

Docket Item # 10 & # 11  
BAR CASE # 2018-00361  
& 2018-00362

BAR Meeting  
September 5, 2018

**ISSUE:** Partial Demolition/Capsulation and Addition

**APPLICANT:** Sam & Ashley Chamberlain

**LOCATION:** 320 South Fairfax Street

**ZONE:** RM / Residential Townhouse Zone

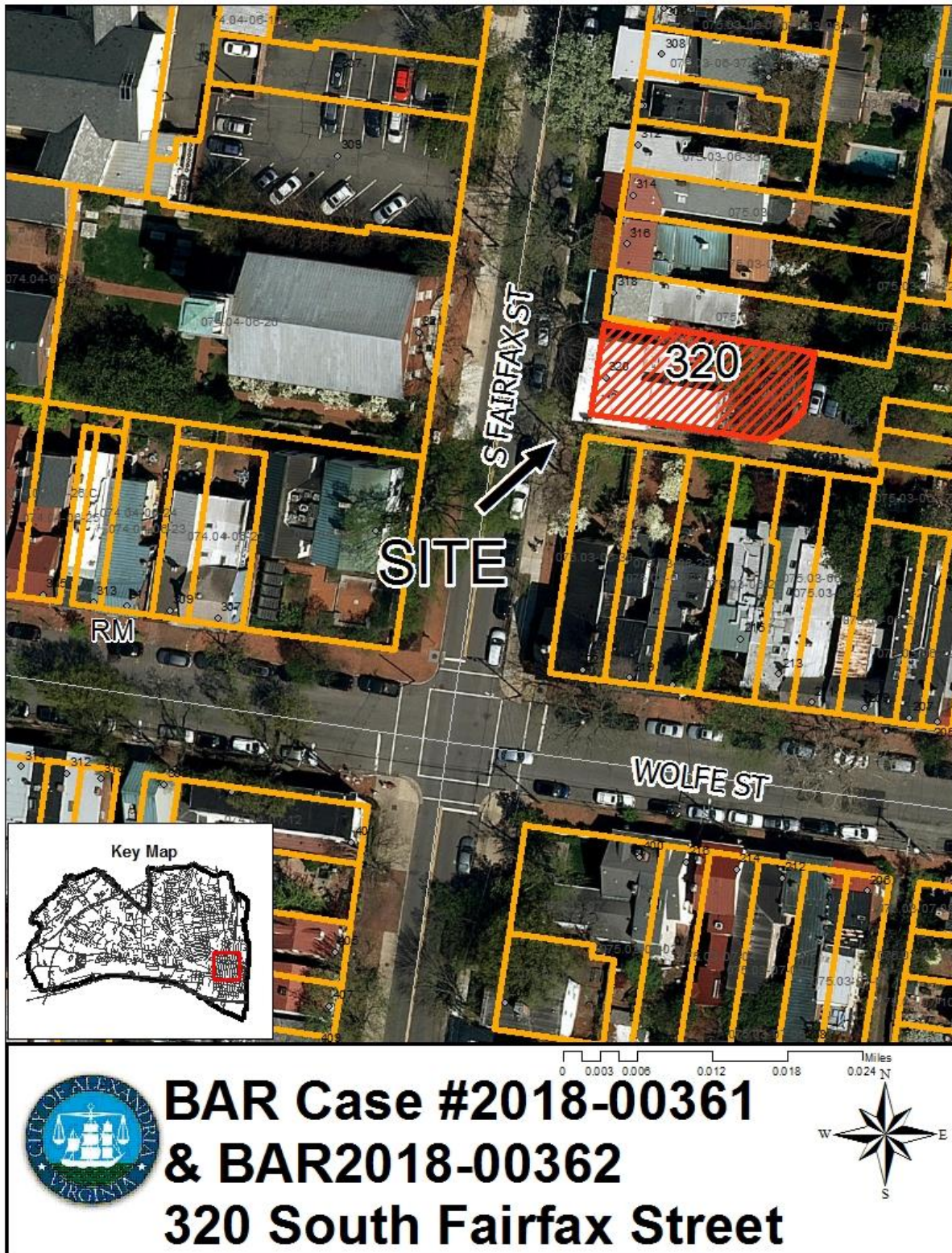
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**STAFF RECOMMENDATION**

Staff recommends approval of the Permit to Demolish and Certificate of Appropriateness for a second-floor addition, as submitted.

**GENERAL NOTES TO THE APPLICANT**

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



**Note:** Staff coupled the applications for a Permit to Demolish (BAR #2018-00361) and Certificate of Appropriateness (BAR #2018-00362) for clarity and brevity. The Permit to Demolish requires a roll call vote.

## I. ISSUE

The applicant is requesting a Permit to Demolish and Certificate of Appropriateness to construct a second story rear addition at 320 South Fairfax Street.

### Demolition/Capsulation (Figure 1)

- Demolition of the one-story roof and porch, and second story rear wall.
- Capsulation of a 140 square foot section of the historic north wall to construct the addition.

### Addition (Figure 2)

The proposed second-floor addition will measure 14.75 feet deep and 14.9 feet wide (220 gross square feet total) and will occupy the area over the existing one-story addition and porch with no change in building footprint. The new addition will be devoid of windows on the north elevation but will have a triple window on the rear elevation.

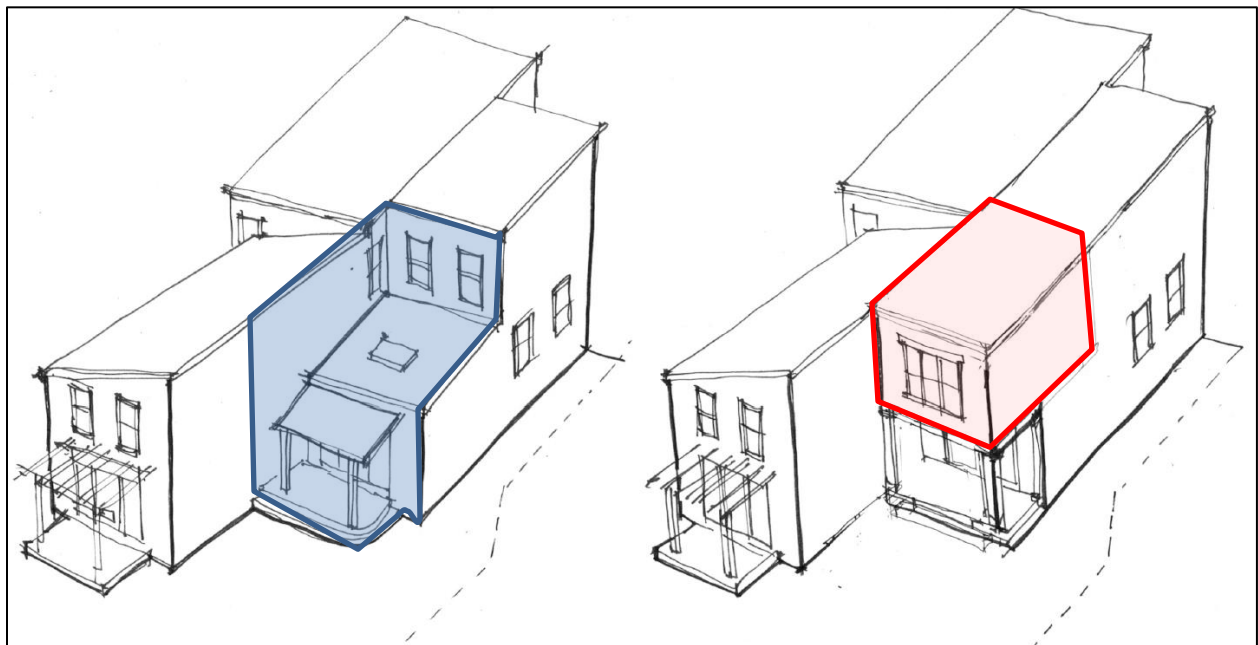


Figure 1: Existing with proposed demolition/capsulation (blue) and proposed second story addition (red)

Materials on the addition consist of wood siding to match the existing siding on the house, wood simulated divided light windows in a six-over-six configuration and a sloped metal roof.

## II. HISTORY

The southern three bays of the two-story, five-bay Italianate style frame townhouse was constructed between **1877 and 1885**, according to Hopkins Atlas of Alexandria and the Sanborn Fire Insurance Maps. The two-story, two-bay addition to the north of the main block was approved by the Board in 1985 (BAR Case #85-35, March 6, 1985) in a replicative style, though set back to suggest later construction. Since the addition the Board approved a trellis, parking



pad, brick wall and iron gate (BAR Case #1996-0159), and staff has approved gas light fixtures on the front façade (BAR Case #2011-0314).

The applicant received a variance in June 2018 for the limited portion of the addition located in the five-foot wide yard (BZA Case #2018-007).

The vehicular alley to the south and the narrow pedestrian alley to the north (Figure 2) are both private so visibility is limited to what can be seen from South Fairfax Street.

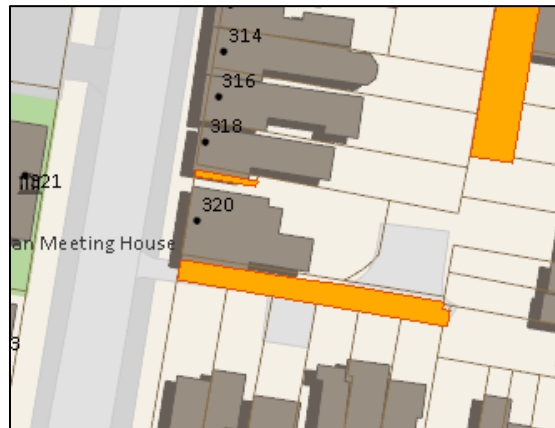


Figure 2: Adjacent private alleys

### III. ANALYSIS

#### Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No



(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No
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In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The portions to be demolish date to the **mid-1980's** and the capsulation of the historic north wall is limited. An existing window on the north wall will be retained and incorporated into the design of the addition. The material that will be demolished and capsulated is not of unusual or uncommon design and it could be reproduced easily.

#### Addition

Staff finds the design of the proposed addition to be consistent with the 1985 addition. The Board's *Design Guideline for Residential Additions* recommends: "...a distinct yet compatible contrast with the original building through the use of differing materials, colors and the abstraction of the principal design elements of the original elements." The retention of the trim on the north elevation and the infill of siding will suggest this feature is a later addition. While the Board typically supports the use of modern materials on new construction, staff has no objection to the use of wood siding on the north elevation of the addition (the only visible elevation) because it is consistent with the materials used on the later addition (Figure 3).



Figure 3: Area of addition from South Fairfax Street

Staff recommends approval of the application, as submitted.

**STAFF**

Stephanie Sample, Historic Preservation Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

**IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

**Zoning**

F-1 This project went before the Board of Zoning Appeals (BZA2018-0007) in June 2018 for a request for a variance from the required 5-foot north side yard setback. The BZA approved the request for a 1.8-foot variance reducing the setback to 3.2 feet.

C-1 Per BZA2018-0007, the proposed addition complies with zoning.

**Code Administration**

No comments received.

**Transportation and Environmental Services**

R1. The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R3. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F1. The applicant should provide a determination of disturbed area per City Guidelines to T&ES prior to submitting for permits. If the land disturbance meets or exceeds 2500 square feet, a released grading plan will be required prior to submitting for permits. (T&ES)

C1. The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C2. The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C3. Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

- C4. All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C5. Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C6. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

**Alexandria Archaeology**

- F-1 The proposed project is expected to have minimal impact on the ground surface. Therefore, no archaeology action necessary.

**V. ATTACHMENTS**

- 1 – Application for BAR 2018-00361 & 2018-00362: 320South Fairfax Street*
- 2 – Supplemental Materials*



BAR Case # \_\_\_\_\_

ADDRESS OF PROJECT: 320 SOUTH FAIRFAX STTAX MAP AND PARCEL: 7503-06-31 ZONING: RM

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC-SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☒ Property Owner ☐ Business (Please provide business name & contact person)Name: SAM & ASHLEY CHAMBERLAINAddress: 320 SOUTH FAIRFAX STCity: ALEXANDRIA State: VA Zip: 22314Phone: \_\_\_\_\_ E-mail: ashleychamberlaine@gmail.comAuthorized Agent (if applicable): ☐ Attorney ☐ Architect ☐ \_\_\_\_\_Name: PATRICK CAMUS Phone: 703 626 1984E-mail: studiocamus@comcast.net

Legal Property Owner:

Name: SAME

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

- |                              |  |  |
|------------------------------|--|--|
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | Is there an historic preservation easement on this property?               |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | If yes, has the easement holder agreed to the proposed alterations?        |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | Is there a homeowner's association for this property?                      |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | If yes, has the homeowner's association approved the proposed alterations? |

If you answered yes to any of the above, please attach a copy of the letter approving the project.

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**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☐ NEW CONSTRUCTION  
☐ EXTERIOR ALTERATION: *Please check all that apply.*  
     ☐ awning                      ☐ fence, gate or garden wall    ☐ HVAC equipment            ☐ shutters  
     ☐ doors                        ☐ windows                      ☐ siding                        ☐ shed  
     ☐ lighting                      ☐ pergola/trellis              ☐ painting unpainted masonry  
     ☐ other \_\_\_\_\_  
☒ ADDITION  
☒ DEMOLITION/ENCAPSULATION  
☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached)*

REQUEST APPROVAL FOR A SECOND FLOOR ADDITION  
 AT THE REAR OF THE PROPERTY, NORTH SIDE  
 AND APPROVAL TO DEMOLISH / ENCAPSULATE PART OF  
 THE EXISTING REAR TO ALLOW FOR ADDITION

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the minimum supporting materials for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- ☒ N/A  
☐ Survey plat showing the extent of the proposed demolition/encapsulation.  
☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.  
☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.  
☐ Description of the reason for demolition/encapsulation.  
☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

BAR Case # \_\_\_\_\_

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_
- ☐ ☐ Square feet of existing signs to remain: \_\_\_\_\_
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.



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**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**Signature: Printed Name: PATRICK CAMUSDate: 2 AUG 2018

## OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. SAM & ASHLEY CHAMBERLAIN	320 S FAIRFAX	100 %
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 320 S FAIRFAX (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. SAM & ASHLEY CHAMBERLAIN	320 S FAIRFAX	100 %
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

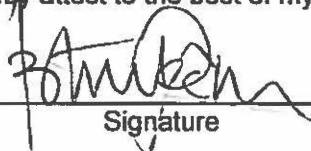
Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. SAM & ASHLEY CHAMBERLAIN	N/A	BAR OTHD
2.		
3.		

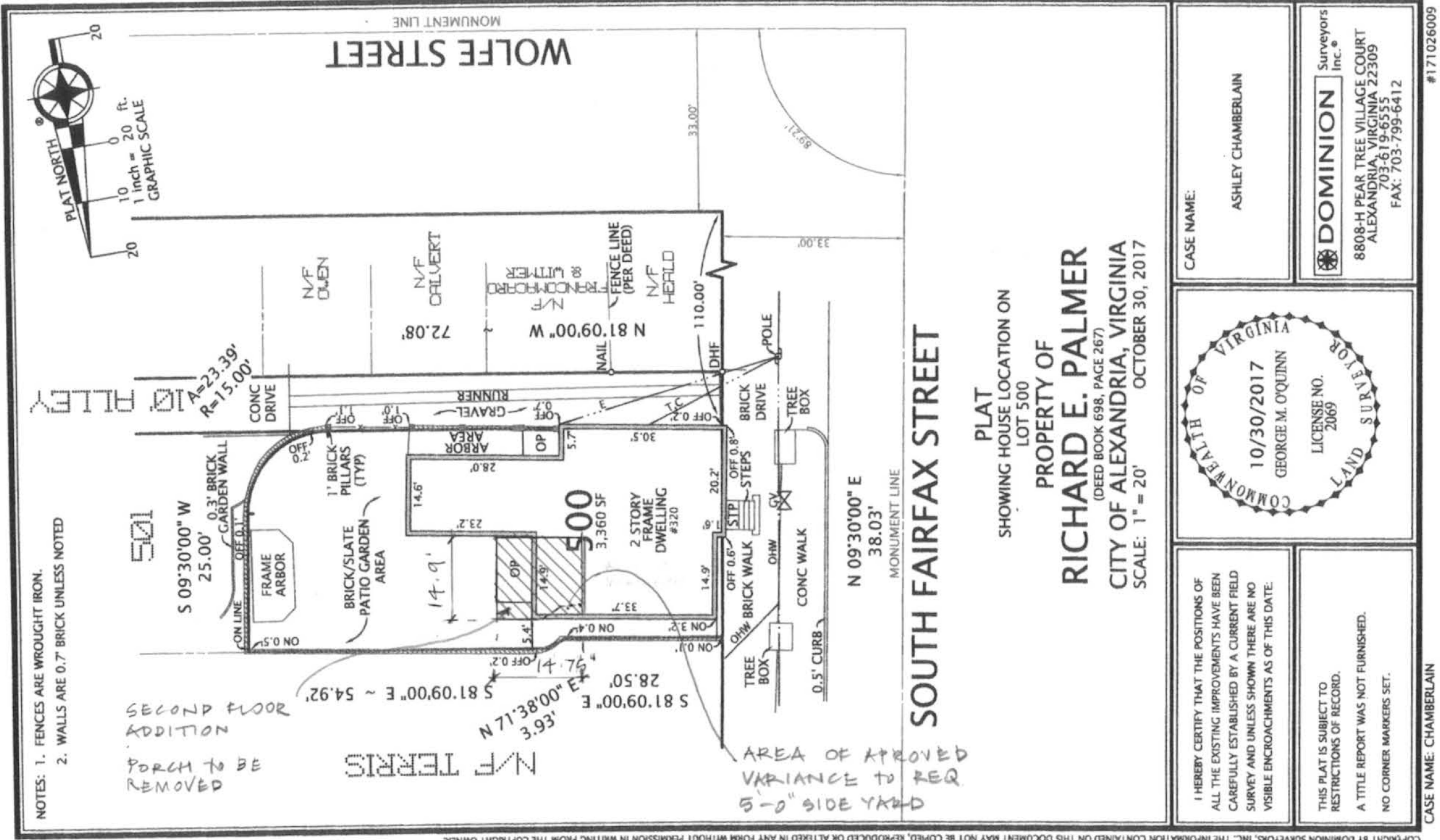
**NOTE:** Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

2 AUG 18  
Date

PATRICK CAMUS  
Printed Name

  
Signature







B

DEPARTMENT OF PLANNING AND ZONING  
FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property Information

A1. Street Address 320 SOUTH FAIRFAX Zone RM  
A2. 3360 x 1.5 = 5040  
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	616	Basement**	616
First Floor	1634	Stairways**	120
Second Floor	1389	Mechanical**	18
Third Floor			
		Total Exclusions	754
Total Gross *	3639		

B1. Existing Gross Floor Area \*  
3639 Sq. Ft.  
B2. Allowable Floor Exclusions\*\*  
754 Sq. Ft.  
B3. Existing Floor Area minus Exclusions  
2885 Sq. Ft.  
(subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor		Stairways**	
Second Floor	220	Mechanical**	
Third Floor		Other**	
Porches/ Other		Total Exclusions	0
Total Gross *	220		

C1. Proposed Gross Floor Area \*  
220 Sq. Ft.  
C2. Allowable Floor Exclusions\*\*  
0 Sq. Ft.  
C3. Proposed Floor Area minus  
Exclusions 220 Sq. Ft.  
(subtract C2 from C1)

D. Existing + Proposed Floor Area  
D1. Total Floor Area (add B3 and C3) 3105 Sq. Ft.  
D2. Total Floor Area Allowed by Zone (A2) 5040 Sq. Ft.

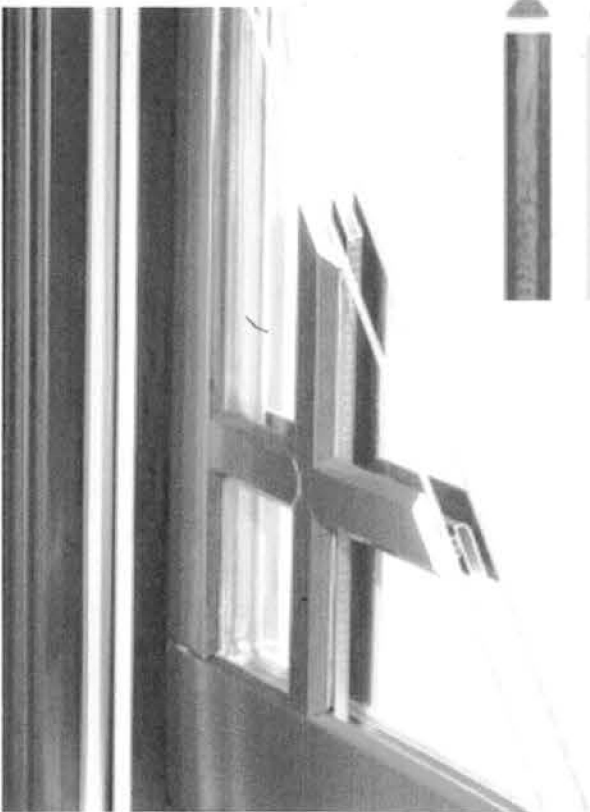
\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.  
\*\* Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.  
If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

E. Open Space Calculations

Existing Open Space	1486	44%
Required Open Space	1176	35%
Proposed Open Space	1436	42%

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: [Signature] 13 Date: 15 APR 18



JELD WEN  
Simulated Divided Lites

(SDL) grilles that are permanently attached to both the interior and exterior glass (aluminum for clad exteriors, wood for wood exteriors), metal bars placed between the panes of insulating glass to provide design detail.

Grilles 7/8" width in putty profile: These grilles are available in wood for wood exteriors or the color that matches the exterior clad color of the window you choose or a custom color.

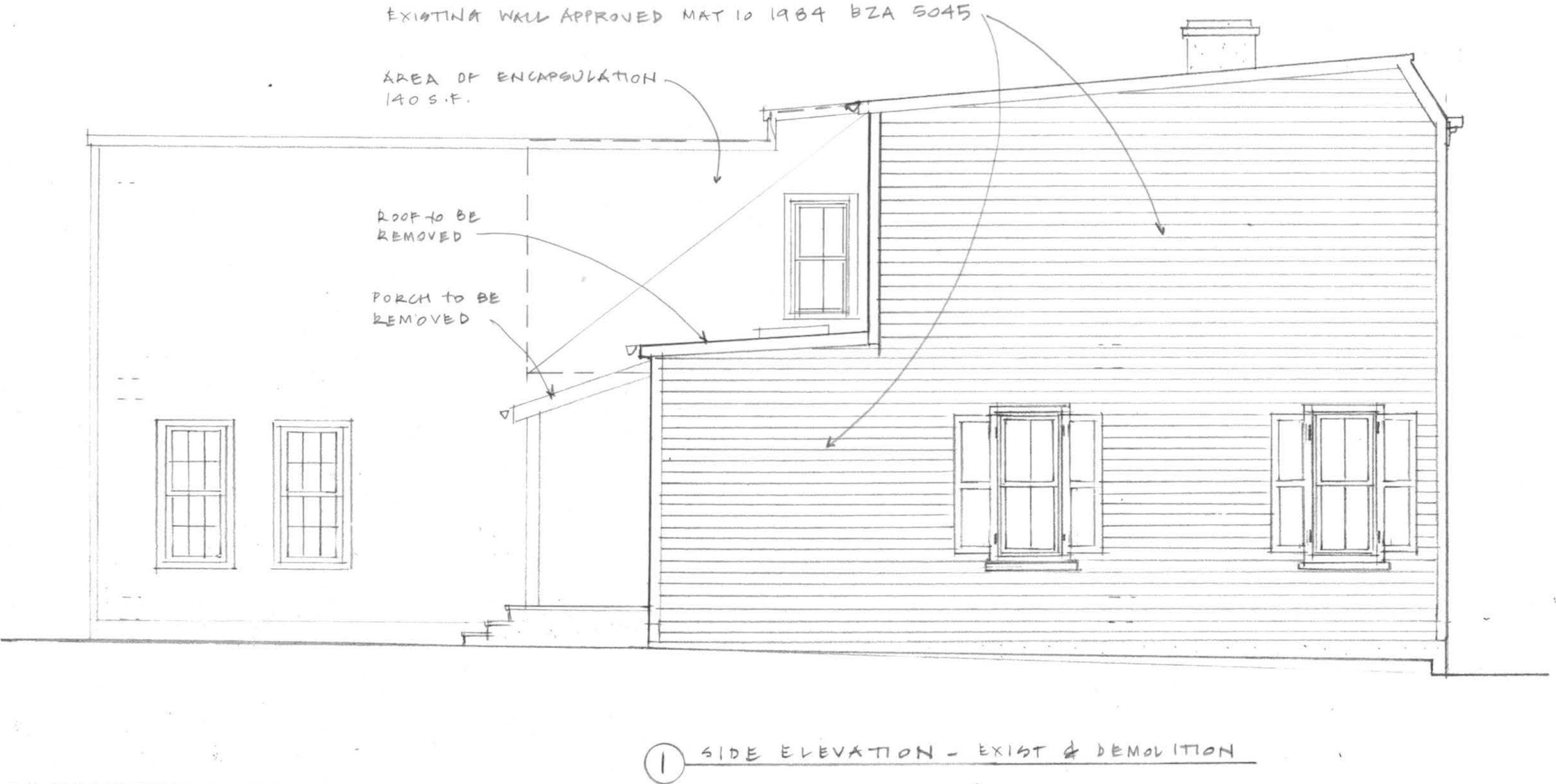
Wood Window Specs



NOTES

- 1 WALLS TO BE REMOVED
- 2 PORCH TO BE REMOVED
- 3 ROOF TO BE REMOVED

1 SECOND FLOOR PLAN - EXIST & DEMOLITION

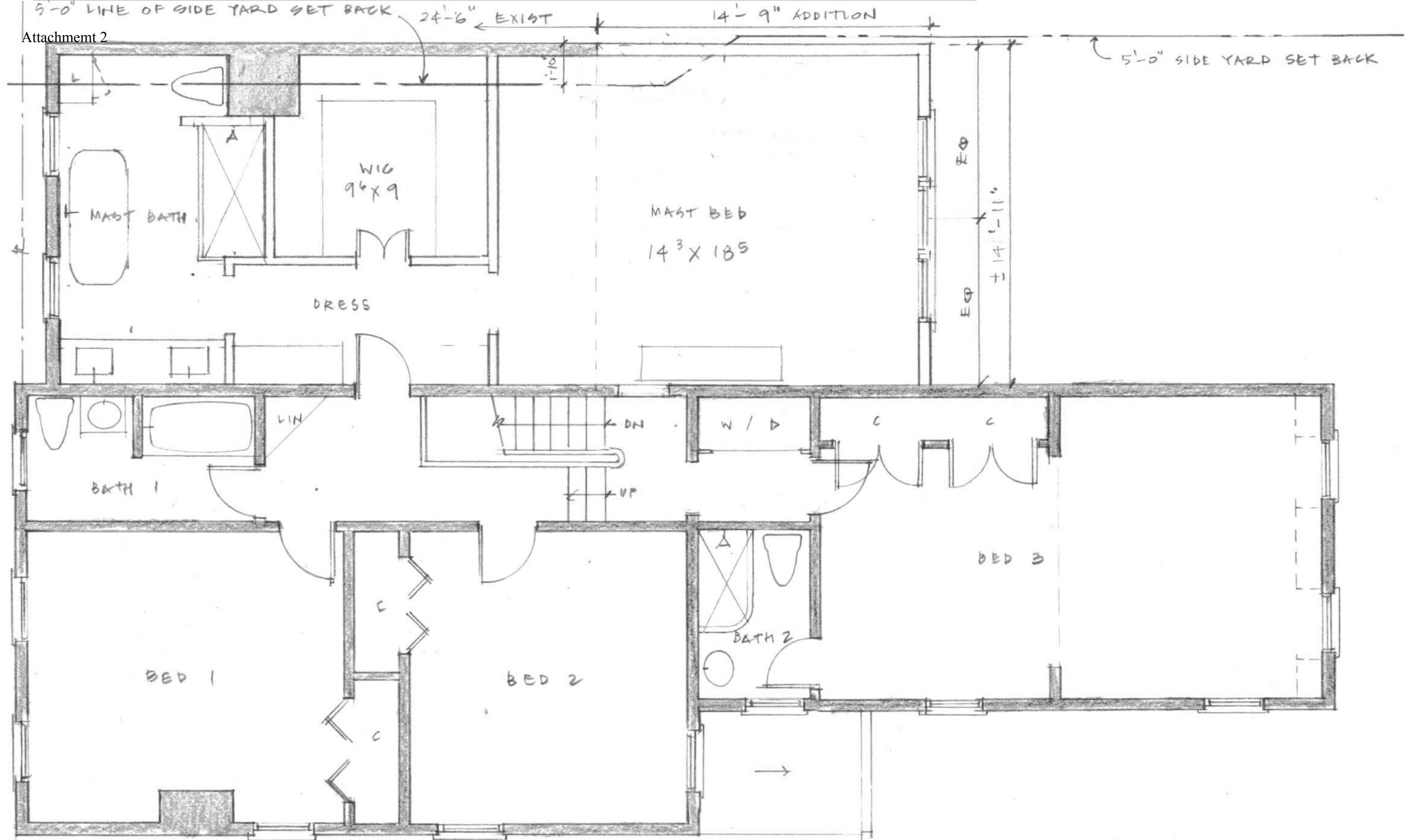


① SIDE ELEVATION - EXIST & DEMOLITION

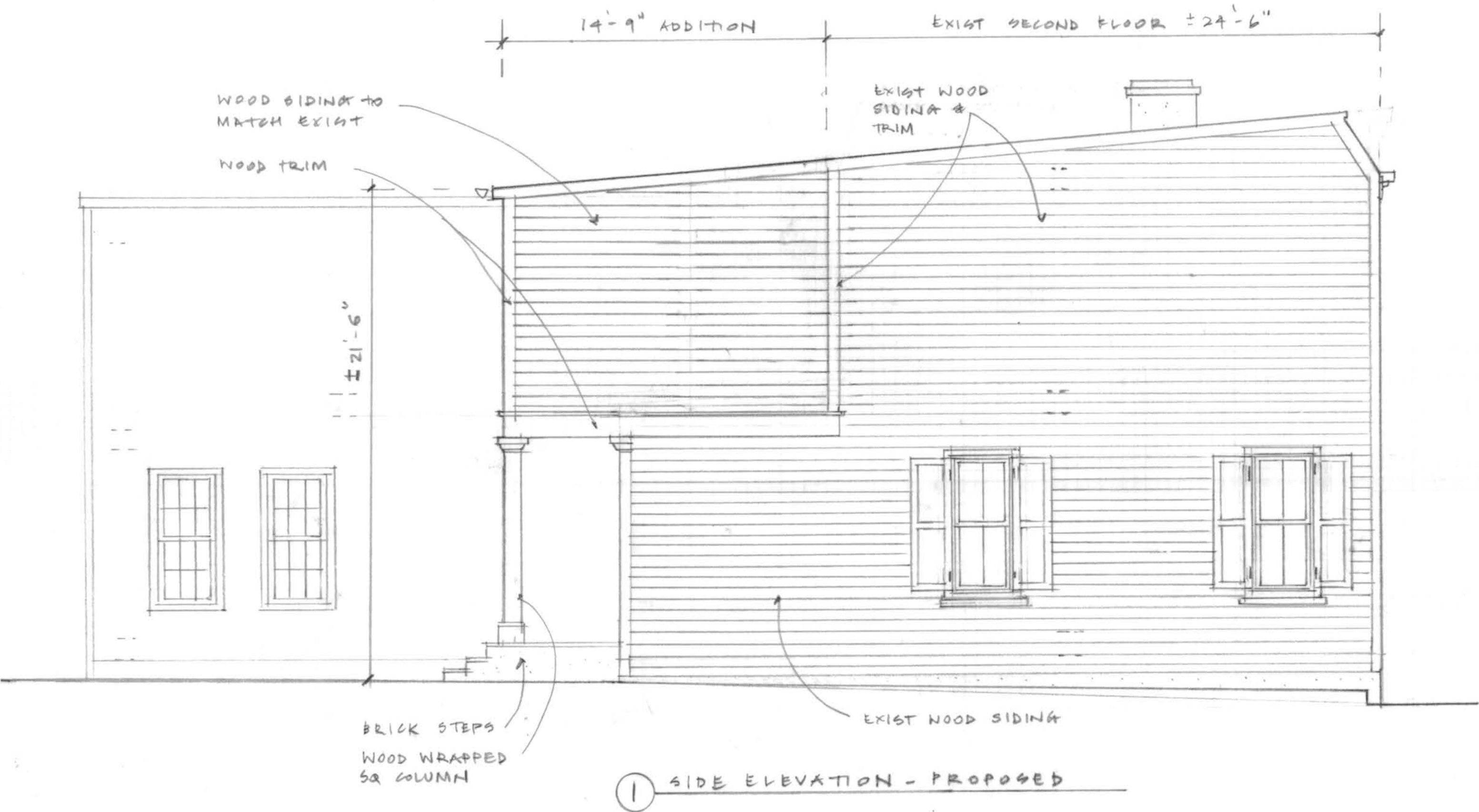




1 REAR ELEVATION - EXISTING & DEMOLITION



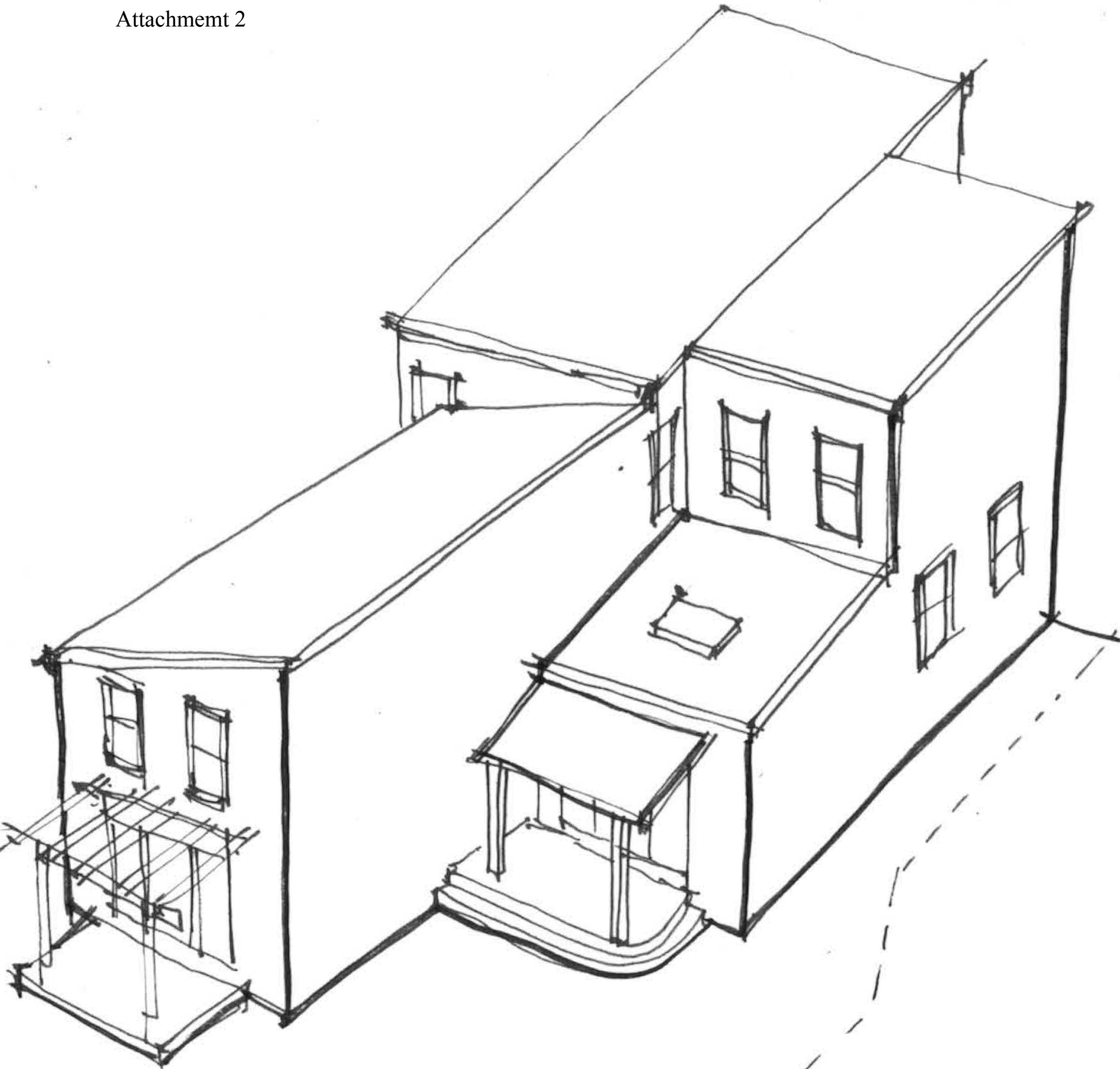
1 SECOND FLOOR PLAN - PROPOSED  
POCHE DENOTES EXIST WALLS



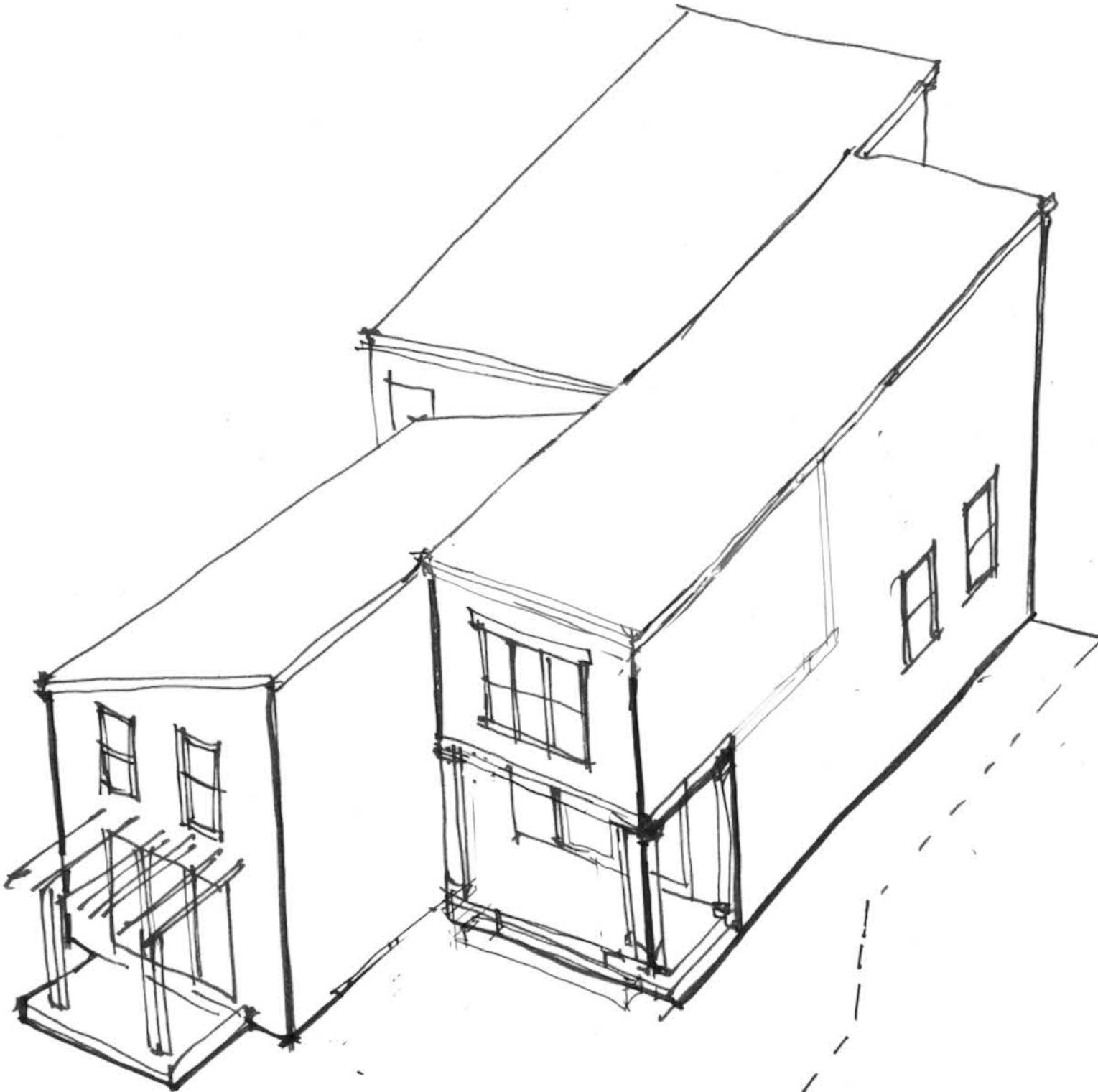


1 REAR ELEVATION - PROPOSED





EXISTING AXON



PROPOSED AXON















