

Docket Item # 8 & # 9
BAR CASE # 2018-00356
& # 2018-00357

BAR Meeting
September 5, 2018

ISSUE: Partial Demolition/Capsulation and Alterations

APPLICANT: Sharon Hardie

LOCATION: 906 Green Street

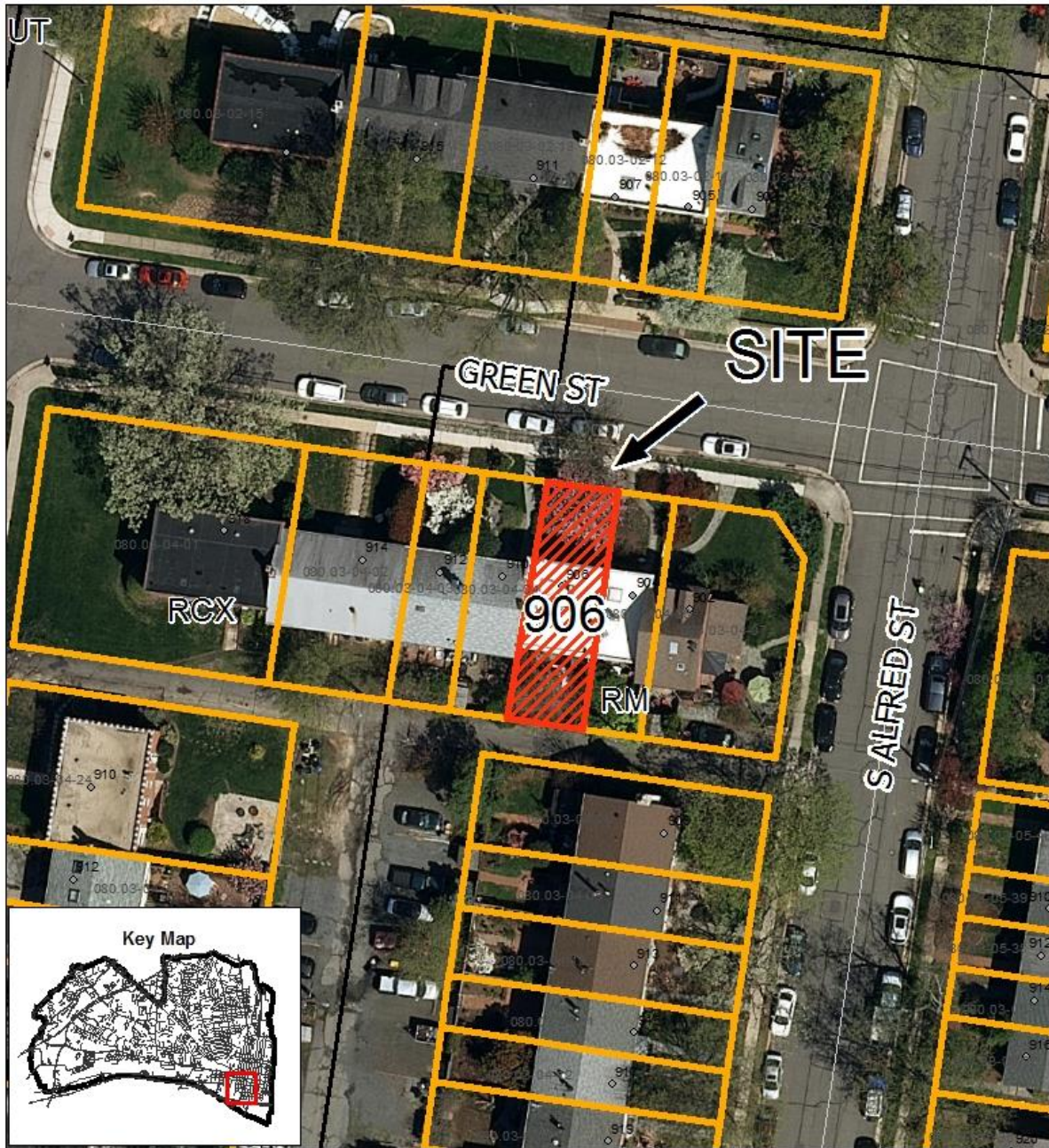
ZONE: RM/Residential

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish and Certificate of Appropriateness for the rear deck, as submitted.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



**BAR Case #2018-00356
& BAR2018-00357
906 Green Street**



0 0.0025 0.005 0.01 0.015 0.02 Miles

Note: Staff coupled the applications for a Permit to Demolish (BAR #2018-00356) and Certificate of Appropriateness (BAR #2018-00357) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. ISSUE

The applicant is requesting a Permit to Demolish and Certificate of Appropriateness to construct a first-story rear deck at 906 Green Street.

Demolition/Capsulation:

- Demolish/capsulate 52.5 square feet of wall area on the south elevation.
- Demolish the existing concrete stairs and retaining wall on the south elevation.

Alterations:

- Construct an 84.66 square foot wood composite deck on the south elevation.
- Relocate the existing HVAC unit.
- Rebuild the concrete stairs in new orientation.
- Install multi-lite wood French doors for access to the new deck.

II. HISTORY

The brick townhouse at 906 Green Street was built between **1941-1958** as apartment building, according to Sanborn Fire Insurance Maps. The apartment building was converted to townhouses in **1977**.

There are no previous BAR cases for this property.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial	N/A

	Parkway?	
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

Staff has no objection to the demolition/capsulation of a portion of the south elevation, concrete stairs, and retaining wall. The proposed partial demolition/capsulation of the wall will be visible from the public alley. The proposed demolition of the concrete stairs and retaining wall, will not be visible from the public alley because of the six-foot fence located on the rear property line. The materials and details in this case are not old and unusual or uncommon and this 20th century structure, which was altered significantly in 1977, could be reproduced easily using modern materials.

Certificate of Appropriateness

The applicant is proposing to construct an 84.66 square foot wood composite deck on the south (rear) elevation with a pair of multi-lite wood French doors. To accommodate the proposed deck, the applicant is also requesting approval to rebuild the existing concrete stairs in a new orientation and relocate the existing HVAC unit in the rear yard. Only approximately two feet of the new deck's railing will be visible from the public alley at the rear of the subject property. The remaining proposed alterations will not be visible because of the six-foot fence at the rear property line.

The *Design Guidelines* states that decks should not hide, obscure or cause the removal of historic architectural details and that decks should be made of materials which are sympathetic to the building material generally found in the historic district. The construction of a wood composite deck at the rear of a late 20th-century residential property is appropriate and common within the historic district. In past practice, the Board has been cognizant of the amenity that open air decks create for the homeowner and, because the deck will be minimally visible from a public right-of-way and does not adversely affect the context or setting of any nearby historic buildings, staff has no objection to the proposed alterations.

STAFF

Amirah Lane, Historic Preservation Planner, Planning & Zoning
 Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

F-1 The required rear yard setback in the RM zone is 16 feet. The proposed deck is 15 feet from the rear lot line. Per section 7-1003, half of the 12-foot public alley can be used for the rear yard setback, therefore the deck is within the required setback.

C-1 Proposed new deck, new French doors and relocation of the a/c unit comply with zoning.

Code Administration

No comments received.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property

line. (T&ES)

- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 This lot appears to have remained largely vacant throughout the nineteenth century and into the mid-twentieth century. There is low potential for significant archaeological resources to be disturbed by this project. No archaeological action is required.

V. ATTACHMENTS

- 1 – Application for BAR 2018-00356 & 2017-00357: 906 Green Street*
- 2 – Supplemental Materials*

BAR Case # _____

ADDRESS OF PROJECT: 906 Green St Alexandria VA 22314TAX MAP AND PARCEL: 080.03-04-05 ZONING: RH

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☒ Property Owner ☐ Business (Please provide business name & contact person)Name: Sharon L HardieAddress: 906 Green StCity: Alexandria State: VA Zip: 22314Phone: (703) 919-7094 E-mail: SharonHardie@gmailAuthorized Agent (if applicable): ☐ Attorney ☐ Architect ☒ ExpediterName: Maria E. Ramirez Phone: 571-435-9982E-mail: MEERINTERIORES@gmail.com

Legal Property Owner:

Name: Sharon L HardieAddress: 906 Green StCity: Alexandria State: VA Zip: 22314Phone: (703) 919-7094 E-mail: SharonHardie@gmail.com

- ☐ Yes ☐ No Is there an historic preservation easement on this property?
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☒ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

BAR Case # _____

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☒ NEW CONSTRUCTION
☒ EXTERIOR ALTERATION: *Please check all that apply.*
 ☐ awning ☐ fence, gate or garden wall ☐ HVAC equipment ☐ shutters
 ☒ doors ☐ windows ☐ siding ☐ shed
 ☒ lighting ☐ pergola/trellis painting unpainted masonry
 ☐ other _____
☒ ADDITION
☒ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Demolish original ^{side} stairs ~~to~~ entrance to
~~the basement from the back of the house~~
 to make a new deck 4.5 above ground.
 Stairs to the basement will be now ⁱⁿ front
~~the front of the door~~ to access the basement.
 We are adding a new sliding door to access
 the deck from first floor.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☒ ☐ Description of the reason for demolition/encapsulation.
☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

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Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____
- ☐ ☐ Square feet of existing signs to remain: _____
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

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ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:Signature: Maria RamirezPrinted Name: MARIA E. RamirezDate: 8/6/18.

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Sharon Hardie	906 Green St	100 %
2. Maria Ramirez	a.	N/A
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 906 Green St. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Sharon Hardie	906 Green St.	100 %
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Sharon Hardie	NONE	N/A
2. Maria E. Ramirez	NONE	N/A.
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

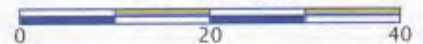
As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

8/6/18 Maria Ramirez Maria Ramirez
Date Printed Name Signature

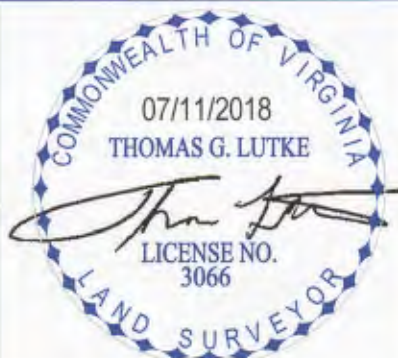
SCALE: 1" = 20'

JULY 11, 2018

GRAPHIC SCALE



NO CORNER MARKERS SET.



MERRINTERIORS@GMAIL.COM



6655 ROCKLEIGH WAY
ALEXANDRIA, VA 22315
703-688-4038
INFO@NOVA-SURVEYS.COM
WWW.NOVA-SURVEYS.COM

Attachment 2

GENERAL NOTES

CONSTRUCTION SHALL CONFORM TO ALL CODES AND REGULATIONS HAVING JURISDICTION IN VIRGINIA. ALL TRADES PERFORMING WORK SHALL MEET OR EXCEED CODE REQUIREMENTS WITH REGARD TO MATERIALS, CONSTRUCTION, AND INSTALLATION METHODS.

ALL TRADE (PLUMBING, ELECTRICAL AND MECHANICAL) DWGS ARE SCHEMATIC. EACH APPLICABLE CONTRACTOR TO INTRODUCE NEW WORK AND TIE INTO EXISTING WHERE APPROPRIATE IN MOST EFFICIENT MANNER WHILE COMPLYING WITH ALL CODES.

THESE DRAWINGS HAVE BEEN DEVELOPED IN COORDINATION WITH PROJECT SPECIFICATIONS. THE DRAWINGS AND SPECIFICATIONS SHALL BE USED TO COMPLEMENT EACH OTHER.

REVIEW CONTRACT DOCUMENTS AND FIELD DIMENSIONS AND CONDITIONS. CONFIRM THAT WORK IS BUILDABLE AS SHOWN. PROMPTLY REPORT ANY ERRORS, CONFLICTS, OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION. IF THE CONTRACTOR FAILS TO NOTIFY ARCHITECT OF A KNOWN NONCONFORMITY, THEN THE CONTRACTOR IS TO PAY SUCH COSTS AND DAMAGES TO THE OWNER AS WOULD HAVE BEEN AVOIDED IF NOTIFICATION HAD BEEN PERFORMED.

COORDINATE WORK WITH THE OWNER/TENANT, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS.

MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.

CONTRACTOR SHALL ENSURE THAT CONTRACTOR EMPLOYEES AND SUBCONTRACTORS SHALL COMPLY WITH ALL BUILDING RULES AND REGULATIONS.

OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT.

INCLUDE THESE IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.

COORDINATE WITH TELECOMMUNICATIONS, DATA, AND SECURITY SYSTEM INSTALLATION.

MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.

WORK AREAS TO BE SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY.

PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.

DURING CONSTRUCTION, EACH TRADE SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THEIR WORK.

CONCRETE:

ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301, ACI 318 AND ACI 302.

CEMENT SHALL COMPLY WITH ASTM C150, TYPE I OR II.

REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60. ALL REINFORCEMENT SPLICES SHALL BE A MINIMUM OF 40 BAR DIAMETERS.

CAST -IN-PLACE CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH $f_c = 3000$ PSI. PROVIDE 6.6-MIN. 4X11.4 MIN. F. IN ALL SLAB-ON-GRADE. ALL WIRE FABRIC SHALL CONFORM TO ASTM A 185.

ALL MESH EDGES SHALL LAP A MINIMUM OF TWO (2) SQUARES.

CONCRETE SLUMP SHALL ~ 4" ± 1".

MINIMUM CONCRETE COVER BETWEEN FACE OF REINFORCING BAR AND FACE OF CONCRETE SHALL BE AS FOLLOWS:

CONCRETE CAST AGAINST EARTH = 3"

FORMED CONCRETE EXPOSED TO WEATHER OR EARTH = 2"

ALL SLABS AND FOUNDATION WALLS EXPOSED TO WEATHER SHALL HAVE A MINIMUM AIR ENTRAINMENT OF 6% ± 1.5% PER ACI- 318 4.2.1.

PROVIDE CORNER BARS AT ALL WALL INTERSECTIONS WITH SIZE AND SPACING TO MATCH HORIZONTAL WALL REINFORCEMENT.

PROVIDE KEYED JOINTS BETWEEN ALL NON-MONOLITHIC INTERSECTING CONCRETE WALLS AND AT ALL CONCRETE JOINTS.

PROVIDE AN 8-MIL VAPOR BARRIER OVER A 4-INCH LAYER OF GRAVEL BENEATH ALL SLAB-ON-GRADE.

PROVIDE 1/2-INCH DIAMETER ANCHOR BOLTS AT A MAXIMUM OF 6'-0" ON CENTER AT ALL WOOD SILL PLATES.

PROVIDE AT LEAST (2) ANCHOR BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED AT NOT MORE THAN 12-INCHES FROM EACH END. BOLTS SHALL EMBED AT LEAST 7-INCHES INTO MASONRY OR CONCRETE. NUTS AND PLATE WASHERS (1/8"x2"x2") SHALL BE TIGHTENED ONTO EACH BOLT.

OWNER INFORMATION

SHARON L. HARDIE
906 GREEN ST.
ALEXANDRIA VA. 22314

PROPERTY INFORMATION

2 STORY BRICK TOWN HOUSE WITH BASEMENT

SQUARE: 1681
JURISDICTION: City Of Alexandria, Virginia
LOT: 511

PROJECT: NEW DECK

VICINITY MAP

REVISIONS

No.	DESCRIPTION	DATE	BY
A	DESIGN PRICING SET	06/05/2018	

APPLICABLE CODES

2012 International Building Code (IBC)
2012 Virginia Construction Code (VCC)
2012 International Plumbing Code (IPC)
2012 International Mechanical Code (IMC)
2011 National Electrical Code
2011 NFPA 70
2012 International Fuel Gas Code (IFGC)
2012 International Energy Conservation Code (IECC)
2012 Virginia Rehabilitation Code (IEBC)
2009 Accessibility Code ICC A117

IRC 2012 DESIGN CRITERIA

Floor Live Load	40 spf
Roof Live Load	30 spf
Dead Loads	10 spf
Ground Snow Load	30 spf
Wind Speed Exposure	90 mph
Seismic Design	Category B
Weathering	Severe
Frost Line Depth	30"
Termite Area	Moderate to Heavy
Decay Area	Slight to Moderate
Winter Design Temperature	13 F
Ice Shield Underlayment	Yes, Required
Flood Hazard	July 2, 1979
Air Freezing Index	300
Mean Annual Temperature	55 F
Framing Lumber	SPF # 2
E (MODULUS OF ELASTICITY):	1.3 MPsi
Fb (BENDING):	850 PSI
Fv SHEAR (PARALLEL TO GRAIN):	150 PSI
Fc COMPRESSION (PARALLEL TO GRAIN):	405 PSI

DRAWING INDEX

CS-1 COVER SHEET
CS-2 SITE PLAN
DM-1 EXISTING CONDITION & DEMO BASEMENT AND FIRST FLOOR
DM-2 EXISTING CONDITION & DEMO ELEVATION
A-1 PROPOSED DECK AND AREAWAY
A-2 PROPOSED SECTION A
A-3 PROPOSED SECTION B
A-4 PROPOSED SECTION C
S-1 STRUCTURAL BASEMENT AND FIRST FLOOR
S-2 STRUCTURAL SECTION A
S-3 STRUCTURAL SECTION B
E-1 ELECTRICAL DECK FIRST FLOOR
Z-1 ZONING FLOOR AREA RATION AND OPEN SPACE

DRAWINGS PROVIDED BY:

MERRinteriors
Remodeling & Design
MERRinteriors
4924 Duke St
Alexandria Va 22304

NO. DESCRIPTION

BY DATE

DESIGN PRICING SET

06/05/2018

SHEET TITLE:

COVER SHEET

PROJECT DESCRIPTION:

SHARON L. HARDIE
906 GREEN ST.
ALEXANDRIA VA. 22314

DATE:

06/05/2018

SCALE:

INDICATED





SHEET:

CS-1

13

SIZE: ANSI B (11X17)

LEGEND

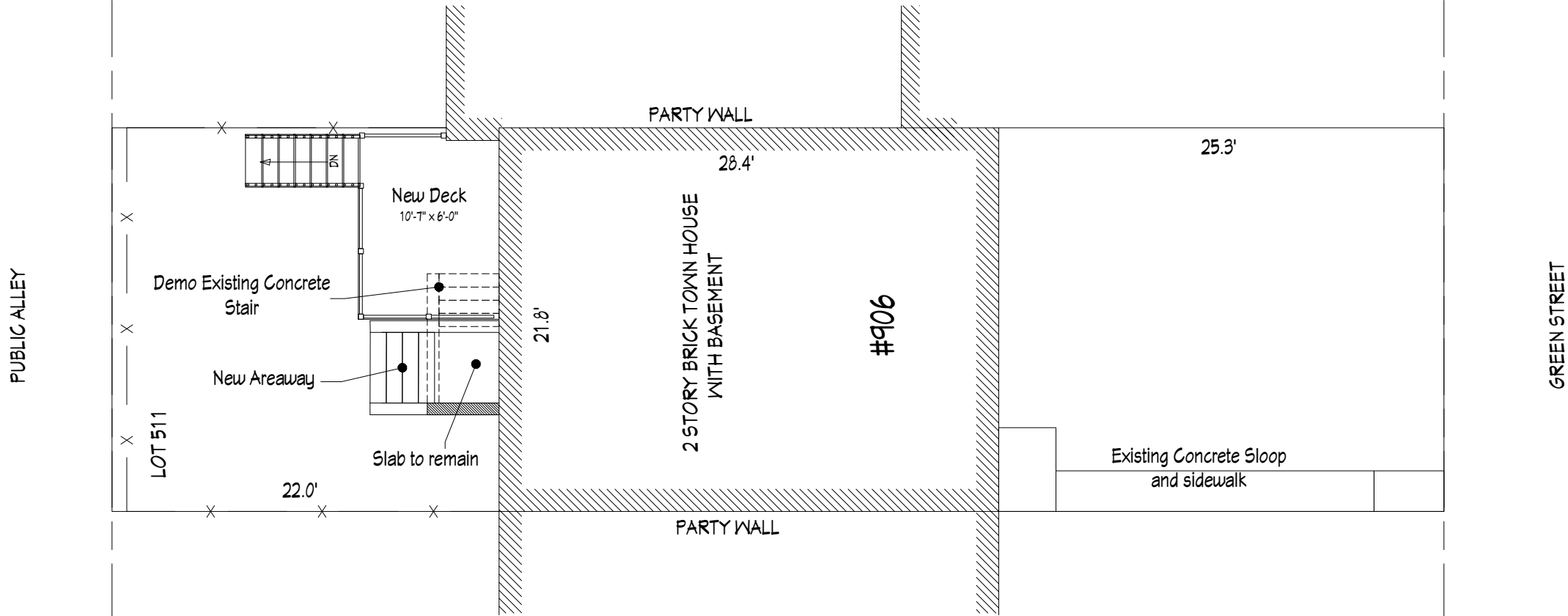
	EXISTING WALLS
	EXISTING CONCRETE, MASONRY WALLS
	NO DEMO WORK IN THIS AREA
	EXISTING TO BE REMOVE AND DISPOSED

NOTE

ALL ITEMS AND MATERIALS REMOVED SHALL BE DISPOSED OF, UNLESS OTHERWISE NOTED.
DUST PARTITIONS ARE TO BE BUILT TO COORDINATE WITH WORK
ALL EXISTING FLOOR, FURNITURE, WALLS, SHALL BE PROTECTED
ELECTRICAL, MECHANICAL, AND PLUMBING CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS WITH PROPOSED PLAN BEFORE WORK BEGINNING

GENERAL DEMOLITION NOTE

PROVIDE TEMPORARY SUPPORT & SHORING AS REQUIRED BEFORE NEW WORK IS IN PLACE.
RECYCLE MATERIALS PER GOOD WASTE MANAGEMENT PRACTICES.
PROVIDE DUST ENCLOSURE AND LIMIT INTRUSIONS OUTSIDE OF THE WORK AREA.
DEMOLISH FINISH CEILINGS, WALLS, ETC. AS REQUIRED FOR UTILITY CONNECTIONS, WIRING, STRUCTURAL MEMBERS, ETC. PER CONTRACTORS NECESSITY IN AREAS OF HOME NOT TO BE RENOVATED.
PATCH TO MATCH EXISTING AS REQUIRED.
PROTECT FINISHES TO REMAIN FROM DAMAGE. REPAIR EXPEDIENTLY TO MATCH EXISTING IF DAMAGED.
MAJOR AREAS OF DEMOLITION ARE SHOWN FOR CLARITY. CONTRACTOR TO REFER TO ENTIRE DRAWING SET TO DETERMINE OTHER AREAS OF DEMOLITION.



SITE PLAN
Esc.: 1/8"=1'-0"

DRAWINGS PROVIDED BY:
MERRinteriors
Remodeling & Design
MERRinteriors
4924 Duke St
Alexandria Va 22304

NO.	DESCRIPTION	BY	DATE
A	DESIGN PRICING SET		06/05/2018

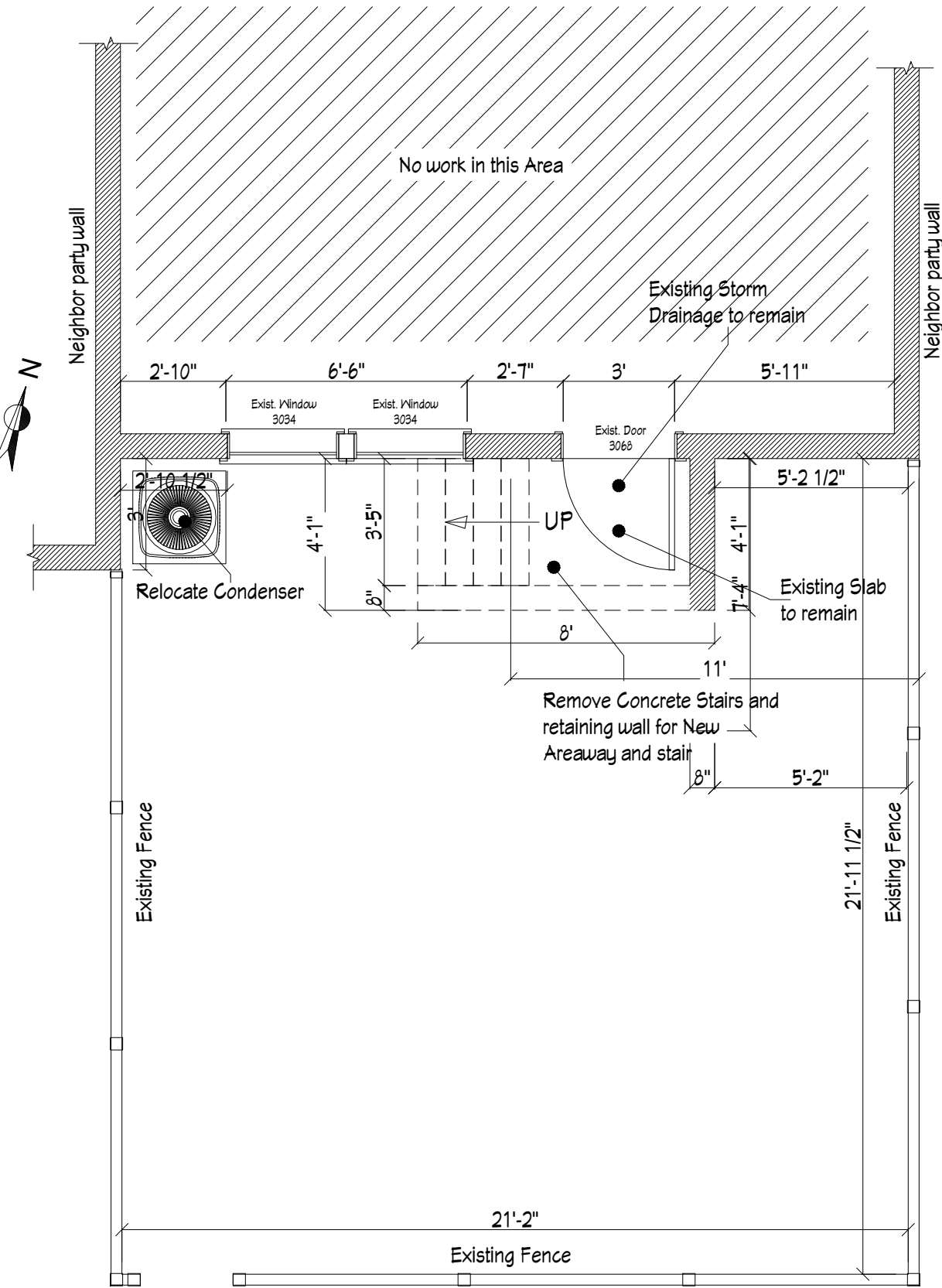
SHEET TITLE:
SITE PLAN

PROJECT DESCRIPTION:
SHARON L. HARDIE
906 GREEN ST.
ALEXANDRIA VA. 22314

DATE:
06/05/2018

SCALE:
INDICATED

SHEET:
CS-2



Exist. Condition / Demolition
First Floor
Esc.: 1/4" = 1'-0"

LEGEND

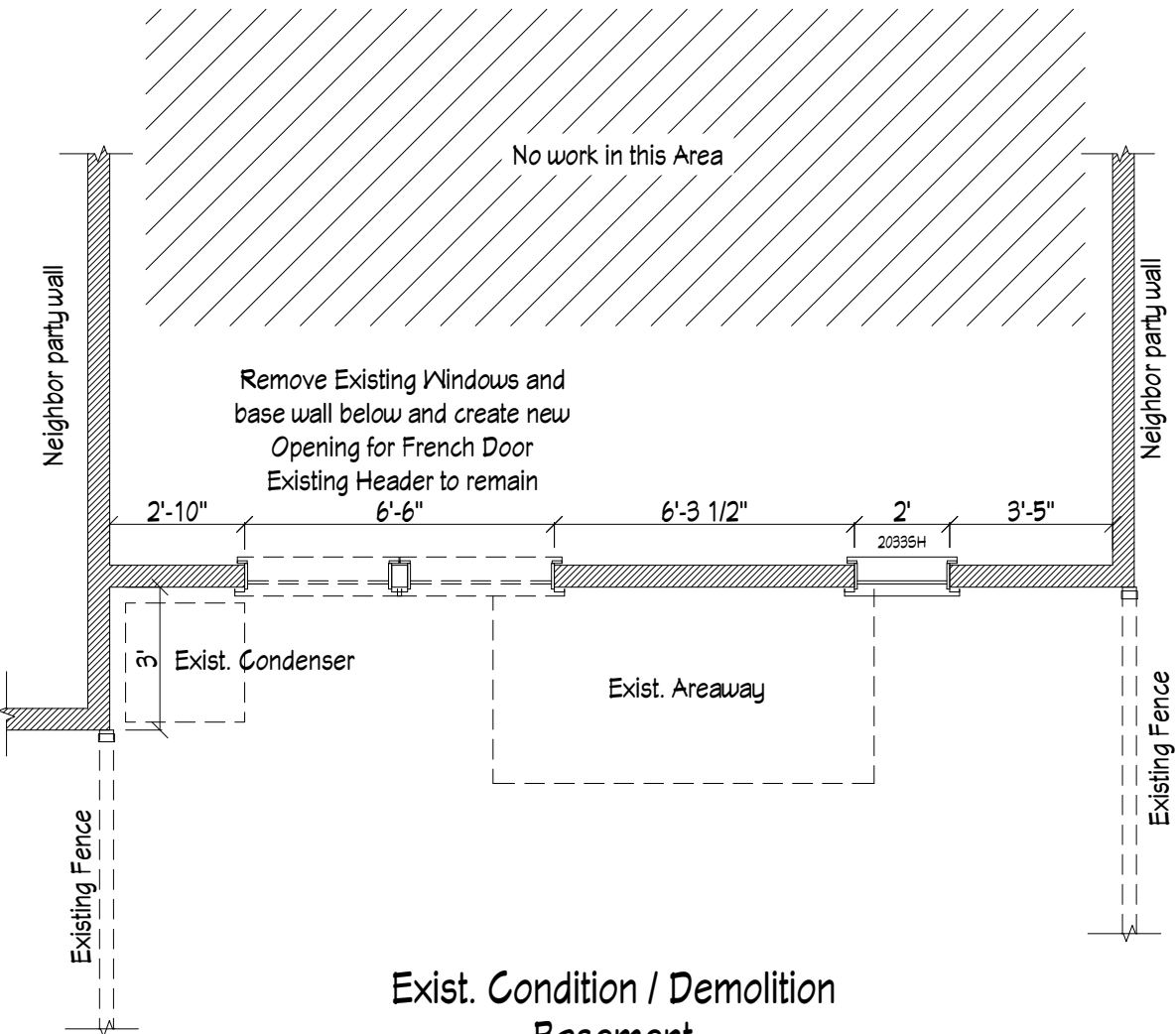
	EXISTING WALLS
	EXISTING CONCRETE, MASONRY WALLS
	NO DEMO WORK IN THIS AREA
	EXISTING TO BE REMOVE AND DISPOSED

NOTE

ALL ITEMS AND MATERIALS REMOVED SHALL BE DISPOSED OF, UNLESS OTHERWISE NOTED.
DUST PARTITIONS ARE TO BE BUILT TO COORDINATE WITH WORK
ALL EXISTING FLOOR, FURNITURE, WALLS, SHALL BE PROTECTED
ELECTRICAL, MECHANICAL, AND PLUMBING CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS WITH PROPOSED PLAN BEFORE WORK BEGINNING

GENERAL DEMOLITION NOTE

PROVIDE TEMPORARY SUPPORT & SHORING AS REQUIRED BEFORE NEW WORK IS IN PLACE.
RECYCLE MATERIALS PER GOOD WASTE MANAGEMENT PRACTICES.
PROVIDE DUST ENCLOSURE AND LIMIT INTRUSIONS OUTSIDE OF THE WORK AREA.
DEMOLISH FINISH CEILINGS, WALLS, ETC. AS REQUIRED FOR UTILITY CONNECTIONS, WIRING, STRUCTURAL MEMBERS, ETC. PER CONTRACTORS NECESSITY IN AREAS OF HOME NOT TO BE RENOVATED. PATCH TO MATCH EXISTING AS REQUIRED.
PROTECT FINISHES TO REMAIN FROM DAMAGE. REPAIR EXPEDIENTLY TO MATCH EXISTING IF DAMAGED.
MAJOR AREAS OF DEMOLITION ARE SHOWN FOR CLARITY. CONTRACTOR TO REFER TO ENTIRE DRAWING SET TO DETERMINE OTHER AREAS OF DEMOLITION.



Exist. Condition / Demolition
Basement
Esc.: 1/4" = 1'-0"

DRAWINGS PROVIDED BY:
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MERRinteriors
4524 Duke St
Alexandria Va 22304

NO.	DESCRIPTION	BY	DATE
A	DESIGN PRICING SET		06/05/2018

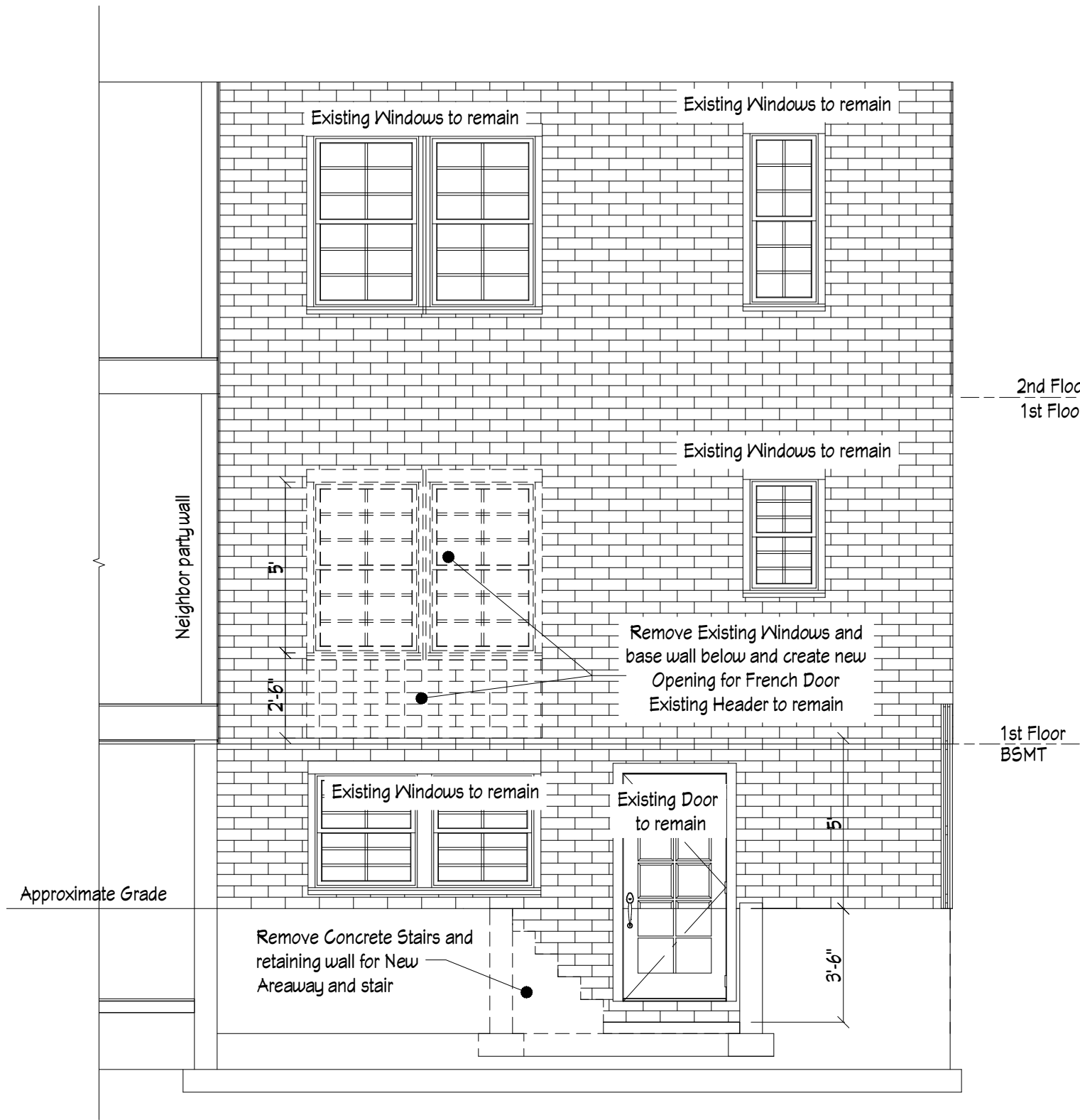
SHEET TITLE:
**EXIST. COND. & DEMO
BASEMENT AND FIRST
FLOOR**

PROJECT DESCRIPTION:
**SHARON L. HARDIE
906 GREEN ST.
ALEXANDRIA VA. 22314**

DATE:
06/05/2018

SCALE:
1/4"=1'

SHEET:
DM-1



Rear Side
Esc.: 1/4" = 1'-0"

LEGEND

	EXISTING WALLS
	EXISTING CONCRETE, MASONRY WALLS
	NO DEMO WORK IN THIS AREA
	EXISTING TO BE REMOVE AND DISPOSED

NOTE

ALL ITEMS AND MATERIALS REMOVED SHALL BE DISPOSED OF, UNLESS OTHERWISE NOTED.
DUST PARTITIONS ARE TO BE BUILT TO COORDINATE WITH WORK

ALL EXISTING FLOOR, FURNITURE, WALLS, SHALL BE PROTECTED

ELECTRICAL, MECHANICAL, AND PLUMBING CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS WITH PROPOSED PLAN BEFORE WORK BEGINNING

GENERAL DEMOLITION NOTE

PROVIDE TEMPORARY SUPPORT & SHORING AS REQUIRED BEFORE NEW WORK IS IN PLACE.
RECYCLE MATERIALS PER GOOD WASTE MANAGEMENT PRACTICES.
PROVIDE DUST ENCLOSURE AND LIMIT INTRUSIONS OUTSIDE OF THE WORK AREA.
DEMOLISH FINISH CEILINGS, WALLS, ETC. AS REQUIRED FOR UTILITY CONNECTIONS, WIRING, STRUCTURAL MEMBERS, ETC. PER CONTRACTORS NECESSITY IN AREAS OF HOME NOT TO BE RENOVATED. PATCH TO MATCH EXISTING AS REQUIRED.
PROTECT FINISHES TO REMAIN FROM DAMAGE. REPAIR EXPEDIENTLY TO MATCH EXISTING IF DAMAGED.
MAJOR AREAS OF DEMOLITION ARE SHOWN FOR CLARITY. CONTRACTOR TO REFER TO ENTIRE DRAWING SET TO DETERMINE OTHER AREAS OF DEMOLITION.

DRAWINGS PROVIDED BY:
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4924 Duke St
Alexandria Va 22304

NO.	DESCRIPTION	BY	DATE
A	DESIGN PRICING SET		06/05/2018

SHEET TITLE:
**EXIST. COND. & DEMO
ELEVATION**



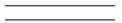
PROJECT DESCRIPTION:
**SHARON L. HARDIE
906 GREEN ST.
ALEXANDRIA VA. 22314**

DATE:
06/05/2018

SCALE:
1/4"=1'

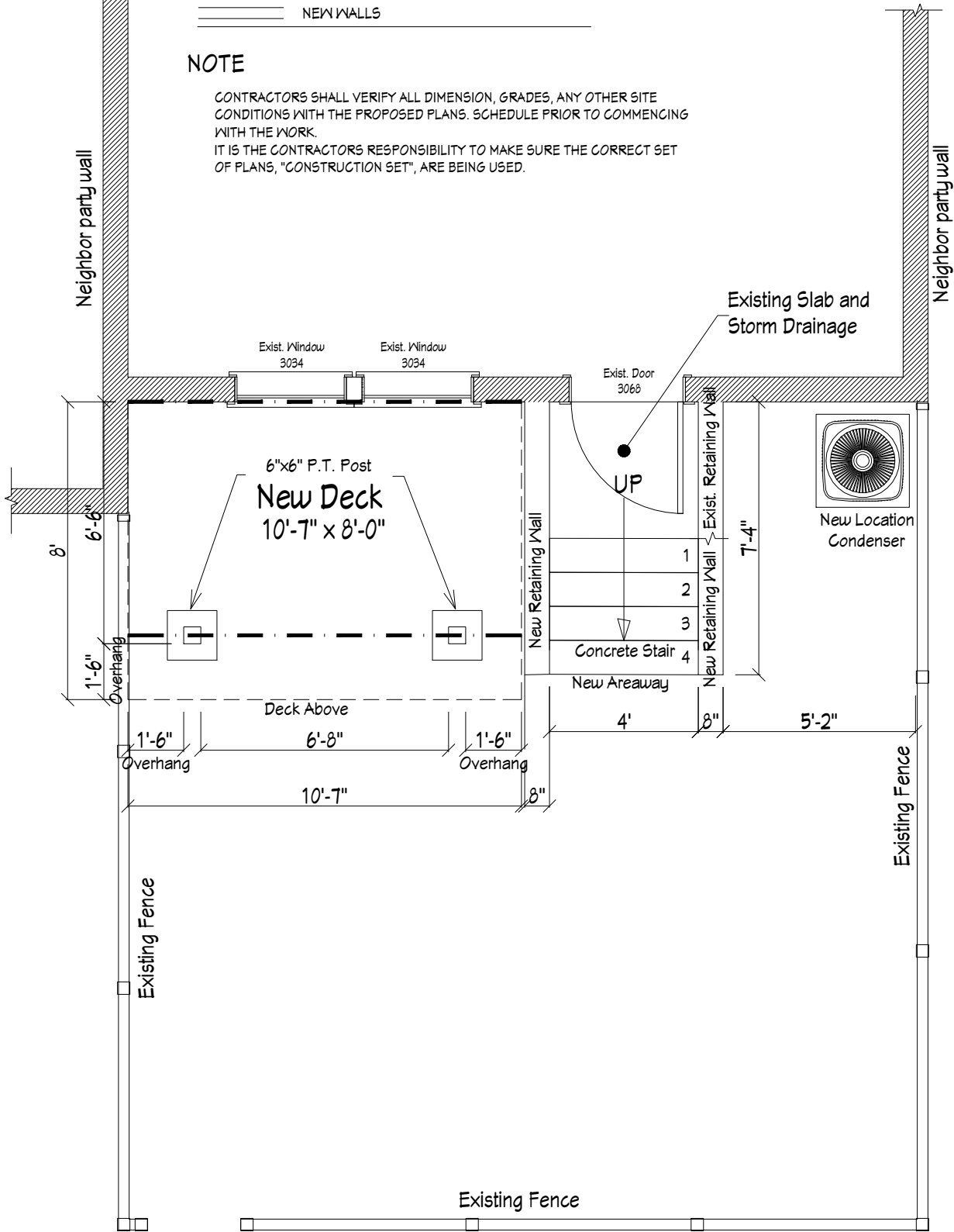
SHEET:
DM-2

LEGEND

	EXISTING WALLS
	NO DEMO WORK IN THIS AREA
	NEW WALLS

NOTE

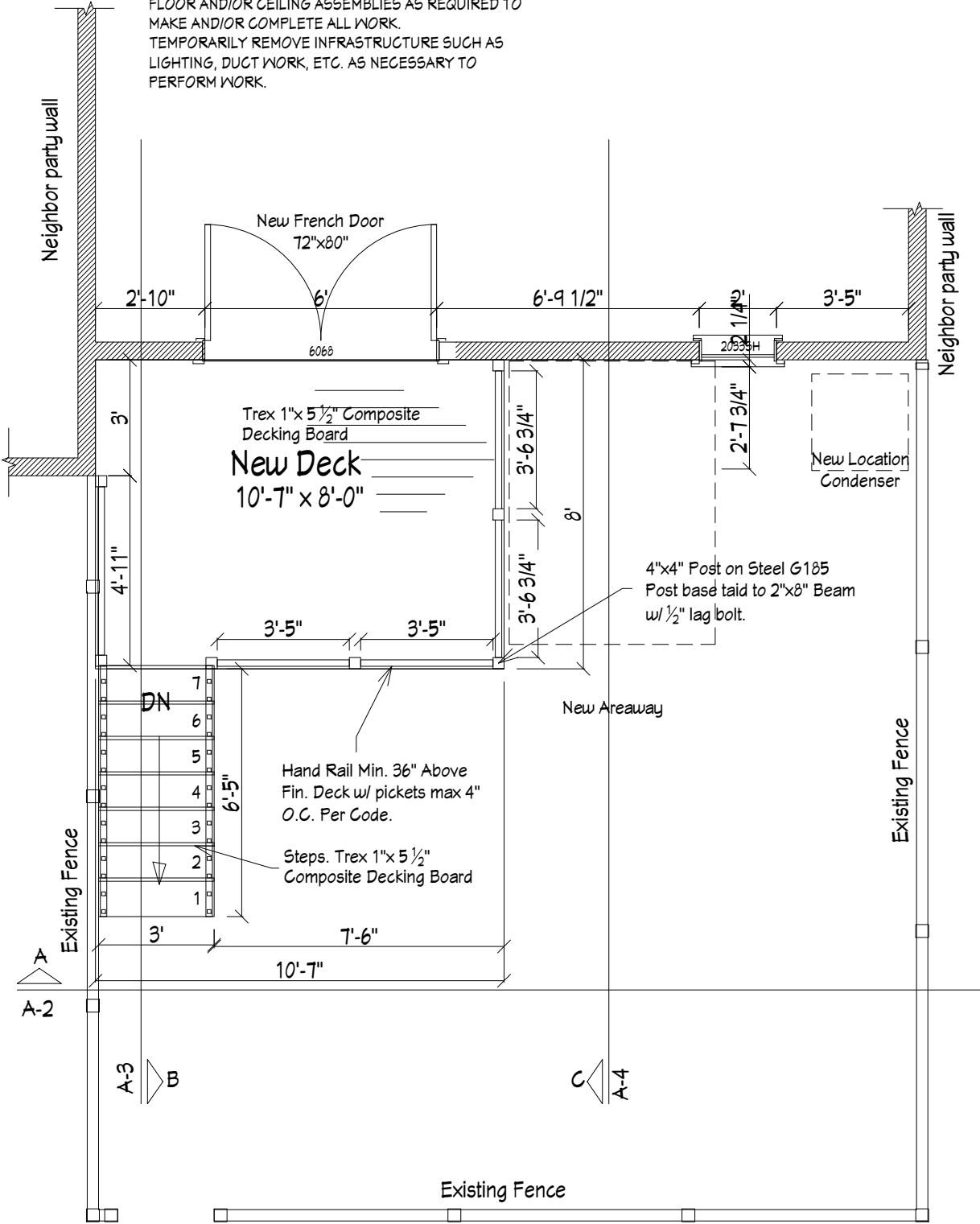
CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS. SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, "CONSTRUCTION SET", ARE BEING USED.



Proposed
Basement
Esc.: 1/4" = 1'-0"

GENERAL NOTE

ALL DIMENSIONS NOTED ± ARE TO BE ADJUSTED AS REQUIRED PER FIELD CONDITION
PATCH & REPAIR ALL FINISHES, SUBSTRATES, ETC. IN ALL AREAS AFFECTED BY THE WORK & BETWEEN SPECIFIC WORK LOCATIONS.
TO INSTALL STRUCTURAL, CONTRACTOR IS TO REMOVE FLOOR AND/OR CEILING ASSEMBLIES AS REQUIRED TO MAKE AND/OR COMPLETE ALL WORK.
TEMPORARILY REMOVE INFRASTRUCTURE SUCH AS LIGHTING, DUCT WORK, ETC. AS NECESSARY TO PERFORM WORK.



Proposed
First Floor
Esc.: 1/4" = 1'-0"

DRAWINGS PROVIDED BY:
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Remodeling & Design
MERRinteriors
4924 Duke St
Alexandria Va 22304

NO.	DESCRIPTION	BY	DATE
A	DESIGN PRICING SET		06/05/2018

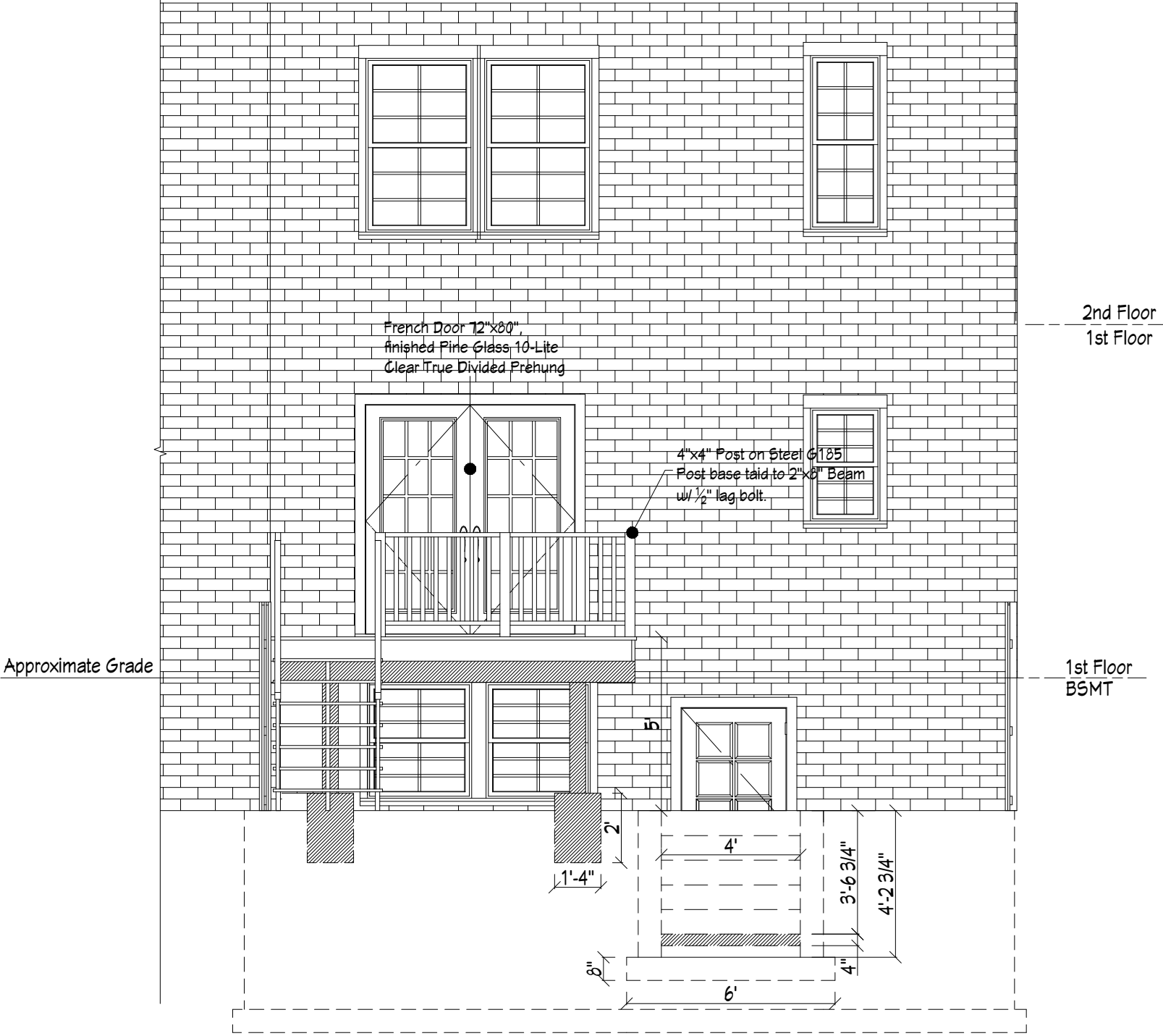
SHEET TITLE:
**PROPOSED DECK AND
AREAWAY**

PROJECT DESCRIPTION:
**SHARON L. HARDIE
906 GREEN ST.
ALEXANDRIA VA. 22314**

DATE:
06/05/2018

SCALE:
1/4" = 1'

SHEET:
A-1



Section A
Esc.: 1/4' = 1'-0"

LEGEND

	EXISTING WALLS
	NO DEMO WORK IN THIS AREA
	NEW WALLS

NOTE

CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS. SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
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TEMPORARILY REMOVE INFRASTRUCTURE SUCH AS LIGHTING, DUCT WORK, ETC. AS NECESSARY TO PERFORM WORK.

DRAWINGS PROVIDED BY:
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Remodeling & Design
MERRinteriors
4924 Duke St
Alexandria Va 22304

NO.	DESCRIPTION	BY	DATE
A	DESIGN PRICING SET		06/05/2018

SHEET TITLE:

**PROPOSED
SECTION A**

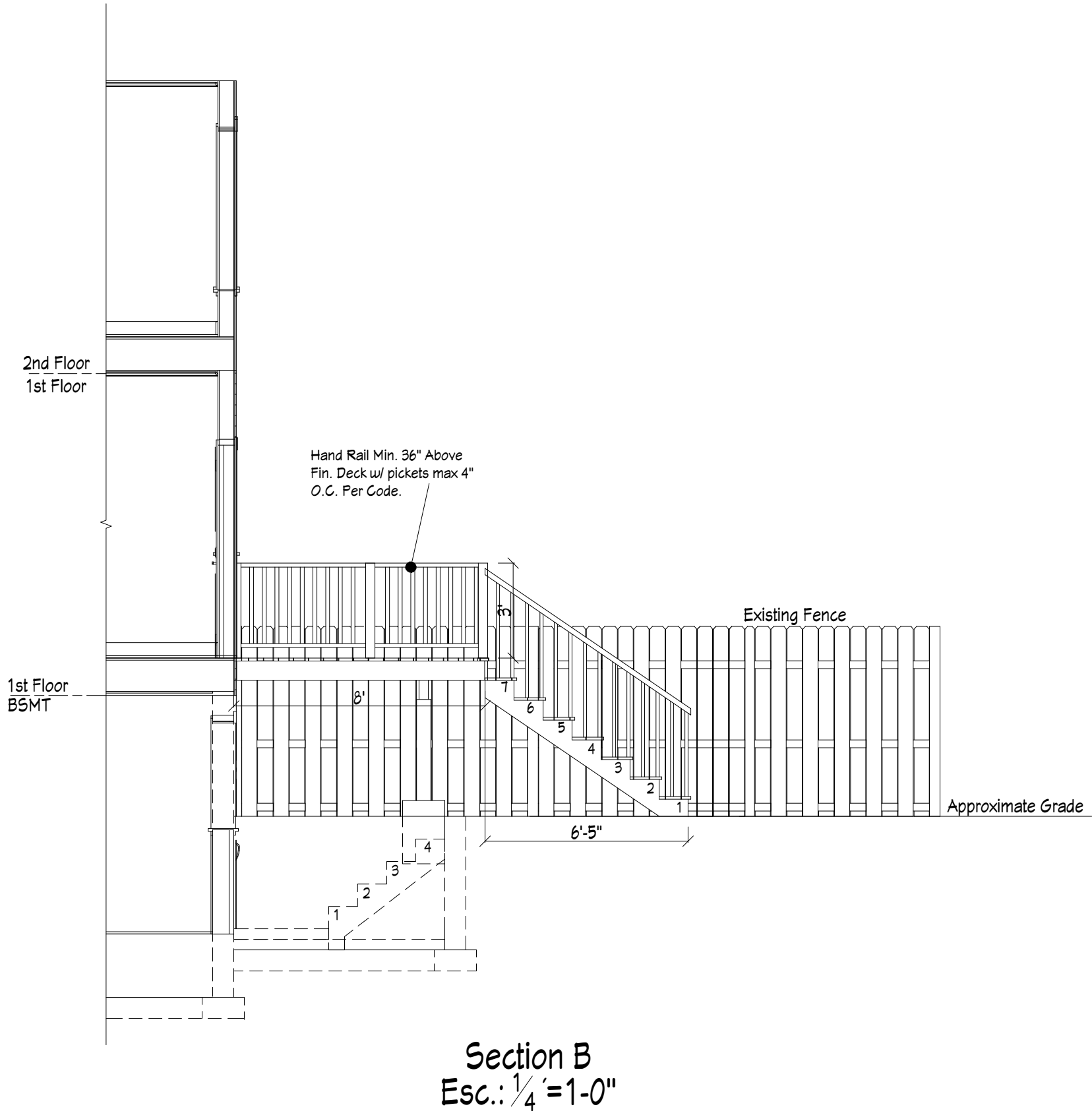
PROJECT DESCRIPTION:

SHARON L. HARDIE
906 GREEN ST.
ALEXANDRIA VA. 22314

DATE:
06/05/2018

SCALE:
1/4"=1'

SHEET:
A-2



LEGEND

	EXISTING WALLS
	NO DEMO WORK IN THIS AREA
	NEW WALLS

NOTE

CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS. SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, "CONSTRUCTION SET", ARE BEING USED.

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TO INSTALL STRUCTURAL, CONTRACTOR IS TO REMOVE FLOOR AND/OR CEILING ASSEMBLIES AS REQUIRED TO MAKE AND/OR COMPLETE ALL WORK.
TEMPORARILY REMOVE INFRASTRUCTURE SUCH AS LIGHTING, DUCT WORK, ETC. AS NECESSARY TO PERFORM WORK.

DRAWINGS PROVIDED BY:
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Remodeling & Design
MERRinteriors
4924 Duke St
Alexandria Va 22304

NO.	DESCRIPTION	BY	DATE
A	DESIGN PRICING SET		06/05/2018

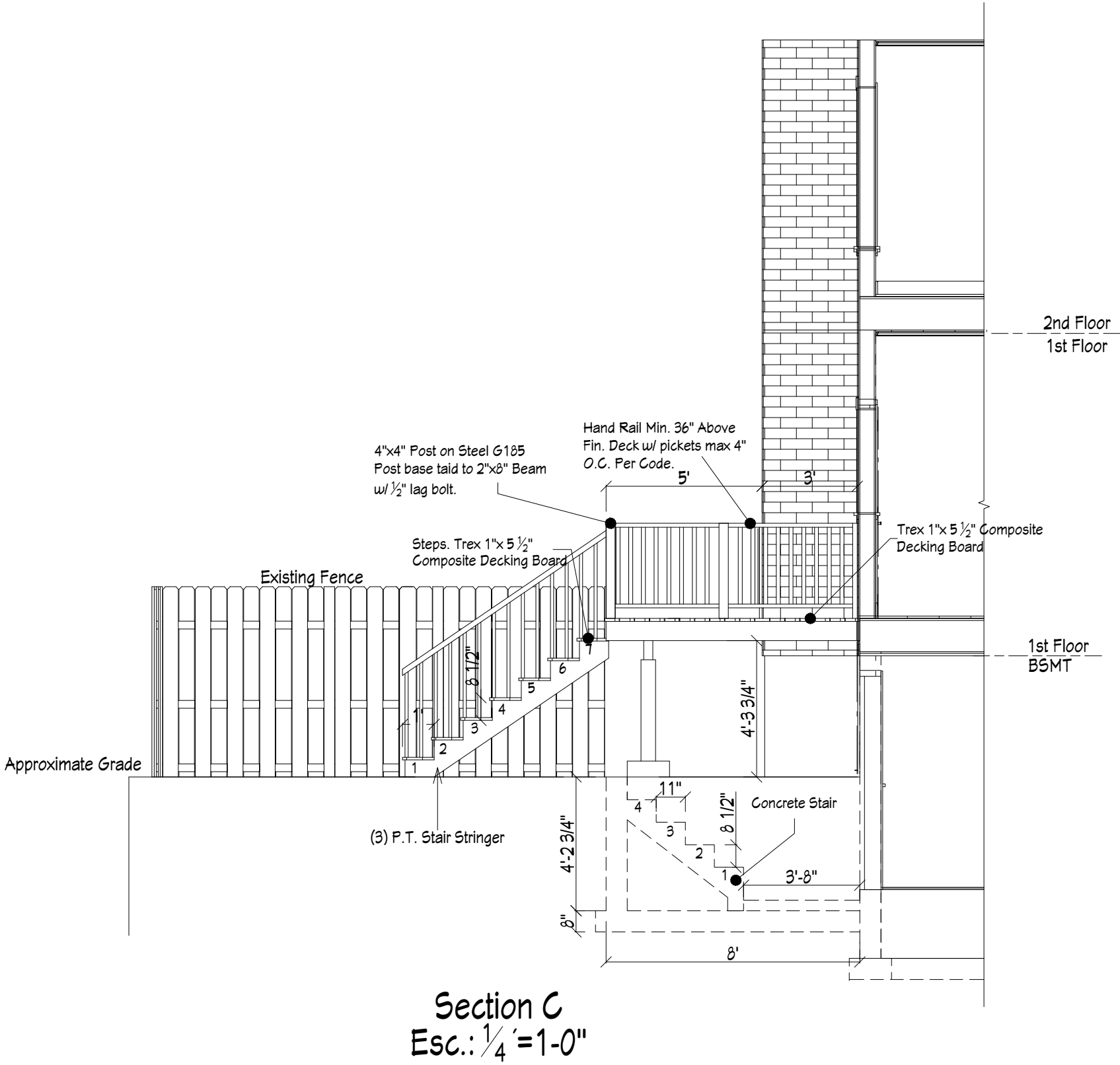
SHEET TITLE:
**PROPOSED
SECTION B**

PROJECT DESCRIPTION:
**SHARON L. HARDIE
906 GREEN ST.
ALEXANDRIA VA. 22314**

DATE:
06/05/2018

SCALE:
1/4"=1'

SHEET:
A-3



LEGEND

	EXISTING WALLS
	NO DEMO WORK IN THIS AREA
	NEW WALLS

NOTE

CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS. SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
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GENERAL NOTE

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TO INSTALL STRUCTURAL, CONTRACTOR IS TO REMOVE FLOOR AND/OR CEILING ASSEMBLIES AS REQUIRED TO MAKE AND/OR COMPLETE ALL WORK.
TEMPORARILY REMOVE INFRASTRUCTURE SUCH AS LIGHTING, DUCT WORK, ETC. AS NECESSARY TO PERFORM WORK.

DRAWINGS PROVIDED BY:
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Remodeling & Design
MERRinteriors
4924 Duke St
Alexandria Va 22304

NO.	DESCRIPTION	BY	DATE
A	DESIGN PRICING SET		06/05/2018

SHEET TITLE:

**PROPOSED
SECTION C**

PROJECT DESCRIPTION:

SHARON L. HARDIE
906 GREEN ST.
ALEXANDRIA VA. 22314

DATE:
06/05/2018

SCALE:
1/4"=1'

SHEET:
A-4

CONCRETE COMPRESSIVE STRENGTH

NOTE

GENERAL NOTE

Structural Basement

Esc.: $\frac{1}{4}'' = 1'-0''$

Neighboring party wall

Neighboring party wall

Existing Window 3034

Existing Window 3034

Existing Door 3068

2x8 P.T. Ledger w/ 1/2" Lag Bolts @ 16" O.C.

6"x6" P.T. Post on 16"x16"x24" Conc. Footing

(2) 2x10 P.T. Hanged Beam on 6x6 Posts

8" New Retaining Wall

UP

Concrete Stair

Existing Fence

Existing Fence

8'

6'-6"

1'-6" Overhang

1'-6" Overhang

6'-8"

10'-7"

1'-6" Overhang

6'-3 1/4"

7'-4"

4'

8"

A

S-2

Structural Basement

Esc.: $\frac{1}{4}' = 1-0''$

Neighbor party wall

Neighbor party wall

Existing Fence

Existing Fence

2x8 P.T. Ledger w/ 1/2" Lag Bolts @ 16" O.C.

2"x8" P.T. Joists @ 14"

(2) 2x10 P.T. Hanged Beam on 6x6 Posts

New Location Condenser

New Areaway

6"x6" P.T. Post on 16"x16" Conc. Footing

DN

(3) P.T. Stair Stringer

Structural First Floor

Esc.: 1/4' = 1'-0"

Structural First Floor

Esc.: $\frac{1}{4}' = 1-0''$

SHEET TITLE:

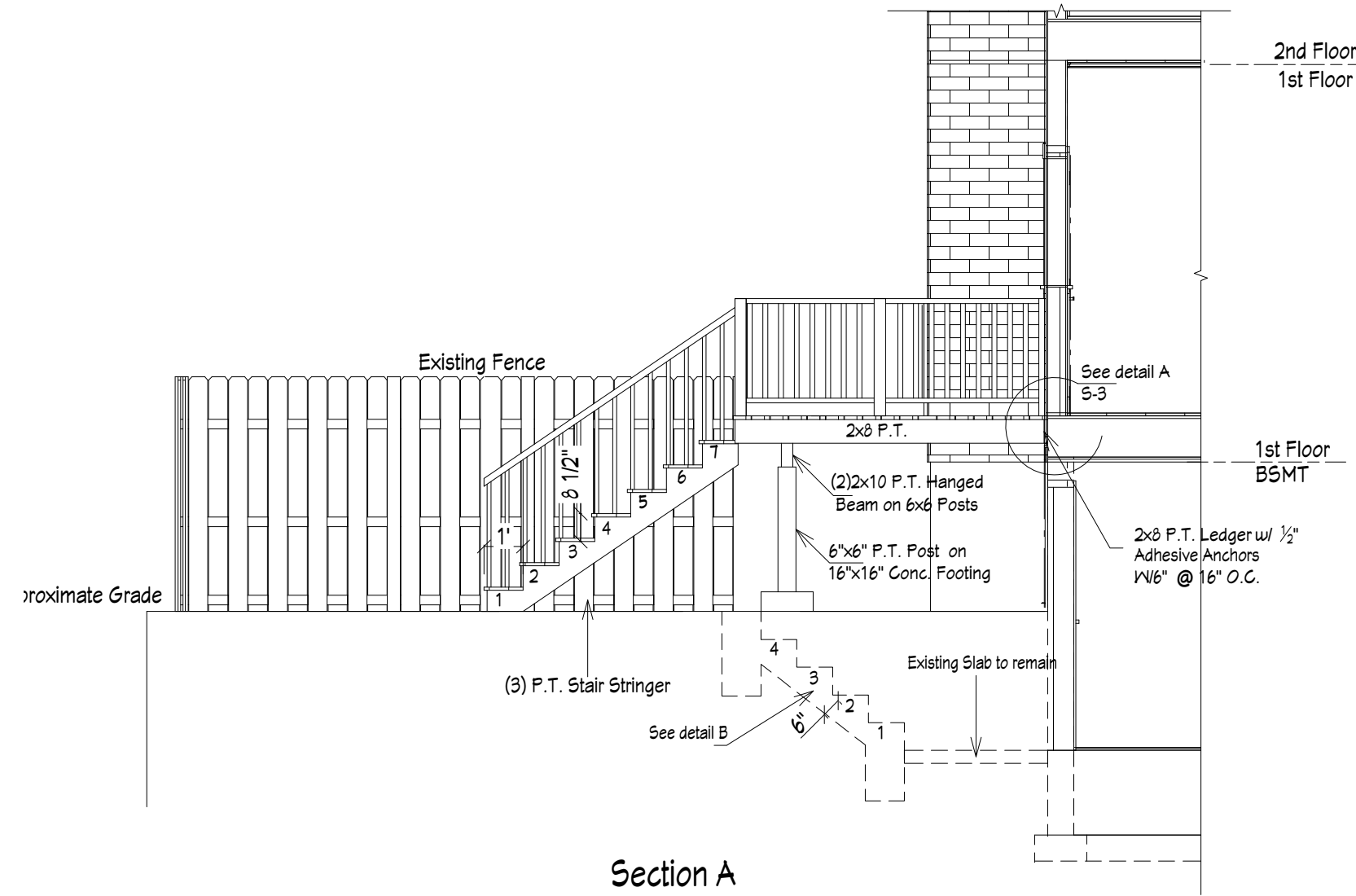
**STRUCTURAL
BASEMENT AND FIRST
FLOOR**

PROJECT DESCRIPTION:
SHARON L. HARDIE
906 GREEN ST.
ALEXANDRIA VA. 22314

DATE:
06/05/2018

SCALE:
1/4"=1'

SHEET:
S-1



LEGEND

	EXISTING WALLS
	NO DEMO WORK IN THIS AREA
	NEW WALLS

NOTE

CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS. SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, "CONSTRUCTION SET", ARE BEING USED.
CONTRACTOR TO PROVIDE TEMP SHORING AS NEEDED

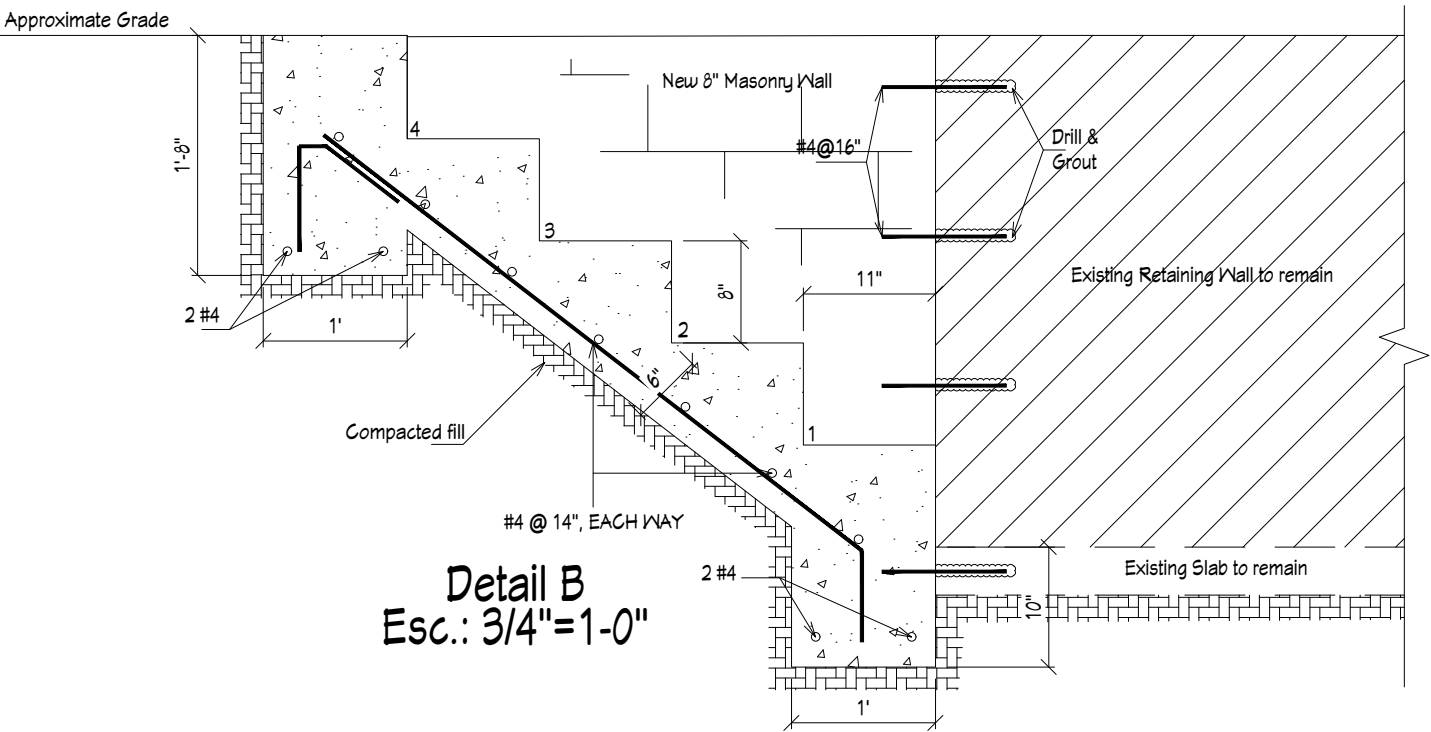
GENERAL NOTE

ALL JOISTS, BEAMS AND POSTS SHALL BE SPRUCE-PINE-FIR NO.1/NO.2 PER "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", NFPA. ALL STUDS SHALL BE SPRUCE-PINE-FIR STUD-GRADE. ALL WOOD MEMBERS SHALL BE MANUFACTURED TO COMPLY WITH F520 OF "AMERICAN SOFTWOOD LUMBER STANDARDS" AND SHALL HAVE 19% MAXIMUM MOISTURE CONTENT.

CONCRETE COMPRESIVE STRENGTH

Slab	2,500 psi
Foundations	3,500 psi

Section A
Esc.: 1/4' = 1'-0"



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Remodeling & Design
MERRinteriors
4924 Duke St
Alexandria Va 22304

NO.	DESCRIPTION	BY	DATE
A	DESIGN PRICING SET		06/05/2018

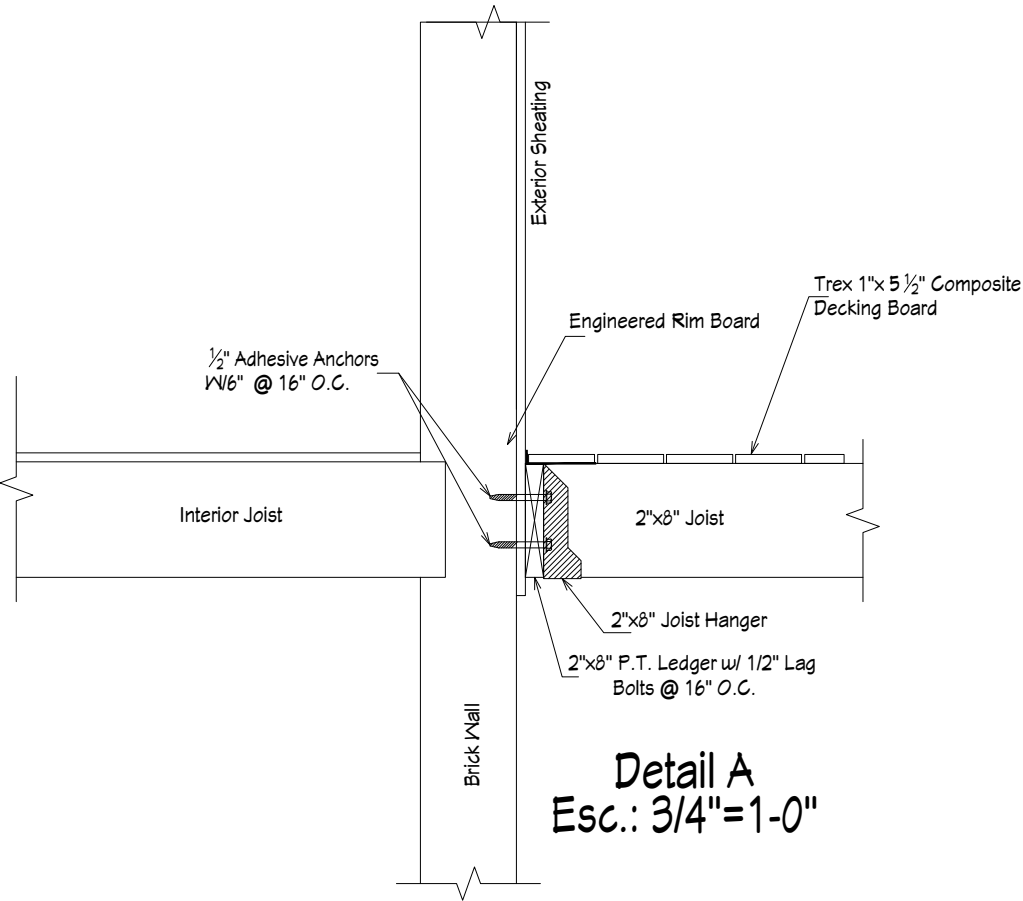
SHEET TITLE:
**STRUCTURAL
SECTION A**

PROJECT DESCRIPTION:
**SHARON L. HARDIE
906 GREEN ST.
ALEXANDRIA VA. 22314**

DATE:
06/05/2018

SCALE:
1/4"=1'

SHEET:
S-2



LEGEND

	EXISTING WALLS
	NO DEMO WORK IN THIS AREA
	NEW WALLS

CONCRETE COMPRESIVE STRENGTH

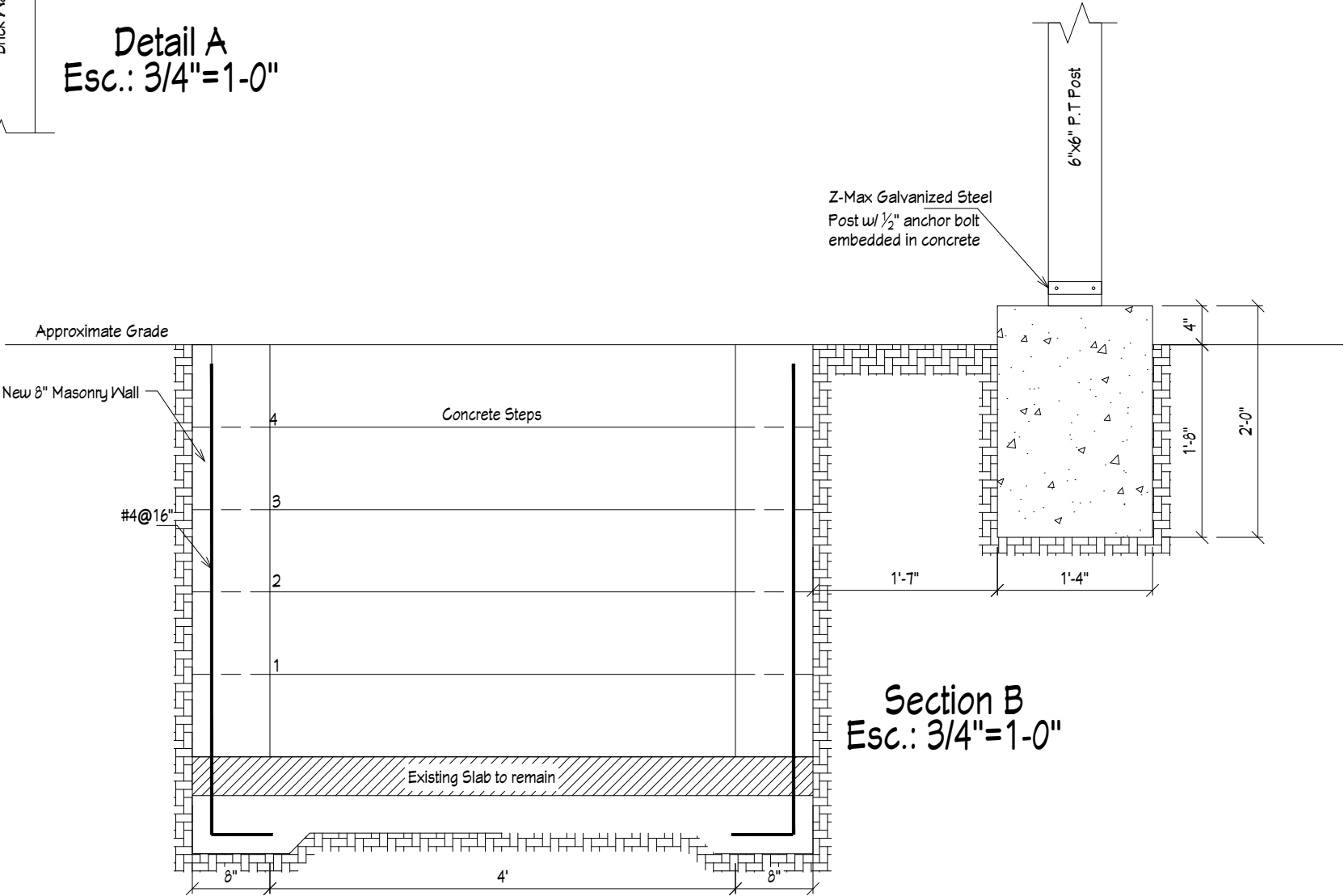
Slab	2,500 psi
Foundations	3,500 psi

NOTE

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CONTRACTOR TO PROVIDE TEMP SHORING AS NEEDED

GENERAL NOTE

ALL JOISTS, BEAMS AND POSTS SHALL BE SPRUCE-PINE-FIR NO.1/NO.2 PER "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", NFPA. ALL STUDS SHALL BE SPRUCE-PINE-FIR STUD-GRADE. ALL WOOD MEMBERS SHALL BE MANUFACTURED TO COMPLY WITH PS20 OF "AMERICAN SOFTWOOD LUMBER STANDARDS" AND SHALL HAVE 19% MAXIMUM MOISTURE CONTENT.



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MERRinteriors
4924 Duke St
Alexandria Va 22304

NO.	DESCRIPTION	BY	DATE
A	DESIGN PRICING SET		06/05/2018

























SHEET TITLE:
**STRUCTURAL
SECTION B**

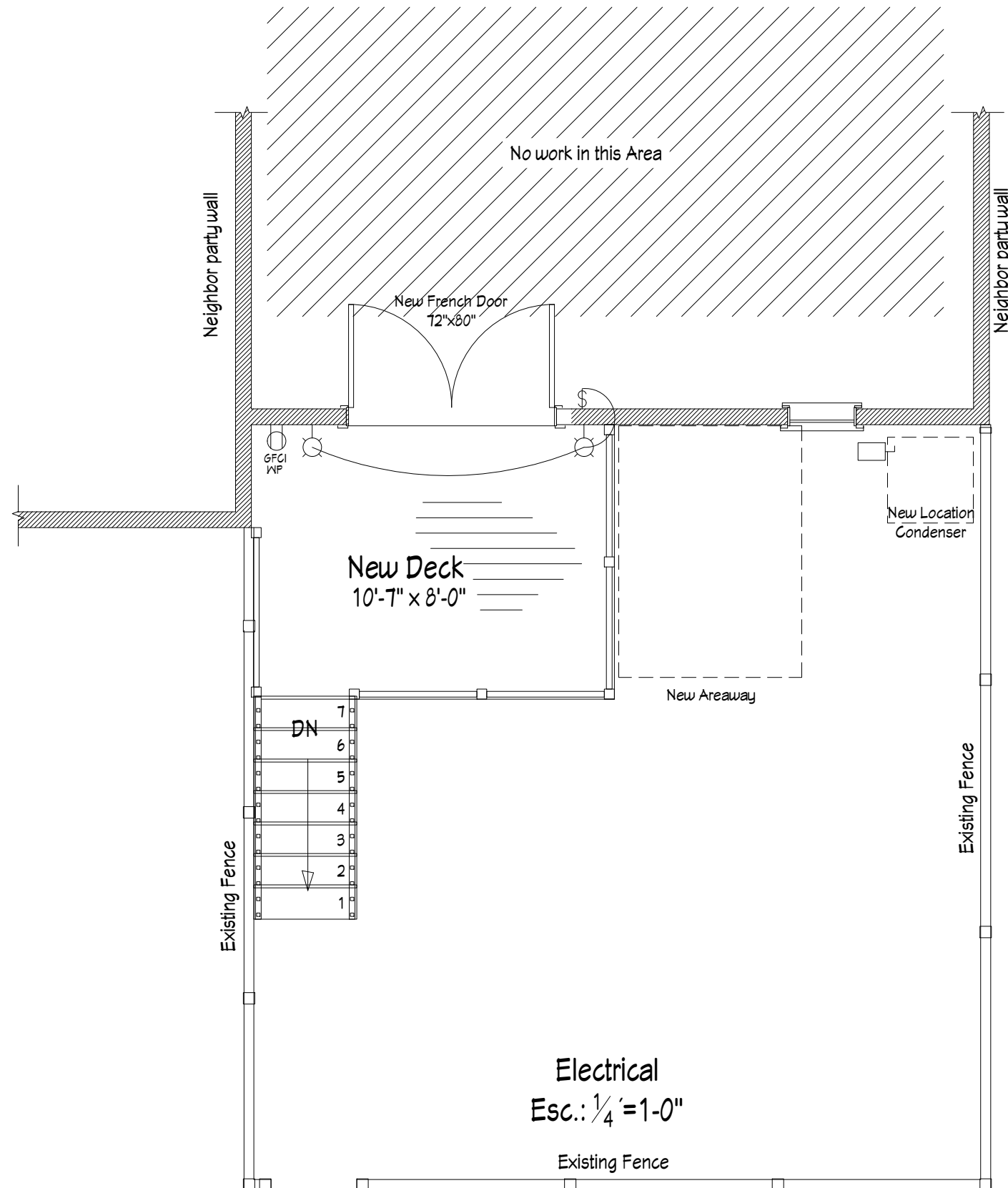
PROJECT DESCRIPTION:
**SHARON L. HARDIE
906 GREEN ST.
ALEXANDRIA VA. 22314**

DATE:
06/05/2018

SCALE:
1/4"=1'

SHEET:
S-3

	Electrical Panel
	Exhaust Vent
	Smoke Detector Hardwired With Battery Backup
	Carbon Monoxide Detector
	No work in this area
	UNIT TYPE UNIT SIZE
	Branch circuit wiring consealed Ceiling and / or wall space
	Flood Light
	Voice/Data
	Speaker
	Safety switch sized to accommodate Equipment or Motor
	Receptacle
	Dedicated Receptacle
	Weatherproof Receptacle
	Ground Fault Circuit Interrupter
	Data Wiring
	Single-Pole Switch
	Three/Four-Way Switch
	Single-Pole/Three-Way Switch w/ Dimmer
	Recessed Fixture
	Ceiling-Mounted Fixture
	Wall-Mounted Fixture
	Fluorescent (Under-Cabinet) Fixture
	Television



NOTE

CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS. SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, "CONSTRUCTION SET", ARE BEING USED.

GENERAL ELECTRICAL NOTE

THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY SURVEY ALL EXISTING CONDITION

THE ENTIRE ELECTRICAL INSTALLATION SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCAL CODE AND CODE ENFORCING AUTHORITIES.

THE ELECTRICAL DRAWINGS SHALL BE CONSIDERED AS BEING DIAGRAMMATIC AND FOR BIDDING PURPOSES ONLY. THE ATTENTION OF THE CONTRACTOR IS CALLED TO THE FACT THAT WHILE THESE DRAWINGS ARE GENERALLY TO SCALE AND ARE MADE AS ACCURATELY AS THE SCALE WILL PERMIT, ALL IMPORTANT DIMENSIONS SHALL BE DETERMINED IN THE FIELD. THEY ARE NOT TO BE CONSIDERED AS ERECTION DRAWINGS. THEY DO NOT INDICATE EVERY FITTING, ELBOW, OFFSET, PULL BOX, ETC. WHICH IS REQUIRED TO COMPLETE THE JOB. CONTRACTOR SHALL PREPARE FIELD ERECTION DRAWINGS AS REQUIRED FOR THE USE OF HIS MECHANICS TO INSURE PROPER INSTALLATION.

ELECTRICAL WIRING SHALL BE NO. 12 THHN AWG COPPER MINIMUM UNLESS OTHERWISE NOTED.

TO INSTALL STRUCTURAL, CONTRACTOR IS TO REMOVE FLOOR AND/OR CEILING ASSEMBLIES AS REQUIRED TO MAKE AND/OR COMPLETE ALL WORK.

TEMPORARILY REMOVE INFRASTRUCTURE SUCH AS LIGHTING, DUCT WORK, ETC. AS NECESSARY TO PERFORM WORK..

DRAWINGS PROVIDED BY:
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Remodeling & Design
MERRinteriors
4924 Duke St
Alexandria Va 22304

NO.	DESCRIPTION	BY	DATE
A	DESIGN PRICING SET		06/05/2018

SHEET TITLE:

**ELECTRICAL DECK
FIRST FLOOR**

PROJECT DESCRIPTION:

SHARON L. HARDIE
906 GREEN ST.
ALEXANDRIA VA. 22314

DATE:
06/05/2018

SCALE:
1/4"=1'

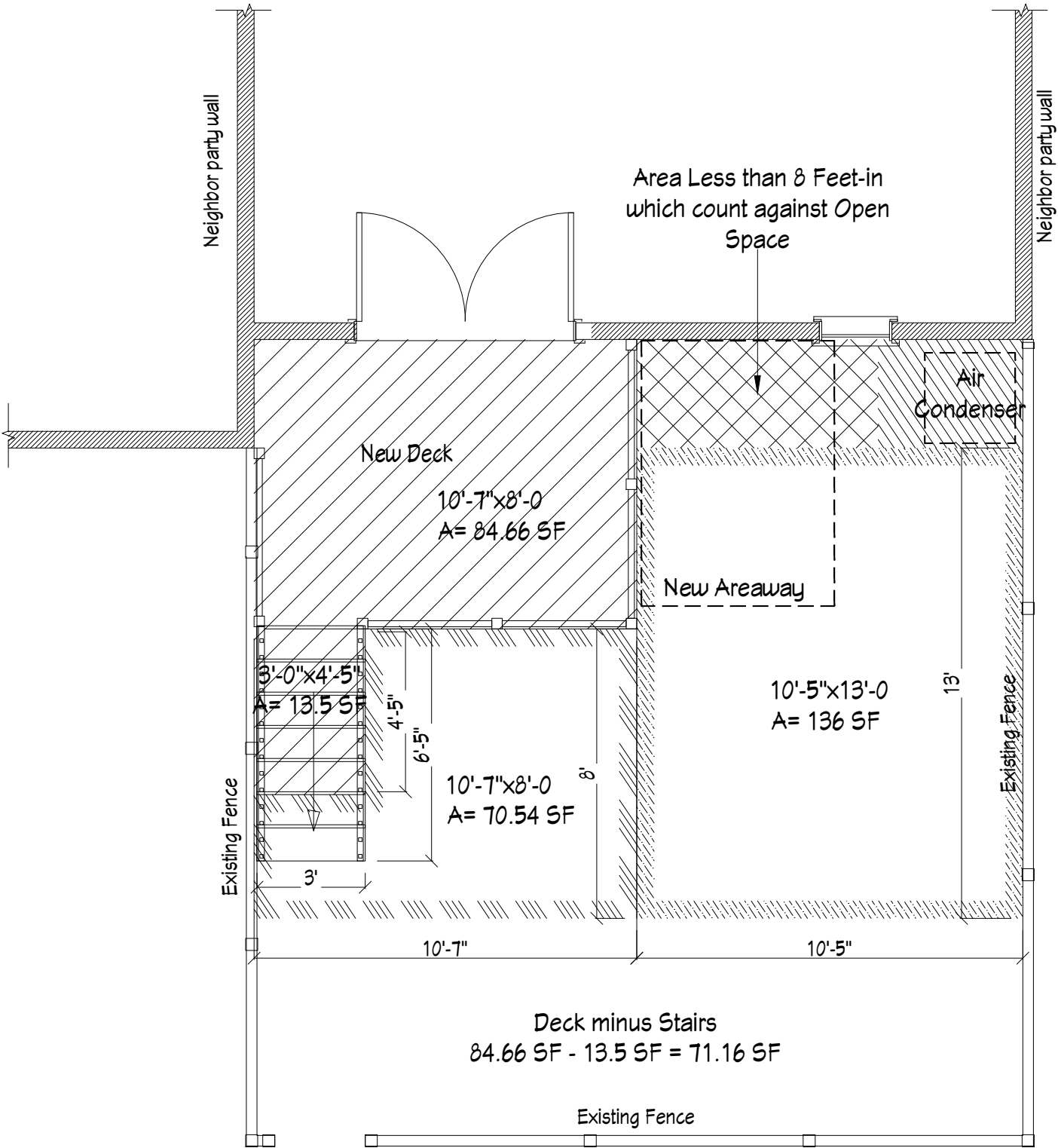
SHEET:
E-1

NOTE

CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS. SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, "CONSTRUCTION SET", ARE BEING USED.

906 GREEN ST. RM ZONE

DESCRIPTION	AREA	UND.
TOTAL LOT AREA	1681 SF.	
FLOOR RATIO ALLOW BY ZONE	1.5 SF.	
MAXIMUM ALLOWABLE FLOOR AREA	2521.5 SF.	
EXISTING GROSS AREA	1870.44 SF.	
ALLOWABLE FLOOR EXCLUSIONS	623.48 SF.	
EXISTING FLOOR AREA MINUS EXCL	1246.96 SF.	
PROPOSED GROSS FLOOR AREA	0 SF.	
TOTAL FLOOR AREA	1246.96 SF.	
TOTAL FLOOR AREA ALLOWED	2521.5 SF.	
EXISTING OPEN SPACE	1044.72 SF.	
REQUIRE OPEN SPACE	588.35 SF.	
PROPOSED OPEN SPACE	159.89 SF.	
DEMO AREA	78.25 SF.	
FOUNDATION	84.65 SF.	
NEW STAIRS	19.5 SF.	
NEW AIRWAY	16 SF.	
TOTAL ALTERED AREA	120.15 SF.	



Zoning
Floor area ration and open space
Esc.: 1/4' = 1'-0"

DRAWINGS PROVIDED BY:
MERRinteriors
Remodeling & Design
MERRinteriors
4524 Duke St
Alexandria Va 22304

NO.	DESCRIPTION	BY	DATE
A	DESIGN PRICING SET		06/05/2018

SHEET TITLE:
**ZONING
FLOOR AREA RATION
AND OPEN SPACE**

PROJECT DESCRIPTION:
**SHARON L. HARDIE
906 GREEN ST.
ALEXANDRIA VA. 22314**

DATE:
06/05/2018

SCALE:
1/4" = 1'

SHEET:
Z-1