES.
- NEW CONSTRUCTION MUST COMPLY WITH THE CURRENT EDITION OF THE UNIFORM STATEWIDE BUILDING CODE (USBC).
- BEFORE A BUILDING PERMIT CAN BE ISSUED ON ANY PROPOSED FUTURE ALTERATIONS, A CERTIFICATION IS REQUIRED FROM THE OWNER OR OWNER'S AGENT THAT THE BUILDING HAS BEEN INSPECTED BY A LICENSED ASBESTOS INSPECTOR FOR THE PRESENCE OF ASBESTOS.
- A CERTIFICATE OF OCCUPANCY SHALL BE OBTAINED PRIOR TO ANY OCCUPANCY OF THE BUILDING OR PORTION THEREOF.
- REQUIRED EXITS, PARKING, AND ACCESSIBILITY WITHIN THE BUILDING FOR PERSONS WITH DISABILITIES MUST COMPLY WITH USBC CHAPTER 11. HANDICAPPED ACCESSIBLE BATHROOMS SHALL ALSO BE PROVIDED.
- TOILET FACILITIES FOR PERSONS WITH DISABILITIES: LARGER, DETAILED, DIMENSIONED DRAWINGS ARE REQUIRED TO CLARIFY SPACE LAYOUT AND MOUNTING HEIGHTS OF AFFECTED ACCESSORIES. INFORMATION ON DOOR HARDWARE FOR THE TOILET STALL IS REQUIRED (USBC 1109.2.2).
- IF APPLICABLE, ENCLOSED PARKING GARAGES MUST BE VENTILATED IN ACCORDANCE WITH USBC 406.4.2. THE REQUIRED MECHANICAL VENTILATION RATE FOR AIR IS 0.75 CFM PER SQUARE FOOT OF THE FLOOR AREA (USBC 2801.1). IN AREAS WHERE MOTOR VEHICLES OPERATE FOR A PERIOD OF TIME EXCEEDING 10 SECONDS, THE VENTILATION RETURN AIR MUST BE EXHAUSTED. AN EXHAUST SYSTEM MUST BE PROVIDED TO CONNECT DIRECTLY TO THE MOTOR VEHICLE EXHAUST (USBC 2801.1).
- ELECTRICAL WIRING METHODS AND OTHER ELECTRICAL REQUIREMENTS MUST COMPLY WITH NFPA 70, 2008.
- IF APPLICABLE, THE PUBLIC PARKING GARAGE FLOOR MUST COMPLY WITH USBC 406.2.6 AND DRAIN THROUGH OIL SEPARATORS OR TRAPS TO AVOID ACCUMULATION OF EXPLOSIVE VAPORS IN BUILDING DRAINS OR SEWERS AS PROVIDED FOR IN THE PLUMBING CODE (USBC 2901). THIS PARKING GARAGE IS CLASSIFIED AS AN S-2, GROUP 2, PUBLIC GARAGE.
- THIS PROJECT IS LOCATED IN A COMBINED SEWER AREA.
- THIS SITE DOES NOT CONTAIN AREAS PREVIOUSLY MAPPED AS MARINE CLAYS.

VICINITY MAP



PROJECT DESCRIPTION NARRATIVE

THE APPLICANT PROPOSES TO REDEVELOP THE SITE WITH A MIXED USE BUILDING THAT INCLUDES 115 DWELLING UNITS, 17,000 SQUARE FEET OF RETAIL, AND A 10,000 SQUARE FOOT DAY CARE CENTER.

REQUESTED APPLICATIONS AND MODIFICATIONS:

- MASTER PLAN AMENDMENT
- REZONING FROM OCM(50) TO CRMU-H
- DSUP FOR MULTIFAMILY RESIDENTIAL BUILDING WITH DAY CARE FACILITY AND GROUND FLOOR RETAIL
- MODIFICATION OF OPEN SPACE PURSUANT TO 11-416
- BONUS DENSITY AND HEIGHT FOR THE PROVISION OF AFFORDABLE HOUSING PURSUANT TO SECTION 7-700
- MODIFICATION OF HEIGHT TO SETBACK RATIO (SECTION 6-403) FOR NORTH FAYETTE STREET
- ENCROACHMENT OF CANOPY INTO THE RIGHT-OF-WAY

OWNER/DEVELOPER

OWNER:
1200 N HENRY, LLC
P. O. BOX 1924
ALEXANDRIA, VA 22313
INSTRUMENT #: 160015497

DEVELOPER:
AVANTI HOLDINGS GROUP, LLC
1605 KING STREET, SUITE 3
ALEXANDRIA, VA 22314
(202) 834-4355
CONTACT: TEDDY KIM

PLAN PREPARED BY:
R.C. FIELDS & ASSOCIATES, INC.
730 S. WASHINGTON STREET
ALEXANDRIA, VA 22314
(703) 549-6422
CONTACT: ANDREA SPRUCH

ATTORNEY:
WALSH, COLUCCI, LUBELEY & WALSH, PC.
2200 CLARENDON BLVD, SUITE 1300
ARLINGTON, VA 22201
(703) 528-4700 X5413
CONTACT: M. CATHARINE PUSKAR

ARCHITECT:
DAVIS, CARTER, SCOTT, LTD
8614 WESTWOOD CENTER DRIVE
SUITE 800
TYSONS, VA 22182
(703) 558-9275
CONTACT: JASNA BUEJIC

LANDSCAPE ARCHITECT:
PARKER RODRIGUEZ, INC.
101 N. UNION STREET
SUITE 320
ALEXANDRIA, VA 22314
(703) 548-5010
CONTACT: TRINI RODRIGUEZ

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ZONING TABULATIONS

- ZONE OF SITE: EXISTING: OCM(50) PROPOSED: CRMU-H
- USE: EXISTING: INDUSTRIAL FLEX PROPOSED: MIXED USE RESIDENTIAL/RETAIL/DAY CARE
- TOTAL SITE AREA: 34,921 SF OR 0.8017 AC MINIMUM LOT AREA: N/A
- OPEN SPACE REQUIRED: 40%
OPEN SPACE PROVIDED:
GROUND LEVEL: 5,825 SQ. FT. OR 16.6%
ABOVE GRADE: 5,780 SQ. FT. OR 16.5%
TOTAL OPEN SPACE PROVIDED: 11,605 SQ. FT. OR 33.2% *ALL OPEN SPACE IS USABLE SPACE
- NUMBER OF DWELLING UNITS: ALLOWED: N/A PROPOSED: 115
MARKET RATE: 1 BEDROOM: 80 2 BEDROOM: 24
AFFORDABLE UNITS: 1 BEDROOM: 9 2 BEDROOM: 2
- UNITS PER ACRE: ALLOWED: N/A PROPOSED: 143
- FLOOR AREA: ALLOWED: N/A PROPOSED:

	GROSS	NET
RESIDENTIAL	111,568 SF	96,493 SF
RETAIL	17,685 SF	17,000 SF
TOTAL	129,253 SF	113,493 SF
GARAGE	59,000 SF	N/A
DAY CARE EXCLUSION -	10,000 SF PER SECTION 1-400(B)(3)(f)	
- FLOOR AREA RATIO:

PERMITTED	2.5 WITH SUP
BONUS	30% PER SECTION 7-700 FOR RESIDENTIAL
PROPOSED	113,493 / 34,921 = 3.25
- AVERAGE FINISHED GRADE: 47.15
- BUILDING HEIGHT: PERMITTED: 70 FT PROPOSED: 85.0 FT
- YARDS: REQUIRED: N/A PROPOSED:

YARD	MINIMUM
NORTH	N/A
EAST	0.0'
SOUTH	2.5'
WEST	3.3
- FRONTAGE: REQUIRED: N/A PROPOSED: 468 FT (N HENRY ST), 106 FT (N FAYETTE ST)
- PARKING: **REQUIRED: RESIDENTIAL (MARKET RATE)**
NUMBER OF BEDROOMS: 128
PARKING RATIO: 0.68
0.8* - [0.8* X (0.10**+0.05***)]

*RATIO FOR BRADDOCK RD METRO WALKSHED (0.8 SPACES/BR)
**CREDIT FOR WALKSCORE OF 90-100 (10%)
***CREDIT FOR LOCATION ON 4 BUS ROUTES (5%)

0.68 SPACES/BR = 0.68 X 128: 88 SPACES

RESIDENTIAL (ADU)
NUMBER OF UNITS: 11
PARKING RATIO: 0.75-[0.75 X (0.10*+0.10**+0.05***)]

*CREDIT FOR BRADDOCK RD METRO WALKSHED (10%)
**CREDIT FOR WALKSCORE OF 90-100 (10%)
***CREDIT FOR LOCATION ON 4 BUS ROUTES (5%)

0.5625 SPACES/UNIT = 0.5625 X 11: 7 SPACES

TOTAL RESIDENTIAL PARKING REQUIRED: 88 + 7: 95 SPACES

RETAIL AND DAY CARE
MIN. 0.25 SPACE/1,000 SF (27,000/1,000*0.25): 7 SPACES MINIMUM
MAX. 3 SPACE/1,000 SF (27,000/1,000*3): 81 SPACES MAXIMUM
TOTAL RETAIL PARKING REQUIRED: 7 SPACES TO 81 SPACES

TOTAL PARKING REQUIRED MINIMUM: 102 SPACES
TOTAL PARKING REQUIRED MAXIMUM: 176 SPACES

PROVIDED: RESIDENTIAL:
COMPACT (8'X16') 46 SPACES
STANDARD (9'X18.5') 47 SPACES
ACCESSIBLE 4 SPACES
TOTAL RESIDENTIAL PARKING PROVIDED: 97 SPACES

RETAIL/DAY CARE:
COMPACT (8'X16') 6 SPACES
STANDARD (9'X18.5') 18 SPACES
ACCESSIBLE 2 SPACES
TOTAL RETAIL/DAYCARE PARKING PROVIDED: 26 SPACES

FLEX PARKING:
COMPACT (8'X16') 6 SPACES
STANDARD (9'X18.5') 8 SPACES
TOTAL RETAIL/DAYCARE PARKING PROVIDED: 14 SPACES

TOTAL PARKING PROVIDED IN GARAGE: 137 SPACES
- LOADING SPACES: REQUIRED: 1 PROPOSED: 1
- TRIP GENERATION: EXISTING: 1,943 VPD PROPOSED: 3,043 VPD (PER ITE STANDARDS)
- BICYCLE SPACES: REQUIRED: 48 PROPOSED: 58

* SEE REQUESTED APPLICATIONS/MODIFICATIONS FOR DETAILED INFORMATION (THIS SHEET)

RCF **FIELDS & ASSOCIATES, inc.**
ENGINEERING • LAND SURVEYING • PLANNING
730 S. Washington Street
Alexandria, Virginia 22314
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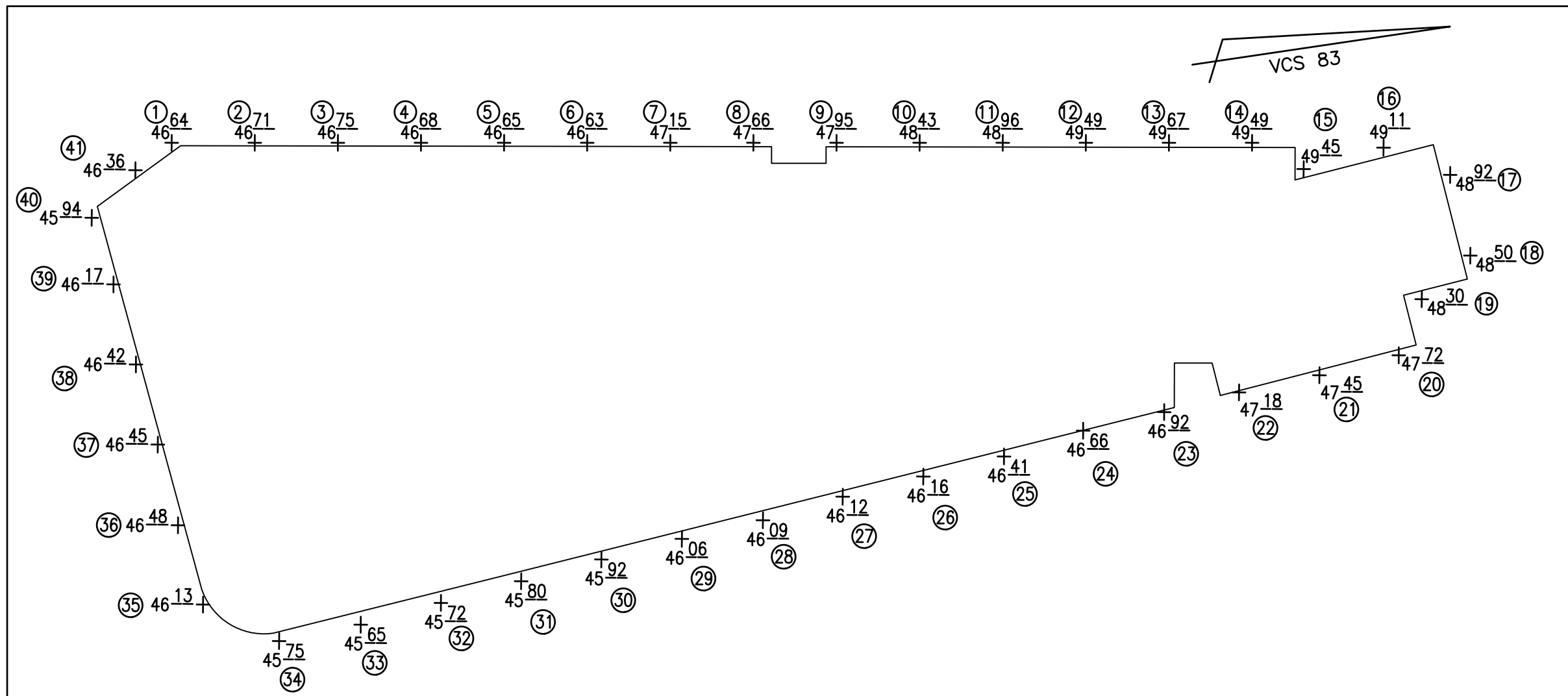
PROJ. MANAGER: ANDREA SPRUCH
EMAIL: ASPRUCH@RCFASDOC.COM
SCALE: AS NOTED
DATE: MAY 2018
REV.



REVISION APPROVED BY							
NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE	REV. BY	APPROVED

PRELIMINARY DEVELOPMENT
SPECIAL USE PERMIT
1200 NORTH HENRY STREET
CITY OF ALEXANDRIA, VIRGINIA
SHEET NAME: COVER SHEET

APPROVED
SPECIAL USE PERMIT NO. 2017-0020
DEPARTMENT OF PLANNING & ZONING
DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____

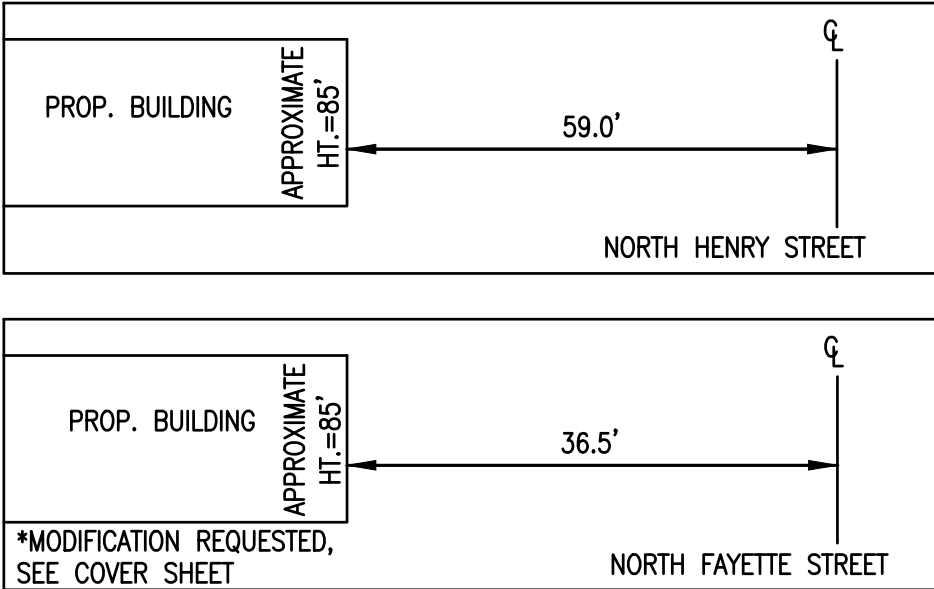


AVERAGE FINISHED GRADE
SCALE: 1" = 30'

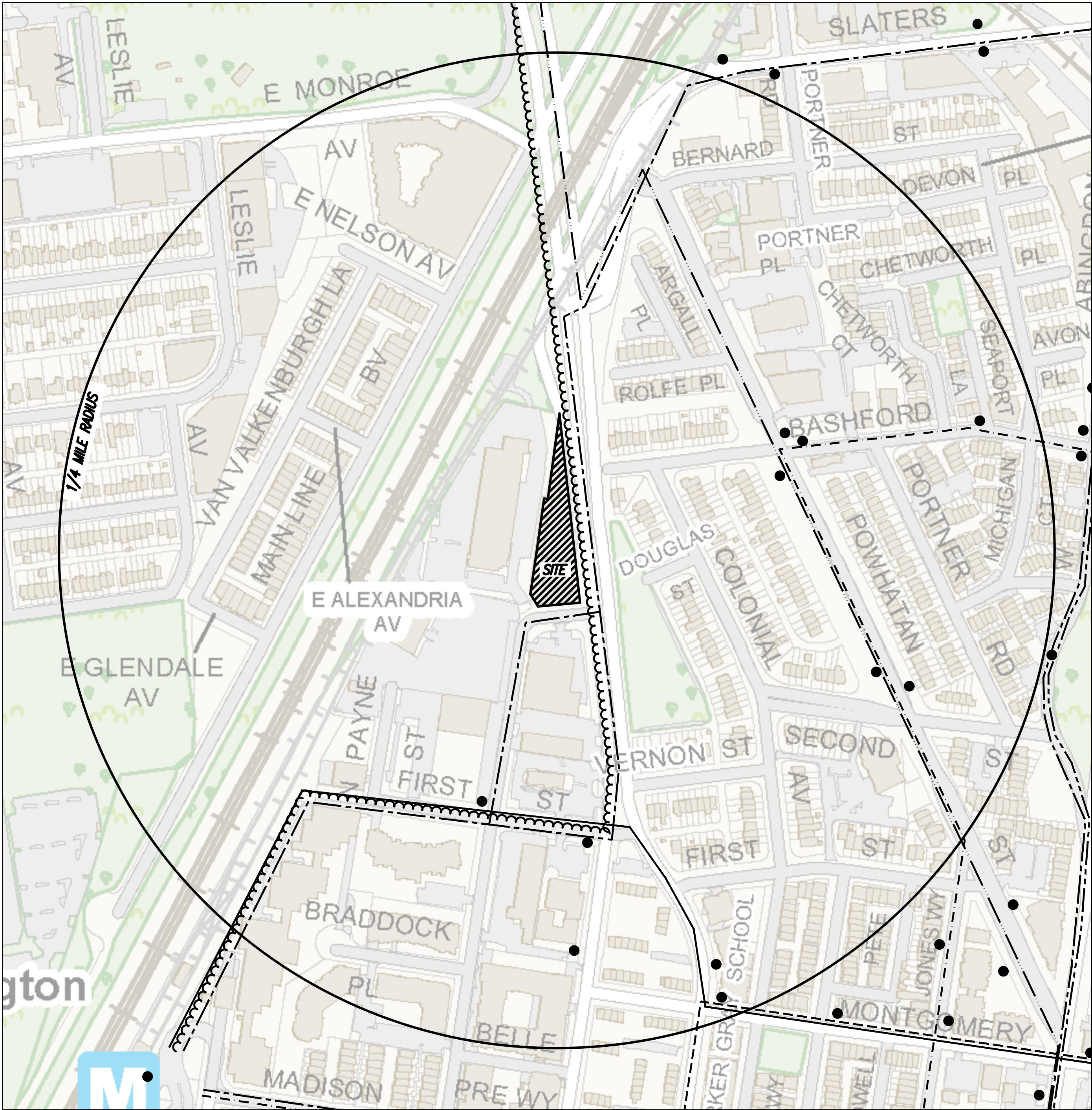
SECTION 6-403 COMPLIANCE NOTE:

SECTION 6-403 STATES "IN ALL HEIGHT DISTRICTS, THE ALLOWABLE HEIGHT OF A BUILDING AT ANY POINT SHALL NOT EXCEED TWICE THE DISTANCE FROM THE FACE OF THE BUILDING AT THAT POINT TO THE CENTERLINE OF THE STREET FACING SUCH BUILDING." SEE DETAILS BELOW FOR SECTION SHOWING COMPLIANCE.

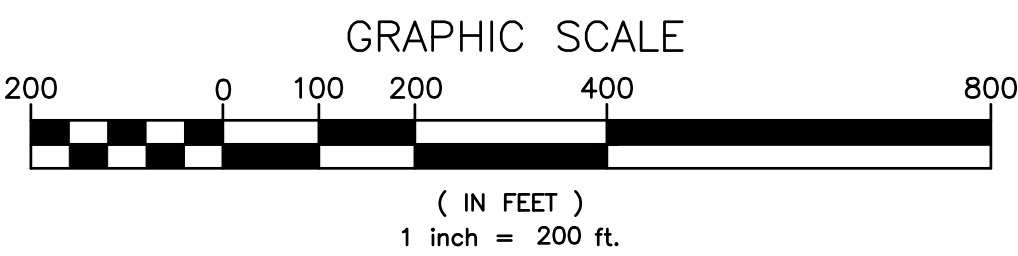
SECTION 6-403 DETAILS:
NOT TO SCALE



SPOT	ELEVATION
1	46.64
2	46.71
3	46.75
4	46.68
5	46.65
6	46.63
7	47.15
8	47.66
9	47.95
10	48.83
11	48.96
12	49.49
13	49.67
14	49.49
15	49.45
16	49.11
17	48.92
18	48.50
19	48.30
20	47.72
21	47.45
22	47.18
23	46.92
24	46.66
25	46.41
26	46.16
27	46.12
28	46.09
29	46.06
30	45.92
31	45.80
32	45.72
33	45.65
34	45.75
35	46.13
36	46.48
37	46.45
38	46.42
39	46.17
40	45.94
41	46.36
Average: 47.15	

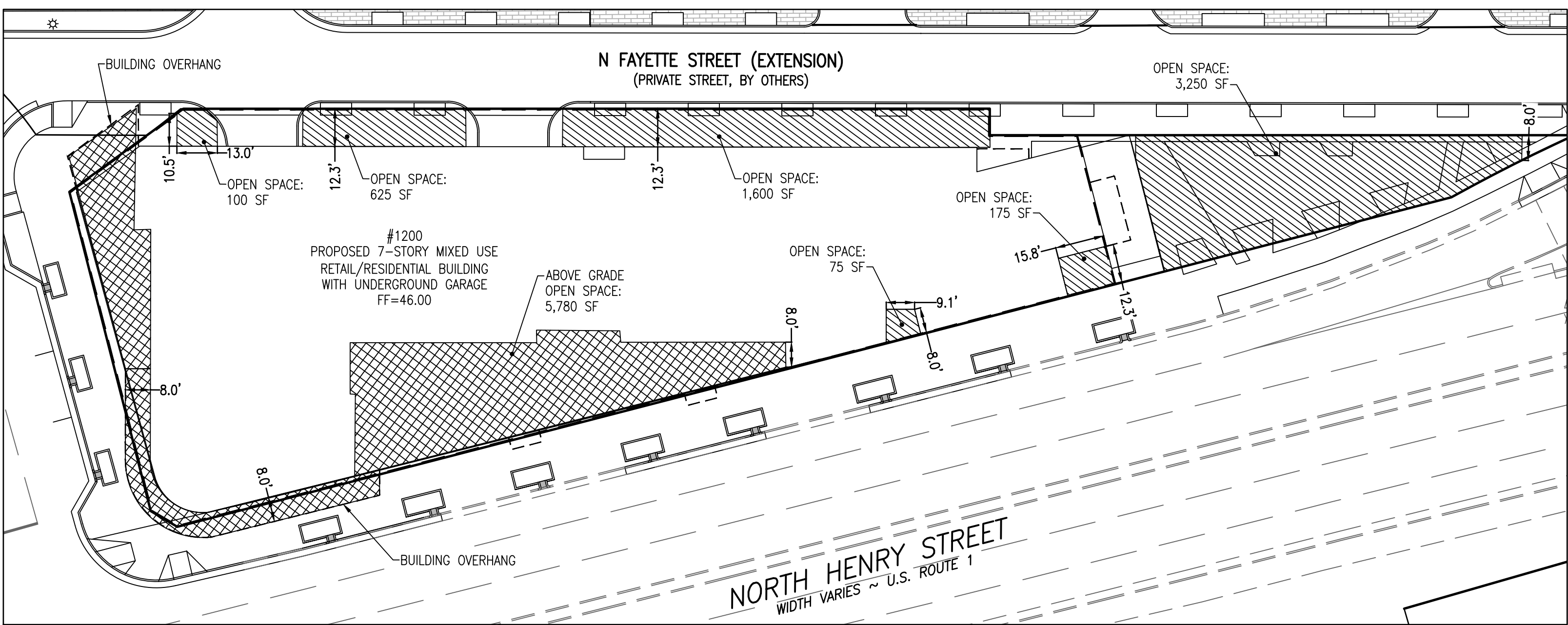


CONTEXTUAL MAP
SCALE: 1" = 200'



LEGEND:	
	BUS STOP
	DASH ROUTE AT2
	DASH ROUTE AT4
	DASH ROUTE AT5
	DASH ROUTE AT8
	WMATA ROUTE 10E
	WMATA ROUTE 11Y
	METROWAY

OPEN SPACE GRAPHIC
SCALE: 1" = 30'



OPEN SPACE REQUIRED: 40% (13,968 SF)
GROUND LEVEL OPEN SPACE PROVIDED: 5,825 SF OR 16.6%
ABOVE GRADE OPEN SPACE PROVIDED: 5,780 OR 16.5%
TOTAL OPEN SPACE PROVIDED: 11,605 SF OR 33.2%

*ALL OPEN SPACE IS USABLE SPACE

	GROUND LEVEL OPEN SPACE
	ABOVE GRADE OPEN SPACE

THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR.

EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.

APPROVED SPECIAL USE PERMIT NO. 2017-0020	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE	
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO. DATE

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
1200 NORTH HENRY STREET
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION

DESIGN: ACS
DRAWN: BAD
SCALE: AS NOTED
DATE: MAY 2018

CONTEXTUAL
PLAN

SHEET 2 OF 13
FILE: 17-181

R.C. FIELDS & ASSOCIATES, INC.
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730 S. Washington Street
Alexandria, Virginia 22314
(703) 549-6422
www.rcfieldsoc.com

ANDREA SPRUCH
Lic. No. 047863
JUNE 21, 2018
PROFESSIONAL ENGINEER

DEVELOPER: AVANTI HOLDINGS GROUP, LLC
1605 KING STREET, SUITE 3
ALEXANDRIA, VA 22314

4. TOPOGRAPHIC SURVEY WAS RUN BY THIS FIRM. VERTICAL DATUM USED = NAVD '88 PER CITY OF ALEXANDRIA MONUMENT #600. ELEVATION = 46.05'.

BOUNDARY REFERENCED TO VIRGINIA COORDINATE SYSTEM, 1983. MONUMENTS USED:
CITY OF ALEXANDRIA GPS #600. N = 6,984,243.75 E = 11,896,279.33
CITY OF ALEXANDRIA GPS #601. N = 6,983,459.024 E = 11,896,257.24

5. A TITLE REPORT WAS FURNISHED BY CHICAGO TITLE INSURANCE COMPANY, FILE NO. VA15-0157, DATED 10/6/2016.

6 PLAT SUBJECT TO RESTRICTIONS OF RECORD

7. TOTAL SITE AREA = 34,921 S.F. OR 0.8017 AC.

8. THERE ARE NO RESOURCE PROTECTION AREAS (RPA'S), TIDAL WETLANDS, SHORES, TRIBUTARY STREAMS, FLOOD PLAINS, OR BUFFER AREAS FOR SHORES, WETLANDS, CONNECTED TIDAL WETLANDS. ISOLATED WETLANDS OR HIGHLY ERODIBLE/PERMEABLE SOILS LOCATED ON THIS SITE.

9. THERE ARE NO KNOWN CONTAMINATED AREAS, CONTAMINATED SOILS OR ENVIRONMENTAL ISSUES ASSOCIATED WITH THIS SITE. THE SITE IS NOT KNOWN TO HAVE UNDERGROUND STORAGE TANKS, BE LOCATED WITHIN 1,000 FEET OF A FORMER SANITARY LANDFILL, DUMP, OR DISPOSAL AREA, OR CONTAIN AREAS WITH THE POTENTIAL OF GENERATING COMBUSTIBLE GASES.

10. THE "GENERALIZED ALEXANDRIA SOILS MAP" IDENTIFIES THE SOILS FOR THIS SITE AS KEYPORT SILT LOAM. THE KEYPORT SILT LOAM OCCURS IN THE LOW, SMOOTH TERRACES ALONG THE POTOMAC RIVER. IT IS GENTLY UNDULATING WITH FAIRLY WELL ESTABLISHED DRAINAGE.

11. THIS SITE IS NOT IN AN AREA KNOWN TO CONTAIN MARINE CLAYS.

1
EX. CURB INLET
TOP=45.40
INV. OUT=42.40

2
EX. STM. MH
TOP=45.72
INV. IN=42.52 (E)
INV. IN=42.43 (S)
INV. OUT=42.32

3
EX. STM. MH
TOP=46.08
INV. IN=42.03 (S)
INV. IN=42.13 (E)
INV. OUT=41.93

4
EX. CURB INLET
TOP=44.96
INV. IN=41.86 (S)
INV. IN=41.86 (18", E)
INV. OUT=41.76

5
EX. STM. INLET
(FILLED W/ SILT)
TOP=45.04
INV. IN=41.04
INV. OUT=40.94

6
EX. STM. MH
(FILLED W/ SILT & WATER)
TOP=45.17
4.85 DOWN TO BOTTOM
OF STRUCTURE

7
EX. CURB INLET
TOP=45.91
INV. OUT=41.91

8
EX. CURB INLET
TOP=45.66
INV. OUT=41.96

9
EX. STM. GRATE
TOP=45.91
INV. OUT=42.86

10
EX. CURB INLET
TOP=46.32
INV. IN=42.02
INV. OUT=41.87

11
EX. CURB INLET
TOP=45.65
INV. IN=41.35
INV. OUT=41.25

12
BENCHMARK #2
EX. CURB INLET
TOP=45.37
INV. IN=40.97
INV. OUT=40.87

13
EX. CURB INLET
TOP=45.24
INV. OUT=41.19

14
EX. CURB INLET
TOP=45.23
INV. IN=40.33
INV. OUT=40.28

15
EX. CURB INLET
TOP=45.24
INV. IN=40.19
INV. OUT=39.94

16
EX. CURB INLET
TOP=46.19
INV. IN=39.54
INV. OUT=39.34

17
BENCHMARK #1
EX. CURB INLET
(FILLED W/ SILT)
TOP=48.00
INV. OUT=43.20

18
EX. STM. MH
TOP=48.94
INV. IN=38.74 (15", W)
INV. IN=37.79 (30", S)
INV. OUT=37.49

19
EX. CURB INLET
TOP=52.05
INV. OUT=45.85

20
EX. CURB INLET
TOP=54.71
INV. IN=36.71 (30", S)
INV. IN=38.51 (15", W)
INV. OUT=36.61

21
EX. CURB INLET
TOP=44.26

22
EX. DRAIN
TOP=55.51

(1)	18" OAK (TBS)	(22)	8" LOCUST (TBS)
(2)	15" OAK (TBS)	(23)	8" LOCUST (TBS)
(3)	7" MAPLE (TBR)	(24)	12" LOCUST (TBS)
(4)	6" MAPLE (TBR)	(25)	8" LOCUST (TBS)
(5)	9" TREE (TBR)	(26)	20" LOCUST (TBS)
(6)	9" TREE (TBR)	(27)	8" LOCUST (TBS)
(7)	9" TREE (TBR)	(28)	9" LOCUST (TBS)
(8)	15" OAK (TBS)	(29)	9" LOCUST (TBS)
(9)	14" OAK (TBS)	(30)	7" LOCUST (TBS)
(10)	14" OAK (TBS)	(31)	12" LOCUST (TBS)
(11)	9" OAK (TBS)	(32)	13" MAPLE (TBS)
(12)	14" OAK (TBS)	(33)	16" MAPLE (TBS)
(13)	14" OAK (TBS)	(34)	8" LOCUST (TBS)
(14)	12" OAK (TBS)	(35)	12" PINE (TBS)
(15)	12" OAK (TBS)	(36)	12" LOCUST (TBR)
(16)	8" OAK (TBS)	(37)	12" TREE (TBR)
(17)	16" MAPLE (TBR)	(38)	7" LOCUST (TBS)
(18)	12" OAK (TBS)	(39)	7" TREE (TBS)
(19)	7" LOCUST (TBS)	(40)	6" LOCUST (TBS)
(20)	10" OAK (TBS)	(41)	8" LOCUST (TBS)
(21)	9" OAK (TBS)	(42)	7" LOCUST (TBS)

(TBS)=TO BE SAVED; (TBR)=TO BE REMOVED

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© 2018 R.C. FIELDS & ASSOCIATES, INC.

DEPARTMENT OF PLANNING & ZONING	
_____ DIRECTOR	_____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
DATE _____	

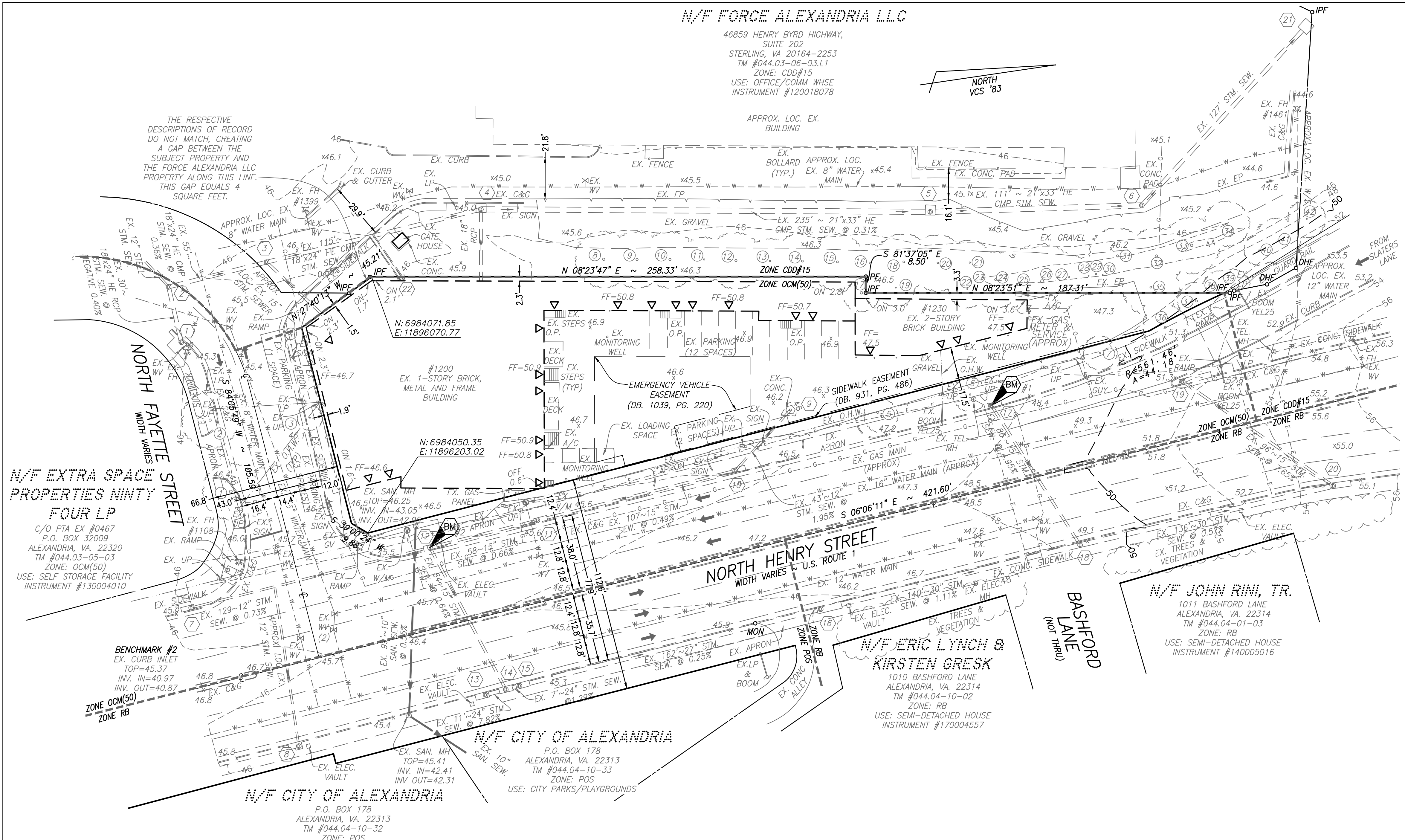
ITEM	EXISTING	PROPOSED
CURB & GUTTER		
SIDEWALK		
FIRE HYDRANT		
STRUCTURES		
WATER MAINS		
GAS MAINS		
TELEPHONE LINES		
STORM SEWER		
SANITARY SEWER		
PAVING		
FENCES		
POWER LINES		
SPOT ELEVATIONS	+ 124.5	+ 124.5
CONTOURS	-- -- 124 -- --	————— 124 —————
BUILDING ENTRANCES		
UTILITY POLE		
LIGHT POLE		
LIMITS OF DISTURBANCE		

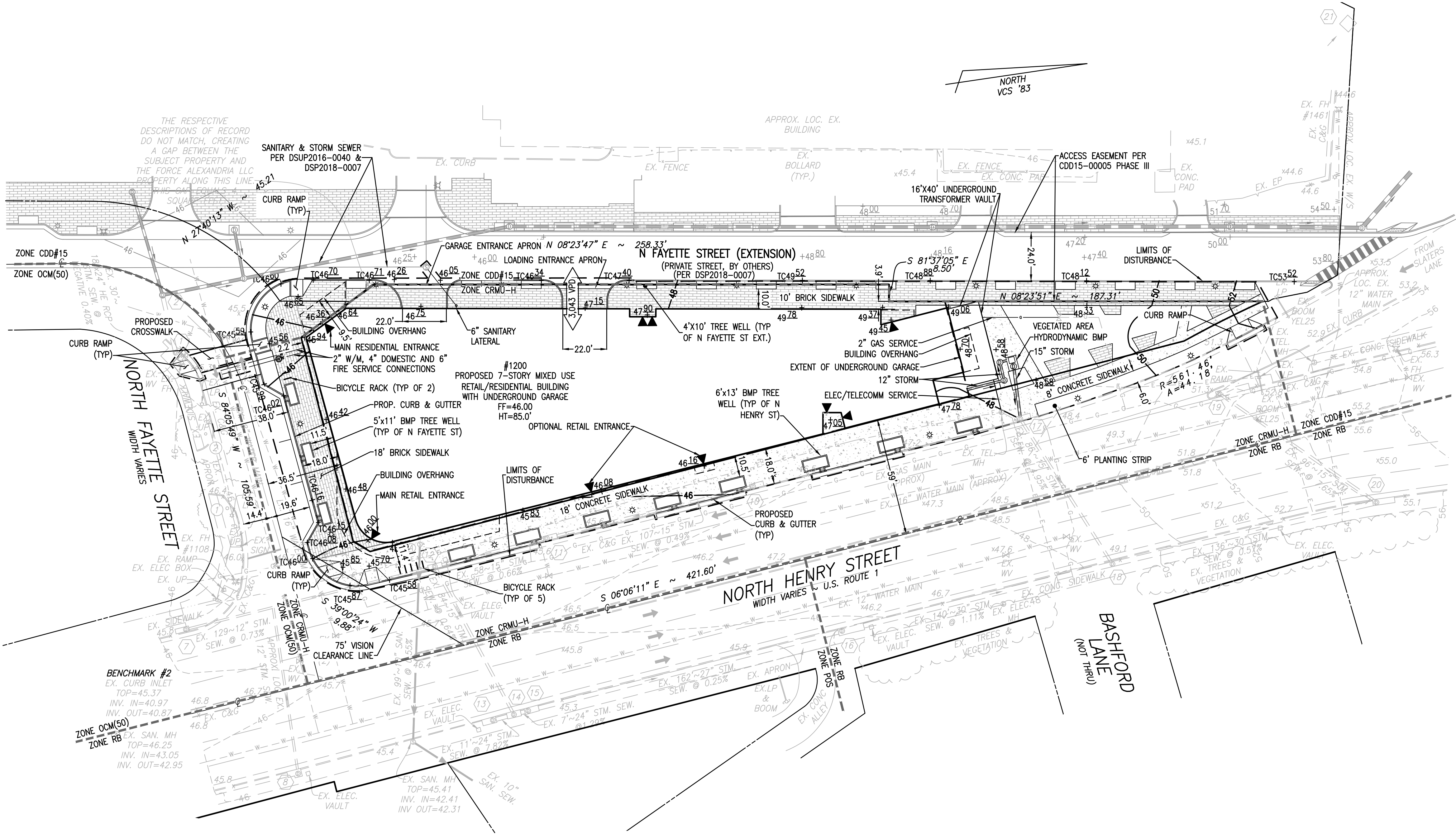
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THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF RONALD J. KELLER, LS FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON SEPTEMBER 21, 2017; AND THIS PLAT, MAP OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

1. UTILITY INFORMATION, AS SHOWN ON THIS PLAN, IS TAKEN FROM THE RECORDS AND/OR FIELD SURVEY COMPLETED AND CANNOT BE GUARANTEED. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

- GAS: ALL GAS LINES SHOWN ON THIS PLAN ARE OWNED AND MAINTAINED BY WASHINGTON GAS COMPANY. CONTACT: KEN MCCONKEY 703-750-4766; ADDRESS: WASHINGTON GAS, 680 INDUSTRIAL ROAD, SPRINGFIELD, VA 22151.
- ELECTRIC: ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE OWNED AND MAINTAINED BY DOMINION VIRGINIA POWER. ANY RELOCATION OF EXISTING POLES AND LINES WILL BE COORDINATED WITH DOMINION VIRGINIA POWER. CONTACT: 1-866-366-4357; ADDRESS: DOMINION POWER, P.O. BOX 26666, RICHMOND, VA 23261.
- WATER: ALL EXISTING WATER LINES AND FIRE HYDRANTS SHOWN ON THIS PLAN ARE OWNED AND MAINTAINED BY VIRGINIA AMERICAN WATER COMPANY (V.A.W.C.). EXISTING WATER SERVICES FROM METERS TO THE EXISTING BUILDING ARE OWNED AND MAINTAINED BY THE PROPERTY OWNER. THE PROPOSED WATER SERVICE FROM METER TO THE PROPOSED BUILDING WILL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER. CONTACT: NETWORK SUPERVISOR FOR THE SOUTHEAST REGION HAO (STEVEN) CHEN 703-706-3889; ADDRESS: VIRGINIA AMERICAN WATER COMPANY, 2223 DUKE STREET, ALEXANDRIA, VA 22314.
- SANITARY SEWER: ALL EXISTING AND PROPOSED SANITARY SEWER MAINS SHOWN ON THIS PLAN ARE OWNED AND MAINTAINED BY THE CITY OF ALEXANDRIA. THE PROPOSED SANITARY LATERAL FROM THE EXISTING BUILDING TO THE PROPERTY OWNER'S CONTACT: PUBLIC WORKS SERVICES, 2900 BUSINESS CENTER DRIVE, ALEXANDRIA, VA. TELEPHONE: 703-746-4357.
- STORM SEWER: ALL EXISTING AND PROPOSED STORM SEWER LOCATED IN THE PUBLIC RIGHT-OF-WAY SHOWN ON THIS PLAN IS OWNED AND MAINTAINED BY THE CITY OF ALEXANDRIA. ANY PROPOSED ON-SITE STORM SEWER WILL BE MAINTAINED BY THE PROPERTY OWNER. CONTACT: PUBLIC WORKS SERVICES, 2900 BUSINESS CENTER DRIVE, ALEXANDRIA, VA. TELEPHONE: 703-746-4357.
- TELEPHONE: ALL TELEPHONE LINES ARE OWNED BY VERIZON. CONTACT: SECTION MANAGER MIKE TYNSINGER 804-772-6625; ADDRESS: VERIZON VIRGINIA, INC., 3011 HUNGRY SPRING ROAD, 2ND FLOOR, RICHMOND, VA 23228.





GENERAL NOTES:

- TAX MAP: #044.03-05-01
- OWNER: 1200 N HENRY, LLC
PO BOX 1924
ALEXANDRIA, VA 22313
INSTRUMENT #160015497
- TOPOGRAPHIC SURVEY WAS RUN BY THIS FIRM. VERTICAL DATUM USED = NAVD '88 PER CITY OF ALEXANDRIA MONUMENT #600. ELEVATION = 46.05'.
- BOUNDARY REFERENCED TO VIRGINIA COORDINATE SYSTEM, 1983. MONUMENTS USED:
CITY OF ALEXANDRIA GPS #600. N = 6,984,243.75 E = 11,896,279.33
CITY OF ALEXANDRIA GPS #601. N = 6,983,459.024 E = 11,896,257.24
- A TITLE REPORT WAS FURNISHED BY CHICAGO TITLE INSURANCE COMPANY, FILE NO. VA15-0157, DATED 10/6/2016.
- PLAT SUBJECT TO RESTRICTIONS OF RECORD.
- TOTAL SITE AREA = 34,921 S.F. OR 0.8017 AC.

GREEN BUILDING NARRATIVE:

THIS PROJECT WILL COMPLY WITH THE CITY'S GREEN BUILDING POLICY. ADDITIONAL INFORMATION TO BE PROVIDED WITH SUBSEQUENT SUBMISSIONS.

FIRE SERVICE NOTE:

EXISTING FIRE HYDRANTS LOCATED ON N HENRY STREET AND N FAYETTE STREET MAY BE USED TO SERVE THE PROPOSED DEVELOPMENT. BUILDING FIRE DEPARTMENT CONNECTION (FDC) LOCATIONS TO BE DETERMINED IN CONJUNCTION WITH THE FIRE FLOW ENGINEERING ANALYSIS AND WILL BE INCLUDED AS PART OF THE FINAL SITE PLAN SUBMISSION.

REFUSE TRUCK NOTE:

THERE IS NO REFUSE VEHICLE ACCESS PROVIDED ON THE SITE. INTERIOR TRASH RECEPTACLES WILL BE WHEELED OUTSIDE TO NORTH FAYETTE STREET (EXTENSION) FOR COLLECTION.

ARCHAEOLOGY NOTES:

CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIMES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

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ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

CIVIL LEGEND:

ITEM	EXISTING	PROPOSED
CURB & GUTTER		
SIDEWALK		
FIRE HYDRANT		
STRUCTURES		
WATER MAINS		
GAS MAINS		
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FENCES		
POWER LINES		
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CONTOURS	- - - 124 - - -	- - - 124 - - -
BUILDING ENTRANCES		
UTILITY POLE		
LIGHT POLE		
LIMITS OF DISTURBANCE		

TEXT LEGEND:

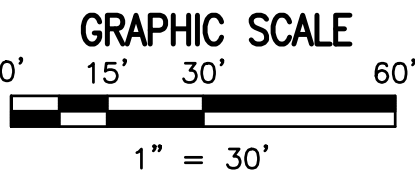
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HATCH LEGEND

BRICK SIDEWALK
CONCRETE SIDEWALK
ZONING DISTRICT
BOUNDARY



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APPROVED SPECIAL USE PERMIT NO. 2017-0020	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO. DATE

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
1200 NORTH HENRY STREET
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION

DESIGN: ACS
DRAWN: BAD
SCALE: 1"=30'
DATE: MAY 2018

PRELIMINARY
SITE PLAN

SHEET 4 OF 13
FILE: 17-181

R.C. FIELDS & ASSOCIATES, INC.
ENGINEERING • LAND SURVEYING
730 S. Washington Street
Alexandria, Virginia 22314
www.rcfields.com
(703) 549-6422

COMMONWEALTH OF VIRGINIA
ANDREA SPRUCH
Lic. No. 047863
JUNE 21, 2018
PROFESSIONAL ENGINEER

A:\2017\17181\DWG\DELV\05 SITE DIMENSION PLAN.dwg
Wed Jun 20 2018 - 11:16:10am

CIVIL LEGEND:

ITEM	EXISTING	PROPOSED
CURB & GUTTER		
SIDEWALK		
FIRE HYDRANT		
STRUCTURES		
WATER MAINS		
GAS MAINS		
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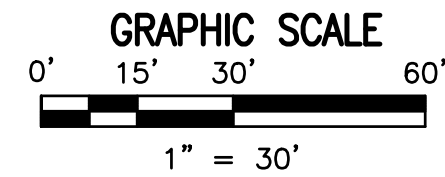
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HATCH LEGEND

BRICK SIDEWALK

CONCRETE SIDEWALK



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APPROVED
SPECIAL USE PERMIT NO. 2017-0020

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

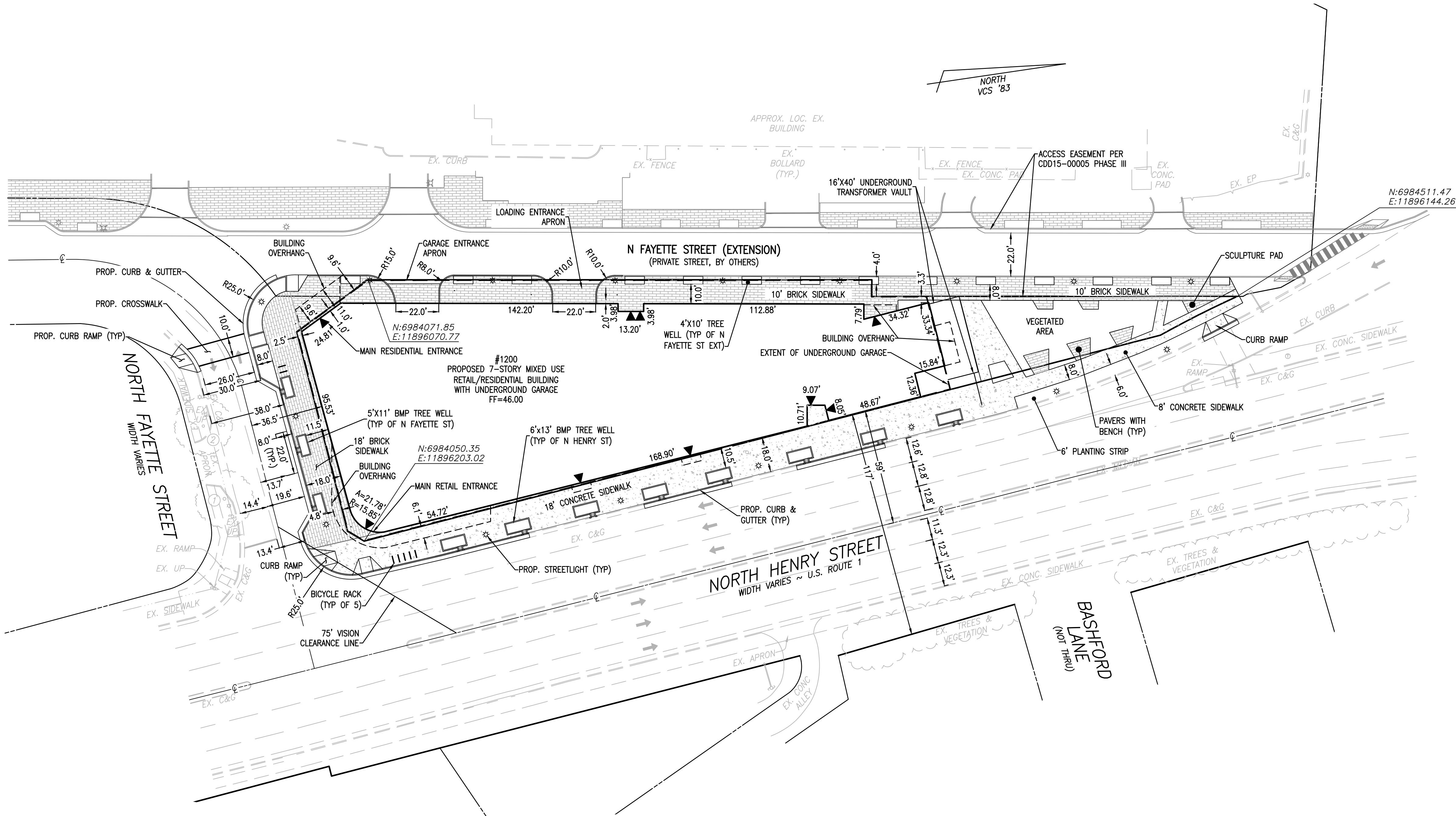
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____

DESIGN: ACS
DRAWN: BAD
SCALE: 1"=30'
DATE: MAY 2018

SITE
DIMENSION
PLAN

SHEET 5 OF 13
FILE: 17-181



ARCHAEOLOGY NOTES:

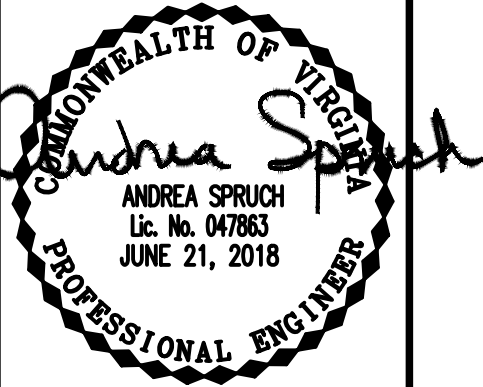
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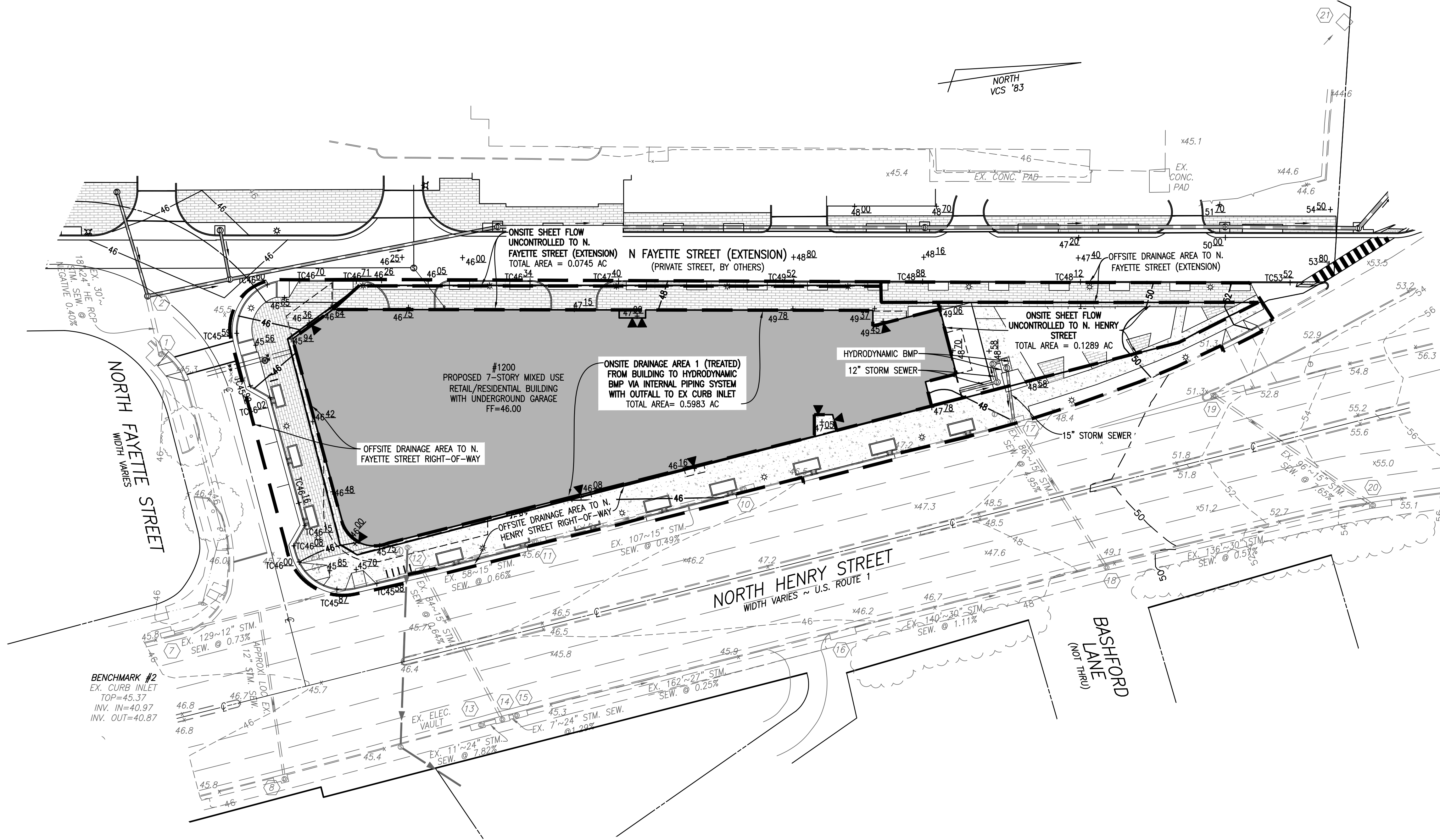
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1200 NORTH HENRY STREET
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION



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ENGINEERING • LAND SURVEYING • PLANNING
730 S. Washington Street
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(703) 549-6422



STORMWATER MANAGEMENT (CITY CODE SECTION 13-109F COMPLIANCE) NARRATIVE

PRE-DEVELOPMENT CONDITIONS:
THIS 0.8017 ACRE PARCEL IS LOCATED IN THE POTOMAC RIVER WATERSHED. IN EXISTING CONDITIONS, THE SITE IS UTILIZED AS A SHOPPING CENTER. THE MAJORITY OF SITE DRAINAGE IS DIRECTED IN AN EASTERLY DIRECTION TOWARDS THE N HENRY STREET RIGHT-OF-WAY WHERE IT IS COLLECTED BY CURB INLETS WITHIN THE RIGHT-OF-WAY AND CONVEYED IN A NORTHERLY DIRECTION BY THE CITY MAINTAINED STORM SEWER SYSTEM UNTIL IT OUTFALLS TO THE POTOMAC GREEN STORMWATER POND AND ULTIMATELY TO THE POTOMAC RIVER.

POST-DEVELOPMENT CONDITIONS:
THIS PROJECT PROPOSES THE CONSTRUCTION OF A 7 STORY RETAIL AND RESIDENTIAL MIXED USE BUILDING WITH UNDERGROUND PARKING AND IMPROVED STREETScape/OPEN SPACE. IN PROPOSED CONDITIONS, RUNOFF ASSOCIATED WITH ALL BUILDING ROOF TOPS WILL BE DIRECTED BY AN INTERNAL STORMWATER CONVEYANCE SYSTEM TO AN ON-SITE HYDRODYNAMIC BMP WITH AN OUTFALL TO AN EXISTING CURB INLET WITHIN THE PUBLIC RIGHT-OF-WAY. ALL OTHER RUNOFF FROM THE SITE WILL BE DIRECTED VIA SHEET FLOW UNTIL BEING COLLECTED BY CURB INLETS LOCATED WITHIN EITHER THE N. HENRY STREET RIGHT-OF-WAY, N. FAYETTE STREET RIGHT-OF-WAY, OR N. FAYETTE STREET (EXTENSION).

CONCLUSION
DUE TO AN OVERALL DECREASE OF SITE IMPERVIOUS AREA, THE SITE RELEASES A POST-DEVELOPMENT PEAK RATE FOR THE 10-YEAR 24-HOUR STORM EVENT THAT IS LESS THAN THE PRE-DEVELOPMENT PEAK FLOW RATE FOR THE 10-YEAR 24-HOUR STORM EVENT (DUE TO ROUNDING THE CALCULATIONS SHOW NO CHANGE; SEE COMPUTATIONS PROVIDED ON THIS SHEET). THERE IS NO RUNOFF VOLUME INCREASE IN THE FORM OF SHEET FLOW RESULTING FROM PERVIOUS AREAS, DISCONNECTED IMPERVIOUS AREAS OR FROM PHYSICAL SPREADING OF CONCENTRATED FLOW ASSOCIATED WITH THE PROPOSED DEVELOPMENT OF THIS SITE. THEREFORE, THE SMALL PORTION OF THE RUNOFF THAT EXISTS THE SITE IN THE FORM OF SHEET FLOW WILL HAVE NO ADVERSE IMPACTS ON DOWN-GRADIENT PROPERTIES OR RESOURCES. ALL PERVIOUS AREAS ON THE SITE WERE ASSUMED TO BE IN GOOD HYDROLOGIC CONDITION FOR PURPOSES OF COMPUTING PRE-DEVELOPMENT RUNOFF.

SINCE THIS SYSTEM EXPERIENCES LOCALIZED FLOODING IN EXISTING CONDITIONS (SEE STORM SEWER AND HYDRAULIC GRADE LINE COMPUTATIONS ON SHEET 10) AND THE PEAK FLOW RATE IS BEING REDUCED WITH THE PROPOSED DEVELOPMENT (SEE CALCULATIONS PROVIDED ON THIS SHEET), THE FLOOD PROTECTION FOR THIS SITE IS IN COMPLIANCE WITH SECTION 13-109F(2)(b)(ii). DUE TO SITE DRAINAGE OUTFALLING TO AN EXISTING UNDERSIZED STORM SEWER SYSTEM, NO OFFSITE IMPROVEMENTS TO THE SYSTEM ARE REQUIRED.

PER SECTION 13-109F-2(d)(i), A DRAINAGE SHED BOUNDARY ANALYSIS OF THE SITE OUTFALL WITH REDUCED POST-DEVELOPMENT RUNOFF RATE FOR THE 10-YEAR, 24-HOUR STORM IS PROVIDED ON SHEET 10. THE PROJECT POST-DEVELOPMENT RUNOFF WILL NOT EXACERBATE ANY EXISTING DOWNSTREAM CAPACITY CONDITIONS WITHIN THE LIMITS OF ANALYSIS.

BASED ON THE ABOVE MENTIONED JUSTIFICATIONS AND COMPUTATIONS, THE STORMWATER MANAGEMENT CRITERIA FOR THE PROPOSED DEVELOPMENT COMPLIES WITH THE CHANNEL PROTECTION AND FLOOD PROTECTION REQUIREMENTS PER CITY CODE SECTION 13-109F.

STORMWATER RUNOFF COMPUTATIONS

I. PROJECT AREA = 34,921 SQ.FT. OR 0.8017 ACRES

EXISTING IMPERVIOUS AREA = 33,123 SQ.FT. OR 0.7604 ACRES
PROPOSED IMPERVIOUS AREA = 32,746 SQ.FT. OR 0.7517 ACRES

VIRGINIA RUNOFF REDUCTION METHOD (PER TR-20, TYPE II, 24-HOUR STORM, USING CLASS D SOILS):

II. WEIGHTED CURVE NUMBER (CN) CALCULATIONS:
CN PRE-DEVELOPMENT = $(0.7604 \times 98 + 0.0413 \times 80) \div 0.8017 = 97$
CN POST-DEVELOPMENT = $(0.7517 \times 98 + 0.0500 \times 80) \div 0.8017 = 97$

III. PRE-DEVELOPMENT PEAK DISCHARGES: ($T_c = 5$ MINS.)
PEAK Q_p PRE-DEVELOPMENT = 2.44 cfs
PEAK Q_{10} PRE-DEVELOPMENT = 4.03 cfs

IV. POST-DEVELOPMENT PEAK DISCHARGES: ($T_c = 5$ MINS.)
PEAK Q_p POST-DEVELOPMENT = 2.44 cfs
PEAK Q_{10} POST-DEVELOPMENT = 4.03 cfs

Q_p INCREASE = 0.00 CFS
 Q_{10} INCREASE = 0.00 CFS

NOTE: SINCE THE LIMITS OF ANALYSIS DO NOT INCLUDE A NATURAL STORMWATER CONVEYANCE CHANNEL, 1-YEAR STORMWATER COMPUTATIONS ARE NOT REQUIRED/PROVIDED.

PROJECT DESCRIPTION:

REDEVELOPMENT

DRAINAGE AREA	IMPERVIOUS	PERVIOUS	TOTAL
PROJECT AREA	0.7517	0.0500	0.8017
ON-SITE TREATED	0.5983	0.0000	0.5983
OFF-SITE TREATED	0.0000	0.0000	0.0000
TOTAL TREATED	0.5983	0.0000	0.5983
ON-SITE IMPERVIOUS AREAS DISCONNECTED BY A VEGETATIVE BUFFER	N/A		
TOTAL TREATED OR DISCONNECTED			0.5983

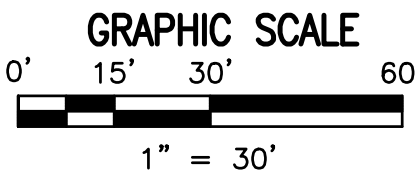
WATER QUALITY VOLUME DEFAULT:

PROPOSED IMPERVIOUS: 0.7517 AC
TREATMENT OF FIRST HALF INCH OF RUNOFF: $1,815 \times 0.7146 = 1,364$ CU. FT. WQV REQUIRED

WATER TREATMENT ON-SITE			
BMP TYPE	AREA TREATED BY BMP (ACRES)	IMPERVIOUS AREA TREATED BY BMP (ACRES)	BMP EFFICIENCY (%)
HYDRODYNAMIC BMP	0.5983	0.5983	25%

TOTAL WQV TREATED: NO
WATER QUALITY VOLUME REQUIRED = 1,364 CU. FT.
WATER QUALITY VOLUME TREATED = $1,815 \times 0.5983 = 1,086$ CU. FT.
PERCENT OF WATER QUALITY VOLUME TREATED = 79.6%
DETENTION ON SITE: NO
PROJECT IS WITHIN WHICH WATERSHED? POTOMAC RIVER
PROJECT DISCHARGES TO WHICH BODY OF WATER? POTOMAC RIVER

BMP COORDINATES: N6984378.26 & E11896163.95



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APPROVED
SPECIAL USE PERMIT NO. 2017-0020
DEPARTMENT OF PLANNING & ZONING
DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____

R.C. FIELDS & ASSOCIATES, INC.
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730 S. Washington Street
Alexandria, Virginia 22314
(703) 549-6422
www.rcfields.com

COMMONWEALTH OF VIRGINIA
ANDREA SPRUCH
Lic. No. 047863
JUNE 21, 2018
PROFESSIONAL ENGINEER

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
1200 NORTH HENRY STREET
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION

DESIGN: ACS
DRAWN: BAD
SCALE: 1"=30'
DATE: MAY 2018

STORMWATER
MANAGEMENT
PLAN

SHEET 6 OF 13
FILE: 17-181

Water Quality Design Report

Alexandria, VA

Project: 1200 N. Henry Street

Engineer: R.C. Fields & Associates

Water Quality:

Calculation Method: 1 in. First Flush
Rainfall Data Area: Arlington, VA
Report Date: 5/7/2018

Project Data:

Total Area: 0.60 acres
Impervious Area: 0.60 acres
Pipe Size: 12 HDPE
Treatment Flow Limit: 5.55 cfs
WQ Flow: 0.89 cfs

CrystalStream Summary:

Model No: 646
This HLR: 16.61 gpm/sf
Max HLR: 31.00 gpm/sf

Special Note: All CrystalStream Technologies water quality devices offer no restrictions to storm water flow and are able to pass through all flows that are delivered to them.

Project Specific Data – Alexandria, VA

Water Quality Vault Specifications for 1200 N. Henry Street
CST-1 Model 646

This unit drains 0.60 acres, with a 25-year flow of 4.34 cfs. The target design flow for the Model 646 as configured is 6.00 cfs (for an internal vertical exit velocity of 1 fps). The resultant internal vertical exit velocity of a 4.34 cfs inflow is 0.72 fps, which is within the range of the speed needed to restrict sediment export during this studied storm. Maximum design flows can vary based on site hydrology and pollutant characteristics.

The internal velocity at the 1" water quality (first flush) storm peak flow of 0.89 cfs (see calculation below) is 0.15 fps. During this peak, the scour velocity of 0.15 fps (0.05 m/s) for 8 micron particles is not exceeded, and all lesser storms will have lower velocities. This unit meets local standards during this peak event, and will exceed them at other times. Regularly scheduled maintenance will assure low exposure to high peak flows.

Calculation for Peak Discharge of Water Quality Storm

1" - 24 hour peak flow (Modified SCS Method, after Pitt)

Assumptions: A = 0.60 acres of drainage area = 26,062 sf.
CN = 98, T_c = 5 min. = 0.08 hr.
I_a read from TR-55 Table 4-1 for 98 = 0.041
P = 1"
I_a / P = 0.041 (See SCS Type II Unit Peak Discharge, read Q_u at 0.08 hr and I_a / P)
Q_u = 1000 csm

%I = 0.60 ac. Impervious / 0.60 ac. Total X (100) = 100%
R_u = .009 (I) * .05 = .009 (100) * .05 = 0.95
WQ_R = 1" * 0.95 = 0.950 in./ac.

WQ Flow Calculation:

A = 0.60 ac. / 640 ac. / sq. mi. = 0.00093 sq. mi.
Q_u = Q_u * A * WQ_R = 1000 csm / in. * 0.00093 sq. mi. * 0.950 in. / ac. = 0.89 cfs.

HLR Design Criterion (Per Figure 1 Chart)

Model 646 - Target HLR = 26.00 This Project HLR = **16.61 OK**
[HLR = (0.89 cfs * 448.8 gpm/cfs)/24 sf = 16.61 gpm/sf]

General Specifications (See detail sheet)

The spill protection capacity, under normal conditions, where the ambient water level in the front portion of the vault can be replaced with spill material is 586 gallons. In an artificial or emergency situation where the downstream pipe is blocked, the maximum spill storage capacity, above the trapped ambient water, is 440 gallons. This volume does not include storage in the upstream piping system.

This unit is not subject to traffic loadings and is constructed with 5,000 psi, 6" reinforced concrete walls and floor.

The 0.50 ft. riser/lid combination above the unit is constructed in the same manner as the walls.

A 3' x 3' aluminum hatch and a 24" manhole in the reinforced concrete lid provide easy access for cleaning.

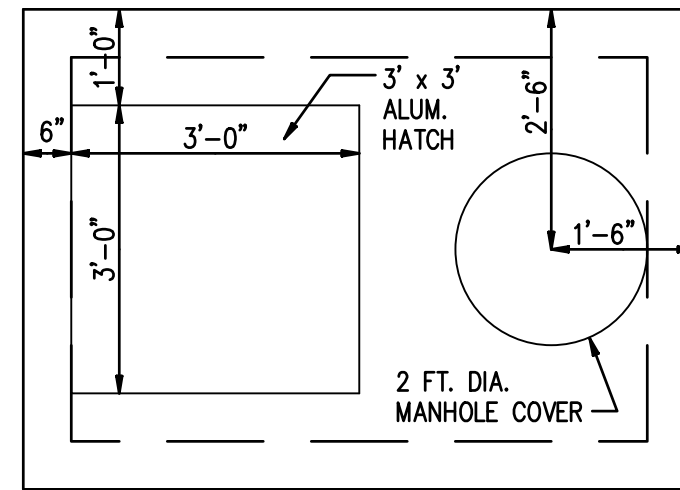
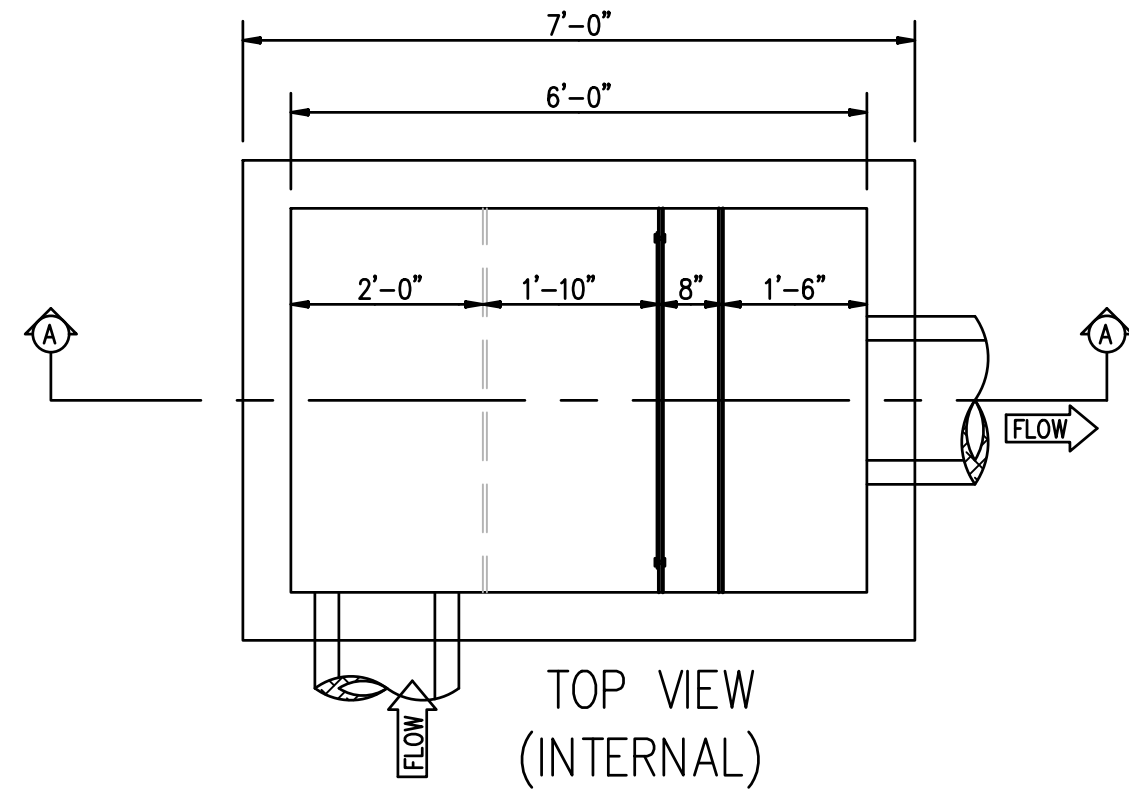
A separate oil chamber is provided with an adjustable weir. This weir will be set at the approximate 6 month, 30 minute storm intensity, so that oil should be pushed over the skimmer at least once during two clean out cycle periods. The weir will be adjusted based on actual field results.

The exit pipe, when evaluated as a submerged circular orifice under inlet control will flow a maximum of 5.55 cfs with the water level in the vault at the top of the oil reservoir. This is sufficient to pass the 100+ year flow coming to the unit as configured.

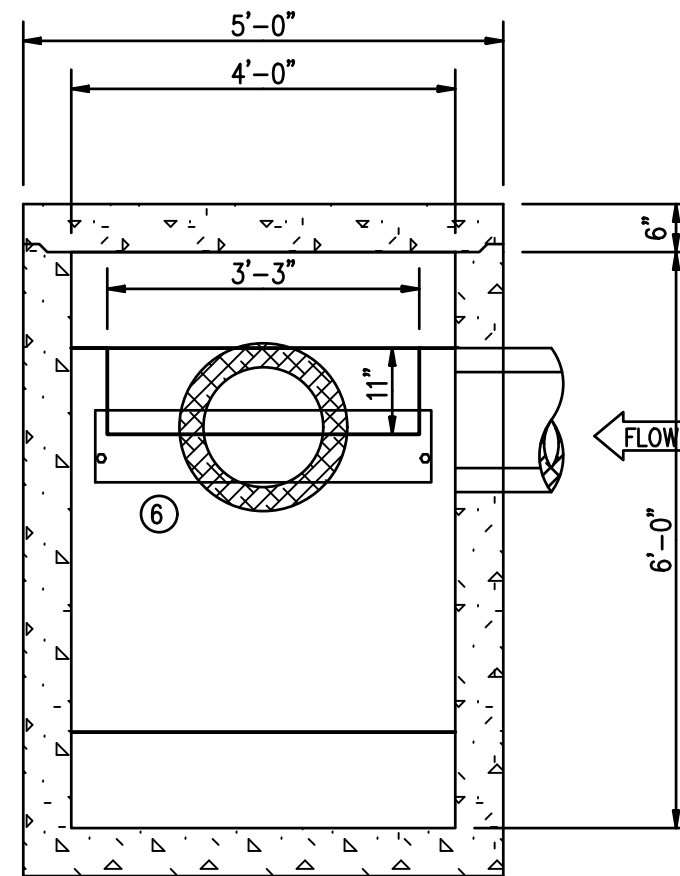
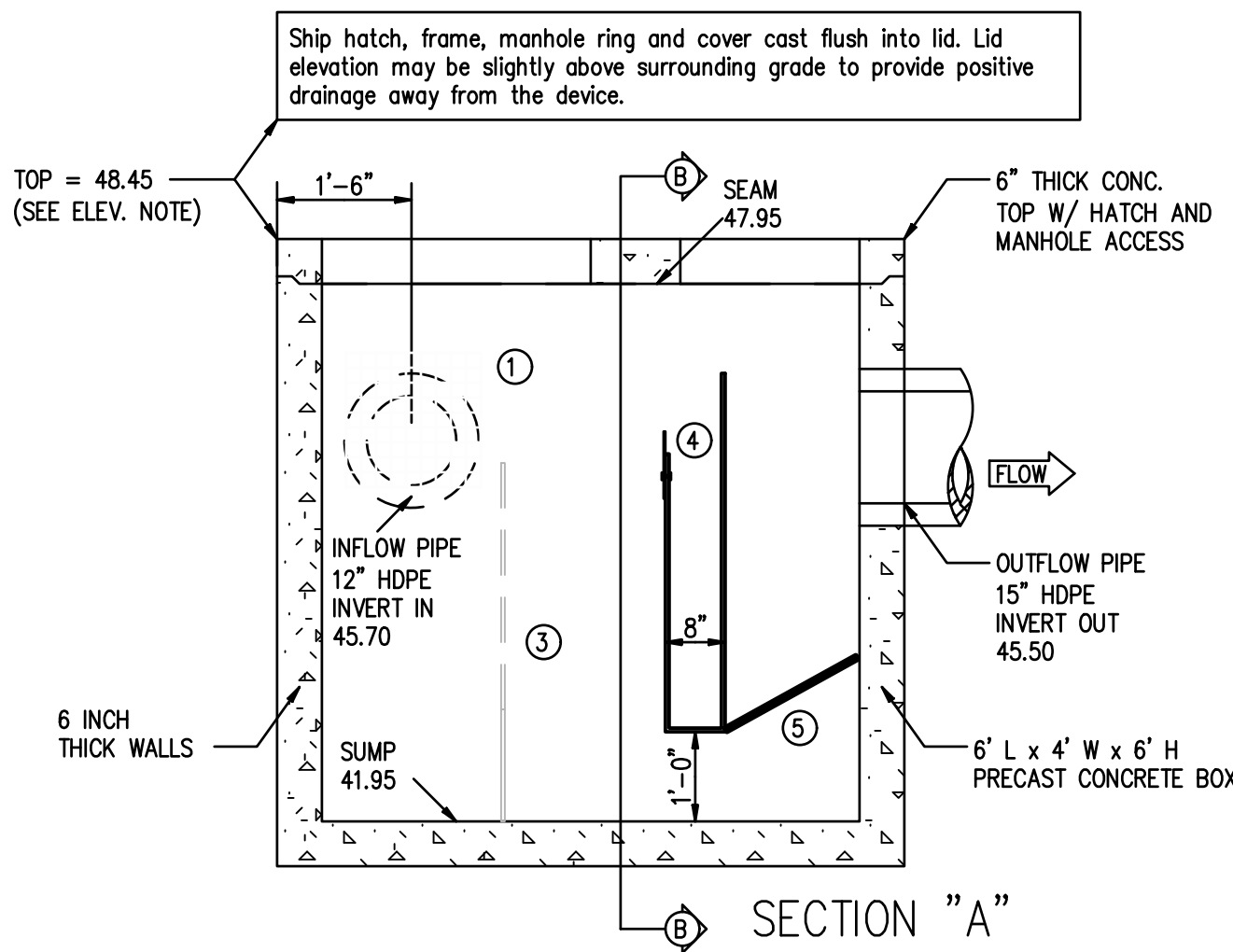
Paul Duckett Jr.

CrystalStream Technologies
Principal Engineer

Manufactured by: Practical Best Management – 1-800-748-6945 www.crystalstream.com



TOP VIEW (SLAB)

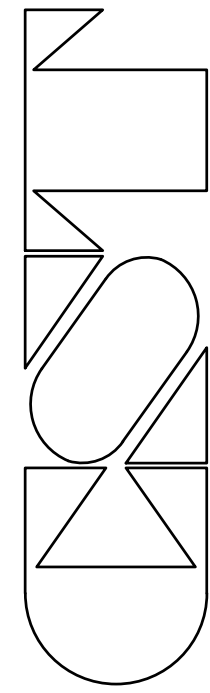


SECTION "B"

CRYSTALSTREAM "CRYSTALCLEAN" WATER QUALITY VAULT
MODEL "646"

JURISDICTION: Alexandria, VA

1. ALL PIPES SHALL BE CONSTRUCTED TO BE FLUSH WITH THE INSIDE WALLS.
2. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL PIPES AND STRUCTURES BETWEEN AND AROUND THE WATER QUALITY VAULTS.
3. ALL VAULT LIFTING CONNECTIONS SHALL BE LOCATED ON THE OUTSIDE OF THE VAULT WALLS.
4. CONCRETE VAULT PRE-CASTER IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE CONCRETE VAULTS. WALL AND SLAB THICKNESSES SHALL BE ALTERED ACCORDINGLY.



CrystalStream Technologies

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Protected by U.S. Patent No.s: 6,797,161; 6,936,163; 6,939,461; 6,951,607; 6,994,783; 7,011,743; 7,037,436

SPECIFICATIONS

1. TOTAL FLOW CAPACITY SHALL BE 6 CFS.
2. WATER QUALITY FLOW OF 0.89 CFS MUST BE TREATED WITH A HYDRAULIC LOADING RATE OF 17 GPM/SF OR LESS.
3. SPILL PROTECTION CAPACITY SHALL BE 586 GALLONS BEFORE OVERFLOW.
4. ANY CHANGES OR SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER AND THE REVIEWING AUTHORITY.

1200 N. Henry St.

Device No.: CST-1
VA0-002-050718

DESIGN FIRM: R.C. Fields & Associates

LEGEND

- ① EXPANDED ALUMINUM BASKET W/ 1/4" MESH LINING, 1'-6" H x 1'-6" L x 4'-0" W, Upfit 3'-9" FROM SUMP
- ③ 2ND INTERNAL BAFFLE W/ 1" HOLES DRILLED AT 1 1/4" O.C., 4'-0" H.
- ④ SPILL PROTECTION RESERVOIR 4'-0" H. WITH A 0'-11" FRONT CUT.
- ⑤ 3/4" COCONUT FIBER FILTER IN ALUMINUM FRAME 1'-8" LONG.
- ⑥ 1/4" ALUMINUM PLATE, 9" H., 3'-6" WIDE.

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DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO.

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. DATE

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1200 NORTH HENRY STREET
CITY OF ALEXANDRIA, VIRGINIA

DATE REVISION

DESIGN: ACS
DRAWN: BAD
SCALE: AS NOTED
DATE: MAY 2018

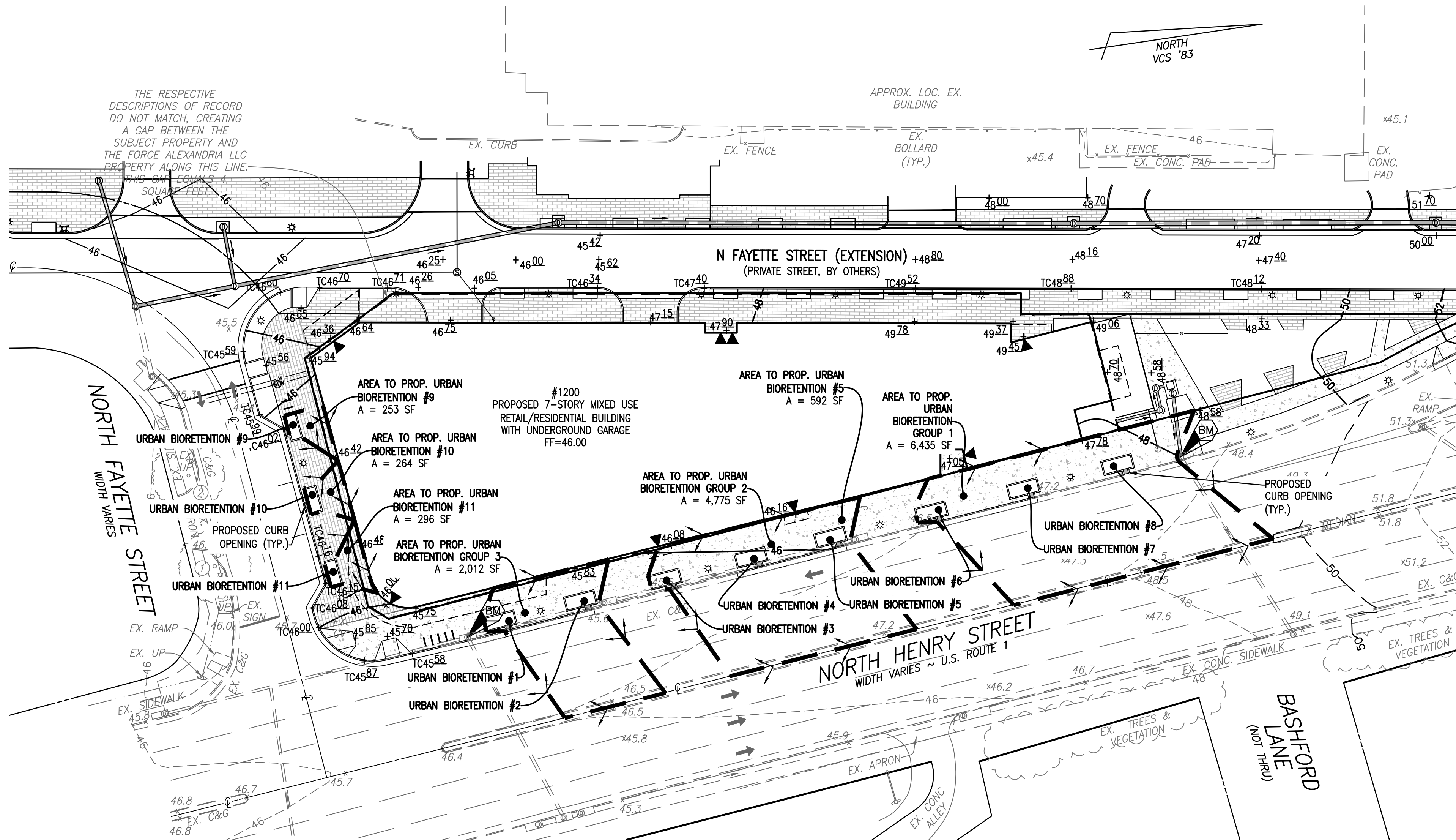
ON-SITE BMP
DESIGN AND
DETAILS

SHEET 7 OF 13

FILE: 17-181

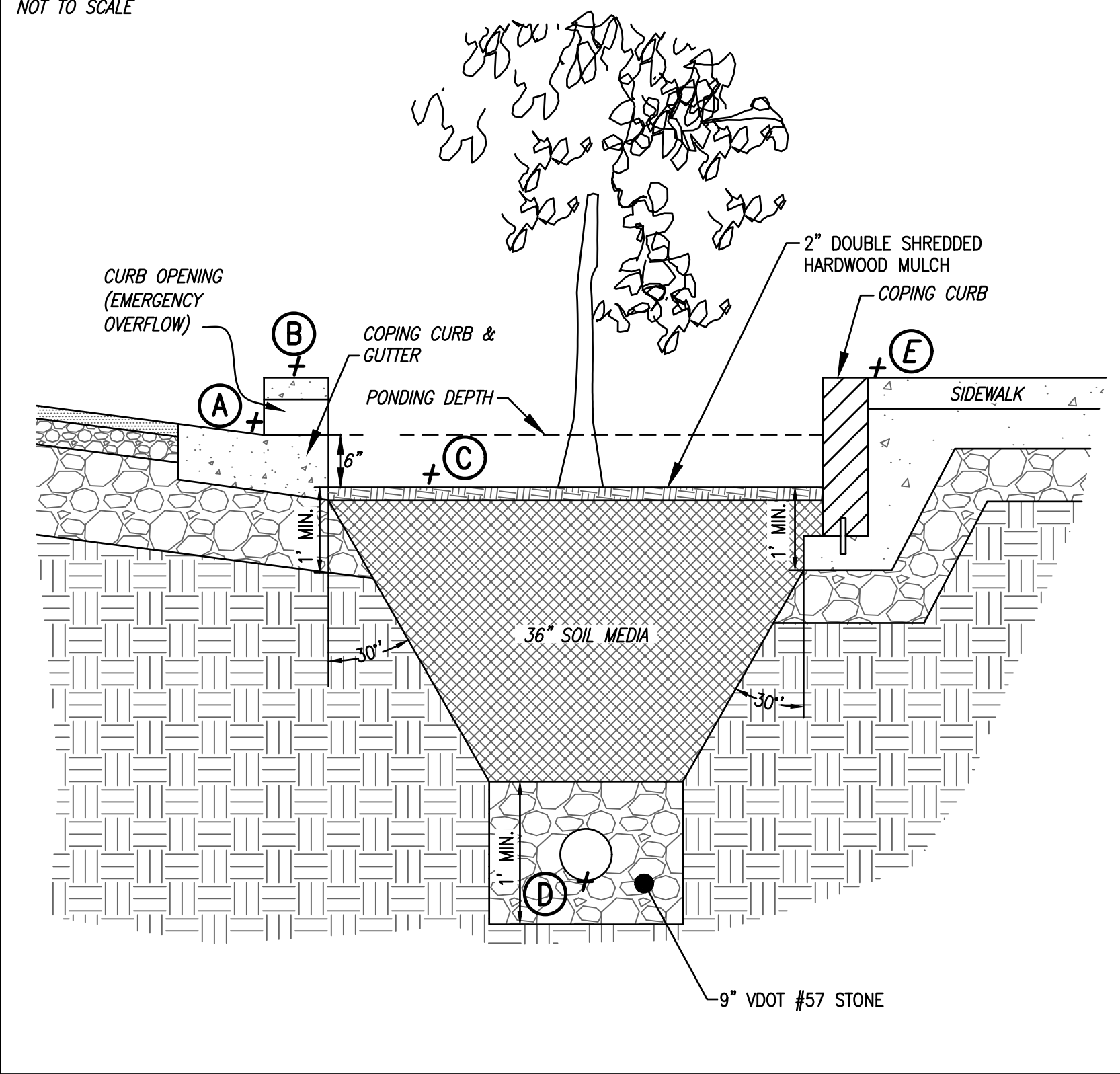
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ANDREA SPRUCH
Lic. No. 047863
JUNE 21, 2018
PROFESSIONAL ENGINEER



AREA TO URBAN BIORETENTION (TREE WELL) DETAIL
SCALE: 1" = 30'

URBAN BIORETENTION (TREE WELL) DETAIL
NOT TO SCALE



URBAN BIORETENTION	SQ. FT. OF SURFACE AREA	ELEVATIONS					COORDINATES	
		A	B	C	D	E	NORTH	EAST
1	60	44.9	45.4	44.4	40.7	45.6	6984095.07	11896210.85
2	60	45.1	45.6	44.6	40.9	45.8	6984128.12	11896207.29
3	60	45.2	45.7	44.7	41	45.9	6984165.35	11896203.30
4	60	45.3	45.8	44.8	41.1	46	6984201.78	11896199.49
5	60	45.5	46	45	41.3	46.2	6984235.60	11896196.67
6	60	46	46.5	45.5	41.8	46.7	6984278.22	11896192.07
7	60	46.6	47.1	46.1	42.4	47.3	6984315.41	11896187.87
8	60	47	47.5	46.5	42.8	47.7	6984356.38	11896184.40
9	40	45.5	46	45	41.3	46.2	6984023.18	11896120.47
10	40	45.6	46.1	45.1	41.4	46.3	6984026.70	11896150.44
11	40	45.6	46.1	45.1	41.4	46.3	6984030.95	11896181.67

WATER QUALITY VOLUME CALCULATIONS FOR GROUP 1:

Contributing Drainage Area	
Roadway to be Treated	4,425 SF
Sidewalk to be Treated	2,030 SF
Contributing Drainage Area	6,455 SF
Treatment Volume Required	268.96 CF
Water Quality Sizing Computations	
Min. Surface Area (Gross)	537.92 SF
Infiltration Ponding	0.00 FT
Min. Surface Area (Net)	537.92 SF
Fill Time	1 HR
Infiltration	0.0000 FT/HR
Depth of Soil	3.00 FT
Ponding Depth	0.50 FT
Landscape Sizing Computations	
Type of Practice	Tree Wells
Tree Spacing	40 FT
Number of Practices Proposed	3
Surface Area per Practice	179.31 SF
Width of Practice	5.00 FT
Min. Length of Practice	35.86 FT
Length of Practice	12.00 FT
Depth of Soil	2.50 FT
Soil Volume Provided	150.00 CF
Additional Soil Volume Required	300.00 CF

WATER QUALITY VOLUME CALCULATIONS FOR GROUP 2:

Contributing Drainage Area	
Roadway to be Treated	3,187 SF
Sidewalk to be Treated	1,588 SF
Contributing Drainage Area	4,775 SF
Treatment Volume Required	198.96 CF
Water Quality Sizing Computations	
Min. Surface Area (Gross)	397.92 SF
Infiltration Ponding	0.00 FT
Min. Surface Area (Net)	397.92 SF
Fill Time	1 HR
Infiltration	0.0000 FT/HR
Depth of Soil	3.00 FT
Ponding Depth	0.50 FT
Landscape Sizing Computations	
Type of Practice	Tree Wells
Tree Spacing	35 FT
Number of Practices Proposed	3
Surface Area per Practice	132.64 SF
Width of Practice	5.00 FT
Min. Length of Practice	26.53 FT
Length of Practice	12.00 FT
Depth of Soil	3.00 FT
Soil Volume Provided	180.00 CF
Additional Soil Volume Required	270.00 CF

WATER QUALITY VOLUME CALCULATIONS FOR GROUP 3:

Contributing Drainage Area	
Roadway to be Treated	1,701 SF
Sidewalk to be Treated	870 SF
Contributing Drainage Area	2,571 SF
Treatment Volume Required	107.13 CF
Water Quality Sizing Computations	
Min. Surface Area (Gross)	214.25 SF
Infiltration Ponding	0.00 FT
Min. Surface Area (Net)	214.25 SF
Fill Time	1 HR
Infiltration	0.0000 FT/HR
Depth of Soil	3.00 FT
Ponding Depth	0.50 FT
Landscape Sizing Computations	
Type of Practice	Tree Wells
Tree Spacing	35 FT
Number of Practices Proposed	2
Surface Area per Practice	107.13 SF
Width of Practice	5.00 FT
Min. Length of Practice	21.43 FT
Length of Practice	12.00 FT
Depth of Soil	3.00 FT
Soil Volume Provided	180.00 CF
Additional Soil Volume Required	270.00 CF

WATER QUALITY VOLUME CALCULATIONS FOR BOX 9:

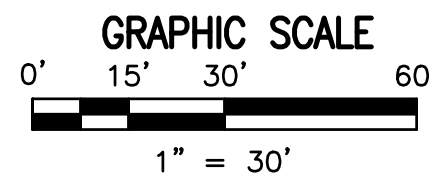
Contributing Drainage Area	
Roadway to be Treated	0 SF
Sidewalk to be Treated	253 SF
Contributing Drainage Area	253 SF
Treatment Volume Required	10.54 CF
Water Quality Sizing Computations	
Min. Surface Area (Gross)	21.08 SF
Infiltration Ponding	0.00 FT
Min. Surface Area (Net)	21.08 SF
Fill Time	1 HR
Infiltration	0.0000 FT/HR
Depth of Soil	3.00 FT
Ponding Depth	0.50 FT
Landscape Sizing Computations	
Type of Practice	Tree Wells
Tree Spacing	32 FT
Number of Practices Proposed	1
Surface Area per Practice	21.08 SF
Width of Practice	4.00 FT
Min. Length of Practice	5.27 FT
Length of Practice	10.00 FT
Depth of Soil	3.00 FT
Soil Volume Provided	120.00 CF
Additional Soil Volume Required	330.00 CF

WATER QUALITY VOLUME CALCULATIONS FOR BOX 10:

Contributing Drainage Area	
Roadway to be Treated	0 SF
Sidewalk to be Treated	264 SF
Contributing Drainage Area	264 SF
Treatment Volume Required	11.00 CF
Water Quality Sizing Computations	
Min. Surface Area (Gross)	22.00 SF
Infiltration Ponding	0.00 FT
Min. Surface Area (Net)	22.00 SF
Fill Time	1 HR
Infiltration	0.0000 FT/HR
Depth of Soil	3.00 FT
Ponding Depth	0.50 FT
Landscape Sizing Computations	
Type of Practice	Tree Wells
Tree Spacing	32 FT
Number of Practices Proposed	1
Surface Area per Practice	22.00 SF
Width of Practice	4.00 FT
Min. Length of Practice	5.50 FT
Length of Practice	10.00 FT
Depth of Soil	3.00 FT
Soil Volume Provided	120.00 CF
Additional Soil Volume Required	330.00 CF

WATER QUALITY VOLUME CALCULATIONS FOR BOX 11:

Contributing Drainage Area	
Roadway to be Treated	0 SF
Sidewalk to be Treated	295 SF
Contributing Drainage Area	295 SF
Treatment Volume Required	12.29 CF
Water Quality Sizing Computations	
Min. Surface Area (Gross)	24.58 SF
Infiltration Ponding	0.00 FT
Min. Surface Area (Net)	24.58 SF
Fill Time	1 HR
Infiltration	0.0000 FT/HR
Depth of Soil	3.00 FT
Ponding Depth	0.50 FT
Landscape Sizing Computations	
Type of Practice	Tree Wells
Tree Spacing	32 FT
Number of Practices Proposed	1
Surface Area per Practice	24.58 SF
Width of Practice	4.00 FT
Min. Length of Practice	6.15 FT
Length of Practice	10.00 FT
Depth of Soil	3.00 FT
Soil Volume Provided	120.00 CF
Additional Soil Volume Required	330.00 CF



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DEPARTMENT OF PLANNING & ZONING
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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____

DATE	REVISION

Project Name:1200 North Henry Street

Date:

Linear Development Project?No

CLEAR ALL
(Ctrl+Shift+R)

data input cells

constant values

calculation cells

final results

Site Information

Post-Development Project (Treatment Volume and Loads)

Enter Total Disturbed Area (acres) →1.28

Maximum reduction required:20%

The site's net increase in impervious cover (acres) is:0

Post-Development TP Load Reduction for Site (lb/yr):0.32

Check:
BMP Design Specifications List: 2013 Draft Stds & Specs
Linear project? No
Land cover areas entered correctly? ✓
Total disturbed area entered? ✓
Total disturbed area > Post-Development area!

Pre-ReDevelopment Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed forest/open space					0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				0.04	0.04
Impervious Cover (acres)				0.76	0.76
					0.80

Post-Development Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested					0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				0.05	0.05
Impervious Cover (acres)				0.75	0.75
Area Check	OK	OK	OK	OK	0.80

Constants

Annual Rainfall (inches)	43
Target Rainfall Event (inches)	1.00
Total Phosphorus (TP) EMC (mg/L)	0.26
Total Nitrogen (TN) EMC (mg/L)	1.86
Target TP Load (lb/acre/yr)	0.41
Pj (unitless correction factor)	0.90

Runoff Coefficients (Rv)

	A Soils	B Soils	C Soils	D Soils
Forest/Open Space	0.02	0.03	0.04	0.05
Managed Turf	0.15	0.20	0.22	0.25
Impervious Cover	0.95	0.95	0.95	0.95

LAND COVER SUMMARY -- PRE-REDEVELOPMENT

Land Cover Summary-Pre		
Pre-ReDevelopment	Listed	Adjusted ¹
Forest/Open Space Cover (acres)	0.00	0.00
Weighted Rv(forest)	0.00	0.00
% Forest	0%	0%
Managed Turf Cover (acres)	0.04	0.04
Weighted Rv(turf)	0.25	0.25
% Managed Turf	5%	5%
Impervious Cover (acres)	0.76	0.76
Rv(impervious)	0.95	0.95
% Impervious	95%	95%
Total Site Area (acres)	0.80	0.80
Site Rv	0.91	0.91

Treatment Volume and Nutrient Load

Pre-ReDevelopment Treatment Volume (acre-ft)	0.0611	0.0611
Pre-ReDevelopment Treatment Volume (cubic feet)	2,660	2,660
Pre-ReDevelopment TP Load (lb/yr)	1.67	1.67
Pre-ReDevelopment TP Load per acre (lb/acre/yr)	2.08	2.08
Baseline TP Load (lb/yr) (0.41 lbs/acre/yr applied to pre-redevelopment area excluding previous land proposed for new impervious cover)		0.33

LAND COVER SUMMARY -- POST DEVELOPMENT

Land Cover Summary-Post (Final)		
Post ReDev. & New Impervious		
Forest/Open Space Cover (acres)	0.00	
Weighted Rv(forest)	0.00	
% Forest	0%	
Managed Turf Cover (acres)	0.05	
Weighted Rv (turf)	0.25	
% Managed Turf	6%	
Impervious Cover (acres)	0.75	
Rv(impervious)	0.95	
% Impervious	94%	
Final Site Area (acres)	0.80	
Final Post Dev Site Rv	0.91	

Treatment Volume and Nutrient Load

Final Post-Development Treatment Volume (acre-ft)	0.0606
Final Post-Development Treatment Volume (cubic feet)	2,638
Final Post-Development TP Load (lb/yr)	1.66
Final Post-Development TP Load per acre (lb/acre/yr)	2.07

Land Cover Summary-Post

Post-ReDevelopment	
Forest/Open Space Cover (acres)	0.00
Weighted Rv(forest)	0.00
% Forest	0%
Managed Turf Cover (acres)	0.05
Weighted Rv (turf)	0.25
% Managed Turf	6%
ReDev. Impervious Cover (acres)	0.75
Rv(impervious)	0.95
% Impervious	94%
Total ReDev. Site Area (acres)	0.80
ReDev Site Rv	0.91

Land Cover Summary-Post

Post-Development New Impervious	
New Impervious Cover (acres)	0.00
Rv(impervious)	--

TP Load Reduction Required for New Impervious Area (lb/yr)

TP Load Reduction Required for New Impervious Area (lb/yr)	0
--	---

Post-Development Requirement for Site Area

TP Load Reduction Required (lb/yr)0.32

Nitrogen Loads (Informational Purposes Only)

Pre-ReDevelopment TN Load (lb/yr)	11.95
Final Post-Development TN Load (Post-ReDevelopment & New Impervious) (lb/yr)	11.86

Drainage Area A

Drainage Area A Land Cover (acres)						
	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Forest/Open Space (acres)					0.00	0.00
Managed Turf (acres)					0.00	0.00
Impervious Cover (acres)				0.60	0.60	0.95
				Total	0.60	

CLEAR BMP AREAS

Total Phosphorus Available for Removal in D.A. A (lb/yr)	1.30
Post Development Treatment Volume in D.A. A (ft³)	2,063

Practice	Runoff Reduction Credit (%)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft³)	Runoff Reduction (ft³)	Remaining Runoff Volume (ft³)	Total BMP Treatment Volume (ft³)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (lb)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed By Practice (lb)	Remaining Phosphorus Load (lb)	Downstream Practice to be Employed
14. Manufactured Treatment Devices (no RR)													
14.a. Manufactured Treatment Device-Hydrodynamic	0		0.60	0	0	2,063	2,063	25	0.00	1.29	0.32	0.97	

Site Results (Water Quality Compliance)

Area Checks		D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Area Check
FOREST/OPEN SPACE (ac)	0.00	0.00	0.00	0.00	0.00		OK.
IMPERVIOUS COVER (ac)	0.60	0.00	0.00	0.00	0.00		OK.
IMPERVIOUS COVER TREATED (ac)	0.60	0.00	0.00	0.00	0.00		OK.
MANAGED TURF AREA (ac)	0.00	0.00	0.00	0.00	0.00		OK.
MANAGED TURF AREA TREATED (ac)	0.00	0.00	0.00	0.00	0.00		OK.
	OK.	OK.	OK.	OK.	OK.		

Site Treatment Volume (ft ³)	2,638
--	-------

Runoff Reduction Volume and TP By Drainage Area

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	TOTAL
RUNOFF REDUCTION VOLUME ACHIEVED (ft ³)	0	0	0	0	0	0
TP LOAD AVAILABLE FOR REMOVAL (lb/yr)	1.30	0.00	0.00	0.00	0.00	1.30
TP LOAD REDUCTION ACHIEVED (lb/yr)	0.32	0.00	0.00	0.00	0.00	0.32
TP LOAD REMAINING (lb/yr)	0.97	0.00	0.00	0.00	0.00	0.97

NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	0.00	0.00	0.00	0.00	0.00	0.00
--	------	------	------	------	------	------

Total Phosphorus	
FINAL POST-DEVELOPMENT TP LOAD (lb/yr)	1.66
TP LOAD REDUCTION REQUIRED (lb/yr)	0.32
TP LOAD REDUCTION ACHIEVED (lb/yr)	0.32
TP LOAD REMAINING (lb/yr):	1.33

REMAINING TP LOAD REDUCTION REQUIRED (lb/yr): 0.00 **
**No further TP load reduction required

Total Nitrogen (For Information Purposes)

POST-DEVELOPMENT LOAD (lb/yr)	11.86
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	0.00
REMAINING POST-DEVELOPMENT NITROGEN LOAD (lb/yr)	11.86

STORM WATER QUALITY NARRATIVE (CITY CODE SECTION 13-109E COMPLIANCE):

THE PROPOSED REDEVELOPMENT (APPROXIMATELY 1.28 ACRES OF DISTURBANCE) GENERATES A NET DECREASE OF IMPERVIOUS AREA FROM PRE-DEVELOPMENT CONDITIONS. PER CITY CODE SECTION 13-109E(5)(g), DEVELOPMENT OF PRIOR DEVELOPED LANDS RESULTING IN NO NET INCREASE IN IMPERVIOUS AREA AND DISTURBING GREATER THAN 1 ACRE MUST RESULT IN A 20% DECREASE IN PHOSPHORUS LOADING FROM THE PRE-DEVELOPMENT TOTAL PHOSPHORUS LOAD.

THE VIRGINIA RUNOFF REDUCTION METHOD WAS UTILIZED TO DETERMINE THE STORM WATER QUALITY MANAGEMENT PERFORMANCE REQUIREMENTS FOR THIS PROJECT. A MANUFACTURED TREATMENT DEVICE (HYDRODYNAMIC FACILITY) IS PROPOSED WITH THIS DEVELOPMENT TO TREAT THE MAJORITY OF RUNOFF FROM THE ROOF OF THE PROPOSED BUILDING. THE REQUIRED REDUCTION IN TOTAL PHOSPHOROUS IS 0.32 LB AND THE REDUCTION ACHIEVED (0.32 LB) MEETS THE REQUIRED 20% REDUCTION (SEE SPREADSHEET ON THIS SHEET). THEREFORE, THE WATER QUALITY MANAGEMENT PERFORMANCE REQUIREMENTS FOR THE PROPOSED DEVELOPMENT PER CITY CODE SECTION 13-109E-5(a) HAVE BEEN MET.

A CONTRIBUTION TO THE ALEXANDRIA WATER QUALITY IMPROVEMENT FUND WILL BE MADE FOR THAT PORTION OF THE WATER QUALITY VOLUME NOT TREATED IN COMPLIANCE WITH CITY CODE SECTION 13-109E-(9) AND SECTION 13-110.

APPROVED	
SPECIAL USE PERMIT NO. <u>2017-0020</u>	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
DATE RECORDED _____	DATE _____
INSTRUMENT NO. _____	DEED BOOK NO. _____
DATE _____	

DESIGN: ACS
DRAWN: BAD
SCALE: AS NOTED
DATE: MAY 2018

STORMWATER QUALITY COMPUTATIONS

SHEET 9 OF 13

FILE: 17-181

\\A\2017\17181\DWG\DELVA 10 STORMWATER OUTFALL ANALYSIS.dwg
Wed Jun 20 2018 - 11:15:59am

STORMWATER OUTFALL NARRATIVE:

PRE-DEVELOPMENT CONDITIONS:
THE 0.80 ACRE SITE IS LOCATED IN THE POTOMAC RIVER WATERSHED. IN EXISTING CONDITIONS, THE SITE CONSISTS OF A RETAIL CENTER WITH ASSOCIATED PARKING AND VERY LITTLE LANDSCAPED OPEN SPACE. THE PROJECT SITE HAS TWO OUTFALL POINTS.

OUTFALL #1: THE MAJORITY OF THE PROJECT SITE DRAINS TO THE EXISTING STORM SYSTEM IN THE NORTH HENRY STREET RIGHT-OF-WAY. RUNOFF FROM A PORTION OF THE BUILDING AND THE MAJORITY OF THE SURFACE PARKING IS COLLECTED IN AN UNDERGROUND STORM SEWER SYSTEM THAT CONNECTS TO THE CITY MAINTAINED STORM SEWER SYSTEM LOCATED IN THE NORTH HENRY STREET RIGHT-OF-WAY. DRAINAGE IS CONVEYED EAST INTO THE CITY STORM SEWER WHERE IT IS CONVEYED NORTH BY A 30" STORM SEWER, INTO A 48" STORM SEWER, AND EVENTUALLY OUTFALLS TO THE POTOMAC RIVER.

OUTFALL #2: THE REMAINDER OF THE RUNOFF FROM THE PROJECT SITE IS CONVEYED BY PIPED DOWNSPOUTS TO THE EXISTING CITY STORM SEWER IN NORTH FAYETTE STREET RIGHT-OF-WAY. ONCE WITHIN THE CITY STORM SEWER, IT IS CONVEYED NORTH TO A POINT WHERE IT JOINS WITH THE RUNOFF FROM OUTFALL #1. AT THIS POINT, THE TWO FLOW REGIMES COMBINE AND CONTINUE NORTH WITHIN A 48" STORM SEWER AND EVENTUALLY OUTFALL TO THE POTOMAC RIVER.

POST-DEVELOPMENT CONDITIONS:
THE REDEVELOPMENT OF THE PROJECT PROPOSES A MIXED USE BUILDING WITH IMPROVED STREETScape/OPEN SPACE. OVERALL IMPERVIOUS AREA WILL DECREASE WITH THE PROPOSED CONSTRUCTION AND THERE WILL BE ONE OUTFALL POINT (OUTFALL #1).

AS IN EXISTING CONDITIONS, RUNOFF FROM THE PROPOSED BUILDING IS COLLECTED IN AN UNDERGROUND STORM SEWER SYSTEM THAT CONNECTS TO THE CITY MAINTAINED STORM SEWER SYSTEM LOCATED IN THE NORTH HENRY STREET RIGHT-OF-WAY. THE OPEN SPACE ON-SITE WILL SHEETFLOW TO THE NORTH HENRY STREET RIGHT-OF-WAY AND BE COLLECTED BY THE EXISTING STORM SYSTEM IN PLACE. DRAINAGE IS CONVEYED EAST AND NORTH WHERE IT IS CONVEYED WITHIN A 30" AND 48" STORM PIPES AND EVENTUALLY OUTFALL TO THE POTOMAC RIVER.

CONCLUSION:
THE POINT OF OUTFALL FOR OUTFALL #1 IS AN EXISTING CURB INLET (LABELED EXISTING STRUCTURE 1 ON THIS SHEET) LOCATED EAST OF THE PROPERTY WITHIN NORTH HENRY STREET. THE DRAINAGE AREA TO THE OUTFALL POINT IS 1.22 ACRES. THE POINT OF CONFLUENCE IS WHERE THIS RECEIVING PIPE IS JOINED BY ANOTHER WATERSHED THAT IS AT LEAST 90% OF THE FIRST DRAINAGE AREA AT THE OUTFALL POINT. FOR OUTFALL #1, THE POINT OF CONFLUENCE IS AN EXISTING MANHOLE (LABELED AS EXISTING STRUCTURE 2) WITH A DRAINAGE AREA OF 6.62 ACRES (543% OF THE FIRST DRAINAGE AREA). THE LIMITS OF ANALYSIS INCLUDES ANALYZING THE OUTFALL SYSTEM 150' DOWNSTREAM OF THE POINT OF CONFLUENCE (ENDING AT THE EXISTING INLET LABELED AS EXISTING 4 ON THIS SHEET).

COMPUTATIONS SHOWN ON THIS SHEET DEMONSTRATE THAT THE EXISTING SYSTEM EXPERIENCES LOCALIZED FLOODING IN EXISTING CONDITIONS. THE PEAK FLOW RATE IS BEING REDUCED WITH THE PROPOSED DEVELOPMENT AS SHOWN ON SHEET 6. THE FLOOD PROTECTION FOR THIS SITE IS THEREFORE IN COMPLIANCE WITH SECTION 13-109F(2)(b)(ii). DUE TO SITE DRAINAGE OUTFALLING TO AN EXISTING UNDERSIZED MANMADE STORM SEWER SYSTEM, NO OFFSITE IMPROVEMENTS TO THE SYSTEM ARE REQUIRED.

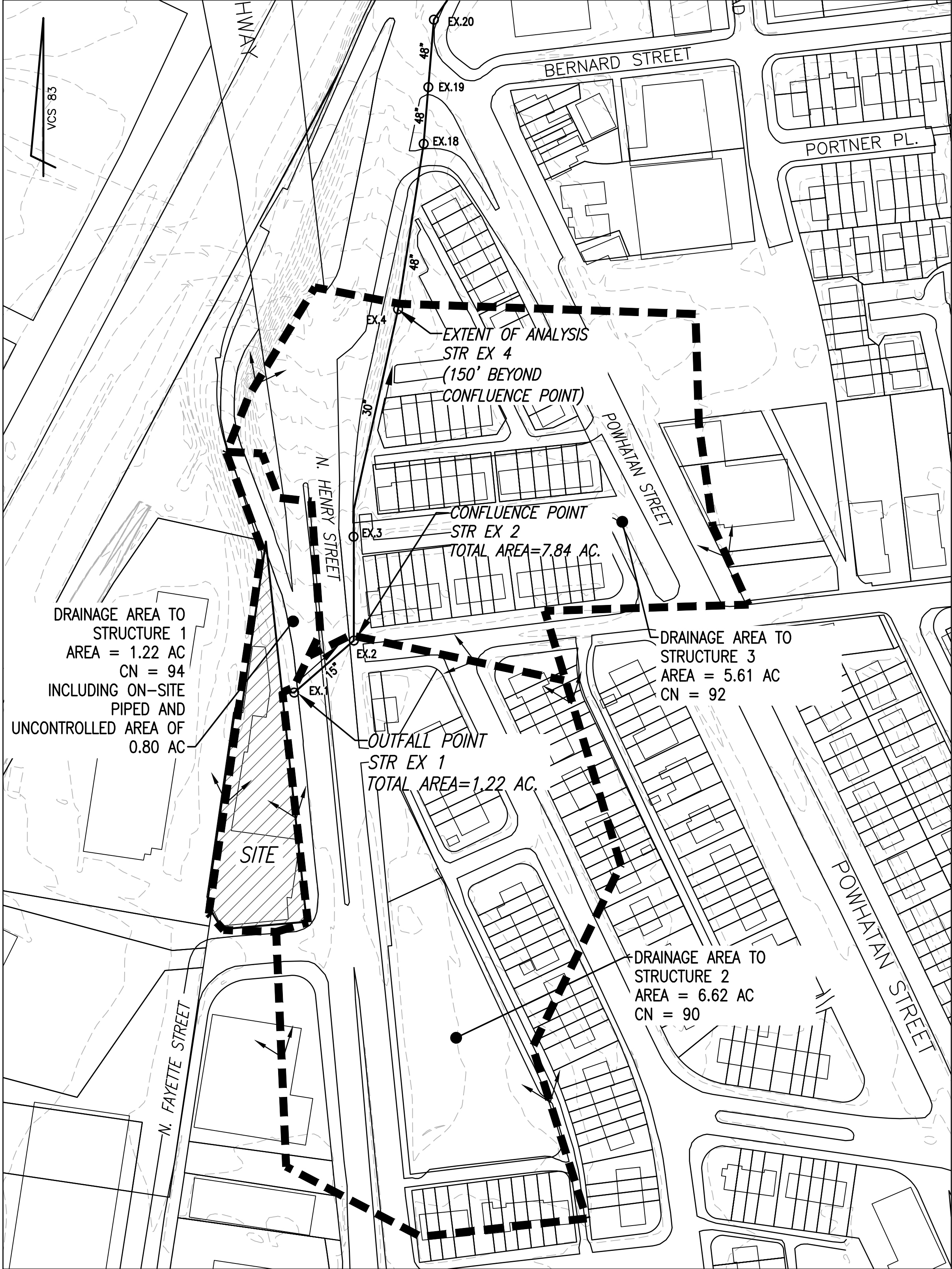
PER THE LIMITS OF ANALYSIS PER CITY CODE SECTION 13-109F-2(d)(i) AND REDUCED POST-DEVELOPMENT RUNOFF RATE FOR THE 10-YEAR, 24-HOUR STORM, THE PROJECT POST-DEVELOPMENT RUNOFF WILL NOT EXACERBATE ANY EXISTING DOWNSTREAM CAPACITY CONDITIONS.

STORM SEWER OUTFALL COMPUTATIONS

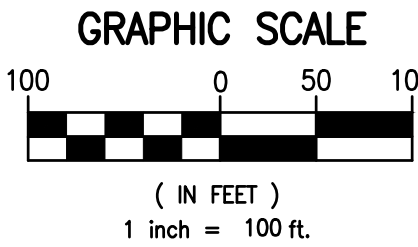
STRUCTURE		FROM	TO	INC. DRAINAGE AREA (AC)	ACCUM. DRAINAGE AREA (AC)	CURVE NUMBER (CN)	RAINFALL DEPTH (IN)	T _c (MINUTES)	INCREMENTAL "Q" (CFS)	ACCUMULATED "Q" (CFS)	PIPE DIAMETER (IN)	SLOPE (%)	"n"	MAXIMUM "Q" (CFS)	MAXIMUM VELOCITY (FPS)	LENGTH OF RUN (FT)	UPPER INVERT	LOWER INVERT	FALL (FT)
SITE	1	1.22	1.22	94	5.20	5	5.95	5.95	15	1.88%	0.013	8.85	7.23	96	45.00	43.20	1.80		
1	2	6.62	7.84	90	5.20	5	30.45	36.40	15	3.28%	0.013	11.70	9.56	136	43.20	38.74	4.46		
2	3	2.25	10.09	92	5.20	5	10.69	47.09	30	0.57%	0.013	31.06	6.35	136	37.49	36.71	0.78		
3	4	3.36	13.45	92	5.20	5	15.96	63.05	30	0.76%	0.013	35.79	7.31	310	36.61	34.25	2.36		

STORM SEWER OUTFALL HGL COMPUTATIONS

INLET ID	OUTLET WSE	D ₀ (in)	Q ₀	L ₀	S ₁₀ %	H _t	JUNCTION LOSS										FINAL H	INLET WSE	RIM/THROAT ELEV	FREE BOARD
							V ₀	H ₀	Q _t	V _t	Q _t *V _t	V _t ² /2g	H _t	ANGLE	H ₀	H _t				
4	36.25	30.00	63.05	310.00	0.148%	0.4591	7.30	0.207	47.09	6.33	298.08	0.62	0.22	0.00	0.000	0.42	0.67	36.92	56.00	19.08
3	38.71	30.00	47.09	136.00	0.083%	0.1124	6.33	0.156	36.40	9.56	347.98	1.42	0.50	0.00	0.000	0.65	-	39.15	54.71	15.56
2	39.74	15.00	36.40	136.00	1.988%	2.7039	9.56	0.355	5.95	7.24	43.08	0.81	0.28	45.00	0.250	0.64	-	3.02	42.76	6.18
1	44.20	15.00	5.95	96.00	0.046%	0.0442	7.24	0.203	5.95	7.24	43.08	0.81	0.28	45.00	0.250	0.74	-	0.37	44.61	2.89



OUTFALL MAP
SCALE: 1" = 100'



NOTE: STORM SEWER OUTFALL INFORMATION PROVIDED BY FIELD SURVEY AND CITY GIS DATA.

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ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.

APPROVED
SPECIAL USE PERMIT NO. 2017-0020
DEPARTMENT OF PLANNING & ZONING
DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____

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Commonwealth of Virginia
ANDREA SPRUCH
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JUNE 21, 2018
PROFESSIONAL ENGINEER

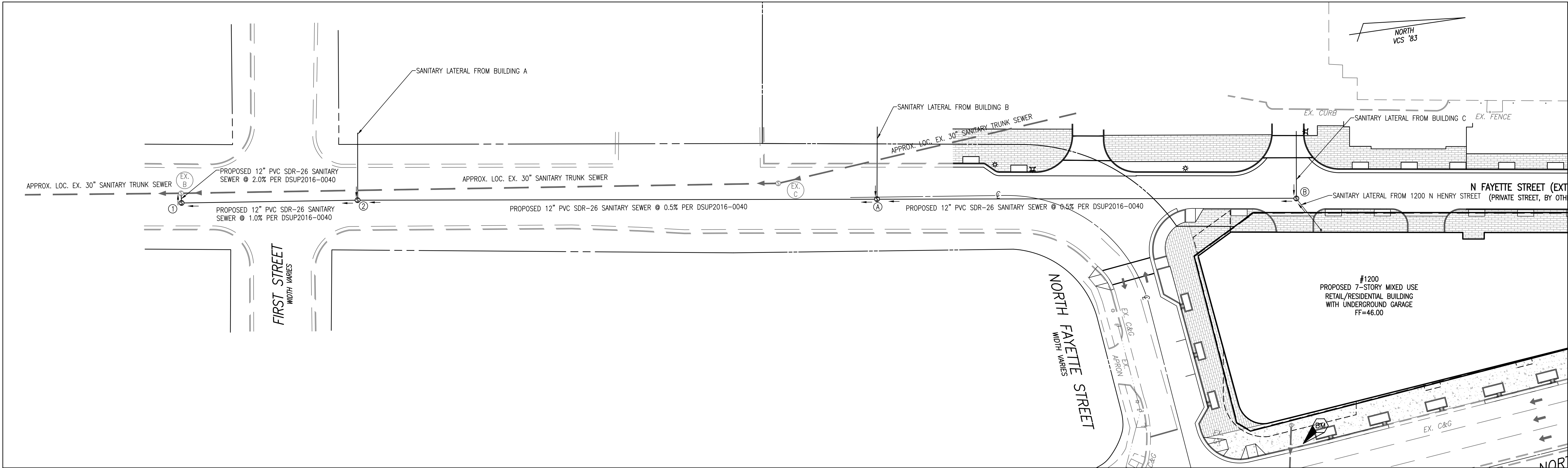
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
1200 NORTH HENRY STREET
CITY OF ALEXANDRIA, VIRGINIA

DATE REVISION

DESIGN: ACS
DRAWN: BAD
SCALE: AS NOTED
DATE: MAY 2018

STORMWATER
OUTFALL
ANALYSIS

SHEET 10 OF 13
FILE: 17-181



EXISTING CONDITION									
BLD #	NAME	USE	DESIGN FLOW	UNIT	SIZE	GAL/DAY	CFS	PEAK CFS (X4)	
C	BRADDOCK GATEWAY PHASE III	RETAIL	200	SF	8,242	1,648	0.003	0.010	
C	BRADDOCK GATEWAY PHASE III	MULTI-FAMILY	300	UNIT	370	111,000	0.172	0.687	
B	BRADDOCK GATEWAY PHASE II	RETAIL	200	SF	8,169	1,634	0.003	0.010	
B	BRADDOCK GATEWAY PHASE II	MULTI-FAMILY	300	UNIT	258	77,400	0.120	0.479	
A	BRADDOCK GATEWAY PHASE I	RETAIL	200	SF	1,500	300	0.000	0.002	
A	BRADDOCK GATEWAY PHASE I	MULTI-FAMILY	300	UNIT	270	81,000	0.125	0.501	
					TOTAL	272,982	0.422	1.690	
PROPOSED CONDITION									
1200	1200 N HENRY	RETAIL	200	SF	28,500	5,700	0.009	0.035	
1200	1200 N HENRY	MULTI-FAMILY	300	UNIT	115	34,500	0.053	0.214	
					TOTAL	40,200	0.062	0.249	

SANITARY SEWER OUTFALL CALCULATIONS:

THE AVERAGE DAY AND PEAK HOUR WASTEWATER DISCHARGE FLOW CALCULATIONS WERE COMPUTED USING THE METHOD PROVIDED BY THE CITY OF ALEXANDRIA IN MEMORANDUM TO INDUSTRY NO. 06-14. THE PROPOSED USE FOR THIS PROJECT WILL BE RETAIL AND MULTI-FAMILY. THE AVERAGE DAILY FLOW IS DESCRIBED BELOW:

RETAIL: 200 GPD/1000 SF = 200 GPD/1000 SF X 28,500 SF = 5,700 GPD
MULTI-FAMILY: 300 GPD/UNIT: 300 GPD/UNIT X 115 UNITS = 34,500 GPD

TO ACCOUNT FOR THE DAILY PEAK PERIOD, THE ABOVE FLOW IS MULTIPLIED BY A FACTOR OF 4:

5,700 GPD X 4 = 22,800 GPD
34,500 CFS X 4 = 138,000 CFS
TOTAL PEAK FLOW = 160,800 GPD OR 0.25 CFS

SANITARY SEWER OUTFALL NOTE:

THIS PROJECT IS ANTICIPATED TO GENERATE AN INCREASE IN EXCESS OF 10,000 GPD IN SANITARY WASTE OUTFLOW. A FLOW OF APPROXIMATELY 40,200 GPD IS EXPECTED FOR THIS DEVELOPMENT RESULTING IN A PEAK FLOW OF 160,800 GPD. THEREFORE, THE PROJECT IS SUBJECT TO A SANITARY SEWER OUTFALL ANALYSIS. THIS SANITARY SEWER OUTFALL ANALYSIS SHOWS ADEQUACY OF SANITARY SEWER OUTFALL IN ACCORDANCE WITH MEMO TO INDUSTRY 06-14.

THIS PROJECT WILL CONNECT TO A CITY OF ALEXANDRIA 12" SANITARY SEWER AT STRUCTURE B (PROPOSED PER DSUP2016-0040), ADJACENT TO THIS SITE WITHIN NORTH FAYETTE STREET EXTENSION (A PRIVATE STREET). SANITARY FLOW IS THEN CONVEYED SOUTH THROUGH A CITY OF ALEXANDRIA 12" SANITARY SEWER AND CONTINUE THROUGH STRUCTURES A, 2, AND 1 BEFORE ULTIMATELY CONNECTING INTO AN EXISTING 30" SANITARY TRUNK SEWER AT AN EXISTING SANITARY MANHOLE, EX B. PER MEMORANDUM TO INDUSTRY NO. 06-14, THE LIMITS OF ANALYSIS FOR THE SANITARY SEWER ADEQUATE OUTFALL IS AT A POINT WHERE THE DOWNSTREAM SEWER HAS A MINIMUM DIAMETER OF 24". THEREFORE, THE SANITARY SEWER ANALYSIS CONCLUDES AT STRUCTURE EX B. THE SANITARY SEWER FROM B TO EXISTING B WILL BE INSTALLED AS PART OF DSUP2016-0040 AND THE SIZES WITH INVERTS ARE BASED ON THE DESIGN PLANS ASSOCIATED WITH THAT PROJECT.

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ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.
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ADEQUATE SANITARY OUTFALL COMPUTATIONS																
STRUCTURE		BUILDING FLOW INCLUDED	INCREMENTAL "Q" (CFS)	ACCUMULATED "Q" (CFS)	PIPE DIAMETER (IN)	SLOPE (%)	"n"	FULL FLOW "Q" (CFS)	FULL FLOW VELOCITY (FPS)	LENGTH OF RUN (FT)	UPPER INVERT	LOWER INVERT	FALL (FT)	ACTUAL VELOCITY (FPS)	ACTUAL DEPTH (FT)	GRAVITY FLOW
FROM	TO															
B	A	1200, BUILDING C	0.95	0.95	12	0.50%	0.010	3.41	4.17	255.45	30.80	29.93	1.27	3.600	0.360	YES
A	2	BUILDING B	0.49	1.44	12	0.50%	0.010	3.42	4.18	327.44	29.28	27.64	1.64	4.090	0.470	YES
2	1	BUILDING A	0.50	1.94	12	1.00%	0.010	4.84	5.92	110.88	27.39	26.28	1.11	5.780	0.470	YES
1	EX B	-	0.00	1.94	12	2.00%	0.010	6.84	8.36	6.00	26.03	25.91	0.12	7.480	0.390	YES

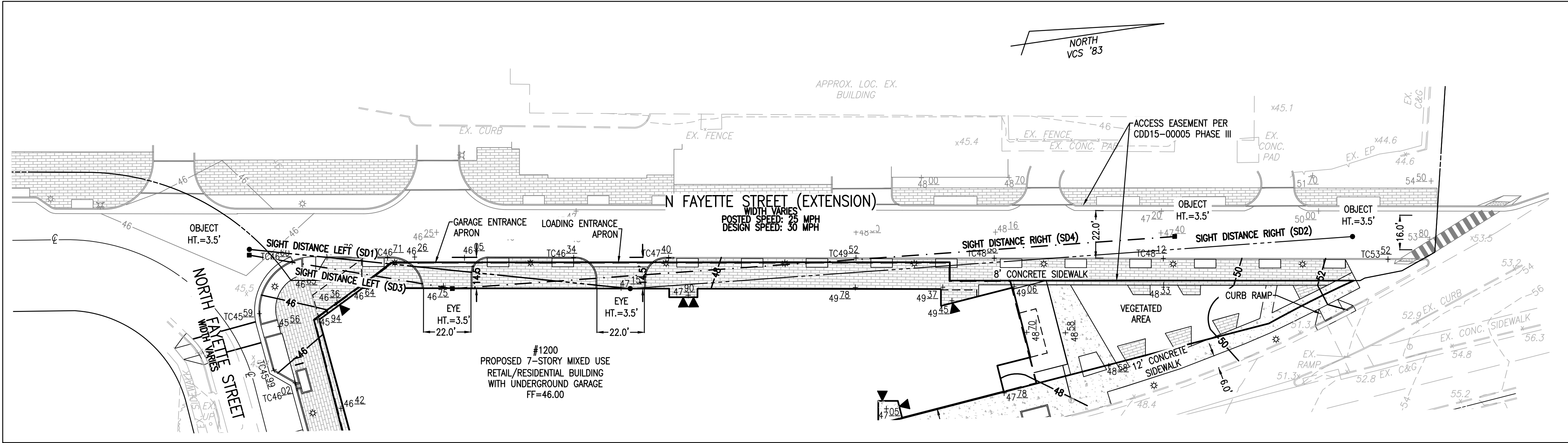
SANITARY HGL COMPUTATIONS

INLET ID	OUTLET WSE	D ₀ (in)	Q ₀	L ₀	S ₁₀ %	H _f	JUNCTION LOSS										FINAL H	INLET WSE	RIM/THROAT ELEV	FREE BOARD		
							V ₀	H ₀	Q ₁	V ₁	Q ₁ /V ₁	V ₁ ² /2g	H ₁	ANGLE	H _a	H _t					1.3	0.5
																					H _t	H _t
1	26.71	12	1.94	6.00	0.199%	0.0119	7.48	0.217	1.94	5.78	11.21	0.52	0.18	90.00	0.360	0.76	-	0.38	0.39	27.10	46.00	18.90
2	27.10	12	1.94	110.88	0.199%	0.2207	5.78	0.130	1.44	4.09	5.89	0.26	0.09	0.00	0.000	0.22	-	0.11	0.33	27.43	47.23	19.80
A	28.44	12	1.44	327.44	0.018%	0.0596	4.09	0.065	0.96	3.60	3.46	0.20	0.07	0.00	0.000	0.14	-	0.07	0.13	28.57	45.02	16.45
B	30.33	12	0.95	255.45	0.001%	0.0025	3.60	0.050	0.96	3.60	3.46	0.20	0.07	0.00	0.000	0.12	-	0.06	0.06	30.39	46.25	15.86

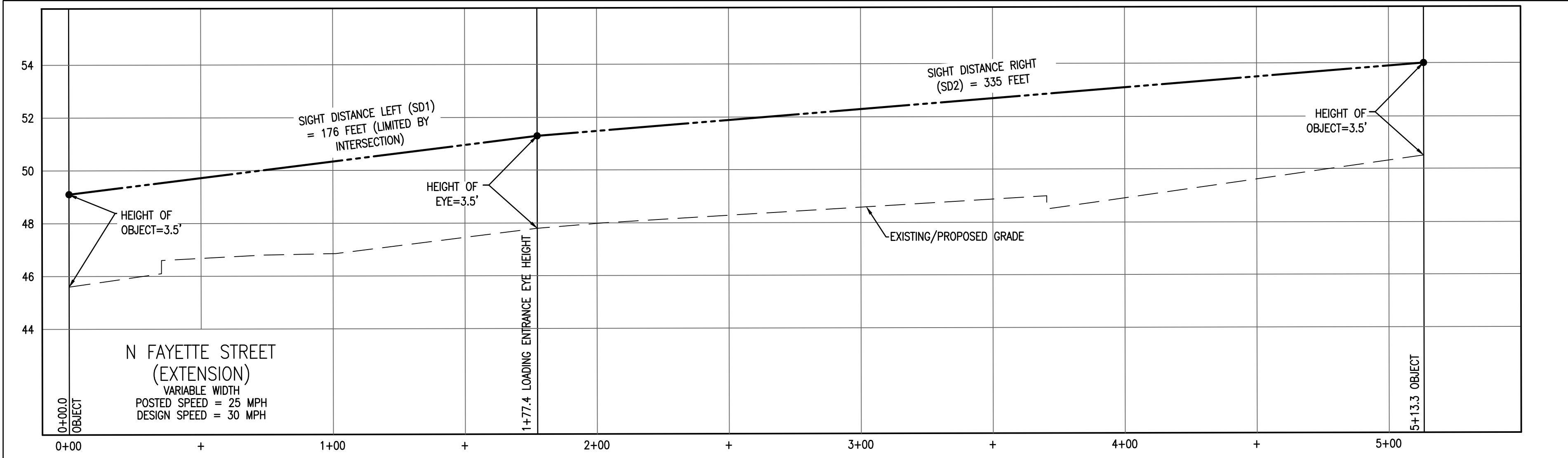
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SCALE: AS NOTED
DATE: MAY 2018

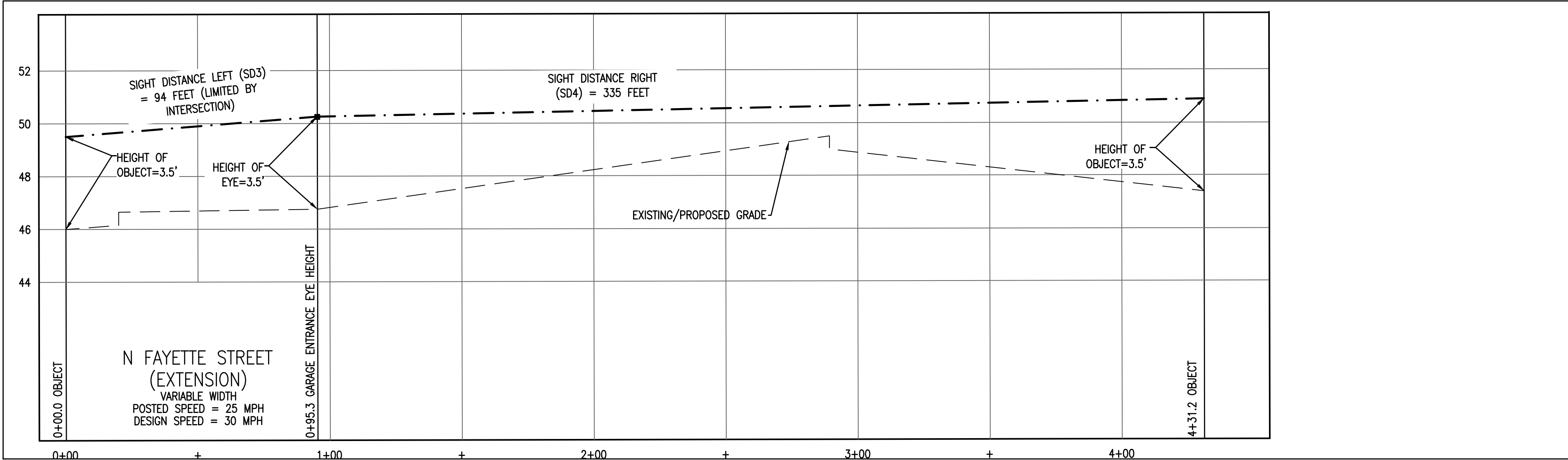
SANITARY OUTFALL ANALYSIS



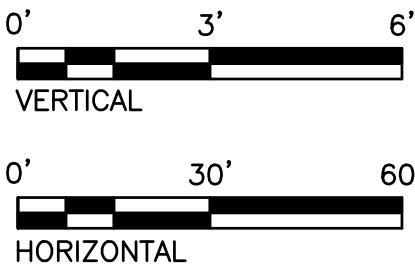
NORTH FAYETTE STREET EXTENSION SIGHT DISTANCE PLAN
SCALE: 1"=30'



LOADING DOCK ENTRANCE SIGHT DISTANCE PROFILE
SCALE - HORIZONTAL: 1"=30', VERTICAL 1"=3'



GARAGE ENTRANCE SIGHT DISTANCE PROFILE
SCALE - HORIZONTAL: 1"=30', VERTICAL 1"=3'



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ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.

NOTE:
GRADING OF NORTH FAYETTE STREET (EXTENSION)
PROVIDED BY BRADDOCK GATEWAY PHASE III PLAN
(DSUP2016-0040) DATED MARCH 7, 2018.

APPROVED
SPECIAL USE PERMIT NO. 2017-0020

DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE	
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
DATE	

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
1200 NORTH HENRY STREET
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION

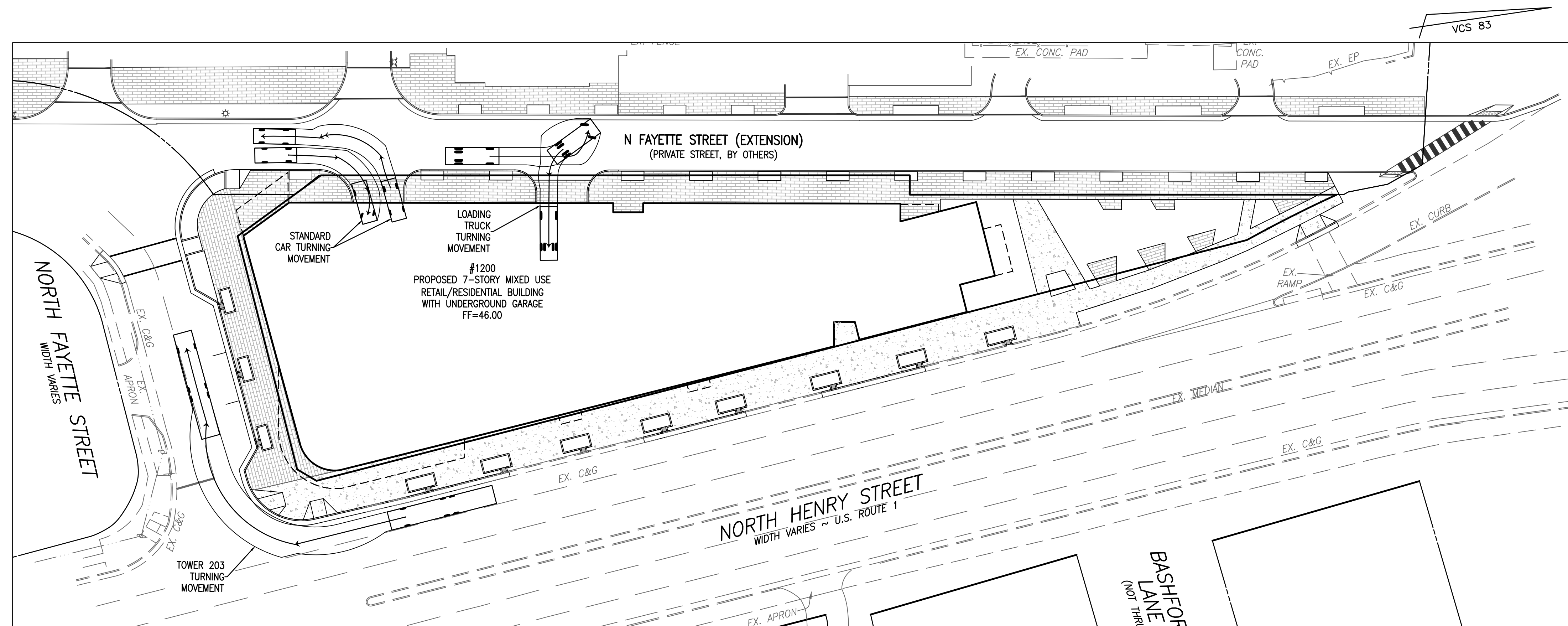
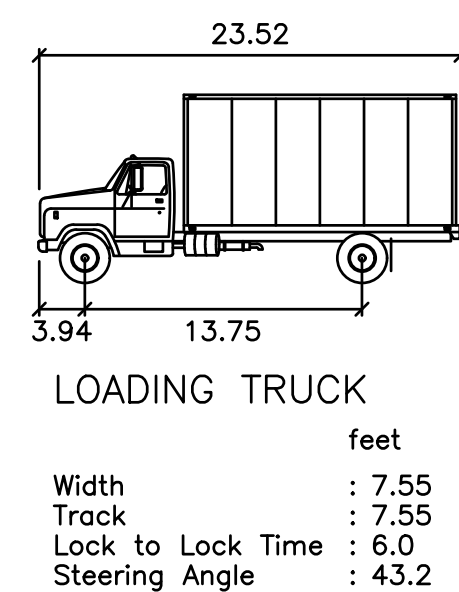
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DRAWN: BAD
SCALE: 1"=30'
DATE: MAY 2018

SIGHT
DISTANCE
PLAN AND
PROFILE

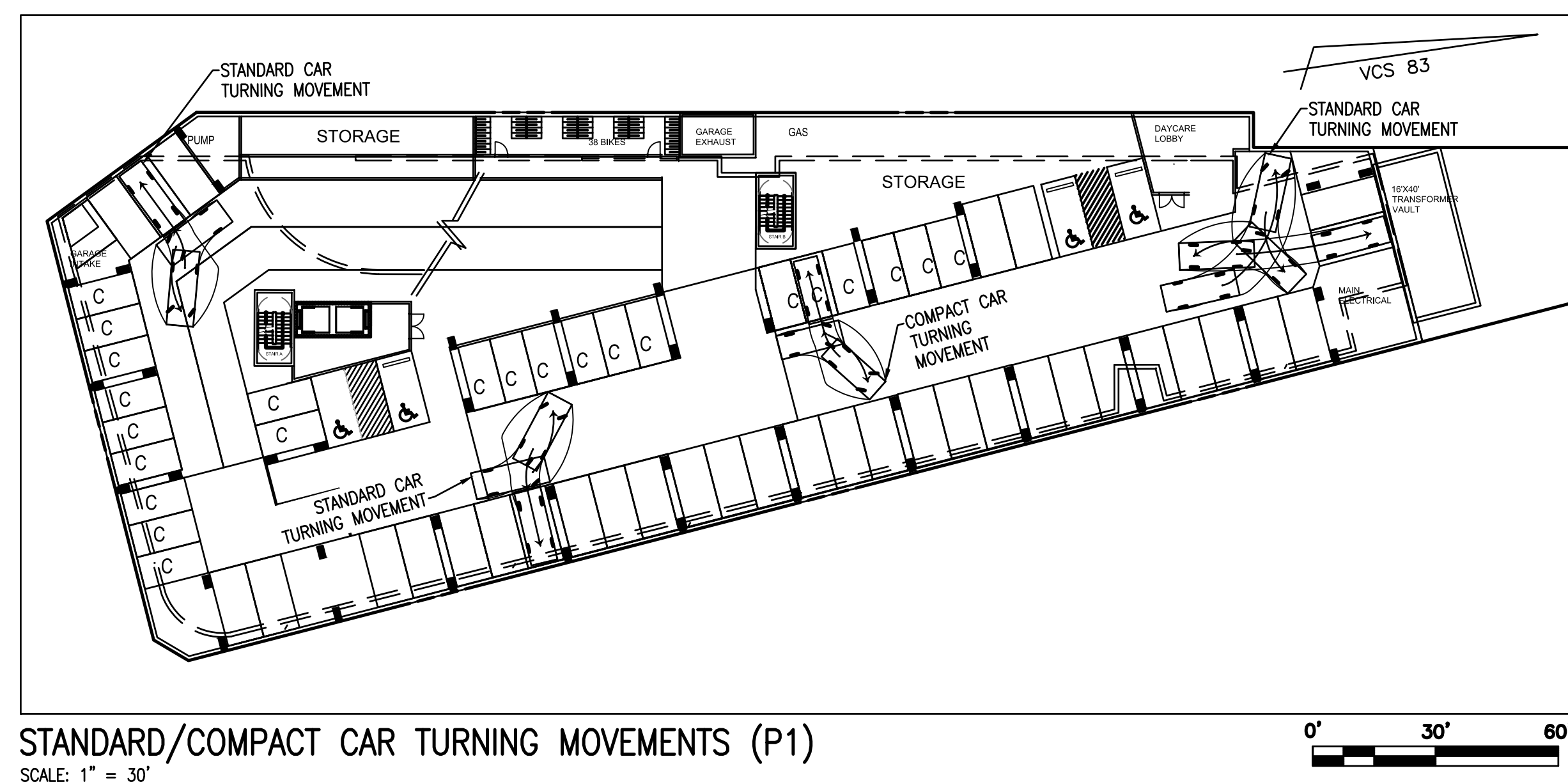
SHEET 12 OF 13
FILE: 17-181

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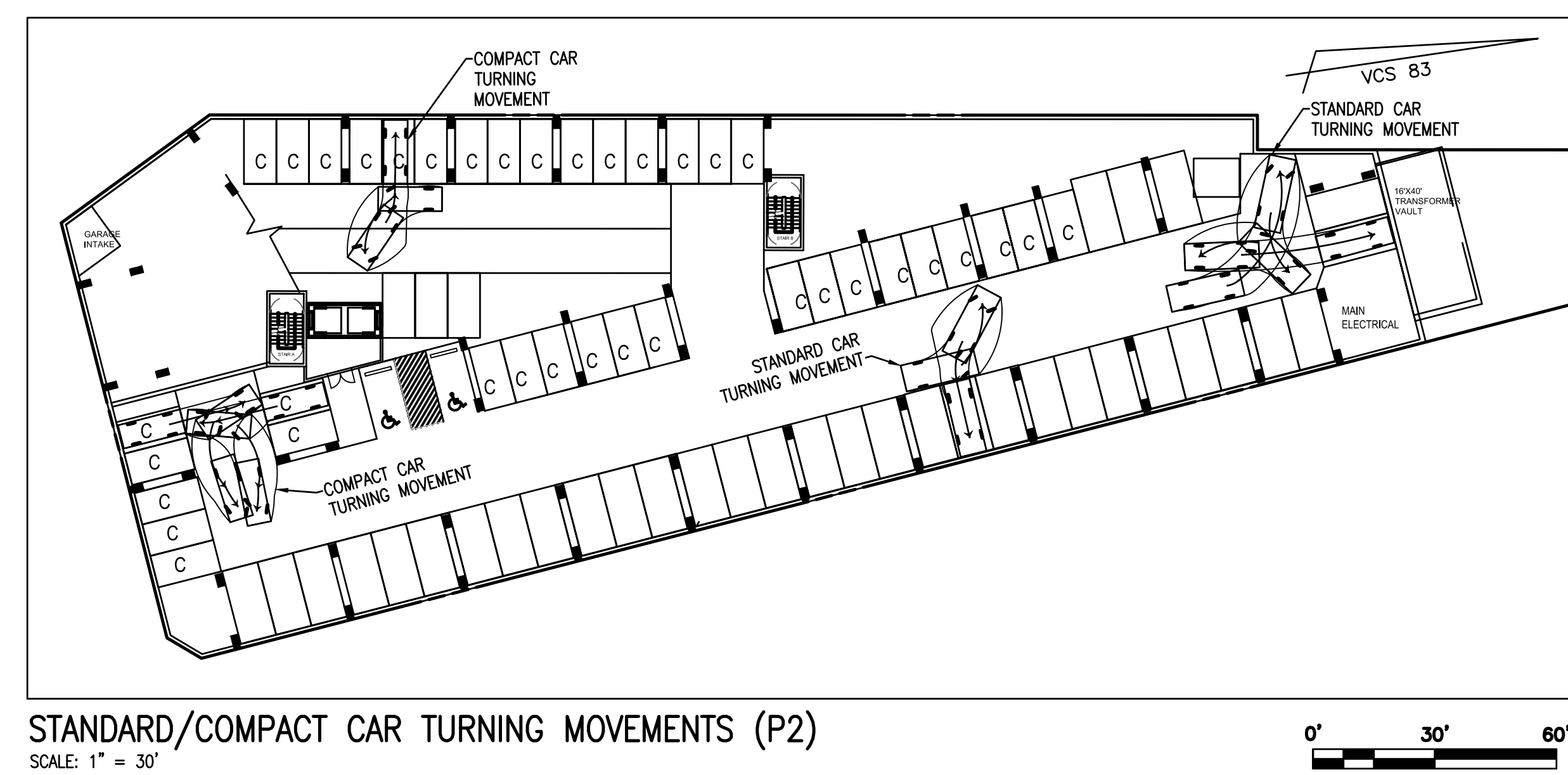
COMMONWEALTH OF VIRGINIA
ANDREA SPRUCH
Lic. No. 047863
JUNE 21, 2018
PROFESSIONAL ENGINEER



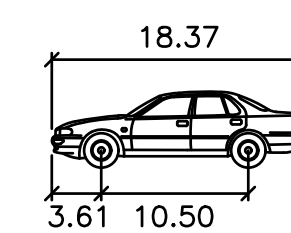
LOADING TRUCK AND EMERGENCY VEHICLE
SCALE: 1" = 30'



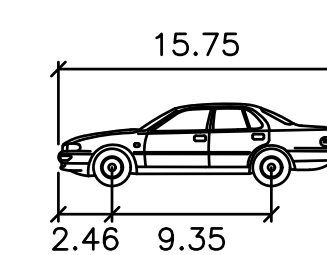
STANDARD/COMPACT CAR TURNING MOVEMENTS (P1)
SCALE: 1" = 30'



STANDARD/COMPACT CAR TURNING MOVEMENTS (P2)
SCALE: 1" = 30'



STANDARD CAR	
WIDTH:	6.56 feet
TRACK:	6.56
LOCK TO LOCK TIME:	6.0
STEERING ANGLE:	36.2



COMPACT CAR	
WIDTH:	5.91 feet
TRACK:	5.91
LOCK TO LOCK TIME:	6.0
STEERING ANGLE:	31.7

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APPROVED
SPECIAL USE PERMIT NO. 2017-0020

DEPARTMENT OF PLANNING & ZONING

 DIRECTOR DATE
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

S _____

72	DIRECTOR	DATE
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TO	CHAIRMAN, PLANNING COMMISSION	DATE
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10	CHAIRMAN, PLANNING COMMISSION	DATE
	DATE RECORDED	

	WATERWAY NO.	BECK DAM NO.	PA
OF			

INSTRUMENT NO.	DEED BOOK NO.	DATE

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PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

1200 NORTH HENRY STREET

CITY OF ALEXANDRIA, VIRGINIA

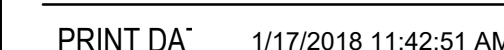
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SCALE: AS NOTED
DATE: MAY 2018

GARAGE TURNING MOVEMENTS

SHEET 13 OF 13

FILE: 17-181

REVISION DATE

1200 NORTH HENRY
STREET
ALEXANDRIA, VA

PROJECT NO. 3174

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_____ DATE

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CHAIRMAN, PLANNING COMMISSION

DATE RECORDED _____

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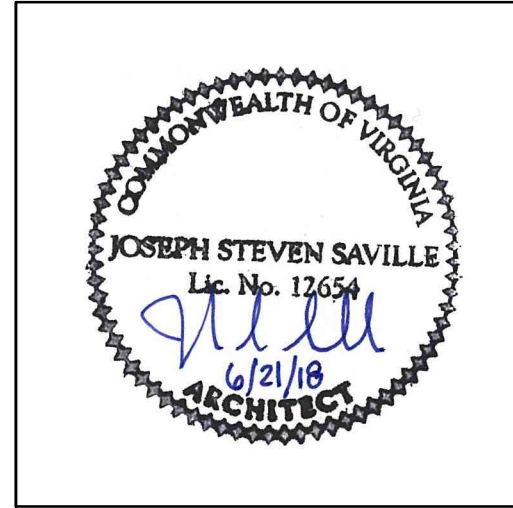
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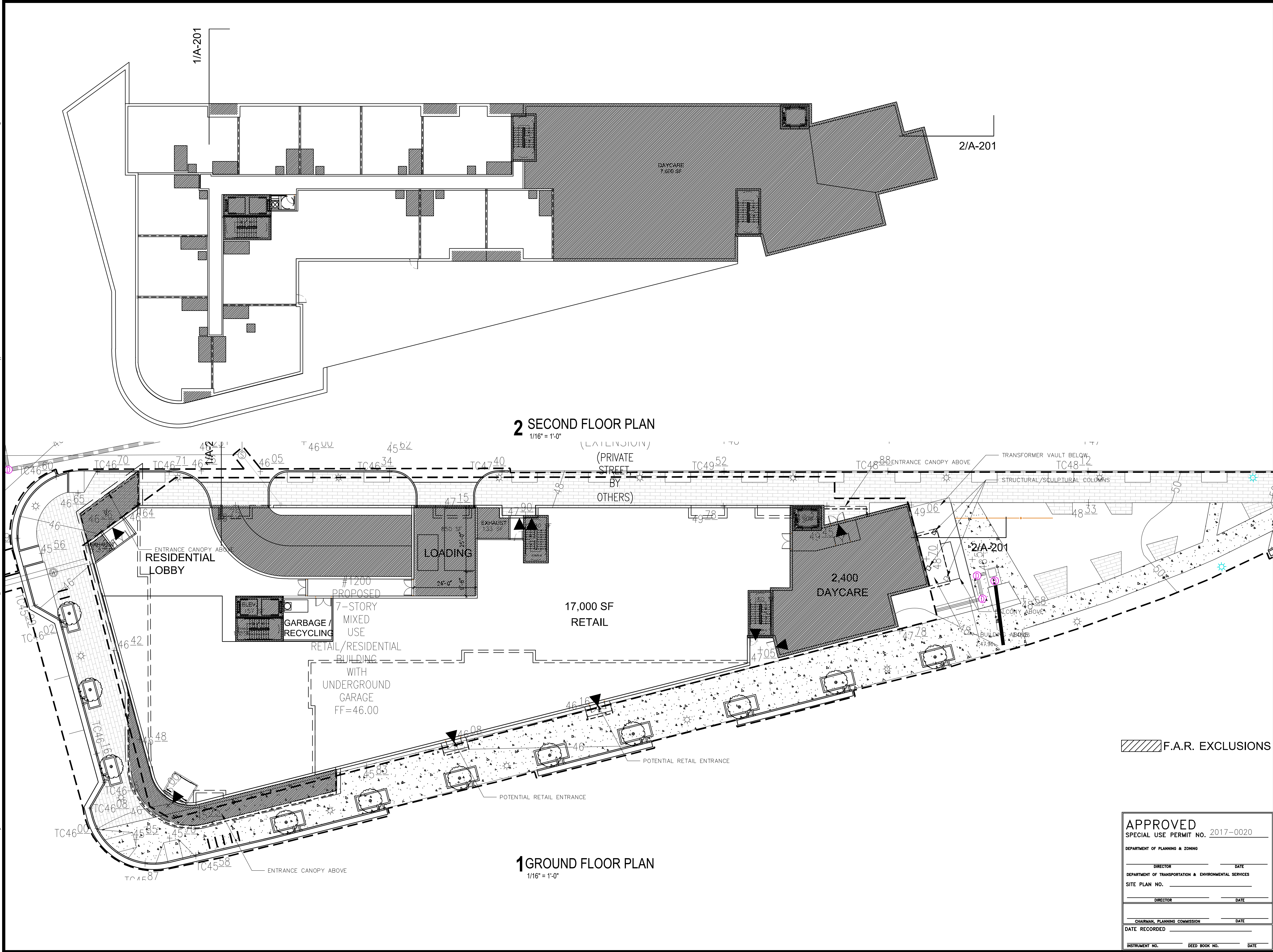
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CONCEPT PLAN II	02/16/18
PRELIMINARY COMPLETENESS	05/09/18
VERIFICATION SUBMISSION	06/21/18
REVISION DATE	

PROJECT TITLE	
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT	
1200 NORTH HENRY STREET ALEXANDRIA, VA	
PROJECT NO.	317462

DRAWING TITLE
BUILDING PLANS

DRAWN BY	JB, JG
QC CHECKED BY	JS
CA REVIEWED BY	

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PROJECT TITLE
PRELIMINARY
DEVELOPMENT
SPECIAL USE
PERMIT

1200 NORTH HENRY
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ALEXANDRIA, VA

PROJECT NO. 31740

DRAWING TITLE

BUILDING PLANS

DRAWN BY J.B. JOHNSON

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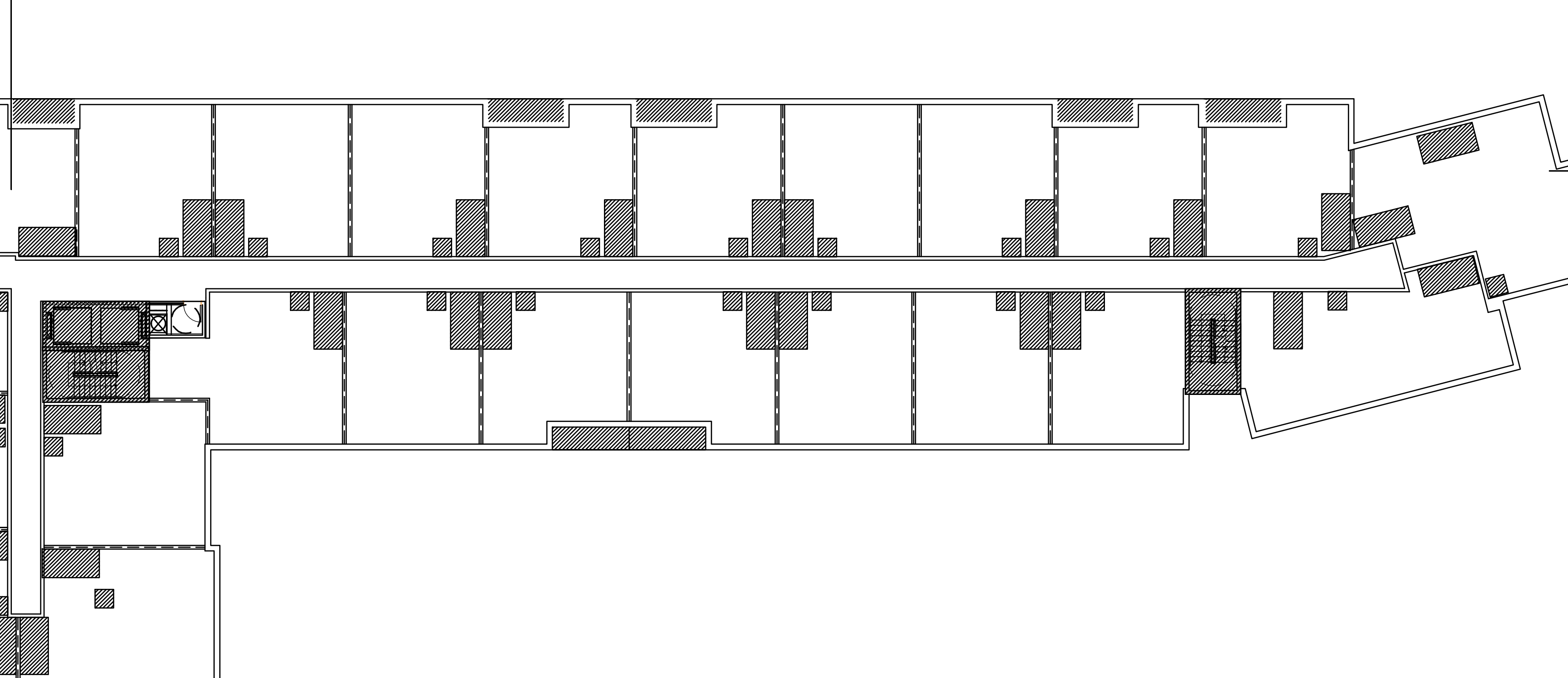
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4TH FLOOR PLAN

The 4th floor plan shows a long, narrow building layout. The plan is divided into two main sections by a central corridor. The left section contains several rooms, including a large room at the bottom left and a smaller room at the top left. The right section contains a long row of rooms, with a large room at the bottom right and a smaller room at the top right. The plan is labeled with '1/A-201' at the top left and '2/A-201' at the top right. The title '4TH FLOOR PLAN' is located at the bottom center.

2 4TH FLOOR PLAN

$$1/16" = 1'-0"$$

Architectural floor plan of a long, narrow building. The plan shows a central corridor with rooms on both sides. The rooms are divided by walls, and some contain furniture or equipment. A legend on the right indicates that hatched areas represent 'F' (Furniture). The label '2/A-20' is located on the right side of the plan.

1 3RD FLOOR PLAN
1/16" = 1'-0"

$$1/16'' = 1'-0''$$

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DATE

SITE PLAN NO. _____

DIRECTOR

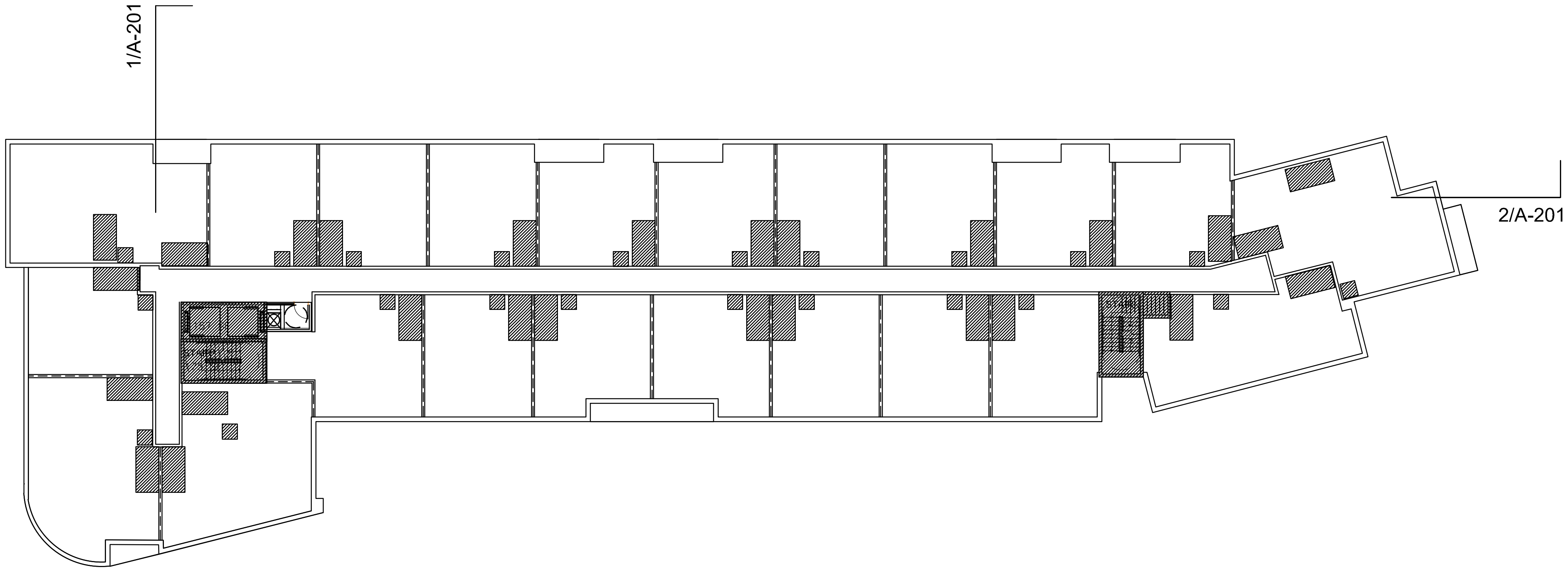
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10.1177/0013164414531000 *Journal of Interpersonal Violence* 30(18) 3291-3307 DOI: 10.1177/0013164414531000 © The Author(s) 2014

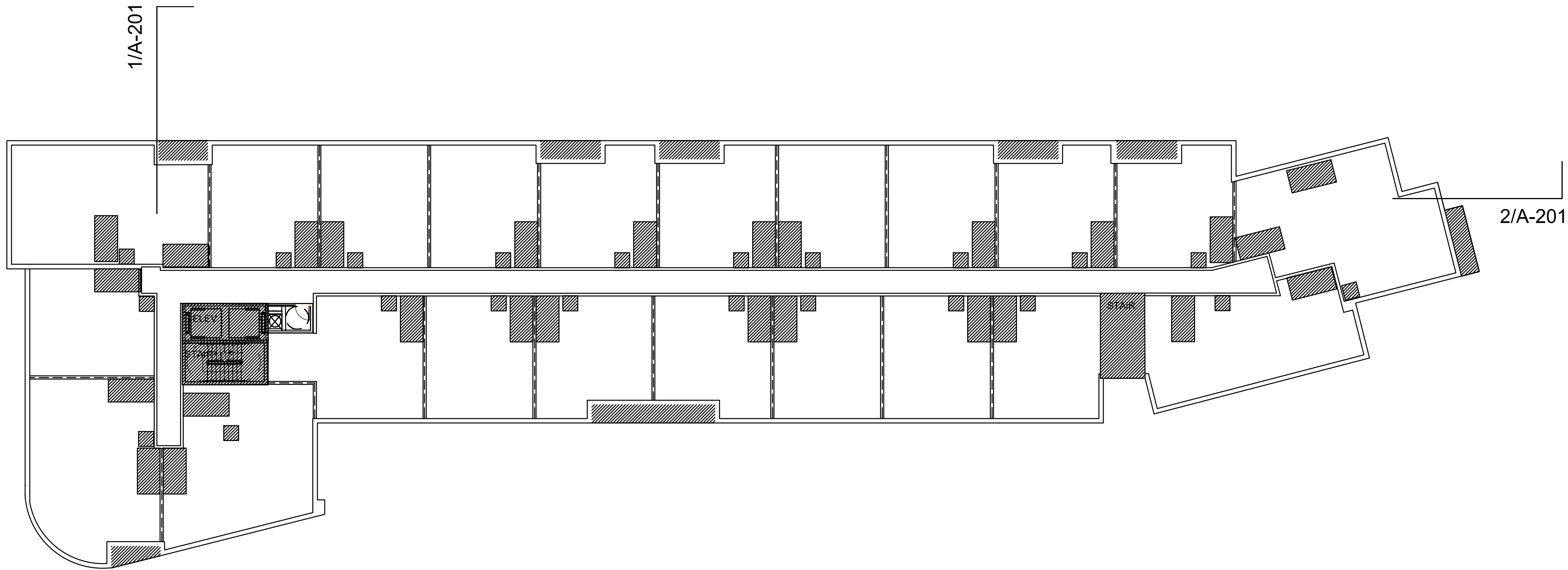
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1 6TH FLOOR PLAN
1/16" = 1'-0"



1 5TH FLOOR PLAN
1/16" = 1'-0"

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PROJECT TITLE

PRELIMINARY
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SPECIAL USE
PERMIT

1200 NORTH HENRY
STREET
ALEXANDRIA, VA

PROJECT NO. 317462

DRAWING TITLE

BUILDING
PLANS

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QC CHECKED BY JS

CA REVIEWED BY

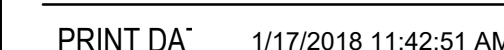
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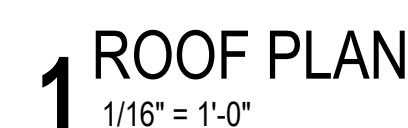
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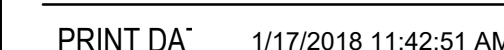
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1 7TH FLOOR PLAN

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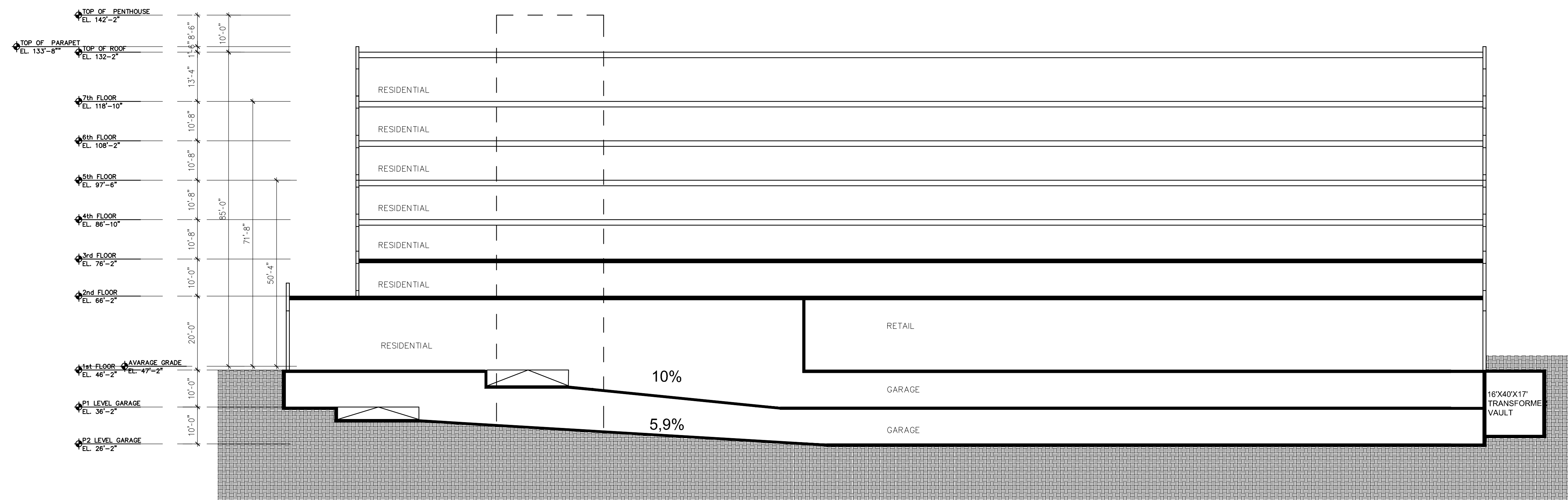
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CONCEPT PLAN I	09/22/08
CONCEPT PLAN II	02/16/09
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VERIFICATION SUBMISSION	06/27/09
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	PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT 1200 NORTH HENRY STREET ALEXANDRIA, VA
	PROJECT NO. 31746

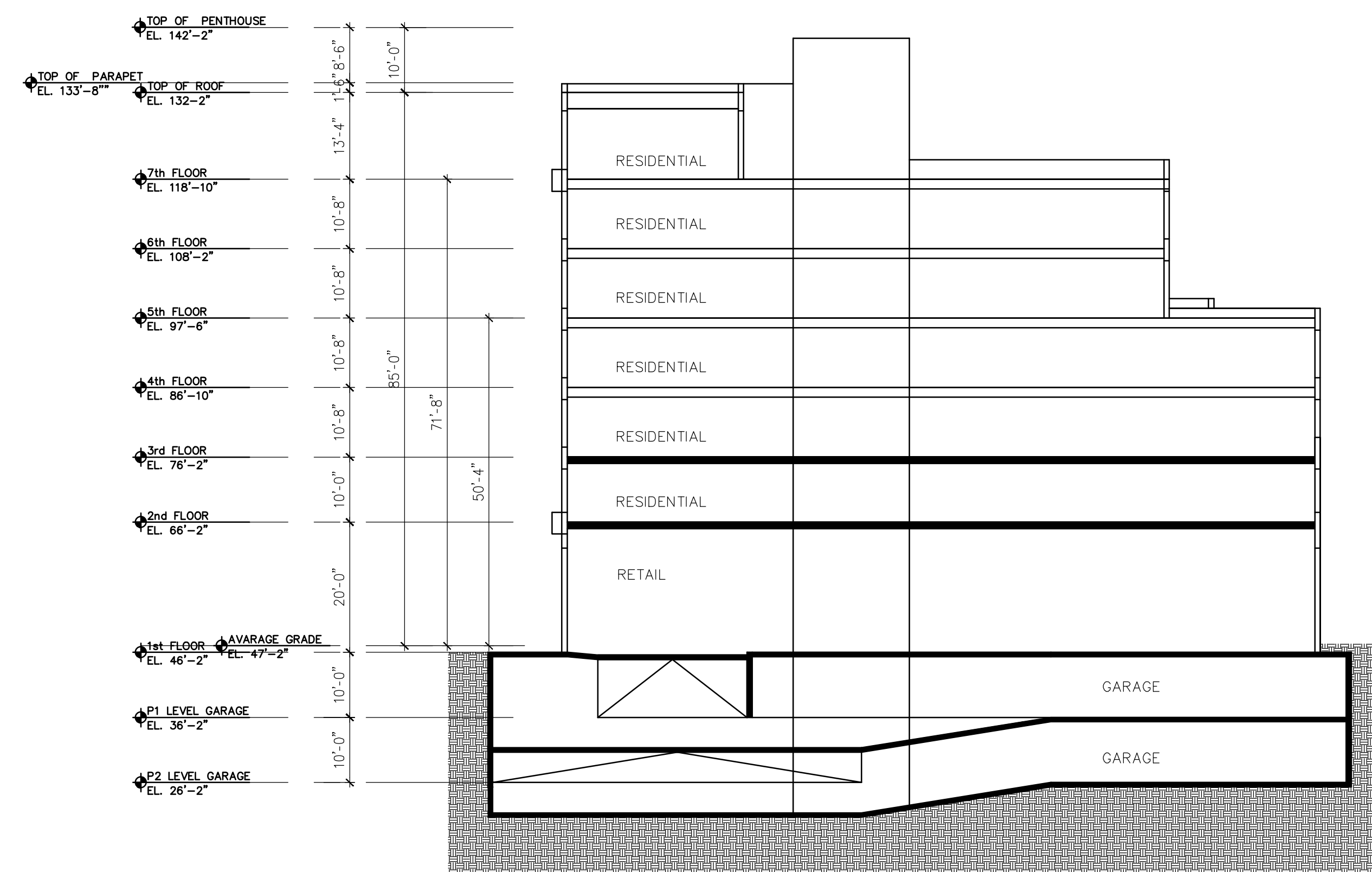
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	BUILDING SECTIONS

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2 LONGITUDINAL SECTION



1 CROSS SECTION
1/16" = 1'-0"

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DATE _____	



2 EAST ELEVATION
1/16" = 1'-0"



1 WEST ELEVATION
1/16" = 1'-0"

MATERIALS KEY

- 1 BRICK TYPE 1
- 2 BRICK TYPE 2
- 3 BRICK TYPE 3
- 4 PORCELAIN TILE TYPE 1
- 5 PORCELAIN TILE TYPE 2
- 6 FIBER CEMENT PANELS
- 7 PRECAST / CAST STONE
- 8 ALUMINUM / FIBERGLASS WINDOW - LOW "E" - CLEAR GLASS
- 9 ALUMINUM / FIBERGLASS WINDOW - SPANDREL GLASS
- 10 ARCHITECTURAL RAILING
- 11 SIGNAGE
- 12 METAL CANOPY
- 13 GARAGE DOOR - SECTIONAL DOOR W/ TRANSLUCENT PANELS
- 14 ARCHITECTURAL LOUVER
- 15 ALUMINUM STOREFRONT GLAZING SYSTEM
- 16 LIGHTWEIGHT INSULATED MASONRY CLADDING - NEWBRICK OR SIMILAR TYPE 1
- 17 LIGHTWEIGHT INSULATED MASONRY CLADDING - NEWBRICK OR SIMILAR TYPE 2
- 18 CONCRETE STRUCTURE - PAINTED
- 19 PERFORATED METAL MESH

KEY



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DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED	DATE
INSTRUMENT NO. DEED BOOK NO. DATE	

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PROJECT TITLE

PRELIMINARY
DEVELOPMENT
SPECIAL USE
PERMIT

1200 NORTH HENRY
STREET
ALEXANDRIA, VA

PROJECT NO. 317462

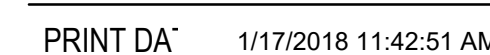
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BUILDING
ELEVATIONS

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A-301
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REVISION DATE

PROJECT TITLE

PRELIMINARY
DEVELOPMENT
SPECIAL USE
PERMIT

1200 NORTH HENRY
STREET
ALEXANDRIA, VA

PROJECT NO.	317462
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DRAWING TITLE

BUILDING ELEVATIONS

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DRAWING NUMBER

A-302

SHEET OF



1	BRICK TYPE 1
2	BRICK TYPE 2
3	BRICK TYPE 3
4	PORCELAIN TILE TYPE 1
5	PORCELAIN TILE TYPE 2
6	FIBER CEMENT PANELS
7	PRECAST / CAST STONE
8	ALUMINUM / FIBERGLASS WINDOW - LOW "E" - CLEAR GLASS
9	ALUMINUM / FIBERGLASS WINDOW - SPANDREL GLASS
10	ARCHITECTURAL RAILING
11	SIGNAGE
12	METAL CANOPY
13	GARAGE DOOR - SECTIONAL DOOR W/ TRANSLUCENT PANELS
14	ARCHITECTURAL LOUVER
15	ALUMINUM STOREFRONT GLAZING SYSTEM
16	LIGHTWEIGHT INSULATED MASONRY CLADDING - NEWBRICK OR SIMILAR TYPE 1
17	LIGHTWEIGHT INSULATED MASONRY CLADDING - NEWBRICK OR SIMILAR TYPE 2
18	CONCRETE STRUCTURE - PAINTED
19	PERFORATED METAL MESH

APPROVED
SPECIAL USE PERMIT NO. 2017-0020

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR

DATE

CHAIRMAN, PLANNING COMMISSION	DATE
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DATE RECORDED _____



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1 NORTH EAST - AERIAL VIEW



2 SOUTH EAST - AERIAL VIEW



3 SOUTH WEST - AERIAL VIEW



4 NORTH WEST - AERIAL VIEW



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SPECIAL USE PERMIT NO. 2017-0020

DEPARTMENT OF PLANNING & ZONING
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SITE PLAN NO. _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____
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PROJECT TITLE
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DEVELOPMENT
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PERMIT
1200 NORTH HENRY
STREET
ALEXANDRIA, VA
PROJECT NO. 317462

DRAWING TITLE
BUILDING
MASSING

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PROJECT NO.	31746
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A-403

SHEET OF



1 NORTH EAST - AERIAL VIEW

KEY



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DIRECTOR

DATE

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DIRECTOR **DATE**

CHAIRMAN. RI

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CITY OF ALEXANDRIA, VA

PARKER RODRIGUEZ, INC.
PLANNING URBAN DESIGN LANDSCAPE ARCHITECTURE

101 North Union St. #320
Alexandria VA 22314
703.548.5010

OWNER
1200 N HENRY, LLC
P.O. Box 1924
Alexandria, VA 22313

DEVELOPER
AVANTI HOLDINGS GROUP, LLC
1605 King Street
Suite 3
Alexandria, VA 22314
202.834.4355

CIVIL
L.C. FIELDS & ASSOCIATES, INC.
730 S. Washington Street
Alexandria, VA 22314
703.549-6422

ARCHITECT
AVIS, CARTER, SCOTT, LTD
614 Westwood Center Drive
Suite 800
Tysons, VA 22182
703.556.9275



VISIONS

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PRELIMINARY DEVELOPMENT
SPECIAL USE PERMIT 05.04.2018
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ORIGINAL ISSUE DATE

SIGNED BY _____

SIGNED BY _____

DRAWN BY

DRAWN BY

CHECKED BY _____

CHECKED BY _____
TO _____

NORTH

NORTH



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SCALE
1" = 20'-0"

SCALE
1" = 20'-0"

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Year	1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099
1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	

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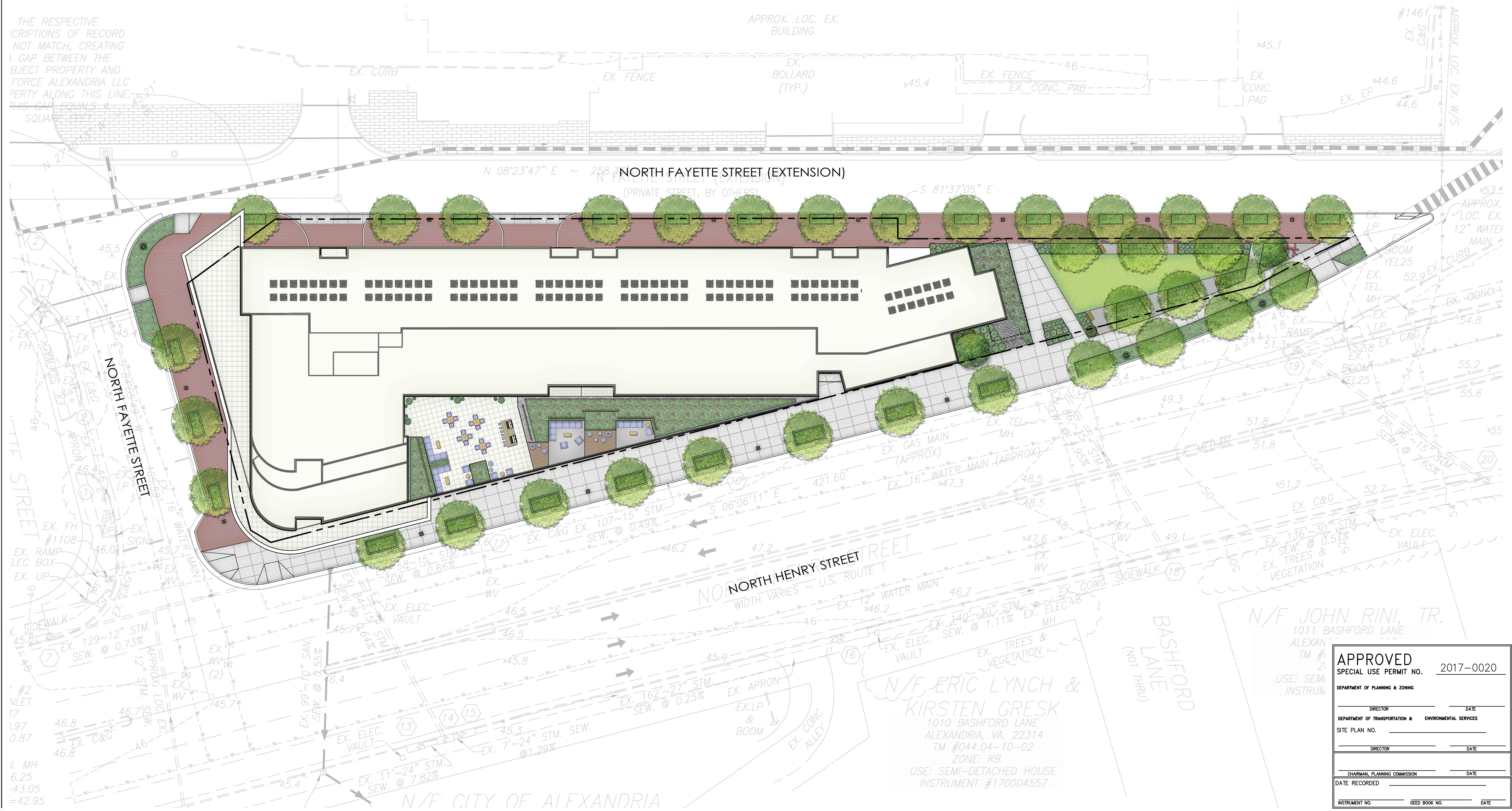
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LANDSCAPE ARCHITECTURE

L1.00	OVERALL LANDSCAPE PLAN ILLUSTRATIVE
L1.01	OVERALL LANDSCAPE PLAN
L1.02	SECOND FLOOR TERRACE LANDSCAPE PLAN
L1.03	HARDSCAPE DETAILS
L1.04	PLANTING DETAILS



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HENRY STREET

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REVISIONS	
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT	05.04.2018

SECOND FLOOR
TERRACE
LANDSCAPE PLAN

ORIGINAL ISSUE DATE

05/02/18

DESIGNED BY

TR

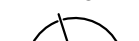
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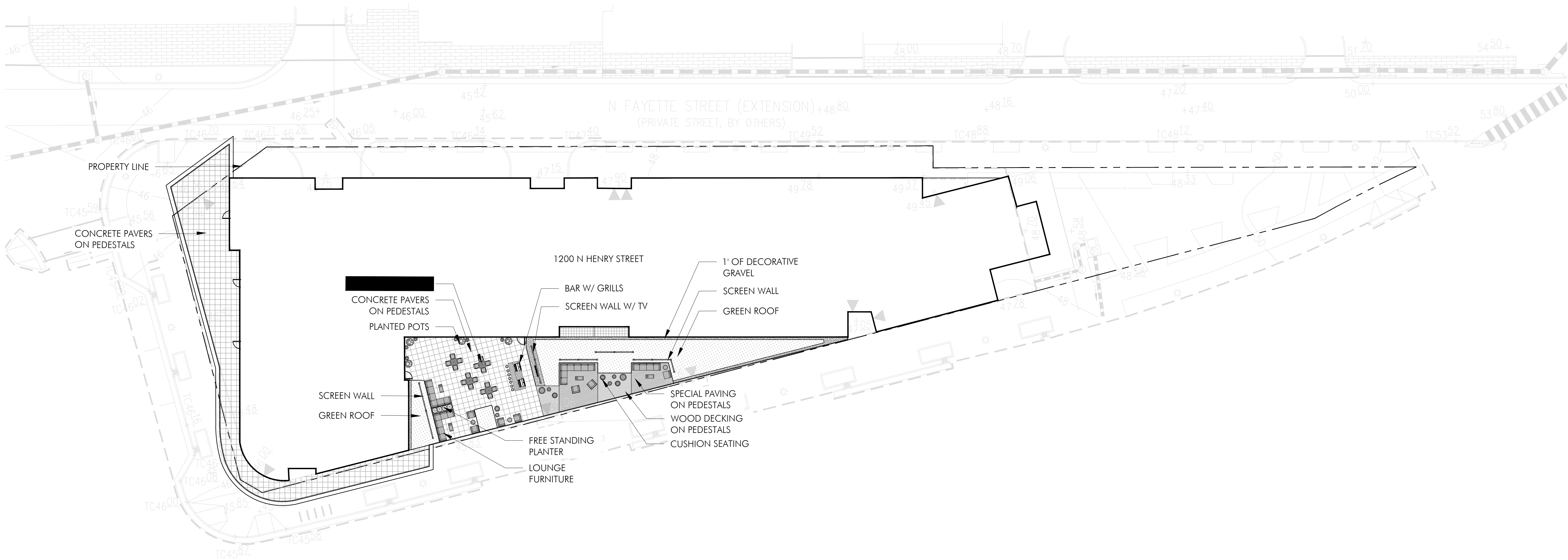
SCALE

1" = 20'-0"

0' 10' 20' 40'

FEET

L1.02



APPROVED
SPECIAL USE PERMIT NO. 2017-0020

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO.

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. DATE

POTENTIAL PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COND.	COMMENTS
CANOPY TREES						
AR		Acer rubrum 'October Glory'	October Glory Red Maple	3 1/2"- 4" cal.	B&B	single leader; full branching
GB		Ginkgo biloba	Ginkgo	2-2 1/2" cal.	B&B	single leader; full branching; males only
GT		Gleditsia triacanthos inermis 'Halka'	Halka Honeylocust	3 1/2"- 4" cal.	B&B	single leader; full branching
LS		Liquidambar styraciflua 'Happidaze'	Sweetgum	3 1/2"- 4" cal.	B&B	single leader; full branching
PA		Platanus x acerifolia 'Bloodgood'	London Planetree	3 1/2"- 4" cal.	B&B	single leader; full branching
QP		Quercus phellos	Willow Oak	3 1/2"- 4" cal.	B&B	single leader; full branching
ORNAMENTAL TREES						
AC		Amelanchier canadensis	Serviceberry	10'-12' ht.	B&B	multistem - 3 stems min; full branching
CC		Cercis canadensis	Eastern Redbud	10'-12' ht.	B&B	single stem; full branching
LI		Lagerstroemia x lauriei 'Muskogee'	Muskogee Crape Myrtle	6'-8' ht.	B&B	specimen, 3-4 stems
MV		Magnolia virginiana	Sweetbay Magnolia	6'-8' ht.	B&B	specimen
EVERGREEN TREES						
IF		Ilex x altenuata 'Foster's Holly'	Foster's Holly	8'-10' ht.	B&B	heavy; matched; symmetrical
SHRUBS						
CA		Clethra alnifolia 'Hummingbird'	Summersweet	18" - 24" ht.	B&B	full branching;
CS		Cornus sericea	Red Twig Dogwood	18" - 24" ht.	Cont.	full branching;
DG		Deutzia gracilis 'Nikko'	Slender Deutzia	18" - 24" ht.	Cont.	full branching;
FG		Fothergilla gardenii	Dwarf Fothergilla	24" - 30" ht.	B&B	full branching;
HQ		Hydrangea quercifolia 'Alice'	Oakleaf Hydrangea	36" - 42" ht.	B&B	full branching;
IV		Ilex verticillata 'Sparkleberry' & 'Apollo'	Winterberry (female and male)	36" - 36" ht.	B&B	full branching;
IT		Itea virginica 'Henry's Garnet'	Virginia Sweetspire	24-30' ht.	Cont.	full branching;
MP		Myrica pensylvanica	Northern Bayberry	30 - 36" ht.	B&B	full branching;
ND		Nandina domestica 'Harbor Dwarf'	Harbor Dwarf Nandina	18" - 24" ht.	Cont.	full branching;
PL		Prunus laurocerasus 'Schipkaensis'	Schipkaensis Cherry Laurel	30 - 36" ht.	B&B	full branching;
RO		Rosa 'Knockout'	Knockout Rose	18"-24" ht.	Cont.	full branching; 24"b.c.
ORNAMENTAL GRASSES AND HERBACEOUS PERENNIALS & GROUND COVERS						
ANP		Aster novae-angliae 'Purple Dome'	Purple Dome New England Aster	1 gal.	Cont.	18" o.c.
CVM		Carexpsis verticillata 'Moonbeam'	Moonbeam Careopsis	1 gal.	Cont.	24" o.c.
CAK		Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal.	Cont.	24" o.c.
DCG		Deshampsia caespitosa 'Goldku'	Gold Dew Tufted Hair Grass	1 gal.	Cont.	24" o.c.
DCS		Deshampsia caespitosa 'Schottland'	Tufted Hair Grass	1 gal.	Cont.	24" o.c.
DFL		Deshampsia flexuosa	Wavy Hair Grass	1 gal.	Cont.	24" o.c.
EPM		Echinacea purpurea 'Magnus'	Magnus Purple Coneflower	1 gal.	Cont.	24" o.c.
LMB		Liriope muscari 'Big Blue'	Big Blue Liriope	1 qt.	Cont.	12" o.c.
LSK		Liatris spicata	Gayfeather	1 gal.	Cont.	24" o.c.
MCA		Mulenbergia capillaris	Pink Muhly	1 gal.	Cont.	24" o.c.
MCE		Molinia caerulea	Purple Moor Grass	1 gal.	Cont.	24" o.c.
NTE		Nassella tenuissima	Mexican Feather Grass	1 gal.	Cont.	18" o.c.
NFW		Nepeta 'Walker's Low'	Walker's Low Catmint	1 gal.	Cont.	24" o.c.
PAH		Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	1 gal.	Cont.	24" o.c.
RFF		Rudbeckia fulgida 'Fulgida'	Fulgida Rudbeckia	1 gal.	Cont.	24" o.c.
SAJ		Sedum spectabile 'Autumn Joy'	Autumn Joy Sedum	1 gal.	Cont.	24" o.c.
BULBS						
AGI		Allium giganteum	Ornamental Onion	bulbs		accent
NAR		Narcissus 'Single Campemelle', 'Tripartite', 'Pistachio'	Yellow Daffodils mixture	bulbs		accent
CRO		Crocus Autumn Blue	Autumn Blue Crocus: Fall	bulbs		accent

NOTE: All plant material layouts, selections, sizes and quantities are subject to revision and refinement after the submission of the Preliminary Site Plan and prior to the submission of the Final Site Plan.

CANOPY COVERAGE TABULATION ON GRADE

QTY.	CATEGORY	SIZE	COND.	COMMENTS	CANOPY COVERAGE CALCULATIONS			
					sf coverage	# on grade		TOTAL
CANOPY TREES								
6	Large Shade Tree	3 1/2'- 4" cal.	B&B	single leader; full branching	1250	6		7,500
1	Medium Shade Tree	3 1/2'- 4" cal.	B&B	single leader; full branching	750	1		750
					Total canopy tree coverage			8,250
ORNAMENTAL TREES								
0	Small Ornimental	10'-12' ht.	B&B	multistem - 3 stems min; full branching	500	0		0
					Total ornamental tree coverage			0
SHRUBS								
176	Shrubs	18" - 24" ht.	B&B	full branching;	2	152		304
					Total shrub coverage			304
					TOTAL CANOPY COVERAGE			8,554

CANOPY COVERAGE TABULATION ON STRUCTURE

QTY.	CATEGORY	SIZE	COND.	COMMENTS	CANOPY COVERAGE CALCULATIONS			
					50% coverage	# on-structure	TOTAL	
CANOPY TREES								
0	Large Shade Tree	3 1/2'- 4" cal.	B&B	single leader; full branching		625	0	0
1	Medium Shade Tree	3 1/2'- 4" cal.	B&B	single leader; full branching		375	1	375
						Total canopy tree coverage		375
ORNAMENTAL TREES								
0	Small Ornimental	10'-12' ht.	B&B	multistem - 3 stems min; full branching		250	0	0
						Total ornamental tree coverage		0
SHRUBS								
38	Shrubs	18" - 24" ht.	B&B	full branching;		1	38	38
						Total shrub coverage		38
						TOTAL CANOPY COVERAGE		413

CANOPY COVERAGE SUMMARY

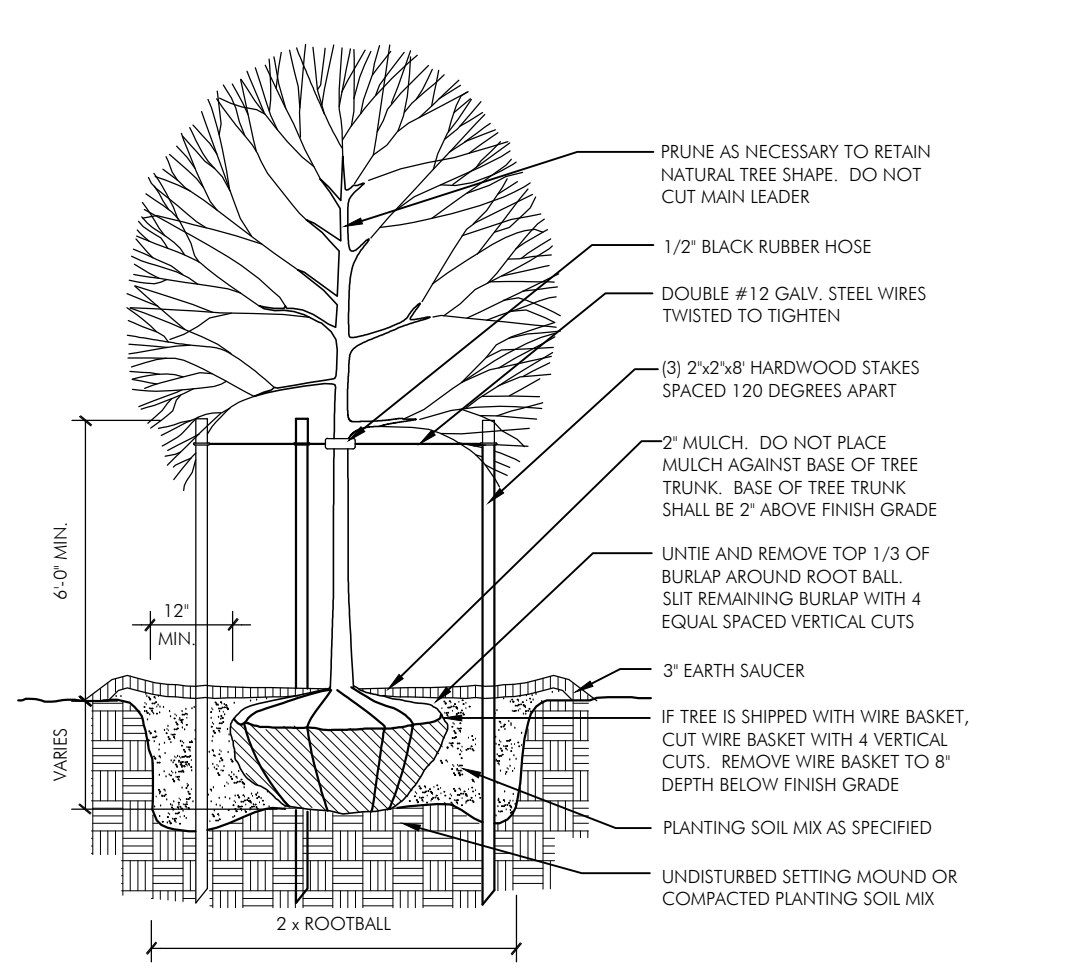
Site Area = 34,921 Sq. Ft.

Landscape Coverage Required (25% of Site Area) = 8,730 Sq. Ft.

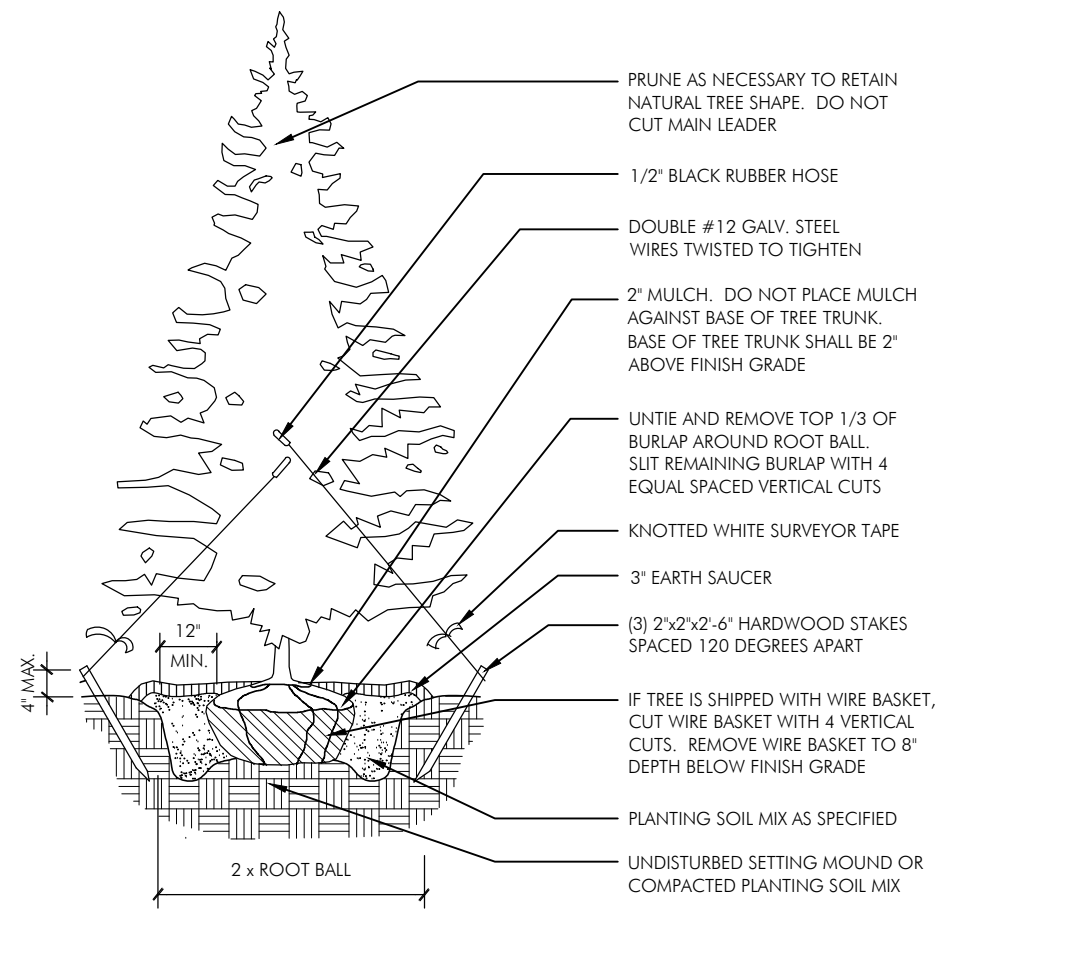
Total Area of Existing Trees to Remain = 0 Sq. Ft.

On-site Landscape Coverage Provided = 8,967 Sq. Ft.
Off-site Landscape Coverage Provided = 0 Sq. Ft.

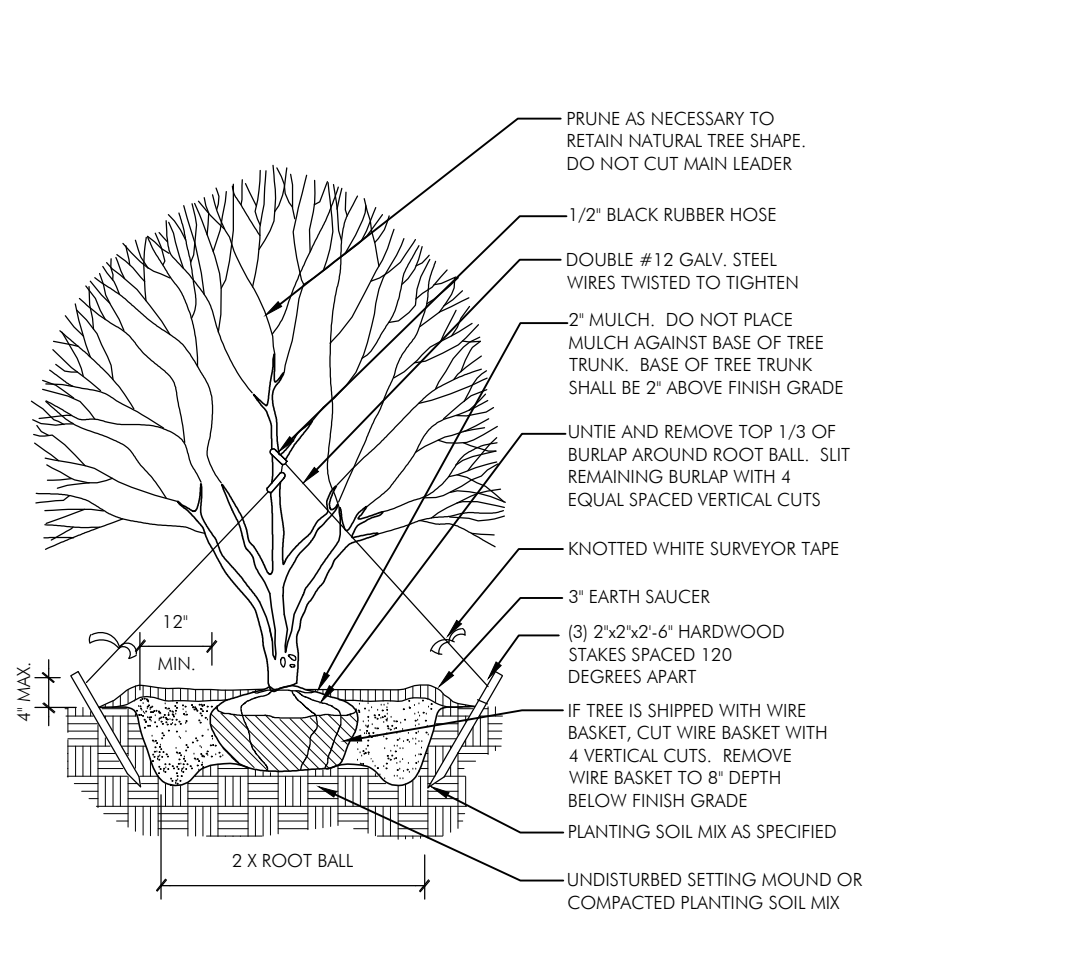
Total Landscape Coverage Provided = 8,967 Sq. Ft.



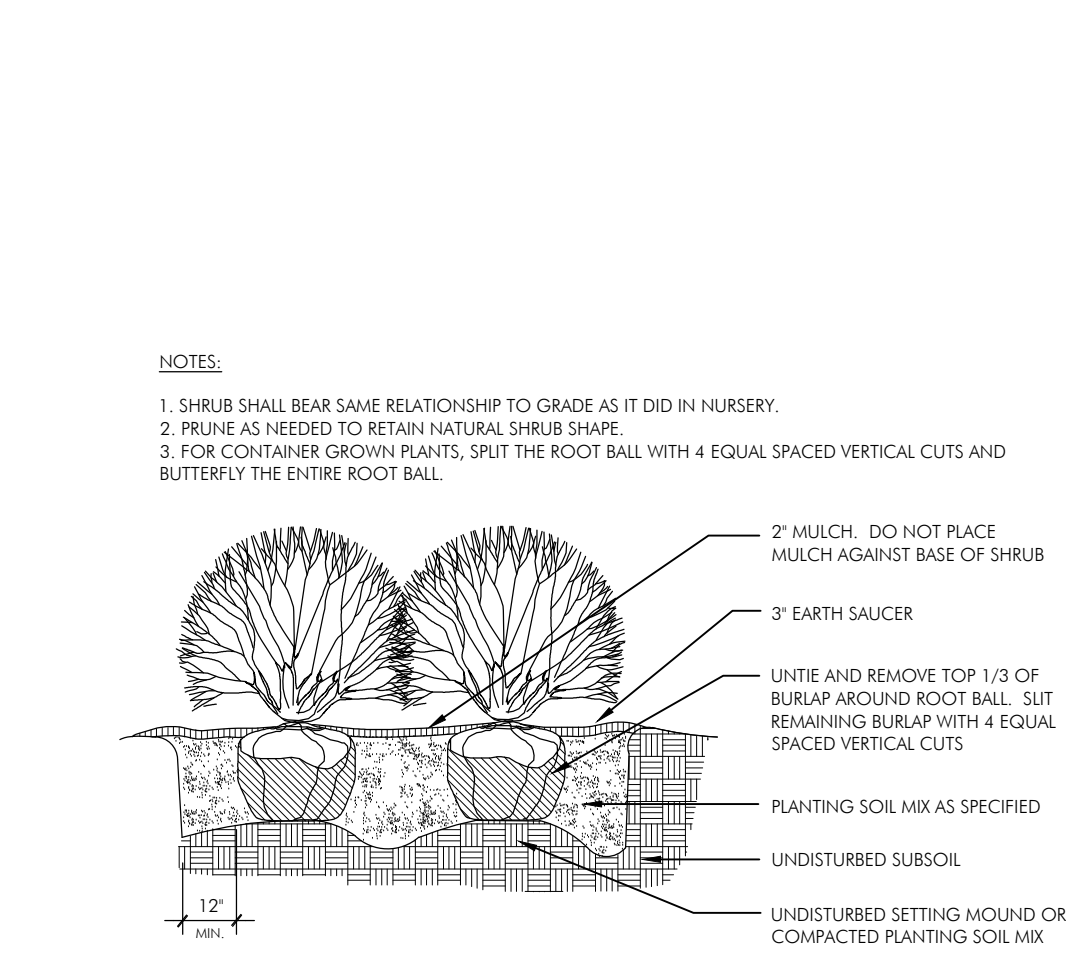
TYP. SHADE TREE ON GRADE



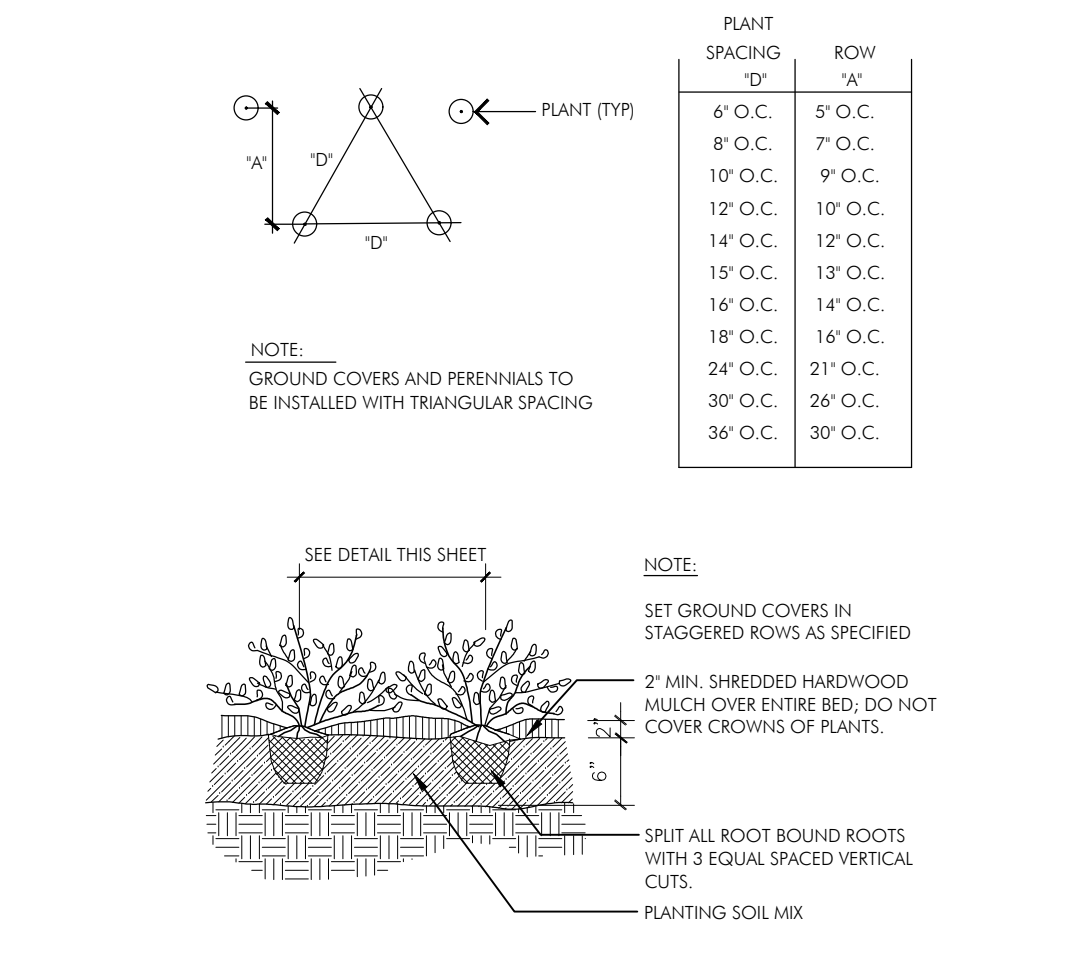
TYP. EVERGREEN TREE ON GRADE



TYP. ORNAMENTAL TREE ON GRADE



TYP. SHRUB ON GRADE



TYP. GROUNDCOVER ON GRADE

PLANTING NOTES

- Contractor shall be responsible for becoming familiar with all underground utilities, pipes, and structures. Contractor shall take sole responsibility for any cost incurred due to damage of said utilities.
- Procedures and specifications of work shall conform to the "Landscape Specifications Guideline for the Baltimore-Washington Metropolitan Area" [latest Edition], published jointly by the Landscape Contractors Association of Metropolitan Washington and the American Society of Landscape Architects, Potomac Chapter.
- Size and standards of plant materials shall conform to the latest edition of "USA Standards for Nursery Stock" by the American Association of Nurserymen, Inc. (AAH)
- Final location of plant material shall be subject to the approval of the Landscape Architect. Contractor is to notify Landscape Architect for inspection after layout is complete and before installation.
- No substitutions will be allowed without approval by the Landscape Architect.
- All disturbed areas not planted with trees, shrubs or ground cover shall be sodded lawn unless otherwise noted.
- All materials' specifications shall be in accordance with the industry standard for grading plant material- The American Standard for Nursery Stock (ANSI Z60.1) as produced by the American Association of Nurseryman; Washington, D.C.
- In lieu of more strenuous specifications, all landscape related work shall be installed and maintained in accordance with the current and most up-to-date edition (at time of construction) of Landscape Specification Guidelines as produced by the Landscape Contractors Association of Maryland, District of Columbia and Virginia; Gaithersburg, Maryland; the American Society of Landscape Architects, the International Society of Arboriculture, and the American National Standards Institute.
- Prior to commencement of landscape installation / planting operations, a pre-installation / construction meeting will be scheduled and held with the City's Arborist and Landscape Architects to review plant installation procedures and processes.
- All protection and preservation measures for existing vegetation, including maintenance shall be approved by the City Arborist in-field prior to commencement of any site disturbing activity.

- Specification for all plantings shall be in accordance with the current and most up to date edition of ANSI-Z60.1, The American Standard for Nursery Stock as produced by the American Association of Nurserymen; Washington, DC.
- The applicant has made suitable arrangements for pre-selection tagging, pre-contract growing, or is undertaking specialized planting stock development with a nursery or grower that is conveniently located to the project site, other procedures that will ensure availability of specified materials. In the event that shortages and/or inability to obtain specified plantings occurs, remedial efforts including species changes, additional plantings and modification to the landscape plan shall be undertaken by the applicant. All remedial efforts shall, with prior approval by the city, be performed to the satisfaction of the Directors of Planning & Zoning, Recreation, Parks & Cultural Activities and Transportation & Environmental Services.
- In lieu of more strenuous specifications, all landscape related work shall be installed and maintained in accordance with the current and most up-to-date edition (at time of construction) of Landscape Specification Guidelines as produced by the Landscape Contractors Association of Maryland, District of Columbia and Virginia; Gaithersburg, Maryland.
- Prior to commencement of landscape installation/planting operations, a pre-installation/construction meeting will be scheduled with the City's Arborist and Landscape Architects to review the scope of installation procedures and processes.
- Maintenance for this project shall be performed in perpetuity, in compliance with City of Alexandria Landscape Guidelines and/or as conditioned by project approval.
- A certification letter for tree wells, tree trenches and plantings above structure shall be provided by the project's Landscape Architect. The letter shall certify that all below grade construction is in compliance with approved drawings and specifications. The letter shall be submitted to the City Arborist and approved prior to approval of the last and final Certificate of Occupancy for the project. The letter shall be submitted by the owner/applicant/successor and sealed and dated as approved by the project's Landscape Architect.
- As-built drawings for this landscape and/or irrigation/water management system will be provided in compliance with City of Alexandria Landscape Guidelines. As-built drawings shall include clear identification of all variation(s) and changes from approved drawings including location, quantity and specification of all project elements.

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SPECIAL USE PERMIT	05.04.2018

PLANTING DETAILS

ORIGINAL ISSUE DATE
05/02/18

DESIGNED BY
TR

DRAWN BY
N.M. SL

CHECKED BY
TR

NORTH

SCALE
AS SHOWN

0' 1' 2' 3' 4' 5' 6' 7' 8' 9' 10' 11' 12' 13' 14' 15' 16' 17' 18' 19' 20' 21' 22' 23' 24' 25' 26' 27' 28' 29' 30' 31' 32' 33' 34' 35' 36' 37' 38' 39' 40' 41' 42' 43' 44' 45' 46' 47' 48' 49' 50' 51' 52' 53' 54' 55' 56' 57' 58' 59' 60' 61' 62' 63' 64' 65' 66' 67' 68' 69' 70' 71' 72' 73' 74' 75' 76' 77' 78' 79' 80' 81' 82' 83' 84' 85' 86' 87' 88' 89' 90' 91' 92' 93' 94' 95' 96' 97' 98' 99' 100'

APPROVED
SPECIAL USE PERMIT NO. 2017-0020

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO.

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. DATE