

Docket Item # 3 & 4
BAR CASE # 2018-0297
&2018-0298

BAR Meeting
July 18, 2018

ISSUE: Partial Demolition/Capsulation and a Certificate of Appropriateness for Alterations and an Addition

APPLICANT: Anita Hall

LOCATION: 315 Buchanan Street

ZONE: RB/Townhouse zone.

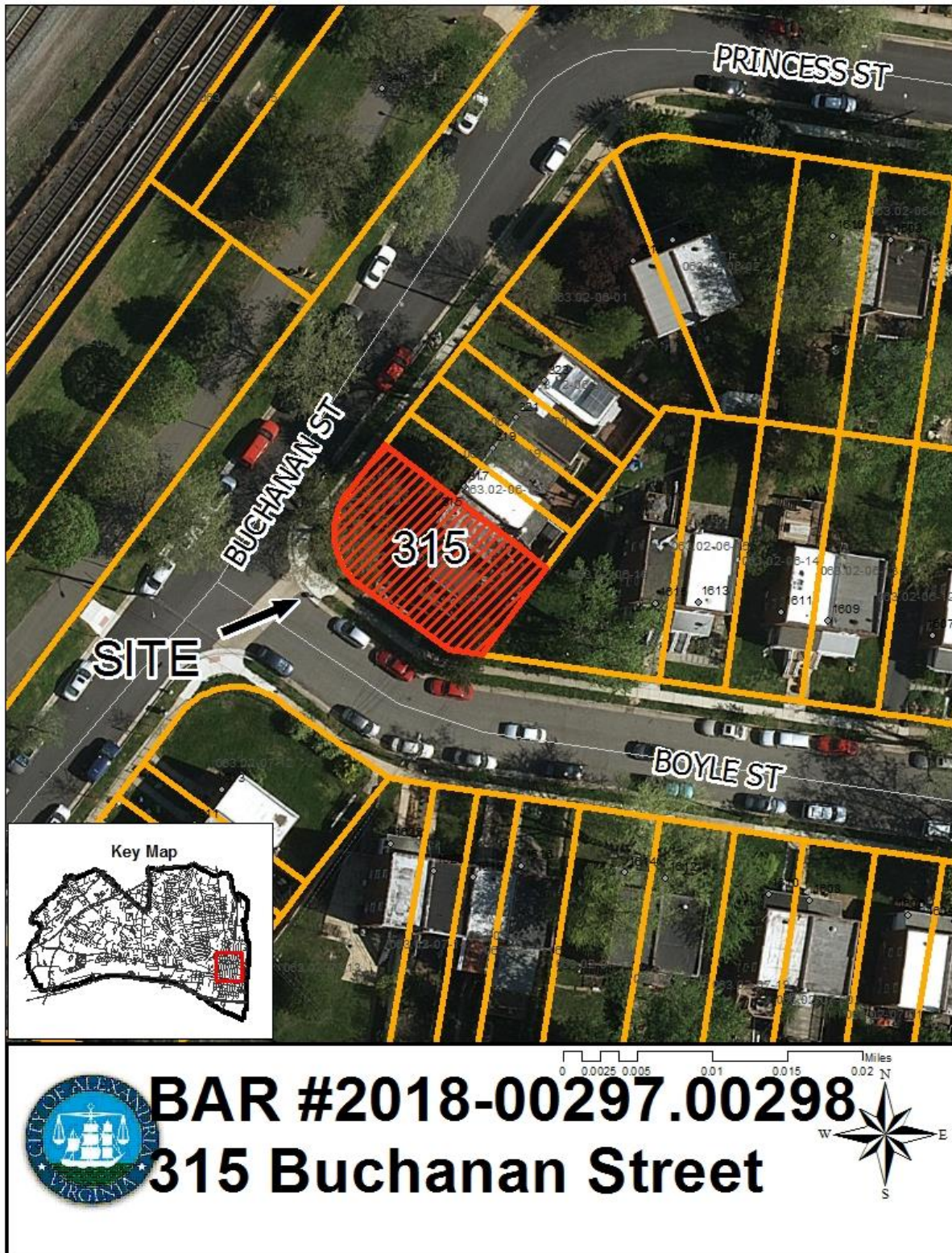
STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish and Certificate of Appropriateness, Waiver of Rooftop Mechanical Screening, with the following conditions:

1. That the BAR find that the front yard setback of the new three story addition and raised wood deck on Boyle is appropriate for this project in this location.
2. The replacement fence on the east property line must be the same design and 7' total height as the existing fence and the 7' height may extend no farther south than the face of the existing addition.
3. Locate the rooftop HVAC condenser near the center of the existing dwelling east/west and toward the north side of the roof as much as possible to hide its visibility from Boyle Street and run all refrigerant and electrical lines internal to the dwelling rather than on the exterior face of the dwelling.
4. Recess the brick veneer on the west wall of the first floor of the addition to be flush with the wood frame above.
5. Restudy the form of the roof of the addition. Consider extending a parapet around the addition at the same height as the parapet of the existing dwelling.
6. Restudy the design of the support structure and guardrail of the deck in the Boyle Street front yard.
7. The statements in the archaeology conditions below shall appear in the General Notes of all site plans and on grading plans so that on-site contractors are aware of the requirements.
 - a. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of historic or prehistoric artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



Note: Staff coupled the applications for a Permit to Demolish/Capsulate (BAR #2018-0297) and Certificate of Appropriateness (BAR #2018-0298) for clarity and brevity.

I. ISSUE

The applicant is requesting approval of a Permit to Demolish/Capsulate for the following:

- Demolition of the wood deck, steps, and ramp on the secondary front (south) elevation of the existing addition
- Demolition/Capsulation of the secondary front (south) elevation of the main block of the dwelling
- Demolition/Capsulation of the front (west) elevation and roof of the existing one-story addition

The applicant is requesting a Certificate of Appropriateness for the following:

- Construction of a 3-story addition adjacent to and above the existing addition on the south elevation that will measure 12'-10" by 22'-10" and include an inset second story balcony
- Replacement of the wood deck and steps on the front (south) elevation of the new addition and on the side (east) elevation of the existing dwelling

The proposed materials on the addition include smooth fiber cement clapboard siding, vinyl windows and an GAF Royal Sovereign, weathered gray, 3-tab asphalt shingle roof.

The following alterations are included in the scope of work in the application but do not require BAR or staff approval based on the *Parker-Gray Residential Reference Guide*: replacement of the front door, removal of the shutters on the front elevation, paving in the side yard, removal of the accessibility ramp in the front yard, light fixtures, drainage features, replacement of the side yard wood fence, and replacement of the ground mounted HVAC unit behind the fence in the side yard.

II. HISTORY

The flat-roof vernacular, brick-faced cinder block rowhouse at 315 Buchanan Street was constructed in the **1948**, according to Alexandria Archaeology research, as an end unit in a row of five units. The dwelling first appeared on the 1958 Sanborn Fire Insurance Map. The *Parker-Gray Residential Reference Guide* considers this to be a "Later" (post-1931) dwelling. The two story concrete block and wood frame addition on the south front of the house facing Boyle Street was constructed in **1985**, just before the separate Parker-Gray BAR was established. The accessibility ramp and its large landing (deck) was constructed by 2001 and was approved after-the-fact at that time by the BAR.

Previous Approvals

BAR Case #2001-00284 – After-the-fact approval of a handicapped accessibility ramp and conversion of a window to a door

BAR Case #2011-0191 & 2011-0194 – After-the-fact approval of a replacement fence and other alterations

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-205(B):

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historic interest that its removal would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into an historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(5)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place to live?	No
(6)	Would retention of the building or structure help maintain the scale and character of the neighborhood?	No

Staff has no objection to the proposed demolition and capsulation of either the portions of the 1985 one-story addition to be affected or the south front elevation of the main block. These areas are not of uncommon design nor built of unusual materials. The amount of demolition and capsulation is limited to one elevation and most of the mid-20th-century townhouse will retain its original material and character. Additionally, the proposed removal of the accessibility ramp is strongly encouraged when such elements are no longer in service. The removal and replacement of the wood decks and stairs at the rear and side are common projects throughout the historic district.

Certificate of Appropriateness

Addition

While the applicant's survey calls this a 2-story building, the zoning staff has determined that the grade is lowered to the point that the "basement" is actually defined by the zoning ordinance as the first floor, making this a 3-story structure. The applicant proposes to construct a 3-story addition on the secondary front (south) elevation that will incorporate the existing two-story addition.

Since the property is a corner lot, the Alexandria zoning ordinance considers this property to have two front yards and two side yards and the proposed addition in the south front yard will be prominently visible from both Buchanan Street and Boyle Street. Section 3-706(A)(1) of the zoning ordinance requires structures in the front yard of the RB zone in the historic districts to be built to "the same as the front lot line or other line consistent with the character of the district that the board of architectural review approves." The BAR has generally considered a setback that was the average of the block-face to be consistent with the character of the district. In this case the historic setback on the north side of Boyle Street is 25' to the masonry portion of the dwellings, consistent with the building line shown on the applicant's survey plat, with an originally open 7' deep front porch. However, this building line is a condition of the original deed of subdivision and is not something that is enforced by the City. The existing two-story addition is setback only 17.2' from Boyle Street and the existing ramp is only approximately 8' from the front lot line. The proposed 6'-6" x 12'-0" deck will be elevated approximately 6' above the grade in the front yard and the set back will increase slightly to 10.7 feet from the front lot line. The BAR must make a finding that the front yard setback of the proposed 3-story addition and second floor deck are appropriate in this location.



Figure 1: Location of proposed addition

The *Design Guidelines* state that an addition to a historic building should be clearly distinguishable from the original structure. The new construction will be set back approximately two feet from the west front of the original brick building and will have fiber cement clapboard siding on the first and second stories, in contrast to the red brick on the main house. The basement level will have a concrete block wall to match the existing basement level, with the exception of the Buchanan elevation where it will be clad with brick to match the façade of the original dwelling. The second-floor covered balcony on the south elevation will add visual interest and break up the overall massing of the addition.

The proposed use of fiber cement siding and asphalt shingles are appropriate and consistent with the BAR's adopted policies and *Design Guidelines*, provided that the siding has a smooth finish rather than wood-grain. Staff notes that the Board's *Window Design Guideline* allows for any material on Later buildings that are set back at least 15' from the property line. While staff always encourages high-quality windows and has concerns about the longevity and appearance of vinyl, they nevertheless meet the PG BAR's policy for a Later building.

Building sections S002 and S003 on the application drawings indicate a frame parapet extension of the existing masonry parapet on the south wall of the existing dwelling but this does not appear on the building elevation drawings on sheet A002. Staff does not recommend elevating a frame parapet above the masonry parapets on the east and west elevations of the existing dwelling. In addition, wall section #1 on S006 indicates that the brick veneer on the CMU basement wall on the west side projects approximately 4" forward of the clapboard siding above and is capped by "galvanized metal flashing with caulk sealant. This is a historically unusual architectural condition because it is prone to future leaks and appears to be structurally unnecessary. Staff recommends that the masonry wall of the basement be pushed back so that the wall framing is flush with the brick veneer to match the proposed condition on the south and east sides of the addition.

While shed roof additions are typical on the rear of townhomes throughout Old Town, they are seldom this visible. This three-story addition on the front of the dwelling on a corner site is equal in size to the existing dwelling and will be clearly visible from the public street on all three sides. It is different in form and material from the red brick character of the surrounding homes on both Boyle Street and Buchanan and is not a "contextual background building" recommended in the BAR's *Design Guidelines* (Residential Additions – Page 2). One of the features that seems most discordant is the shed roof form of the addition and the way it intersects, or extends above, the parapet of the existing dwelling. This roof form is typical of rear or side additions and does not relate to the flat roof of the primary structure. Staff recommends that the frame addition have a parapet at the same height as the existing dwelling that will screen the addition roof. While the BAR does not regulate paint color, in this case, staff suggests that the color of the siding be a medium value and not a stark white that will stand out on the block face.

Decks

Although the application says that they are replacing the decks "in-kind," they are actually constructing new decks with new dimensions, structural support systems and stairs. Because these are new designs, they are not repairs and neither of the decks may be approved administratively under the residential reference guide because of the corner lot location (there is no rear yard) and the height of the deck above grade (approximately 6'). Staff has no objection to the design of the deck or of the reconstructed basement access stairs on the east side of the existing dwelling.

However, staff recommends a restudy of the front deck (porch?) on the Boyle Street elevation to reflect the architectural character of the one-story front porches on all of the other dwellings on Boyle Street. In particular, the existing ramp and deck have support posts that extend from the corner in a traditional wood frame manner. The proposed deck shows columns inset with the sides of the deck cantilevered in the style of a late 20th century suburban rear deck. The handrails are the same stock, pressure treated builder railings from a big-box home center. Staff notes that there are much nicer modern, stock wood and metal railings available at the same home centers that would relate to the architectural character of the primary structure.

Otherwise, by offsetting the footprint of the addition from the main building and cladding it with siding rather than brick, the proposed addition is differentiated from the existing building. Staff believes that the primary, character-defining elements of the original building are generally maintained, despite the size of the wood frame addition being equal in size to the original brick rowhouse.

Waiver of fence height

In 2011, following extensive discussion, the BAR approved a waiver of fence height for a 6' tall wood fence topped by a 1' tall lattice on the east property line not to extend further south than the face of the existing one-story addition. The present application requests replacement in-kind but detail #5 on page S006 of the drawings indicates a 6' tall fence topped by 24" of pressure treated lattice. Staff supports replacement in-kind of the existing 7' tall fence in the same location but recommends denial of the request to increase the height of the existing fence, finding no compelling topographic reason to support a height increase in this location.

Waiver of rooftop mechanical screening

The proposed roof plan drawing #4 on sheet A001 indicates a "new condensing unit" on the flat roof of the existing dwelling. The Goodman GSX14 condensing unit is approximately 36" tall, plus the height of the base. The existing parapet is shown on the wall section drawing on sheet S003 is approximately 8" tall, so the unit will very likely be visible from a public way, particularly when viewed from the east on Boyle Street. The applicant has not indicated any screening, as required by the zoning ordinance, or requested a waiver from the BAR for such screening. However, staff recommends that the BAR approve a waiver in this instance, provided that the unit is located near the center of the dwelling east/west and is pushed toward the north side of the roof as much as possible to hide the view from Boyle Street and that all refrigerant and electrical lines are run internally.

STAFF

Amirah Lane, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed scope of work complies with zoning, if the BAR finds the front yard setback to be consistent with the character of the district.

Code Administration

C-1 A building permit, plan review and inspections are required prior to the start of construction.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 The applicant should provide a determination of disturbed area per City Guidelines to T&ES prior to submitting for permits. If the land disturbance meets or exceeds 2500 square feet, a released grading plan will be required prior to submitting for permits. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 The house currently standing on the lot was built in 1948. Based on historic maps, the lot remained vacant for many years prior to the mid-twentieth century. There is a remote chance that significant archaeological materials could be present on the property.
- R-1 The statements in the archaeology conditions below shall appear in the General Notes of all site plans and on grading plans so that on-site contractors are aware of the requirements.
 - a. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of historic or prehistoric artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
 - c. All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

V. ATTACHMENTS

- 1 – Application for BAR 2018-0297 & 2018-0298: 315 Buchanan Street*
- 2 – Supplemental Materials*

BAR Case # _____

ADDRESS OF PROJECT: 315 BUCHANAN STREET

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☒ Property Owner ☐ Business (Please provide business name & contact person)Name: ANITA HALLAddress: 315 BUCHANAN STREETCity: ALEXANDRIA State: VA Zip: 22314Phone: 703-861-8828 E-mail: AHALLO7@HOTMAIL.COMAuthorized Agent (if applicable): ☐ Attorney ☐ Architect ☒ CONTRACTORName: DALLAS L. HALL JR. Phone: 571-212-6389E-mail: DALLASHALL71@GMAIL.COM

Legal Property Owner:

Name: ANITA HALLAddress: 315 BUCHANAN STREETCity: ALEXANDRIA State: VA Zip: 22314Phone: 703 861-8828 E-mail: AHALLO7@HOTMAIL.COM

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☒ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☒ No Is there a homeowner's association for this property?
- ☐ Yes ☒ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☒ EXTERIOR ALTERATION: *Please check all that apply.*
 ☐ awning ☐ fence, gate or garden wall ☒ HVAC equipment ☒ shutters
 ☒ doors ☒ windows ☒ siding ☐ shed
 ☒ lighting ☐ pergola/trellis painting unpainted masonry
 ☐ other _____
☒ ADDITION
☒ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

TO CONSTRUCT AN ADDITION CONSISTING OF A BASEMENT BEDROOM, BEDROOM, FAMILY ROOM, FORMAL LIVING ROOM, FAMILY ROOM, MASTER SUITE SITTING ROOM AND VERANDA DECK.

EXTERIOR ALTERATION: TO DEMO EXISTING REAR AND SIDE DECK AND REPLACE (IN-KIND) REAR DECK SF DEMO = 600 SF
SIDE DECK SF DEMO = 186 SF

MISC DEMO NOTES: ADDITIONAL DEMOLITION SF = 36 SF

SUBMITTAL REQUIREMENTS:

TOTAL DEMOLITION SF = 282 SF

Items listed below comprise the minimum supporting materials for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation: *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- ☒ ^{N/A} Survey plat showing the extent of the proposed demolition/encapsulation.
☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☒ Description of the reason for demolition/encapsulation.
☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A
- ☒ ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A
- ☐ ☐ Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A
- ☐ ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: DANIEL L. HARRIS

Date: _____

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. ANITA HALL	315 BUCHANAN	100 %
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 315 BUCHANAN (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. ANITA HALL	315 BUCHANAN	100 %
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. ANITA HALL	NO	B.A.R.
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

4/9/10
Date

DALLAS HALL
Printed Name

Dallas Hall
Signature



Floor Area Ratio and Open Space Calculations for Single and Two-Family Residential Outside Historic Districts

A

A. Property Information

A1. Street Address Zone

A2. Total Lot Area \times Floor Area Ratio Allowed by Zone = Maximum Allowable Floor Area

B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	B1. <input type="text"/> Sq. Ft. Existing Gross Floor Area*
First Floor	<input type="text"/>	Stairways**	<input type="text"/>	B2. <input type="text"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor	<input type="text"/>	Mechanical**	<input type="text"/>	B3. <input type="text"/> Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	Comments for Existing Gross Floor Area <input type="text"/>
Attic	<input type="text"/>	Porches**	<input type="text"/>	
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	
Balcony/Deck	<input type="text"/>	Garage**	<input type="text"/>	
Garage	<input type="text"/>	Other***	<input type="text"/>	
Other***	<input type="text"/>	Other***	<input type="text"/>	
B1. <u>Total Gross</u> <input type="text"/>		B2. <u>Total Exclusions</u> <input type="text"/>		

C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	C1. <input type="text"/> Sq. Ft. Proposed Gross Floor Area*
First Floor	<input type="text"/>	Stairways**	<input type="text"/>	C2. <input type="text"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor	<input type="text"/>	Mechanical**	<input type="text"/>	C3. <input type="text"/> Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	
Attic	<input type="text"/>	Porches**	<input type="text"/>	
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	
Balcony/Deck	<input type="text"/>	Garage**	<input type="text"/>	
Garage	<input type="text"/>	Other***	<input type="text"/>	
Other***	<input type="text"/>	Other***	<input type="text"/>	
C1. <u>Total Gross</u> <input type="text"/>		C2. <u>Total Exclusions</u> <input type="text"/>		

Notes

*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

*** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

D. Total Floor Area

D1. Sq. Ft.
Total Floor Area (add B3 and C3)

D2. Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

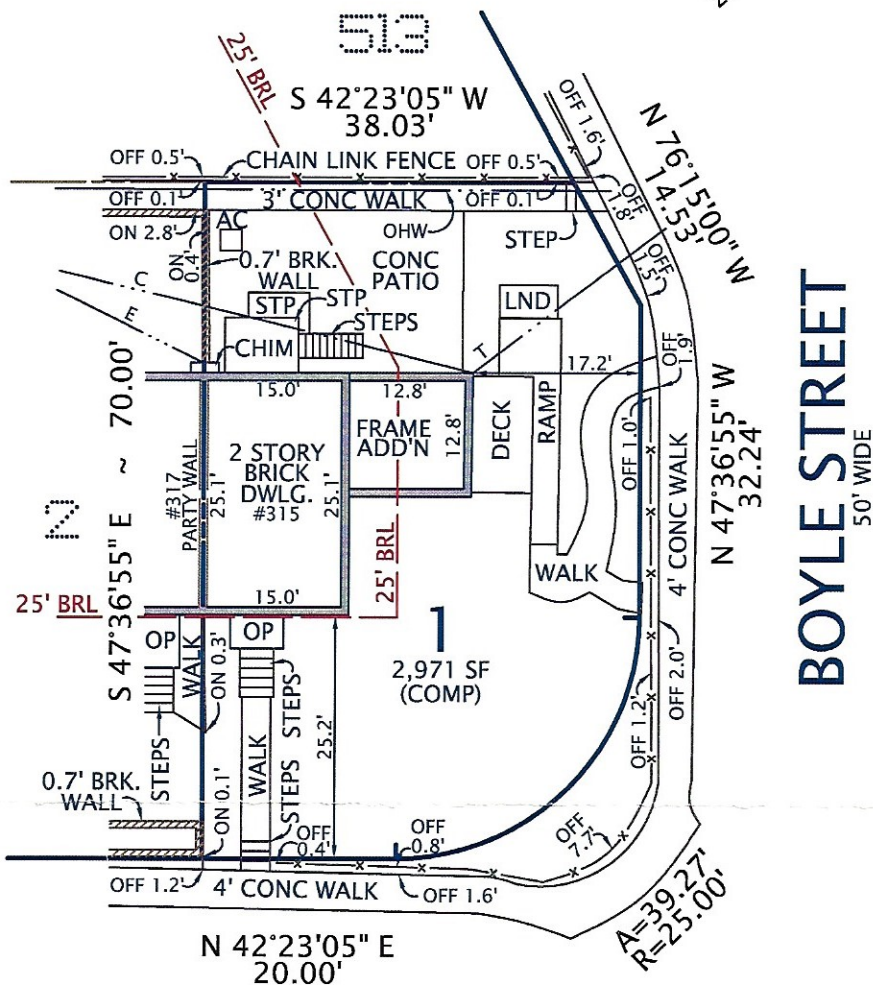
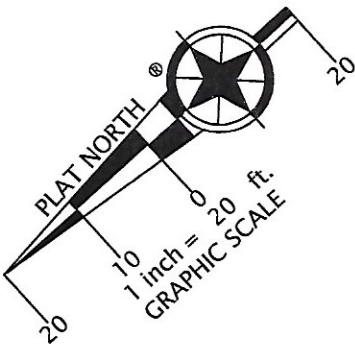
E3. Sq. Ft.
Proposed Open Space

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____

Date: _____

NOTES: 1. FENCES ARE METAL UNLESS NOTED.



BUCHANAN STREET
50' WIDE

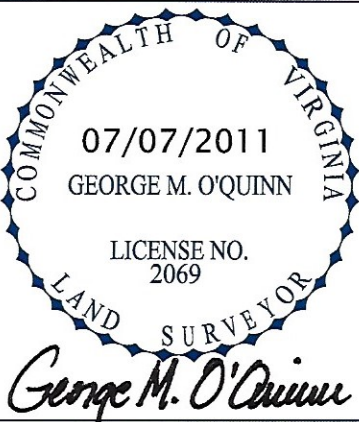
BOYLE STREET
50' WIDE

PLAT
SHOWING HOUSE LOCATION ON
LOT 1, BLOCK 3
BAGGETT TRACT
(DEED BOOK 167, PAGE 350)
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 20' JULY 7, 2011

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I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.
A TITLE REPORT WAS NOT FURNISHED.
NO CORNER MARKERS SET.

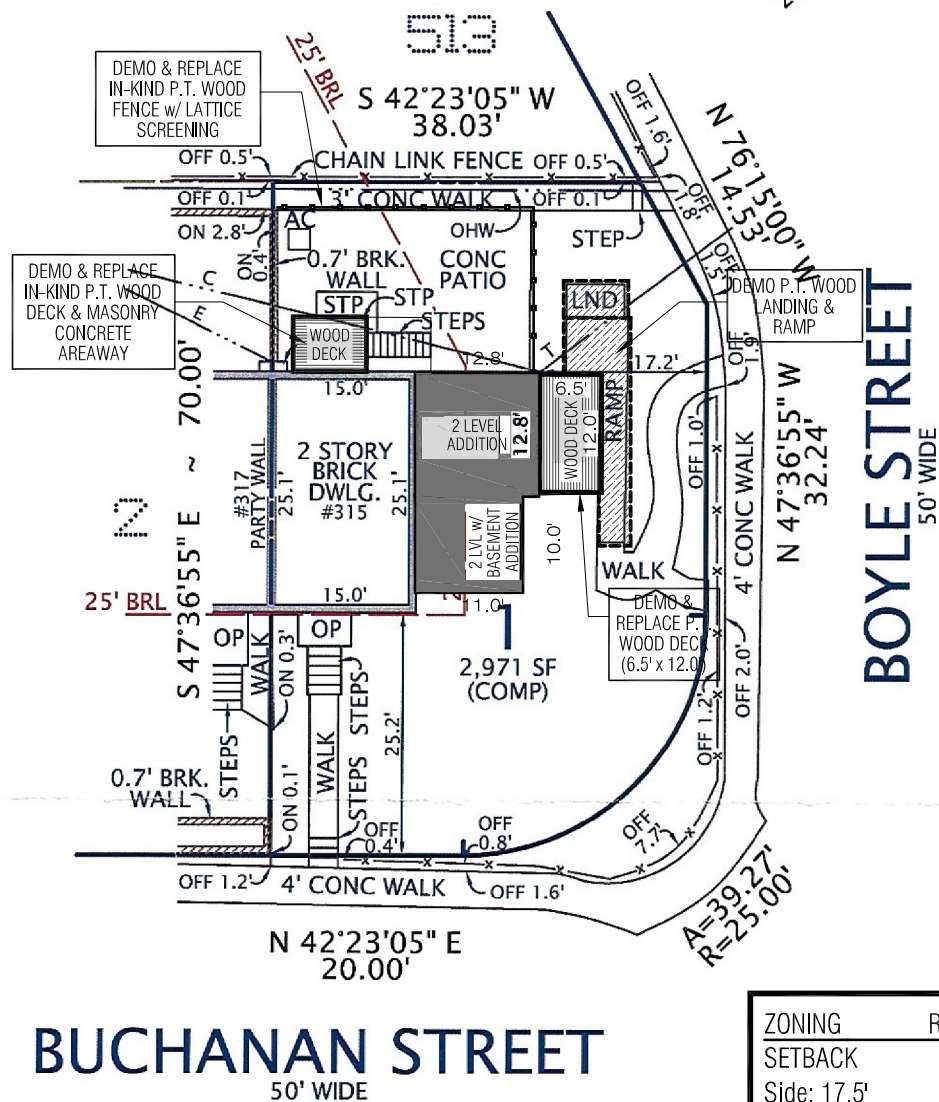
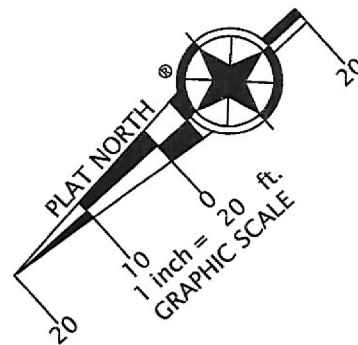


ORDERED BY:

ANITA HALL

DOMINION Surveyors Inc.®
8808-H PEAR TREE VILLAGE COURT
ALEXANDRIA, VIRGINIA 22309
703-619-6555
FAX: 703-799-6412

<u>BUILDING DATA</u>		
RESIDENTIAL SINGLE FAMILY ROW DWELLING		
	<u>EXISTING GROSS FLOOR AREA</u>	<u>PROPOSED GROSS FLOOR AREA</u>
BASEMENT :	540 sqft.	650 sqft.
FIRST FLOOR :	540 sqft.	650 sqft.
SECOND FLOOR :	376.5 sqft.	650 sqft.
TOTAL :	1,515.5 sqft.	1,950 sqft.

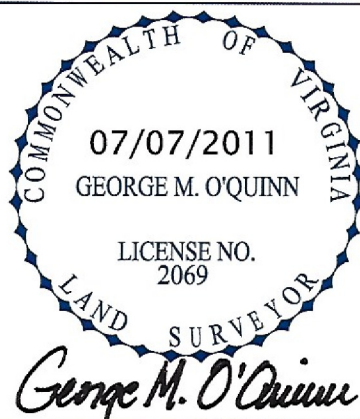


ZONING	RB
SETBACK	
Side: 17.5'	Height: 30'
F.A.R.	.75
Lot Area	2,613 sqft.
Allow. Lot Occupancy	
(1,950 sqft / (2,613) =	.74 (F.A.R.)
OPEN SPACE	1,967 sqft

PLAT
SHOWING HOUSE LOCATION ON
LOT 1, BLOCK 3
BAGGETT TRACT
(DEED BOOK 167, PAGE 350)
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 20' JULY 7, 2011

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

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ORDERED BY:

ANITA HALL



DOMINION

Surveyors
Inc.®

8808-H PEAR TREE VILLAGE COURT
ALEXANDRIA, VIRGINIA 22309
703-619-6555
FAX: 703-799-6412

CASE NAME: HALL

#110629036

FINAL DAY: SHOP ALL MEMORIAL DAY SAVINGS + FREE PARCEL SHIPPING WITH MYLOWE'S. SHOP NOW

>



Open until 10PM!
Clinton Lowe's ✓

Prices, promotions, styles, and availability may vary. Our local stores do not honor online pricing. Prices and availability of products and services are subject to change without notice. Errors will be corrected where discovered, and Lowe's reserves the right to revoke any stated offer and to correct any errors, inaccuracies or omissions including after an order has been submitted.

Item # 105148 Model # 105148

Severe Weather (Actual: 5.7-ft x 8-ft) Western Red Cedar Lattice-top Fence Panel

9 Ratings



4.0 Average

78%

Recommend
this
product



Community
Q&A
View Now



Buy 15, Get 10% Off

\$79.00

No Rebates. Change Location. >

- Durable and long-lasting
- Naturally resists rotting and decay
- No assembly required



**FREE Store
Pickup**

✗ Unavailable for
Pickup at
Clinton Lowe's



Delivery

✗ Currently
unavailable

FREE | IN-HOME
CONSULTATION

Schedule your appointment now to get started.

SCHEDULE NOW



Get 5% OFF* or Up to 24 Months Special Financing*

*Credit offers cannot be combined. Valid 5/24/18 – 5/30/18.

GET DETAILS

Product Information

Description

- Durable and long-lasting
- Naturally resists rotting and decay
- No assembly required
- Galvanized nails and staples
- Quick and easy installation
- 100% Natural Western red cedar
- Constructed of 3/4-in Western red cedar tongue and groove fence boards

Specifications

Actual Panel Height (Feet)	5.7	Double Nailed	✓
Actual Panel Width (Feet)	8	Pressure Treated	✗
Common Panel Height (Feet)	6	Post and Accessories Included	✗
Common Panel Width (Feet)	8	Fence Top Style	Lattice-top
Actual Picket Thickness (Inches)	0.625	Primary Material	Western red cedar
Actual Picket Width (Inches)	5.2	For Use With	Wood fence

Projects, Tips & Services

Similar Options to Consider

[See All](#)



American Craftsman 35.75
(4)

\$175⁰⁰/each



American Craftsman 35.75
(5)

\$155⁰⁰/each



American Craftsman 31.75
(2)

\$134⁰⁰/each



American Craftsman 35.75
(3)

\$134⁰⁰/each

Model # 50 DH BUCK Internet #203157183 Store SKU #470444

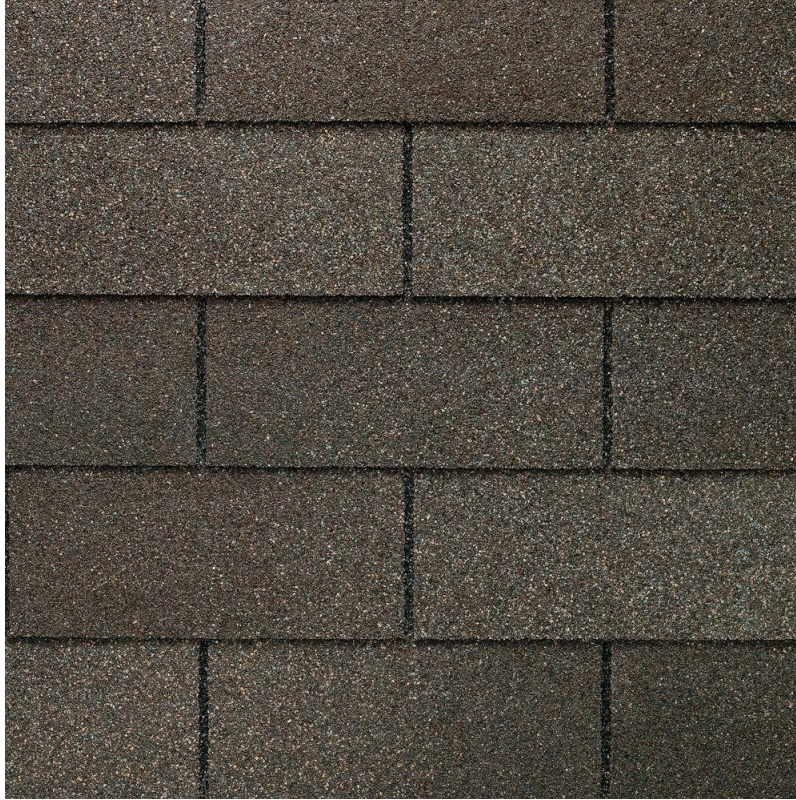


[Home](#) / [Building Materials](#) / [Roofing & Gutters](#) / [Roofing](#) / [Roof Shingles](#)

Model # 0201880

Internet #100043368

Store SKU #929274



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[Save to Favorites](#)

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GAF

Royal Sovereign Weathered Gray 25-Years 3-Tab Shingles (33.33 sq. ft. Per Bundle)

★★★★★ (9)

[Write a Review](#)

[Questions & Answers \(7\)](#)

- Durable 3-tab asphalt shingle covered by 25-year limited warranty
- Made with advanced color sequencing for a rich and vivid design
- Class A fire rating & 60 mph wind warranty provide peace of mind

Choose Your Options

Weathered Gray

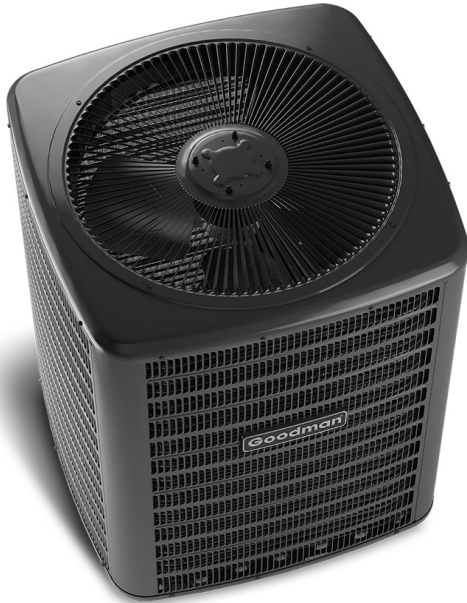




Air Conditioning & Heating

GSX14**COOLING CAPACITY : 18,000 - 60,000 BTU/H**

ENERGY-EFFICIENT SPLIT SYSTEM AIR CONDITIONER UP TO 15 SEER & 12.5 EER

**Contents**

Nomenclature.....	2
Product Specifications.....	3
Expanded Cooling Data	5
Performance Data	29
AHRI Ratings	31
Wiring Diagrams	72
Dimensions	74
Accessories	74

Standard Features

- Energy-efficient compressor
- Single-speed condenser fan motor
- Factory-installed filter drier
- Copper tube/aluminum fin coil
- Service valves with sweat connections and easy-access gauge ports
- Contactor with lug connection
- Ground lug connection
- AHRI Certified; ETL Listed

Cabinet Features

- Heavy-gauge galvanized-steel cabinet with a louvered sound control top
- Attractive Architectural Gray powder-paint finish with 500-hour salt-spray approval
- Steel louver coil guard
- Top and side maintenance access
- Single-panel access to controls with space provided for field-installed accessories
- When properly anchored, meets the 2010 Florida Building Code unit integrity requirements for hurricane winds (Anchor bracket kits available.)



* Complete warranty details available from your local dealer or at www.goodmanmfg.com. To receive the 10-Year Parts Limited Warranty, online registration must be completed within 60 days of installation. Online registration is not required in California or Quebec.



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Exclusive

Home Decorators Collection

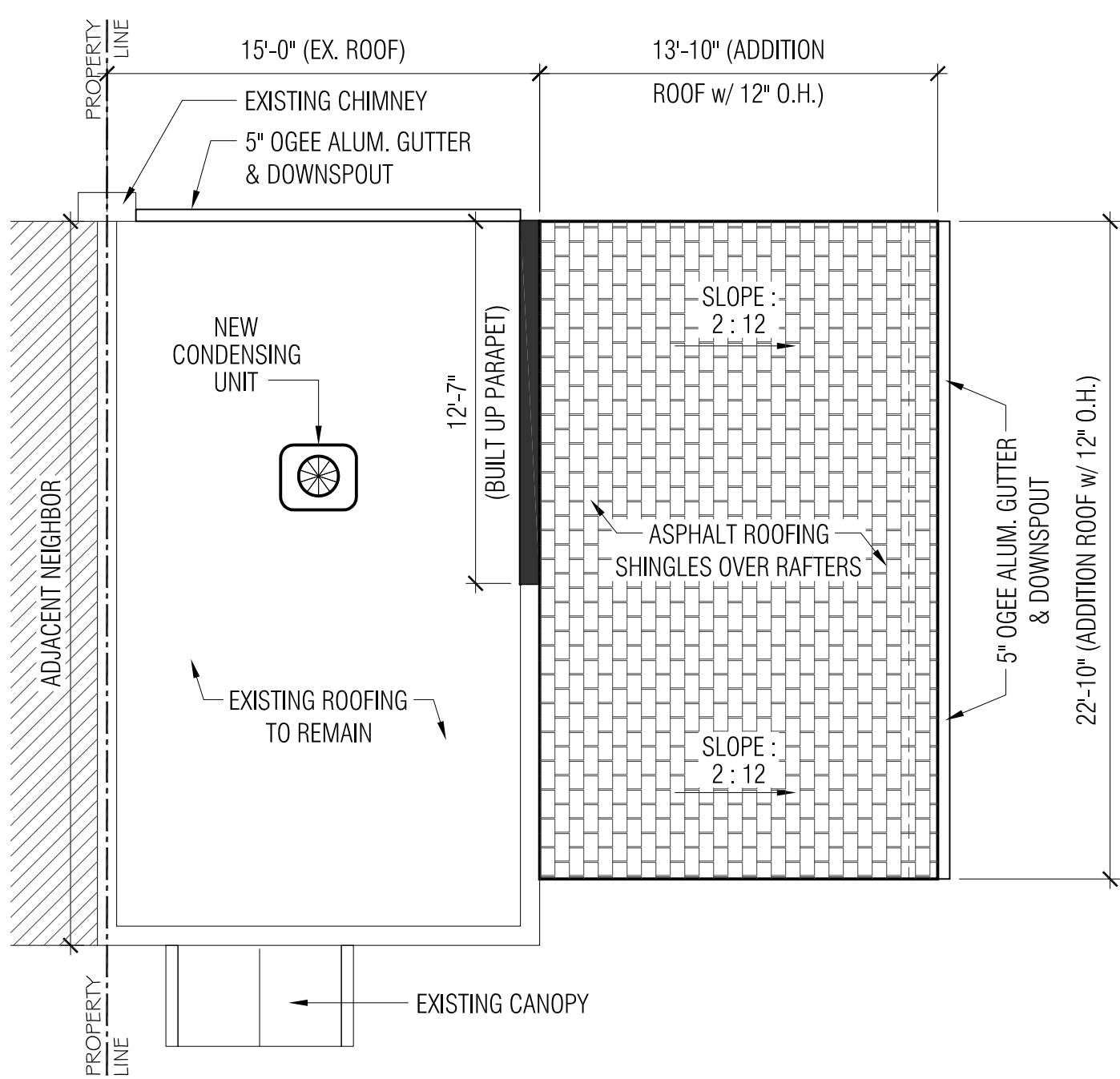
Summit Ridge Collection Zinc Outdoor Integrated LED Dusk-to-Dawn Medium Wall Lantern

★★★★★ (19) [Write a Review](#) [Questions & Answers \(15\)](#)

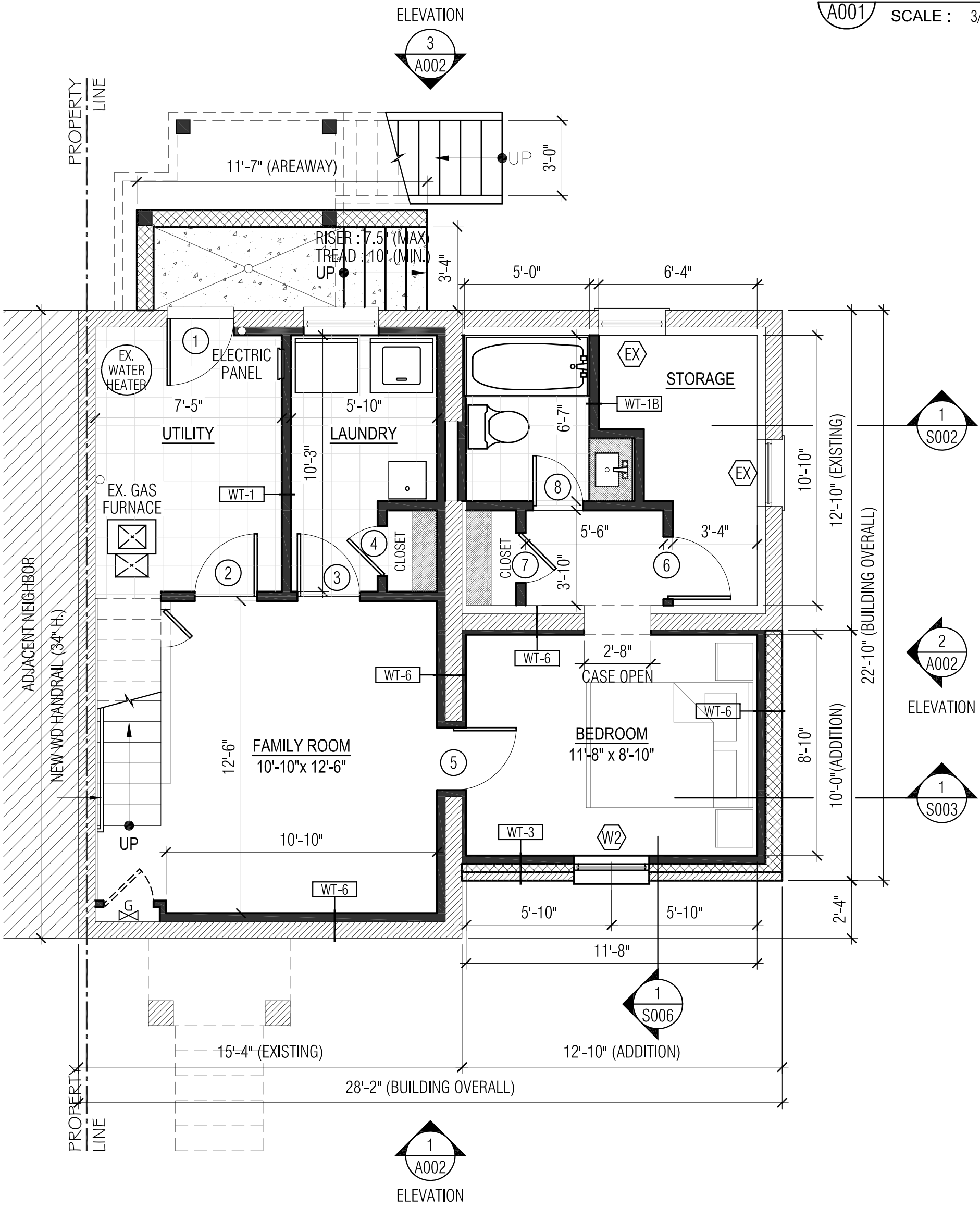
- Gorgeous Arts and Crafts inspired lantern for your home exterior
- Integrated LEDs provide 50,000 hours of lamp life
- Offers an easy assembly and installation

\$59⁹⁷ /each

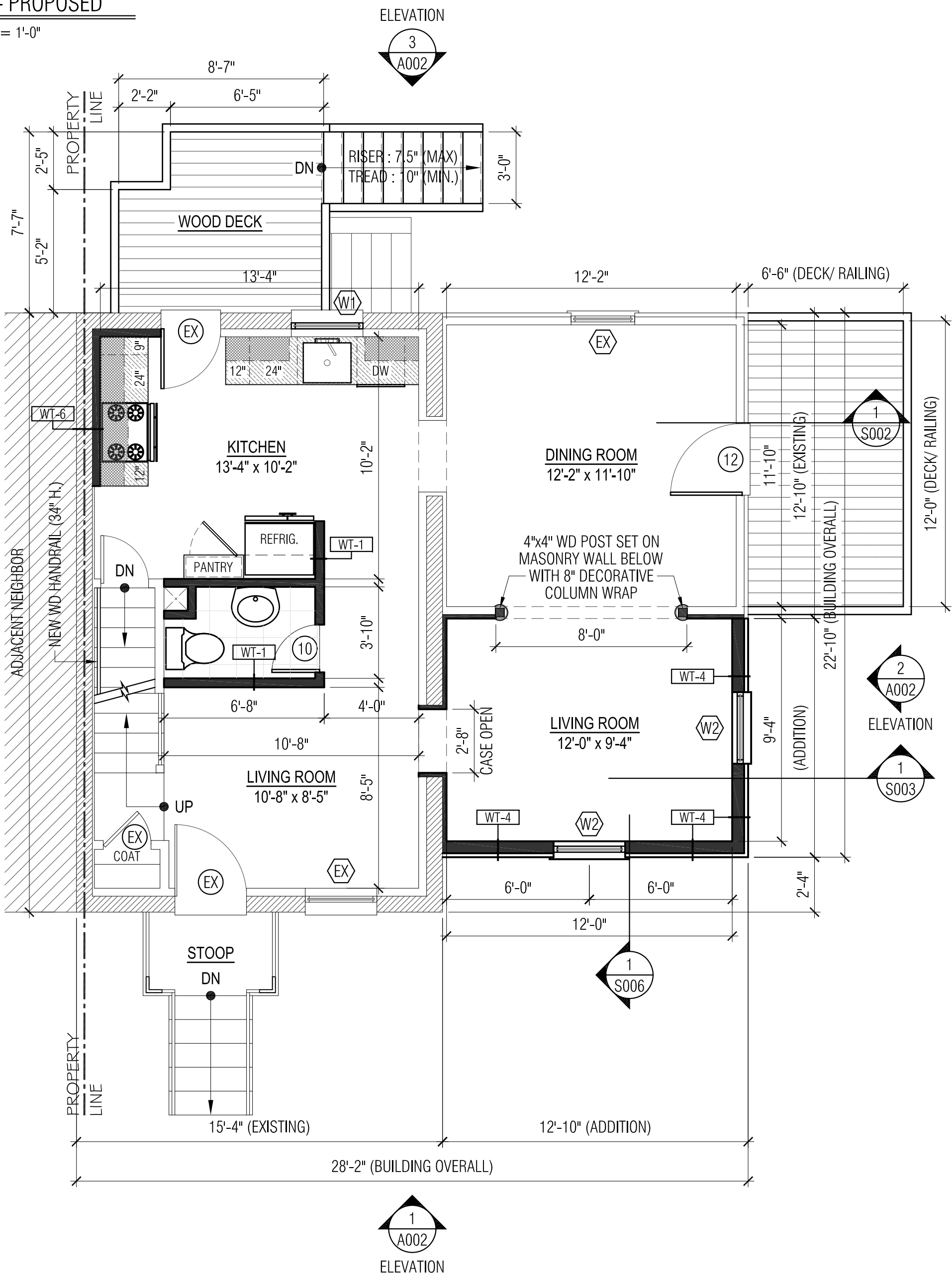




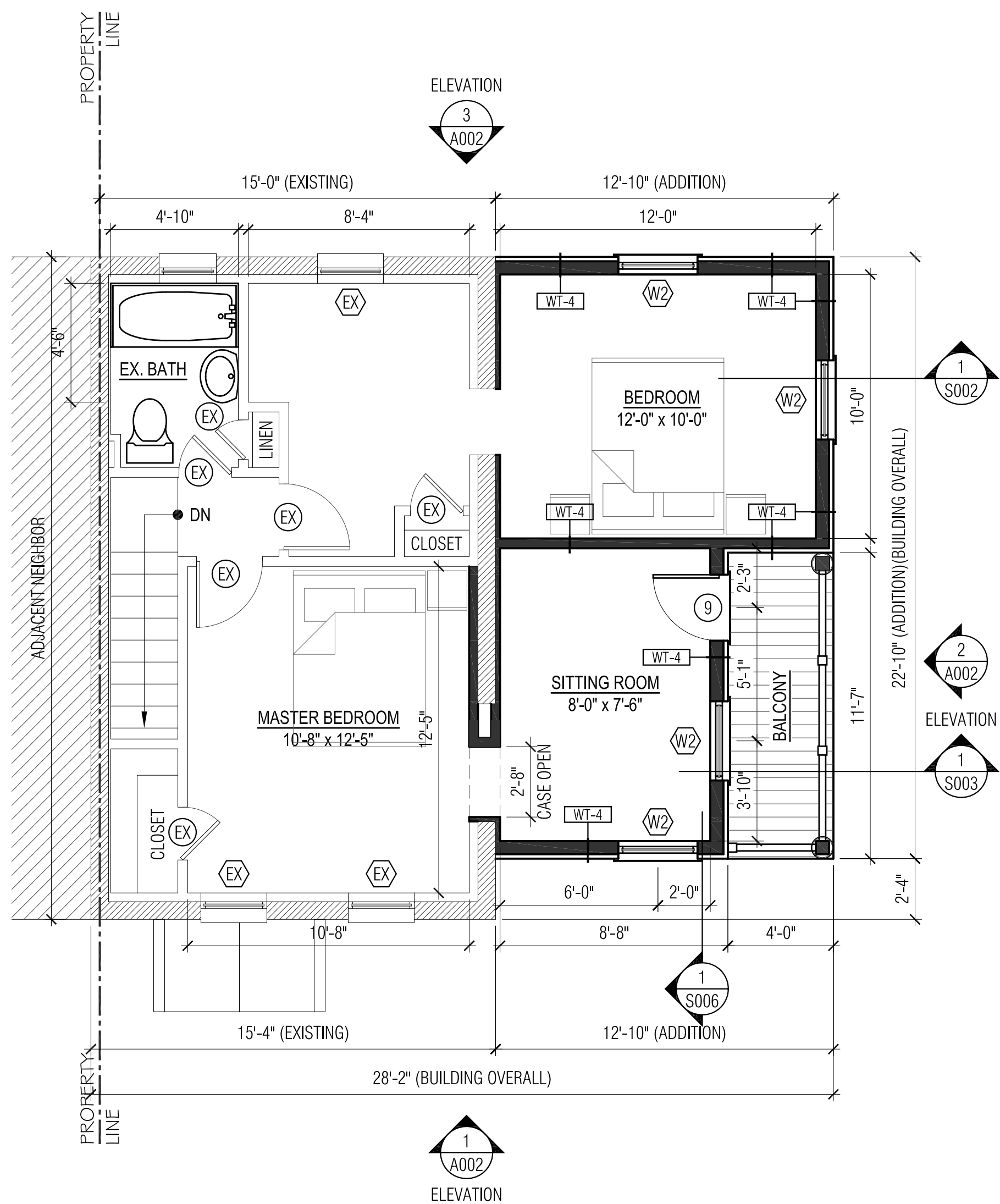
4 ROOF PLAN - PROPOSED
A001 SCALE : 3/16" = 1'-0"



1 BASEMENT PLAN - PROPOSED
A001 SCALE : 1/4" = 1'-0"
CEILING HT.: 7'-6"
GROSS AREA: 668 sqft



2 FIRST FLOOR PLAN - PROPOSED
A001 SCALE : 1/4" = 1'-0"
CEILING HT.: 8'-0"
GROSS AREA: 668 sqft

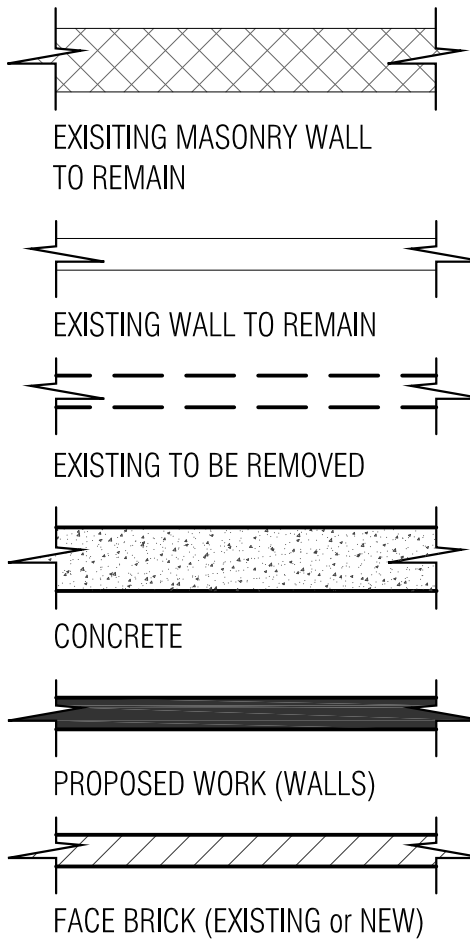


3 FIRST FLOOR PLAN - PROPOSED
A001 SCALE : 1/4" = 1'-0"
CEILING HT.: 8'-0"
GROSS AREA: 668 sqft

SHEET NOTE:
- SEE SHEET A002 FOR PROPOSED ELEVATIONS
- SEE SHEET A003 FOR WALL TYPES, WINDOW, DOOR, FINISH SCHEDULE, TYPES & DETAILS
- SEE SHEET S001 - S004 FOR STRUCTURAL FRAMING, SECTIONS, DETAILS & NOTES

GENERAL PLAN NOTES:
1. THE OWNER IS RESPONSIBLE FOR SELECTION OF ALL PAINT & WOOD STAIN FINISHES
2. THE CONTRACTOR MUST HAVE OWNERS CONSENT BEFORE REPAIRING OR REPLACING ANY EXISTING DAMAGES IN PART OR WHOLE OF THE PROPERTY
3. THE CONTRACTOR SHALL ACQUIRE ALL PERMITS AND INSPECTIONS NECESSARY TO COMPLETE WORK
4. CONFORM TO APPLICABLE CODE FOR DEMOLITION WORK, DUST CONTROL, PRODUCTS REQUIRING ELECTRICAL DISCONNECTION AND RECONNECTION.
5. CONTRACTOR SHALL REMOVE ALL TRASH/DEBRIS FROM PREMISES UPON COMPLETION OF CONSTRUCTION
6. CONTRACTOR SHALL PRESERVE AND PROTECT ALL LANDSCAPING & TREES FROM DAMAGE DURING CONSTRUCTION, NO TREES SHALL BE REMOVED UNLESS NECESSARY FOR CONSTRUCTION.
7. ALL QUESTIONS OR DISCREPANCIES SHALL BE BROUGHT TO ATTENTION OF THE OWNER/ARCHITECT PRIOR TO CONSTRUCTION
8. CONTRACTOR SHALL COORDINATE ALL NEW MECHANICAL & ELECTRICAL
9. ALL LUMBER SHALL BE NO. 2 GRADE PINE OR BETTER
10. CONTRACTOR SHALL PROVIDE ALL NECESSARY HARDWARE FOR COMPLETE OPERATION OF ALL COMPONENTS, (I.E. SCREWS, LATCHES, HINGES, CLOSURES, LOCKS, ETC.)
11. ALL FLOOR FINISHES SHALL BE SELECTED BY OWNER.
12. OWNER SHALL SELECT ALL KITCHEN APPLIANCES, CABINETRY & COUNTERTOPS.
13. NEW ROOF SLOPE TO MATCH EXISTING. CONTRACTOR TO FIELD VERIFY PRIOR TO ORDERING ROOF TRUSSES
14. SEE SHEET S003 FOR RAMP PLAN, ELEVATIONS, SECTION, DETAILS & NOTES

LEGEND:



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315 Buchanan Street
Alexandria, VA 22314
(Account No.: 10148500)
S.F.R. : SIDE ADDITION & INTERIOR RENOVATION
Proposed - Basement, First Floor Plans,
Second Floor Plan & Roof Plan
drawing title:

PERMIT SET
PRINTING #1

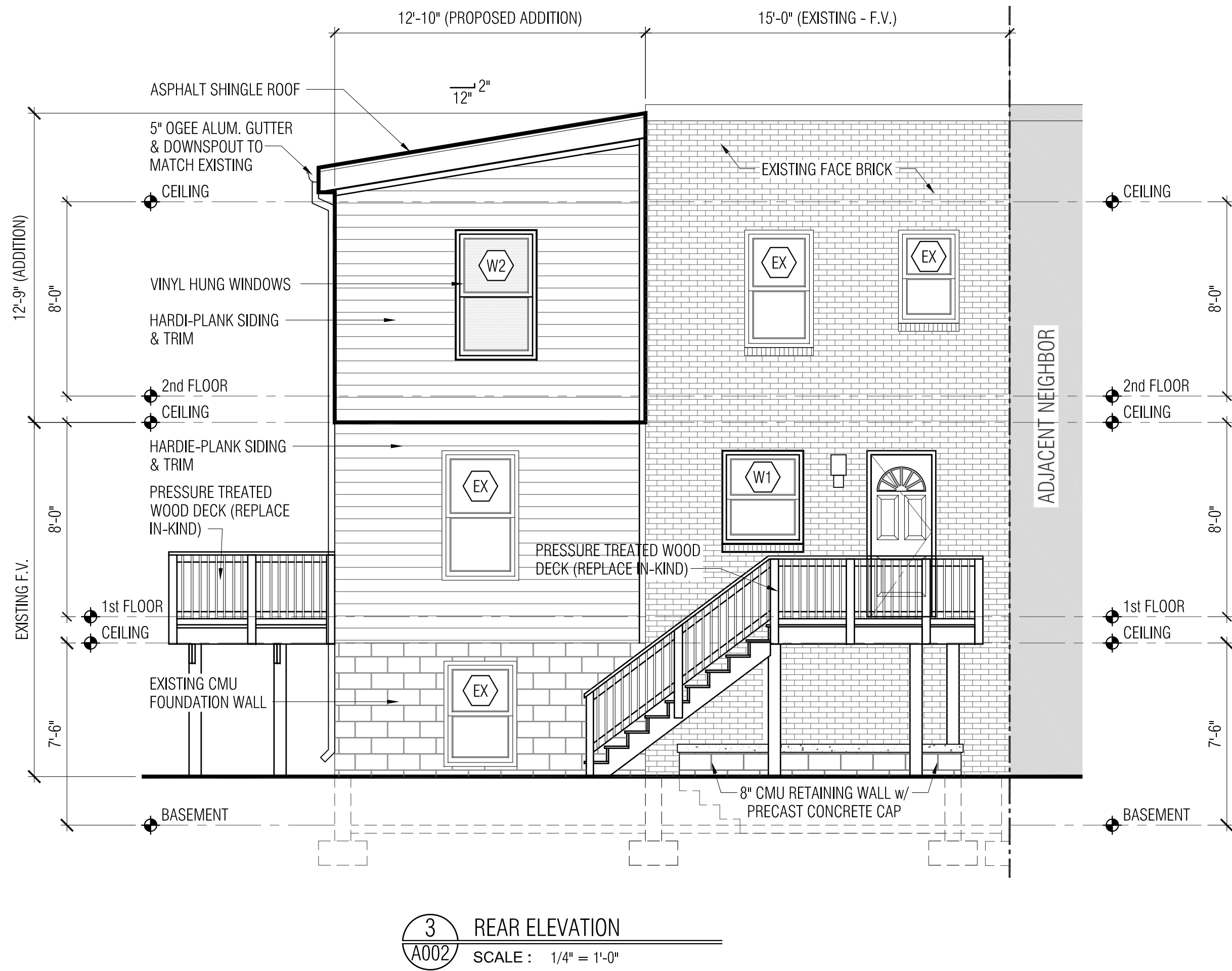
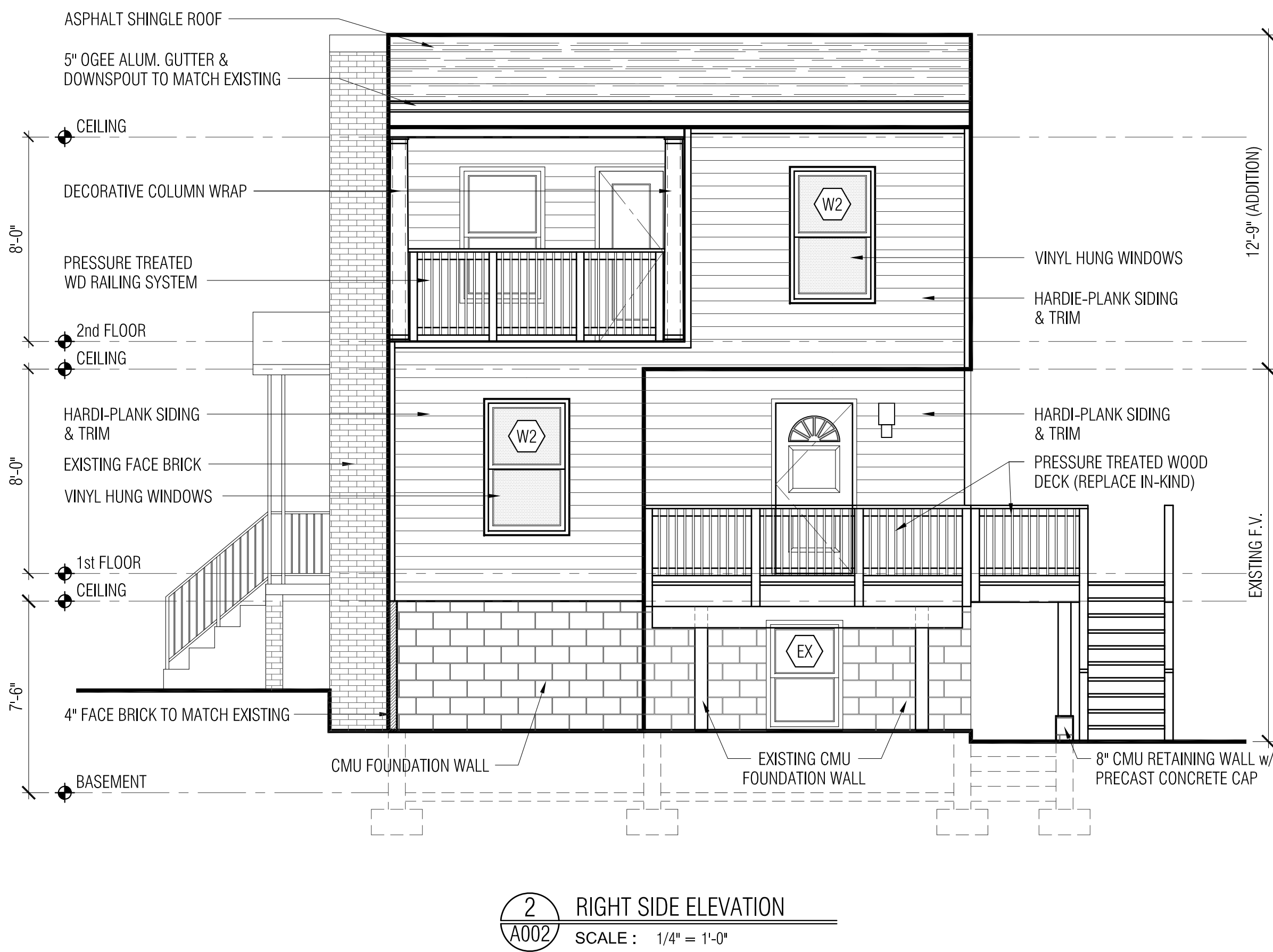
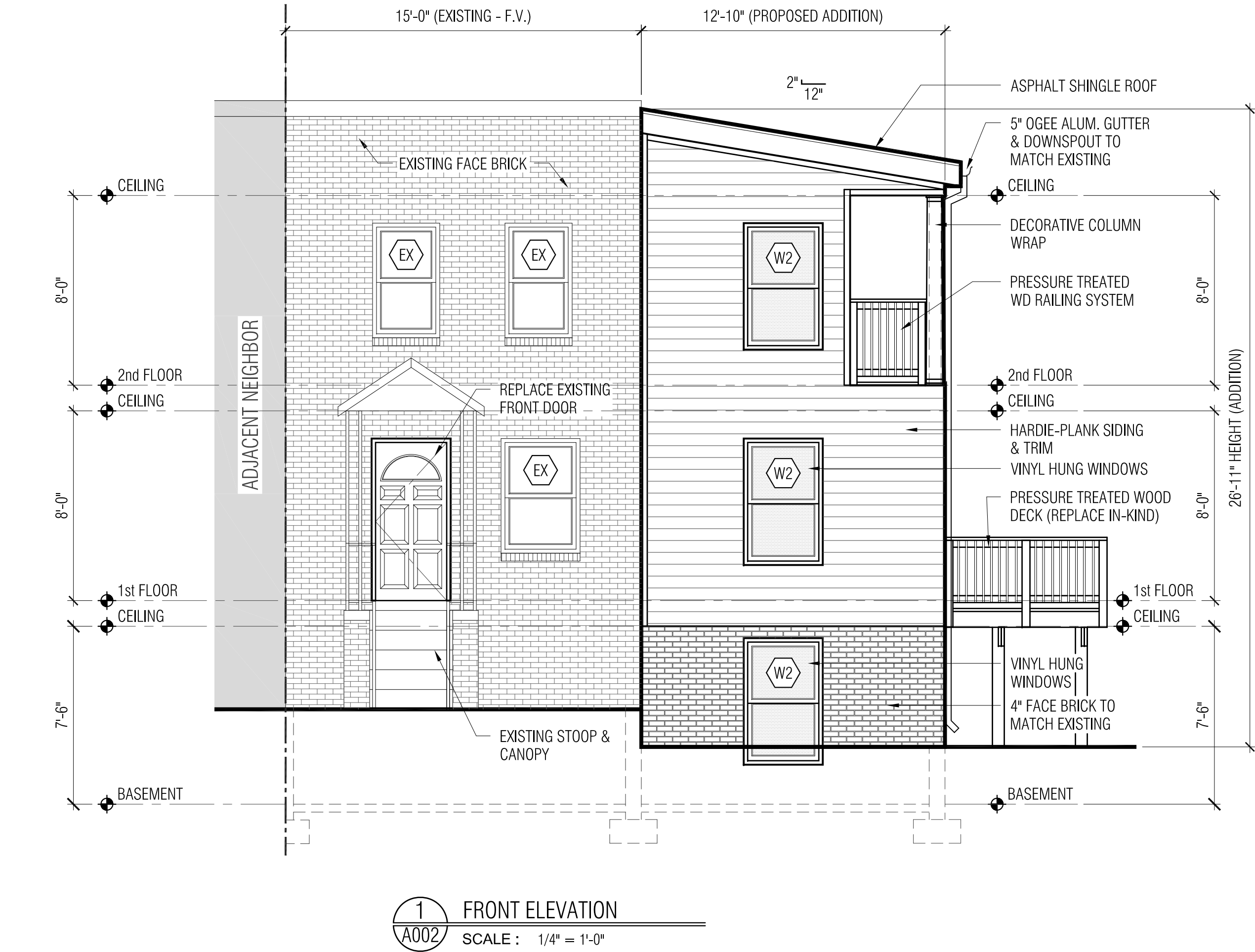
revisions:

project no. 2018 - 015
date: 09 APRIL 2018

Proposed - Basement Plan
1st & 2nd Floor Plan
Roof Plan

A001

drawing no.



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CS001

drawing title:

project no. 2018 - 015

date: 09 APRIL 2018

CS001

drawing title:

revisions:

CS001

drawing title:

PERMIT SET

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CS001

drawing title:

S.F.R. : SIDE ADDITION & INTERIOR RENOVATION

(Account No.: T01485000)

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CS001

drawing title:

Cover Sheet, Code Analysis
& Building Analysis

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ANY MODIFICATIONS

DEMOLITION PLAN NOTES:

- 1

REMOVE EXISTING WALL TO ITS ENTIRETY. PREPARE AREA TO RECEIVE NEW WORK.
- 2

REMOVE EXISTING DOOR. PREPARE AREA TO RECEIVE NEW WORK.
- 3

REMOVE EXISTING WINDOW. PREPARE AREA TO RECEIVE NEW WORK. G.C. TO FIELD VERIFY SIZE PRIOR TO ORDER.
- 4

REMOVE EXISTING WINDOW. PREPARE AREA TO RECEIVE NEW WORK.
- 5

REMOVE EXISTING BATHROOM FIXTURES. PREPARE AREA TO RECEIVE NEW WORK.
- 6

REMOVE EXISTING FINISH FLOOR. PREPARE AREA TO RECEIVE NEW WORK.
- 7

REMOVE EXISTING CEILING FINISH. PREPARE AREA TO RECEIVE NEW WORK.
- 8

REMOVE EXISTING KITCHEN CABINETS & STORE. PREPARE AREA TO RECEIVE NEW WORK.
- 9

REMOVE EXISTING DECK SYSTEM COMPLETELY & REPLACE IN-KIND (SUPPORT, FRAMING, DECKING, STEPS & RAILING)
- 10

REMOVE & REPLACE EXISTING REAR AREAWAY & STEPS.
- 11

REMOVE EXISTING ROOFING SYSTEM TO INCLUDE SHINGLES, SUBSTRATE, TRUSSES, GUTTER SYSTEM & ETC.
- 12

EXCAVATE & PREPARE AREA TO RECEIVE NEW FOUNDATION, SLAB & FRAMING ADDITION (128 SQFT.)
- 13

REMOVE EXISTING SIDING & TRIM. PREPARE AREA TO RECEIVE NEW WORK.
- 14

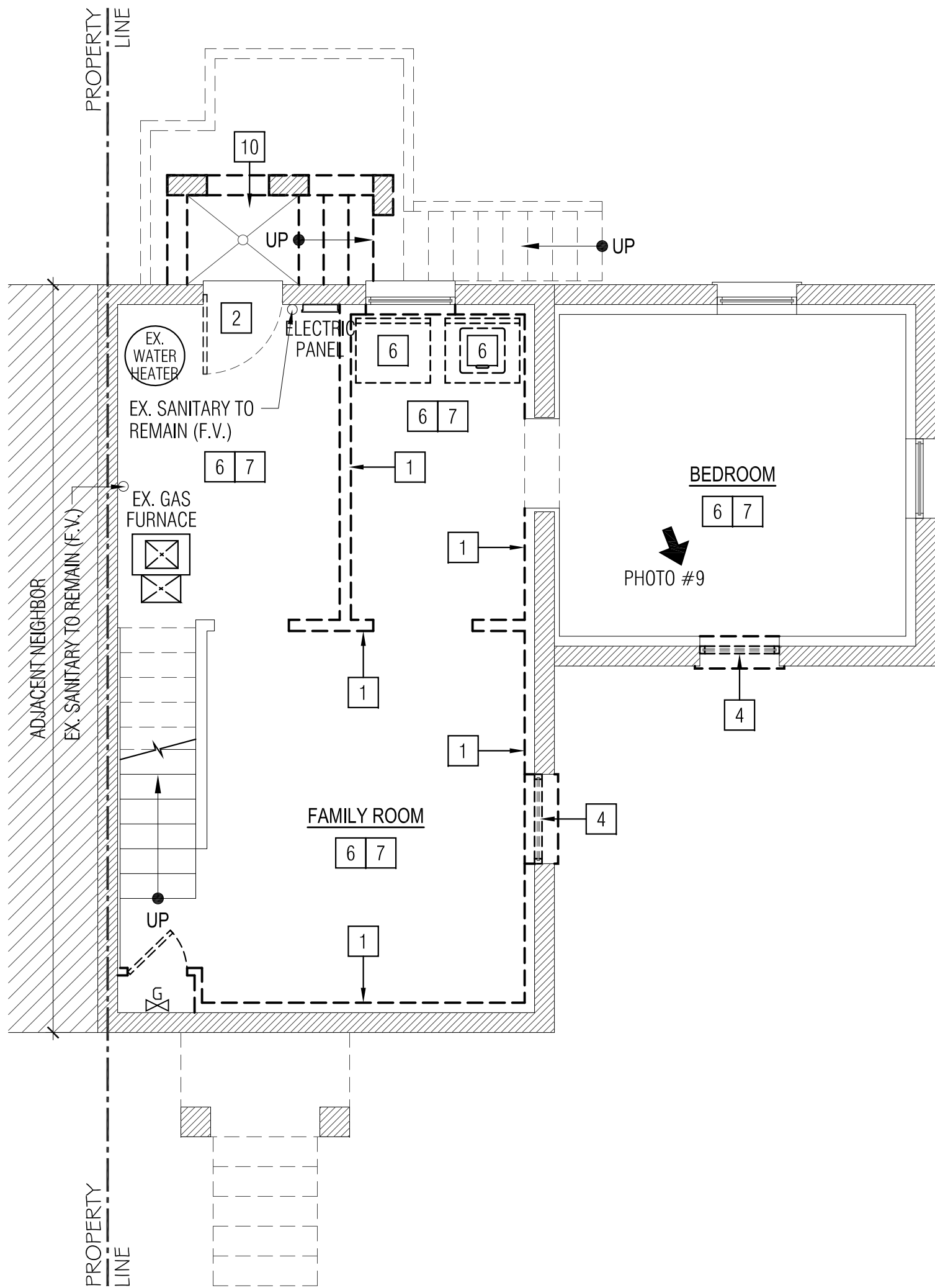
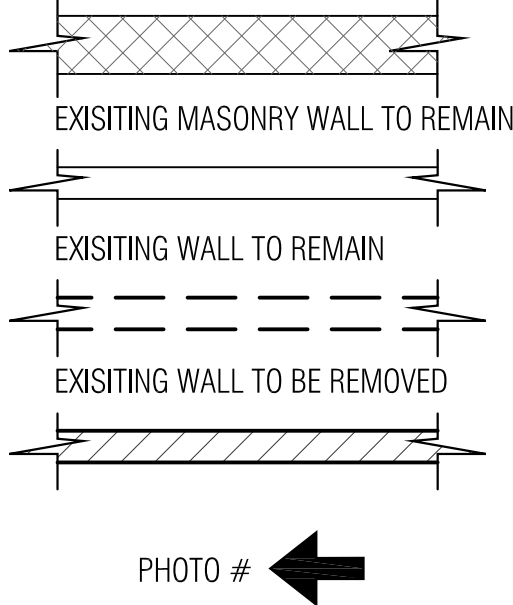
REMOVE & REPLACE EXISTING SIDE WOOD DECK, LANDING, RAMP & RAILING SYSTEM. REPLACE UPPER DECK IN-KIND.
- DEMOLITION PHOTOS:
- SEE SHEET D002 FOR DEMOLITION PHOTOS.

GENERAL DEMOLITION NOTES:

- A. REMOVAL OF DESIGNATED BUILDING EQUIPMENT AND FIXTURES.
- B. REMOVAL OF DESIGNATED CONSTRUCTION.
- C. DISPOSAL OF MATERIALS
- D. WORK SEQUENCE
- REGULATORY REQUIREMENTS
- A. CONFORM TO APPLICABLE CODE FOR DEMOLITION WORK, DUST CONTROL, PRODUCTS REQUIRING ELECTRICAL DISCONNECTION AND RE-CONNECTION.
- B. OBTAIN REQUIRED PERMITS FROM AUTHORITIES.
- C. DO NOT CLOSE OR OBSTRUCT EGRESS FROM ANY BUILDING EXIT OR SITE EXIT.
- D. DO NOT DISABLE OR DISRUPT BUILDING FIRE OF LIFE SAFETY SYSTEMS WITHOUT 3 DAYS' PRIOR WRITTEN NOTICE TO OWNER
- E. CONFORM TO APPLICABLE REGULATORY PROCEDURES WHEN HAZARDOUS OR CONTAMINATED MATERIALS ARE DISCOVERED.

1. DEMO ITEMS AS NECESSARY TO PROCEED WITH NEW CONSTRUCTION SCOPE OF WORK. REMOVE ANY ITEMS WITH CARE AND REPLACE AS NEW. SHOULD ANY ITEM &/OR MATERIAL BE DAMAGED THE CONTRACTOR SHALL REPLACE IN-KIND IN MATERIAL & COLOR.
2. CONTRACTOR TO CLEAR ALL AREA DRAINS & REPLACE COVER AS NECESSARY (AREA WAY)
3. CONTRACTOR TO DISCONNECT EXISTING SUPPLY & RETURN DUCTS TO 2nd LEVEL. (2nd FLOOR TO RECEIVE NEW SEPARATE SPLIT AIR HANDLING UNIT SYSTEM.)
4. CONTRACTOR REROUTE REQUIRED SUPPLY & RETURN DUCTS TO 1st FLOOR.
5. EXISTING GAS FURNACE & HWH TO REMAIN.
6. CUT/ CAP &/or REROUTE PLUMBING LINES. PREPARE FOR NEW PLUMBING LAYOUT.
7. PROTECT EXISTING REMAINING STRUCTURAL FRAMING, WALLS & FOUNDATION DURING CONSTRUCTION.
8. CONTRACTOR TO MAINTAIN A SAFE & SECURE PROJECT SITE DURING THE CONSTRUCTION PHASE.
9. CONTRACTOR SHALL PROTECT & COVER EXISTING FIRST FLOOR AT DEN AFTER REMOVAL OF EXISTING ROOF & JOIST STRUCTURAL SYSTEM.
10. CONTRACTOR SHALL SOIL EROSION & SEDIMENT CONTROL METHODS PRIOR TO EXCAVATION.

WALL LEGEND



1

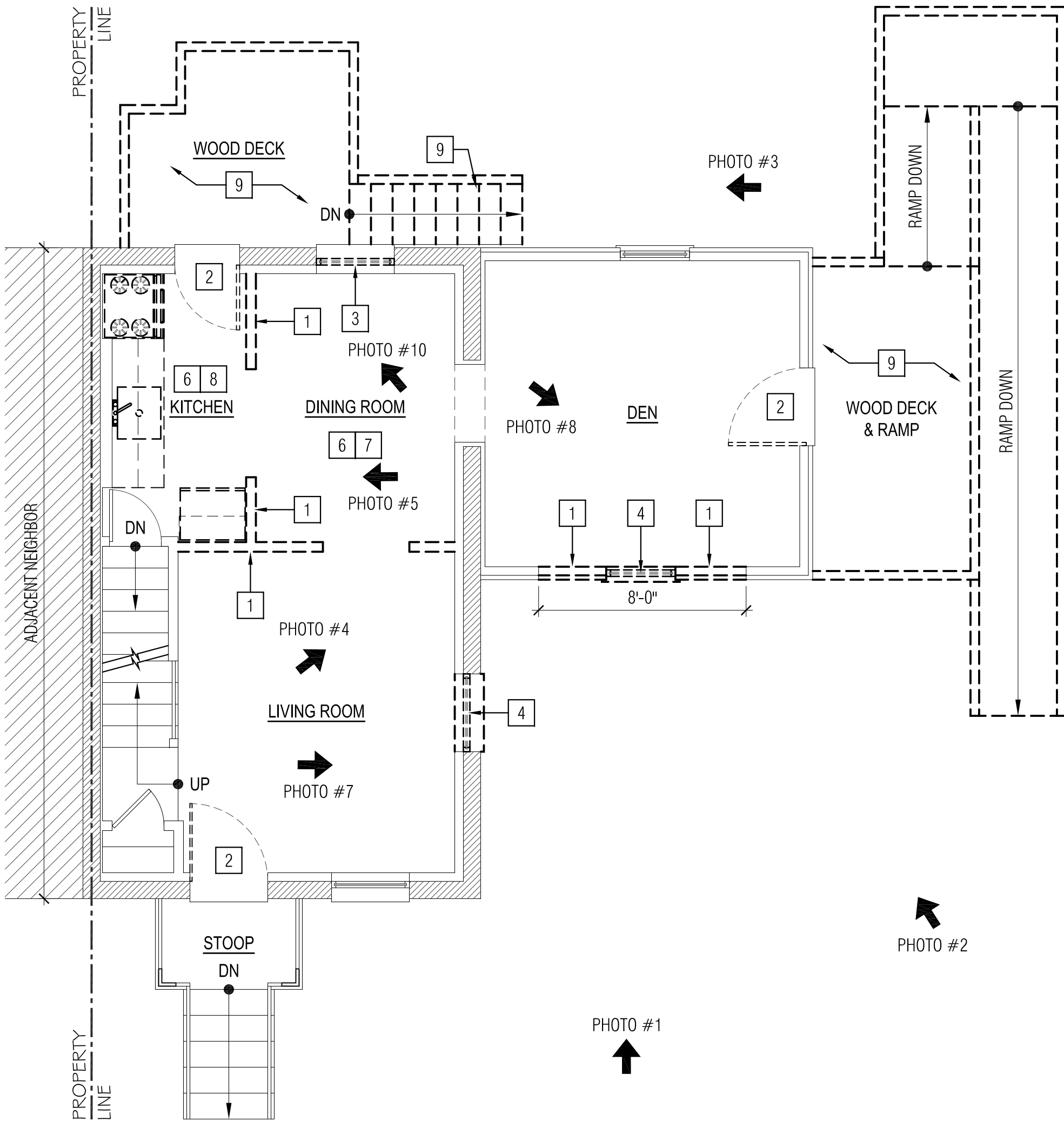
D001

BASEMENT PLAN - DEMOLITION

SCALE : 1/4" = 1'-0"

CEILING HT.: 7'-6"

GROSS AREA: 540 sqft



2

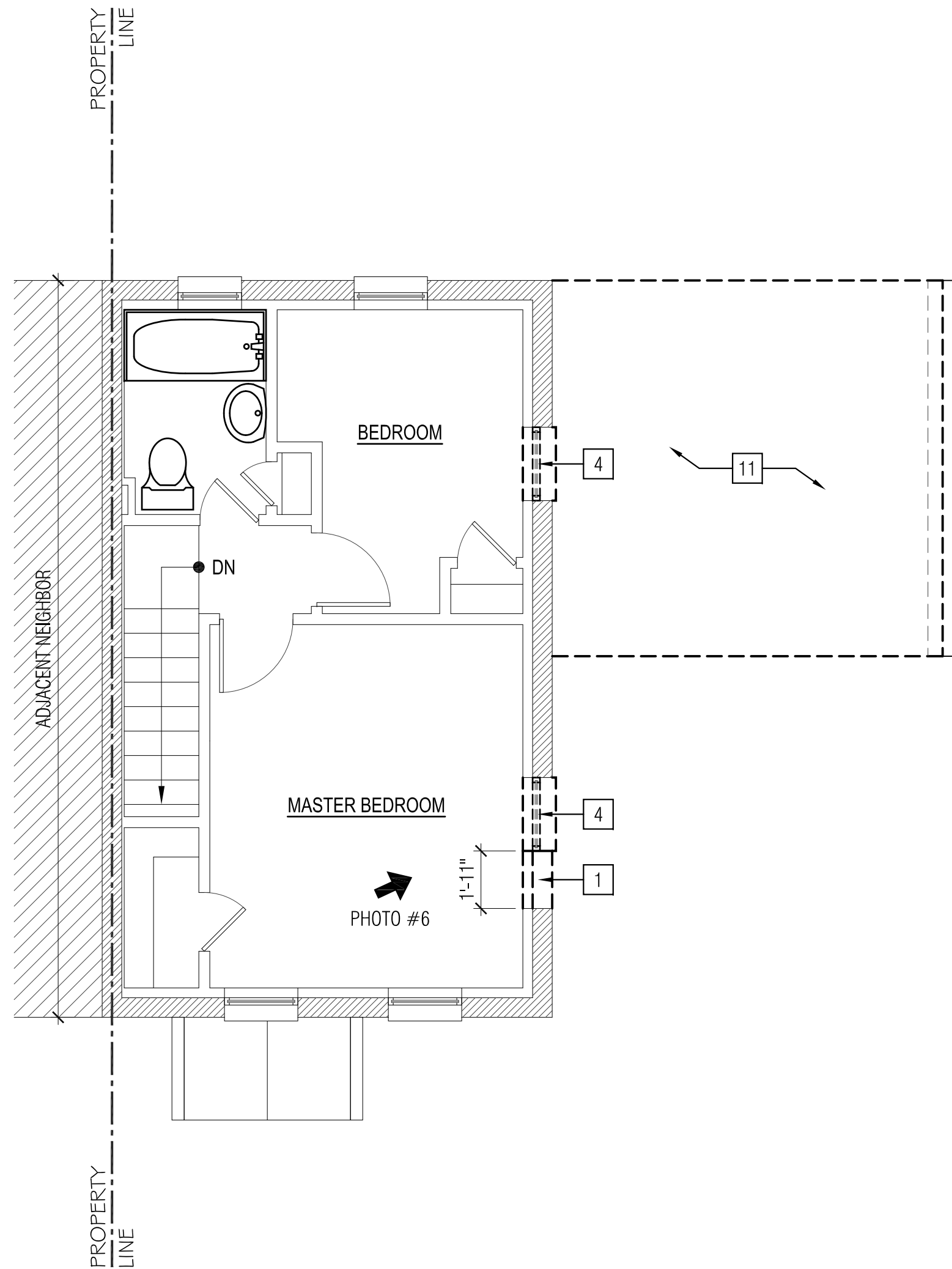
D001

FIRST FLOOR PLAN - DEMOLITION

SCALE : 1/4" = 1'-0"

CEILING HT.: 8'-0"

GROSS AREA: 540 sqft



3

D001

SECOND FLOOR PLAN - DEMOLITION

SCALE : 1/4" = 1'-0"

CEILING HT.: 8'-0"

GROSS AREA: 376.5 sqft

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315 Buchanan Street
Alexandria, VA 22314
(Account No.: 10148500)

S.F.R. : SIDE ADDITION & INTERIOR RENOVATION

Demolition Floor Plans & Notes

PERMIT SET
PRINTING #1

revisions:

project no. 2018 - 015
date: 09 APRIL 2018

Demolition Floor Plans
& Notes

D001

drawing no.

G H D

GEE HOW DZYNIE, LLC

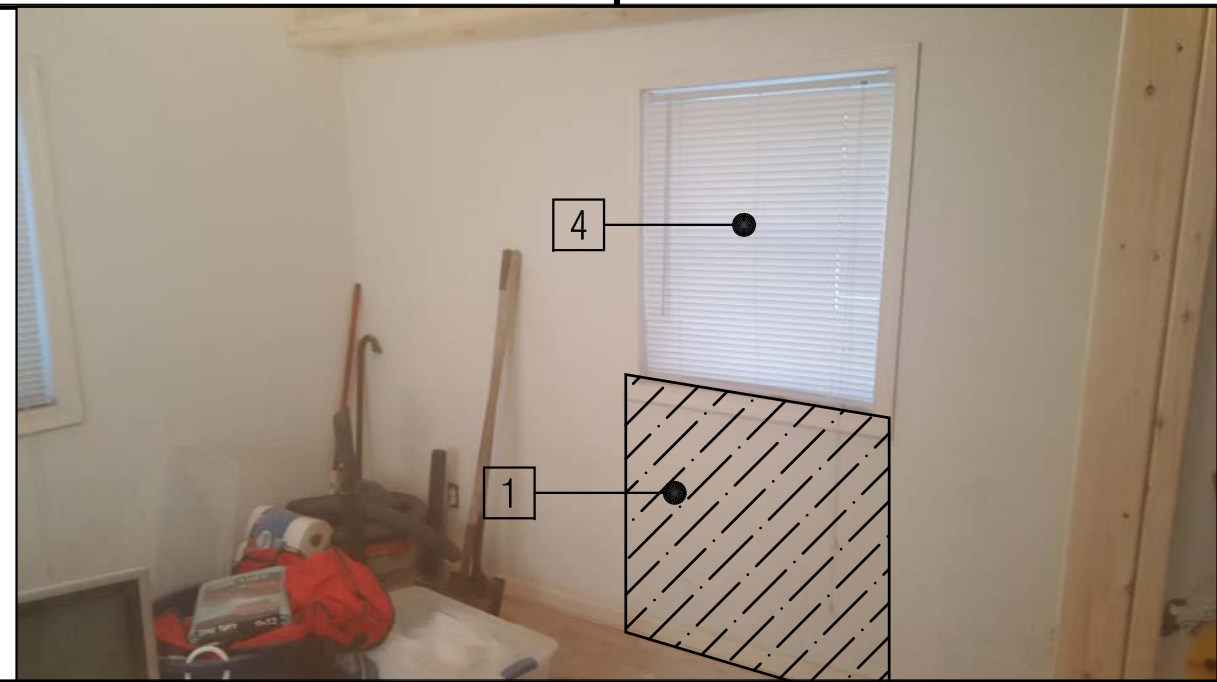
Commercial Residential Interior

10612 Thrift Road, Clifton, MD 20735
240.350.1726 geshowards@hotmail.com
Jemaine 'Gee' Howard, Principal

1	REMOVE EXISTING WALL TO ITS ENTIRETY. PREPARE AREA TO RECEIVE NEW WORK.	9	REMOVE EXISTING DECK SYSTEM COMPLETELY & REPLACE IN-KIND (SUPPORT, FRAMING, DECKING, STEPS & RAILING)
2	REMOVE EXISTING DOOR. PREPARE AREA TO RECEIVE NEW WORK.	10	REMOVE & REPLACE EXISTING REAR AREAWAY & STEPS.
3	REMOVE EXISTING WINDOW. PREPARE AREA TO RECEIVE NEW WORK. G.C. TO FIELD VERIFY SIZE PRIOR TO ORDER.	11	REMOVE EXISTING ROOFING SYSTEM TO INCLUDE SHINGLES, SUBSTRATE, TRUSSES, GUTTER SYSTEM & ETC.
4	REMOVE EXISTING WINDOW. PREPARE AREA TO RECEIVE NEW WORK.	12	EXCAVATE & PREPARE AREA TO RECEIVE NEW FOUNDATION, SLAB & FRAMING ADDITION (128 SQ.FT.)
5	REMOVE EXISTING BATHROOM FIXTURES. PREPARE AREA TO RECEIVE NEW WORK.	13	REMOVE EXISTING SIDING & TRIM. PREPARE AREA TO RECEIVE NEW WORK.
6	REMOVE EXISTING FINISH FLOOR. PREPARE AREA TO RECEIVE NEW WORK.	14	REMOVE & REPLACE EXISTING SIDE WOOD DECK, LANDING, RAMP & RAILING SYSTEM. REPLACE UPPER DECK IN-KIND.
7	REMOVE EXISTING CEILING FINISH. PREPARE AREA TO RECEIVE NEW WORK.		
8	REMOVE EXISTING KITCHEN CABINETS & STORE. PREPARE AREA TO RECEIVE NEW WORK.		



6 - EX. ROOF @ SIDE ADDITION



9 - EX. INTERIOR (BASEMENT BEDROOM)
scale : N.T.S



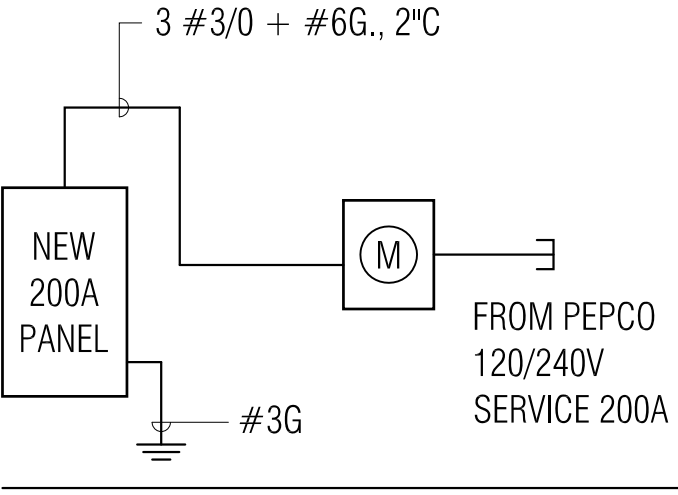
drawing title:

revisions:

drawing no.

ELECTRICAL NOTES:

- THE CONTRACTOR SHALL OBTAIN AND INCLUDE COST OF ALL PERMITS AND FEES IN PROPOSAL.
- ALL WIRING BUSSING IS BASED ON COPPER - 75 C INSULATION TYPE THHN. TYPE MC MAYBE USED WHERE ALLOWED BY CODE. ALL EXTERIOR WIRING SHALL BE IN CONDUIT (EMT).
- CONTINUOUS LOADING SHOULD NOT EXCEED 80% OF CONDUIT RATING.
- CONTINUOUS LOADING SHOULD NOT EXCEED 100 FEET IN LENGTH TO AVOID EXCESSIVE VOLTAGE DROP.
- FLEXIBILITY AND EXPANSION SHOULD BE ALLOWED FOR LOAD REQUIREMENTS. (15%-25%)
OPTIONAL LIGHTING : KITCHEN WALL CABINET UNDER LIGHTING
- A MINIMUM OF 75% OF PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY EFFICIENCY LAMPS
- ALL HABITABLE SPACE RECEPTACLES SHALL BE AFCI
- ALL TOILET ROOM & KITCHEN RECEPTACLES SHALL BE GFI



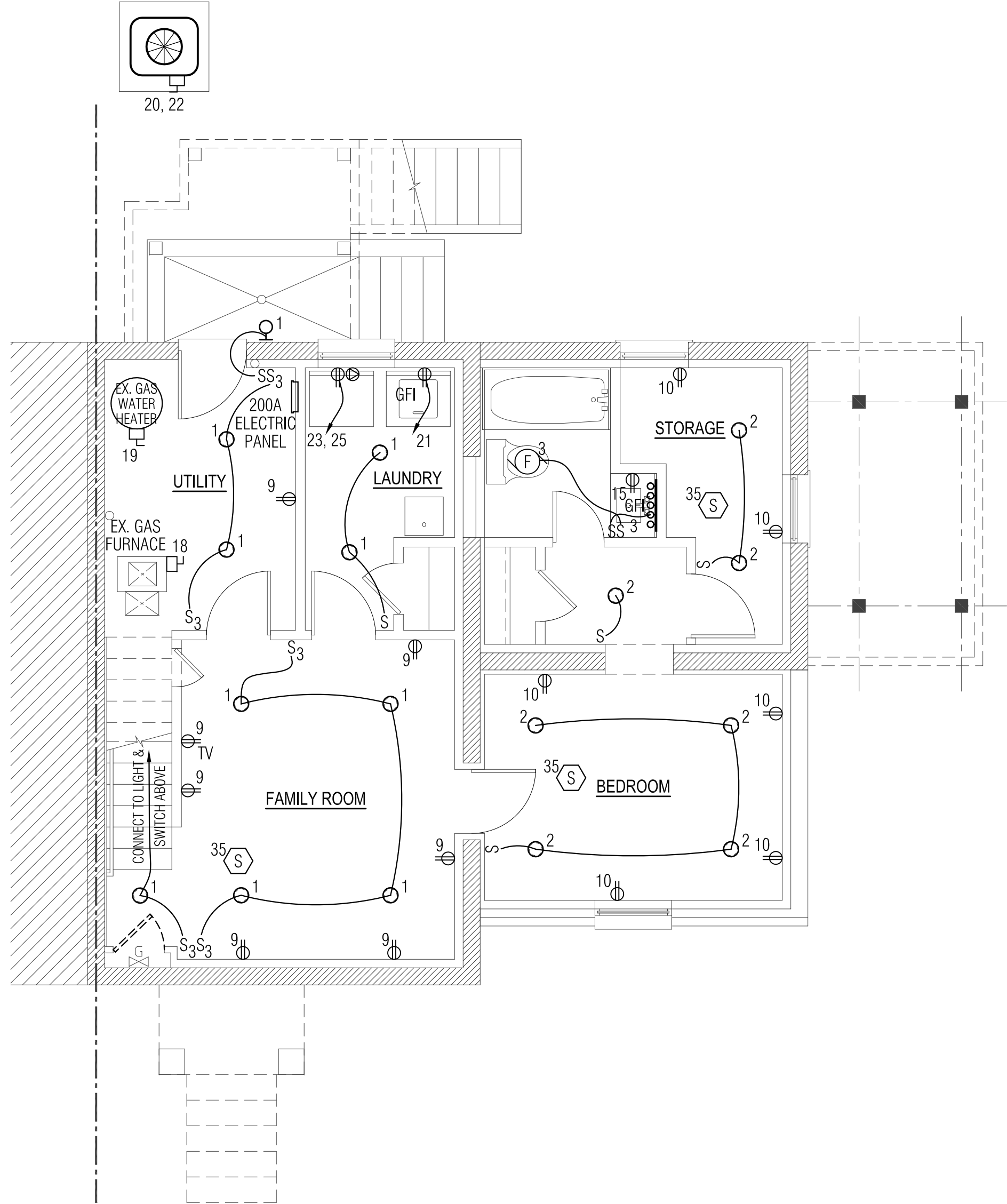
4
E001
ELECTRIC RISER DIAGRAM
SCALE: N.T.S.

ELECTRICAL SYMBOLS

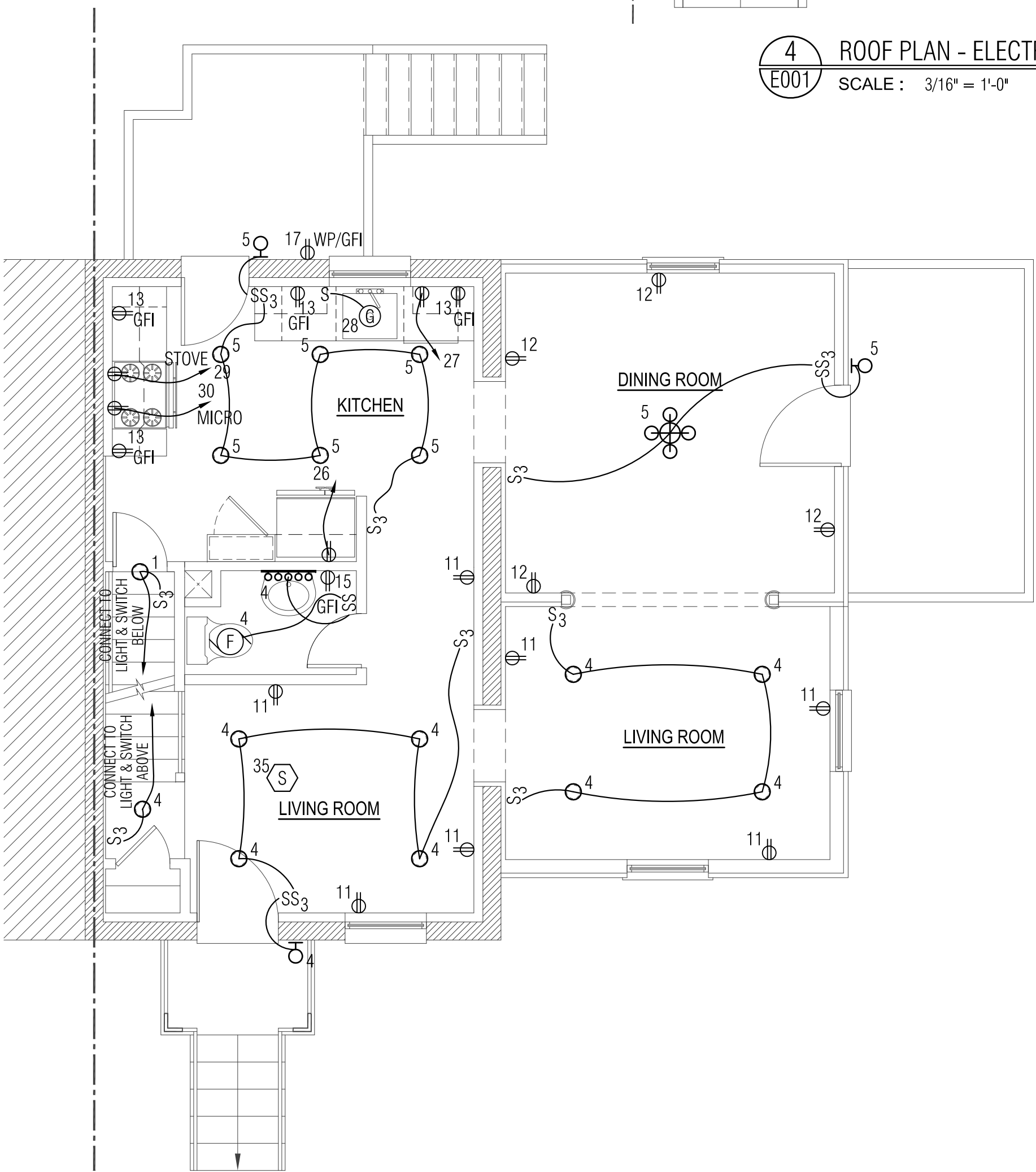
- #○ INCANDESCENT OR FLUORESCENT LIGHTING FIXTURE CEILING MOUNTED.
- #○ INCANDESCENT OR FLUORESCENT LIGHTING FIXTURE WALL MOUNTED.
- BRANCH CIRCUIT WIRING HOME RUN CONCEALED IN WALLS AND/OR ABOVE CEILINGS. ARROWHEAD INDICATES NUMBER OF CIRCUITS IN HOME RUN. ASSOCIATED DESCRIPTION INDICATED PANEL NAME AND CIRCUIT BREAKER NUMBER. RUNS WITHOUT CROSSMARKS INDICATE 2 #12 + #12 GROUND, IN MINIMUM 1/2" CONDUIT
- GFI GROUND FAULT INTERRUPTER RECEPTACLE, 20A, 125V, 2P WITH GROUND (NEMA 5-20R). WALL MOUNTED @ 4" A.F.F., U.O.N.
- ALL BEDROOMS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTED
- PANELBOARD, FLUSH MOUNTED.
- S SINGLE-POLE SWITCH, 48" A.F.F.
- S₃ THREE WAY SWITCH, MTD. @ +48" A.F.F.
- WALL MOUNTED JUNCTION BOX.
- EXHAUST FAN
- GARBAGE DISPOSAL
- 4" FLUORESCENT 2-LIGHT FIXTURE CEILING MOUNTED
- CARBON MONOXIDE DETECTOR
- CABLE TELEVISION
- SMOKE DETECTOR (HARD WIRED, BATTERY BACK UP, INTERCONNECTED)
- CEILING FAN

PANEL SCHEDULE SCHEDULE

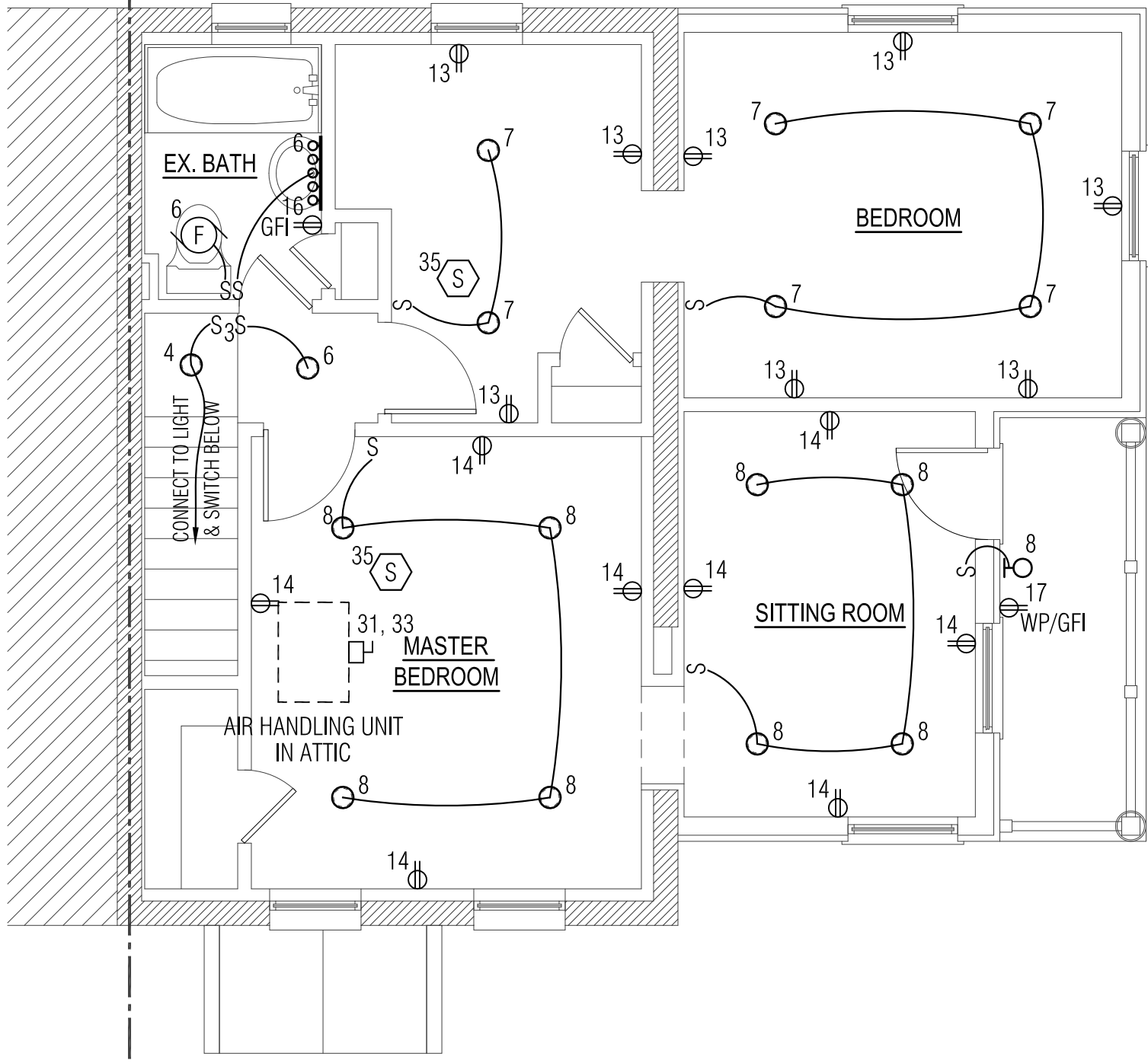
PANEL:	PANEL 1	EQUIP. GND BUS:	<input checked="" type="checkbox"/>	VOLTAGE:	120/240 VOLT, 1PH, 3W					
LOCATION:	SEE PLANS	ISOLATED GND BUS:	<input type="checkbox"/>	MAIN CIRCUIT BKR:	200 A					
MOUNTING:	RECESSED	NEUTRAL BUS: 100%	<input checked="" type="checkbox"/>	M.L.O.:	<input type="checkbox"/>					
FED FROM:		A.I.C.: 22 K	<input type="checkbox"/>	BUS RATING:	200 A					
LOAD DESCRIPTION	BKR. AMPS	BKR. POLE	CKT. NO.	LOAD - V.A.			CKT. NO.	BKR. POLE	BKR. AMPS	LOAD DESCRIPTION
				A	B	C				
LIGHTING FAMILY/ LAUN./ UTILITY	20	1	1				2	1	20	LIGHTING BEDROOM #2
LIGHTING BASESMENT BATH	20	1	3				4	1	20	LIGHTING LIVING ROOM
LIGHTING KITCHEN/ DINING	20	1	5				6	1	20	2nd FLOOR BATH
LIGHTING BEDROOM #1	20	1	7				8	1	20	LIGHTING MASTER BEDROOM
RECEPTACLE FAMILY ROOM	20	1	9				10	1	20	RECEPTACLES BEDROOM #2
RECEPTACLES LIVING ROOM	20	1	11				12	1	20	RECEPTACLES DINING ROOM
RECEPTACLE BEDROOM #2	20	1	13				14	1	20	RECEPTACLES MASTER BEDROOM
GFI RECEPTACLES BATHROOM	20	1	15				16	1	15	GFI RECEPTACLES BATHROOM
WP / GFI RECEPTACLES	20	1	17				18	1	30	GAS FURNACE
GAS HOT WATER HEATER	20	1	19				20	2	40	CONDENSING UNIT #1
WASHING MACHINE	20	1	21				22			
DRYER	40	1	23				24	1	20	GFI RECEPTACLES KITCHEN
			25				26	1	20	REFRIGERATOR
SPARE	20	1	27				28	1	20	GARBAGE DISPOSAL
DISHWASHER	20	1	29				30	1	20	MICROWAVE
AIR HANDLING UNIT	40	2	31				32	2	40	CONDENSING UNIT #2
			33				34			
SMOKE DETECTOR	15	1	35				36	1	20	SPARE
SPARE	20	1	37				38	1	20	SPARE
SPARE	20	1	39				40	1	20	SPARE
SPARE	20	1	41				42	1	20	SPARE
REMARKS:										



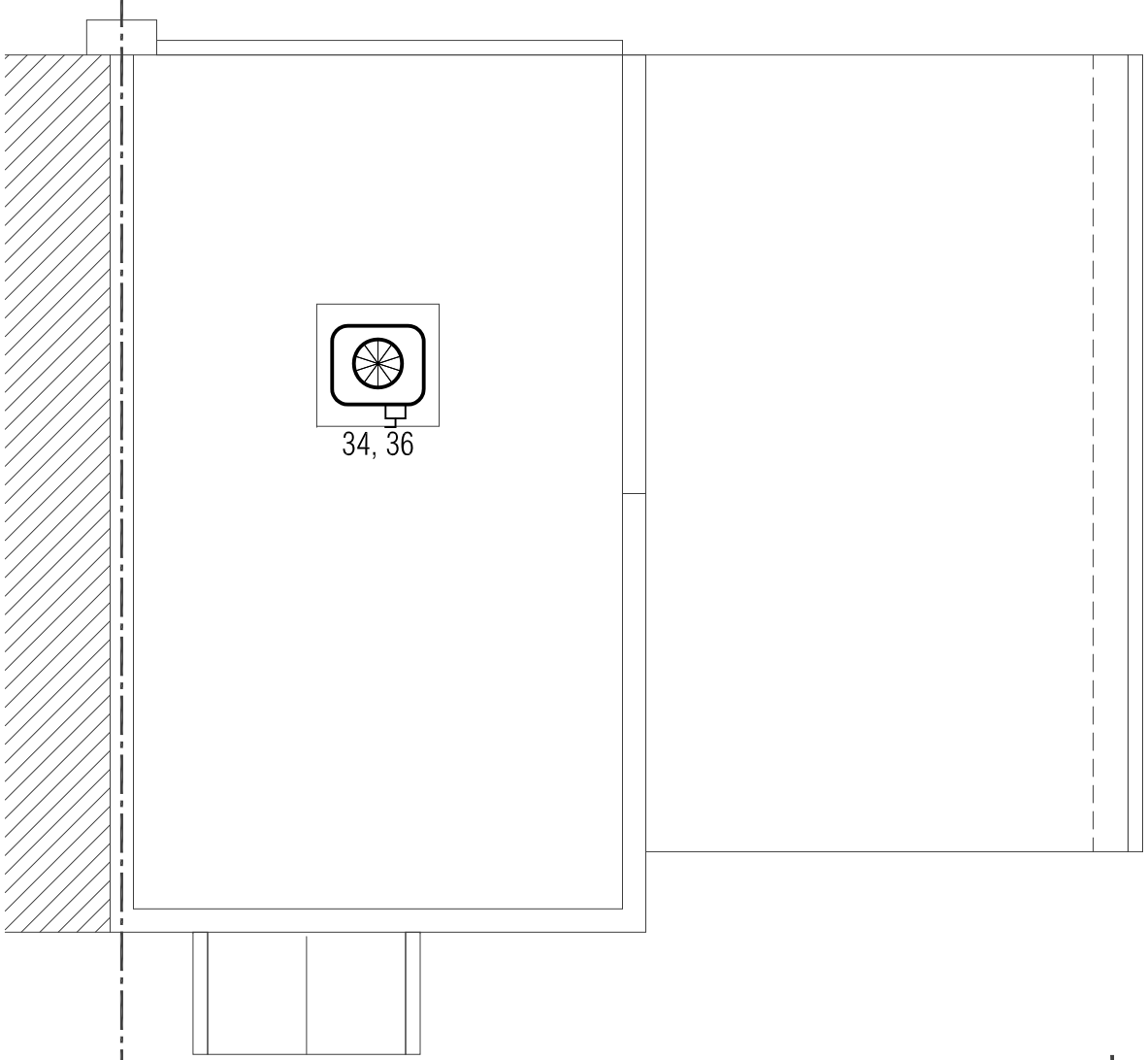
1
E001
BASEMENT PLAN - ELECTRICAL
SCALE: 1/4" = 1'-0"



2
E001
FIRST FLOOR PLAN - ELECTRICAL
SCALE: 1/4" = 1'-0"



3
E001
SECOND FLOOR PLAN - ELECTRICAL
SCALE: 1/4" = 1'-0"



4
E001
ROOF PLAN - ELECTRICAL
SCALE: 3/16" = 1'-0"

GEE HOW Dwyne, LLC
Commercial ■ Residential ■ Interior
10612 Thrift Road, Clinton, MD 20735
240.350.1726 ghoward@ghmail.com
Jermaine 'Gee' Howard, Principal

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**315 Buchanan Street
Alexandria, VA 22314**
(Account No.: 10148500)
S.F.R. : SIDE ADDITION & INTERIOR RENOVATION
Electrical Plans
Schedules & Notes

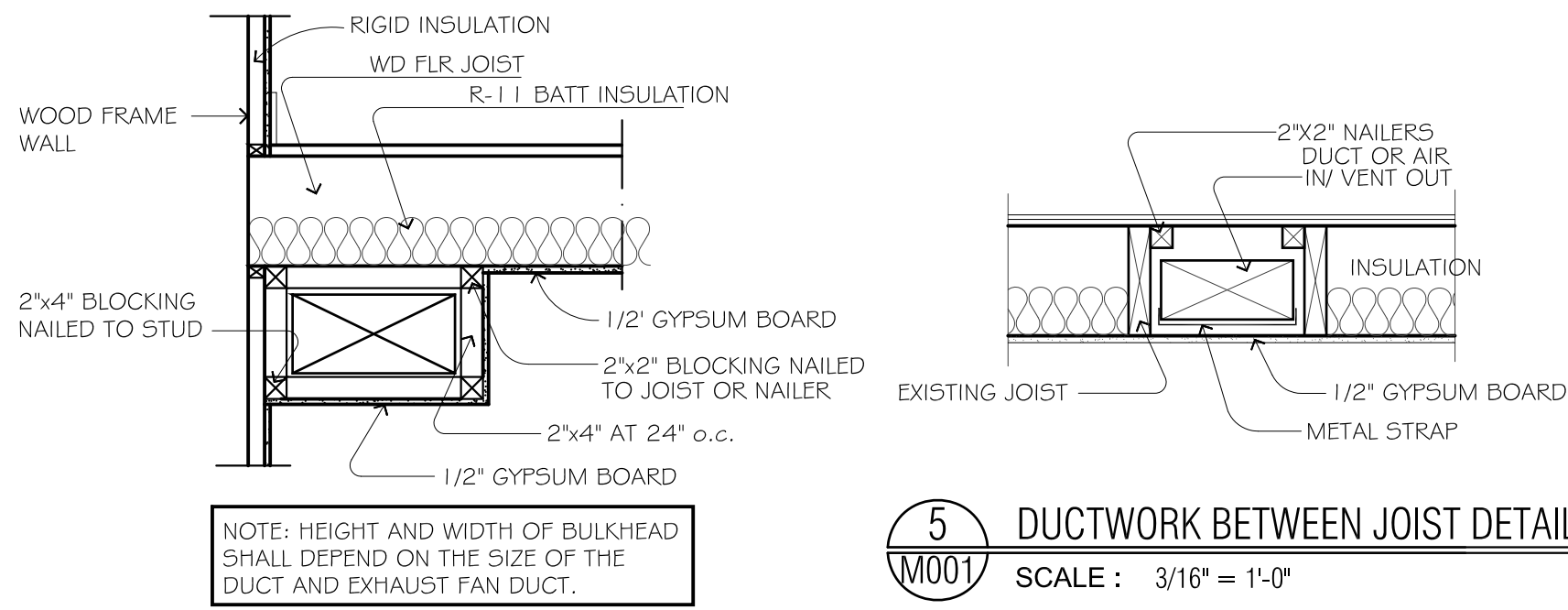
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revisions:

project no. 2018 - 015
date: 09 APRIL 2018

Electrical Plans
Schedules & Notes

E001
drawing no.



4 BULKHEAD DETAIL
SCALE: 3/16" = 1'-0"

5 DUCTWORK BETWEEN JOIST DETAIL
SCALE: 3/16" = 1'-0"

MECHANICAL UNIT PLAN NOTES		SUPPLY REGISTER SCHEDULE					
①	3/4" CONDENSATE DRAIN DOWN TO REAR EXTERIOR	CFM	NECK SIZE	ROUND DUCT SIZE	OVERALL SIZE	MFG AND MODEL No.	REMARKS
②	PROVIDE AUXILIARY DRAIN PAN UNDER UNIT	0-60	N.A.	5" DIA.	8" x 6"	LIMA (RESIDENTIAL MODEL FOR CEILING & FLOOR REGISTER)	COLOR SELECTION BY ARCH. SUBMIT FOR APPROVAL
③	BUILT-UP PLENUM FULL SIZE OF RETURN AIR UNIT WITH 30" LONG	61-100	N.A.	6" DIA.	10" x 6"		
④	CONDENSATE PUMP EQUAL TO 'LITTLE GIANT' MODEL VCMA-15ULST. EXTEND TO OUTSIDE.	101-150	N.A.	7" DIA.	12" x 6"		
⑤	MOUNT NEW CONDENSATE UNIT ON 4" CONCRETE PAD AND EXTEND 6" ALL AROUND UNIT.	151-200	N.A.	8" DIA.	14" x 6"		
		201-300	N.A.	10" DIA.	16" x 8"		
125 OR AS SHOWN		WR SUPPLY REGISTER					
		SUPPLY AIR ALUMINUM DOUBLE DEFLECTION EQUAL TO TITUS MODEL 272-RS, 3/4" AIRFOIL LOUVER, FRONT LOUVER PARALLEL TO THE FRONT DIMENSION W/ OPPOSED BLADE DAMPER					
		RETURN GRILLE : LIMA SERIES 1911 (RAG)					

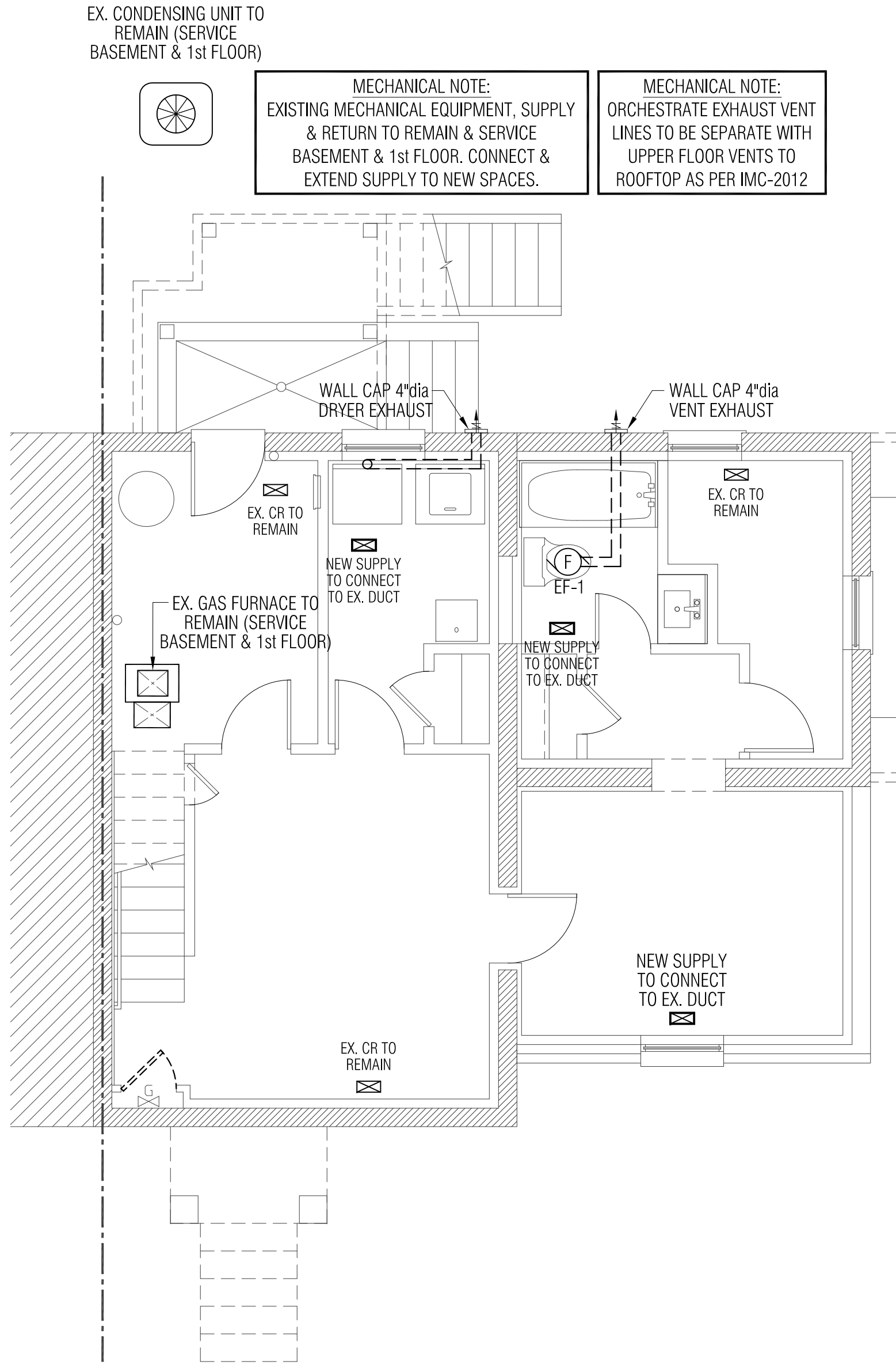
EXHAUST FAN SCHEDULE					
NO.	CFM	S.P.	MOTOR	RPM	MODEL
EF-1	50	0.25	4.9 WATTS	800	BROAN XB50

HVAC NOTES:
CONTRACTOR IS REQUIRED TO SUBMIT AT FINAL INSPECTION A WHOLE-BUILDING BLOWER DOOR TEST SHOWING A PASSING RATING OF ≤ 5 AIR CHANGES PER HOUR AT A PRESSURE OF 50 PASCAL. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL.

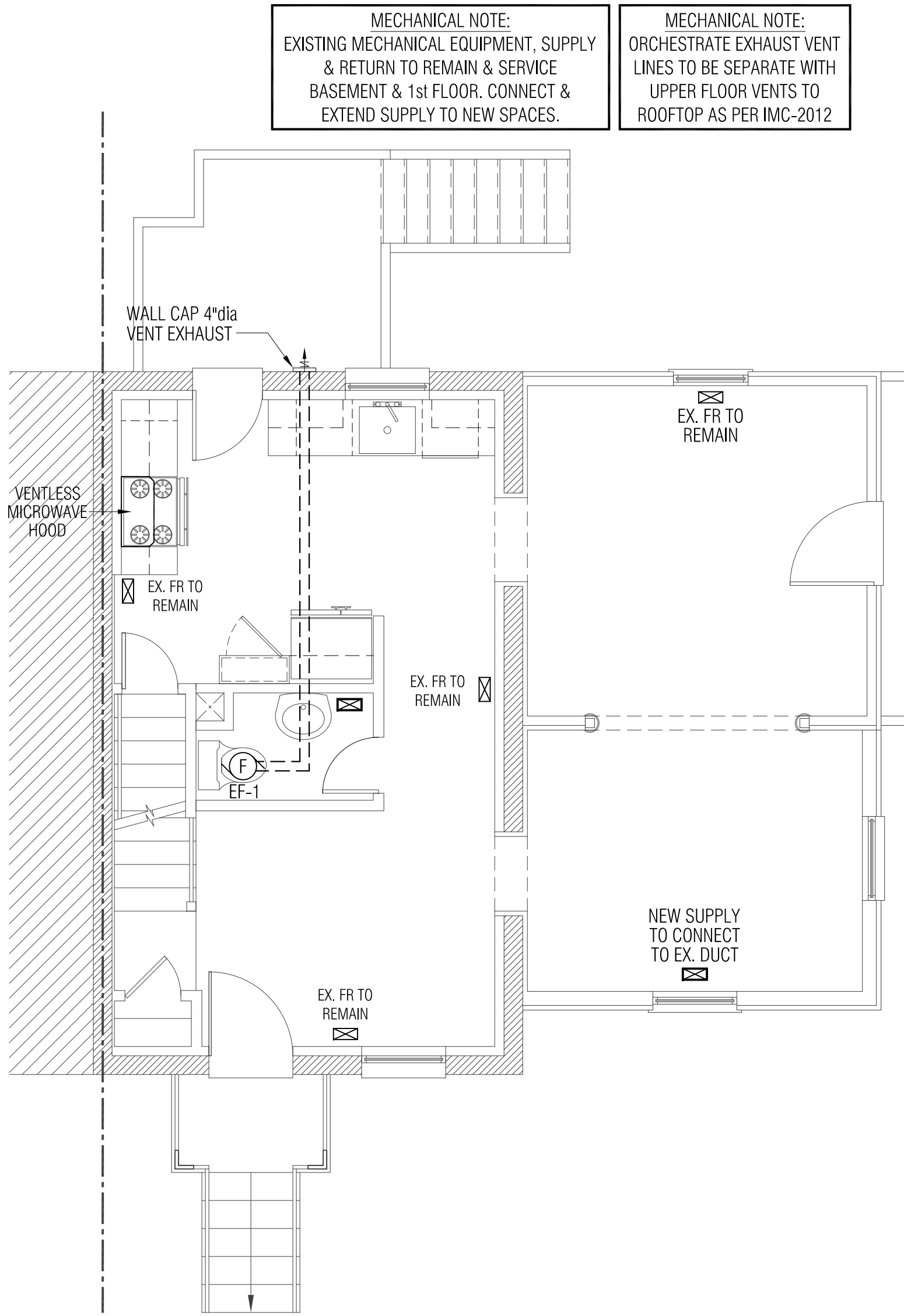
MECHANICAL LEGEND			
↔	RETURN AIR	→	WALL SUPPLY REGISTER
AFF	ABOVE FINISH FLOOR	ⓘ	THERMOSTAT
CR	CEILING REGISTER	UC	UNDERCUT DOOR
F	EXHAUST FAN	CFM	CUBIC FEET PER MINUTE
BS	BIRD SCREEN	⊗	AIR COOLED CONDENSING UNIT
HWR	HIGH WALL REGISTER	FR	FLOOR REGISTER
LWR	LOW WALL REGISTER	WR	WALL REGISTER
CRG	CEILING RETURN GRILLE	⊠	SUPPLY DUCT
H.R.A.G.	HIGH RETURN AIR GRILLE	⊞	RETURN DUCT
L.R.A.G.	LOW RETURN AIR GRILLE		

MECHANICAL NOTES:
1. CONTRACTORS SHALL COORDINATE DUCTWORK, CONDUIT AND PIPING INSTALLATIONS WITH LIGHT FIXTURES, ETC. AND PROVIDE ADDITIONAL RISES, DROPS & OFFSETS AS REQUIRED.
2. WORK INDICATED THAT PENETRATES FLOOR OR ROOF SLABS OR WALLS SHALL BE COORDINATED WITH STRUCTURAL OR ARCHITECTURAL OPENINGS PROVIDED.
3. PROVIDE ACCESS DOORS AS REQUIRED BY CODES AT EACH AND EVERY DAMPER EXCEPT VOLUME DAMPERS.
4. CONTRACTOR SHALL INSTALL PROGRAMMABLE THERMOSTATS AT THE LOCATION SHOWN ON THE DRAWINGS.
5. ORCHESTRATE EXHAUST VENT LINES TO BE SEPARATE WITH UPPER FLOOR VENTS TO ROOFTOP AS PER IMC-2012.
6. ALL CONSTRUCTION DEBRIS SHALL BE REMOVED AND THE AREA OF WORK SHALL BE LEFT IN CLEAN CONDITION. CONTRACTORS SHALL THOROUGHLY CLEAN WITH SOAP AND WATER ALL AIR DEVICES AFTER CONSTRUCTION.
7. CONTRACTORS SHALL BALANCE THE MECHANICAL SYSTEM TO DELIVER AMOUNT OF CFM AS SHOW ON DRAWINGS. THE BALANCING CONTRACTOR SHALL BE CERTIFIED BY THE NATIONAL BALANCING BUREAU (NEBB) IN THOSE TESTING AND BALANCING DISCIPLINES REQUIRED FOR THIS PROJECT AND HAVE AT LEAST ON PROFESSIONAL ENGINEER. THE BALANCE SHALL COMPLY WITH NEBB: "PROCEDURAL STANDARDS FOR TESTING, ADJUSTING AND BALANCING ENVIRONMENTAL SYSTEMS". BALANCE SHALL BE COMPLETED BEFORE TENANT OCCUPIES THE SPACE.
8. ALL EQUIPMENT SHALL BE UL LISTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
9. ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ALL LINE VOLTAGE WIRING AND CONDUIT. MECHANICAL CONTRACTOR TO FURNISH AND INSTALL ALL LOW VOLTAGE (24V) WIRING.
10. ALL DUCTWORK SHALL COMPLY WITH CURRENT SMACNA REQUIREMENTS AND CHAPTER 10 OF THE UNIFORM MECHANICAL CODE.
11. ALL SUPPLY AIR DUCT BRANCH WYES SHALL HAVE MANUAL VOLUME CONTROL DAMPERS.
12. PROVIDE WALL CAPS W/ SCREEN FOR ALL EXHAUST WALL PENETRATIONS
13. ALL SUPPLY & RETURN DUCT IN ATTIC &/OR OUTSIDE SHALL BE WRAPPED IN R-8 INSULATION.
14. ORCHESTRATE EXHAUST VENT LINES TO BE SEPARATE WITH UPPER FLOOR VENTS TO ROOFTOP AS PER IMC-2012

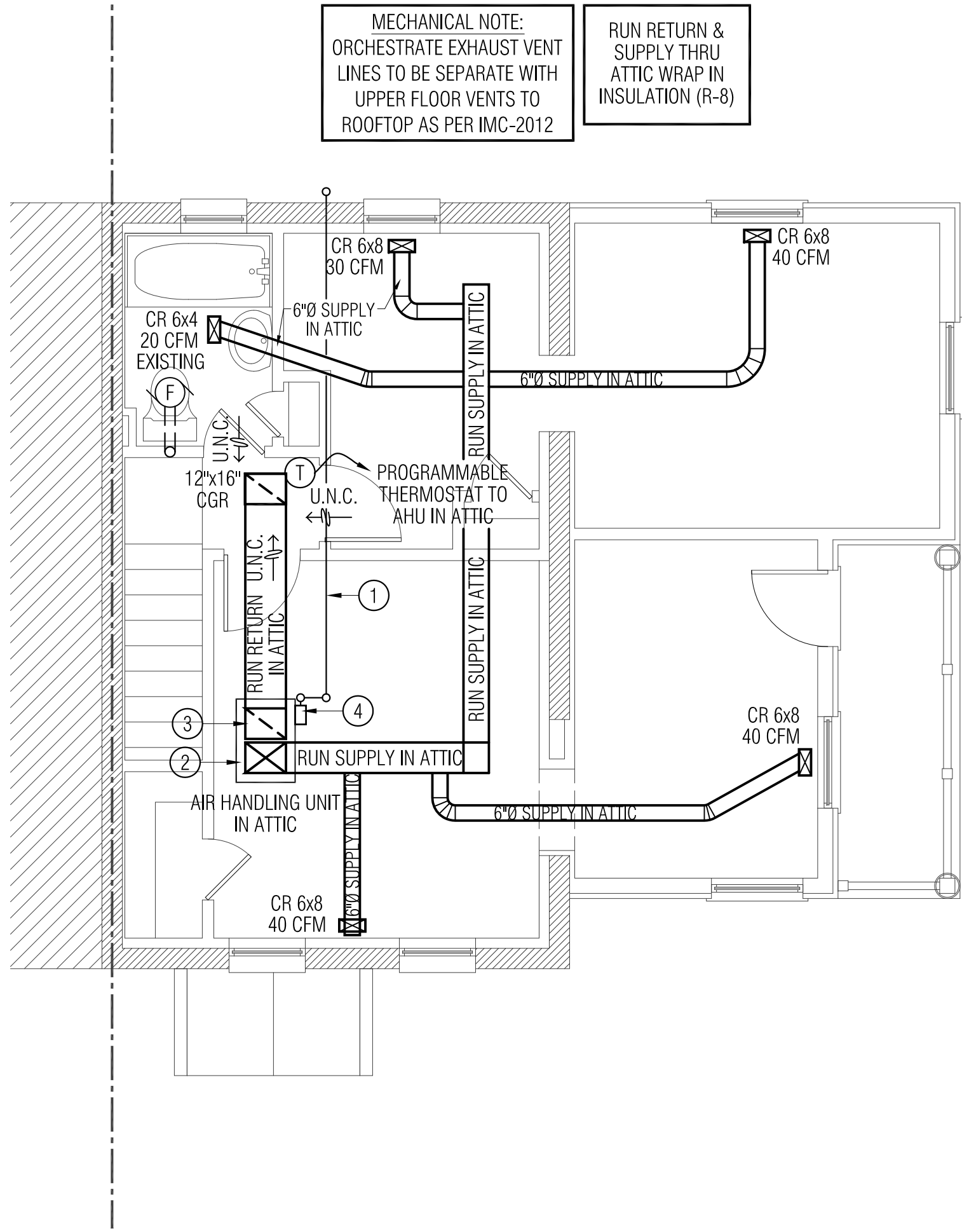
DRAIN PAN NOTE:
- A SEPARATE OVERFLOW DRAIN LINE SHALL BE CONNECTED TO THE DRAIN PAN INSTALLED WITH THE EQUIPMENT. THIS OVERFLOW DRAIN SHALL DISCHARGE TO A CONSPICUOUS POINT OF DISPOSAL TO ALERT OCCUPANTS IN THE EVENT OF A STOPPAGE OF THE PRIMARY DRAIN. THE OVERFLOW DRAIN LINE SHALL CONNECT TO THE DRAIN PAN AT A HIGHER LEVEL THAN THE PRIMARY DRAIN CONNECTION



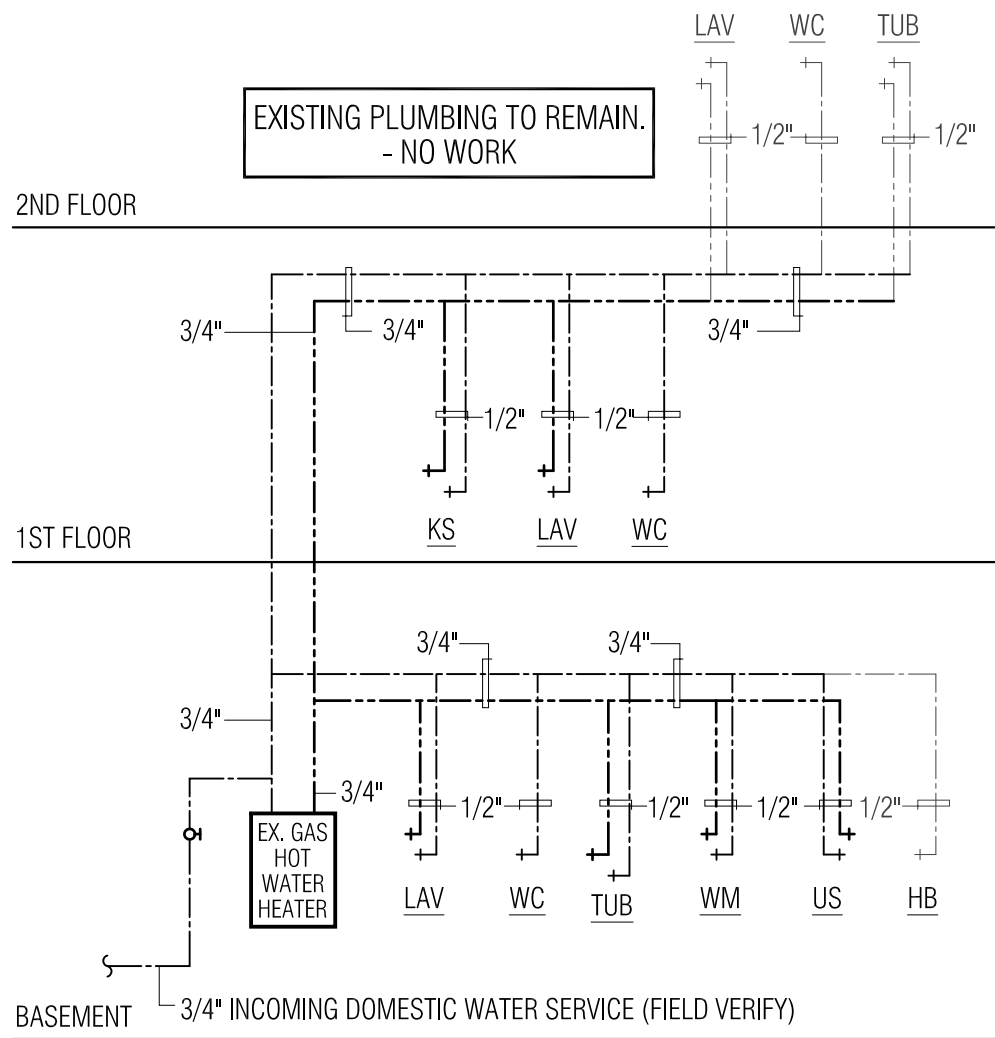
1 BASEMENT PLAN - MECHANICAL
SCALE: 1/4" = 1'-0"



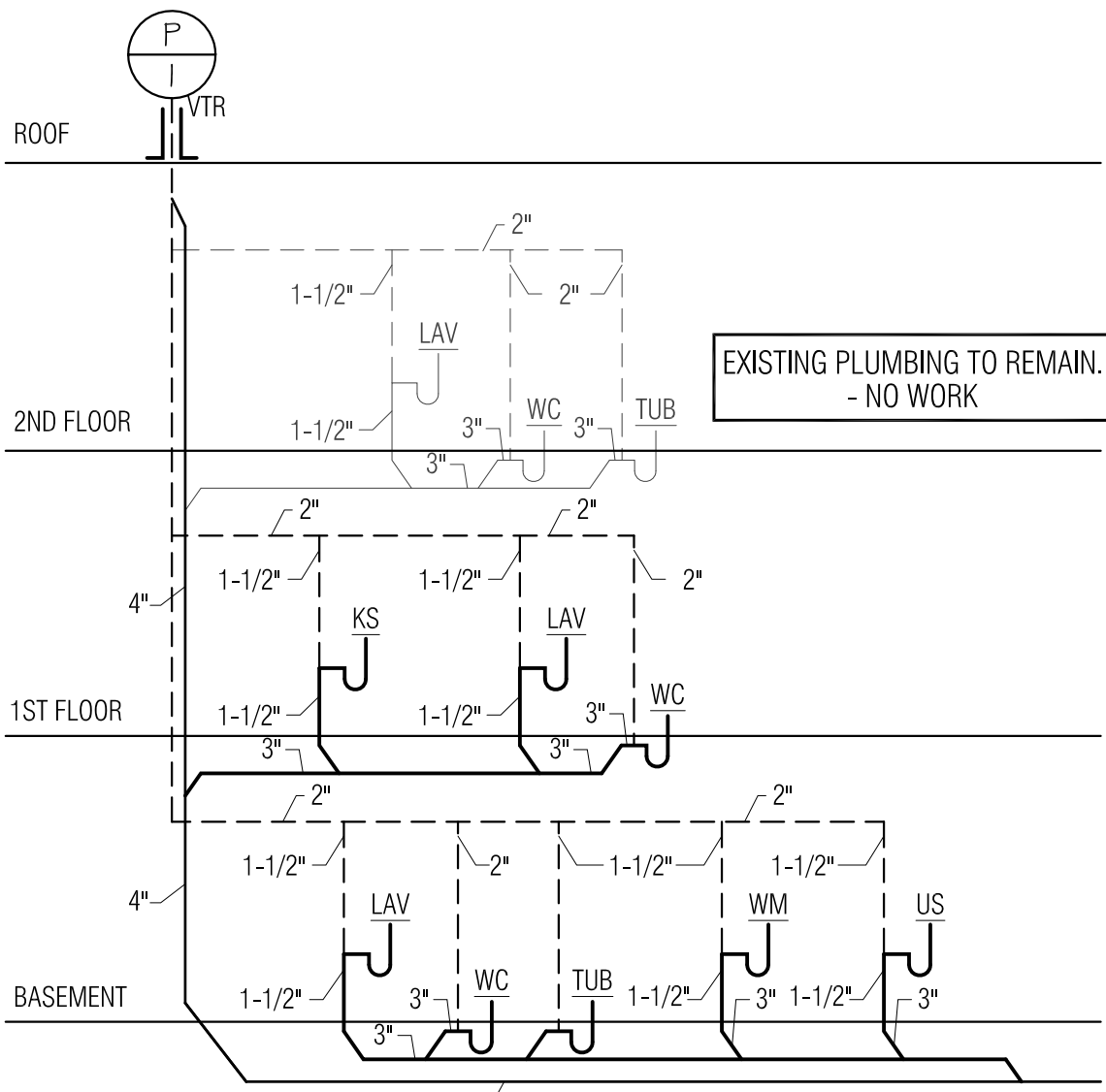
2 FIRST FLOOR PLAN - MECHANICAL
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR PLAN - MECHANICAL
SCALE: 1/4" = 1'-0"



4 WATER SUPPLY RISER DIAGRAM
SCALE: N.T.S.



5 SANITARY RISER DIAGRAM
SCALE: N.T.S.

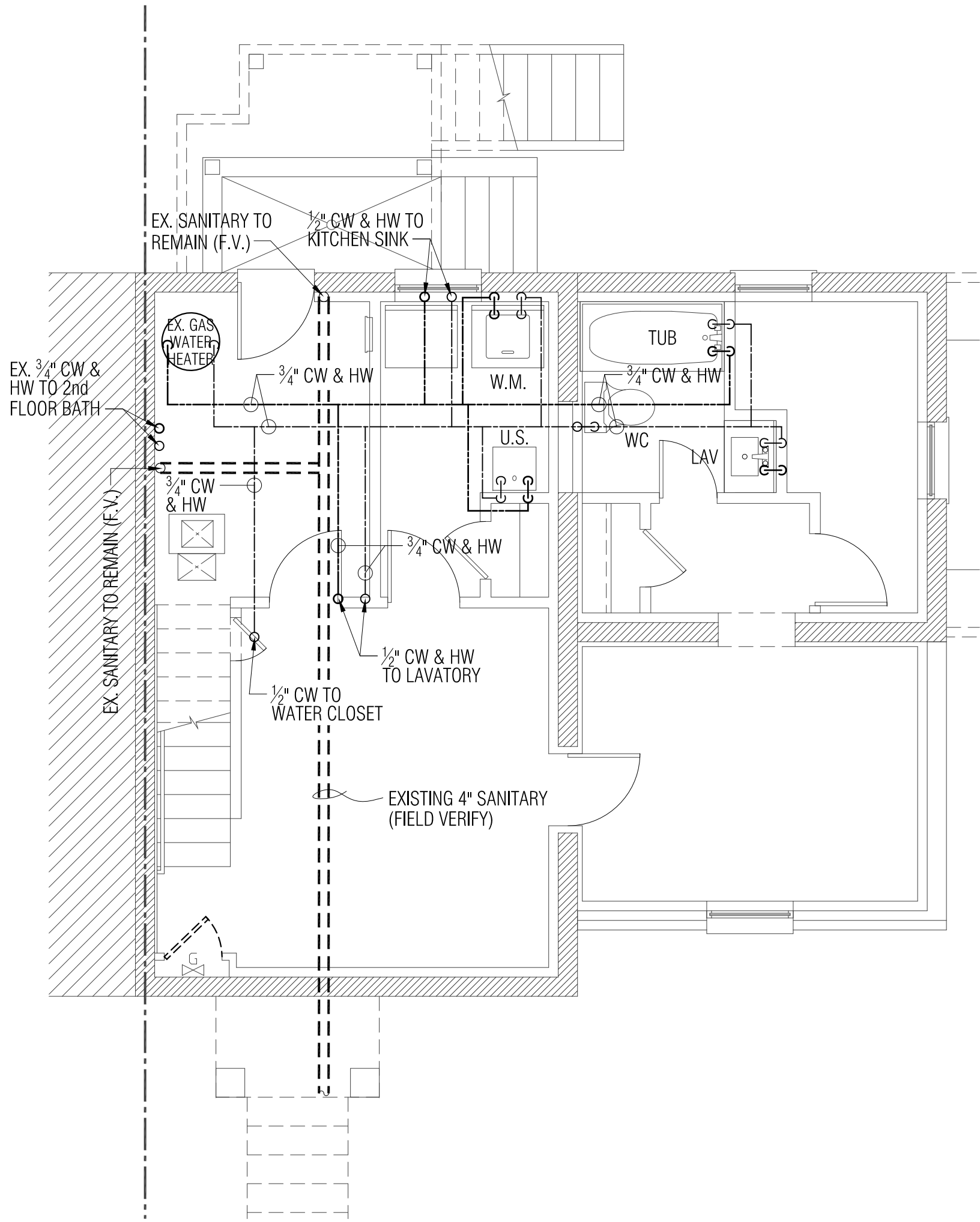
- PLUMBING NOTES:
1. FURNISH, INSTALL, PROVIDE AND MAKE OPERATIVE ALL EQUIPMENT, MATERIALS, SUPERVISION, LABOR AND ANY AND ALL ITEMS NECESSARY FOR THE PROPER INSTALLATION OF A CORRECTLY FUNCTIONING PLUMBING SYSTEM AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
 2. EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. EQUALS SHALL BE ACCEPTED FOR EQUIPMENT UNLESS OTHERWISE NOTED.
 3. ORDINANCES, PERMITS AND CODES: THE WORKMANSHIP AND MATERIALS COVERED BY THESE SPECIFICATIONS SHALL CONFORM TO ALL REGULATIONS OF ALL THE AUTHORITIES HAVING JURISDICTION.
 4. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, CONNECTION AND INSPECTION FEES AS REQUIRED FOR THE COMPLETE INSTALLATION OF THE PLUMBING SYSTEM.
 5. THE LOCATION OF PIPING AND EQUIPMENT, AS SHOWN ON THE DRAWINGS, IS DIAGRAMMATIC AND SCHEMATIC AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE HIS OWN WORKING LAYOUT TO ELIMINATE ALL STRUCTURAL AND ARCHITECTURAL CONFLICTS IN THE BUILDING.
 6. VERIFY ALL MEASUREMENTS AT THE SITE AND COORDINATE ALL WORK SO THAT IT DOES NOT INTERFERE WITH THE WORK OF THE OTHER TRADES.
 7. INSTALL NON FREEZING HOSE BIBS WITH BACK FLOW PROTECTION.
 8. ANY EXPOSED PIPES RUNNING IN CRAWL SPACE TO BE INSULATED. (MIN. R-3)
 9. HOT WATER SYSTEM TO BE HAVE AN AUTOMATIC CONTROL

10. INSULATION: ALL INSULATION, INCLUDING JACKET, OR FACING AND ADHESIVE USED TO ADHERE FACING OR JACKET TO THE INSULATION SHALL HAVE A COMPOSITE FIRE AND SMOKE HAZARD RATING TESTED BY THE PROCEDURE RECOMMENDED BY ASTM E-84, NFPA 225 OR U.L. 723, NOT EXCEEDING: FLAME SPREAD 25, SMOKE DEVELOPED 50. ALL INSULATION ACCESSORIES SHALL ALSO HAVE THE RATING LISTED ABOVE.
11. DOMESTIC WATER PIPES SHALL BE INSULATED WITH ONE (1) INCH THICK PREFORMED HIGH DENSITY FIBERGLASS WITH FACTORY APPLIED VAPOR BARRIER AND SELF SEALING LAP, SUCH AS OWENS CORNING 25 ASJ.
12. DOMESTIC WATER PIPES SHALL BE TYPE "L" COPPER ABOVE GROUND / SLAB AND TYPE "K" COPPER BELOW GRADE / SLAB. INSTALL DIELECTRIC UNIONS AT CONNECTION TO DISSIMILAR METALS.
10. SANITARY WASTE AND VENT PIPE SHALL BE CAST IRON WITH NO-HUB FITTINGS OR SCHEDULE 40 PVC.
13. TEMPERATURE SETTING FOR WATER HEATER, 49-60 DEGREES C.
14. INSTALL HAMMER ARREST DEVICE AT QUICK CLOSING VALVE LOCATIONS. P2903.5
- WATER HAMMER : THE FLOW VELOCITY OF THE WATER DISTRIBUTION SYSTEM SHALL BE CONTROLLED TO REDUCE THE POSSIBILITY OF WATER HAMMER. WATER-HAMMER ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. WATER HAMMER ARRESTORS SHALL CONFORM TO ASSE 1010.
15. NATURAL GAS PIPE SHALL BE SCHEDULE 40 BLACK STEEL WITH THREADED FITTINGS. INSTALL PRESSURE REDUCING VALVES WHERE REQUIRED. SYSTEM IS DESIGNED FOR 1/2 PSIG PRESSURE. INSTALL IN ACCORDANCE WITH NFPA 54.

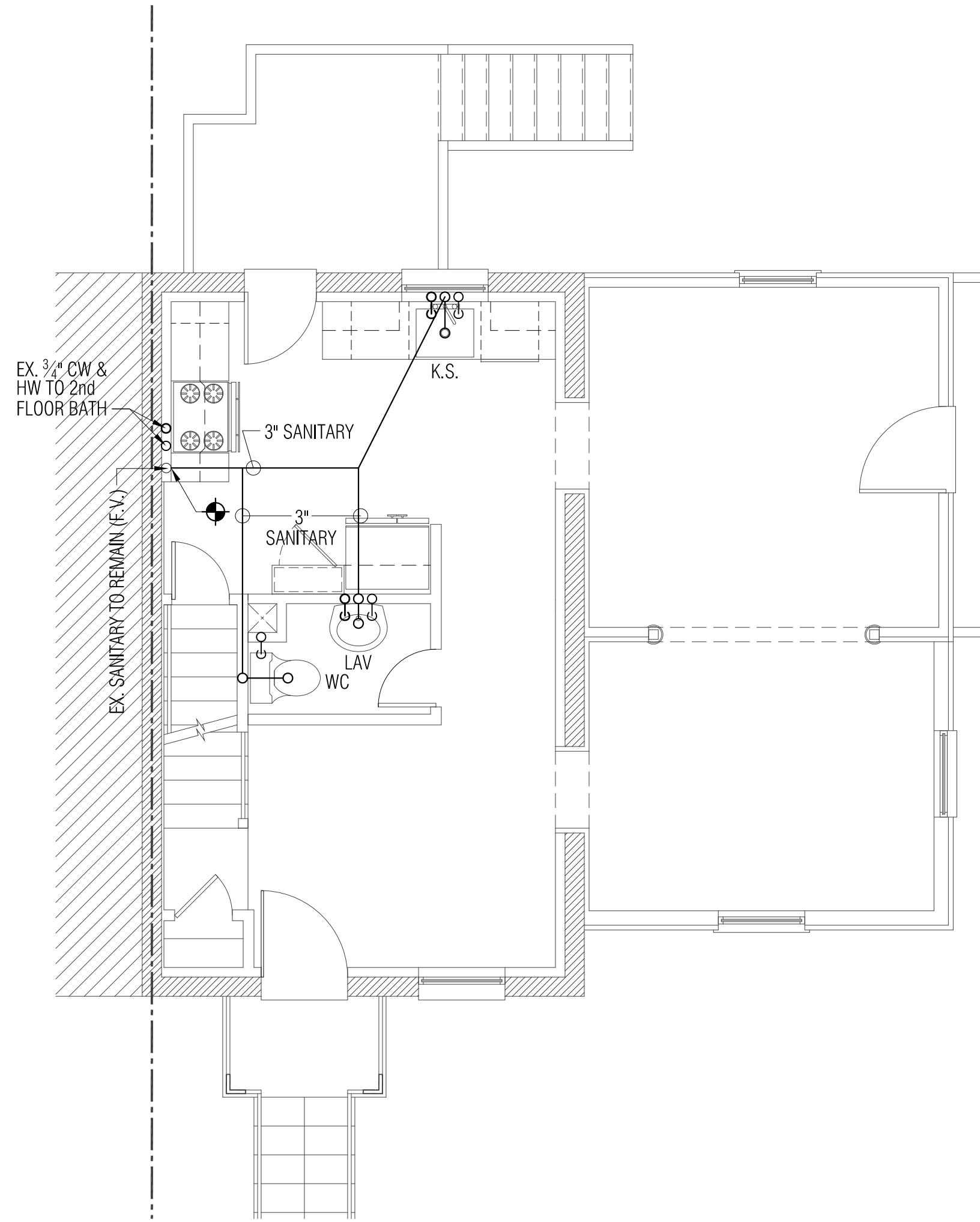
16. FOR WATER SYSTEMS, POTABLE OR OTHERWISE, BEFORE PUTTING THE SYSTEM INTO SERVICE THE SYSTEM SHOULD BE FLUSHED WITH WATER AT A VELOCITY OF AT LEAST 3 FEET PER SECOND. THIS WILL REMOVE ANY COPPER CHIPS OR DUST THAT REMAINED IN THE SYSTEM DURING INSTALLATION, AND WILL ALSO REMOVE ANY FLUX RESIDUES FROM THE SOLDERING OPERATION.
- REMOVE ALL AIR RATERS FROM ALL FAUCETS.
- TURN WATER HEATER TO HIGHEST HEATING SETTING.
- RUN WATER AT EACH FAUCET INDIVIDUALLY FOR 3 MINUTES FROM TOP FLOOR PROCEEDING TO THE BOTTOM FLOOR.
17. HOT WATER SUPPLIED TO BATHTUBS AND WHIRLPOOL BATHTUBS SHALL BE LIMITED TO A TEMPERATURE OF NOT GREATER THAN 120°F BY A WATER TEMPERATURE LIMITING DEVICE THANT CONFORMS TO ASSE 1070 OR CSA B125.3, EXCEPT WHERE SUCH PROTECTION IS OTHERWISE PROVIDED BY A COMBINATION TUB/SHOWER VALVE IN ACCORDANCE WITH SECTION P2708.3
- INDIVIDUAL SHOWER AND TUB/ SHOWER COMBINATION VALVES SHALL BE EQUIPPED WITH CONTROL VALVES OF THE PRESSURE-BALANCE, THERMOSTATIC-MIXING OR COMBINATION PRESSURE-BALANCE/ THERMOSTATIC-MIXING VALVE TYPES WITH A TIGHT LIMIT STOP IN ACCORDANCE WITH ASSE 1016 OR ASME A12.18.1/CSA B125.1. THE LIMIT STOP SHALL BE SET TO LIMIT THE WATER TEMPERATURE TO NOT GREATER THAN 120°F.
18. ALL HOT WATER PIPES SHALL BE INSULATED R-3 MIN.
19. SLIP JOINTS SHALL BE MADE WITH AN APPROVED ELASTOMERIC GASKET AND SHALL BE INSTALL ONLY ON THE TRAP OUTLET, TRAP INLET AND WITHIN THE TRAP SEAL. FIXTURES WITH CONCEALED SLIP JOINT CONNECTIONS SHALL BE PROVIDE WITH AN ACCESS PANEL OR UTILITY SPACE OF NOT LESS THAN 12 INCHES IN ITS SMALLEST DIMENSION OR OTHER APPROVED ARRANGEMENT SO AS TO PROVIDE ACCESS TO THE SLIP CONNECTION FOR INSPECTION AND REPAIR. PER DCRC P2704.1

PLUMBING CONNECTION SCHEDULE							
MARK	FIXTURE	PIPE CONNECTION					
		VENT	WASTE	DFU	HW	CW	SFU
WC	WATER CLOSET FT	2"	3"	3	-	1/2"	2
LAV	LAVATORY (WALL MTD)	1-1/2"	1-1/2"	1	1/2"	1/2"	1
TUB	BATH TUB	1-1/2"	2"	2	1/2"	1/2"	10
SH	SHOWER	1-1/2"	2"	2	1/2"	1/2"	5
WM	WASH MACHINE (GUY BOX)	1-1/2"	2"	3	1/2"	1/2"	3
US	UTILITY SINK	1-1/2"	1-1/2"	1	1/2"	1/2"	1
HB	HOSE BIB	-	-	-	-	1/2"	-

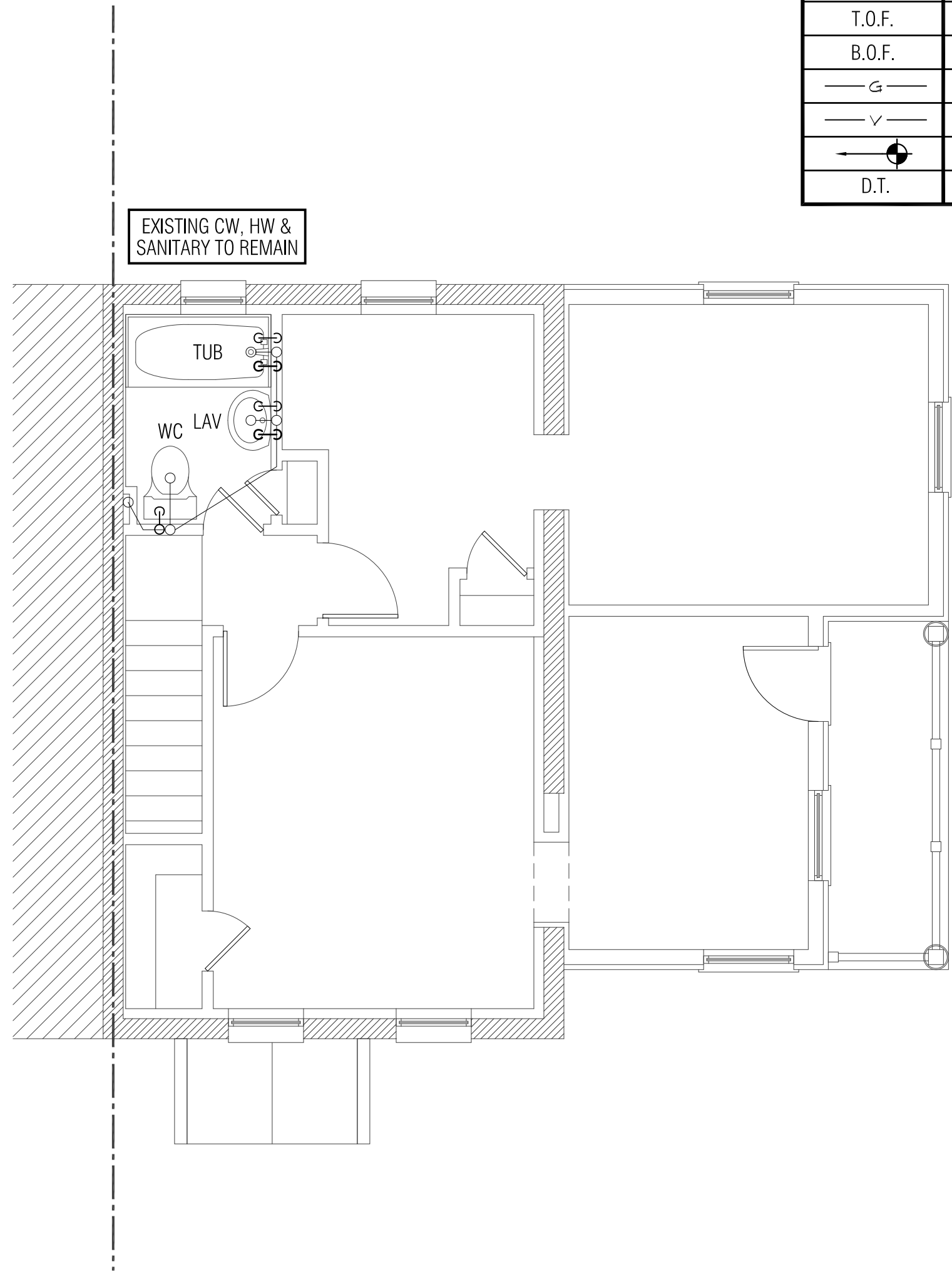
PLUMBING SYMBOL KEY	
TAG	DESCRIPTION
----	UNDERGROUND SANITARY SEWER
----	UNDERGROUND STORM SEWER
----	SOIL AND WASTE PIPING
----	VENT PIPING
----	COLD WATER
----	HOT WATER
—HWR—	HOT WATER RETURN
—T—	TEMPERED WATER
—AIR—	AIR PIPING
—X—	GATE VALVE
—B—	BALANCING VALVE
—Z—	CHECK VALVE
—O—	TRAP
—UP—	PIPE RISERS
C.O.	CLEANOUT PLUG
V.T.R.	VENT THRU ROOF
V.I.F.	VERIFY IN FIELD
T.O.F.	TOP OF FOOTING
B.O.F.	BOTTOM OF FOOTING
—G—	GAS PIPING
—V—	VACUUM PIPING
—X—	CONNECT TO EXISTING
D.T.	DRAIN TILE



1 BASEMENT PLAN - PLUMBING
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN - PLUMBING
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR PLAN - PLUMBING
SCALE: 1/4" = 1'-0"

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315 Buchanan Street
Alexandria, VA 22314
(Account No.: 10148500)

S.F.R. : SIDE ADDITION & INTERIOR RENOVATION

Plumbing Riser Diagrams & Notes
Details, Schedules & Notes

drawing title:

PERMIT SET
PRINTING #1

revisions:

project no. 2018 - 015
date: 09 APRIL 2018

Plumbing Riser Diagrams
& Notes

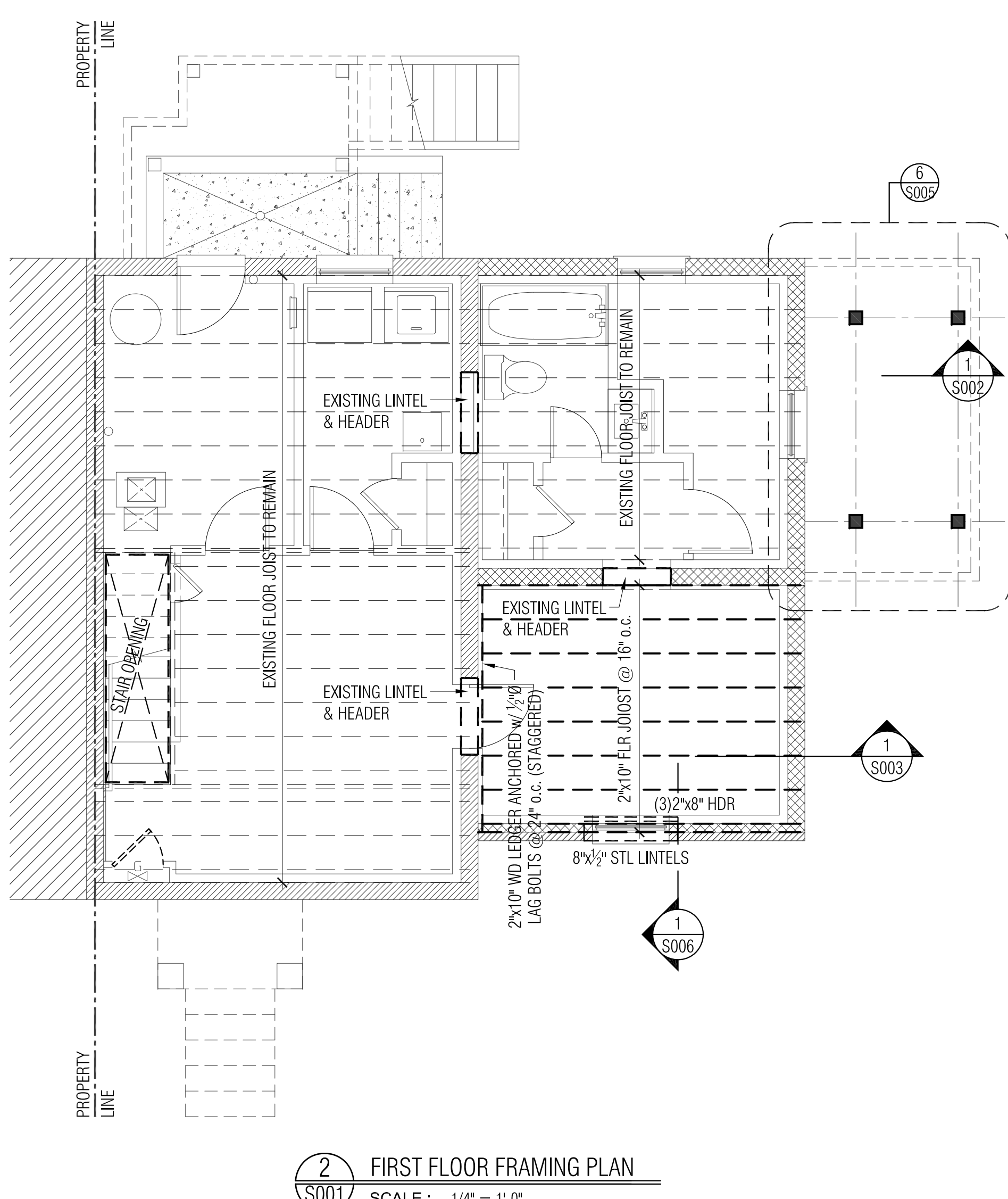
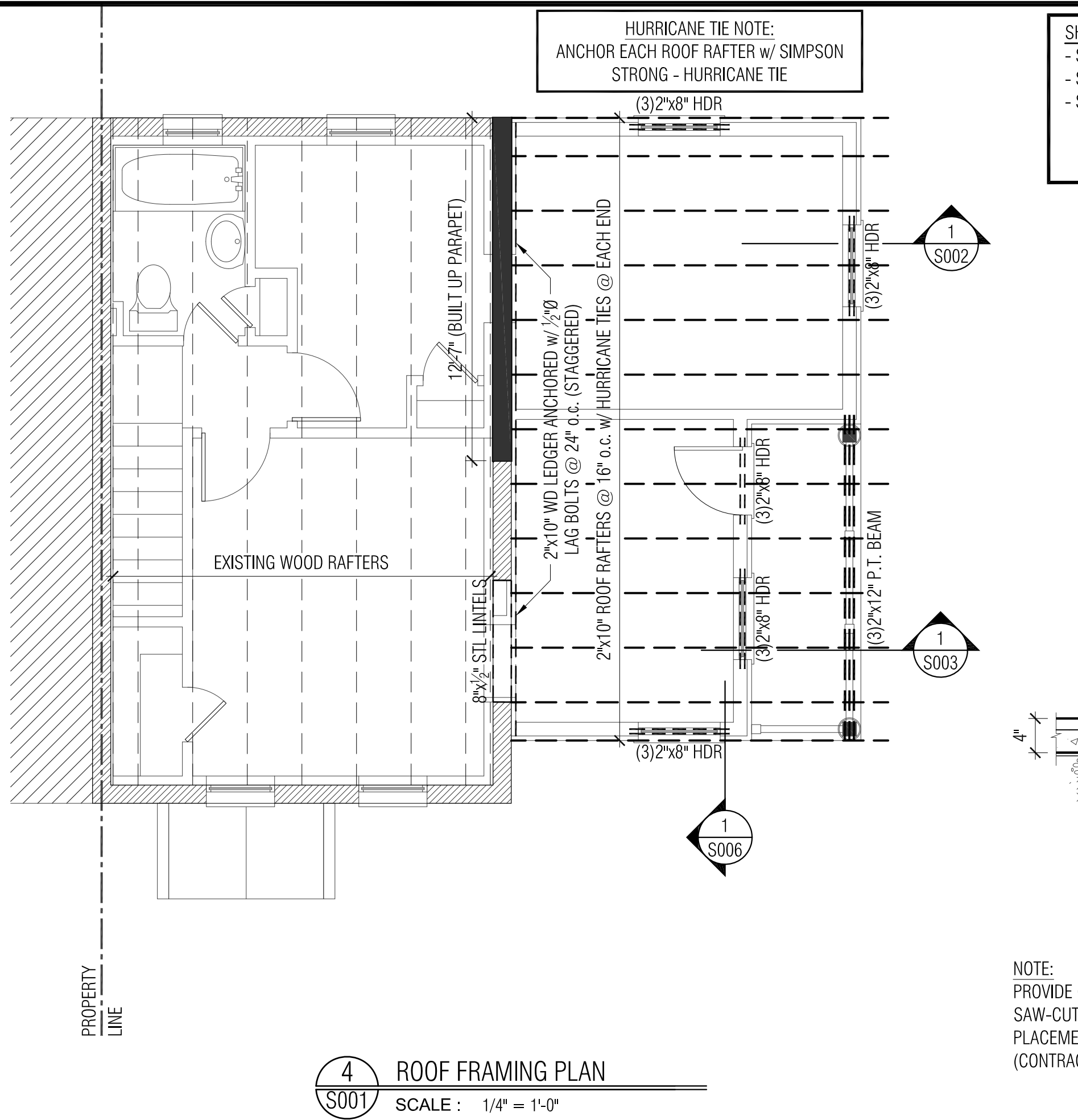
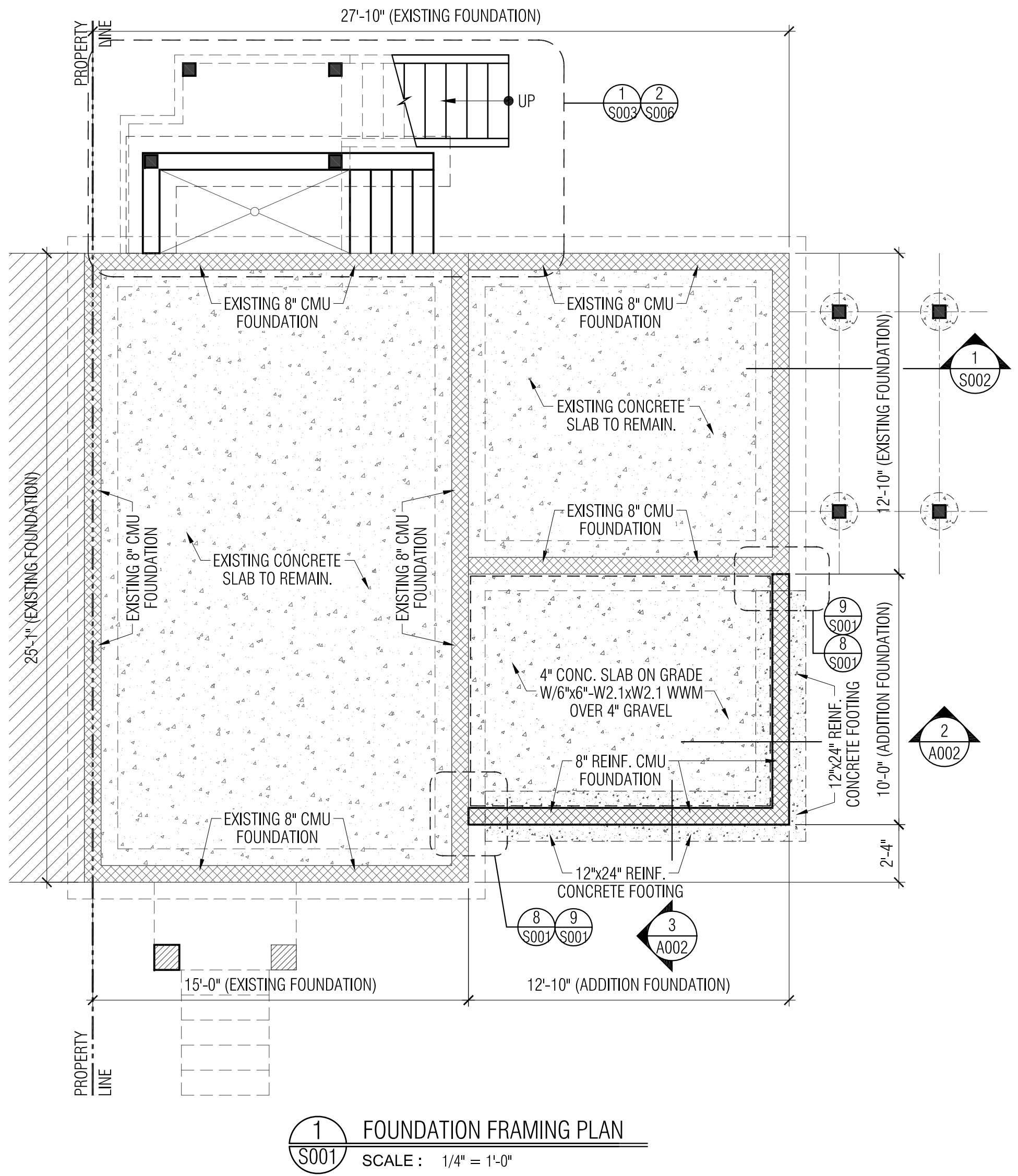
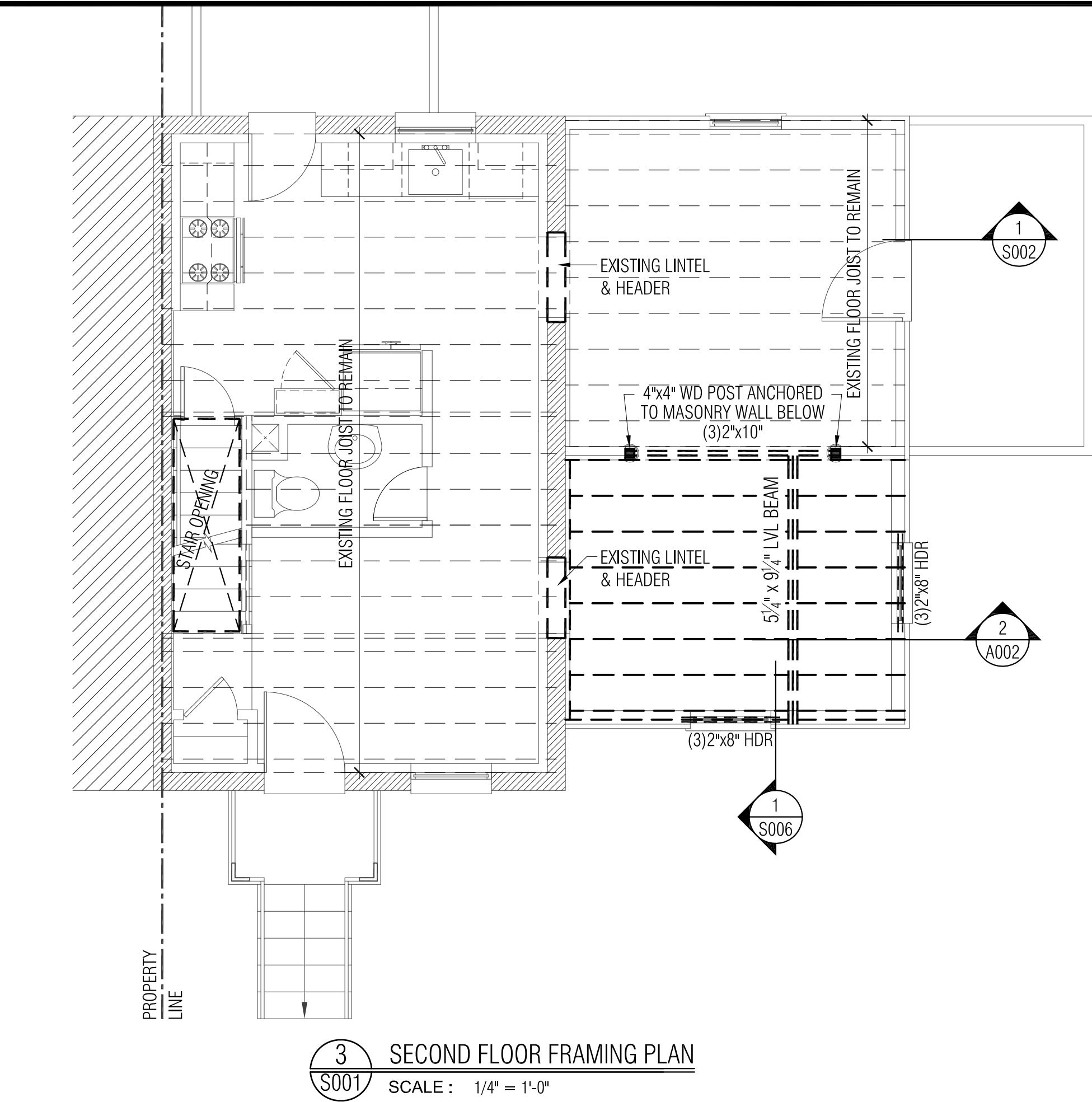
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drawing no.

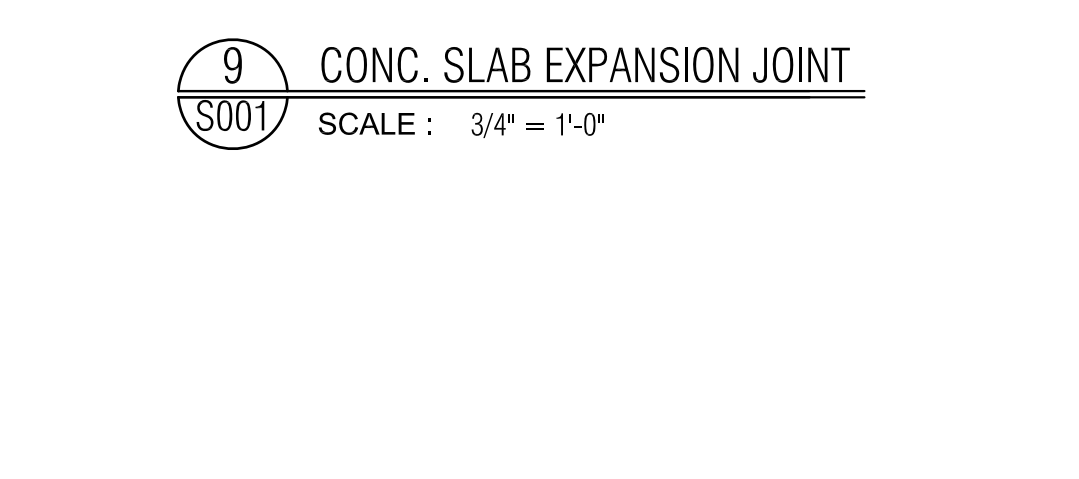
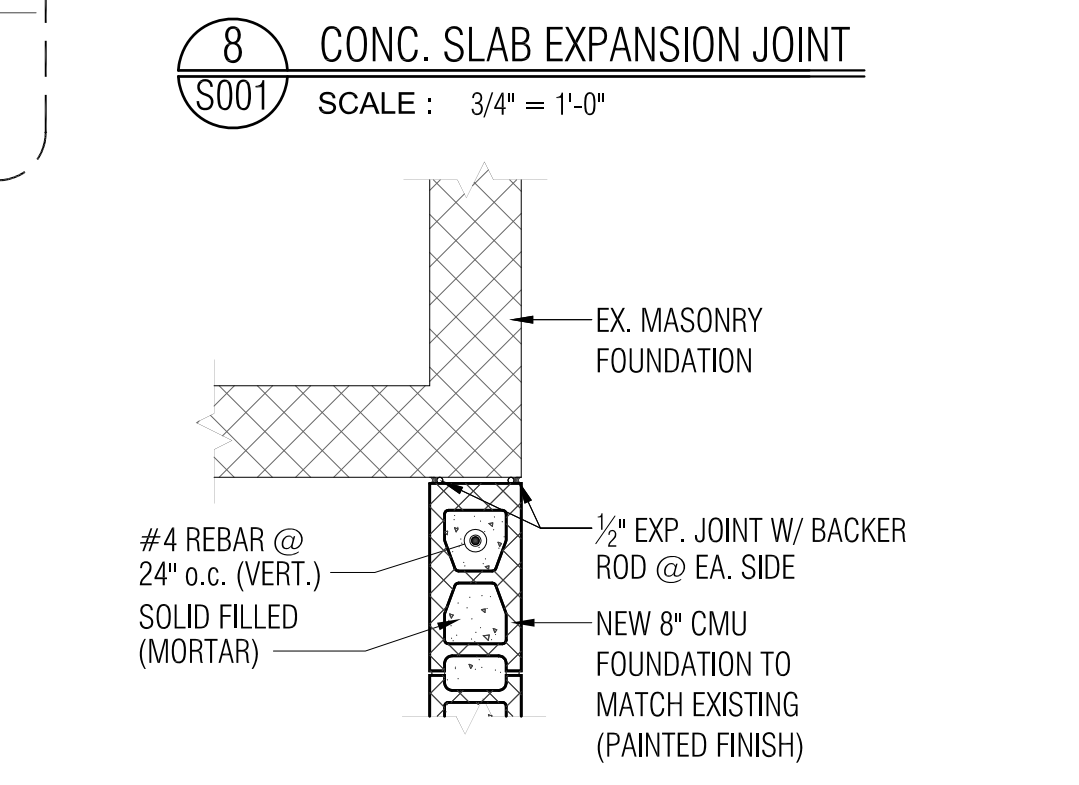
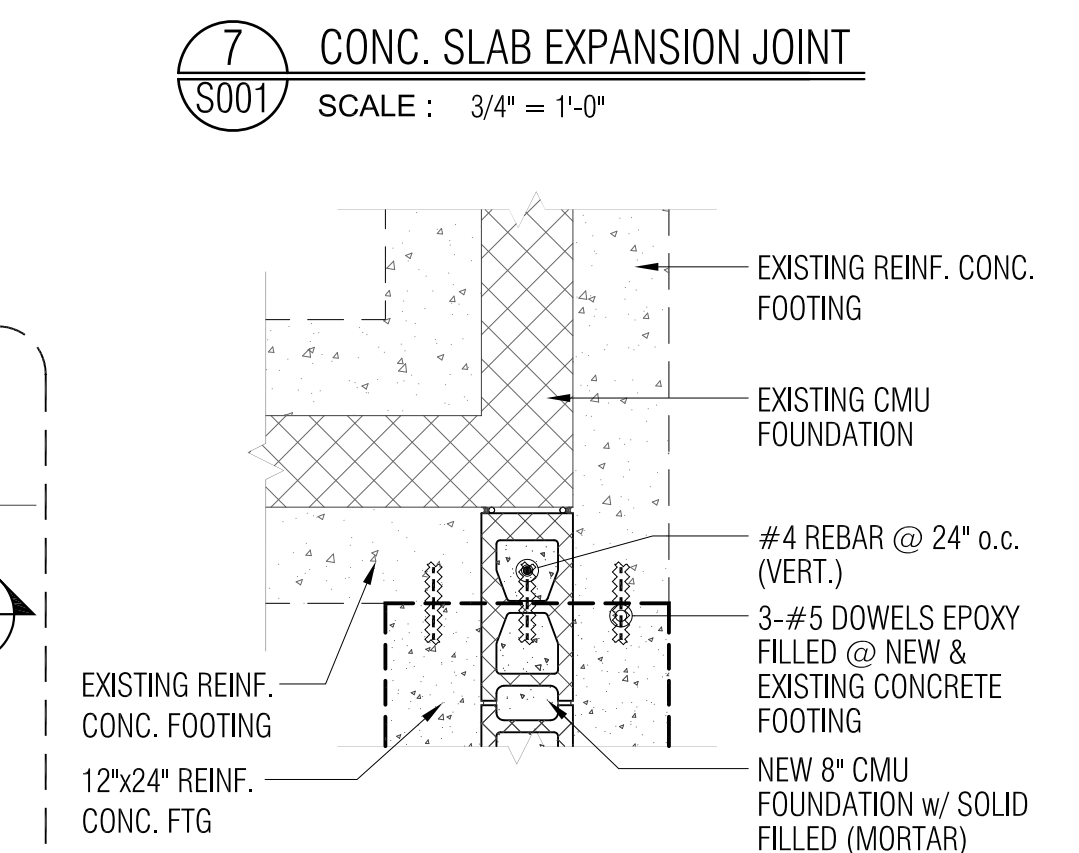
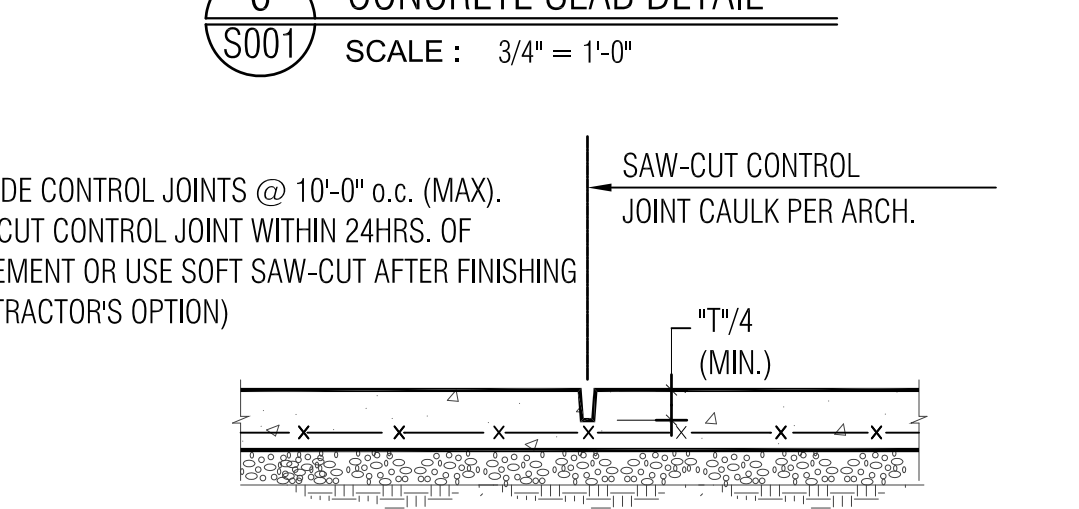
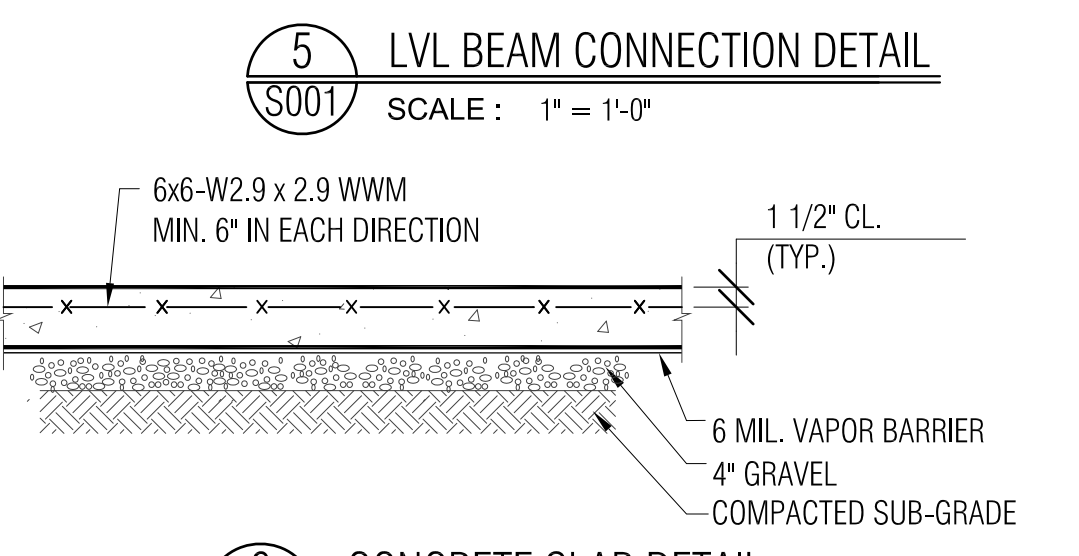
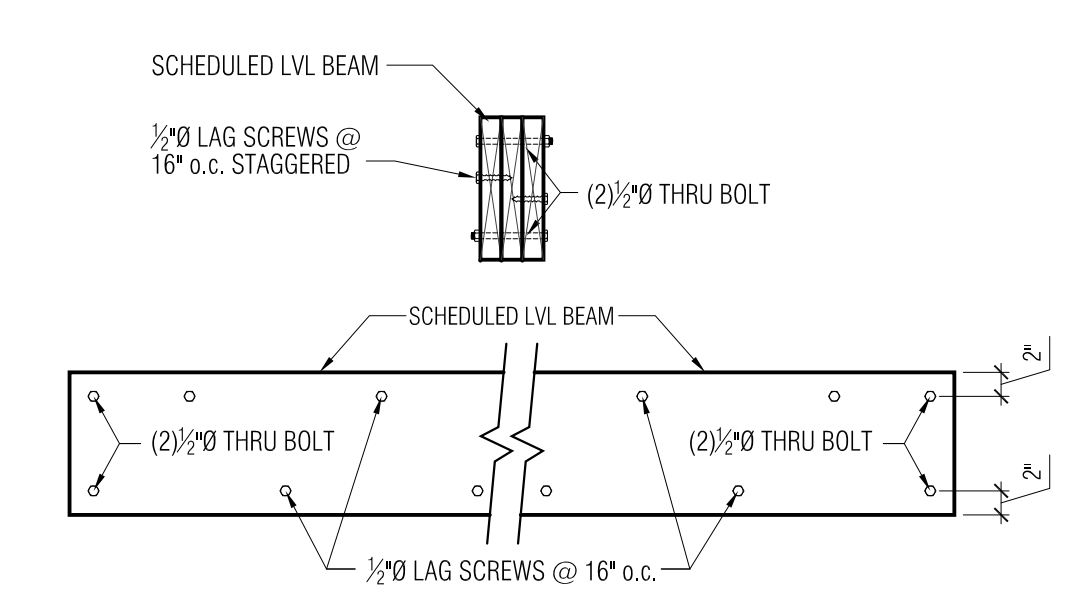
GEE HOW DZNYE, LLC

Commercial ■ Residential ■ Interior

10612 Thrift Road, Clinton, MD 20735
240.350.1726 geshowards@hotmail.com
Jermaine 'Gee' Howard, Principal



SHEET NOTE:
- SEE SHEET S005 FOR WOOD DECK PLAN, ELEVATIONS, FRAMING, DETAILS & NOTES
- SEE SHEET S006 FOR REAR AREAWAY FOUNDATION, DETAILS & NOTES
- SEE SHEET S004 FOR WALL BRACING PLAN, ELEVATION & SCHEDULE



STRUCTURAL DESIGN LOADS		
Floors:	40 PSF (live)	15 PSF (dead)
Roof load:	30 PSF (live)	30 PSF (dead)
Decks:	40 PSF (live)	40 PSF (dead)
Attics with storage	20 PSF	
Attics without storage	10 PSF	
Exterior Balconies	60 PSF	
Stairs	40 PSF	
Guardrails and Handrails	200 PSF	
Guardrails in-fill components	50 PSF	
Wind loads:	90 mph (live)	
Foundation lateral loads:	45 PSF	
Earth lateral loads:	45 PSF	
Ground Snow load	30 PSF	
Soil bearing capacity(footings)	2000 PSF	

DESIGN PARAMETERS

Seismic Design Category:	B
Winter Design Temperature:	13°F
Ice Shield Underlayment required	
Air Freezing Index:	300
Mean Annual Temperature	55°F

WOOD FRAMING
ALL STRUCTURAL MEMBERS SHALL BE SOUTHERN YELLOW-PINE-FIR NO.2 OR BETTER, FB=1,400 PSI. REPETITIVE USE, E=1,500,000 PSI. LAMINATED WOOD BEAMS (MICRO-LAM), AS MANUFACTURED BY TRUSS JOIST CORPORATION, BOISE IDAHO. DO NOT CUT, DRILL OR OTHERWISE ALTER THE CONFIGURATION OF JOISTS AND ROOF TRUSSES, EXCEPT AS PERMITTED BY MANUFACTURER'S INSTRUCTIONS OR BUILDING CODES (fb = 2,600 PSI, E = 2,000,000 PSI). ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED AGAINST ROT AND DECAY.
BASE PLATES ON MASONRY FOUNDATION WALLS SHALL BE ANCHORED WITH 1/2" DIA. ANCHOR BOLT EMBEDDED A MIN. OF 6'-0" O.C., 12" FROM CORNERS, AND A MINIMUM OF TWO ANCHORS PER BOARD.

MASONRY
1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL CONCRETE MASONRY ASSOCIATION, AND THE LATEST ACI 530/ASCE CODE.
2. ALL EXTERIOR AND INTERIOR BEARING WALLS SHALL BE CONSTRUCTED OF LOAD BEARING UNITS.
3. HOLLOW LOAD BEARING BLOCK SHALL CONFORM TO ASTM C-90.
4. ALL MASONRY WALLS SHALL BE REINFORCED WITH TRUSS TYPE GALVANIZED DUR-O-WALSPACE VERTICALLY AT 16" O/C U.N.O. PROVIDE CORNER AND TEE PIECES AT ALL INTERSECTIONS. LAP ALL DUR-O-WAL 6" MINIMUM.
5. ALL LOAD BEARING AND EXTERIOR CMU WALLS SHALL BE LAID WITH TYPE S MORTAR UNLESS NOTED OTHERWISE.
6. BRACE AND SHORE ALL WALLS AND LINTELS AS REQUIRED DURING CONSTRUCTION.
7. ALL FILL FOR MASONRY WALLS SHALL BE CONCRETE GROUT CONFORMING TO A.S.T.M. C476. GROUTING SHALL BE PLACED IN 5'-0" MAXIMUM LIFTS.
8. THE COMPRESSIVE STRENGTH OF GROUT FOR ALL BLOCK WALLS SHALL BE 3000 PSI. WITH 5" TO 6" SLUMP AND 3/8" TO 1/2" MAXIMUM SIZE AGGREGATE.
9. REINFORCE ALL MASONRY WALLS AS NOTED ON STRUCTURAL DRAWINGS.
10. LAP ALL VERTICAL REINFORCING 48 BAR DIAMETER MINIMUM.

CONCRETE
1. ALL CONCRETE WORK SHALL CONFORM WITH THE REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE A.C.I. 318-89.
2. ALL CONCRETE UNLESS NOTED OTHERWISE SHALL BE STONE CONCRETE HAVING A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,000 PSI AFTER 28 DAYS.
3. REINFORCING STEEL SHALL BE DEFORMED BARS OF INTERMEDIATE GRADE NEW BILLET STEEL CONFORMING TO CURRENT REQUIREMENTS OF A.S.T.M. A-615 GRADE 60. DESIGN STRESS = 60,000 PSI. LAP BARS 40 DIAM. UNLESS OTHERWISE SHOWN.
4. WELDED WIRE FABRIC SHALL HAVE A MINIMUM ULTIMATE STRENGTH OF 70,000 PSI AND SHALL CONFORM TO A.S.T.M. A-185.
5. MINIMUM STEEL PROTECTION, UNLESS OTHERWISE SHOWN, SHALL BE 1" FOR SLABS, 3" FOR FOOTINGS AND OTHER STRUCTURAL CONCRETE DEPOSITED AGAINST GROUND.
6. EXCAVATION SHALL BE KEPT FREE OF WATER. NO CONCRETE SHALL BE PLACED IN WATER.

LEGEND:	
	EXISTING MASONRY WALL TO REMAIN
	CONCRETE
	EXISTING WALL TO REMAIN
	PROPOSED WORK (WALLS)
	EXISTING TO BE REMOVED
	FACE BRICK (EXISTING OR NEW)

G

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D

GEE HOW DYNE, LLC
Commercial • Residential • Interior
10612 Thrift Road, Clinton, MD 20735
240.350.1726
gohowards@hotmail.com
Jemaine Gae Howard, Principal

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315 Buchanan Street
Alexandria, VA 22314
(Account No.: 10148500)
S.F.R. : SIDE ADDITION & INTERIOR RENOVATION
Foundation Plan, First Floor Framing Plan & Roof Framing Plan
drawing title:

PERMIT SET
PRINTING #1

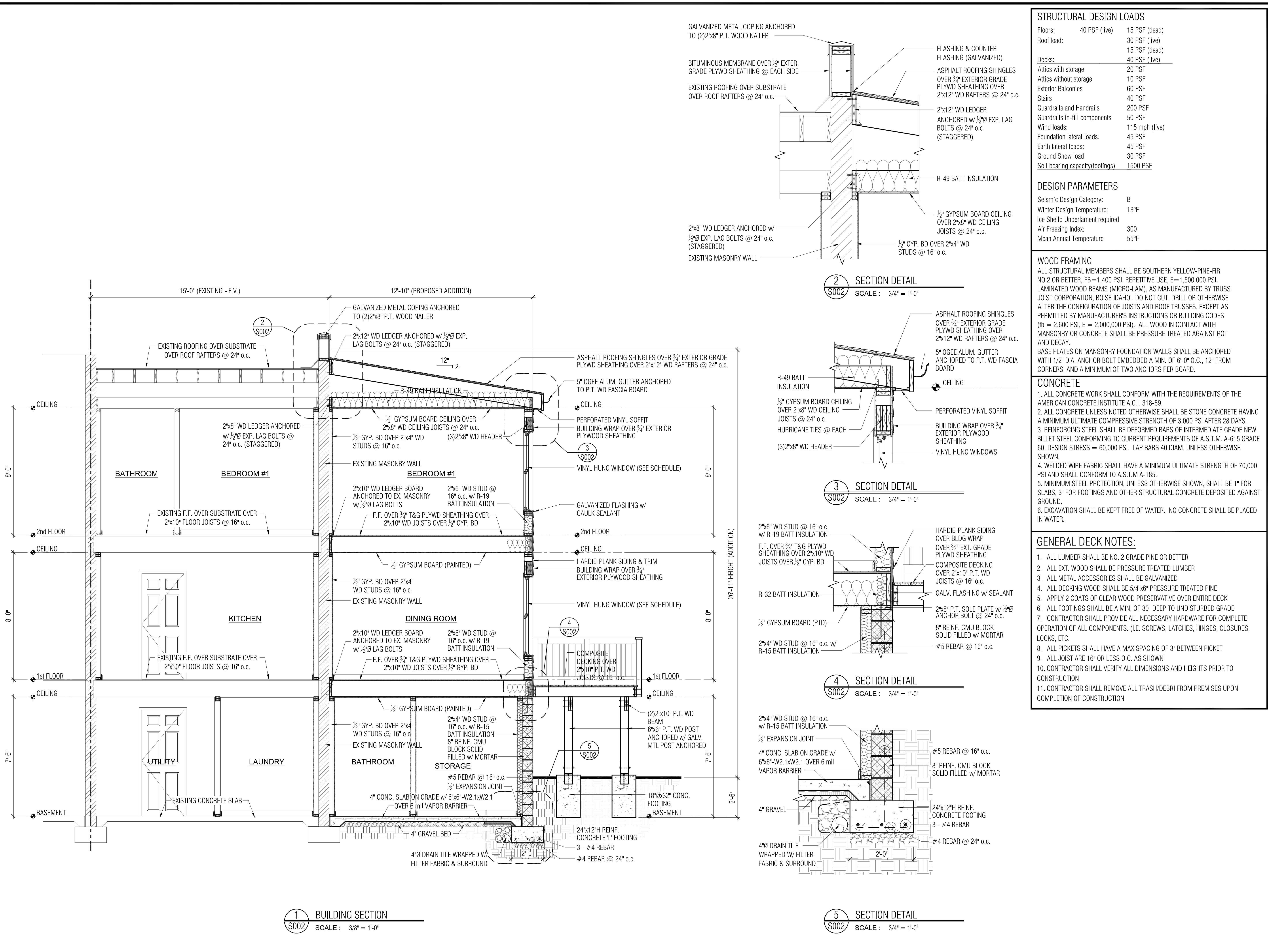
revisions:

project no. 2018 - 015
date: 09 APRIL 2018

Foundation Plan
First Floor Framing
Roof Framing

S001

drawing no.



STRUCTURAL DESIGN LOADS

Floors:	40 PSF (live)	15 PSF (dead)
Roof load:	30 PSF (live)	15 PSF (dead)
Decks:	40 PSF (live)	
Attics with storage	20 PSF	
Attics without storage	10 PSF	
Exterior Balconies	60 PSF	
Stairs	40 PSF	
Guardrails and Handrails	200 PSF	
Guardrails in-fill components	50 PSF	
Wind loads:	115 mph (live)	
Foundation lateral loads:	45 PSF	
Earth lateral loads:	45 PSF	
Ground Snow load	30 PSF	
Soil bearing capacity(footings)	1500 PSF	

DESIGN PARAMETERS

Seismic Design Category:	B
Winter Design Temperature:	13°F
Ice Shield Underlayment required	
Air Freezing Index:	300
Mean Annual Temperature	55°F

WOOD FRAMING

ALL STRUCTURAL MEMBERS SHALL BE SOUTHERN YELLOW-PINE-FIR NO.2 OR BETTER, FB=1,400 PSI, REPETITIVE USE, E=1,500,000 PSI. LAMINATED WOOD BEAMS (MICRO-LAM), AS MANUFACTURED BY TRUSS JOIST CORPORATION, BOISE IDAHO. DO NOT CUT, DRILL OR OTHERWISE ALTER THE CONFIGURATION OF JOISTS AND ROOF TRUSSES, EXCEPT AS PERMITTED BY MANUFACTURER'S INSTRUCTIONS OR BUILDING CODES (fb = 2,600 PSI, E = 2,000,000 PSI). ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED AGAINST ROT AND DECAY. BASE PLATES ON MASONRY FOUNDATION WALLS SHALL BE ANCHORED WITH 1/2" DIA. ANCHOR BOLT EMBEDDED A MIN. OF 6-0" O.C., 12" FROM CORNERS, AND A MINIMUM OF TWO ANCHORS PER BOARD.

CONCRETE

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- EXCAVATION SHALL BE KEPT FREE OF WATER. NO CONCRETE SHALL BE PLACED IN WATER.

GENERAL DECK NOTES:

- ALL LUMBER SHALL BE NO. 2 GRADE PINE OR BETTER
- ALL EXT. WOOD SHALL BE PRESSURE TREATED LUMBER
- ALL METAL ACCESSORIES SHALL BE GALVANIZED
- ALL DECKING WOOD SHALL BE 5/4"x6" PRESSURE TREATED PINE
- APPLY 2 COATS OF CLEAR WOOD PRESERVATIVE OVER ENTIRE DECK
- ALL FOOTINGS SHALL BE A MIN. OF 30" DEEP TO UNDISTURBED GRADE
- CONTRACTOR SHALL PROVIDE ALL NECESSARY HARDWARE FOR COMPLETE OPERATION OF ALL COMPONENTS. (I.E. SCREWS, LATCHES, HINGES, CLOSURES, LOCKS, ETC.
- ALL PICKETS SHALL HAVE A MAX SPACING OF 3" BETWEEN PICKET
- ALL JOIST ARE 16" OR LESS O.C. AS SHOWN
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND HEIGHTS PRIOR TO CONSTRUCTION
- CONTRACTOR SHALL REMOVE ALL TRASH/DEBR FROM PREMISES UPON COMPLETION OF CONSTRUCTION

G

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GEE HOW DYNE, LLC

Commercial ■ Residential ■ Interior

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240.350.1726 ghowards@hmail.com
Jemaine Gae Howard, Principal

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315 Buchanan Street
Alexandria, VA 22314
(Account No.: 10148500)

S.F.R. : SIDE ADDITION & INTERIOR RENOVATION

Building Section & Section Details
Garage Door Elevation & Details

drawing title:

PERMIT SET
PRINTING #1

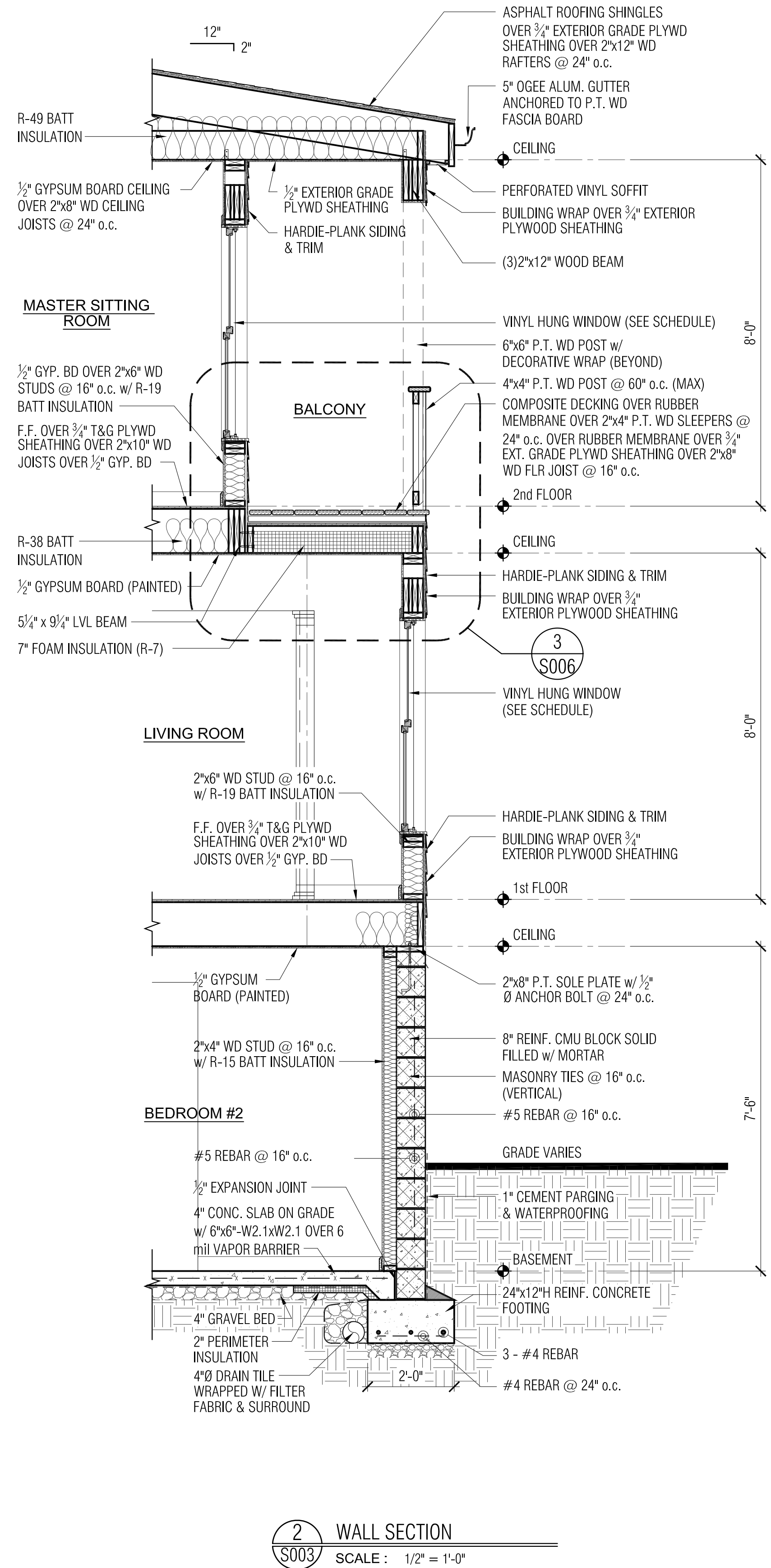
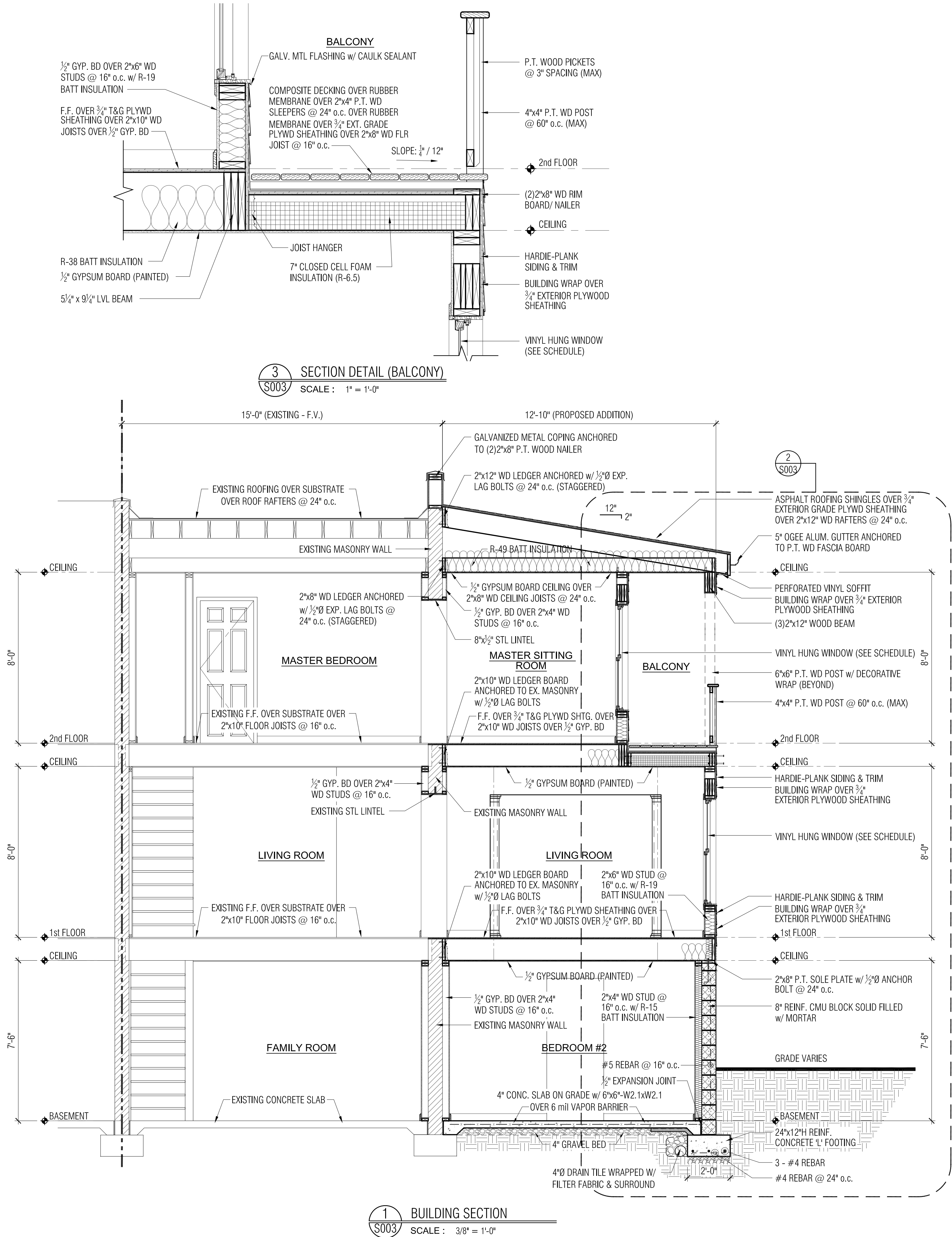
revisions:

project no. 2018 - 015
date: 09 APRIL 2018

Building Section
Section Details

S002

drawing no.



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315 Buchanan Street
Alexandria, VA 22314
(Account No.: 10148500)
S.F.R. : SIDE ADDITION & INTERIOR RENOVATION
Building Section, Wall Section
& Section Details

PERMIT SET
PRINTING #1

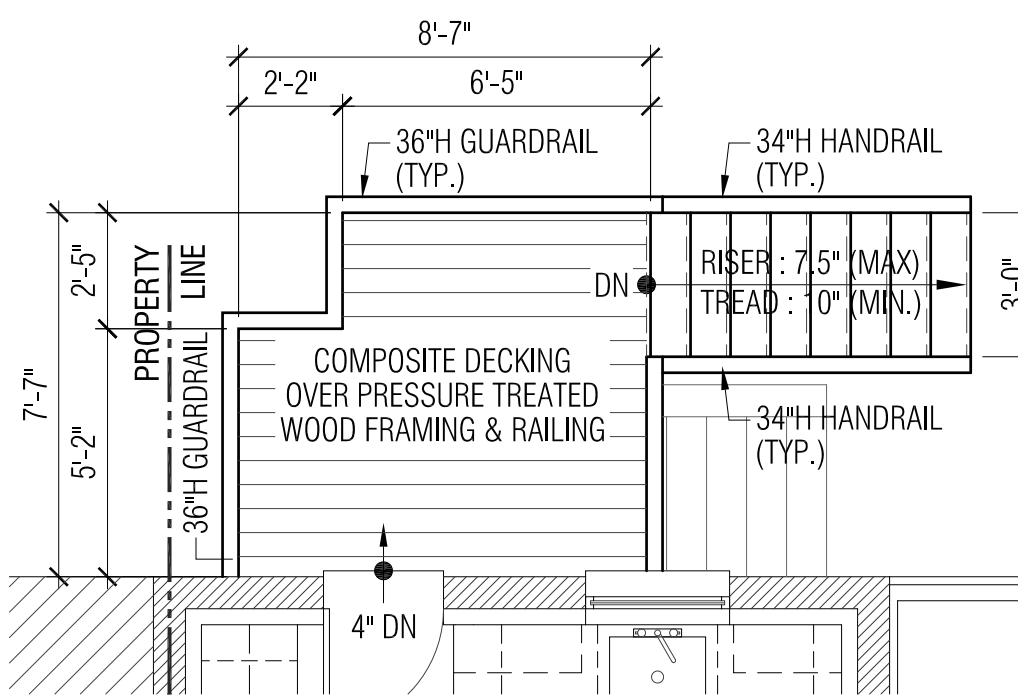
revisions:

project no. 2018 - 015
date: 09 APRIL 2018

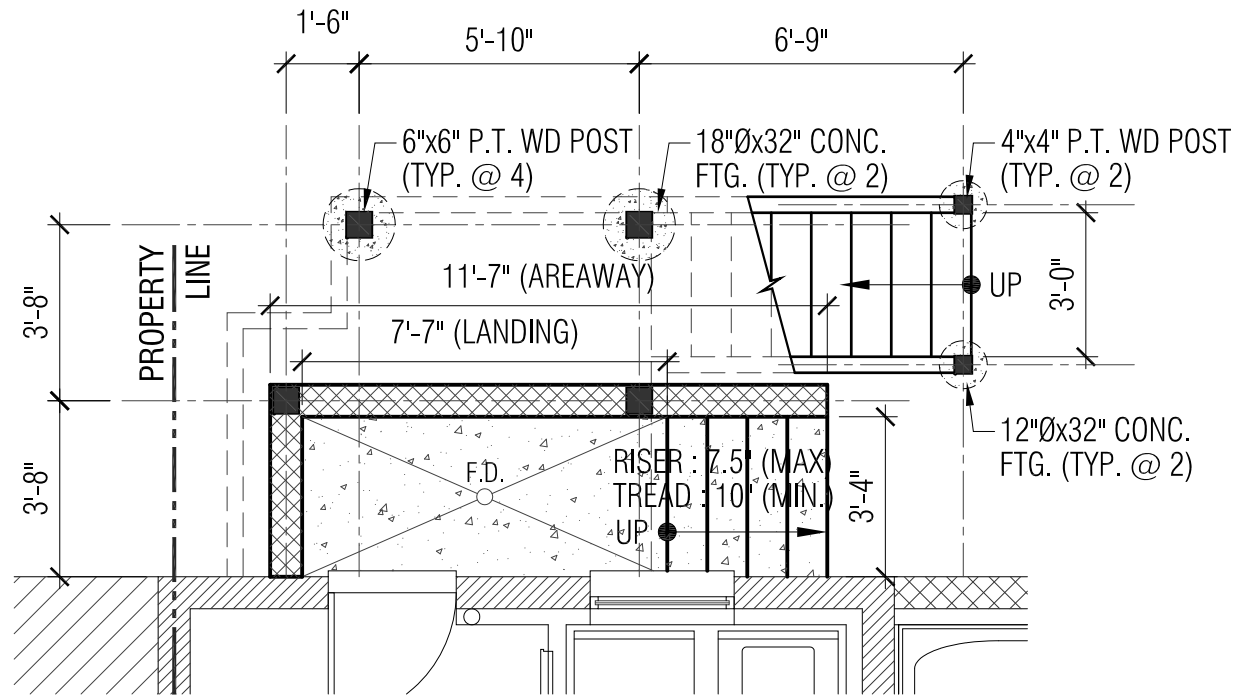
Building Section
Wall Section
Section Details

S003

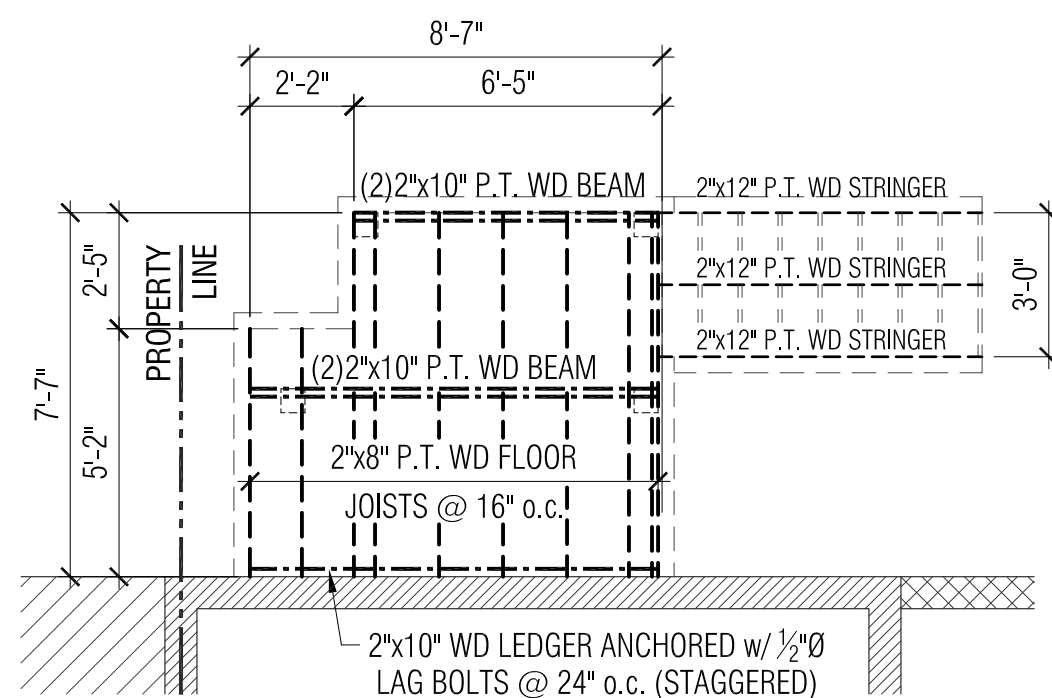
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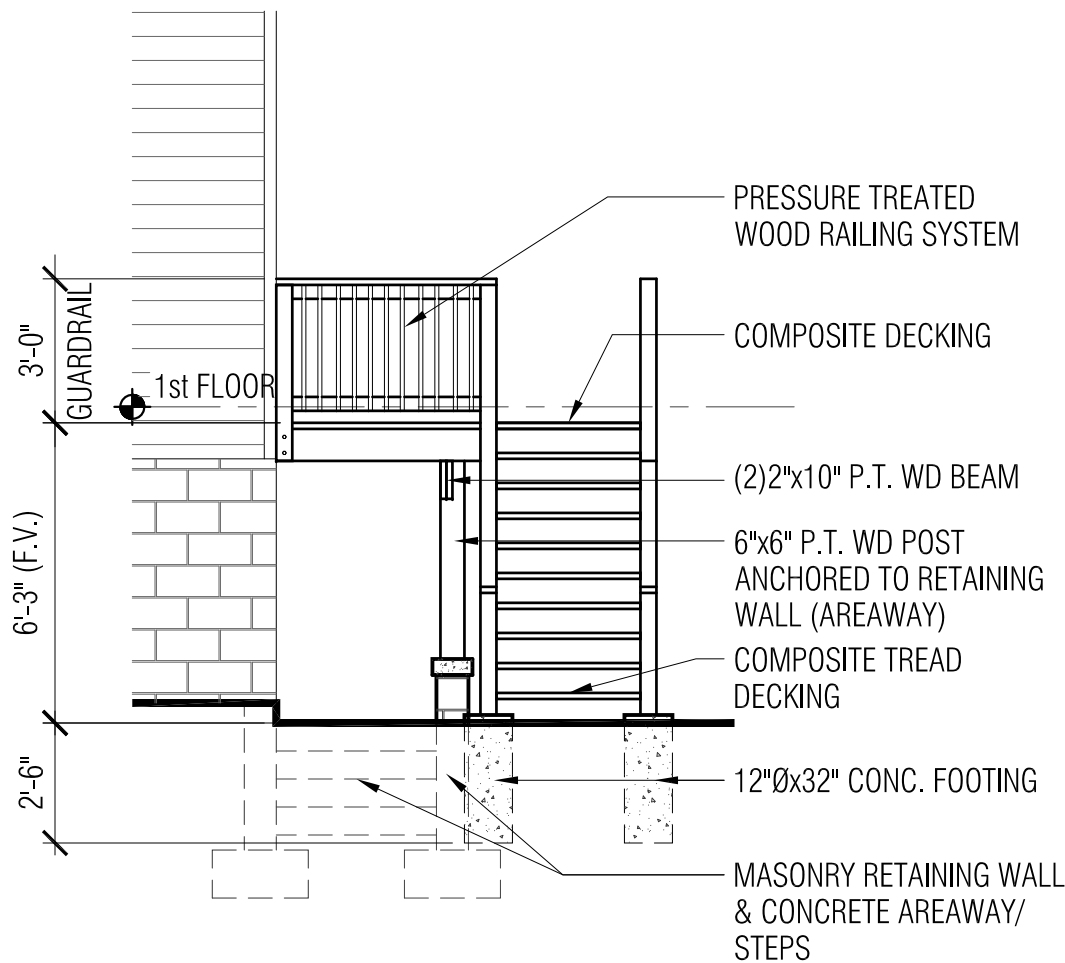
1 REAR DECK PLAN
S005 SCALE : 1/4" = 1'-0"



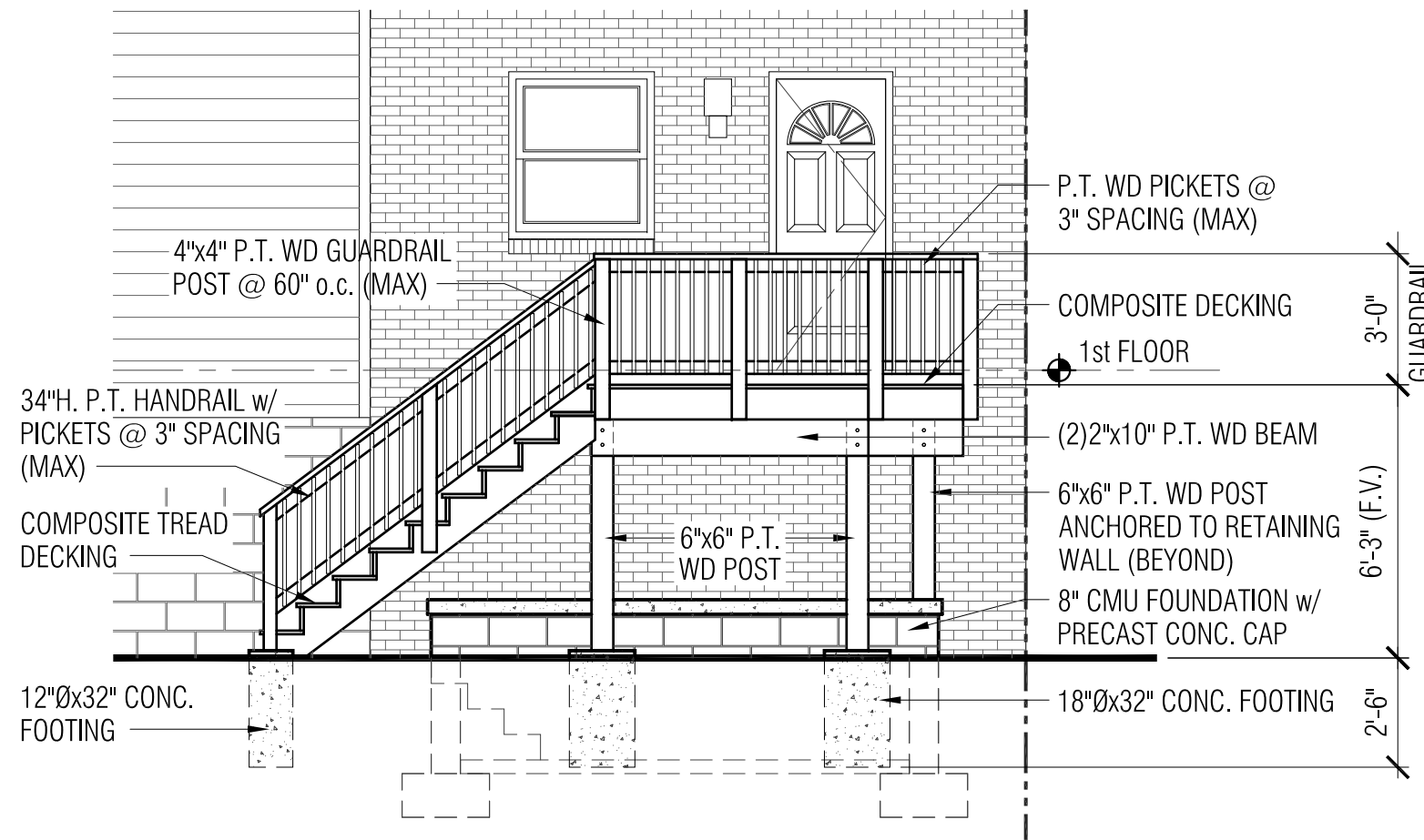
2 REAR DECK - FOUNDATION PLAN
S005 SCALE : 1/4" = 1'-0"



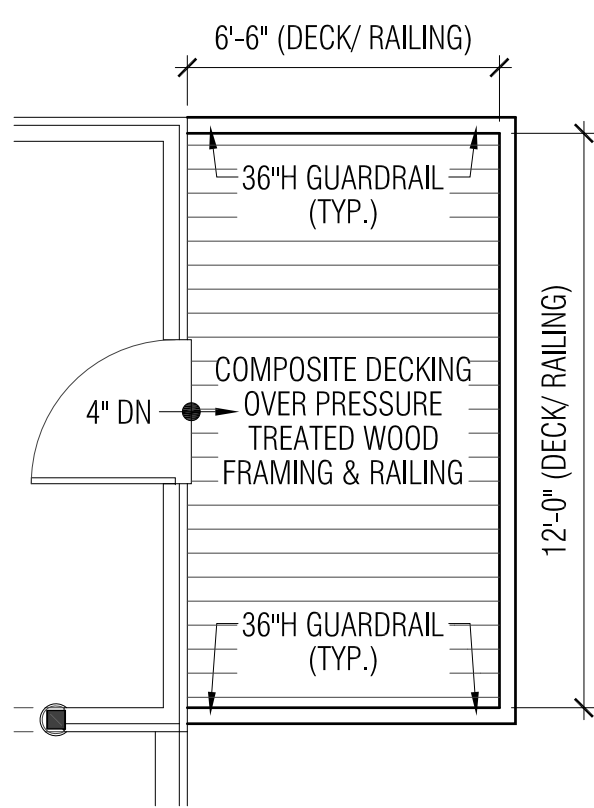
3 REAR DECK - FRAMING PLAN
S005 SCALE : 1/4" = 1'-0"



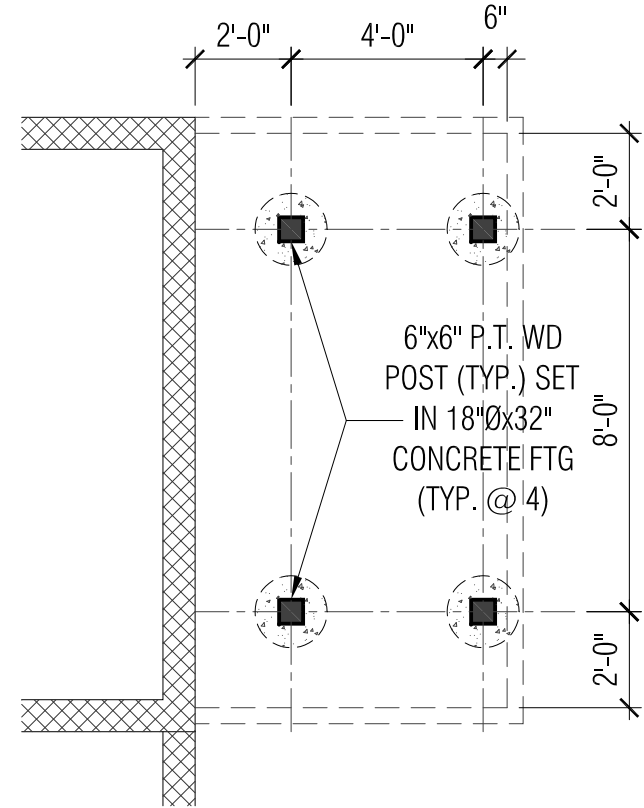
4 REAR DECK - SIDE ELEVATION
S005 SCALE : 1/4" = 1'-0"



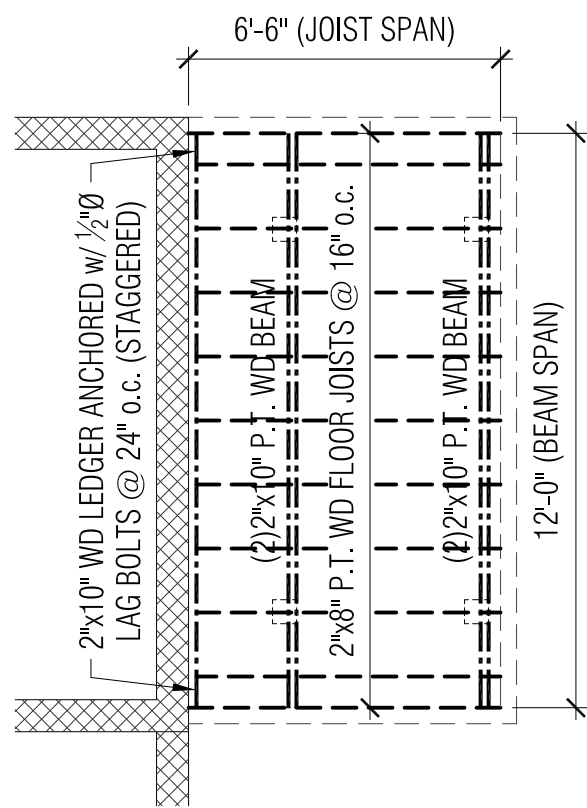
5 REAR ELEVATION - DECK & AREAWAY
S005 SCALE : 1/4" = 1'-0"



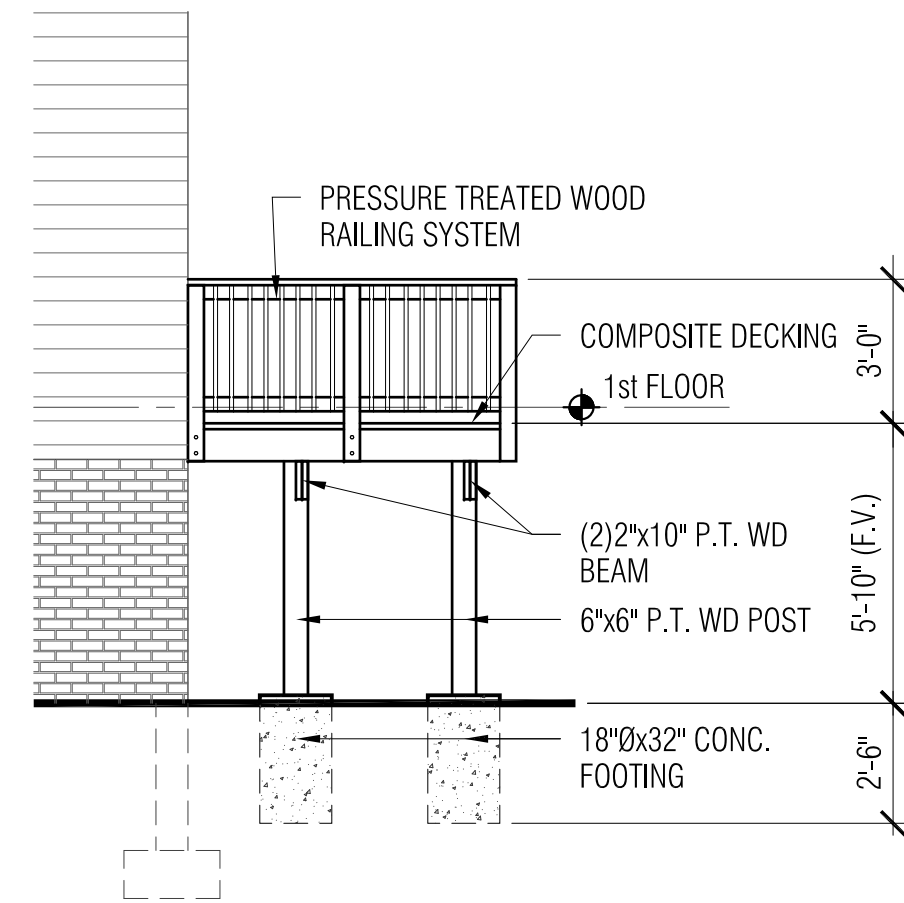
6 SIDE DECK PLAN
S005 SCALE : 1/4" = 1'-0"



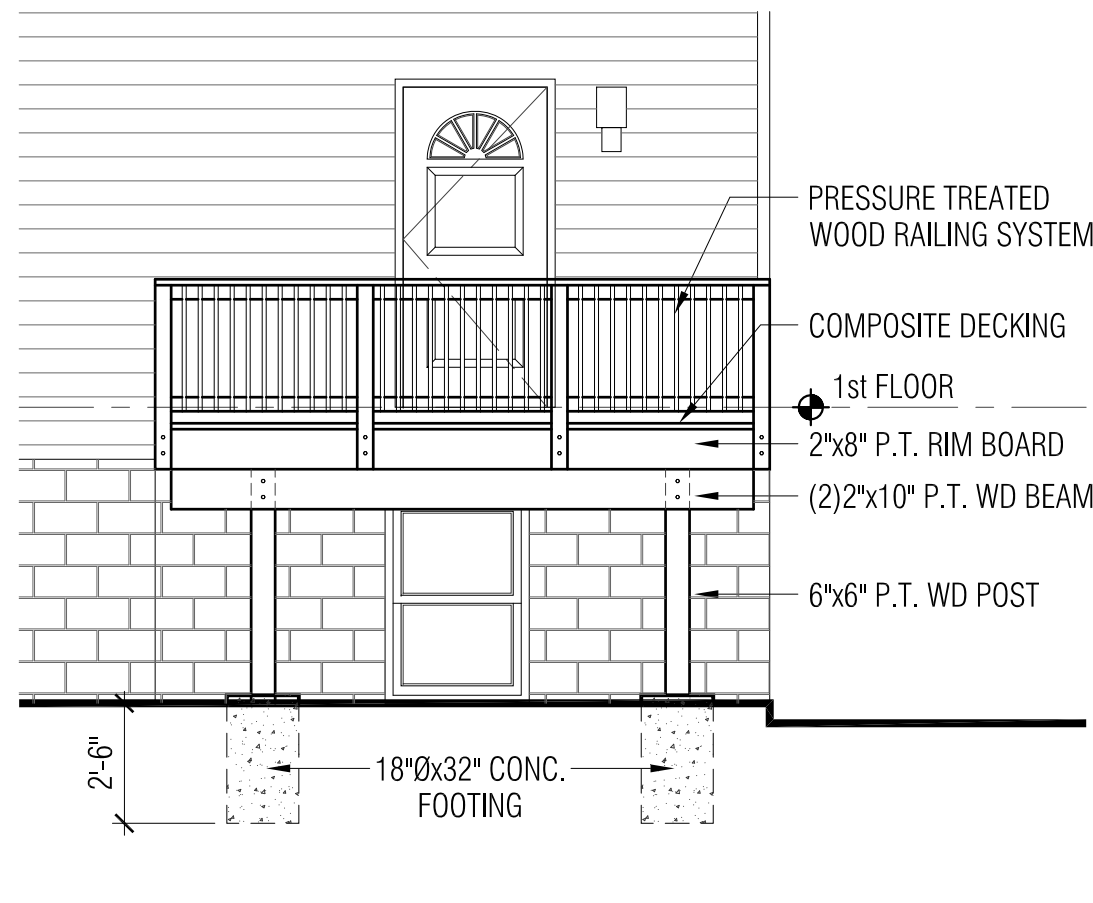
7 SIDE DECK - FOUNDATION PLAN
S005 SCALE : 1/4" = 1'-0"



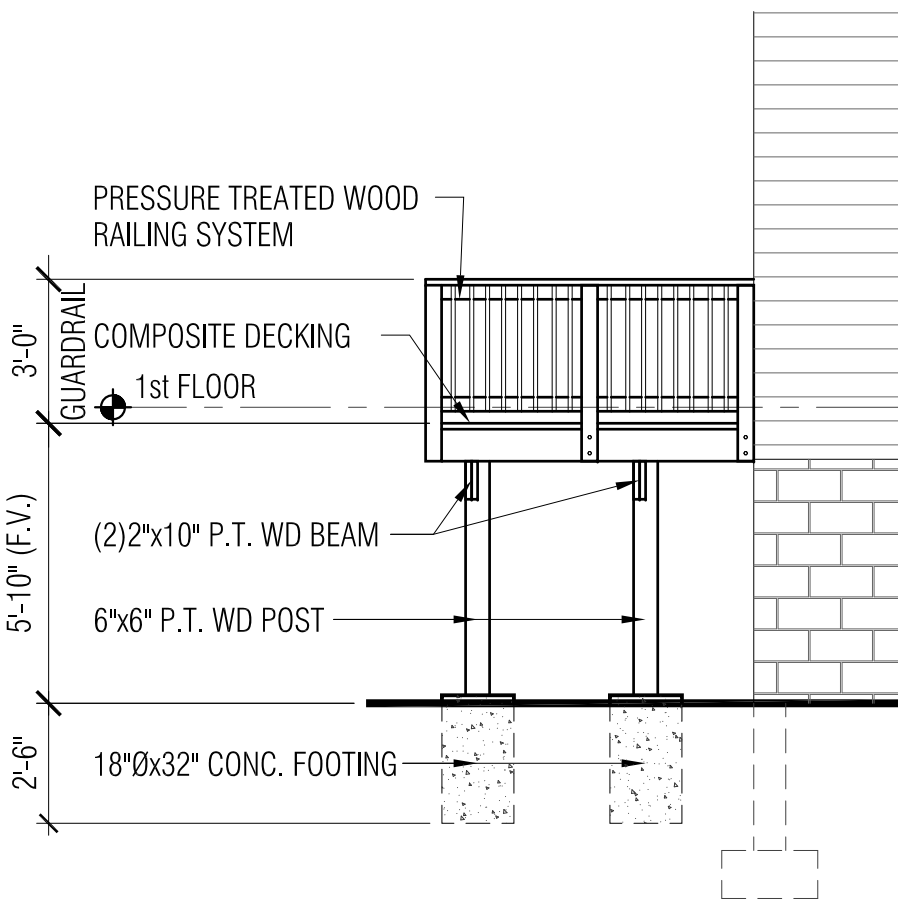
8 SIDE DECK - FRAMING PLAN
S005 SCALE : 1/4" = 1'-0"



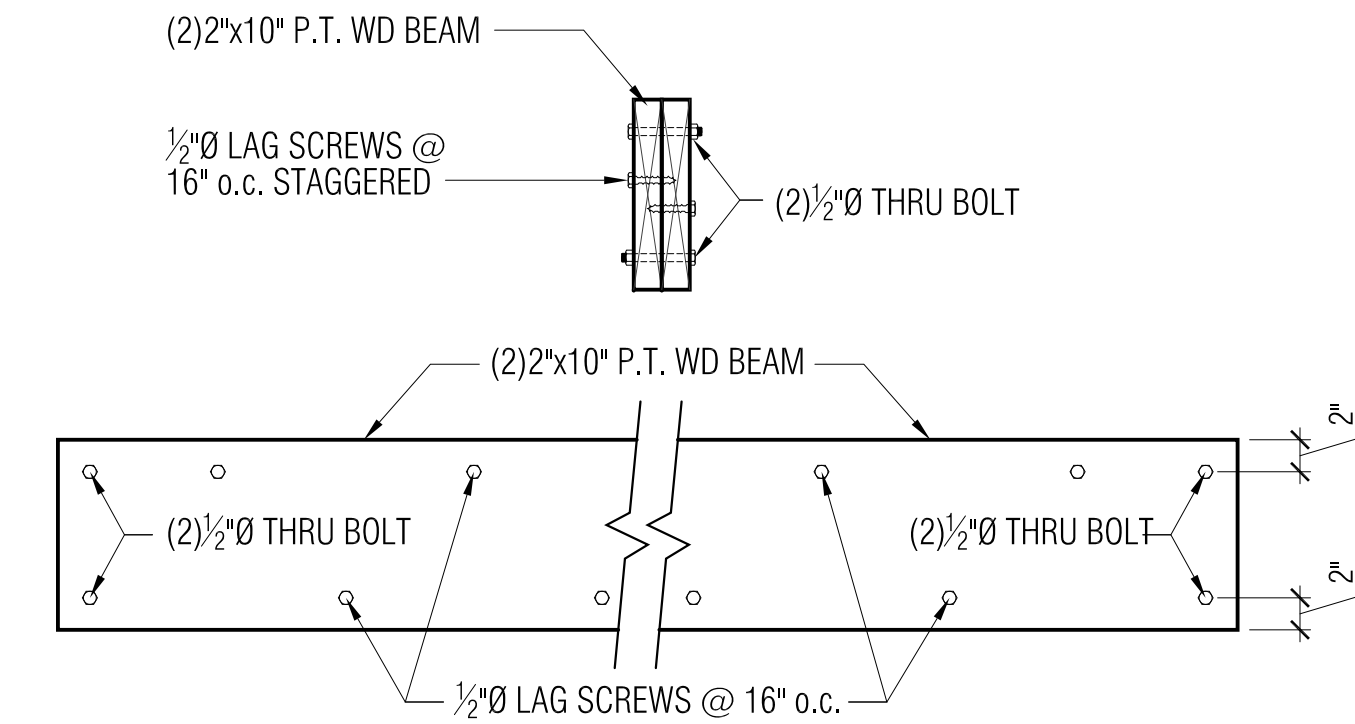
9 RIGHT SIDE ELEVATION - DECK & AREAWAY
S005 SCALE : 1/4" = 1'-0"



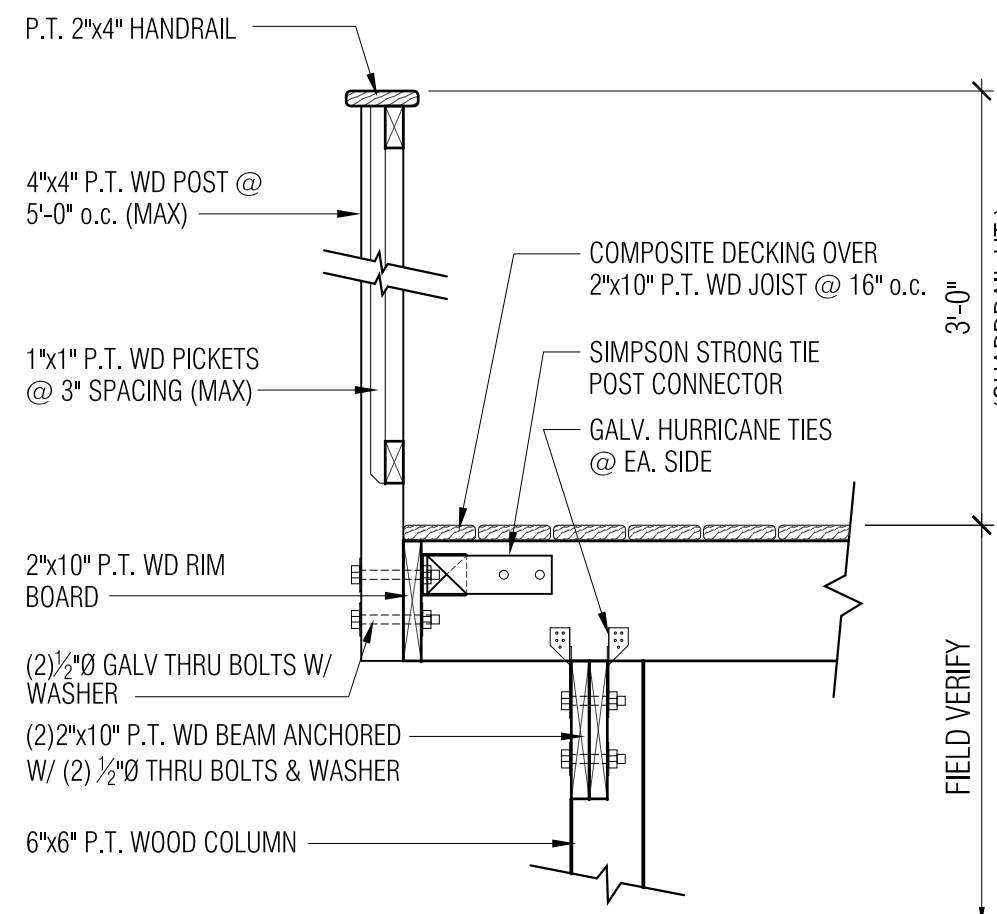
10 SIDE DECK - REAR ELEVATION
S005 SCALE : 1/4" = 1'-0"



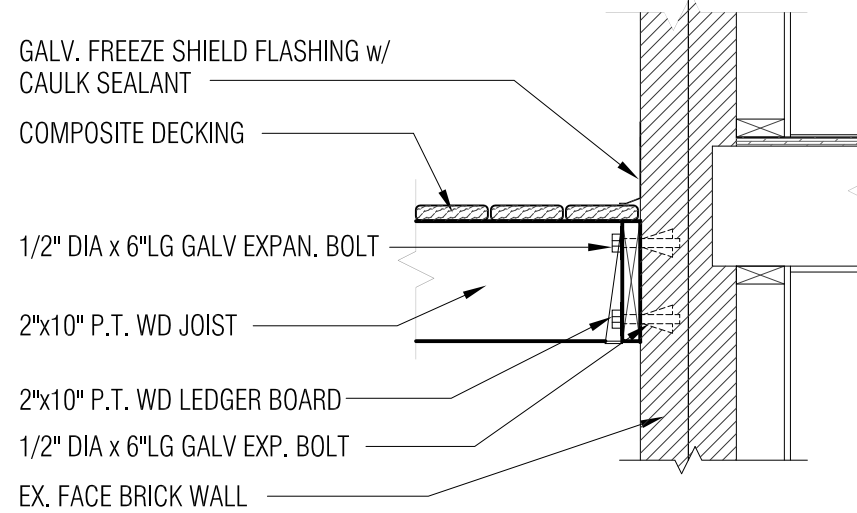
11 LEFT SIDE ELEVATION - DECK & AREAWAY
S005 SCALE : 1/4" = 1'-0"



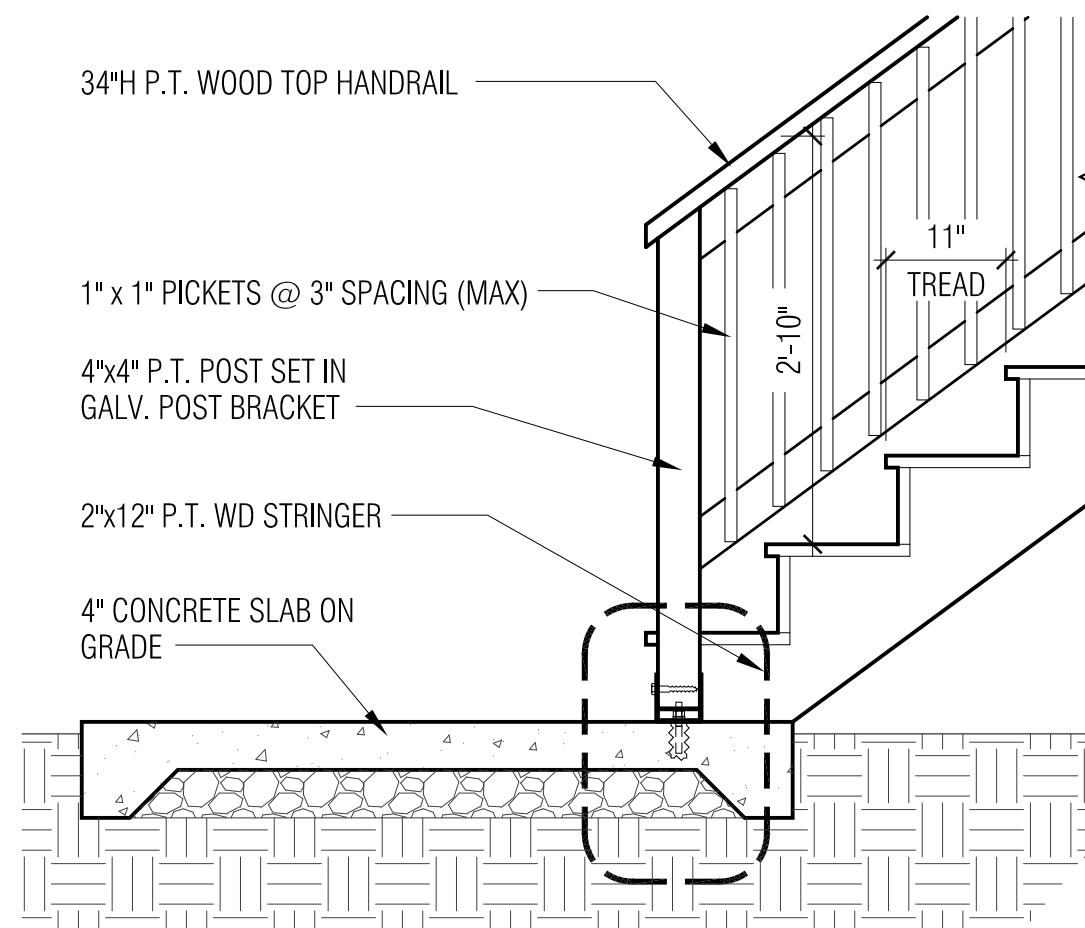
12 BEAM CONNECTION DETAIL
S005 SCALE : 1" = 1'-0"



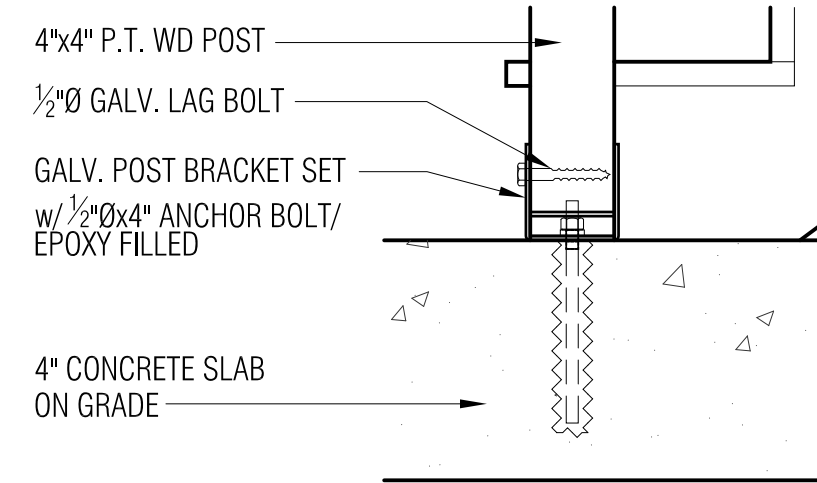
13 WOOD DECK POST DETAIL
S005 SCALE : 3/4" = 1'-0"



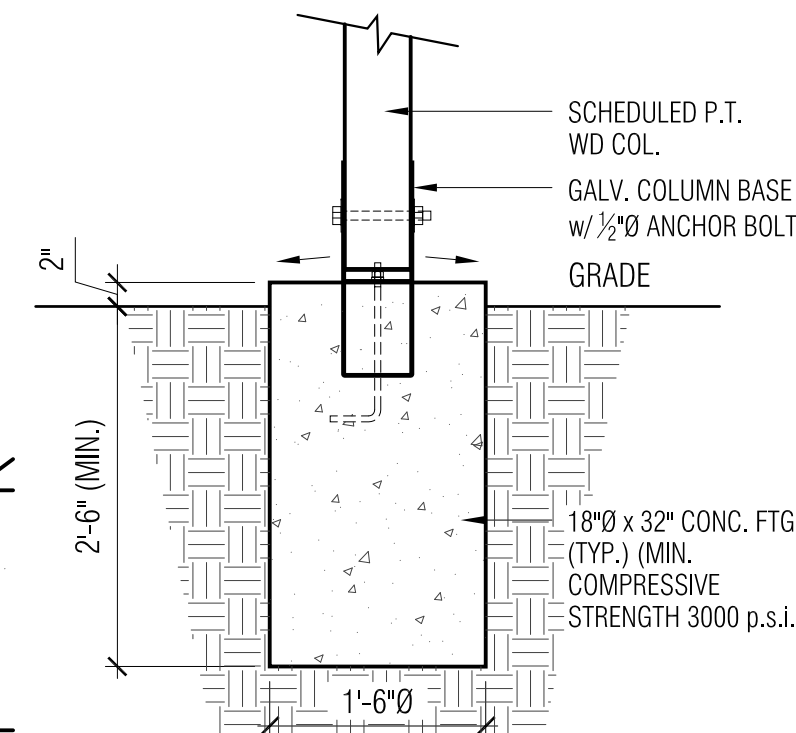
14 WOOD DECK LEDGER DETAIL
S005 SCALE : 3/4" = 1'-0"



15 WOOD DECK - HANDRAIL/ STEP DETAIL
S005 SCALE : 3/4" = 1'-0"



16 WOOD DECK - HANDRAIL/ POST DETAIL
S005 SCALE : 1-1/2" = 1'-0"



17 WOOD DECK FOOTING DETAIL
S005 SCALE : 3/4" = 1'-0"

STRUCTURAL DESIGN LOADS

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Roof load:	30 PSF (live)	15 PSF (dead)
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Wind loads:	115 mph (live)	
Foundation lateral loads:	45 PSF	
Earth lateral loads:	45 PSF	
Ground Snow load	30 PSF	
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DESIGN PARAMETERS

Seismic Design Category:	B
Winter Design Temperature:	13°F
Ice Shell/Ice Underlayment required	
Air Freezing Index:	300
Mean Annual Temperature	55°F

WOOD FRAMING

ALL STRUCTURAL MEMBERS SHALL BE SOUTHERN YELLOW-PINE-FIR NO.2 OR BETTER, FB=1,400 PSI, REPETITIVE USE, E=1,500,000 PSI. LAMINATED WOOD BEAMS (MICRO-LAM), AS MANUFACTURED BY TRUSS JOIST CORPORATION, BOISE IDAHO. DO NOT CUT, DRILL OR OTHERWISE ALTER THE CONFIGURATION OF JOISTS AND ROOF TRUSSES, EXCEPT AS PERMITTED BY MANUFACTURER'S INSTRUCTIONS OR BUILDING CODES (lb = 2,600 PSI, E = 2,000,000 PSI). ALL WOOD IN CONTACT WITH MANSIONRY OR CONCRETE SHALL BE PRESSURE TREATED AGAINST ROT AND DECAY. BASE PLATES ON MANSIONRY FOUNDATION WALLS SHALL BE ANCHORED WITH 1/2" DIA. ANCHOR BOLT EMBEDDED A MIN. OF 6'-0" O.C., 12" FROM CORNERS, AND A MINIMUM OF TWO ANCHORS PER BOARD.

CONCRETE

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4. WELDED WIRE FABRIC SHALL HAVE A MINIMUM ULTIMATE STRENGTH OF 70,000 PSI AND SHALL CONFORM TO A.S.T.M A-185.
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6. EXCAVATION SHALL BE KEPT FREE OF WATER. NO CONCRETE SHALL BE PLACED IN WATER.

GENERAL DECK NOTES:

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2. ALL EXT. WOOD SHALL BE PRESSURE TREATED LUMBER
3. ALL METAL ACCESSORIES SHALL BE GALVANIZED
4. ALL DECKING WOOD SHALL BE 5/4"x6" PRESSURE TREATED PINE
5. APPLY 2 COATS OF CLEAR WOOD PRESERVATIVE OVER ENTIRE DECK
6. ALL FOOTINGS SHALL BE A MIN. OF 30" DEEP TO UNDISTURBED GRADE
7. CONTRACTOR SHALL PROVIDE ALL NECESSARY HARDWARE FOR COMPLETE OPERATION OF ALL COMPONENTS. (I.E. SCREWS, LATCHES, HINGES, CLOSURES, LOCKS, ETC.
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Jemaine Gee Howard, Principal

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315 Buchanan Street
Alexandria, VA 22314
(Account No.: 10148500)
S.F.R. : SIDE ADDITION & INTERIOR RENOVATION
Wood Deck Plan, Elevation
Details & Notes

PERMIT SET PRINTING #1

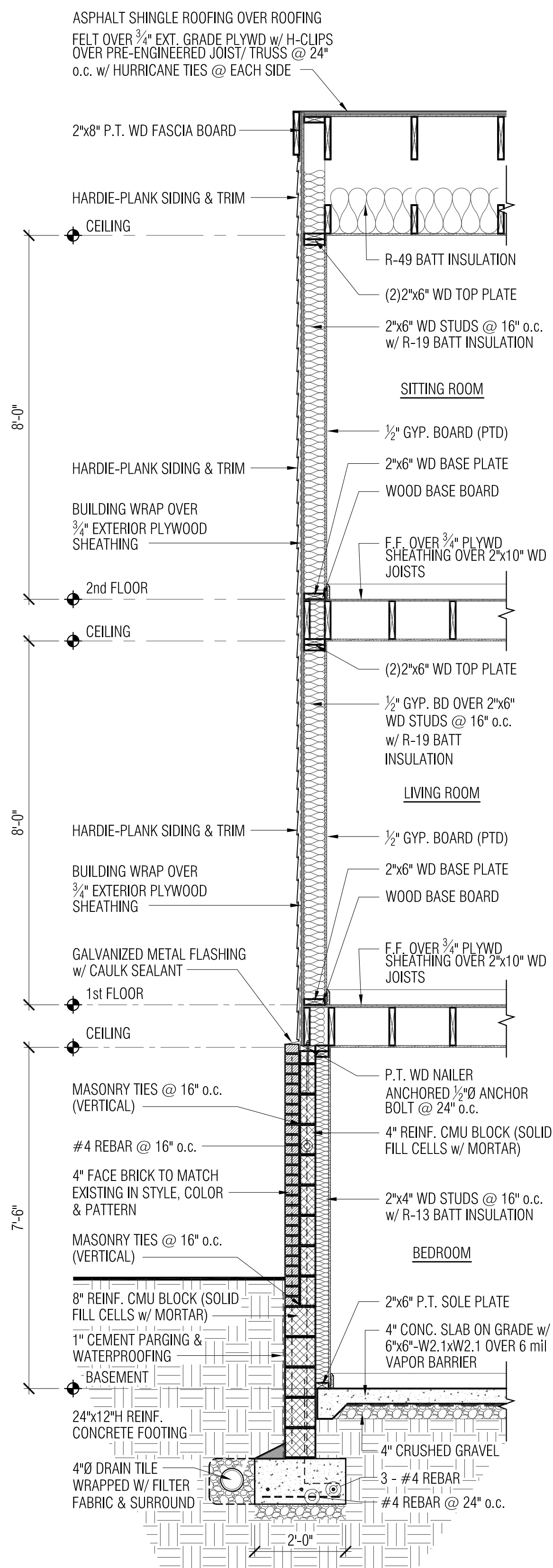
revisions:

project no. 2018 - 015
date: 09 APRIL 2018

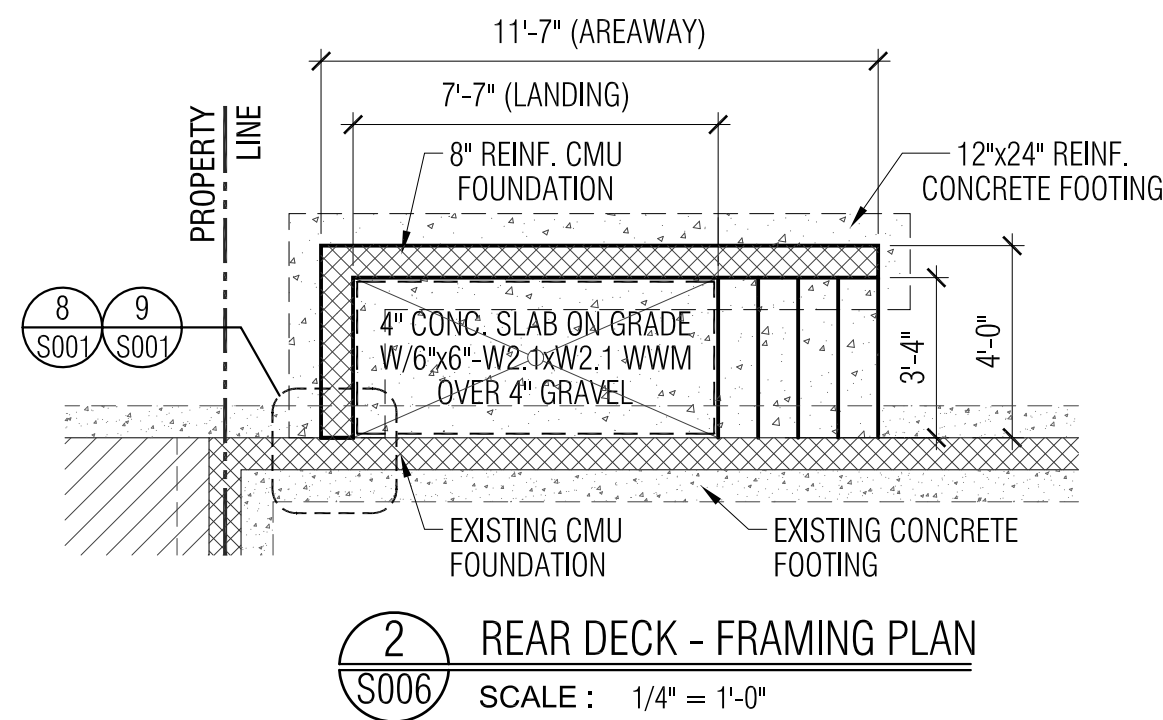
Wood Deck Plan Elevation Details & Notes

S005

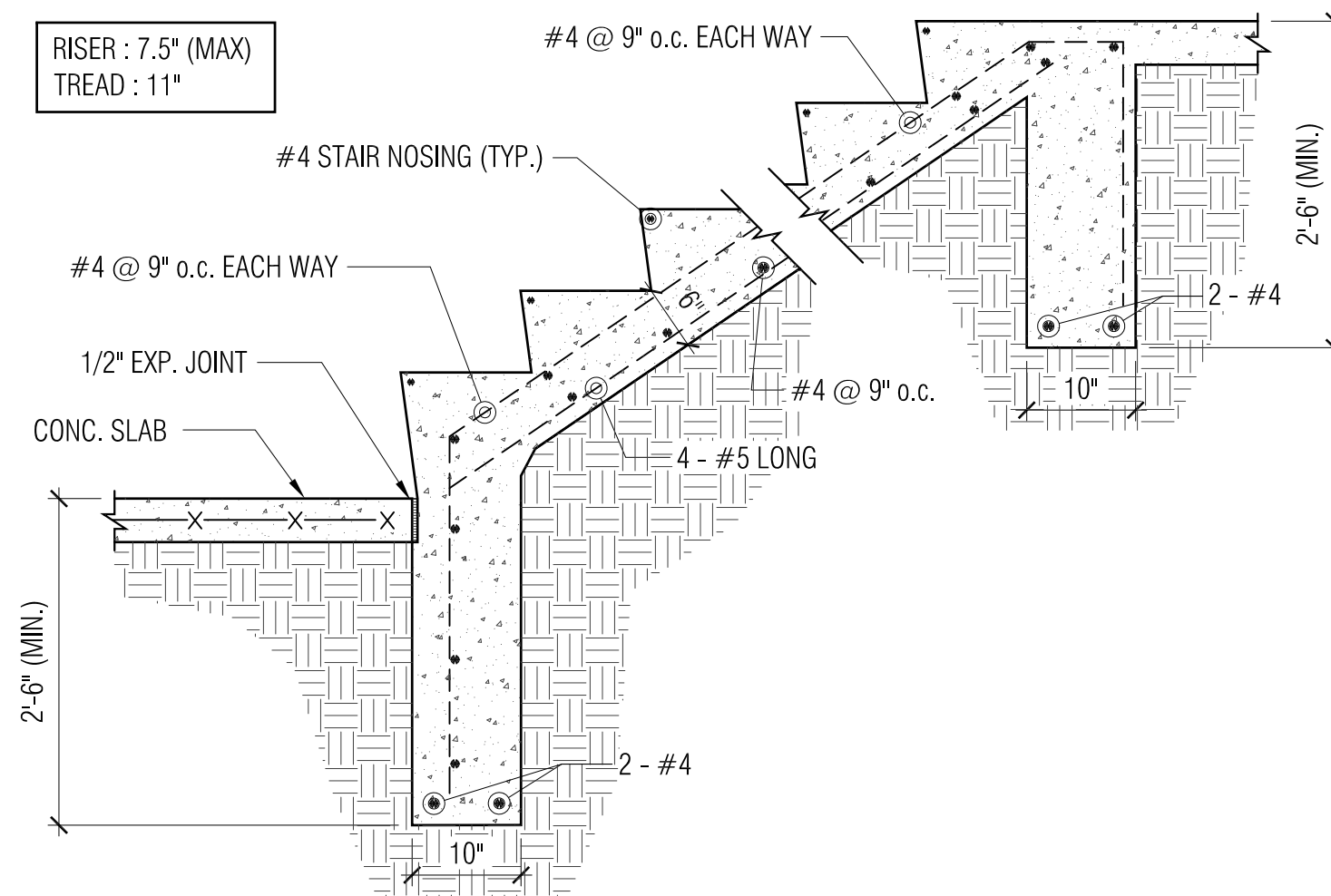
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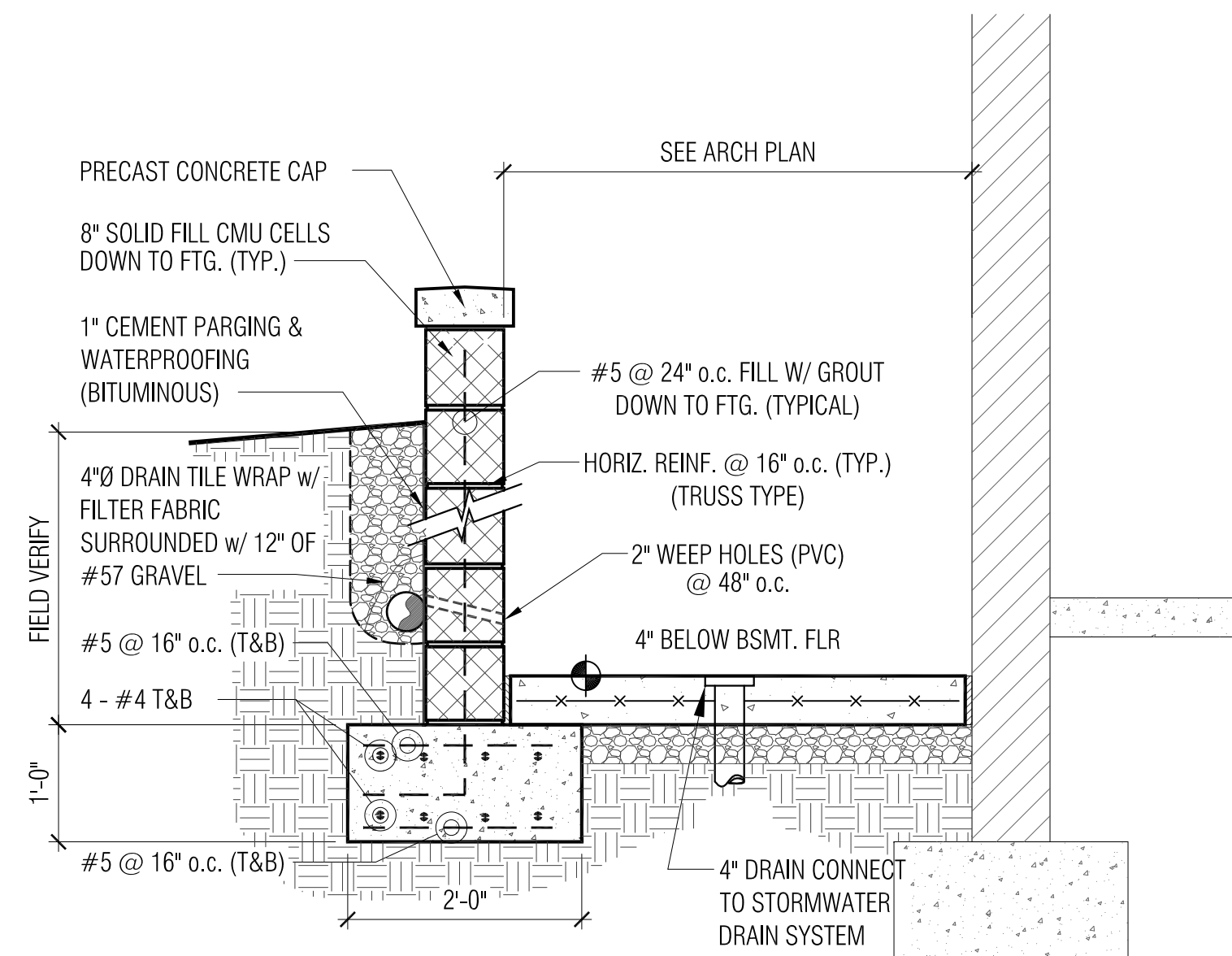
1 WALL SECTION
S006 SCALE: 1/2" = 1'-0"



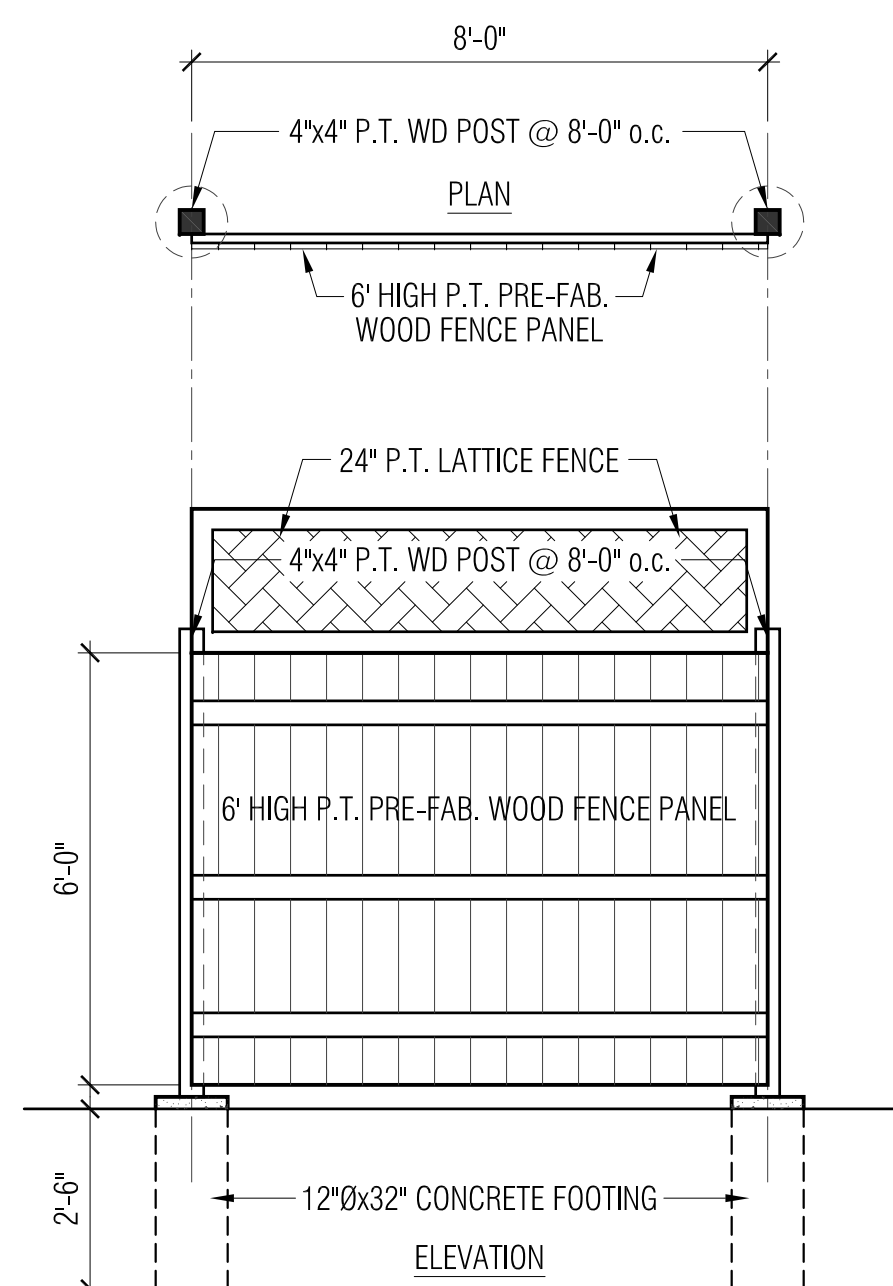
2 REAR DECK - FRAMING PLAN
S006 SCALE : 1/4" = 1'-0"



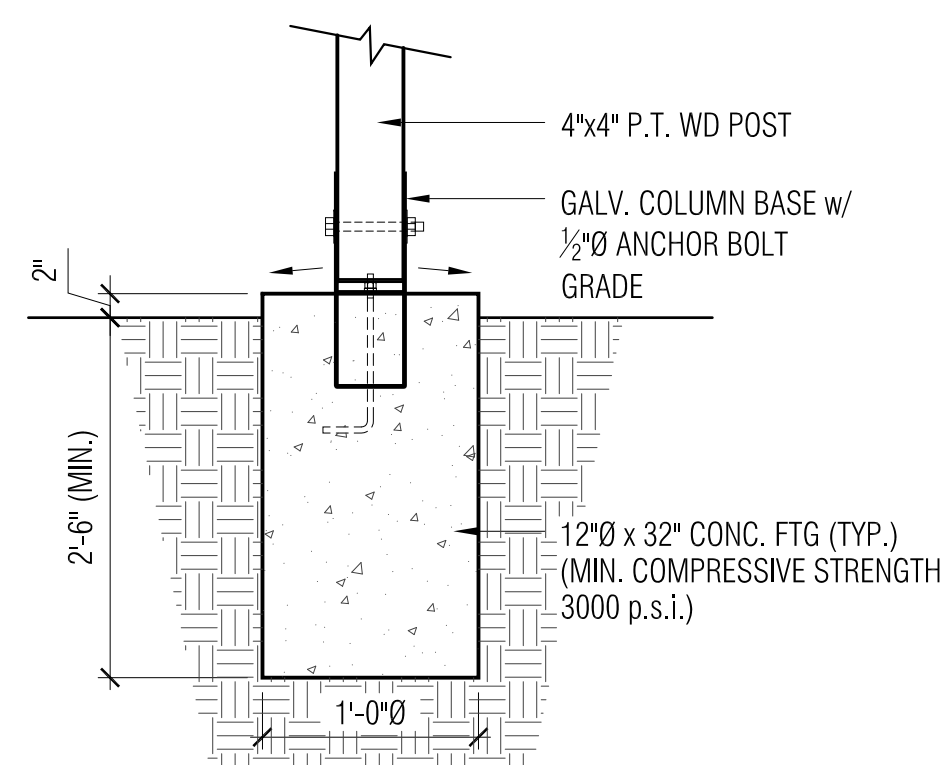
3 CONCRETE STEP DETAIL
S006 SCALE: 3/4" = 1'-0"



4 AREAWAY - RETAINING/ FOOTING DETAIL
S006 SCALE : 3/4" = 1'-0"



5 FENCE DETAIL
S006 SCALE : 3/8" = 1'-0"



6 FENCE / POST DETAIL
S006 SCALE : 3/4" = 1'-0"

STRUCTURAL DESIGN LOADS

Floors:	40 PSF (live)	15 PSF (dead)
Roof load:		30 PSF (live)
		15 PSF (dead)
Decks:		40 PSF (live)
Attics with storage		20 PSF
Attics without storage		10 PSF
Exterior Balconies		60 PSF
Stairs		40 PSF
Guardrails and Handrails		200 PSF
Guardrails in-fill components		50 PSF
Wind loads:		90 mph (live)
Foundation lateral loads:		45 PSF
Earth lateral loads:		45 PSF
Ground Snow load		30 PSF
Soil bearing capacity(footings)		2000 PSF

DESIGN PARAMETERS

Seismic Design Category:	B
Winter Design Temperature:	13°F
Ice Shield Underlayment required	
Air Freezing Index:	300
Mean Annual Temperature	55°F

WOOD FRAMING

ALL STRUCTURAL MEMBERS SHALL BE SOUTHERN YELLOW-PINE-FIR NO.2 OR BETTER, FB=1,400 PSI. REPETITIVE USE, E=1,500,000 PSI. LAMINATED WOOD BEAMS (MICRO-LAM), AS MANUFACTURED BY TRUSS JOIST CORPORATION, BOISE IDAHO. DO NOT CUT, DRILL OR OTHERWISE ALTER THE CONFIGURATION OF JOISTS AND ROOF TRUSSES, EXCEPT AS PERMITTED BY MANUFACTURER'S INSTRUCTIONS OR BUILDING CODES (fb = 2,600 PSI, E = 2,000,000 PSI). ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED AGAINST ROT AND DECAY.

BASE PLATES ON MASONRY FOUNDATION WALLS SHALL BE ANCHORED WITH 1/2" DIA. ANCHOR BOLT EMBEDDED A MIN. OF 6"-0" O.C., 12" FROM CORNERS, AND A MINIMUM OF TWO ANCHORS PER BOARD.

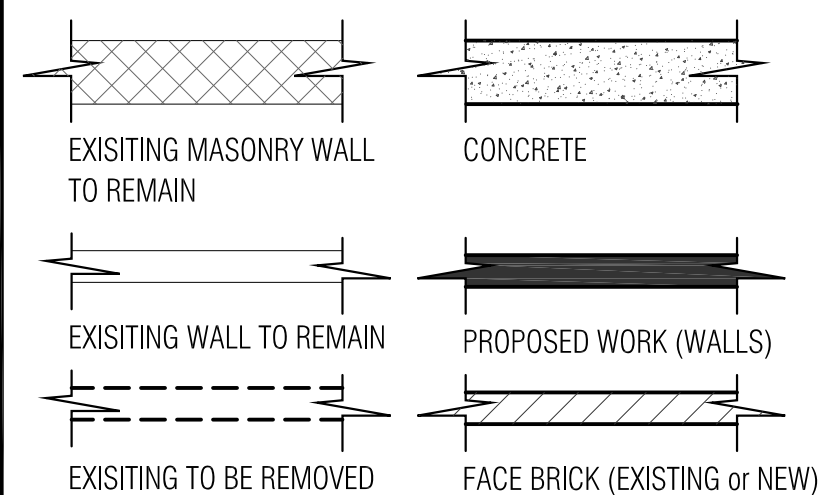
MASONRY

1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF TENTONAL CONCRETE MASONRY ASSOCIATION, AND THE LATEST ACI 530/ASCE CODE.
2. ALL EXTERIOR AND INTERIOR BEARING WALLS SHALL BE CONSTRUCTED OF LOAD BEARING UNITS.
3. HOLLOW LOAD BEARING BLOCK SHALL CONFORM TO ASTM C-90.
4. ALL MASONRY WALLS SHALL BE REINFORCED WITH TRUSS TYPE GALVANIZED DUR-O-WALSPACE VERTICALLY AT 16" O/C U.N.O. PROVIDE CORNER AND TIE PIECES AT ALL INTERSECTIONS. LAP ALL DUR-O-WAL 6" MINIMUM.
5. ALL LOAD BEARING AND EXTERIOR CMU WALLS SHALL BE LAID WITH TYPE S MORTAR UNLESS NOTED OTHERWISE.
6. BRACE AND SHORE ALL WALLS AND LINTELS AS REQUIRED DURING CONSTRUCTION.
7. ALL FILL FOR CONCRETE WALLS SHALL BE CONCRETE GROUT CONFORMING TO A.S.T.M. C476. GROUTING SHALL BE PLACED IN 5'-0" MAXIMUM LIFTS.
8. THE COMPRESSIVE STRENGTH OF GROUT FOR ALL BLOCK WALLS SHALL BE 3000 PSI, WITH 5" TO 6" SLUMP AND 3/8" TO 1/2" MAXIMUM SIZE AGGREGATE.
9. REINFORCE ALL MASONRY WALLS AS NOTED ON STRUCTURAL DRAWINGS.
10. LAP ALL VERTICAL REINFORCING 48 BAR DIAMETER MINIMUM.

CONCRETE

1. ALL CONCRETE WORK SHALL CONFORM WITH THE REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE A.C.I. 318-89.
2. ALL CONCRETE UNLESS NOTED OTHERWISE SHALL BE STONE CONCRETE HAVING A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,000 PSI AFTER 28 DAYS.
3. REINFORCING STEEL SHALL BE DEFORMED BARS OF INTERMEDIATE GRADE NEW BILLET STEEL CONFORMING TO CURRENT REQUIREMENTS OF A.S.T.M. A-615 GRADE 60. DESIGN STRESS = 60,000 PSI. LAP BARS 40 DIAM. UNLESS OTHERWISE SHOWN.
4. WELDED WIRE FABRIC SHALL HAVE A MINIMUM ULTIMATE STRENGTH OF 70,000 PSI AND SHALL CONFORM TO A.S.T.M. A-185.
5. MINIMUM STEEL PROTECTION, UNLESS OTHERWISE SHOWN, SHALL BE 1" FOR SLABS, 3" FOR FOOTINGS AND OTHER STRUCTURAL CONCRETE DEPOSITED AGAINST GROUND.
6. EXCAVATION SHALL BE KEPT FREE OF WATER. NO CONCRETE SHALL BE PLACED IN WATER.

LEGEND:



THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE
OFFICES OF GEE HOW DZYNE, LLC 10612 THRIFT ROAD,
CLINTON, MARYLAND 20735

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315 Buchanan Street
Alexandria, VA 22314
(Account No.: 10148500)
S.F.R. : SIDE ADDITION & INTERIOR RENOVATION

Wall Section, Areaway - Foundation Plan & Details Fence Details

drawing title:

PERMIT SET
PRINTING #1

revisions:

project no. 2018 - 019

date: 09 APRIL 2018

Wall Section
Areaway - Foun. Plan,
Fence Details

S006

drawing no.