

Docket Item # 8 & 9
BAR CASE #2018-00061 & #2018-00062

BAR Meeting
March 7, 2018

ISSUE: Partial Demolition/Capsulation and Alterations

APPLICANT: Reingold

LOCATION: 1321 Duke Street

ZONE: CD / Commercial

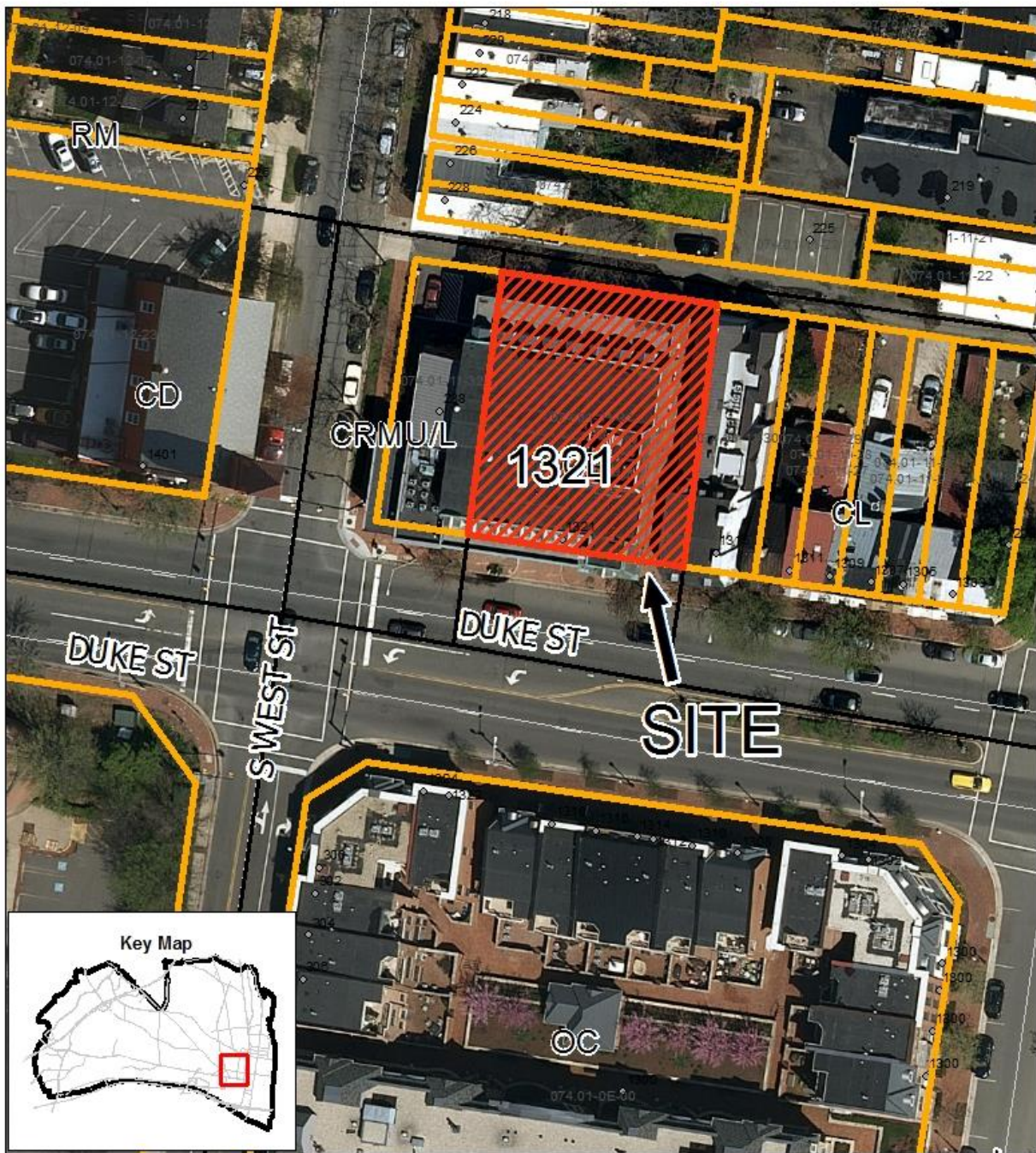
STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Encapsulation and Certificate of Appropriateness as submitted for Option One, unpainted masonry, with the following conditions:

1. The wall sign on the façade above the third-floor windows must be installed either on a wood frieze board or sign band painted to match the adjacent masonry or use of a silicon adhesive to reduce the future damage to the masonry wall of the building as signs change.
2. The anchors for all signs must be installed into the mortar joints on masonry buildings to avoid damage to the brick or stone.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



**BAR Case #2018-00061
& 00062
1321 Duke Street**

0 0.003 0.006 0.012 0.018 0.024 Miles



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Note: Staff coupled the reports for BAR #2018-00061 (Permit to Demolish/Capsulate) and BAR #2018-00062 (Certificate of Appropriateness) for clarity and brevity. This item requires a roll call vote.

I. ISSUE

The applicant is requesting a Permit to Demolish for partial demolition/capsulation and a Certificate of Appropriateness for the following alterations and signage.

Demolition

Currently, much of the first-floor area is used as a parking garage accessing two enclosed and partially enclosed garages. Portions of the first-floor façade and front garage door will be demolished to create new ground-floor commercial space.

Alterations

In addition to the alterations noted below, the applicant is interested in painting previously unpainted masonry and has included two options for the Board's consideration: an unpainted masonry option with gray cedar siding (Option One) and painted masonry option with natural cedar siding (Option Two). The applicant prefers Option Two, the painted façade.

The revised first floor will feature large show windows and the application of cedar siding with a painted metal cornice above the siding. The façade will also feature a new awning made of glass and steel above the existing front entry. The entry doors and sidelights will be replaced to match the new windows.

New elements for the first-floor façade

- Large show windows
- Cedar siding (Option One gray stained siding) (Option Two natural wood stained siding)
- Painted metal cornice above siding
- 4' deep by 14'-6" wide glass and steel awning above front entry
- New entry door and sidelights to match new show windows
- Wall mounted light fixtures between windows
- Front entryway address signage (see signage section)

Other alterations

- Replacement of all exterior windows with new configuration to match materials of first-floor façade windows
- Repainting of the fourth-floor dormers dark gray and painting of metal roof caps (black)
- Relocation of the gas meter from the façade to the side alley or back of the building

Signage

- Two façade signs
 - One 1' by 3' door address sign located to the left of the front entryway
 - One 1' by 14'-6" sign including the logo and Reingold name in pin-mounted letters on the brick wall located above the third-floor windows on the façade

- One side (south) sign
 - One 9' by 8'- 6" pin-mounted sign located on the south elevation
- One side (east) logo sign
 - One

II. HISTORY

The existing 3-1/2 story brick professional office building was constructed in **1985** (the BAR approved BAR Case #85-39 March 3, 1985). The building has numerous details derived from historic buildings found in the historic district including brick lintels and segmental arches over windows, a brick cornice, unpainted red brick masonry construction and a mansard roof with pedimented dormers. The window configuration and prominent garage entrance convey the building as a late 20th-century design.

Previous BAR Approvals

BAR Case #86-191	11/05/86	Awning Installation
BAR Case # 87-94	06/10/87	Signage
BAR Case # 2011-00327	01/04/12	Roof Replacement

III. ANALYSIS

Permit to Demolish

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulizing or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic house?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No

(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No
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Staff does not find that the proposed demolition of a portion of the first-floor facade compromises the overall integrity of this 1985 building. This commercial building is a generally successful background building without individual historical interest or uncommon architectural elements. In the opinion of staff, none of the criteria for demolition and capsulation in the zoning ordinance are met and the Permit to Demolish/Capsulate should be granted.

Certificate of Appropriateness

1321 Duke Street was constructed in 1985 and is a contemporary commercial building within the Old and Historic Alexandria District. As noted in the BAR's *Design Guidelines* chapter on Additions to Commercial Buildings, "Additions must be designed so that they are compatible with both the architectural character of the existing building and the immediate neighborhood." Further, "As a general rule, the Boards favor contextual background buildings which allow historic buildings to maintain the primary visual importance." Finally, "It is not the intention of the Boards to dilute design creativity in commercial additions. Rather, the Boards seek to promote compatible development that is, at once, both responsive to the needs and tastes of the late 20th century while being compatible with the historic character of the districts."

With the exception of the prominent garage entrance, this contemporary building sits quietly on the block and does not detract from or overwhelm the nearby building of historic merit. In particular, the adjacent building at 1315 Duke is perhaps one of the most culturally significant buildings in Alexandria. 1315 Duke was once headquarters for the Franklin and Armfield Slave Office, the largest and most successful domestic slave trading firm in America and is now the headquarters of the Northern Virginia Urban League and home of the Freedom House Museum. The City recently reached an agreement to operate the Freedom House Museum. <https://www.alexandriava.gov/historic/info/default.aspx?id=101647> Other significant buildings nearby include the Shiloh Baptist Church.

Changing 1321 Duke Street's first floor from a parking garage to office space will significantly improve the pedestrian's relationship with the building and enhance the streetscape. Proposed alterations to this level follow a historic pattern of changing commercial storefronts on the ground floor designed in the whatever style is popular during the period while maintaining the original building wall above. The addition of 1321 Duke Street's first-floor office building space would fit into the block and impact the block in a positive manner. Other uses on this block consist of offices, a museum, and townhouses.

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Contemporary structures contribute to the visual vibrancy of the overall streetscape within the historic district but inappropriate materials and finishes can have a negative impact on a historic district's integrity. Since this building was built in 1985, staff reviews exterior finish material replacement only with respect to compatibility with nearby buildings of historic merit and does not suggest that they should be constructed with early building materials. The Design Guidelines also note that "new and untried approaches to common design problems are encouraged and should not be rejected out of hand simply because they appear to be outside the common practices outlined in the guidelines." The use of modern materials, the aluminum-clad windows and modern cedar siding applied to the first floor, is appropriate for this building because the building is a contemporary background building. Staff finds the proposed alterations at the first floor to be a great improvement over the existing conditions which feature a large garage door and narrow windows.



Figure 1: Current streetscape



Figure 2: Option One's impact on streetscape



Figure 3: of Option Two's impact on streetscape

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However, staff has significant aesthetic and compatibility concerns with the proposal to paint this large unpainted masonry building in this particular location. By longstanding practice, the BAR does not review paint color but does review the painting of unpainted masonry and does review the color of new materials, such as brick, as the BAR did in this case when the building was built. This is not historic masonry and, unlike previous cases with porous wood fired brick, there is no concern regarding spalling or water damage in this modern wall construction. There will be a future, ongoing maintenance expense to keep the building painted but economics is not a criteria that may be considered by the BAR in the zoning ordinance.

The applicant has offered two options for the Board to review: **Option One**, to keep the masonry unpainted with stained gray cedar siding, and Option Two, painting of the unpainted masonry a dark gray color with natural cedar siding. The Zoning Ordinance stipulates “in all cases, painting a previously unpainted masonry surface, no matter what color, requires review and approval of a certificate of appropriateness by the Boards. Additionally, the Boards strongly discourage the painting of a previously unpainted masonry surface.” Although the BAR has recently approved painting the mid 20th century masonry building at 813 Green Street (BAR #2017-00422), there were no architecturally or culturally significant historic buildings nearby and it was on a blockface of painted masonry buildings of similar size. 1321 Duke is one of the largest buildings in the immediate area and painting this will have a significant impact on the neighbors,

Staff finds Option One, unpainted masonry with gray wood siding, the more appropriate alternative due to the context of this block. The *Design Guidelines* state that “the color of a building can enhance or detract from its own architectural characteristics as well as neighboring structures...the Boards reserve the right to review paint color in instances where the new color is so clearly inappropriate as to constitute alteration of the architectural character of the building.” Staff finds that if the building were painted, as shown in **Option Two**, the building would detract from the character of the streetscape which includes a number of historic buildings, some painted and some unpainted. If painted the dark gray paint color, the scale and mass of this building would be emphasized and it would cease to exist as a background building which is, of course, the applicant’s specific intent.

The *Design Guidelines* also states that the “Boards favor contextual background buildings which allow historic structures to maintain the primary visual importance...the color proposed for additions to commercial buildings should be compatible with that in use on historic buildings in the districts” Staff finds Option One to be consistent with the *Design Guidelines* and appropriate as a background building and recommends that the Board approve the application with Option One, as submitted.



Figure 4: Current streetscape, north side of street: 1321 Duke Street boxed in red



Figure 5: Current streetscape, south side of street

Staff finds the painting of the dormers and metal roof caps appropriate along with the other proposed alterations. The new windows and doors will match in material and configuration creating a cohesive composition for this 1985 background building. The proposed lighting on the first-floor façade, and entryway canopy are all modern materials and design that are appropriate in this location and do not distract from the streetscape. The modern elements (i.e., lighting, entryway canopy) do not detract from the historical significance of the streetscape and are architecturally appropriate for this 1985 background building. Staff also supports the moving of the gas meter from the street facing façade to the east side yard behind a wood screen.

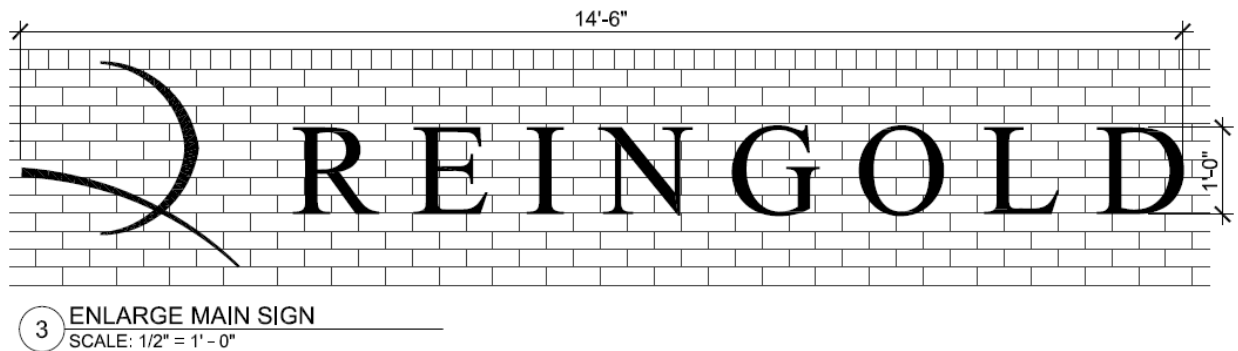


Figure 6: Front façade signage above the third-floor windows

Staff recommends that the wall sign with pin-mounted letters on the façade above the third-floor windows be installed on a wood frieze board or sign band but not directly installed into a masonry wall to reduce the anchors into the building. The anchors for all signs must be installed into the mortar joints on masonry buildings to avoid damage to the brick or stone. Alternatively, the applicant could use a silicon adhesive instead of the sign band or wood frieze board, this would also reduce the number of anchors into the masonry, although silicon is difficult to remove and can have masonry staining issues when it comes time to remove a sign. The logo sign on the east elevation requires further zoning review prior to application for sign permits.

Summary

Staff strongly supports the proposed contemporary design of the alterations to the first floor storefront and new windows above but cannot support painting the existing brick for the reasons described above.

STAFF

Jenny Rowan, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

- C-1 Proposed scope of work complies with zoning.
- C-2 Applicant proposes to construct an awning which will encroach into the Right of Way. This will not count against the Floor Area Ratio (FAR).
- C-3 A separate sign permit and zoning analysis is required.

Code Administration

- C-1 A permit is required for alterations listed in BAR application. Please contact code administration to obtain permits prior to the start of construction.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- R-4 A minor amendment to SIT85-0020 must be approved and released prior to submitting for permits. (T&ES)
- F-1 Previously reviewed under [BAR2011-000327] (T&ES)
- F-2 A site plan amendment will be required to the existing approved/ released site plan. (T&ES)
- F-3 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements

that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

- F-4 Permitted encroachment per 5-2-29 of City Code. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of storm-water drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)
- C-7 The owner shall obtain and maintain a policy of general liability insurance in the amount of \$1,000,000 which will indemnify the owner (and all successors in interest); and the City as an Additional Insured, against claims, demands, suits and related costs, including attorneys' fees, arising from any bodily injury or property damage which may occur as a result of the encroachment. (Sec. 5-29 (h)(1)) (T&ES)

Archaeology

- F-1 No archaeological oversight necessary on this project.

V. ATTACHMENTS

- 1 – Application for BAR 2018-00061 & 2018-00062: 1321 Duke Street*
- 2 – Supplemental Materials*

BAR Case # _____

ADDRESS OF PROJECT: 1321 DUKE STREET, ALEXANDRIA VA 22314TAX MAP AND PARCEL: *ZONING: CDSEE SITE PLAN A1.0

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☐ Property Owner ☒ Business (Please provide business name & contact person)Name: REINGOLD - JOSEPH NEY, PARTNERAddress: 433 EAST MONROE AVE.City: ALEXANDRIA State: VA Zip: 22301Phone: 202-333-0400 E-mail: JNEY@REINGOLD.COMAuthorized Agent (if applicable): ☐ Attorney ☒ Architect ☐ _____Name: JOHN HENSLEYPhone: 703-685-7777E-mail: JHENSLEY@JOHNHENSLEYARCHITECTS.COM

Legal Property Owner:

Name: AMERICAN SOCIETY OF CONSULTING PHARMACISTS FRANK GROSSOAddress: 1321 DUKE ST.City: ALEXANDRIA State: VA Zip: 22314Phone: 703-739-1300 E-mail: _____

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
☐ Yes ☒ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☒ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--|---|--|-----------------------------------|
| <input checked="" type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input checked="" type="checkbox"/> doors | <input checked="" type="checkbox"/> windows | <input checked="" type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input checked="" type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☐ ADDITION
☐ DEMOLITION/ENCAPSULATION
☒ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

SEE ATTACHED DESCRIPTION.

* FIRST FLOOR EXTERIOR WORK - SOME REMO WORK TO INCLUDE LARGER WINDOWS, FOR NEW OFFICE SPACE.

* PAINT EXISTING BRICK PLEASE SEE 2 PAGES IN ATTACHED DOCUMENTS (SHEET S1-S5)

* REPLACE EXTERIOR WINDOWS

* NEW FRONT & SIDE SIGNAGE & LOGO.

* RELOCATE GAS METER TO THE SIDE ALLEY.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- | | |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> Survey plat showing the extent of the proposed demolition/encapsulation. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> Description of the reason for demolition/encapsulation. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible. |

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- N/A
- ☒ ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
 - ☒ ☐ FAR & Open Space calculation form.
 - ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
 - ☒ ☐ Existing elevations must be scaled and include dimensions.
 - ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
 - ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
 - ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A
- ☒ ☐ Linear feet of building: Front: 77.5' Secondary front (if corner lot): N/A
 - ☐ ☒ Square feet of existing signs to remain: N/A
 - ☒ ☐ Photograph of building showing existing conditions.
 - ☒ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
 - ☒ ☐ Location of sign (show exact location on building including the height above sidewalk).
 - ☒ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
 - ☒ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- N/A
- ☒ ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
 - ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
 - ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
 - ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: _____

Date: _____

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. REINGOLD	433 E. MONROE AVE. ALEXANDRIA	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 1321 DUKE ST. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. AMERICAN SOCIETY OF CONSULTING PHARMACISTS	1321 DUKE ST. ALEXANDRIA	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

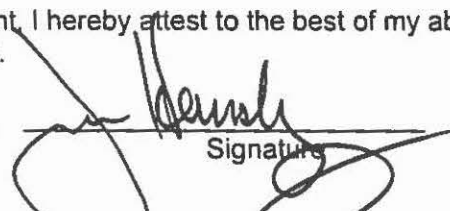
Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

1/22/18
Date

Don HENSLEY
Printed Name


Signature

Application - Board of Architectural Review

Reingold 3 – 1321 Duke Street

Description of Proposed Work:

- The alteration work proposed includes replacing all exterior windows with aluminum clad windows (Please see attached color sample).
- We are proposing painting all the exterior brick above the first floor to Benjamin Moore Iron Mountain Gray (Please see color sample attached).
- The first floor currently has two enclosed & partially enclosed garages. We would like to demolish partial portions of front façade and the front garage door on the first floor. This would allow us to include larger windows on the front façade, making the existing garage into a usable office/conference area. The new alterations would be composed of natural cedar siding and a painted metal detail above the cedar, all along the front façade, turning into the alley within the property line. The rear garage will remain untouched other than painting and cleaning.
- We are also proposing a new awning made of glass and steel above the existing front entry.
- The entry doors and sidelights will be replaced to match the new windows.
- New signage will be located on the left hand side of the entry. Please see drawings. As well as the logo on the side ally side of the building. Please see East Elevations.
- Finally we would like to move the gas meter to the side alley or back of the building, hidden away from the front façade.
- Regarding the fourth floor dormers we would like to paint them Iron Mountain Gray.
- The metal roof caps we would be painted black.



DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property Information

A1. Street Address 1321 DUKE STREET ALEXANDRIA VA Zone CD

A2. 8,449 SF x 2.7 = 22,812.3 SF
 Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	—	Basement**	—
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Other**	
Porches/ Other		Total Exclusions	
Total Gross *	<u>28,246</u>		

B1. Existing Gross Floor Area *

28,246 Sq. Ft.

B2. Allowable Floor Exclusions**

5,220 Sq. Ft.

B3. Existing Floor Area minus Exclusions

23,026 Sq. Ft.

(subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Other**	
Porches/ Other		Total Exclusions	
Total Gross *			

*** NO ADDITIONAL INTERIOR AREA TO BE ADDED. A NON-STRUCTURE WOOD FINISH IS TO BE ADDED OVER EXISTING EXTERIOR WALL**

C1. Proposed Gross Floor Area *

Sq. Ft.

C2. Allowable Floor Exclusions**

Sq. Ft.

C3. Proposed Floor Area minus Exclusions

Sq. Ft.
(subtract C2 from C1)

*** N/A**

D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) _____ Sq. Ft.

D2. Total Floor Area Allowed by Zone (A2) _____ Sq. Ft.

*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

F. Open Space Calculations

Existing Open Space	
Required Open Space	
Proposed Open Space	

*** N/A**

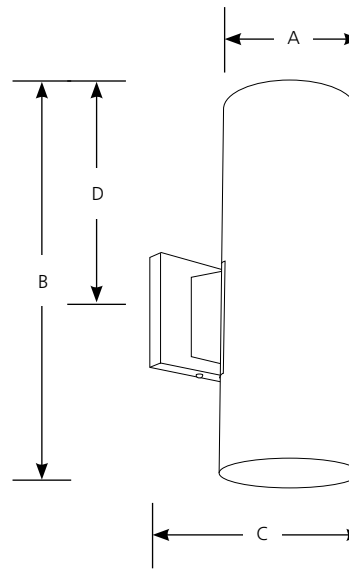
FOR NON RESIDENTIAL AREAS IN THE CD ZONE

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: [Signature] Date: 1/23/18

Type _____
 -20 -30 -31 -82
 P5675 ☐ ☐ ☐ ☐

Catalog No.	Finish				Lamping	Dimensions (Inches)			
	Antique		Metallic			A	B	C	D
	Bronze	White	Black	Gray					
P5675	-20	-30	-31	-82	2-75w PAR30	4-3/4	14	8	7



Specifications:

General

- Extruded aluminum .125 wall thickness one piece cylinder
- Cast aluminum wall bracket
- Up/Down lighting. P8799-31 top cover lens recommended when unit is used outdoors
- Powder coat painted Antique Bronze (-20), White (-30), Black (-31) or Metallic Gray (-82) finishes
- Interior finish matches exterior finish

Mounting

- Covers any outlet box
- Cast mounting bracket is 4-1/2" square
- Outlet box mounting bracket supplied permitting attachment of unit to wall with one almost invisible set screw

Electrical

- Medium base porcelain socket with nickel plated brass screw shell

Accessories

- P8799-31 Top lens cover

Labeling

- UL-CUL wet location listed - with top cover
- UL-CUL listed for indoor use with no cover



Tongue and Groove Characteristics

Western Red Cedar tongue and groove is widely used for its good looks and versatility. It can be installed horizontally, vertically or diagonally, each method giving a distinctly different look. Tongue and groove siding is available with rough or smooth faces. Both seasoned (kiln-dried) and unseasoned (green) sidings are available.



Joints

The joints between adjoining pieces are usually v-shaped but flush jointed, reveal and radius joints are

Attachment 2

provide a range of shadow line effects that enhance the product's versatility.

Grades

Tongue and groove siding is manufactured in clear grades suitable for a more formal, elegant appearance, particularly when pieces are smooth faced. Knotty grades are in demand for their smart, casual look.

Locate a [Real Cedar Siding Retailer](#) here and get started with your project today!

Tongue and Groove Grades

Tongue and groove siding is available with rough or smooth faces. Both seasoned (kiln-dried) and unseasoned (green) sidings are available.

The joints between adjoining pieces are usually v-shaped but flush jointed, reveal and radius joints are also available. The different joints and surface textures in tongue and groove siding combine to provide a range of shadow line effects that enhance the product's versatility.

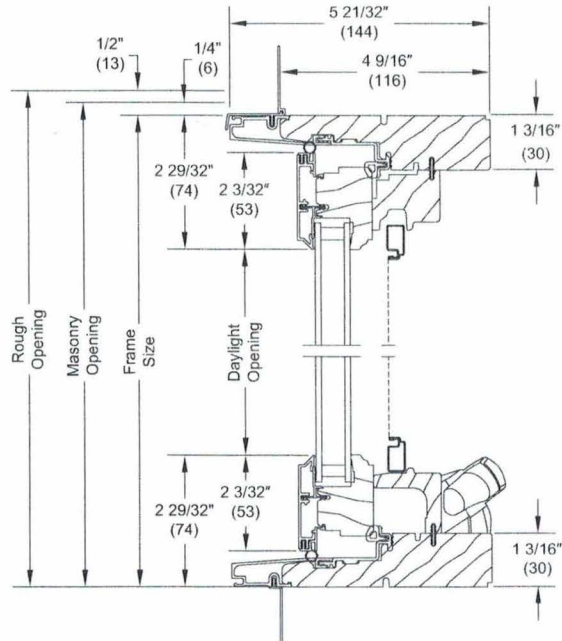
Clear Heart

The highest grade. Includes only pieces with heartwood on the exposed face. Many pieces completely clear, others have minor imperfections that do not detract from their fine appearance.

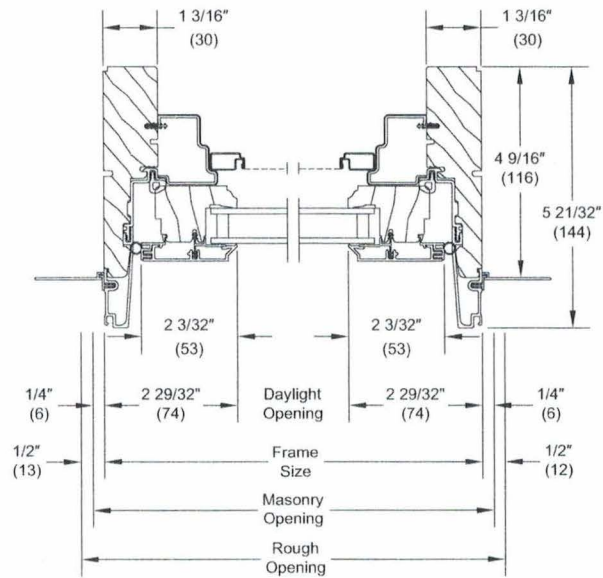
Section Details: Operating/Stationary/Picture - 3/4" (19) IG

Scale: 3" = 1' 0"

Operating

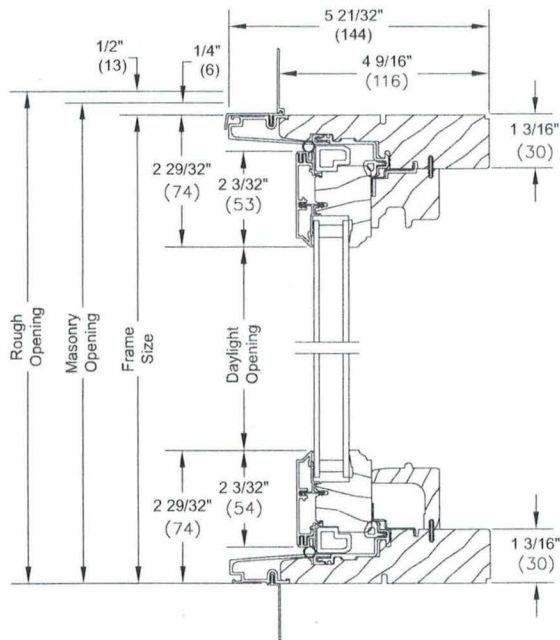


Head Jamb and Sill

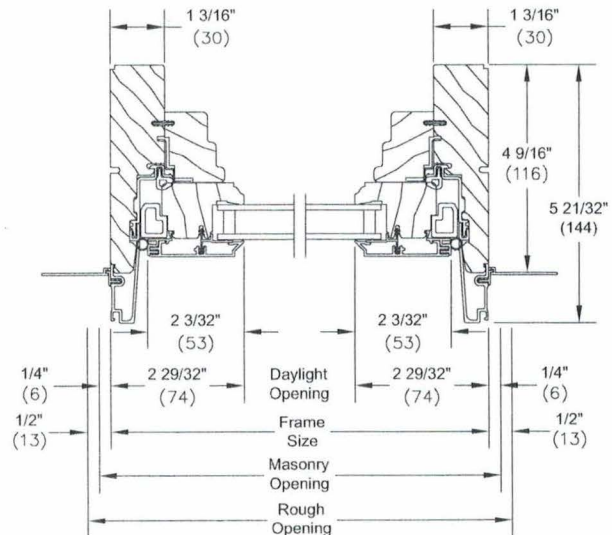


Jamb

Stationary/Picture



Head Jamb and Sill

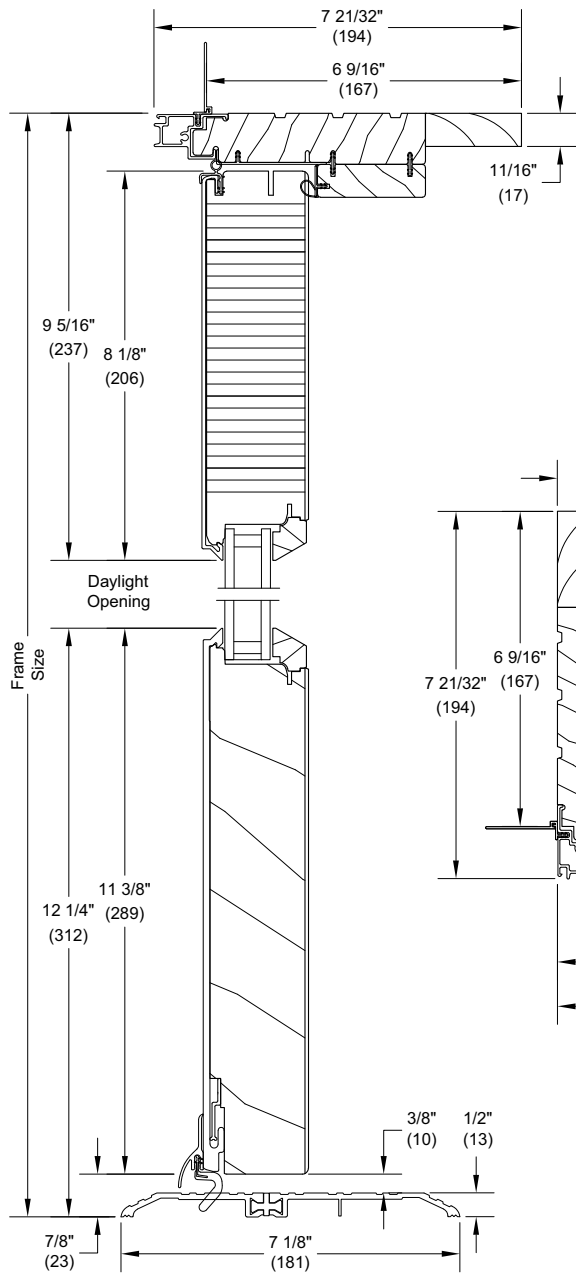


Jamb

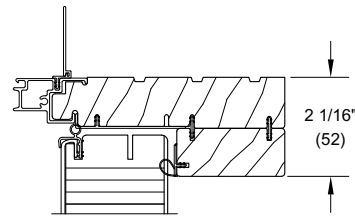
Clad Commercial Door

2 1/4" Commercial Section Details: Operating

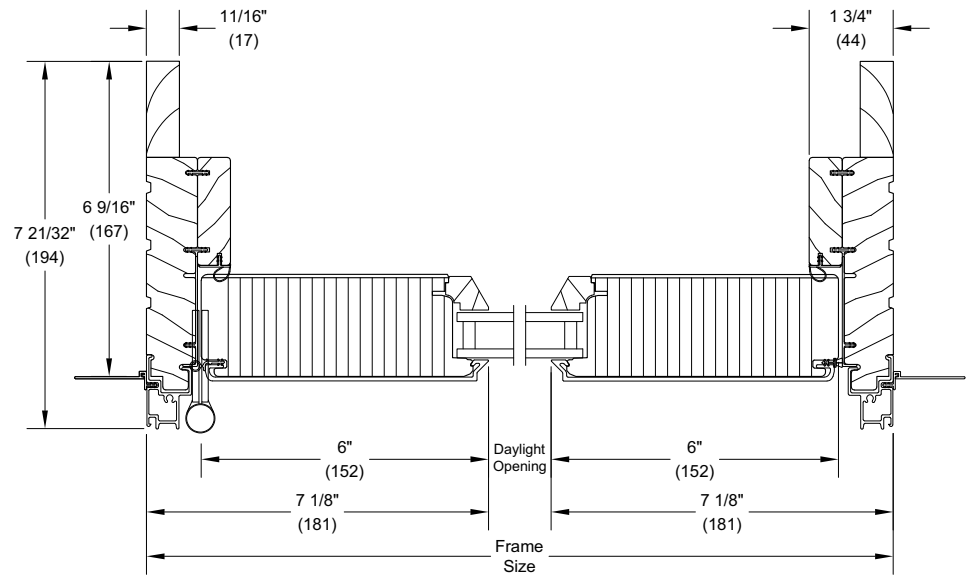
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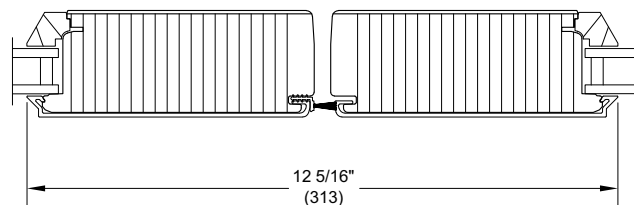
Head Jamb and Sill



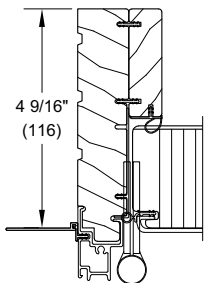
Head Jamb with
Von Duprin 5547 Hardware Prep



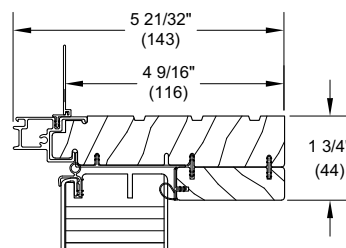
X - LHR - Jamb



XX - Meeting Stiles



4 9/16" Jamb

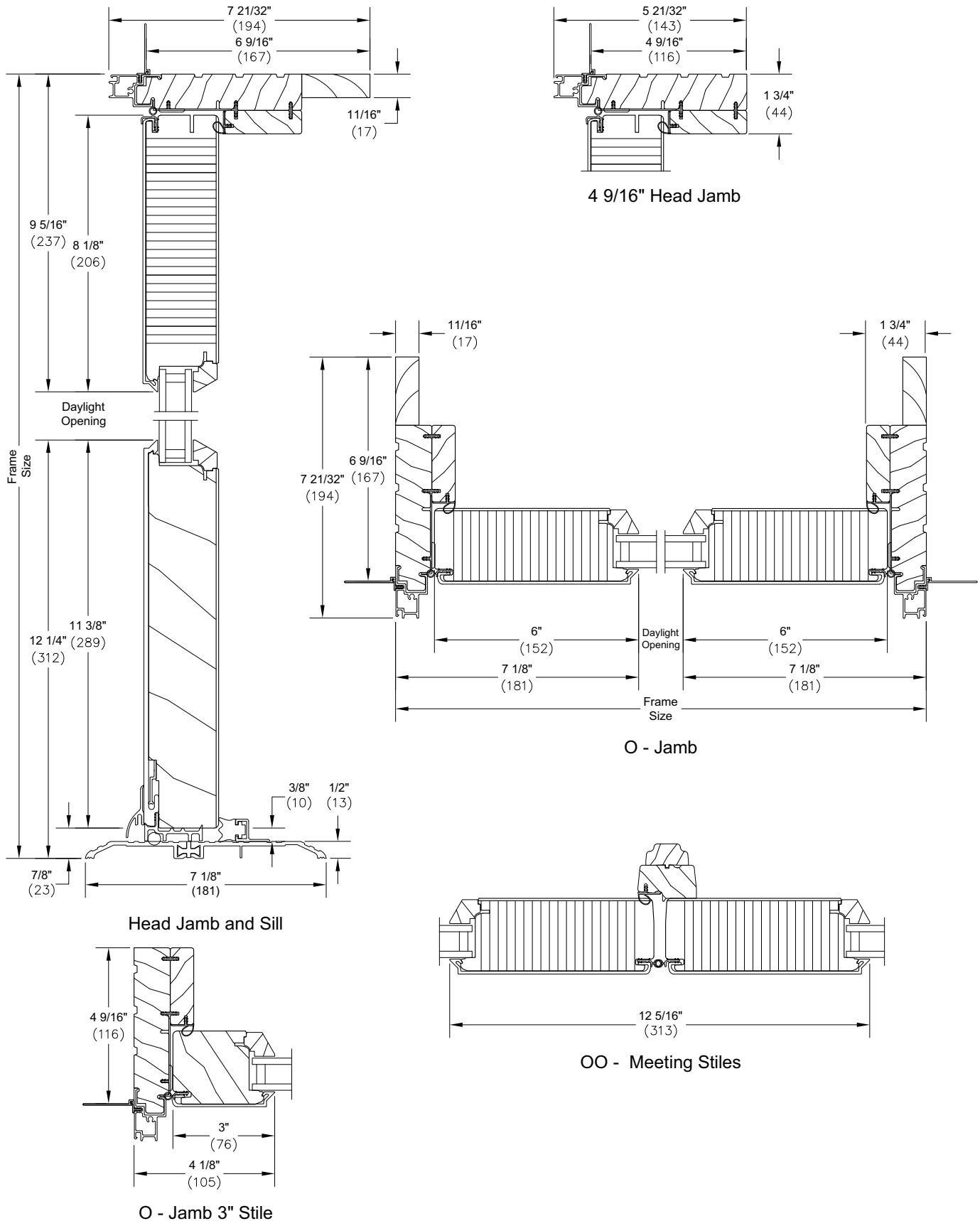


4 9/16" Head Jamb

Clad Commercial Door

2 1/4" Commercial Section Details: Stationary and Sidelite

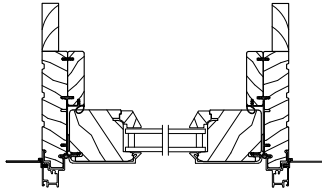
Scale: 3" = 1' 0"



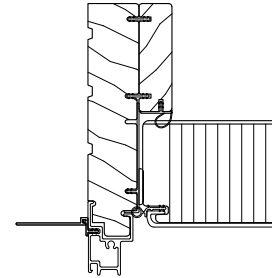
Clad Commercial Door

2 1/4" Commercial Section Details: Panel Configurations

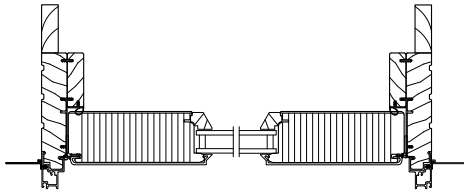
Scale: 1 1/2" = 1'



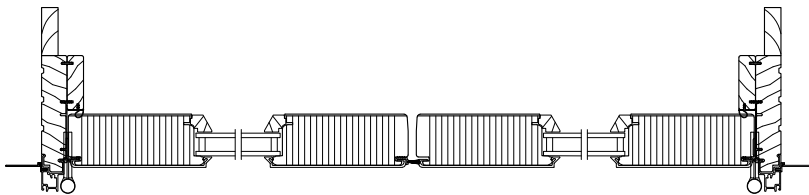
Sidelite Jamb



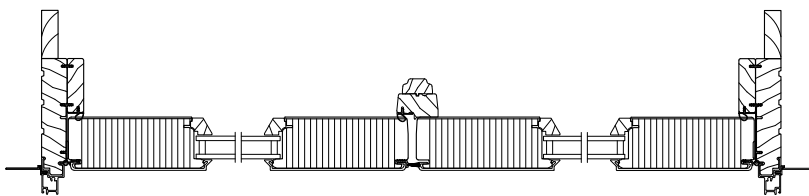
4 9/16" - Jamb
Scale: 3" = 1'-0"



O Jamb



XX - RHRA Jamb

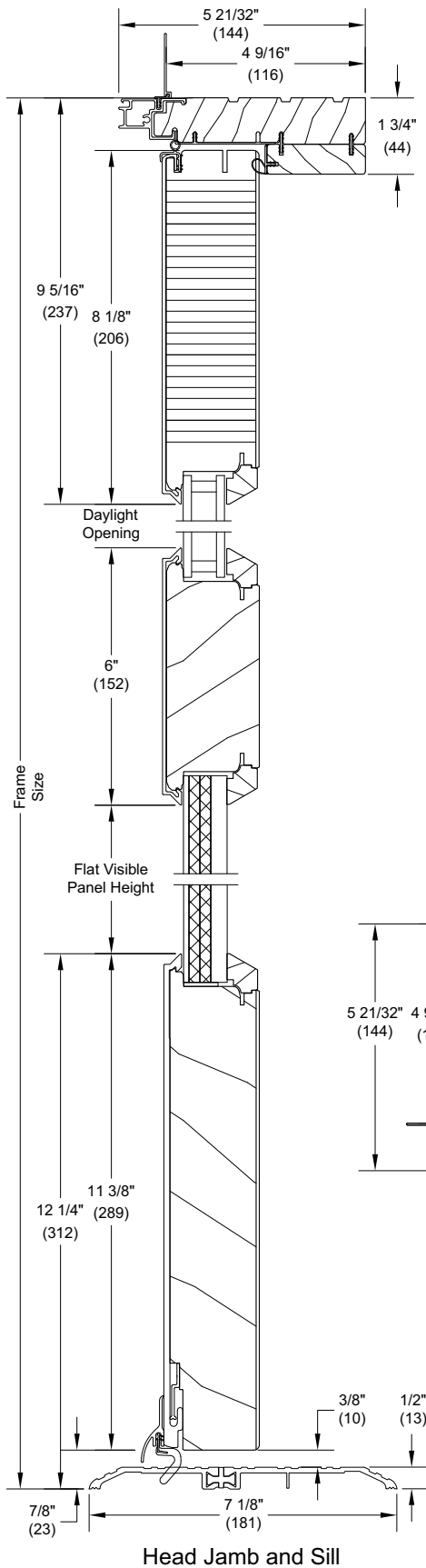


OO Jamb

Clad Commercial Door

2 1/4" Commercial Section Details: Flat Panel Placement

Scale: 3" = 1' 0"

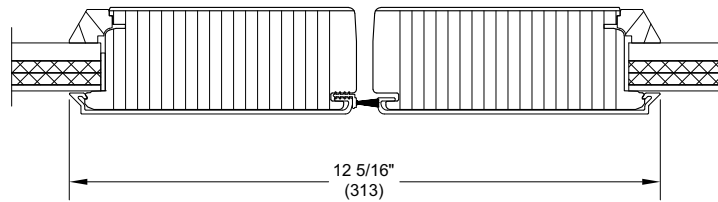


Flat Panel - Standard Configuration/ Low Placement

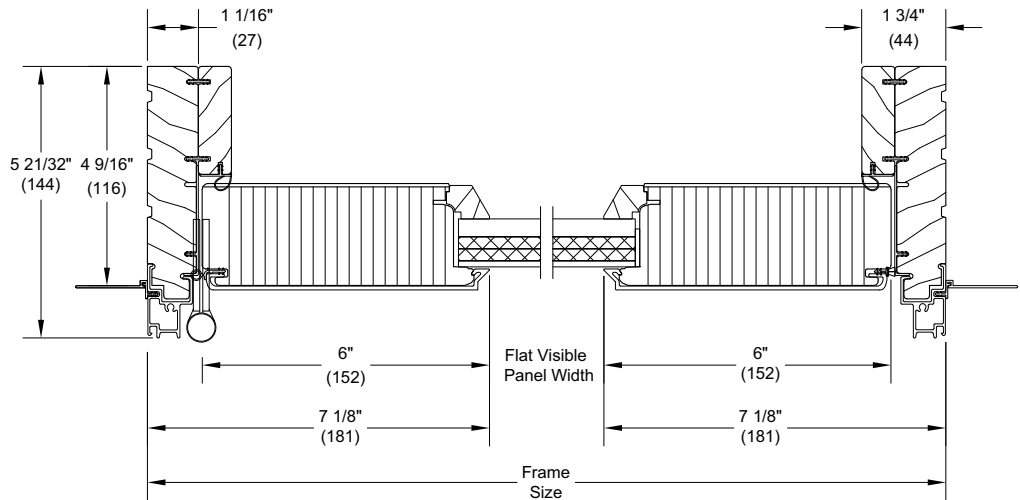
6" intermediate rail placed 26" (660) O.C. from bottom of the door sill with 10 13/16" (275) visible panel height.

Flat Panel - Standard Configuration/ High Placement

6" intermediate rail placed 40 5/16" (1024) O.C. from bottom of the door sill with 25 1/8" (638) visible panel height.



XX - Meeting Stiles

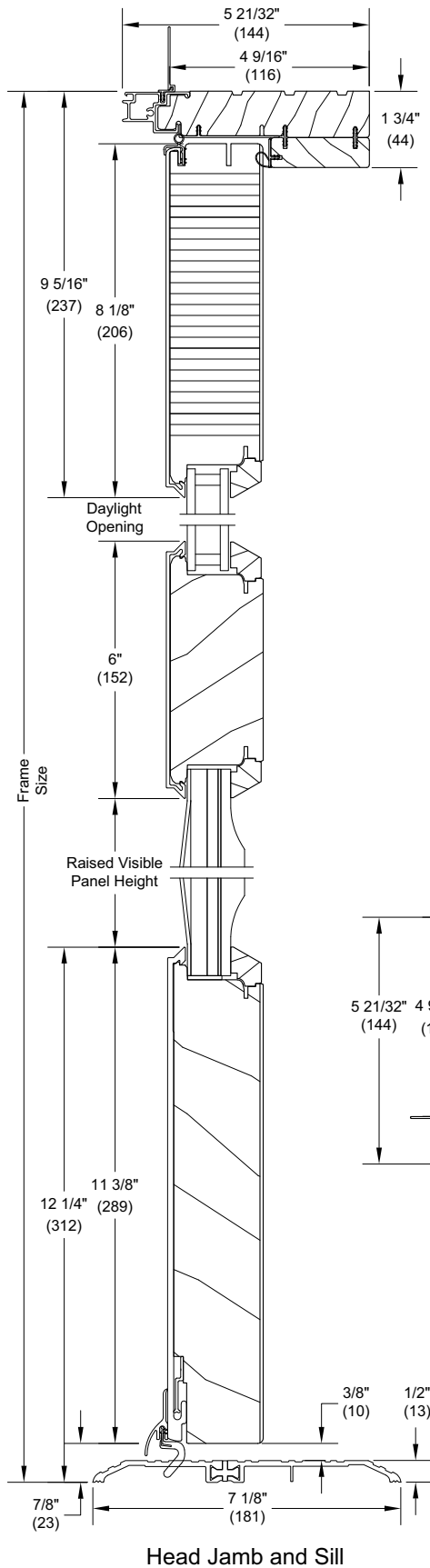


X - LHR - Jamb

Clad Commercial Door

2 1/4" Commercial Section Details: Raised Panel Placement

Scale: 3" = 1' 0"

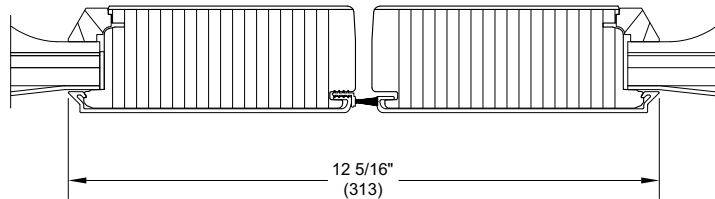


Raised Panel - Standard Configuration / Low Placement

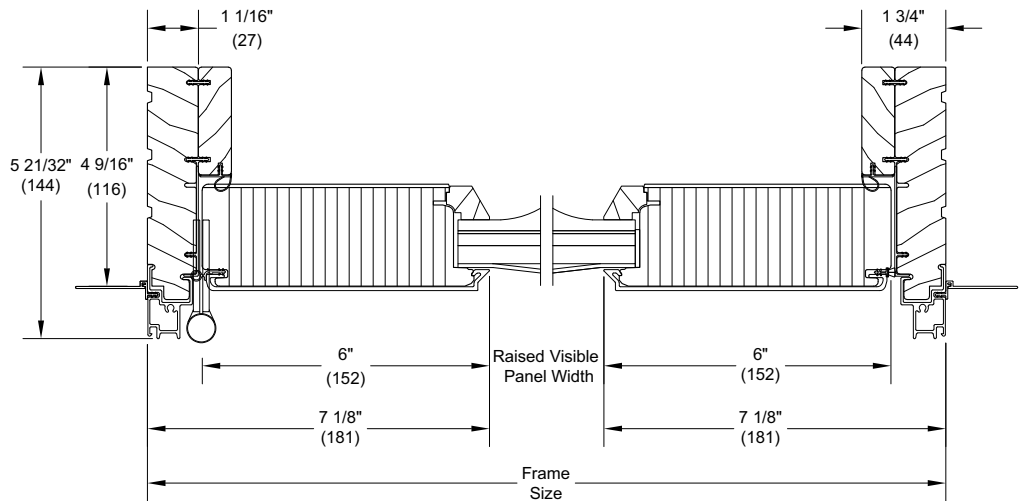
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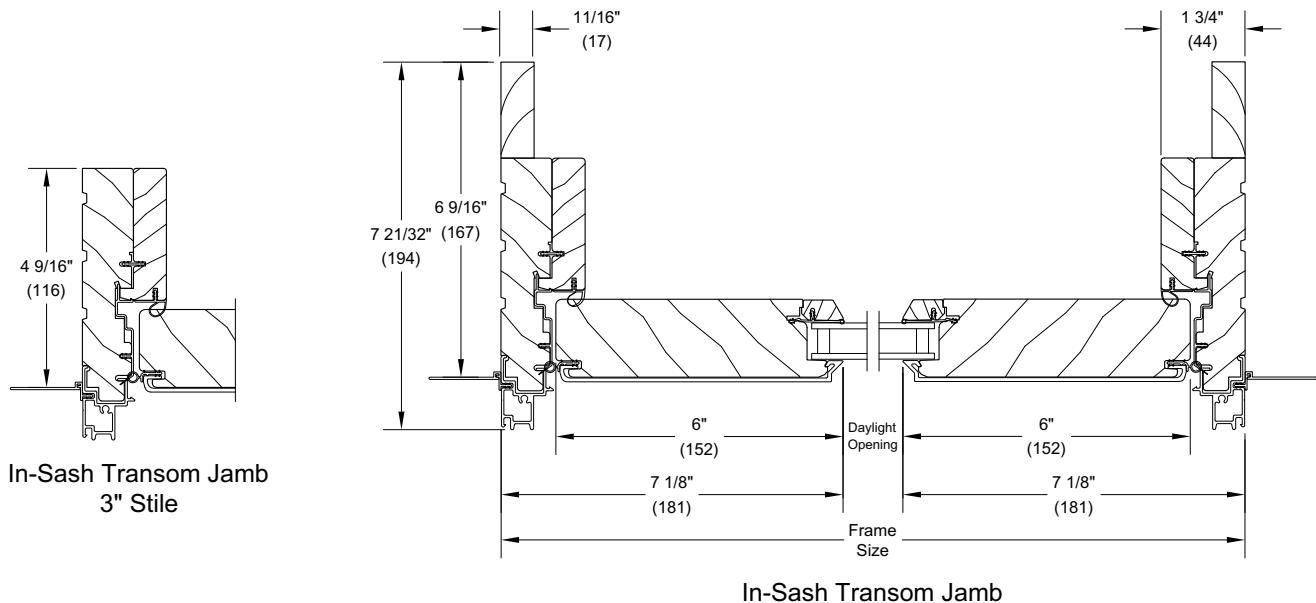
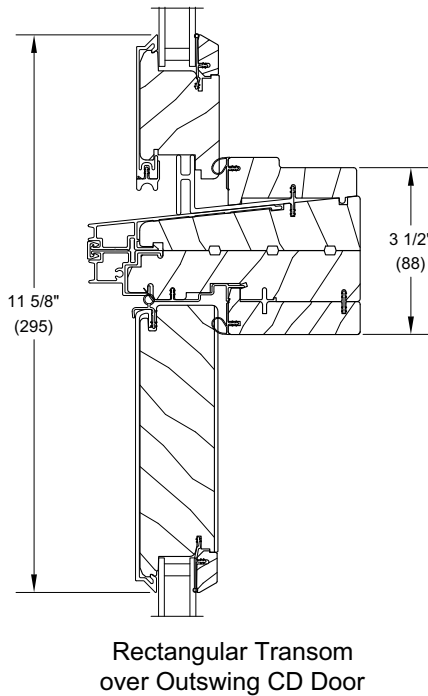
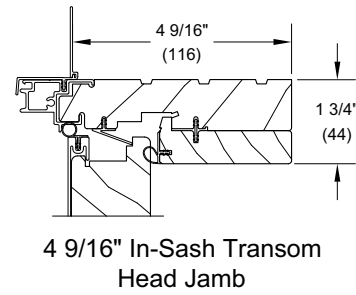
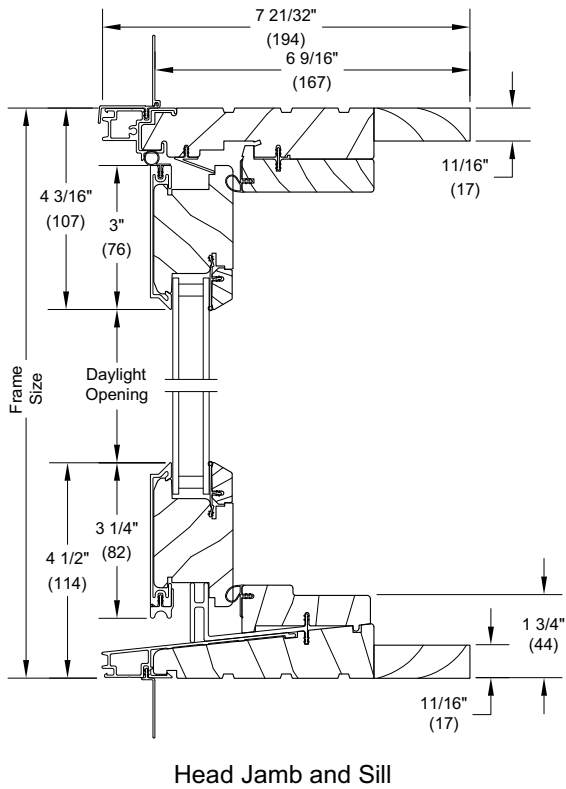


XX - Meeting Stiles



X - LHR - Jamb

Scale: 3" = 1' 0"

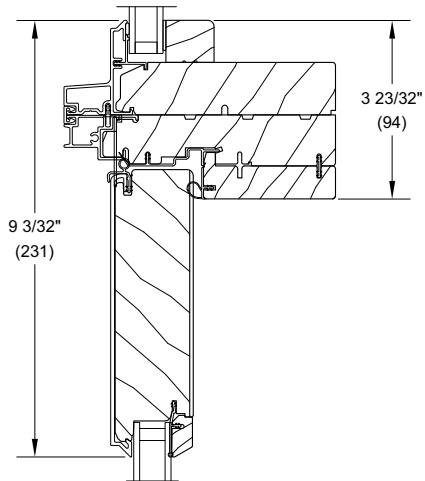
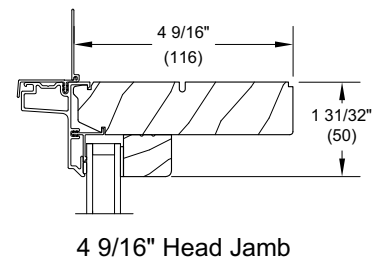
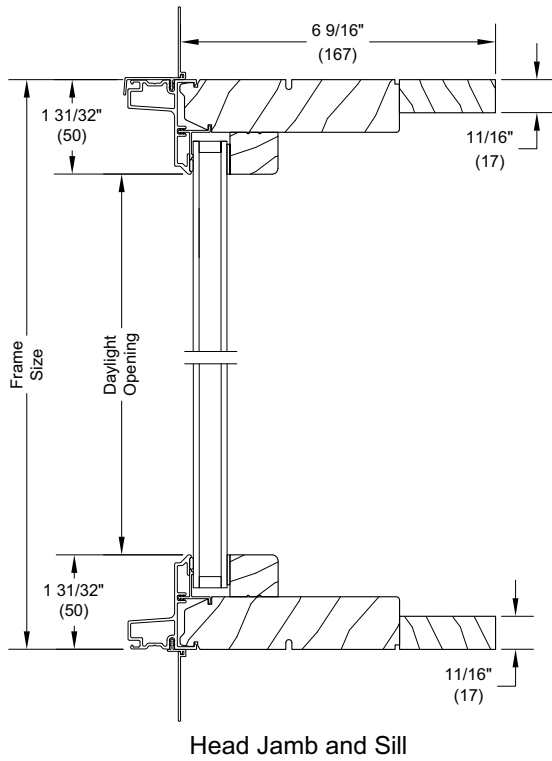


NOTE: Sidelite Transom not available with CE mark.

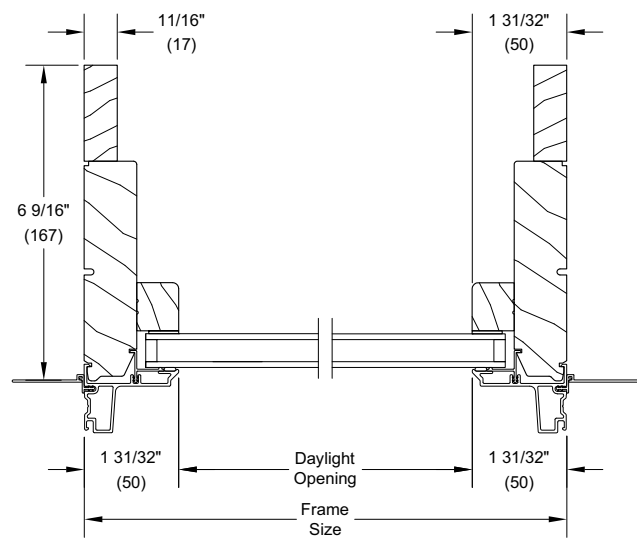
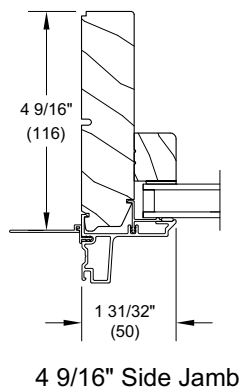
Clad Commercial Door

1 3/4" and 2 1/4" Commercial Section Details: Direct Glaze Transom

Scale: 3" = 1' 0"



Rectangular Direct Glaze Transom
over 1 3/4" Commerical Door w/ 4 9/16" Jamb



Direct Glaze Transom Jamb

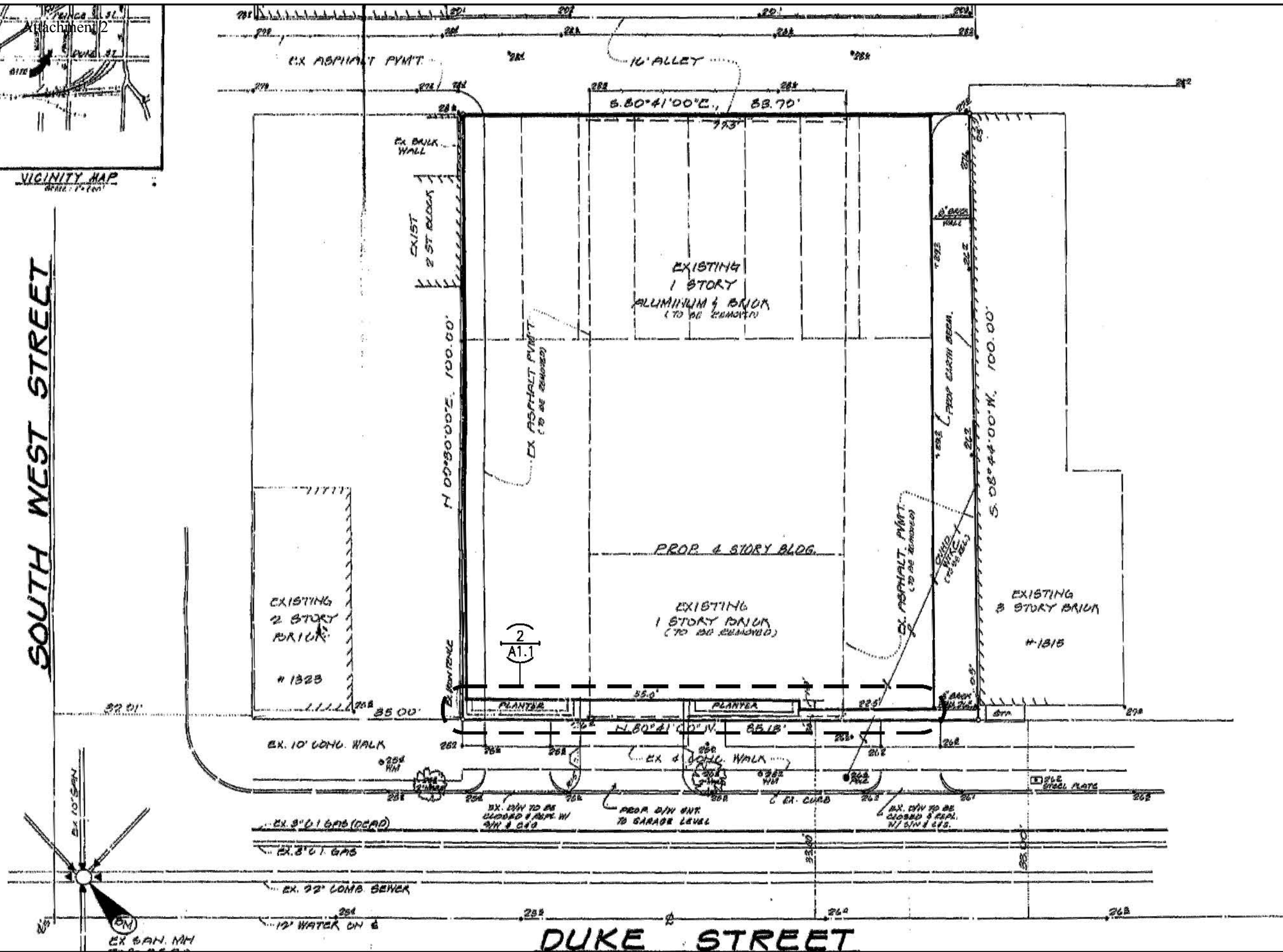
REINGOLD 3

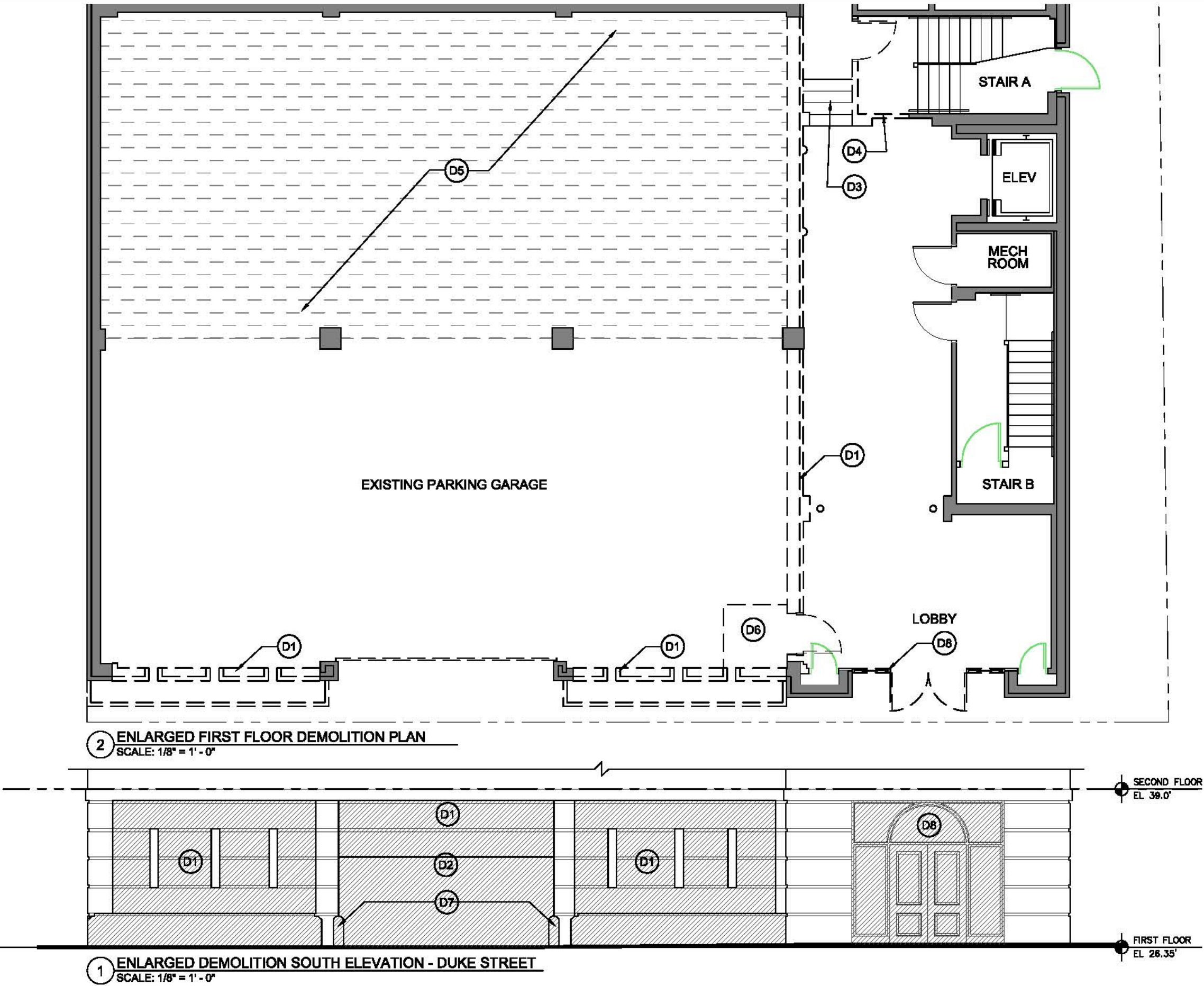
1321 DUKE STREET, ALEXANDRIA VA 22314



HISTORIC PRESERVATION REVIEW SET
DATE: 02/14/2018 REVISED SET

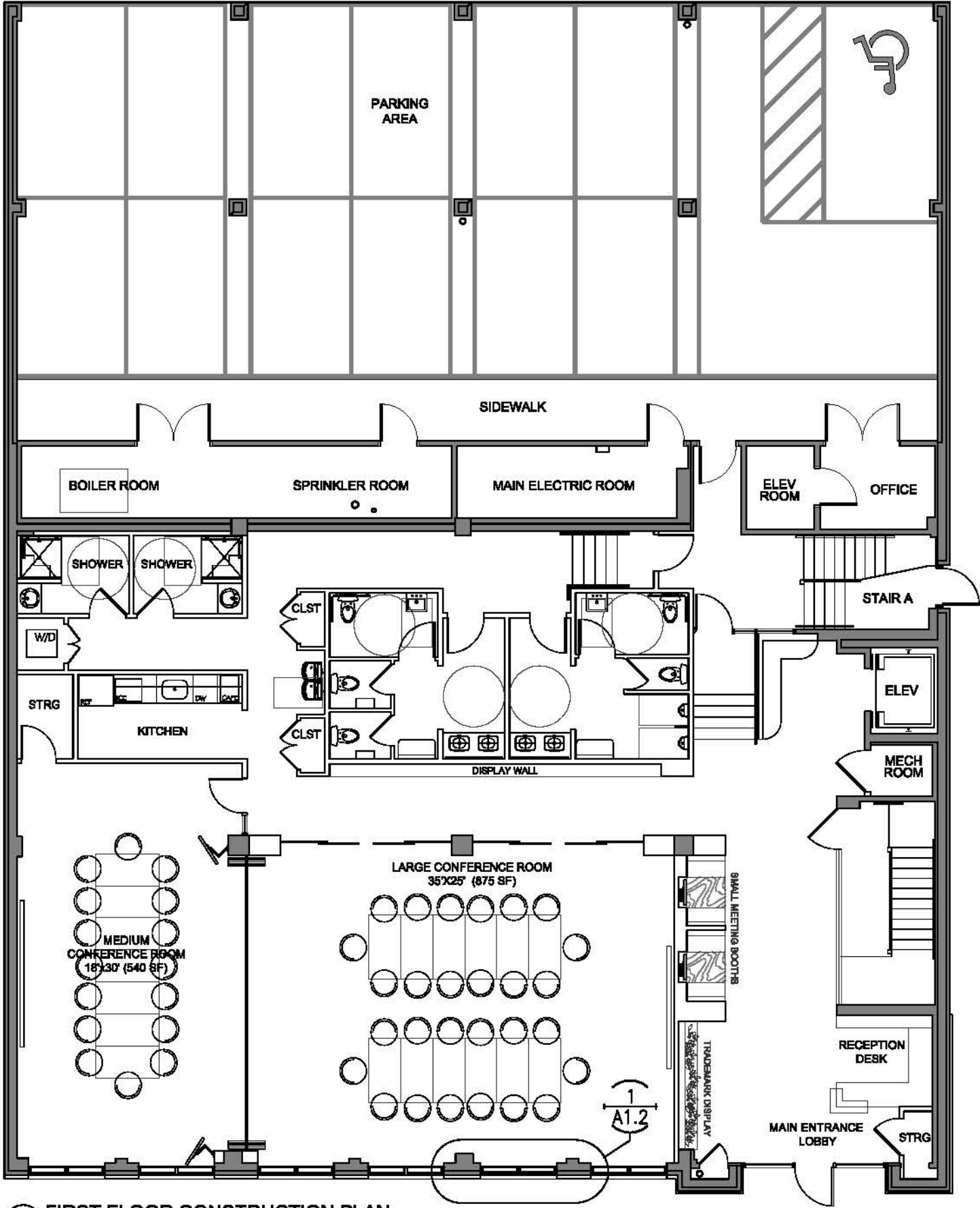
VICINITY MAP
Scale: 1" = 100'



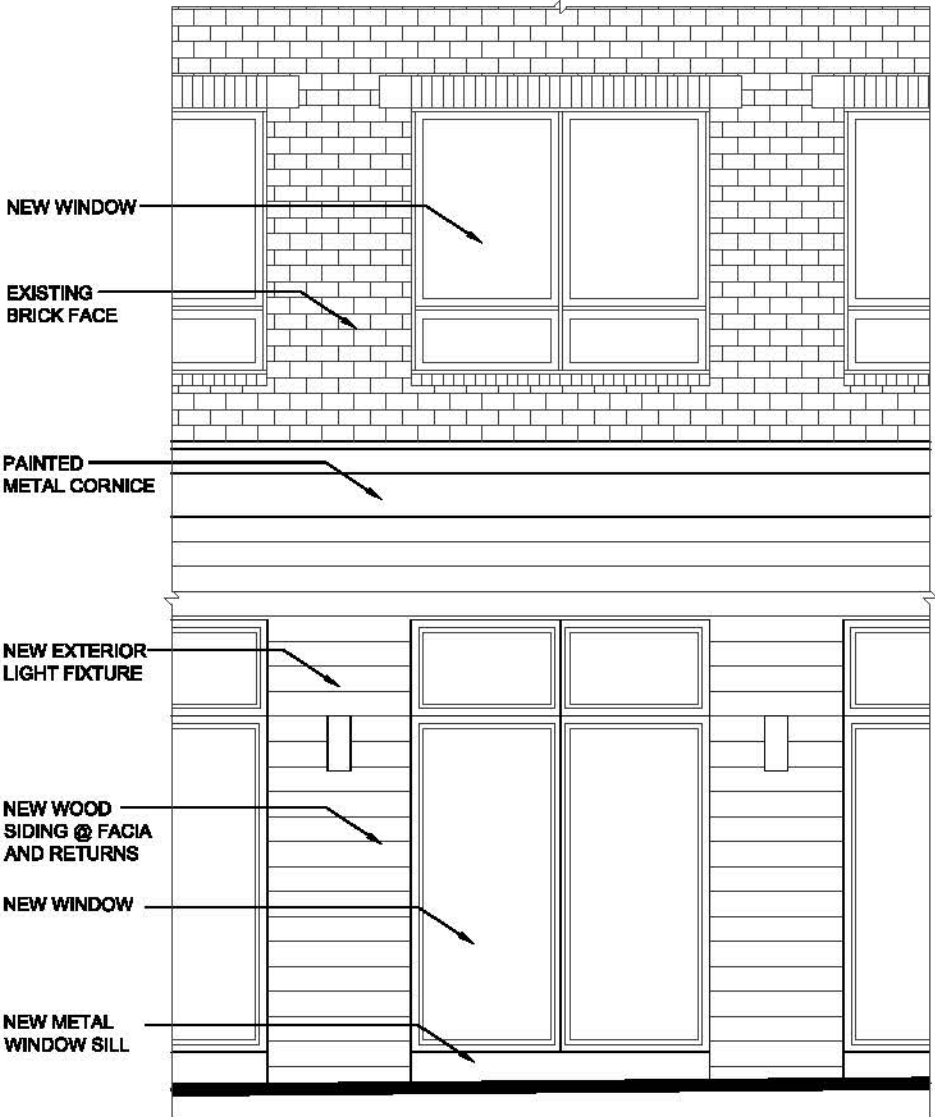


- DEMOLITION SHEET NOTES:**
- D1 DEMOLISH EXISTING BRICK FACE & CMU WALL PER DRAWINGS.
 - D2 DEMOLISH EXISTING GARAGE DOOR
 - D3 REMOVE EXISTING CARPET AND FINISHES TO SLAB
 - D4 DEMOLISH EXISTING STAIR WALL
 - D5 DEMOLISH PARTIAL EXISTING GARAGE SLAB TO LEVEL WITH LOBBY SLAB
 - D6 DEMOLISH EXISTING CONCRETE RAMP
 - D7 REMOVE EXISTING BOLLARDS
 - D8 REMOVE EXISTING ENTRANCE DOORS, SIDELITES AND TRANSON

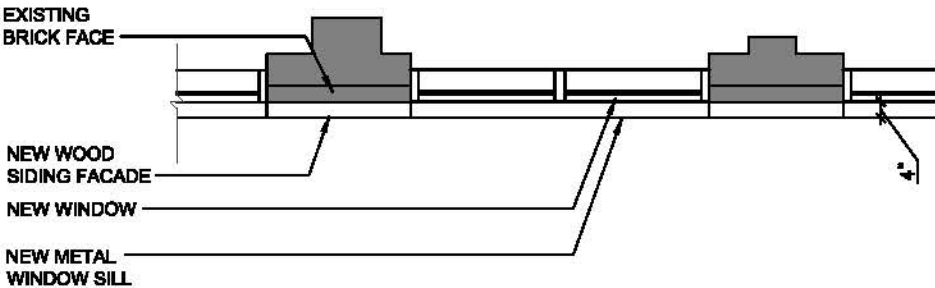




3 FIRST FLOOR CONSTRUCTION PLAN
SCALE: 3/32" = 1' - 0"



2 ENLARGED WINDOW ELEVATION
SCALE: 1/4" = 1' - 0"

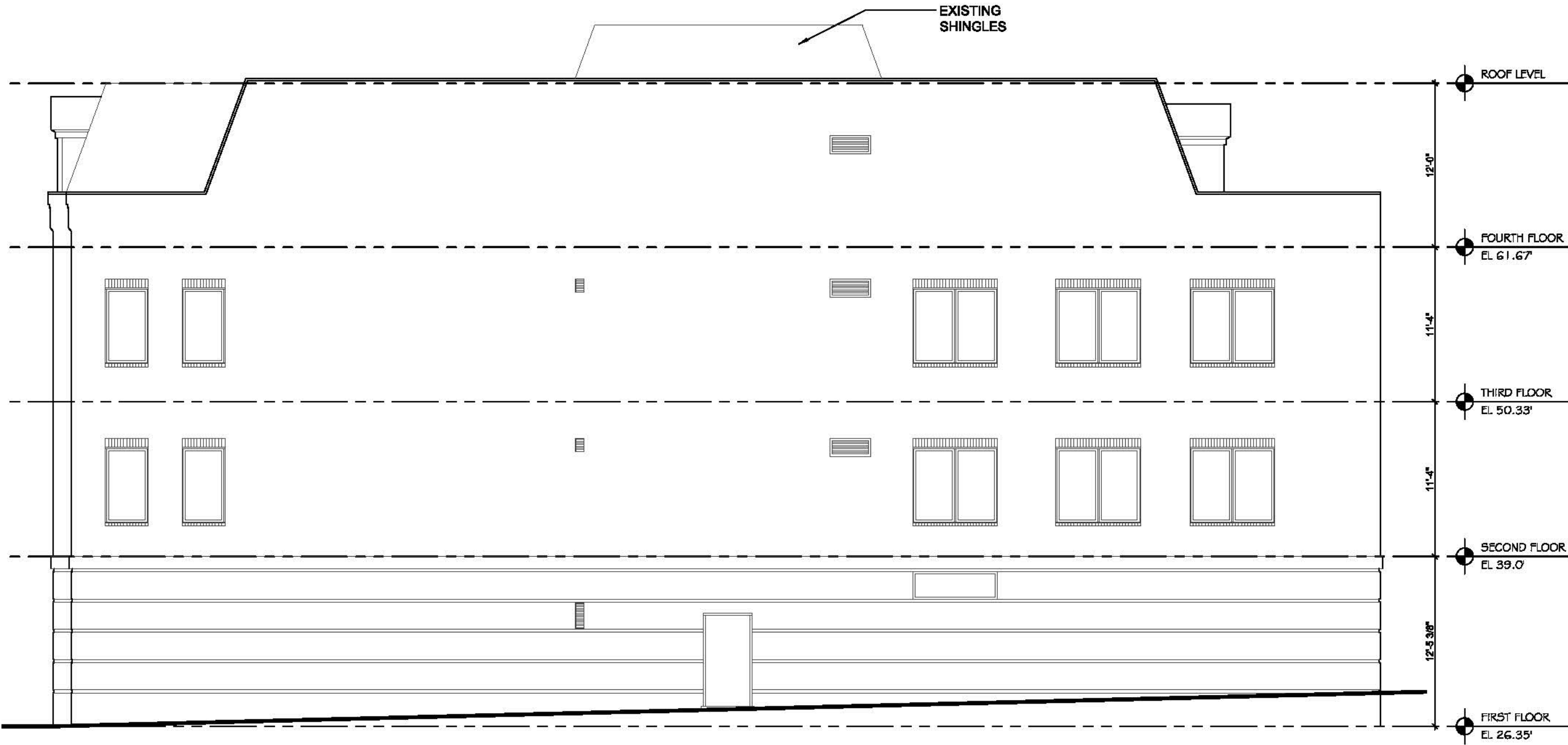


1 ENLARGED PLAN DETAIL
SCALE: 1/4" = 1' - 0"





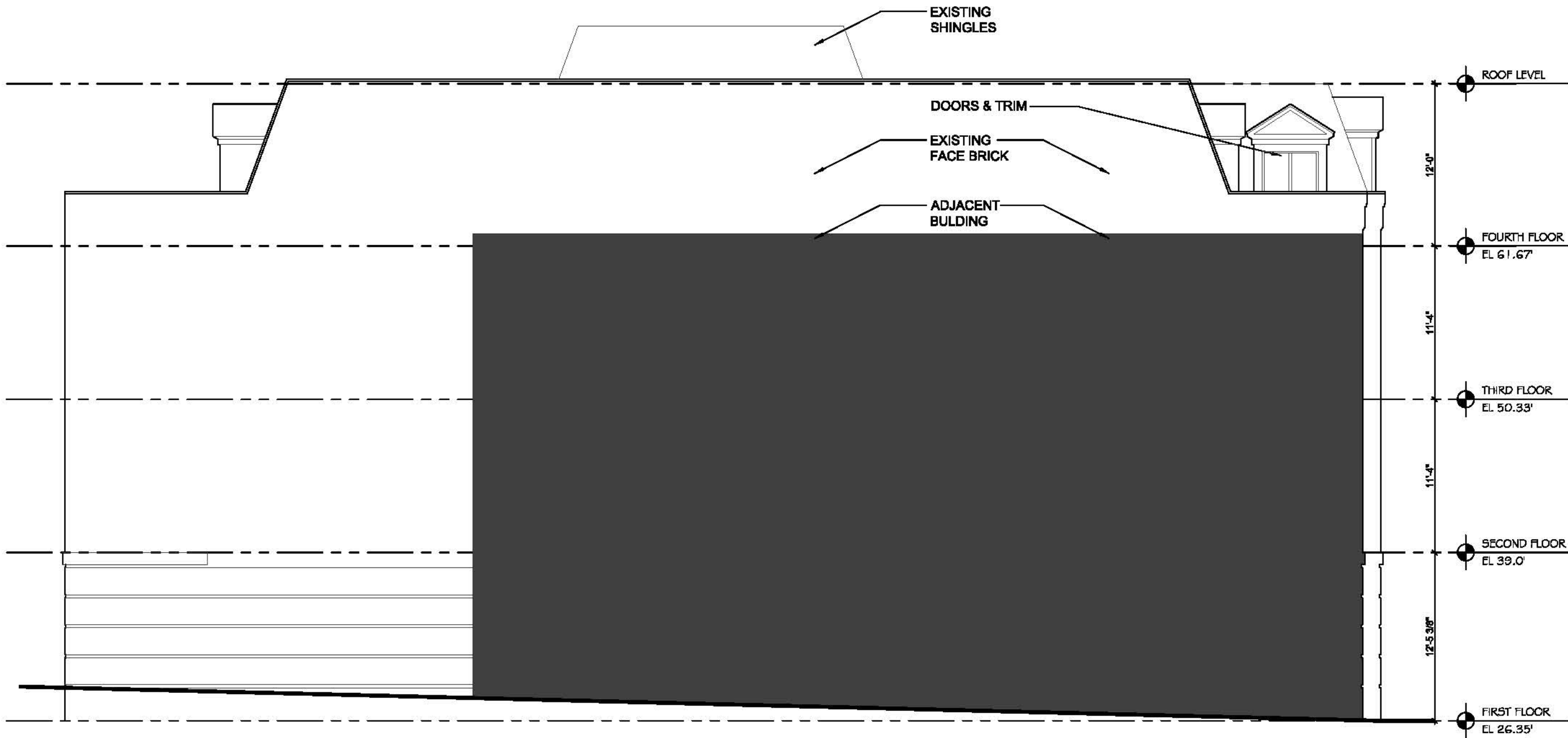
1 EXISTING SOUTH ELEVATION - DUKE STREET
SCALE: 1/8" = 1' - 0"



1 EXISTING EAST ELEVATION - SIDE YARD PEDESTRIAN WALKWAY
SCALE: 1/8" = 1' - 0"



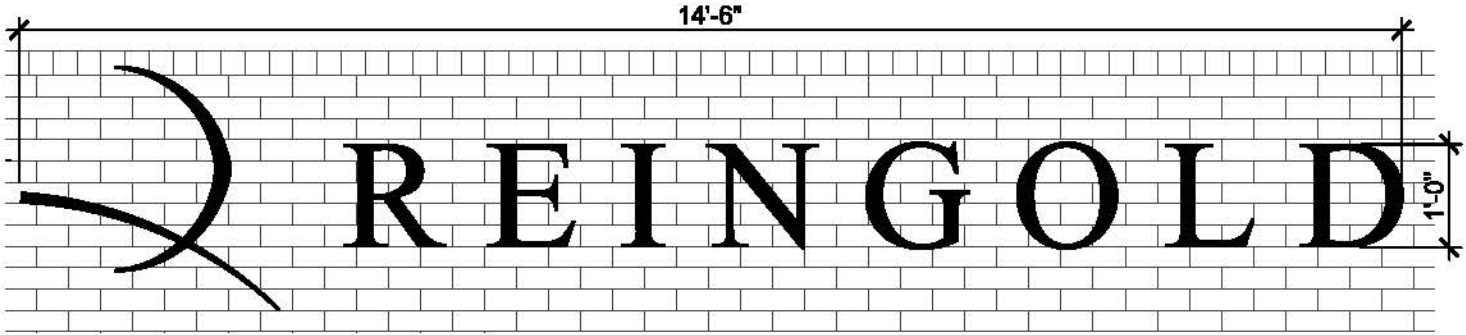
1 EXISTING NORTH ELEVATION - BACK ALLEY
SCALE: 1/8" = 1' - 0"



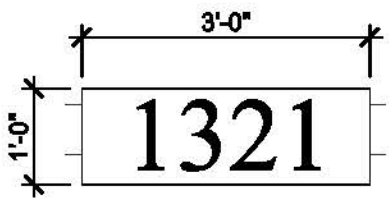
1 EXISTING WEST ELEVATION
SCALE: 1/8" = 1' - 0"



4 EXISTING REFERENCE PHOTOGRAPH



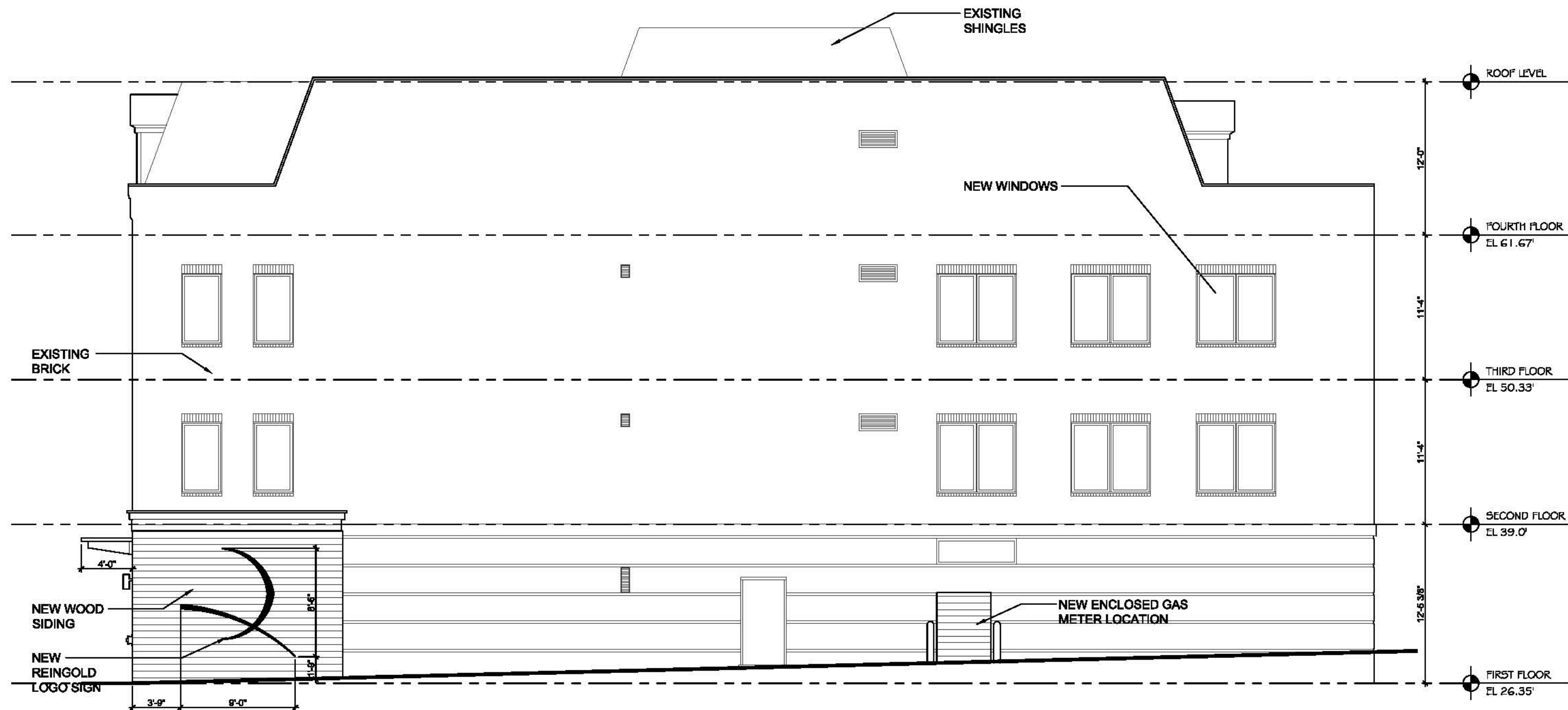
3 ENLARGE MAIN SIGN
SCALE: 1/2" = 1' - 0"



2 ENLARGE DOOR SIGN
SCALE: 1/2" = 1' - 0"

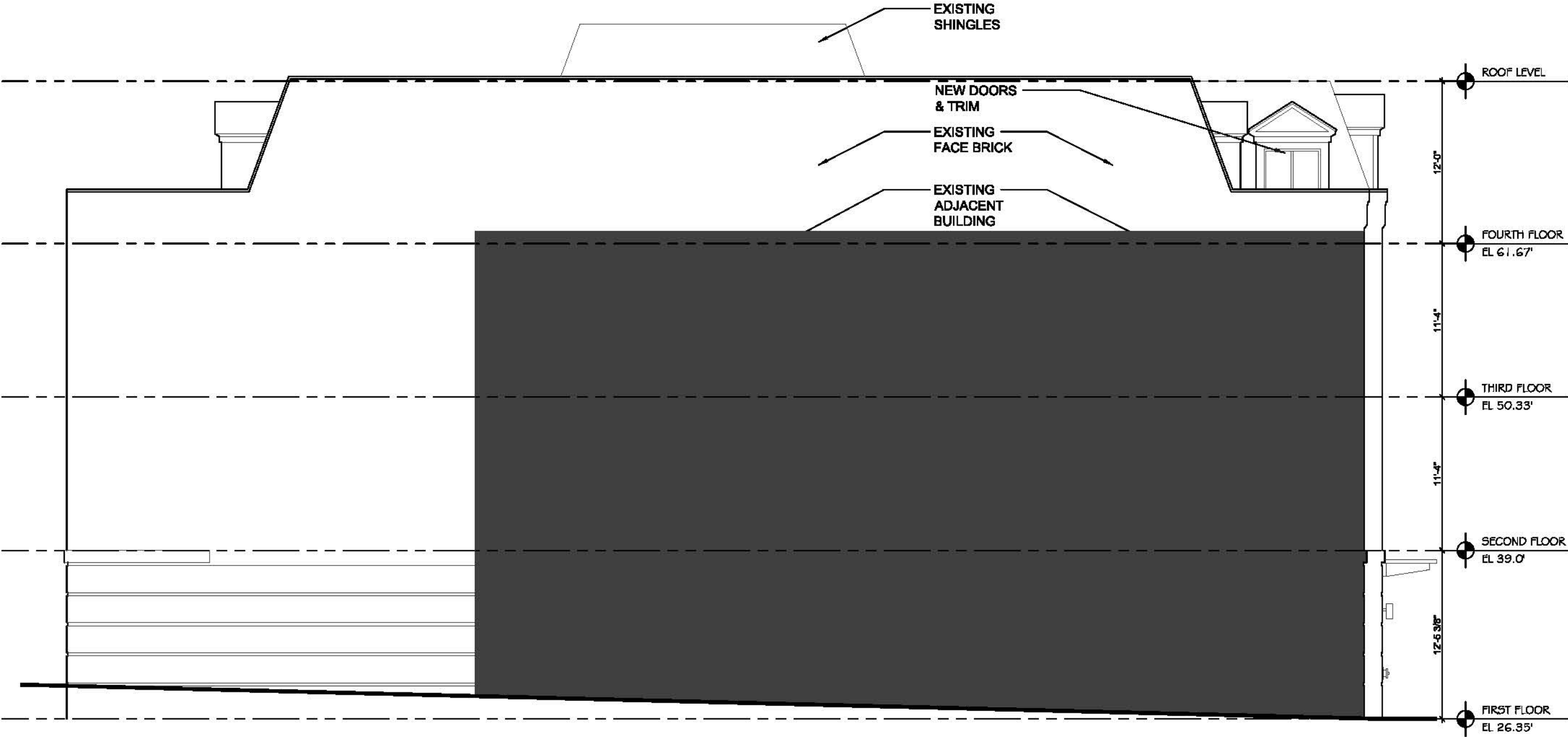


1 SOUTH ELEVATION - DUKE STREET SIDE
SCALE: 1/8" = 1' - 0"



1 EAST ELEVATION - SIDE YARD PEDESTRIAN WALKWAY
SCALE: 1/8" = 1' - 0"





1 WEST ELEVATION
SCALE: 1/8" = 1' - 0"

4'-0"

14'-6"

2/A3.4

3 ENLARGED CANOPY PLAN
SCALE: 1/2" = 1' - 0"

1
A3.4STRUCTURAL
CANOPY BEAM1/2" LAMINATED
GLASS PANELS

1321

2 ENLARGED CANOPY ELEVATION
SCALE: 1/2" = 1' - 0"

PAINTED BLACK
CORNICE

CANOPY DRAIN

1/2" CANOPY
GLASSSTRUCTURAL
CANOPY BEAM
ATTACHED TO
STEEL FRAMINGPAINTED STEEL
PANEL FLUSH W/
WOODTRANSOM
WINDOW

SIDELIGHT

2 1/4" COMMERCIAL CLAD
ENTRY DOORSTAINED 6"
V-GROOVED
CEDAR WOOD
SIDING

1 CANOPY SECTION DETAIL
SCALE: 1/2" = 1' - 0"

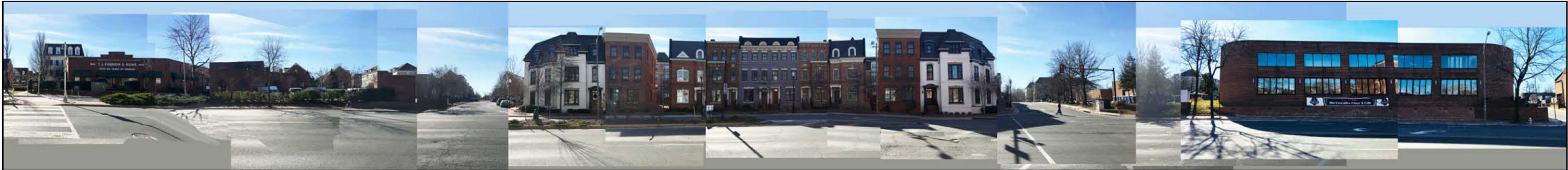


3 AERIAL PHOTOGRAPH

REINGOLD 3 LOCATION



2 SOUTH ELEVATION - DUKE STREET



1 DUKE STREET ACROSS THE STREET



4TH FLOOR BALCONY PHOTO



DUKE STREET VIEW - SOUTH SIDE



DUKE STREET VIEW - SOUTH SIDE



DUKE STREET SIDEWALK VIEW



DUKE STREET EXISTING GARAGE ENTRANCE



DUKE STREET MAIN ENTRANCE



ALLEY VIEW - EAST SIDE



ALLEY VIEW - WEST SIDE



ALLEY VIEW - NORTH SIDE





ALLEY - NORTH VIEW



DUKE STREET - SOUTH VIEW



DUKE STREET WEST SIDE PERSPECTIVE



DUKE STREET EAST SIDE PERSPECTIVE







ALLEY - NORTH VIEW



DUKE STREET - SOUTH VIEW



DUKE STREET WEST SIDE PERSPECTIVE



DUKE STREET EAST SIDE PERSPECTIVE



