

BAR Meeting
April 4, 2018

ISSUE: Partial Demolition/Capsulation & Alterations

APPLICANT: John and Elise Latawiec

LOCATION: 926 South St. Asaph Street

ZONE: RM / Residential Townhouse zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate and Certificate of Appropriateness with the following conditions:

1. The door and windows shall fully comply with the BAR's adopted policies for new construction for glass transparency and muntins; and,
2. The archaeology conditions below shall appear in the General Notes of all site plans and on all construction documents that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
 - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

BOARD ACTION: December 20, 2017: The Board noted Applicant's request to defer BAR Case #2017-00432 & 0433.

REASON

The Board felt that there were too many inconsistencies in the plans and that accurate information was needed for them to approve the proposed project. The Board noted that they found the existing addition to be well designed while the alterations to the addition would make it less interesting and more utilitarian. However, the Board noted the limited visibility of the one-story rear addition from a public way.

DISCUSSION

The Board asked the property owner to clarify a number of details and inconsistencies on the plans and said that they were not willing to approve the alterations based on the submitted materials. They raised the issue of the property line and asked how the gable roof could drain on a neighboring property, and observed that the window details were confusing.

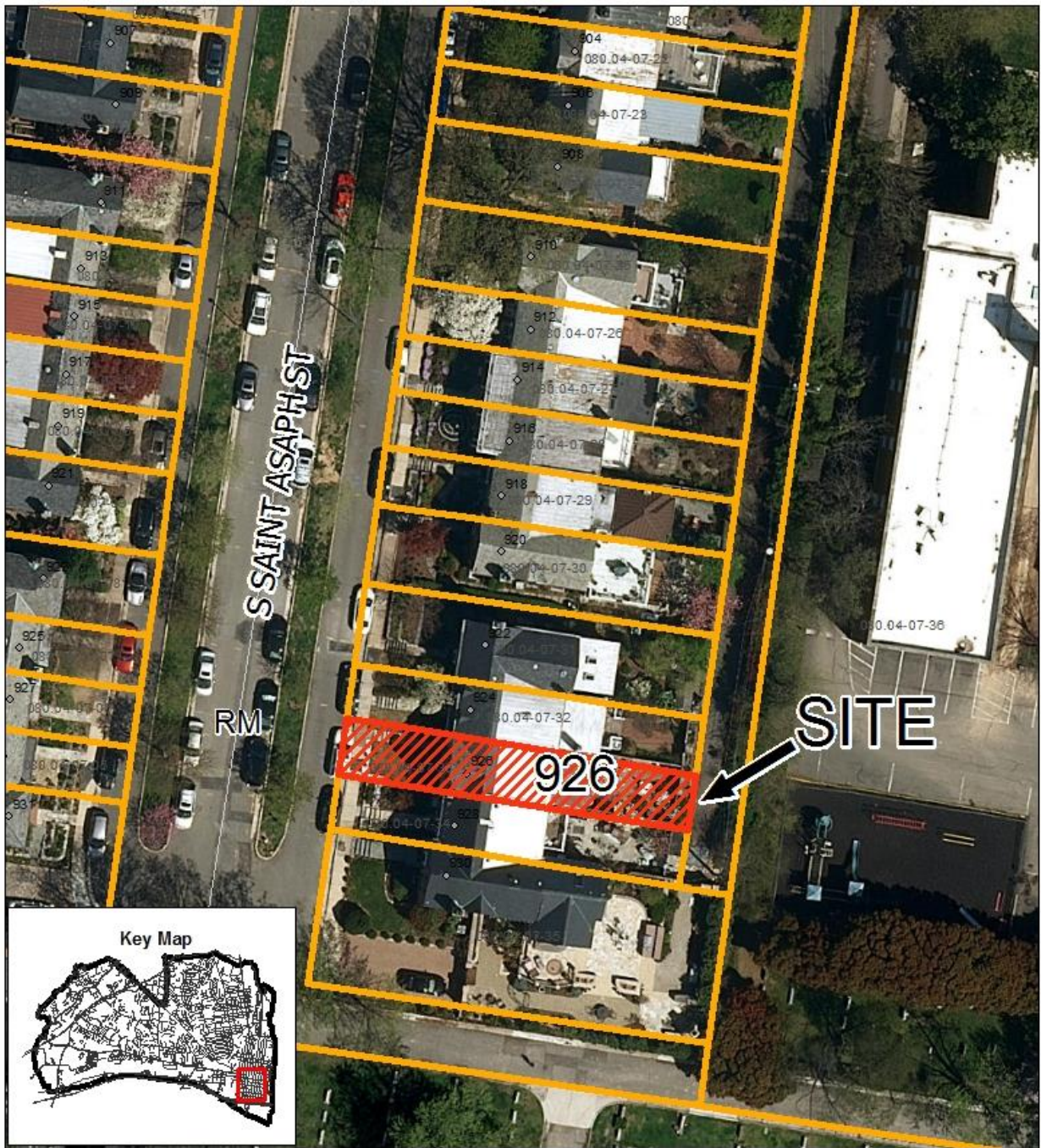
STAFF RECOMMENDATION: December 20, 2017

Staff recommends approval of the Permit to Demolish and Certificate of Appropriateness with the following conditions:

3. New doors and windows shall comply with the BAR's adopted policies for new construction for glass transparency and muntins, etc.;
4. The archaeology conditions below shall appear in the General Notes of all site plans and on all construction documents that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
 - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR Case #2017-00432
& 00433

926 South Saint Asaph Street

0 0.0025 0.005 0.01 0.015 0.02 Miles



Note: Staff coupled the applications for a Permit to Demolish (BAR #2017-0432) and Certificate of Appropriateness (BAR #2017-0433) for clarity and brevity. The Permit to Demolish requires a roll call vote.

UPDATE:

Since the project was deferred for restudy at the December 20, 2017 BAR hearing, the proposed roof form was changed from a gable to a shed roof so that all run-off will occur on the applicant's property. The application materials were also updated for consistency.

I. ISSUE

The applicant is requesting approval of a Permit to Demolish/Capsulate and a Certificate of Appropriateness for alterations to an existing one-story rear addition. The demolition/capsulation consists of the removal of the existing east wall, landing and stairs so that the footprint of the addition can be expanded to create a more traditional layout. The altered addition will have a new shed roof with architectural grade shingles and the walls will be clad with smooth fiber cement clapboard siding. The multi-light windows will be Anderson 100 Series (Fiberex) with a single fixed window and flanking casements on the east elevation, and the multi-light door will be constructed of steel.

The dead-end alley located behind the subject property is *public*.

II. HISTORY

Although the townhouses in the 900 block are stylistically similar to nearby Yates Garden townhouses, they are part of a separate subdivision called George Washington Gardens, developed by Joseph K. Seidle, Inc. and constructed and completely sold out in 1940.¹ The street façade of the subject unit is a very handsome stone Romantic Revival style while the rear of the dwelling is highly utilitarian and red brick.

The Board approved the existing one-story addition on May 5th, 1999 (BAR Case #1999-0049 & 0050). Staff also administratively approved the reroofing of the rear roof slope in 2014 (BAR Case #2014-0104).



Figure 1: Front elevation on South Saint Asaph Street

¹ Joseph K. Seidle, Inc., Opens New Model Home to Public; Is First in Group of 16," *Alexandria Gazette*, October 19, 1940, p.3; also, real estate advertisement, "Presenting George Washington Gardens in historic Alexandria overlooking the broad Potomac...created by the builders of Belle Haven located adjacent to Mount Vernon Memorial Boulevard, leading to the Nation's Shrine, 'Mount Vernon'. We have created a delightful Colonial community, with all the traditional atmosphere of the Old Dominion...14 already sold..." *Alexandria Gazette*, October 19, 1940, p.3.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The proposed alterations require the demolition/capsulation of a portion of the late 20th century rear addition and staff has no objection.

Alterations

While staff finds the form of the existing rear addition to be more visually interesting than the proposed utilitarian rectangular plan that is lacking in architectural detail, the addition is consistent with the unadorned historic rear elevation of this townhouse and the BAR's *Design Guideline for Residential Additions*, which recommends: "...a distinct yet compatible contrast with the original building through the use of differing materials, colors and the abstraction of the principal design elements of the original elements."



Figure 2: View of the existing addition from the public alley

Although the proposed addition is lacking in detail, as staff noted previously the rear of the original masonry townhouse also lacks detail and there are no lintels over the existing windows or door. Therefore, staff finds the proposed addition to be compatible with the secondary elevation of the original dwelling. In addition, the rear of this townhouse is only visible from a dead-end public alley, looking over the 6 foot tall rear yard fence (Figure 2). The opposite side of the alley abuts a large private parking lot behind a private school (Figure 3).

Staff has no objection to the use of smooth fiber cement clapboard siding, the Anderson Fibrex windows or the steel door, as these materials comply with the BAR's adopted policies for modern additions, so long as they comply with the BAR's adopted policy for glass transparency and SDL muntins. The applicant must submit detailed window and door specifications with the building permit in order for staff to confirm full compliance with the policy.



Figure 3: Aerial map showing the public alley (in red) and a blue arrow pointing to the townhouse

Staff finds the addition to be compatible with the rear of the existing dwelling in this context and supports the proposed demolition of a late 20th century addition and design the new addition as submitted.

STAFF

Stephanie Sample, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 The definition of open space states that open space is the portion of a lot which is “not used in whole or in part as roads, alleys, emergency vehicle easement areas, driveways, maneuvering aisles or off-street parking or loading berths” (2-180(D)). Because of this, the 161 square foot portion of the property within the public driveway cannot count towards the required open space for the property. The property still meets the required open space without this portion of the lot.

C-2 Proposed work complies with zoning.

Code Administration

C-1 A building permit, plan review and inspections are required for this application.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 Previously reviewed under [BAR99-00049; 00050] (T&ES)

F-2 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-3 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

C-1 The applicant shall comply with the City of Alexandria’s Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 According to the 1877 G.M. Hopkins Insurance Atlas, the Fowle family owned the entire block that includes 918 S. Saint Asaph. The lot remained undeveloped until the 1940s when the present structure was built. Earlier activity could have occurred on the lot in the first half of the nineteenth century or in the eighteenth century when the subject property would have been on the outskirts of the burgeoning city. There is a relatively small possibility for finding evidence of significant historic or prehistoric activity at the subject property. Nevertheless, there is no harm in remaining vigilant for any cultural resources that might be present on the property, even if this is a remote possibility.
- R-1 The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
 - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

V. ATTACHMENTS

- 1 – Application for BAR 2017-0432 & 0433 929 South Saint Asaph Street*
- 2 – Supplemental Materials*

BAR Case

ADDRESS OF PROJECT: 926 S. St Asaph St
 TAX MAP AND PARCEL: F080.04-07-33 ZONING: Rm

APPLICATION FOR: (Please check all that apply)

- ☒ CERTIFICATE OF APPROPRIATENESS
- ☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
 (Required if more than 25 square feet of a structure is to be demolished/impacted)
- ☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
 CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
- ☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
 (Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☒ Business (Please provide business name & contact person)

Name: Larry Hill - Component Concepts Tyler Hill

Address: 29000 Information Ln Suite 406

City: Easton State: MD Zip: 21601

Phone: 410-829-4850 E-mail: Larryhill500@gmail.com

Authorized Agent (if applicable): ☐ Attorney ☐ Architect ☐ _____

Name: _____ Phone: _____

E-mail: _____

Legal Property Owner:

Name: John & Elise Latawtec

Address: 926 S St Asaph St

City: Alexandria State: VA Zip: 22314

Phone: 626 379 2591 E-mail: eliselatawtec@apta.org

- ☐ Yes ☐ No Is there an historic preservation easement on this property?
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☐ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

BAR Case

Application Materials
 BAR2017-00432 & 00433
 926 South Saint Asaph
 Date Routed: 11.9.2017

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☐ EXTERIOR ALTERATION: *Please check all that apply.*
 ☐ awning ☐ fence, gate or garden wall ☐ HVAC equipment ☐ shutters
 ☐ doors ☐ windows ☐ siding ☐ shed
 ☐ lighting ☐ pergola/trellis ☐ painting unpainted masonry
 ☐ other _____
☒ ADDITION
☒ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Partial demolition & addition. Rear 1st story "garden addition"

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☐ ☐ Description of the reason for demolition/encapsulation.
☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not be approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A
- ☐ ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A
- ☐ ☐ Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A
- ☐ ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

BAR Case

Application Materials
BAR2017-00432 & 00433
926 South Saint Asaph
Date Routed: 11.9.2017

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:Signature: Tyler HillPrinted Name: Tyler HillDate: 9/6/17

OWNERSHIP AND DISCLOSURE STATEMENT
 Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Tyler Hill	29000 Information Ln Easton, MD 21601	0%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 926 S St Asaph ST (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. John + Elise Latawiec	926 S St Asaph ST	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Tyler Hill	None	None
2. John + Elise Latawiec	None	None
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

11/6/17 Tyler Hill Tyler Hill
 Date Printed Name Signature



DEPARTMENT OF PLANNING AND ZONING

FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS FOR SINGLE AND TWO-FAMILY RESIDENTIAL OUTSIDE HISTORIC DISTRICTS

A. Property Information

A1. Street Address 926 S St Asaph St Zone RM

A2. 2077 x 1.5 = 3115.5
 Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area *		Allowable Exclusions	
Basement	666	Basement**	
First Floor	831.1	Stairways**	
Second Floor	698.9	Mechanical**	
Third Floor		Porch/ Garage**	
Porches/ Other		Attic less than 5'***	
Total Gross *	2196	Total Exclusions	

B1. Existing Gross Floor Area *

2196 Sq. Ft.

B2. Allowable Floor Exclusions**

 Sq. Ft.

B3. Existing Floor Area minus
Exclusions 2196 Sq. Ft.
(subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor	30	Stairways**	
Second Floor		Mechanical**	
Third Floor		Porch/ Garage**	
Porches/ Other		Attic less than 5'***	
Total Gross *	30	Total Exclusions	

C1. Proposed Gross Floor Area *

30 Sq. Ft.

C2. Allowable Floor Exclusions**

 Sq. Ft.

C3. Proposed Floor Area minus
Exclusions 30 Sq. Ft.
(subtract C2 from C1)

D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 2226 Sq. Ft.

D2. Total Floor Area Allowed by Zone (A2) 3115.5 Sq. Ft.

**Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof on a lot, measured from exterior walls.*

***Refer to the zoning ordinance (Section 2-145(A)) and consult with zoning staff for information regarding allowable exclusions.*

If taking exclusions other than basements, floor plans with excluded areas illustrated must be submitted for review. Sections may also be required for some exclusions.

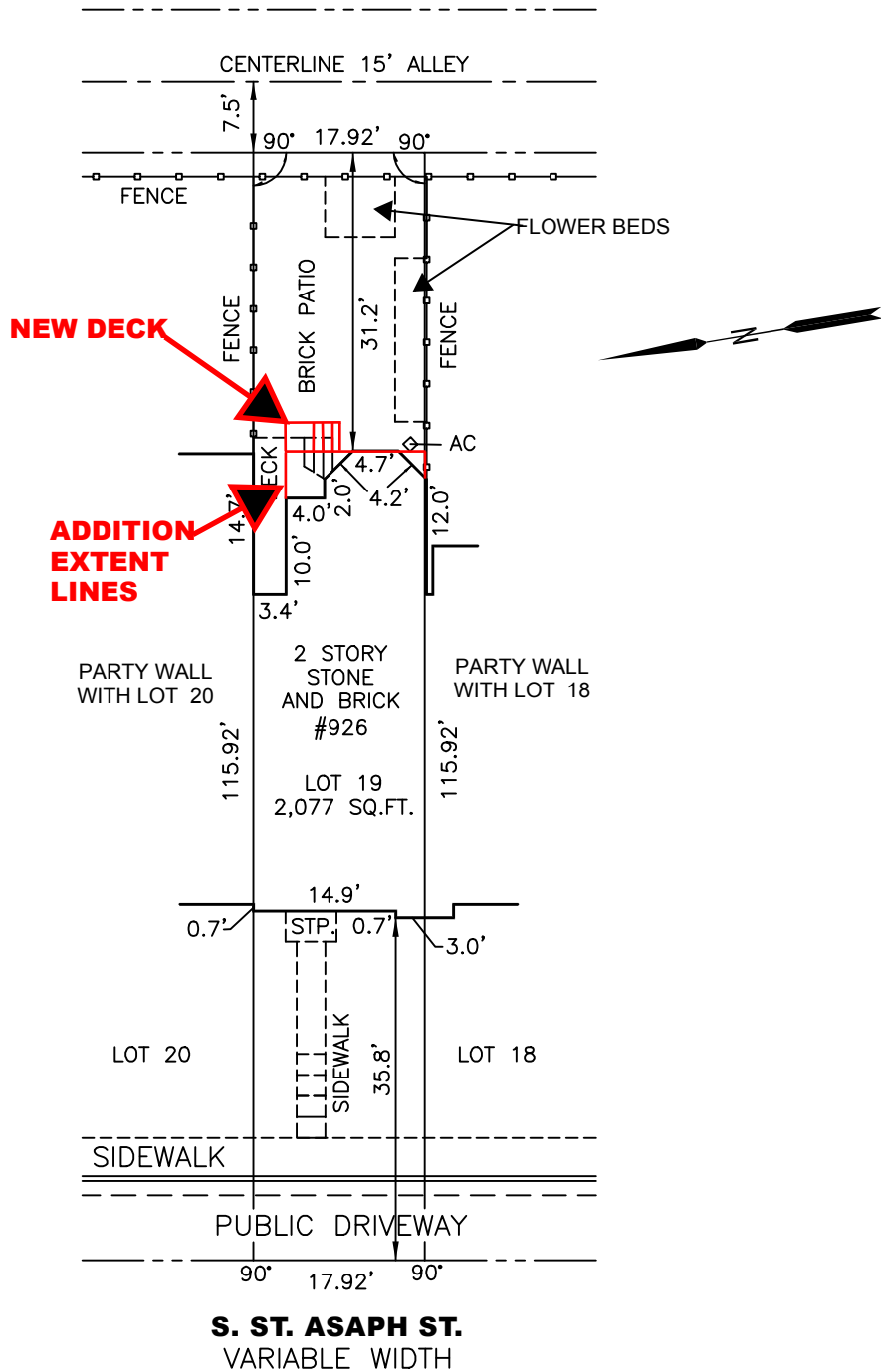
F. Open Space Calculations Required in RA & RB zones

Existing Open Space	1246
Required Open Space	727
Proposed Open Space	1216

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____ Date: _____

- NOTES:
- 1. THIS PLAT IS BASED ON A CURRENT FIELD SURVEY ON OCTOBER 3, 2017
 - 2. NO TITLE REPORT WAS FURNISHED, EASMENTS MAY EXIST OTHER THAN SHOWN
 - 3. THIS PROPERTY IS LOCATED IN FEMA FLOOD ZONE HAZARD "X" AS PER FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 5155190041E; DATED JUNE 16, 2011
 - 4. THERE ARE NO ENCROACHMENTS FOUND OTHER THAN SHOWN
 - 5. BOUNDARY INFORMATION TAKEN FROM PLAT OF RECORD.



SCALE 1" = 20'

COLONIAL PROPERTIES
PLAT REF.: DB 161 PG 357



LAND SURVEYING, LLC

504 WESTWOOD OFFICE PARK
FREDERICKSBURG, VA 22401
540-877-8722

HOUSE LOCATION
SURVEY

JN: 2017-2074

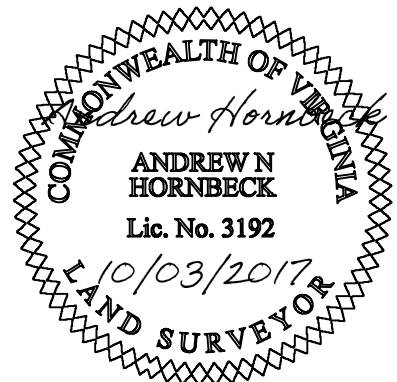
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COLONIAL PROPERTIES
LOT 19
2,077 SQ.FT.
Zone: RM
City of Alexandria, Virginia

Drawn: ANH

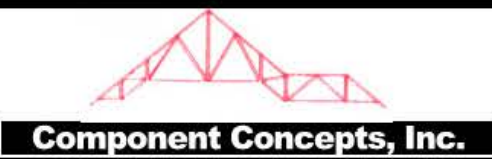
Current Inst. 170008668

Survey: AH

Revision Date: --/--/--



ADDITION TO:
926 S ST ASAPH STREET
ALEXANDRIA, VA

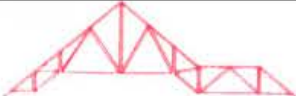
 Component Concepts, Inc.		926 S ST ASAPH ST ALEXANDRIA, VA	
Component Concepts, Inc. 29000 Information Lane Suite 406 Easton, Maryland 21601		DRAWN BY: Larry Hill - Truss Designer SCALE: AS NOTED DATE: 9.19.17 REV 1.2.18	PAGE #: CS
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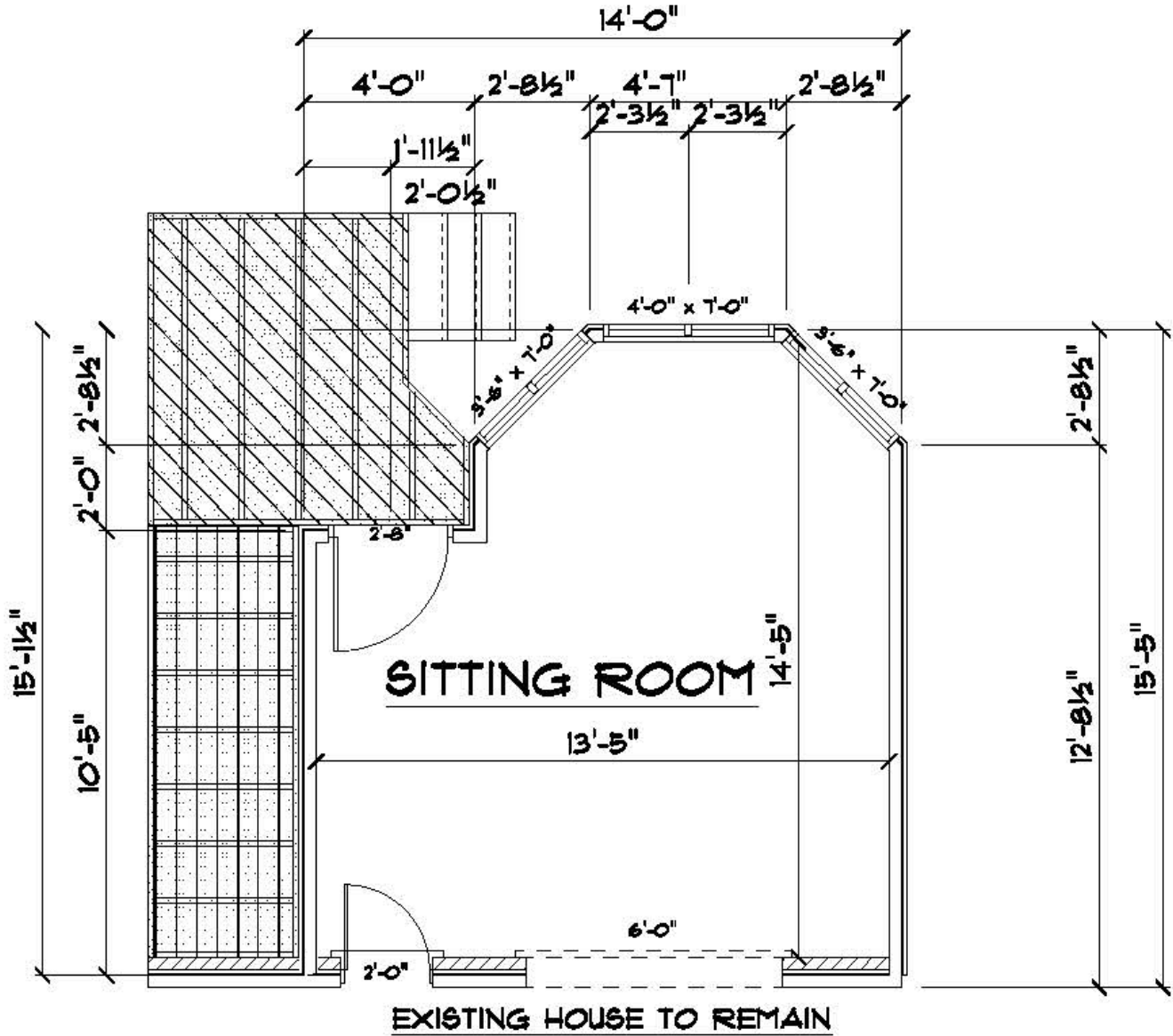
DETAILS

- I. GENERAL
1. ALL WORK SHALL COMPLY WITH CURRENT VIRGINIA STATEWIDE UNIFORM BUILDING CODE, 2012 IRC, IBC, IMC, IPC, NEC, WITH CURRENT AMENDMENTS TO ALL CODES AND THE ICC/ANSI A117.1 FOR ACCESSIBILITY GUIDELINES.
2. LIVE LOADS USED:
- ROOF 30 PSF
- LIVING AREAS 40 PSF
- SLEEPING ROOMS 30 PSF
- GARAGE 50 PSF
- SNOW LOAD 25 PSF
- WIND LOAD USED
- BASIC WIND SPEED 90 MPH
- IMPORTANCE FACTOR 1.0
- WIND EXPOSURE B
3. BASEMENT AND FOUNDATION WALLS ARE DEPENDENT UPON THE COMPLETED INSTALLATION OF ALL FLOORS FOR THEIR STABILITY. CONTRACTOR SHALL NOT PLACE BACKFILL UNTIL THESE ELEMENTS ARE COMPLETELY INSTALLED.
- II. CONCRETE
1. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 1300 PSF.
2. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 30" BELOW FINISHED EXTERIOR GRADE.
3. COMPACTED BACKFILL BELOW BUILDING SLABS - ALL SOIL SHALL BE FREE FROM ALL ORGANIC MATTER, TRASH, CONCRETE, ETC. PRIOR TO PLACING FILL. FILL SHALL BE COMPACTED TO MIN. 95% OF THE DRY MAX DENSITY AS DETERMINED BY ASTM D698.
4. CONCRETE TO HAVE MIN. COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS. EXTERIOR SLABS SHALL HAVE A MINIMUM STRENGTH OF 3500 PSI. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301 SPECIFICATIONS.
5. ALL REINFORCING STEEL TO MEET ASTM-A-615 GRADE 60. PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING AS FOLLOWS:
- BEAMS 2" EXPOSED TO WEATHER
- FOOTINGS 3" (BOTTOM)
- WALLS 1-1/2"
- PROVIDE CORNER BARS TO MATCH HORIZONTAL REINFORCING IN WALLS AND FOOTINGS. PROVIDE DOWELS BETWEEN FOOTINGS AND WALLS TO MATCH SIZE AND SPACING OF VERTICAL REINFORCING.
6. WELDED WIRE MESH SHALL CONFORM TO ASTM A-185, WITH MINIMUM LAPS OF 8".
7. MAXIMUM SLUMP 5".
8. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 318.
- III. MASONRY
1. MASONRY TO CONFORM TO THE FOLLOWING SPECIFICATIONS:
- HOLLOW LOAD-BEARING CMU ASTM C90
- MORTAR ASTM C270
2. ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615-GR60. LAP BARS A MINIMUM OF 48 BAR DIAMETERS. FILL ALL REINFORCED CORES SOLID.
3. 1/2" DIA. HOT DIPPED GALVANIZED ANCHOR BOLTS INSTALLED AT NO MORE THAN 48" O.C. EMBEDDED 1" MIN. INTO CONCRETE. MIN 2 ANCHORS PER SECTION OF PLATE.

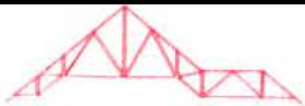
- IV. WOOD
1. ALL FRAMING LUMBER SHALL BE HEM-FIR #2, OR SPRUCE-PINE-FIR #2 OR BETTER, HAVING THE FOLLOWING MINIMUM BASE DESIGN VALUES:
- BENDING STRESS "Fb" 150 PSI
- HORIZONTAL SHEAR "Fv" 10 PSI
- COMPRESSION PERP. "Fc" 405 PSI
- COMPRESSION PARALLEL "Fci" 565 PSI
- MODULUS OF ELASTICITY "E" 1,400,000 PSI
2. ALL EXTERIOR FRAMING AND LUMBER IN CONTACT WITH CONCRETE SHALL BE ACQ PRESSURE-TREATED.
3. LVL BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
- BENDING STRESS "Fb" 2600 PSI
- HORIZONTAL SHEAR "Fv" 250 PSI
- MODULUS OF ELASTICITY "E" 1,200,000 PSI
4. UNLESS NOTED OTHERWISE, FASTENING FOR STRUCTURAL MEMBERS SHALL FOLLOW INTERNATIONAL RESIDENTIAL CODE TABLE R602.3(1).
5. PREFABRICATED JOIST, BEAM, TRUSS, POST CAPS AND BASES SHALL BE SIZED AND ATTACHED PER MANUFACTURERS RECOMMENDATION. FASTENERS AND CONNECTORS UTILIZED WITH PRESSURE-TREATED MEMBERS SHALL MEET G185 GALVANIZING.
6. HOLES THROUGH JOIST SHALL BE DONE TO MANUFACTURERS RECOMMENDATIONS.
7. HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED 1/3 OF STUD WIDTH.
8. ALL STUD BEARING WALLS TO BE PROVIDED WITH 2 CONTINUOUS TOP PLATES AND 1 CONTINUOUS BOTTOM PLATE. SPLICES SHALL OCCURE OVER STUD.SPLICES TO BE STAGGERED A MINIMUM OF 2'.
9. ROOF TRUSSES AND RAFTERS SHALL BE CONNECTED AT EACH BEARING POINT WITH (1) PREFABRICATED GALVANIZED METAL CONNECTOR PER MANUFACTURERS RECOMMENDATIONS.
- V. SHEATHING
1. FLOOR SHEATHING SHALL BE 23/32 (3/4)" APA RATED T&G OSB. PANELS SHALL HAVE LONG DIMENSION ORIENTED ACROSS THREE OR MORE JOISTS AND SHALL BE FASTENED WITH CONSTRUCTION ADHESIVE AND 8d NAILS AT 6" O.C. AT PANEL EDGES AND AT 12" O.C. AT INTERMEDIATE SUPPORTS. PANEL EDGES NEED NOT BE BLOCKED.
2. EXTERIOR WALL SHEATHING SHALL BE 7/16 (1/2)" APA RATED OSB. FASTEN PANELS TO STUDS WITH 8d NAILS AT 6" O.C. AT PANEL EDGES AND AT 12" O.C. AT INTERMEDIATE SUPPORTS. PANEL EDGES NEED NOT BE BLOCKED.

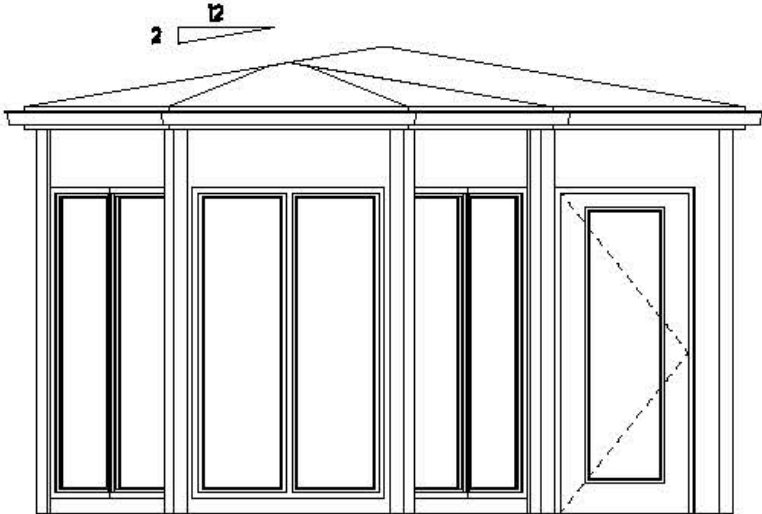
3. ROOF SHEATHING SHALL BE 7/16 (1/2)" APA RATED OSB. FASTEN PANELS TO STUDS WITH 8d NAILS AT 6" O.C. AT PANEL EDGES AND AT 12" O.C. AT INTERMEDIATE SUPPORTS. PANEL EDGES NEED NOT BE BLOCKED.
- VI. BRACED WALL PANEL
1. THE EXTERIOR WALL SHALL BE BRACED WITH CONTINUOUS SHEATHING (C6) IN ACCORDANCE WITH R602.10.4 IRC2012 AS FOLLOWS:
- 2X4 MIN SPF (STUD GRADE) SPACED AT 16"O.C. MAX.
- EXTERIOR WALL SHEATHING - 7/16" OSB.
- FASTENERS - 8d X 2-1/2" NAILS @ 6" O.C. AT PANEL EDGES AND AT 12" O.C. AT INTERMEDIATE SUPPORTS.
2. WOOD STRUCTURAL PANEL (WSP) SHALL BE CONSTRUCTED THE SAME AS C6 ABOVE, AND ALL EDGES OF BRACED WALL PANELS (WSP OR C6-WSP) SHALL BE BLOCKED WITH 2X4 MIN BLOCKING AND THE SAME EDGE NAILING AS ABOVE.
3. MINIMUM BRACED WALL PANEL LENGTH IS IN ACCORDANCE WITH TABLE R602.10.4.2.
4. GYPSUM BOARD (GB) BRACED WALL SHALL BE FINISHED AS FOLLOWS:
- INTERIOR WALL FINISH - 1/2" GYPSUM BOARD, UNBLOCKED.
- FASTENERS - NO. 6 X 1-1/4" MIN SCREWS AT 4" O.C. AT EDGES AND 8" O.C. INTERMEDIATE SUPPORTS.

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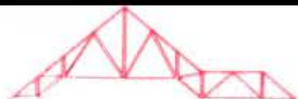
EXISTING LAYOUT
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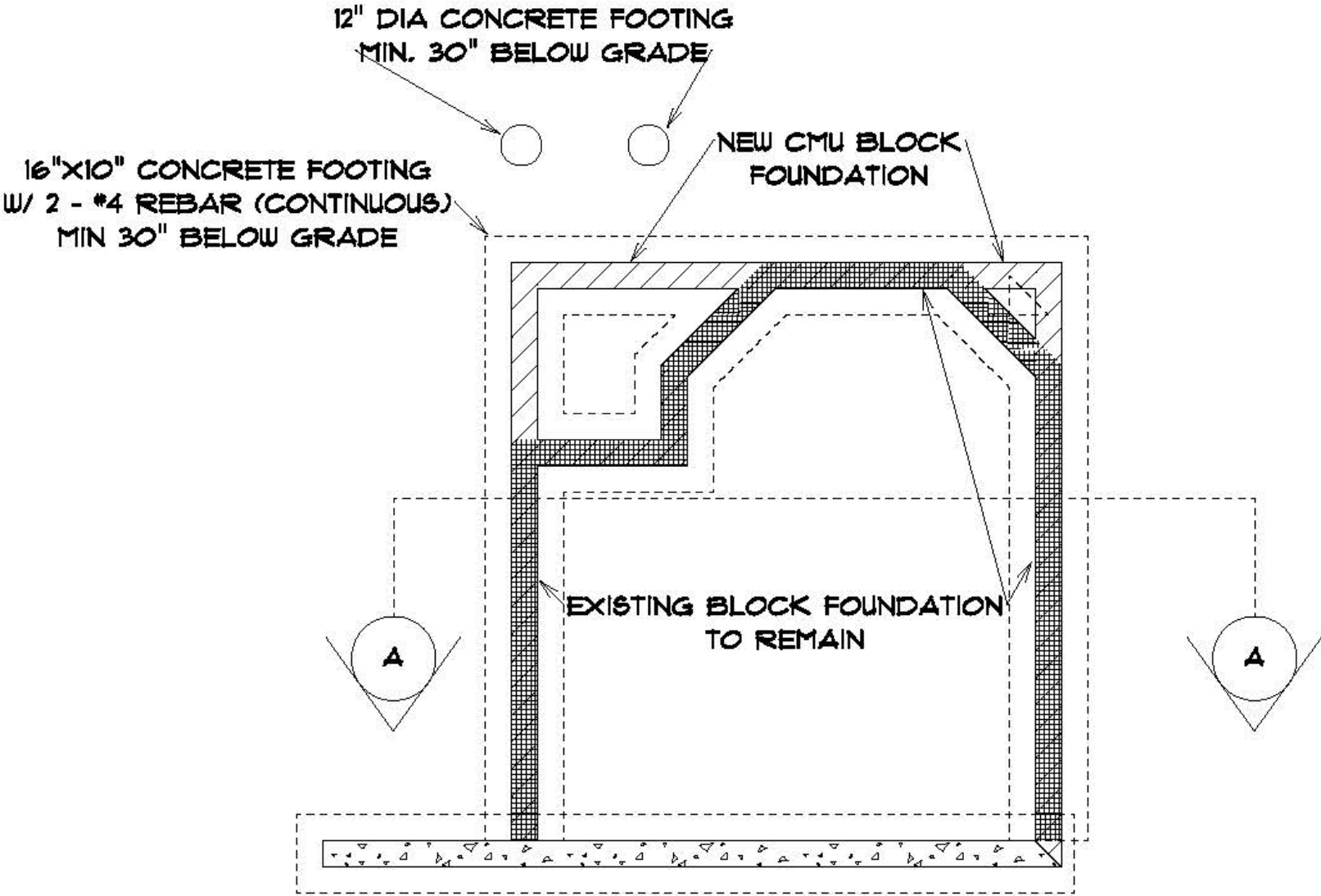
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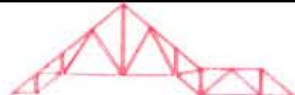
EXISTING REAR ELEVATION

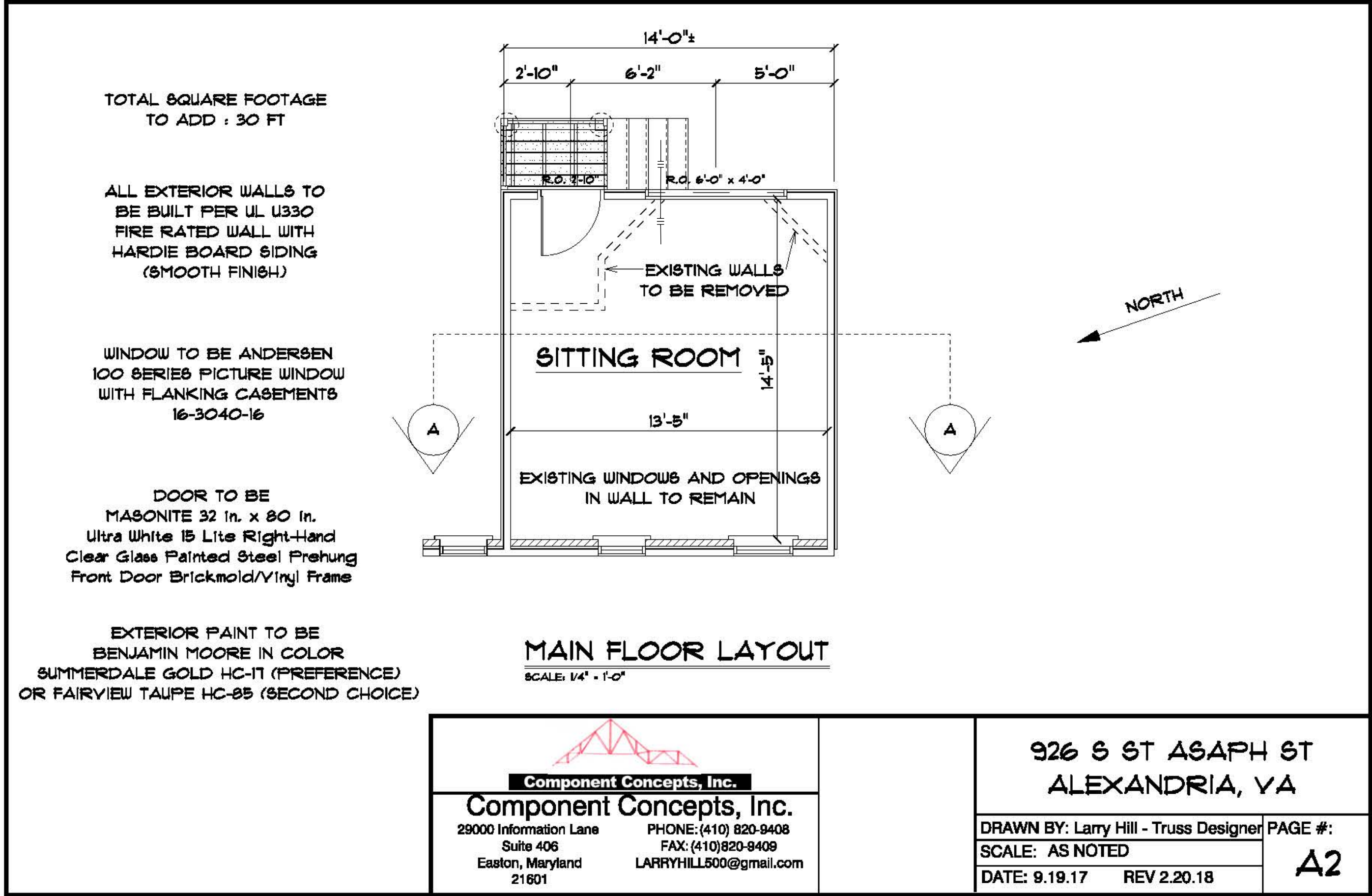
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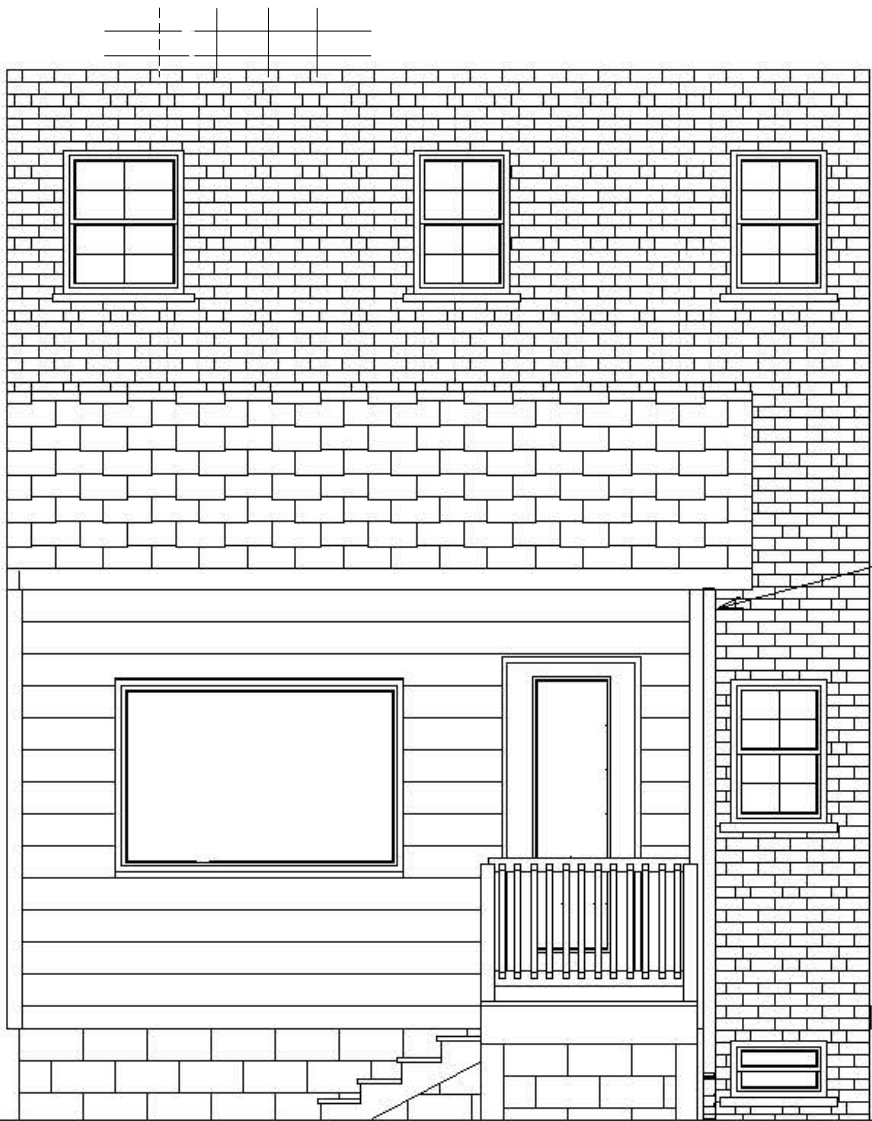
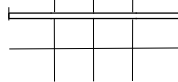
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FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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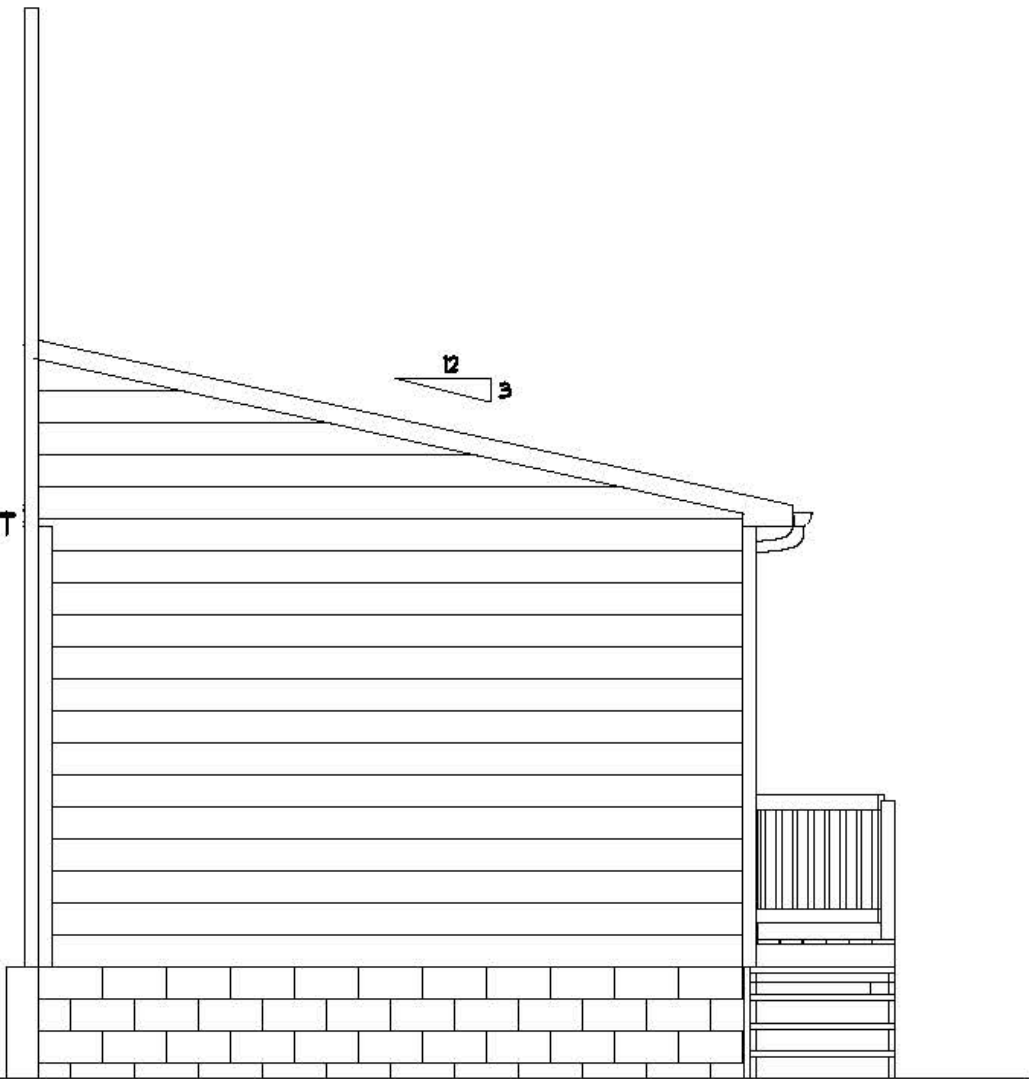


DOWNSPOUT

REAR ELEVATION

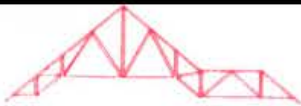
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AVERAGE GRADE



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



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