

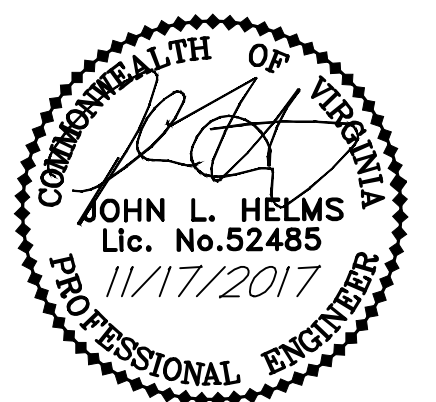
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engineering · surveying · land planning  
christopher consultants, ltd.  
9900 main street (fourth floor) · fairfax, va 22031-3907  
703.273.6820 · fax 703.273.7636



Building Code Data				
		211 Strand St.	205 Strand St.	203 Strand St. (ex'g to remain)
Use Group		R-2/M/S-2-A-3	R-3/M	A-2
Number of stories		5 + Occupied Roof	3	2
Type of Construction		II-B	III-B	existing
Floor Area per floor	1	13,632	2,750	3,325
	2	11,112	2,700	3,161
	3	12,953	2,700	n/a
	4	12,795	n/a	n/a
	5	12,566	n/a	n/a
Sprinklered		yes	yes	

Complete Streets Criteria		
	New	Upgraded
<b>Crosswalks (number)</b>		
Standard	0	0
High Visibility	0	0
<b>Curb Ramps</b>	0	0
<b>Sidewalks (LF)</b>	0	293
<b>Bicycle Parking (number of spaces)</b>		
Public/Visitor	2	N/A
Private/Garage	10	N/A
<b>Bicycle Paths (LF)</b>	N/A	N/A
<b>Pedestrian Signals</b>	0	0



<h1 style="margin: 0;">APPROVED</h1>	
SPECIAL USE PERMIT NO. <u>2016-0003</u>	
DEPARTMENT OF PLANNING & ZONING	
_____ DIRECTOR	_____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
CHAIRMAN, PLANNING COMMISSION _____ DATE _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

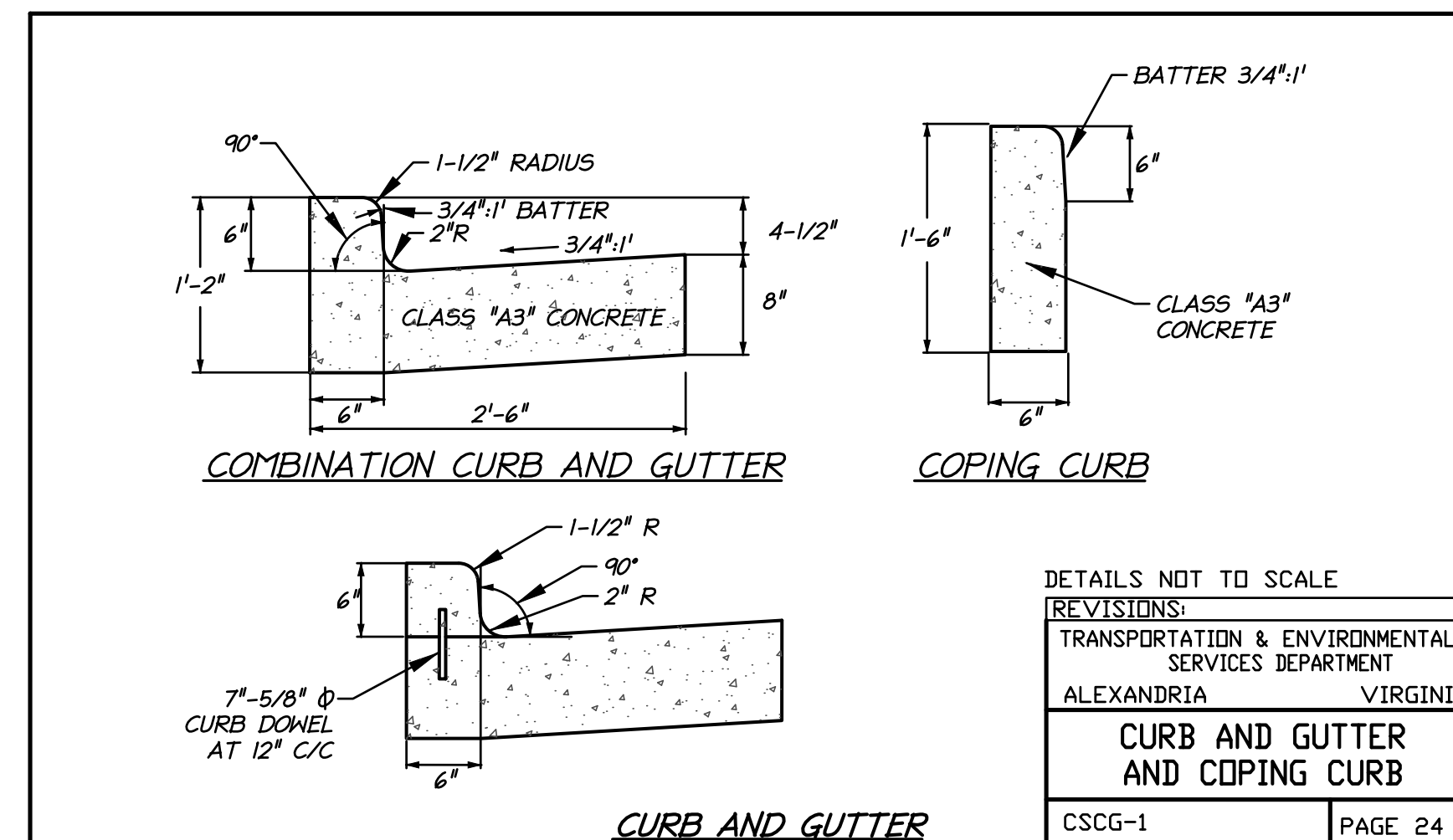
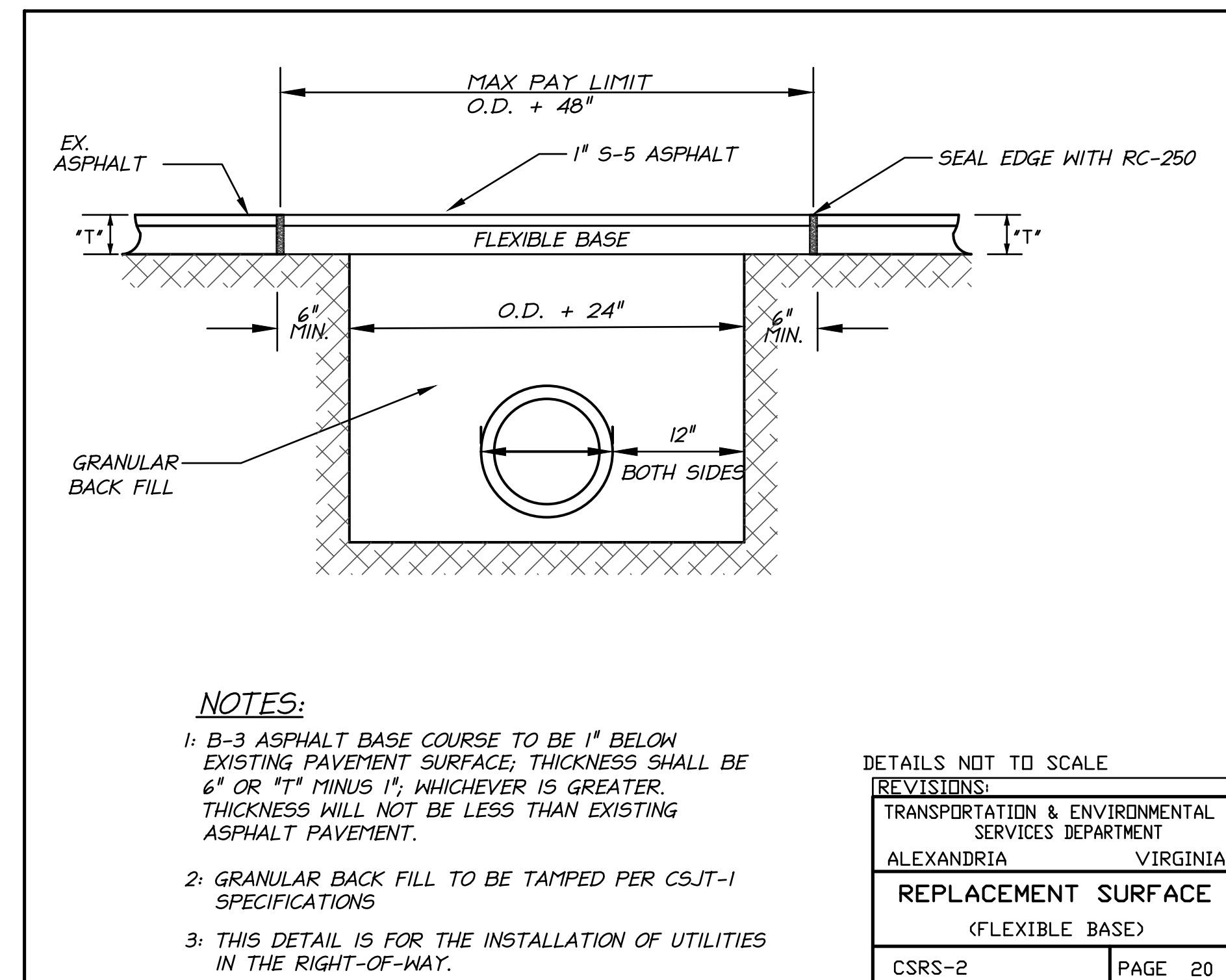
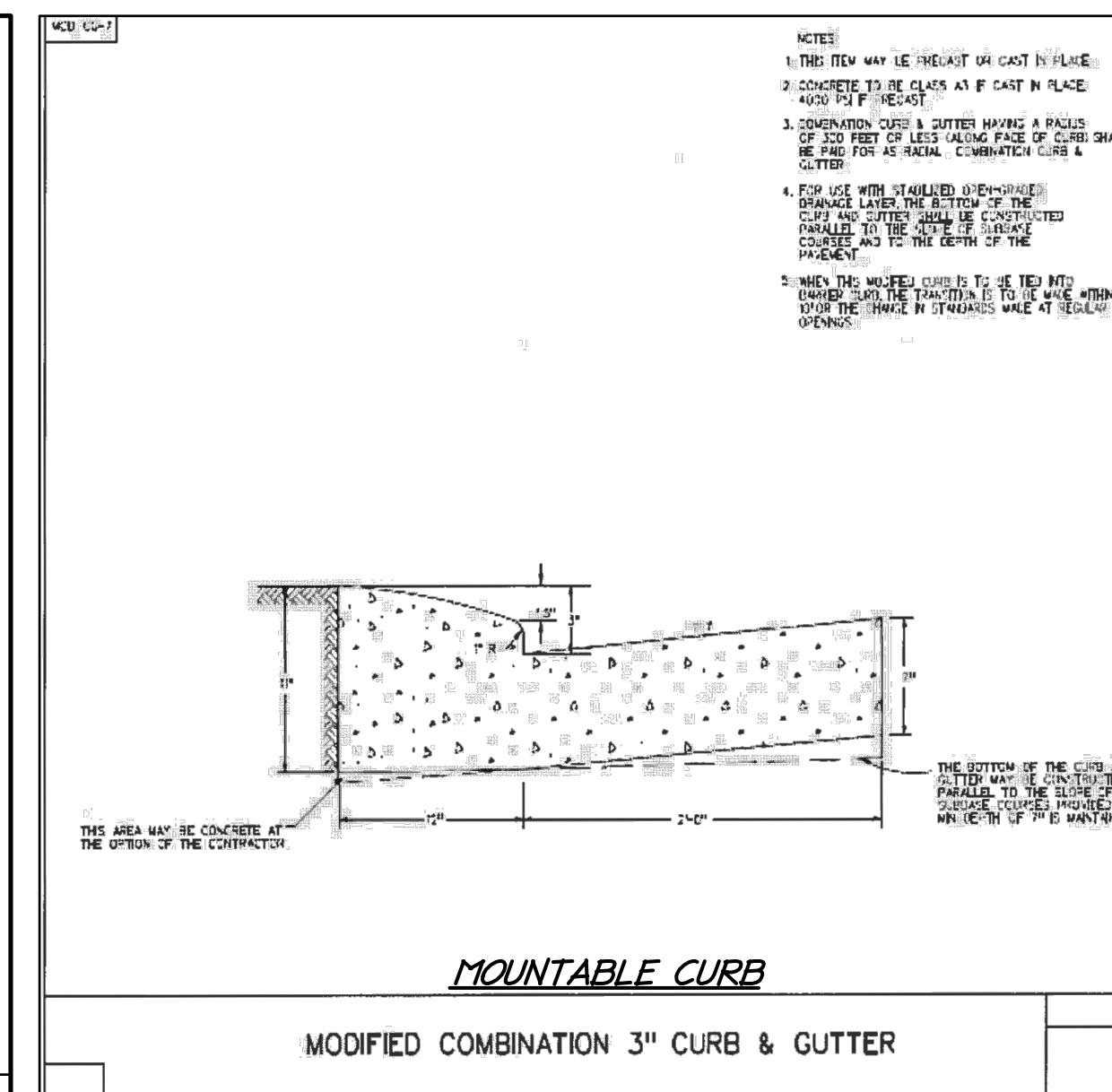
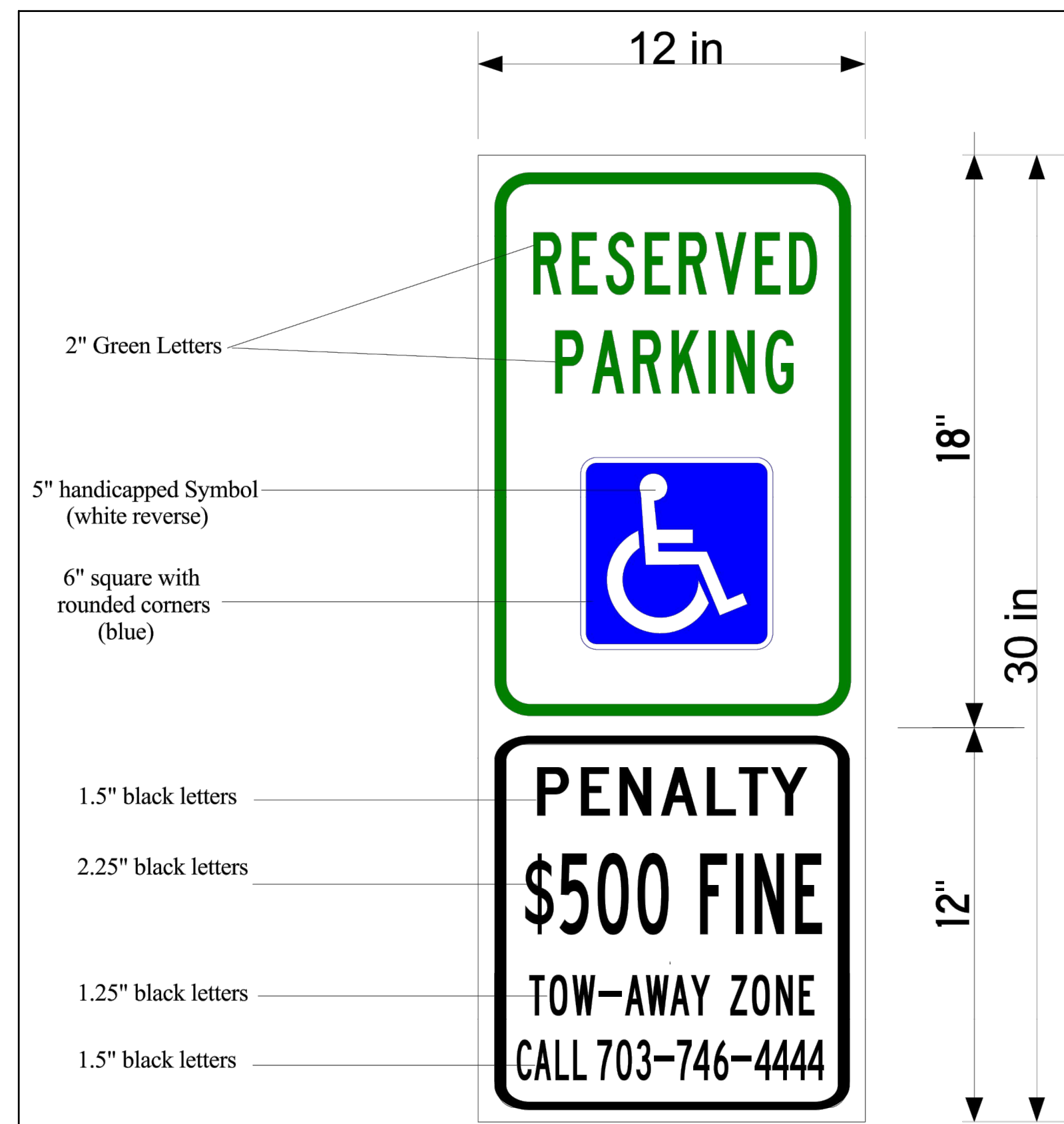
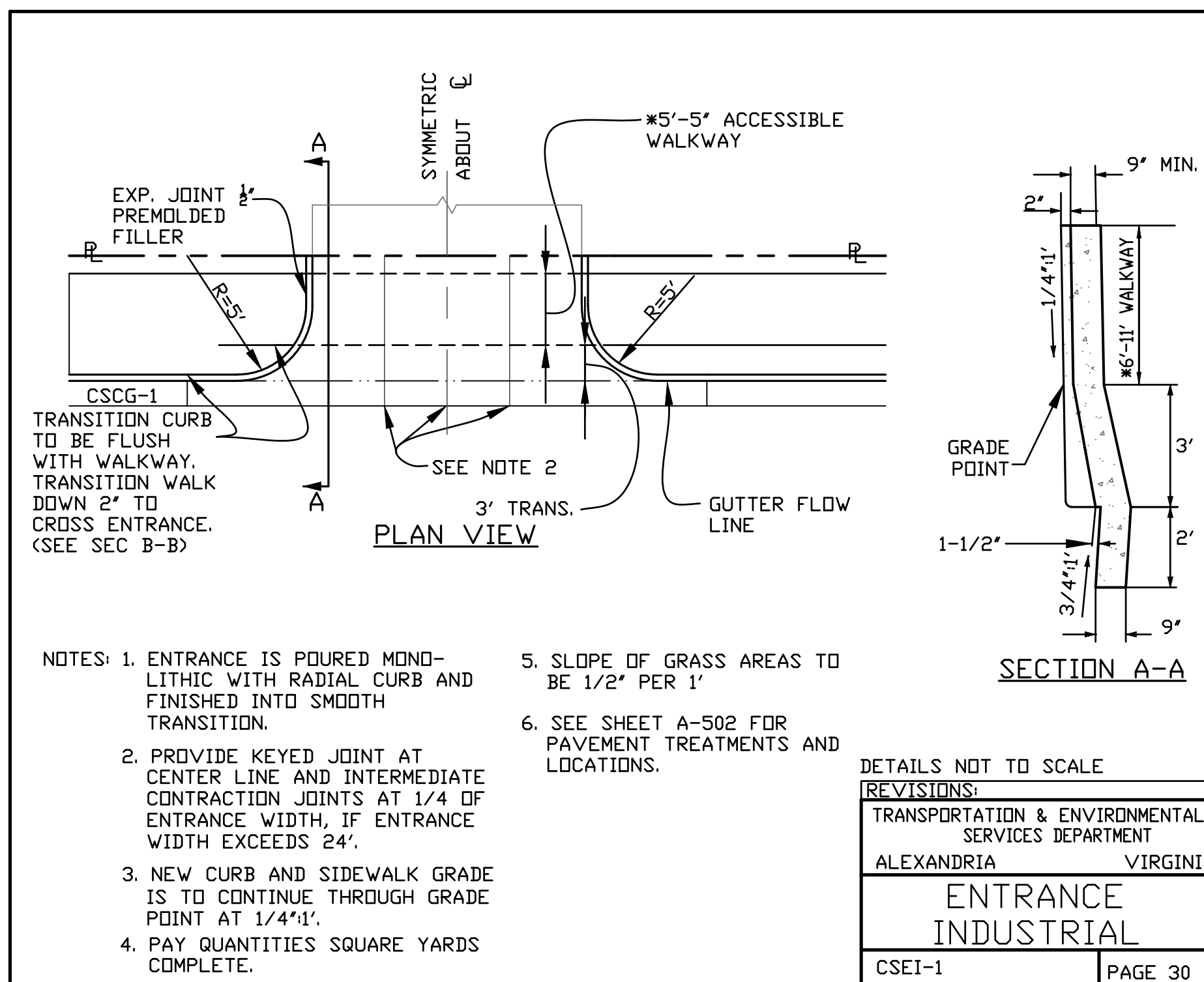
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EX A	59.42 LF OF 15" RCP	RM EL. = 11.11 INV. - (15" RCP FROM WEST = 5.24) INV. - (15" RCP FROM SOUTH = 5.51) INV. - (TO 2645 = 5.15) RM EL. = 9.66 INV. - (FROM 2531 = 5.02)
EX B	126.16 LF OF 15" RCP	RM EL. = 9.66 INV. - (TO 1567 = 4.96) RM EL. = 9.91 INV. - (FROM 2645 = 3.95)
EX C	173.61 LF OF 15" RCP	RM EL. = 9.91 INV. - (TO 1643 = 3.94) RM EL. = 5.79 INV. - (FROM 1567 = 1.04) INV. - (15" RCP TO EAST = 1.27) RM EL. = 5.85 INV. - (12" RCP FROM WEST = 1.75) INV. - (10" RCP FROM SOUTH = 2.10) INV. - (10" RCP FROM SOUTH EAST = 2.07) INV. - (15" RCP FROM NORTH = 2.33) INV. - (TO 1458 = 1.35)
EX D	99.40 LF OF 18" RCP	RM EL. = 3.75 INV. - (FROM 2054 = -0.57) INV. - (18" RCP TO EAST = -0.67) RM EL. = 3.27 INV. - (TO 1456 = 0.62) RM EL. = 3.04 INV. - (FROM 1455 = -0.33) INV. - (12" RCP TO SOUTH EAST = -0.20)
EX E	17.76 LF OF 12" RCP	RM EL. = 3.27 INV. - (TO 1456 = 0.62) RM EL. = 3.04 INV. - (FROM 1455 = -0.33) INV. - (12" RCP TO SOUTH EAST = -0.20)
EX F	32.30 LF OF 10" T.C.	RM EL. = 3.27 INV. - (TO 556 = 0.47) RM EL. = 2.84 INV. - (FROM 404 = 0.76) (STRUCTURE FULL OF WATER, INV TAKEN AT BOTTOM)

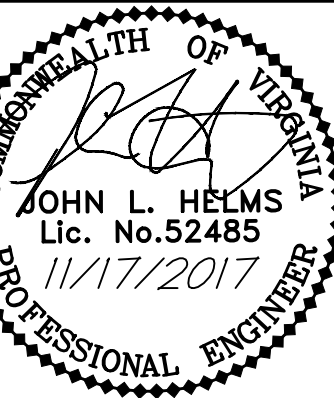
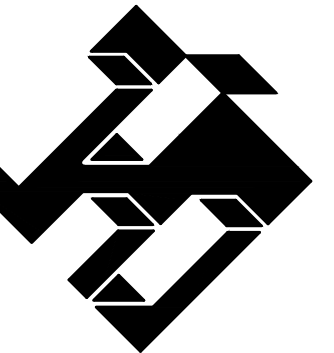
1566) RIM EL. = 6.14  
 (NO ACCESS, FULL OF DEBRIS)  
 2617) RIM EL. = 6.41  
 (NO ACCESS, FULL OF DEBRIS)  
 2479) RIM EL. = 6.17  
 INV. - (15" RCP TO NORTH EAST = 1.17)  
 1448) RIM EL. = 3.37  
 INV. - (12" RCP TO EAST = 0.60)  
 1448) RIM EL. = 2.89  
 INV. - (PIPE SIZE UNKNOWN = -1.44)  
 (STRUCTURE FULL OF WATER, INV TAKEN AT BOTTOM)  
 5571) RIM EL. = 2.91  
 (NO ACCESS, FULL OF DEBRIS)  
 317) RIM EL. = 3.17  
 INV. - (10" T.C. = -0.12)  
 (STRUCTURE FULL OF WATER, INV TAKEN AT BOTTOM)  
 551) RIM EL. = 3.18  
 INV. - (10" T.C. = -0.32)  
 (STRUCTURE FULL OF WATER, INV TAKEN AT BOTTOM)

(126.76 LF OF 10° DIP  
 RIM EL. = 3.54  
 (NO ACCESS, LID BOLTED)  
 INV. - (FROM 1457 = -1.70)  
 RIM EL. = 5.68  
 INV. - (TO 2052 = 2.35)  
 RIM EL. = 5.81  
 INV. - (FROM 2053 = 1.94)  
 RIM EL. = 5.81  
 INV. - (TO 2051 = 1.54)  
 RIM EL. = 5.68  
 INV. - (30° DIP FROM NORTH = -4.58)  
 INV. - (FROM 2052 = -1.22)  
 RIM EL. = 5.68  
 INV. - (TO 2409 = -4.90)  
 RIM EL. = 6.87  
 INV. - (FROM 2051 = -4.31)  
 RIM EL. = 6.87  
 INV. - (TO 2533 = -4.33)  
 RIM EL. = 10.82  
 INV. - (FROM 2409 = -4.83)  
 INV. - (8° DIP FROM WEST = -1.76)  
 INV. - (10° DIP FROM EAST = 0.61)  
 INV. - (10° DIP TO SOUTH = -4.59)  
 RIM EL. = 5.02  
 INV. - (4° T.C. FROM BUILDING = 0.82)  
 INV. - (TO 1358 = 0.26)  
 RIM EL. = 2.89  
 INV. - (FROM 461 = 0.78)  
 INV. - (10° T.C. TO WEST = -1.21)  
 RIM EL. = 2.89  
 INV. - (TO 1359 = -1.21)  
 RIM EL. = 3.54  
 (NO ACCESS, LID BOLTED)  
 RIM EL. = 6.17  
 INV. - (8° DIP FROM WEST = 4.44)  
 INV. - (10° DIP TO WEST = 1.30)  
 RIM EL. = 10.16  
 (NO ACCESS, JERSEY WALL OBSTRUCTING LID)

[illegible]

ALL CONSTRUCTION SHALL CONFORM TO THE  
CURRENT CITY OF ALEXANDRIA STANDARDS AND  
SPECIFICATIONS

DISTURBED AREA:  
0.54 AC OR 23,350 S.F.



## SITE DETAILS

PRELIMINARY PLAN  
THE STRAND CONDOMINIUM  
THE CITY OF ALEXANDRIA, VIRGINIA

<h1 style="margin: 0;">APPROVED</h1>	
SPECIAL USE PERMIT NO. <u>2016-0003</u>	
DEPARTMENT OF PLANNING & ZONING	
_____ DIRECTOR	_____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
_____ CHAIRMAN, PLANNING COMMISSION	_____ DATE
DATE RECORDED _____	
_____ INSTRUMENT NO.	_____ DEED BOOK NO.
_____ PAGE NO.	

PROJECT NO:15048.002.00

SCALE:

DATE: 11/11/17

DESIGN: JLH  
DRAWN: AJB  
CHECKED: KMW

SHEET No.

C200

1. THE PROPERTIES SHOWN HEREON ARE NOW IN THE NAME OF BEVERLY D. TURNER, JR. ET AL., RECORDED AT DEED BOOK 748 AT PAGE 784, DEED BOOK 851 AT PAGE 343, DEED BOOK 875 AT PAGE 749 ALL AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.
2. DURING THE PROCESS OF OUR PHYSICAL SURVEY NO INDICATIONS OF A CEMETERY WERE FOUND. NO FURTHER INSPECTION OF THESE PROPERTIES HAVE BEEN MADE FOR POSSIBLE CEMETERIES.
3. A TITLE REPORT WAS FURNISHED AND HAS BEEN INCORPORATED HEREON. ALL UNDERLYING TITLE LINES, RIGHT-OF-WAYS, EASEMENTS, ENCUMBRANCES OR OTHER CIRCUMSTANCES AFFECTING THE SUBJECT PROPERTY ARE AS SHOWN BY THE TITLE REPORT FURNISHED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER A1501361CL AND WITH AN EFFECTIVE DATE OF JANUARY 4th, 2016.
4. A.) HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD 83) - VIRGINIA STATE GRID NORTH ZONE AS ESTABLISHED FROM A RECENT FIELD SURVEY PERFORMED BY C.P. JOHNSON & ASSOCIATES.  
B.) THE VERTICAL DATUM SHOWN HEREON IS REFERENCE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AS ESTABLISHED FROM A RECENT FIELD SURVEY PERFORMED BY C.P. JOHNSON & ASSOCIATES.
5. NO GEOTECHNICAL, SUBSURFACE, FIELD REVIEWS, RESEARCH, AGENCY OR GOVERNMENTAL RECORD REVIEWS, OR OTHER INVESTIGATIONS HAVE BEEN MADE FOR THE PURPOSE OF LOCATING, OR DETERMINING THE EXISTENCE OF WETLANDS, HAZARDOUS MATERIALS, OR OTHER ENVIRONMENTAL CONCERNS ON SITE IN THE PERFORMANCE OF CHRISTOPHER CONSULTANTS, LTD SERVICES FOR THE PROJECT AS SHOWN HEREON.
6. ALL BUILDING DIMENSIONS ARE MEASURED AT THE OUTSIDE GROUND LEVEL OF BUILDING.
7. THERE ARE 26 REGULAR PARKING SPACES AND NO HANDICAP PARKING SPACES WITHIN THE LIMITS OF THE SURVEY.
8. THE PERPETUAL INGRESS-EGRESS EASEMENT SHOWN HEREON IS BASED UPON A PLAT ENTITLED "PLAT SHOWING A NON-EXCLUSIVE PERPETUAL INGRESS-EGRESS EASEMENT ON THE LAND OF BEVERLY D. TURNER, JR., JAMES A. TURNER, DORIS TURNER-WHITESTONE," BY HOLLAND ENGINEERING AND DATED FEBRUARY 16th, 1995. THERE HAS BEEN NO EVIDENCE OF THIS PLAT BEING RECORDED AT THE TIME OF THIS SURVEY.

THE PROPERTIES SHOWN HEREON ARE LOCATED ON THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 555519004I, REVISED AND EFFECTIVE ON JUNE 16, 2011.

BY GRAPHIC DEPICTION ONLY (UNLESS OTHERWISE NOTED), THE PROPERTIES SHOWN HEREON ARE LOCATED WITHIN THE FOLLOWING:

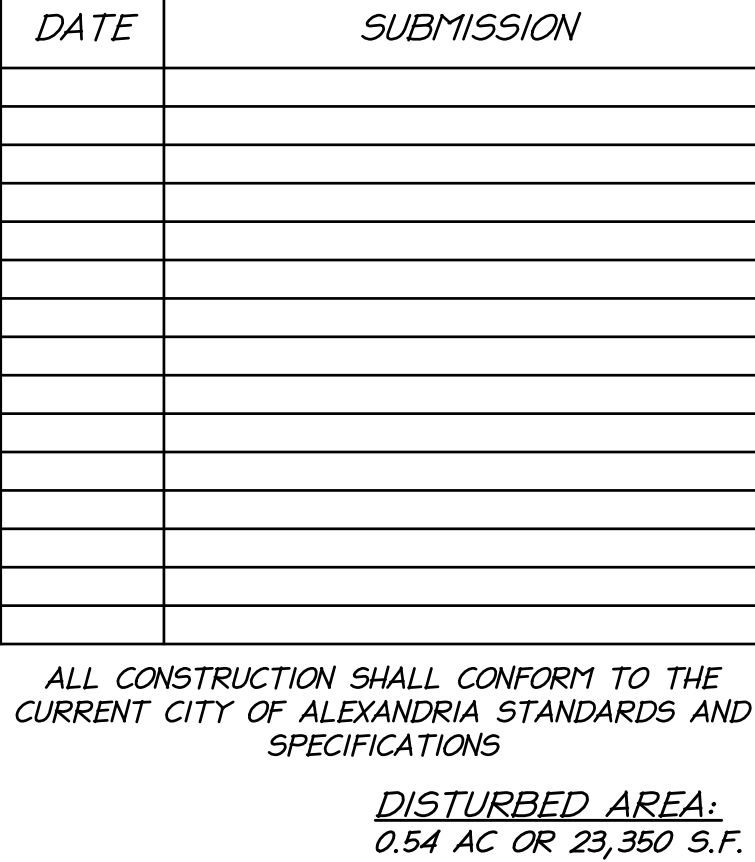
- FLOOD ZONE "AE", SPECIAL FLOOD HAZARD AREA SUBJECT TO FLOODING BY 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD - BASE FLOOD AREAS DETERMINED.)

A FIELD SURVEY WAS NOT PERFORMED TO DETERMINE THE FLOOD ZONES LISTED HEREON. AN ELEVATION CERTIFICATE MAY BE NEEDED TO DETERMINE THE EXACT FLOOD ZONE FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

- 1) THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES AND SURFACE GROUND MARKINGS.
- 2) BEFORE DIGGING IN THIS AREA, CALL "MISS UTILITY" 1-800-552-7001 FOR FIELD LOCATIONS (REQUEST FOR GROUND MARKINGS) OF UNDERGROUND UTILITY LINES.
- 3) UTILITY PROFESSIONALS, INC. MARKED FOR THE HORIZONTAL LOCATION OF UNDERGROUND UTILITIES ON 08/08/14.
- 4) THIS INVESTIGATION DOES NOT INCLUDE THE USE OF GROUND PENETRATING RADAR OR INTRUSIVE METHODS OF INVESTIGATION SUCH AS TEST PITS OR BORINGS.
- 5) THIS INVESTIGATION DOES NOT INCLUDE DESIGNATING SPRINKLER OR IRRIGATION SYSTEMS, BURIED TANKS, SEPTIC SYSTEMS, OR WELLS.
- 6) DETECTING AND DESIGNATING UTILITIES THAT ARE BURIED DIRECTLY BELOW OTHER UTILITIES ARE NOT PROVIDED.

## EXISTING PARCEL TABULATION AND OWNER INFORMATION

- ① PARCEL 0075, 03-03-01  
OWNER: D PRINCE LLC  
INST #1000524  
4.53 AC. SQ. FT.  
ZONED: W-1
- ② PARCEL 0075, 03-03-02  
OWNER: YOUNG MARVIN P TR  
INST #100024262  
1.03 AC. SQ. FT.  
ZONED: W-1
- ③ PARCEL 0075, 03-03-03  
OWNER: PRINCE LLC  
INST #20015524  
1.60 AC. SQ. FT.  
ZONED: W-1
- ④ PARCEL 0075, 03-03-17  
OWNER: SOUTHERN UNION LLC  
INST #130016549  
6.95 AC. SQ. FT.  
ZONED: W-1
- ⑤ PARCEL 0075, 03-03-05  
OWNER: TURNER BEVERLY D JR ET ALS  
INST #150017329  
3.63 AC. SQ. FT.  
ZONED: W-1
- ⑥ PARCEL 0075, 03-03-06  
OWNER: TURNER BEVERLY D JR ET ALS  
INST #150017329  
3.63 AC. SQ. FT.  
ZONED: W-1
- ⑦ PARCEL 0075, 03-03-07  
OWNER: TURNER BEVERLY D JR ET ALS  
INST #150017329  
3.63 AC. SQ. FT.  
ZONED: W-1



**NOTES:**

- 1. SEE SHEET C100 FOR LEGEND
- 1. SEE SHEET C200 FOR STORM AND SANITARY STRUCTURE DATA.



<b>APPROVED</b>	
SPECIAL USE PERMIT NO. <u>2016-0003</u>	
DEPARTMENT OF PLANNING & ZONING	
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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
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PAGE NO. _____	




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PRELIMINARY PLAN

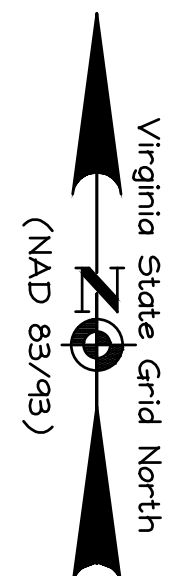
**THE STRAND CONDOMINIUM**

THE CITY OF ALEXANDRIA, VIRGINIA

EXISTING CONDITIONS  
PLAN

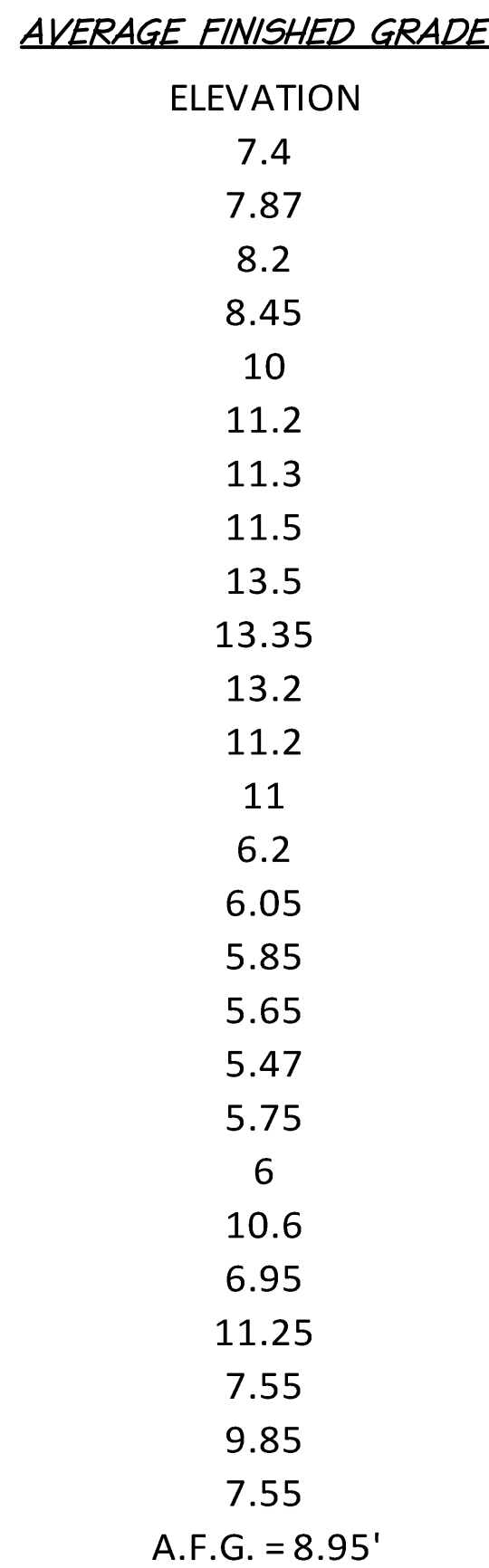
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SCALE: 1"=20'  
DATE: 4/14/17  
DESIGN: JLH  
DRAWN: AJB  
CHECKED: KMW  
SHEET No.

C300







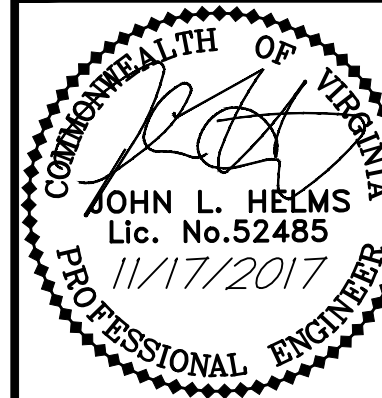
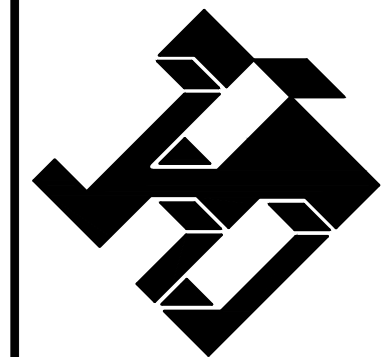
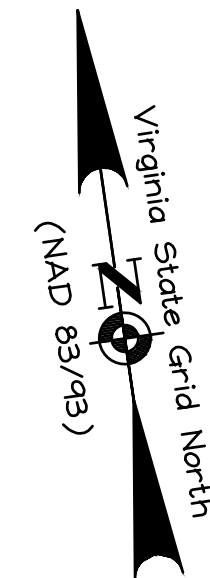


1. THE FINAL SITE PLAN, GRADING PLAN, OR ANY OTHER PERMITS INVOLVING GROUND-DISTURBING ACTIVITIES (SUCH AS CORING, GRADING, FILLING, VEGETATION REMOVAL, UNDERGROUND UTILITIES, PILE DRIVING, LANDSCAPING AND OTHER EXCAVATIONS AS DEFINED IN SECTION 2-151 OF THE ZONING ORDINANCE) SHALL NOT BE RELEASED UNTIL THE CITY ARCHAEOLOGIST CONFIRMS THAT ALL ARCHAEOLOGICAL FIELD WORK HAS BEEN COMPLETED OR THAT AN APPROVED METHOD OF DETECTION AND REMOVAL IS IN PLACE TO RECOVER SIGNIFICANT RESOURCES IN CONCERT WITH CONSTRUCTION ACTIVITIES. TO CONFIRM, CALL ALEXANDRIA ARCHAEOLOGY AT (703) 746-4399.
2. THE APPLICANT / DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
3. THE APPLICANT / DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

[illegible]

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SPECIFICATIONS

DISTURBED AREA:  
0.54 AC OR 23,350 S.

PRELIMINARY SITE  
GRADING PLAN

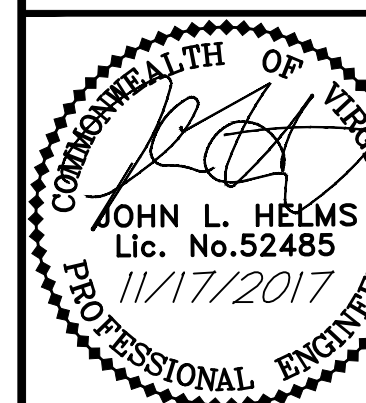
PRELIMINARY PLAN  
THE STRAND CONDOMINIUM  
THE CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO: 15048.002.
SCALE: 1"=20'
DATE: 4/14/17
DESIGN: JLH DRAWN: AJB CHECKED: KMW
SHEET No.

C40.





BIKE CIRCULATION  
EXHIBIT

PRELIMINARY PLAN  
THE STRAND CONDOMINIUM  
THE CITY OF ALEXANDRIA, VIRGINIA

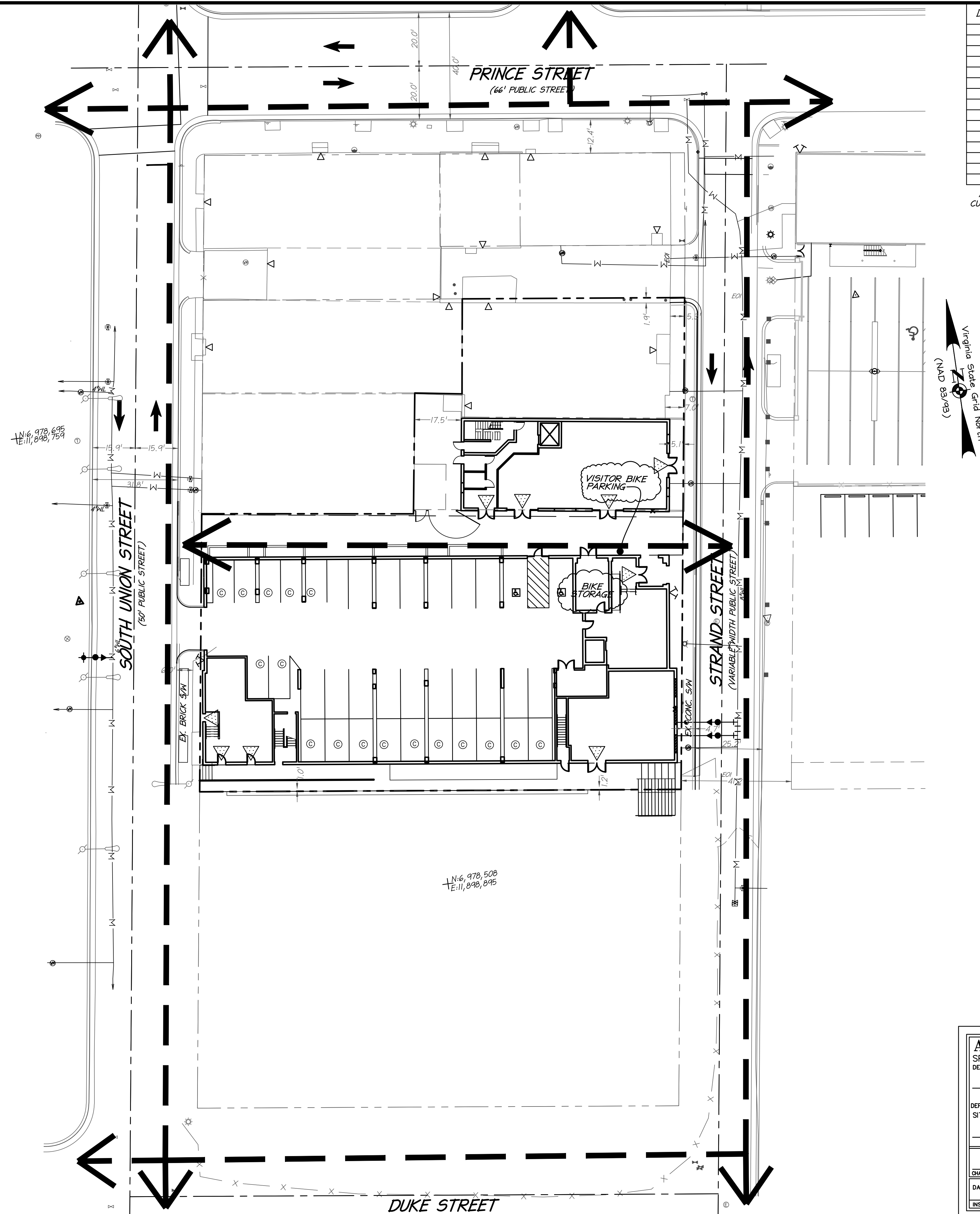
PROJECT NO: 15048.002.00  
SCALE:

DATE: 4/14/17

DESIGN: JLH  
DRAWN: JLH  
CHECKED: KMW

SHEET No.

C404



**LEGEND:**

BIKE CIRCULATION PATH

20 10 0 20 40  
GRAPHIC SCALE  
SCALE: 1" = 20'

<b>APPROVED</b>		
SPECIAL USE PERMIT NO. <u>2016-0003</u>		
DEPARTMENT OF PLANNING & ZONING		
_____ DIRECTOR		_____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN NO. _____		
_____ DIRECTOR		_____ DATE
_____ CHAIRMAN, PLANNING COMMISSION		_____ DATE
DATE RECEIVED _____		
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**PRINCE STREET**  
(66' PUBLIC STREET)

**SOUTH UNION STREET**  
(60' PUBLIC STREET)

**STRAND STREET**  
(VARIABLE WIDTH PUBLIC STREET)

**LEGEND**

SYMBOL	TITLE
.....	: PRE-DEVELOPMENT DRAINAGE DIVIDE
---	: PROPERTY LIMITS

<i>SYMBOL</i>	<i>TITLE</i>
• • • • •	: PRE-DEVELOPMENT DRAINAGE DIVIDE
— — — — —	: PROPERTY LIMITS
	: PRE-DEVELOPMENT DRAINAGE ARROW
	ONSITE : IMPERVIOUS AREA (PRE TOTAL = 0.59 ac)

**PRINCE STREET**  
(66' PUBLIC STREET)





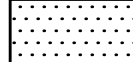
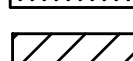
**SOUTH UNION STREET**  
(60' PUBLIC STREET)

**STRAND STREET**  
(VARIABLE WIDTH PUBLIC STREET)

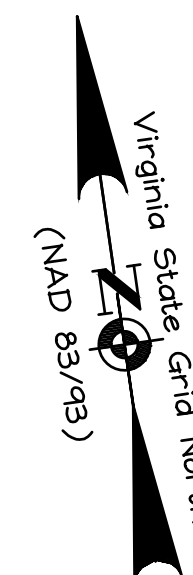
**LEGEND**

SYMBOL	TITLE
---	POST-DEVELOPMENT DRAINAGE DIVIDE
- - -	PROPERTY LIMITS

**EX. 1456**  
EX. 1457  
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EX. 1459  
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EX. 1461  
EX. 1462  
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SYMBOL	TITLE
	: POST-DEVELOPMENT DRAINAGE DIVIDE
	: PROPERTY LIMITS
	: POST-DEVELOPMENT DIVIDE ARROW
	: ONSITE IMPERVIOUS AREA (POST TOTAL = 0.59 ac)
	: GREEN SPACE (POST TOTAL = 0.03 ac)
	: GREEN ROOF (POST TOTAL = 0.16 ac)

DISTURBED AREA:  
0.54 AC OR 23,350 S.F.



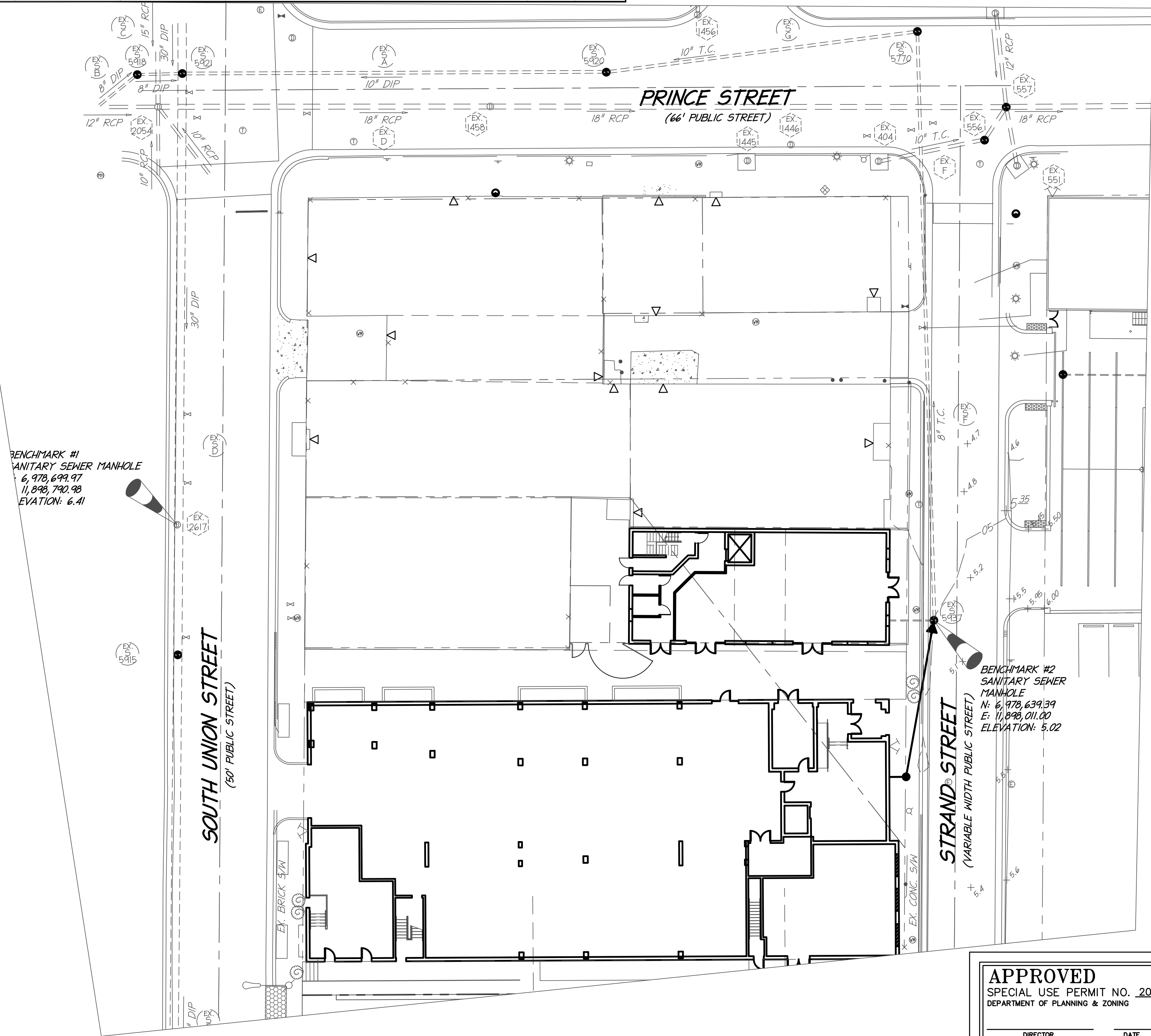
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GRAPHIC SCALE  
SCALE: 1" = 20'

<b>APPROVED</b>	
SPECIAL USE PERMIT NO. <u>2016-0003</u>	
DEPARTMENT OF PLANNING & ZONING	
_____ DIRECTOR	_____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
_____ CHAIRMAN, PLANNING COMMISSION	
_____ DATE	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

SHEET No.

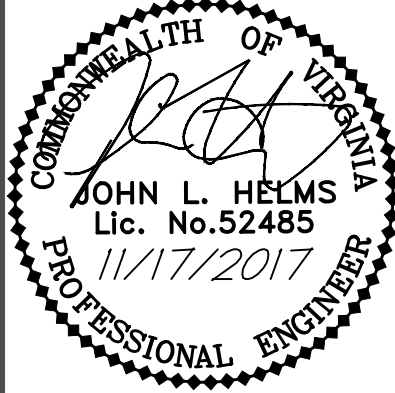
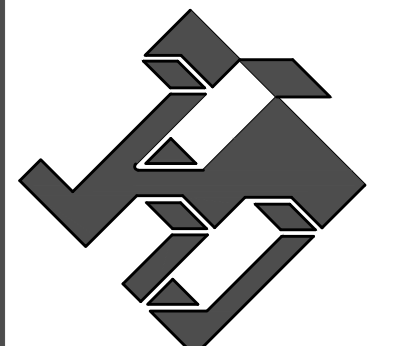
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p:\Projects\15048\00200\107207 Preliminary\C-502 SANITARY CALCS.dwg, 11/20/2017 12:02:29 PM, johnhelms, 1:1, christopher consultants, ltd

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<b>APPROVED</b>	
SPECIAL USE PERMIT NO. <u>2016-0003</u>	
DEPARTMENT OF PLANNING & ZONING	
_____ DIRECTOR	_____ DATE
DEPARTMENT OF PLANNING & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
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_____ CHAIRMAN, PLANNING COMMISSION	
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DATE RECORDED _____	
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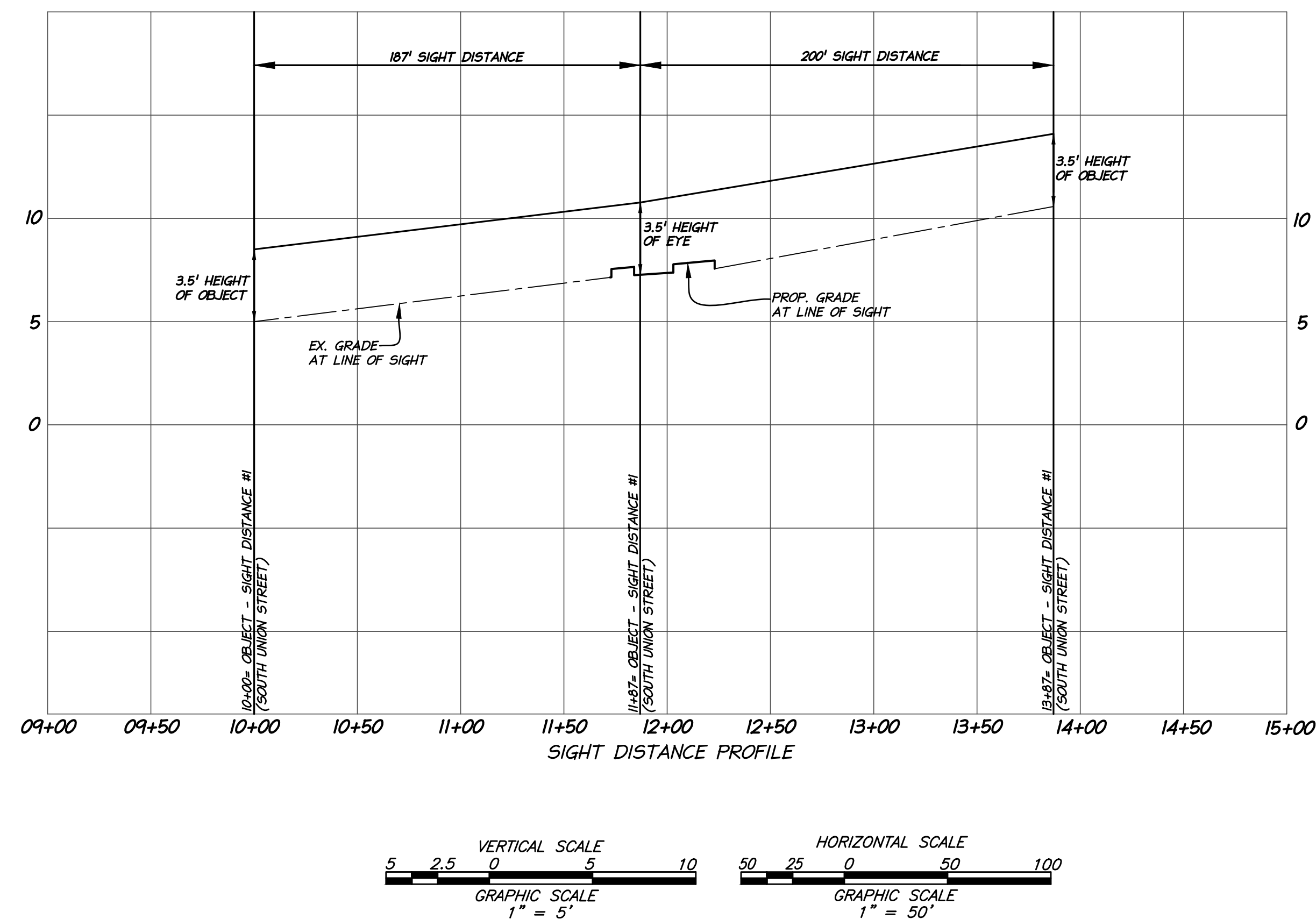
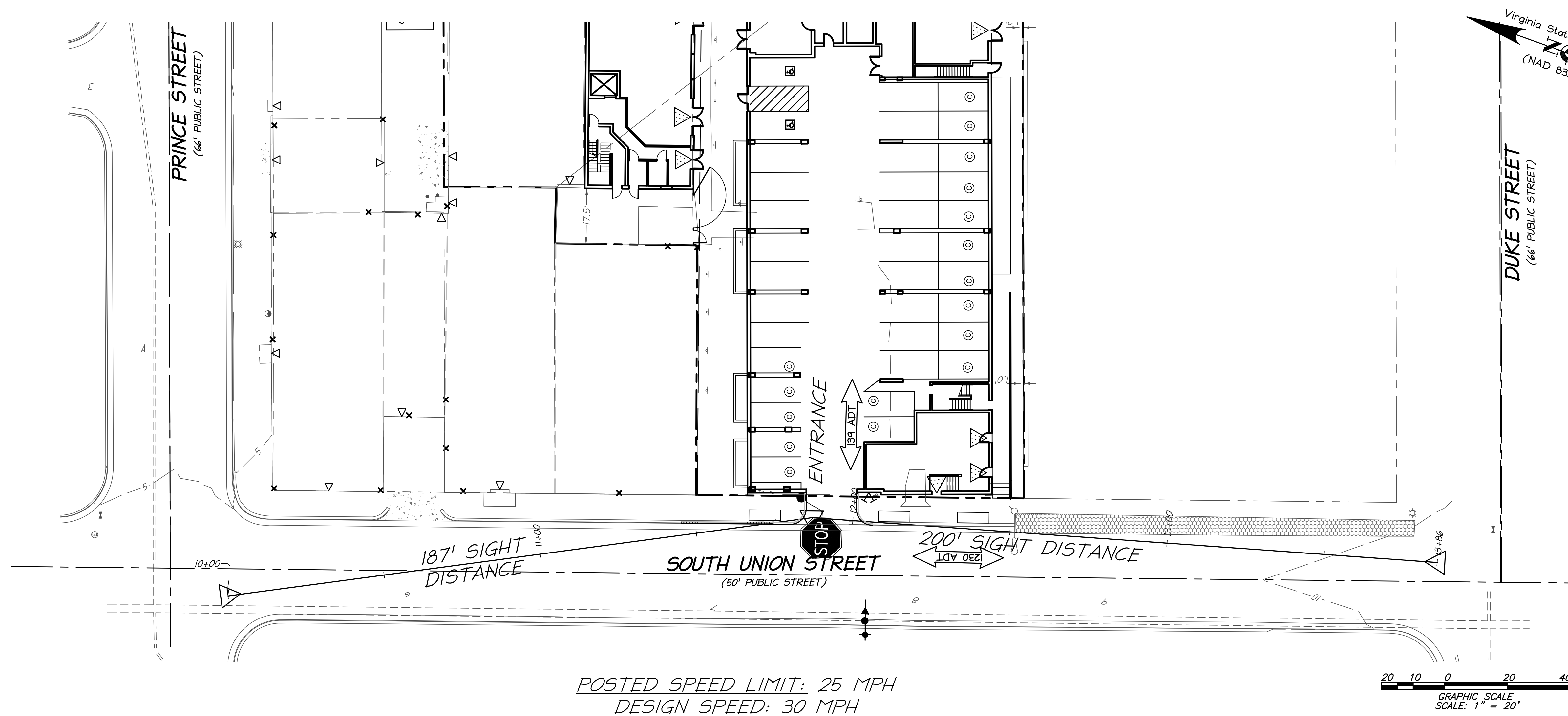
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# SANITARY SEWER COMPUTATIONS

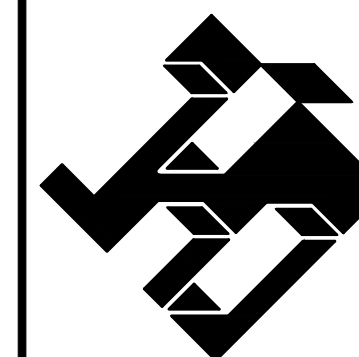
PRELIMINARY PLAN  
**THE STRAND CONDOMINIUM**  
THE CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO:15048.002.00
SCALE: 1"=20'
DATE: 4/14/17
DESIGN: JRW DRAWN: JLH CHECKED: KMW
SHEET No.  C502

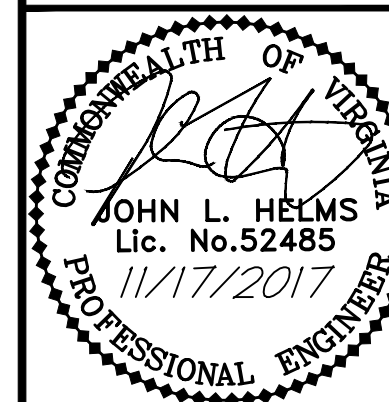
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ALL CONSTRUCTION SHALL CONFORM TO THE  
CURRENT CITY OF ALEXANDRIA STANDARDS AND  
SPECIFICATIONS

DISTURBED AREA:  
0.54 AC OR 23,350 S.F.



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# SIGHT DISTANCE PROFILE

PRELIMINARY PLAN  
THE STRAND CONDOMINIUM  
THE CITY OF ALEXANDRIA, VIRGINIA

<b>APPROVED</b>	
SPECIAL USE PERMIT NO. <u>2016-0003</u>	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
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PROJECT NO:15048.002.00

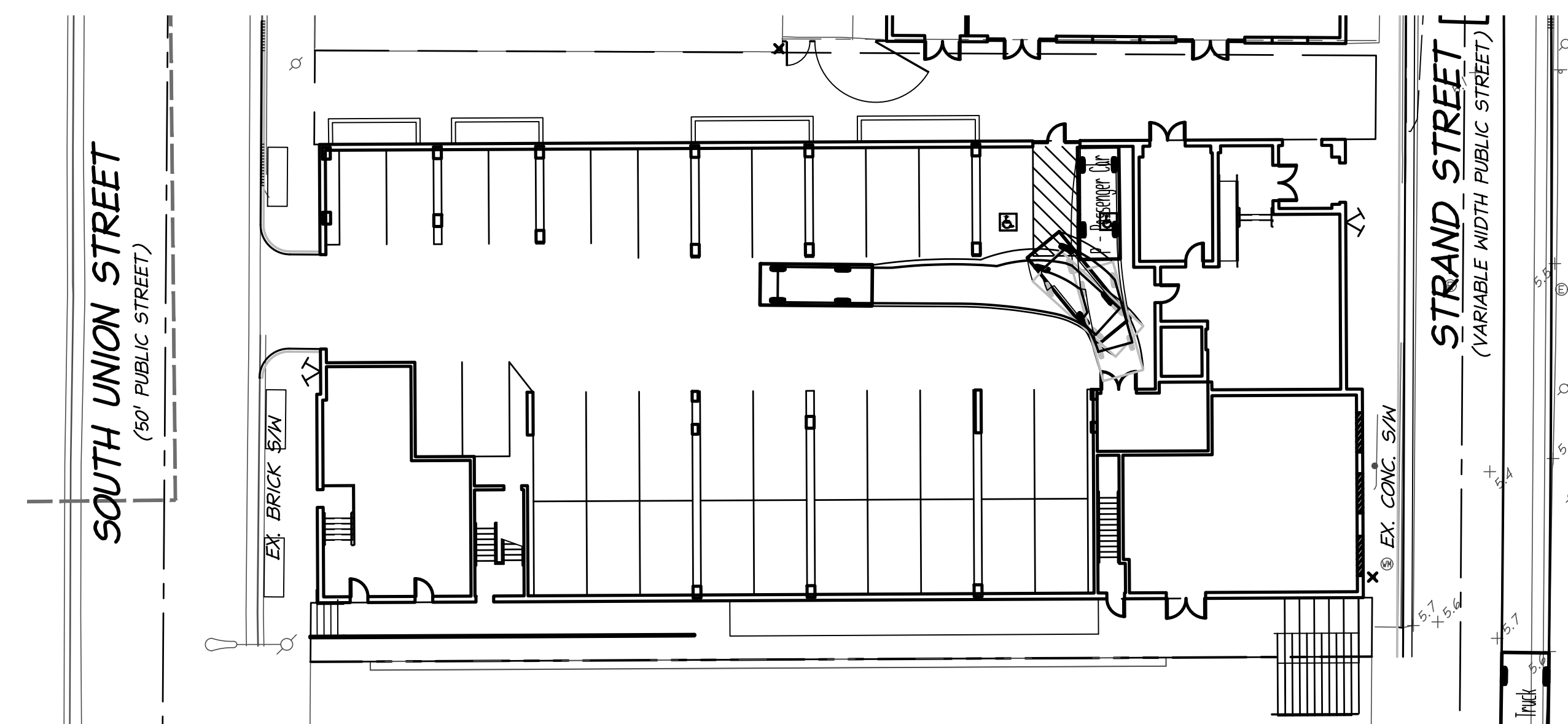
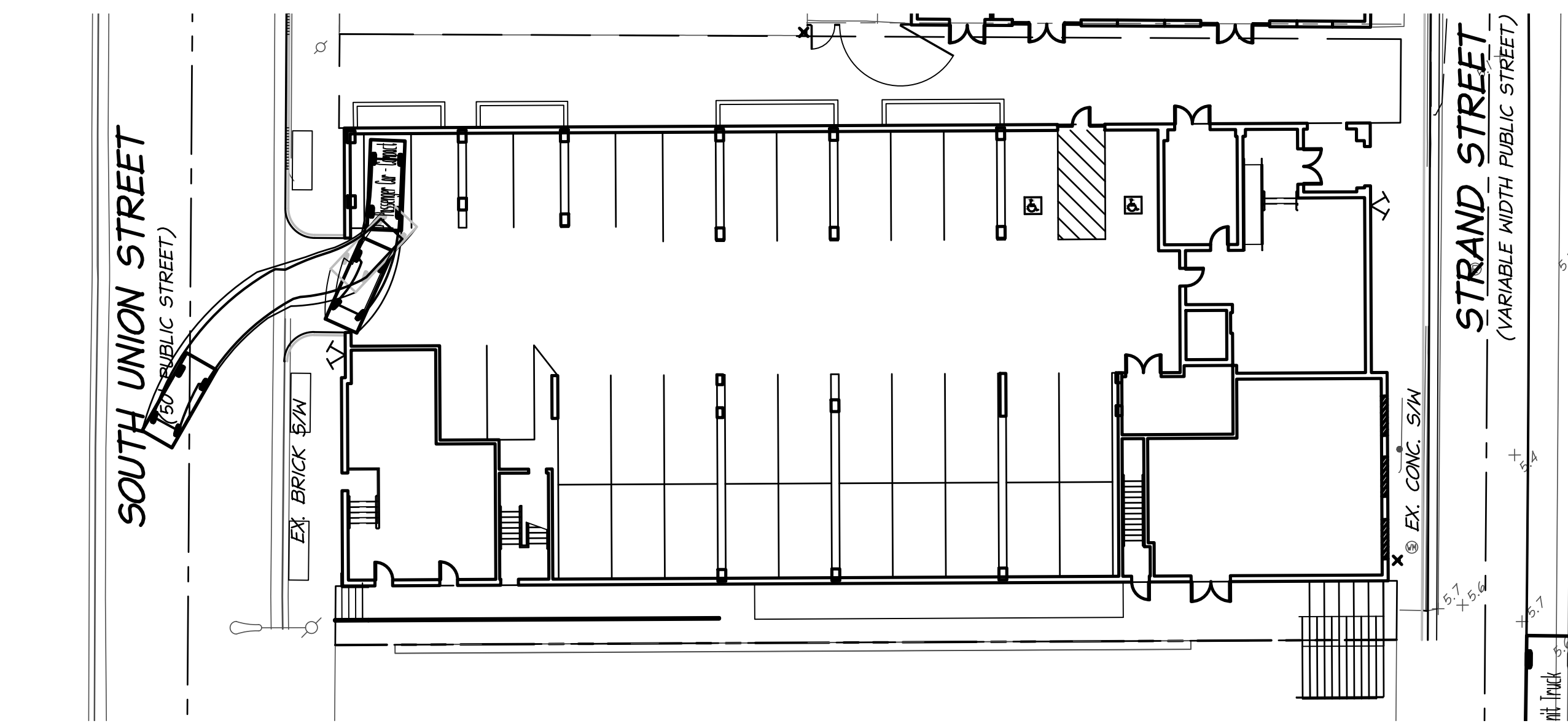
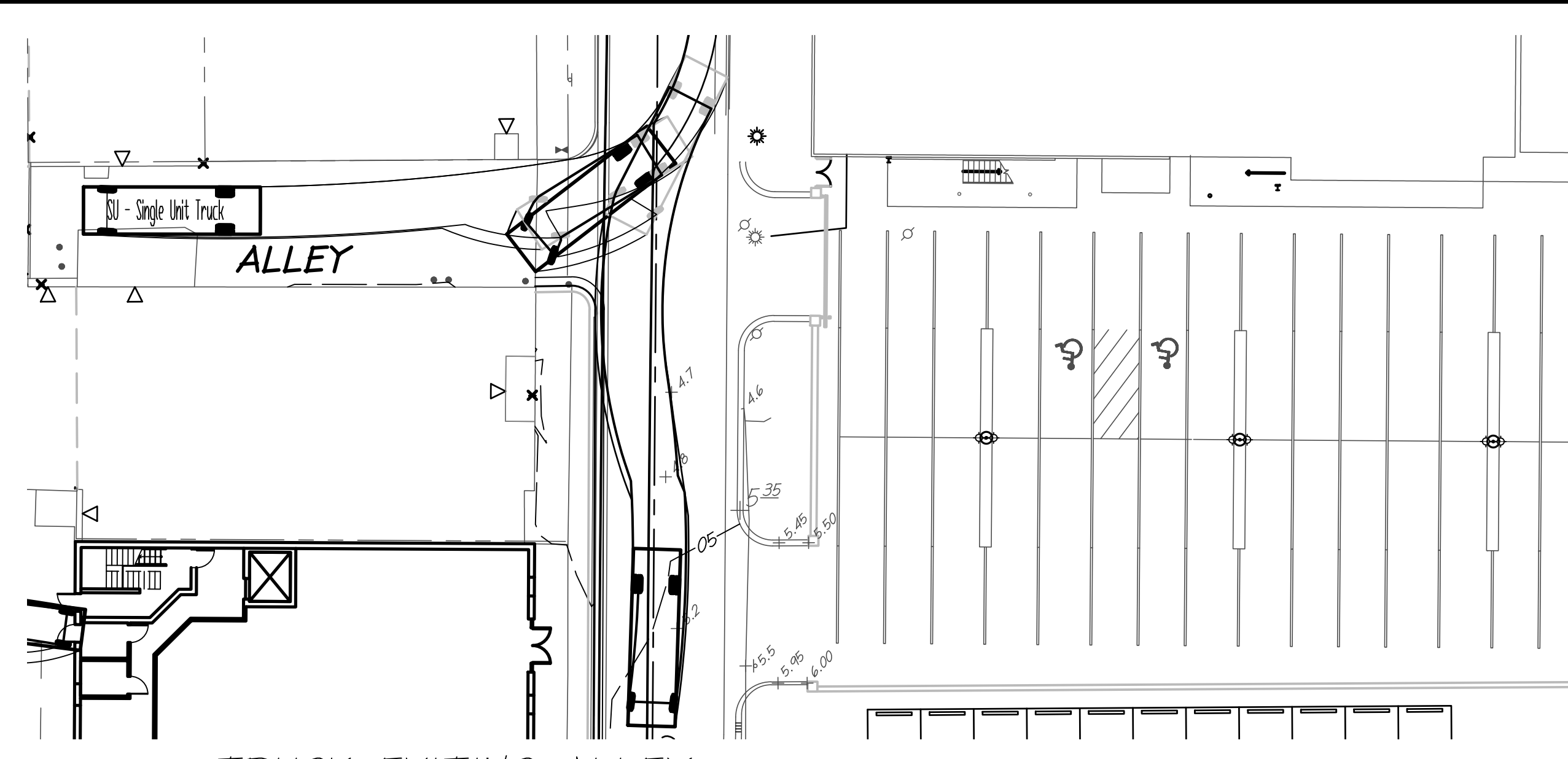
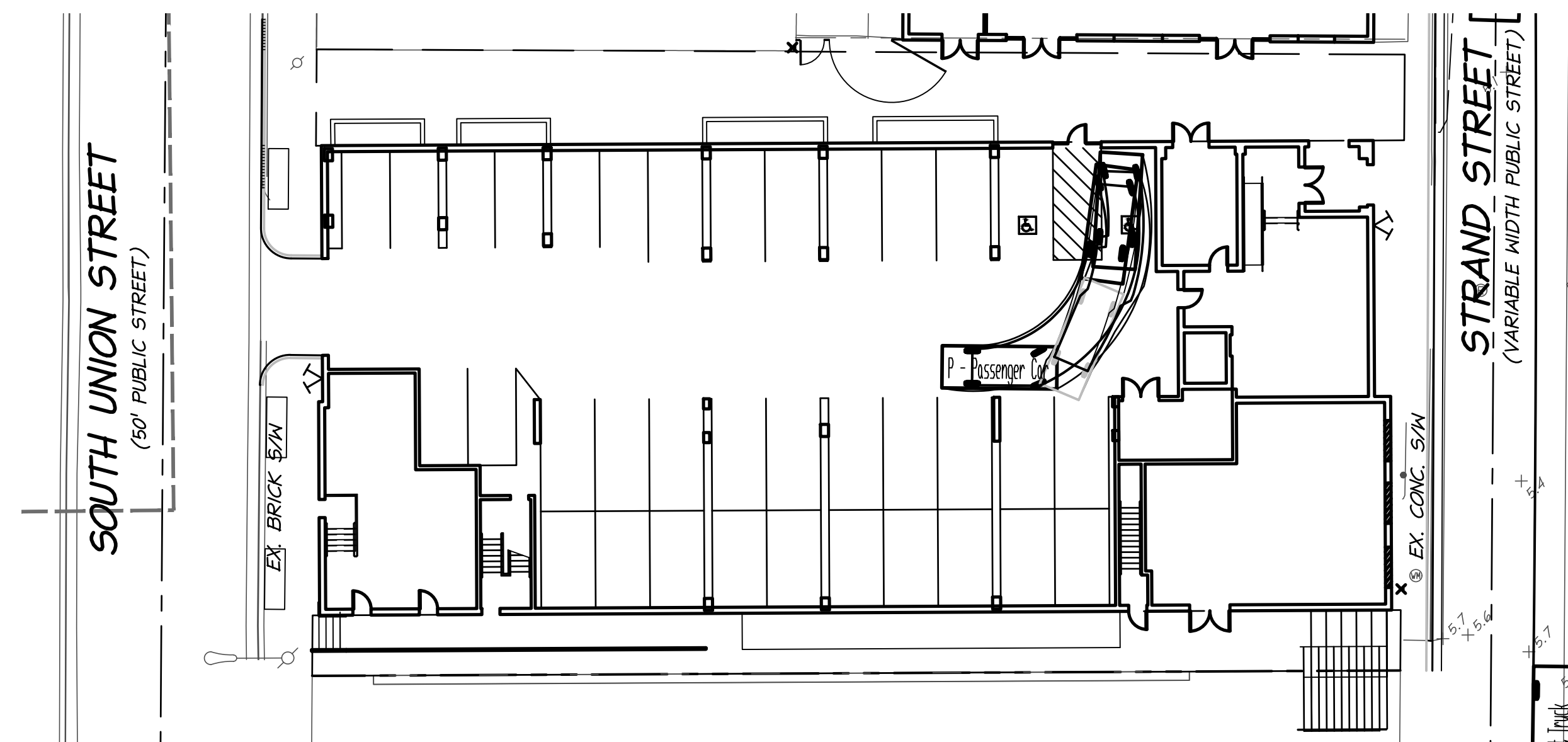
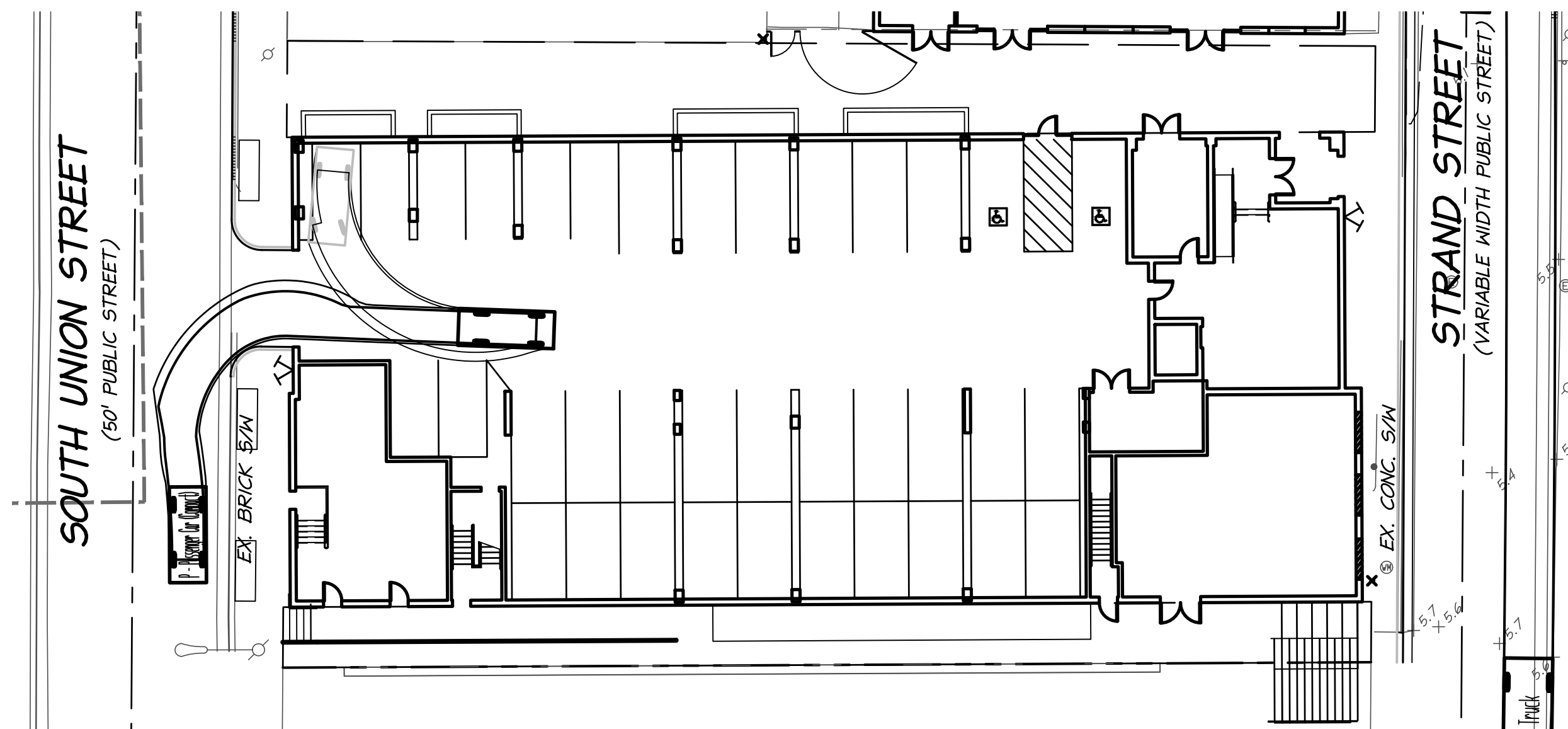
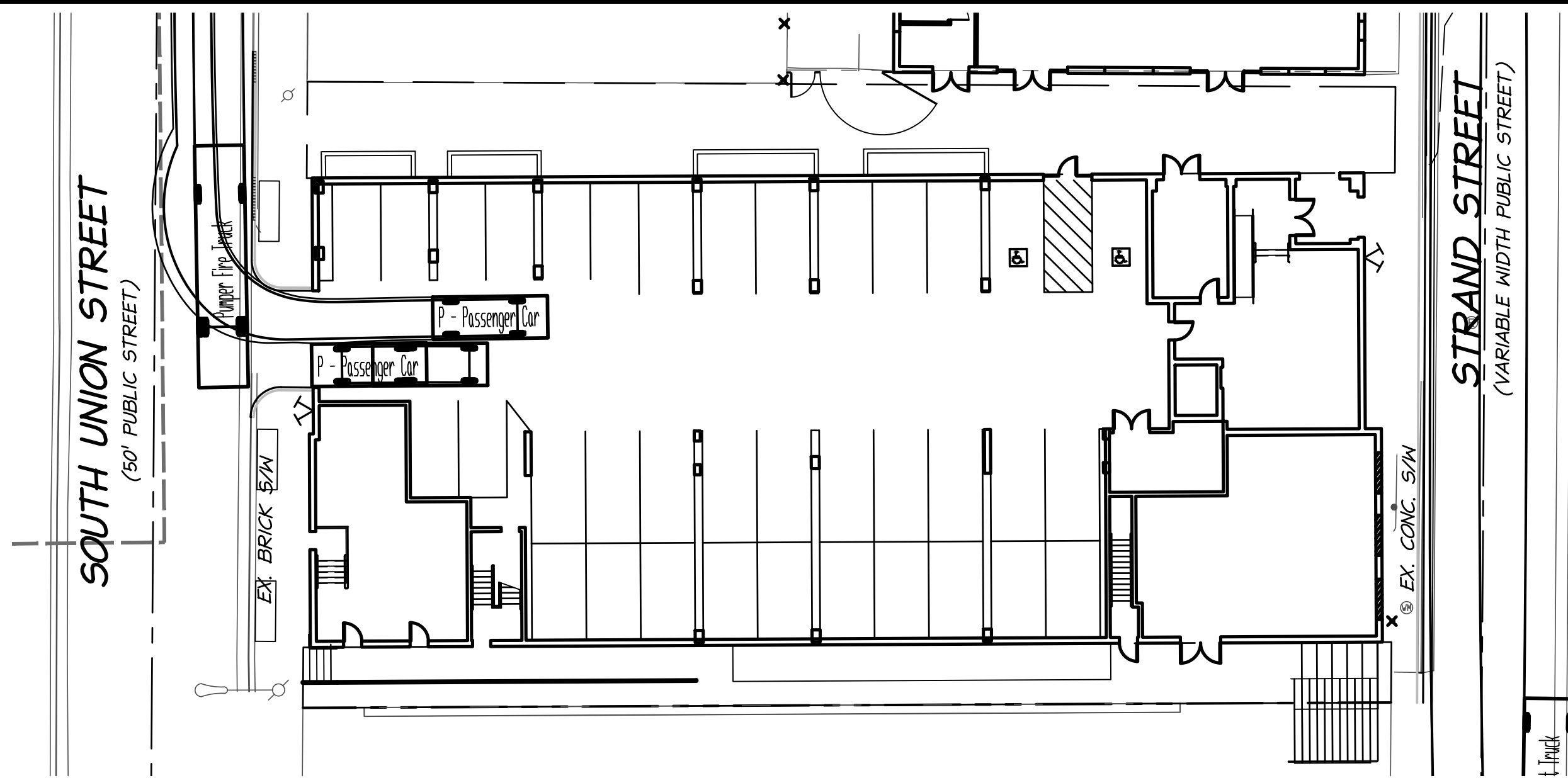
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DATE: 4/14/17

DESIGN: JRW  
DRAWN: JRW  
CHECKED: KMW

SHEET No.

C600



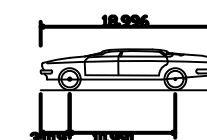
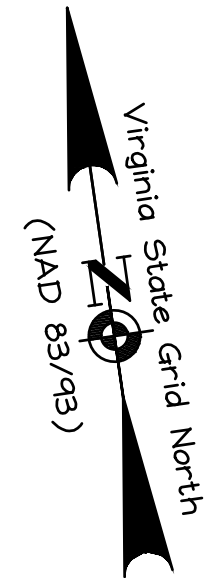
NOTE:

1. COMMERCIAL LOADING TO CONTINUE TO USE THE EXISTING ALLEY.
2. RESIDENTIAL LOADING & TRASH PICK-UP TO BE FROM THE STREET.

[illegible]

DISTURBED AREA:  
0.54 AC OR 23,350 S.F.

GRAPHIC SCALE  
SCALE: 1" = 20'



P - Passenger Car	
Overall Length	18.996ft
Overall Width	6.988ft
Overall Body Height	4.265ft
Min Body Ground Clearance	1.115ft
Track Width	6.004ft
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	23.819ft

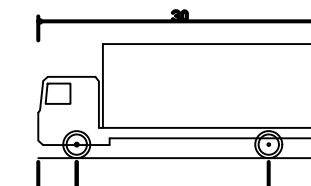
## CAR DETAIL



30



## CAR DETAIL



SU - Single Unit Truck	
Overall Length	30.000ft
Overall Width	8.000ft
Overall Body Height	11.88ft
Min Body Ground Clearance	1.36ft
Track Width	8.000ft
Lock-to-lock time	5.00s
Curb to Curb Turning Radius	42.000ft

TRUCK D

TRUCK L

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TRUCK DETAIL

<b>APPROVED</b>	
SPECIAL USE PERMIT NO. <u>2016-0003</u>	
DEPARTMENT OF PLANNING & ZONING	
_____	_____
DIRECTOR	DATE
DEPARTMENT OF PLANNING & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
_____	_____
DIRECTOR	DATE
_____	
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

PROJECT NO:15048.002.00

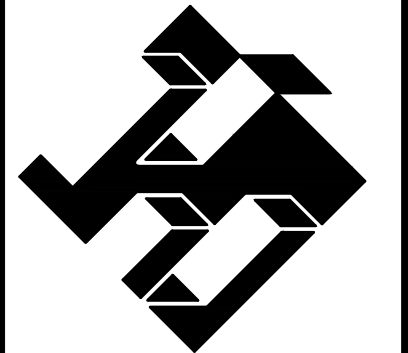
SCALE:  
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DATE: 4/14/17

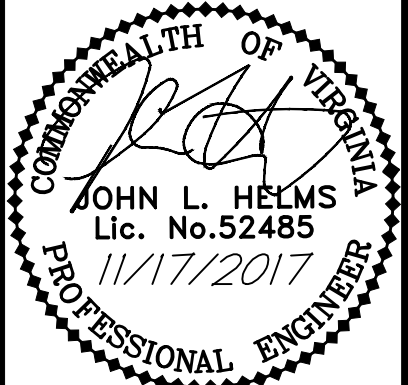
DESIGN: JLH  
DRAWN: JRW  
CHECKED: KMW

SHEET No.

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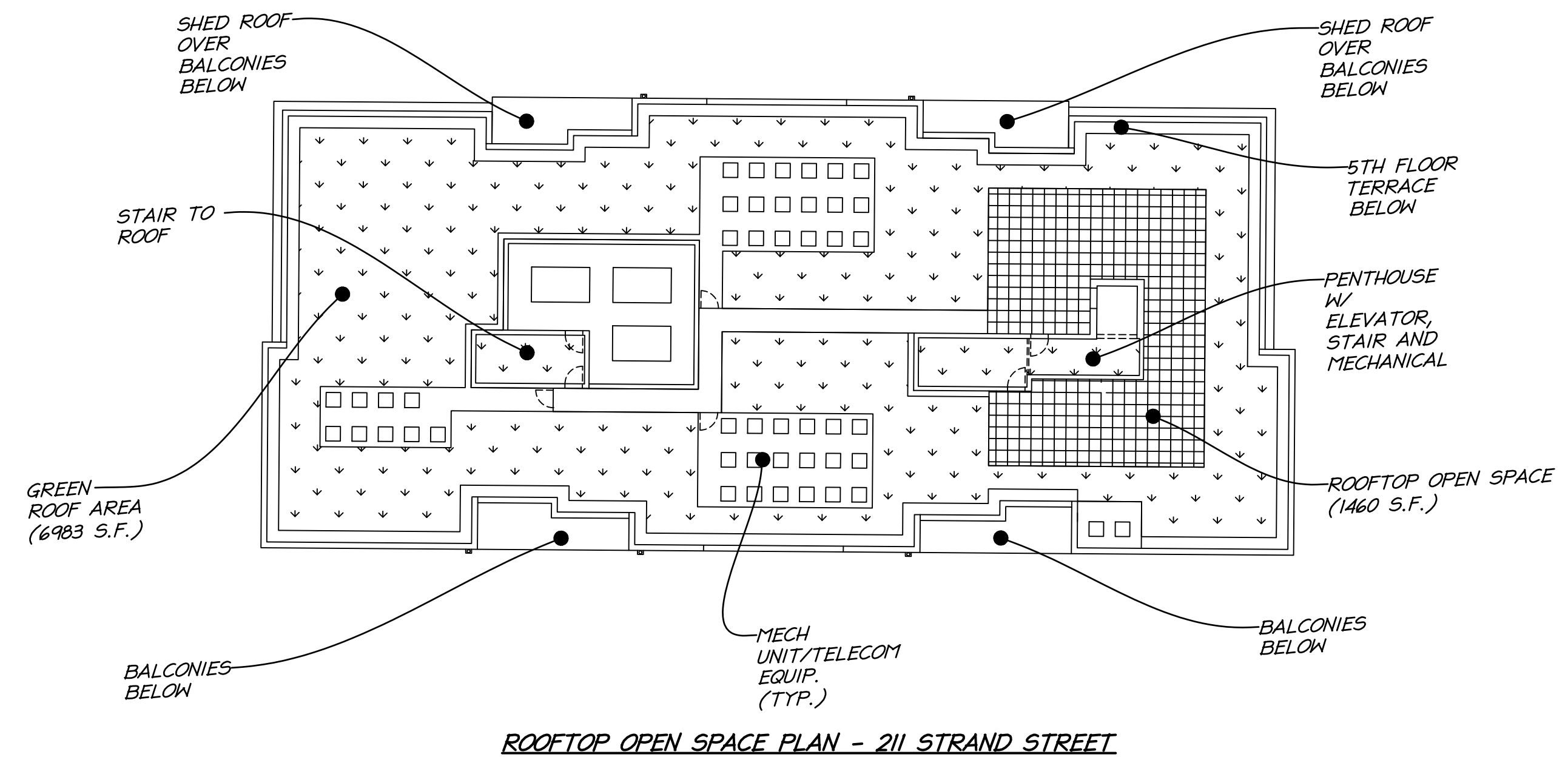
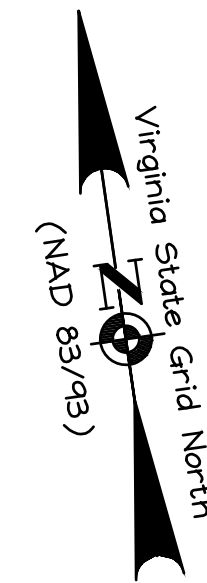
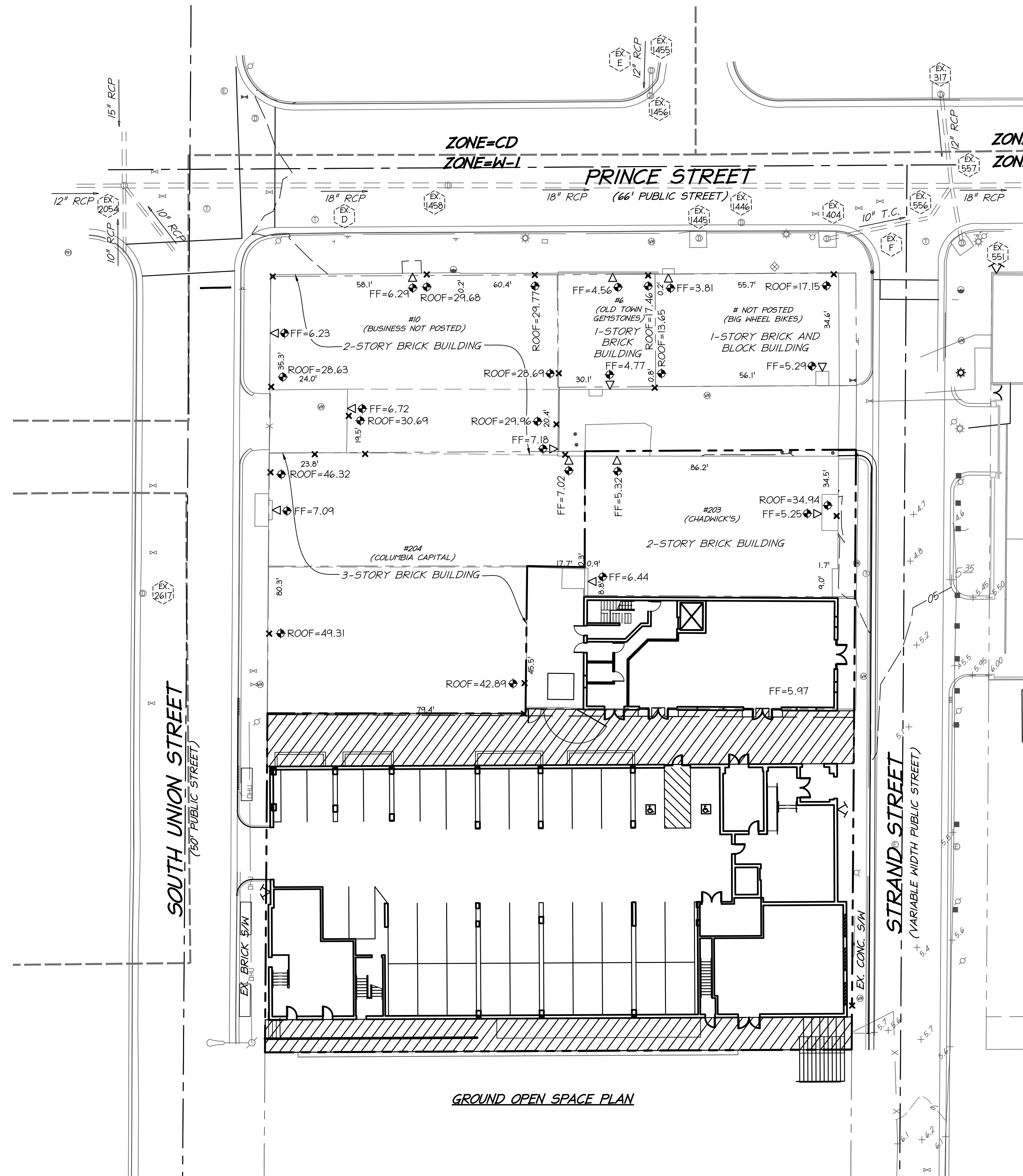


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# TURNING MOVEMENTS

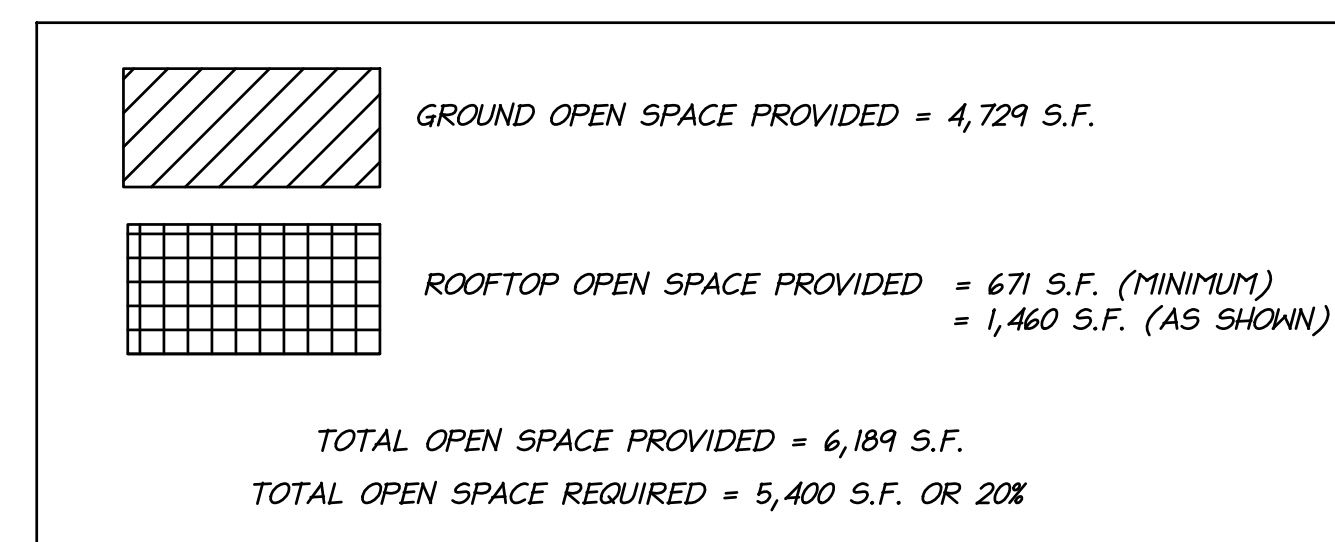
PRELIMINARY PLAN  
**THE STRAND CONDOMINIUM**  
THE CITY OF ALEXANDRIA, VIRGINIA



NOTE:

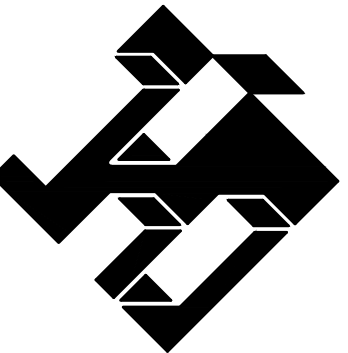
1.) PEDESTRIAN/ALLEY WAYS SHALL HAVE A PUBLIC ACCESS EASEMENT.

2.) FINAL ORIENTATION OF THE ROOF LAYOUT TO BE DETERMINED. A MINIMUM OF 671 S.F. WILL BE PROVIDED TO MEET THE REQUIRED OPEN SPACE.

[illegible]

ALL CONSTRUCTION SHALL CONFORM TO THE  
CURRENT CITY OF ALEXANDRIA STANDARDS AND  
SPECIFICATIONS

DISTURBED AREA:  
0.54 AC OR 23,350 S.F.



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# PRELIMINARY OPEN SPACE PLAN

PRELIMINARY PLAN

**THE STRAND CONDOMINIUM**

THE CITY OF ALEXANDRIA, VIRGINIA

<b>APPROVED</b>	
SPECIAL USE PERMIT NO. <u>2016-0003</u>	
DEPARTMENT OF PLANNING & ZONING	
_____	_____
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
_____	_____
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION _____	
DATE _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

PROJECT NO: 15048.002.0  
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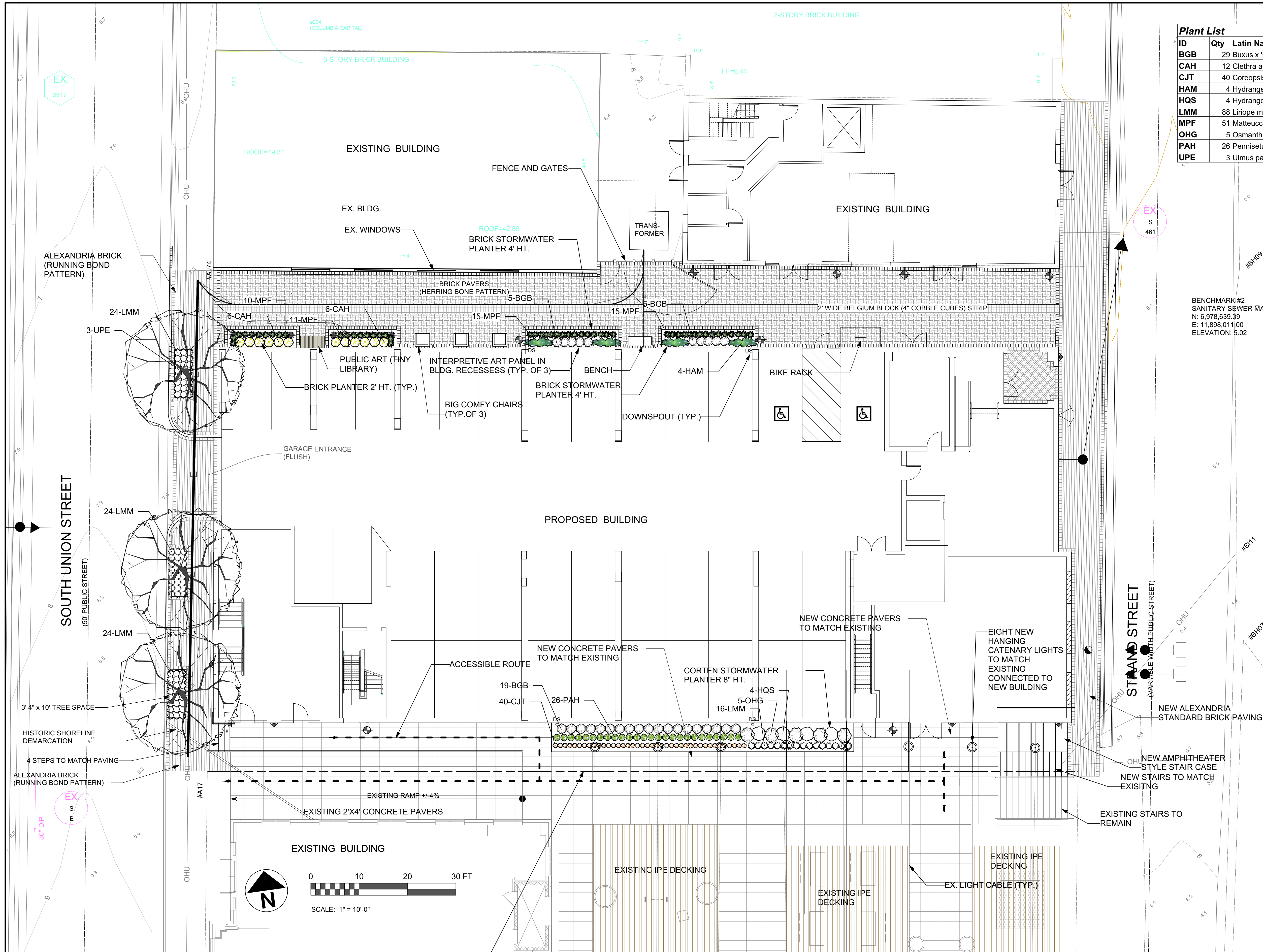
$$1'' = 20'$$

DATE: 4/14/17

DESIGN: JLH  
DRAWN: AJB  
CHECKED: KMW

SHEET No. \_\_\_\_\_

C800



Plant List					
ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
BGB	29	Buxus x 'Glencoe'	Chicagoland Green Boxwood	18"-24" Ht.	B&B
CAH	12	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	18" SPR.	CONTAINER, 18" O.C.
CJT	40	Coreopsis 'Jethro Tull' P.P.# 18789	Jethro Tull Tickseed	1 GAL.	CONTAINER, 12" O.C.
HAM	4	Hydrangea anomala petiolaris 'Miranda'	Miranda Climbing Hydrangea	3 GAL.	CONTAINER
HQS	4	Hydrangea quercifolia 'Snowflake' P.P.# 3047	Snowflake Oakleaf Hydrangea	24"-30"	B&B OR CONTAINER
LMM	88	Liriope muscari 'Majestic'	Majestic Lily Turf	1 Gal.	CONTAINER, 18" O.C.
MPF	51	Matteuccia pennsylvanica	Ostrich Fern	1 GAL.	CONTAINER, 18" O.C.
OHG	5	Osmanthus heterophyllus 'Goshiki'	Goshiki False Holly	36" HT.	B&B OR CONTAINER
PAH	26	Pennisetum alopecuroides 'Hamel'	Hamel Fountain Grass	1 GAL.	CONTAINER
UPE	3	Ulmus parviflora 'Elmer II'	Allee Chinese Elm	3" CAL.	B&B

- NOTES:
1. ALL EXISTING VEGETATION TO BE REMOVED FROM THE SITE.
2. SPECIFICATIONS FOR ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CURRENT AND MOST UP TO DATE EDITION OF ANSI-Z60.1, THE AMERICAN STANDARD FOR NURSERY STOCK AS PRODUCED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, WASHINGTON, DC.
3. THE APPLICANT WILL MAKE SUITABLE ARRANGEMENT FOR PRE-SELECTION TAGGING, PRE-CONTRACT GROWING, OR IS UNDERTAKING SPECIALIZED PLANTING STOCK DEVELOPMENT WITH A NURSERY OR GROWER THAT IS CONVENIENTLY LOCATED TO THE PROJECT SITE. OTHER PROCEDURES THAT WILL ENSURE AVAILABILITY OF SPECIFIED MATERIALS. IN THE EVENT THAT SHORTAGES AND/OR MODIFICATION TO THE LANDSCAPE PLAN SHALL BE UNDERTAKEN BY THE APPLICANT. ALL REMEDIAL EFFORTS SHALL, WITH PRIOR APPROVAL BY THE CITY, BE PERFORMED TO THE SATISFACTION OF THE DIRECTORS OF THE PLANNING AND ZONING, RECREATION, PARKS AND CULTURAL ACTIVITIES AND TRANSPORTATION AND ENVIRONMENTAL SERVICES.
4. IN LIEU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA; GAITHERSBURG, MARYLAND.
5. PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATIONS, A PRE-INSTALLATION/CONSTRUCTION MEETING WILL BE SCHEDULED WITH THE CITY'S ARBORIST AND LANDSCAPE ARCHITECTS TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES.
6. MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED IN PERPETUITY. IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND/OR AS CONDITIONED BY PROJECT APPROVAL.
7. A CERTIFICATION LETTER FOR TREE WELLS, TREE TRENCHES AND PLANTINGS ABOVE STRUCTURE SHALL BE PROVIDED BY THE PROJECT'S LANDSCAPE ARCHITECT.
8. AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION /WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATIONS AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.

CROWN COVER CALCULATIONS			
TOTAL SITE AREA			26,944 S.F.
CROWN COVER REQUIRED		25.00%	6,736 S.F.
QUAN	TREE TYPE	CCA CREDIT	TOTAL
0	MEDIUM SHADE TREE	750 S.F.	0 S.F.
TOTAL SHADE TREE CROWN COVER			0 S.F.
47	SHRUBS	2 S.F.	94 S.F.
TOTAL SHRUB CROWN COVER			94 S.F.
MAX. ALLOWANCE 25%			1,684 S.F.
TOTAL CROWN COVER		0.48%	94 S.F.
CROWN COVER DEFICIENCY			6,642 S.F.

APPROVED

SPECIAL USE PERMIT NO. 2016-0003

DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

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SPECIFICATIONS FOR PLANTING

Plant Identification - All plants shall be properly tagged with plant name, size and nursery location.

List of Plant Material - The quantities given in the plant list are approximate only. The contractor is responsible for verifying plant quantities prior to bidding and any discrepancies shall be brought to the attention of the landscape architect. The Contractor shall furnish, and plant, all plants required to complete the work as shown on the drawings. Substitutions shall not be made without the written approval of the Landscape Architect. This contract will be based on the bidder having verified, prior to bidding, the availability of the required plant materials as specified on the Plant Schedule.

Plant Quality - All shrubs shall be dense, heavy to the ground, and well grown, showing evidence of having been pruned regularly, and shall be vigorous, healthy and of good color. All plants shall be sound, free of plant disease, infestation, or insect eggs and shall have a healthy, normal root system. Plants shall be freshly dug and not heeled-in stock, nor stock from cold storage. All plants shall be nursery grown. Plants shall not be pruned prior to delivery. The shape of the plant shall, in general, conform to its natural growth proportions unless otherwise specified. All plants, including container grown, shall conform to the branching, caliper and height specifications of the American Association of Nurserymen's Publication entitled American standard for Nursery Stock, ANSIZ60.1, latest edition, and shall have a well-shaped, heavy-branched structure for the species. Evergreen trees are to have an internode no greater than 24" and shall be uniformly well-shaped.

Plant Tagging - The contractor shall prepare a list of nurseries supplying the specified plant material.

Plant Spacing - Plant spacing is to scale on plan. No shrub material shall be closer than 30" to building walls.

Soil Mix - Soil mix will be 2/3 existing topsoil, 1/3 leafmold or other approved organic matter, thoroughly mixed and homogenized.

Rootball Size - The ball size shall conform to the American Association of Nurserymen's Publication entitled American Standard for Nursery Stock, ANSIZ60.1, latest edition, and shall be wrapped in untreated burlap.

Excavation - Holes for all plants shall be 18" larger in diameter than size of ball or container and shall have vertical sides. Hedges shall be planted in a trench 12" wider than ball diameter. Beds for mass planting shall be entirely rototilled to a depth of 8" and shall be 18" beyond the average outside edge of plant balls. Organic matter will be incorporated into plant beds by tilling again to a depth of 8". Proportions of soil to organic material will be two parts existing soil to one part organic material.

Planting - Backfilling shall be done with soil mix previously described, reasonably free of stones, subsoil, clay, lumps, stumps, roots, weeds, Bermuda grass, litter, toxic substances, or any other material which may be harmful to plant growth or hinder grading, planting, or maintenance operations. Should any unforeseen or unsuitable planting conditions arise, such as faulty soil drainage, chemical residues or inconsistencies between plans and actual site conditions, they should be called to the attention of the landscape architect and the owner for adjustment before planting. Plants shall be set plumb and straight and trees shall be guyed or staked at the time of planting. Backfill shall be well worked about the roots and seated by watering. Plants will be planted higher than surrounding grade. Shrubs will be 1" higher and trees will be 3" higher. Remove rope from round tree trunks and lay back burlap and wire baskets from top 1/3 of all B&B material. Nylon, plastic, or vinyl rope and/or burlap will be completely removed from all plant material prior to planting.

Transplanting Trees by Tree Machines - Trees shall be moved by machines that provide a minimum ball diameter of 10" per 1" of tree caliper. Holes are to be dug by the same size machine as the one transporting the plant. The plant material shall be transplanted in approximately the same growing condition as it is presently growing, in terms of soil type and moisture content. Fertilize and guy as described in these plans and specifications.

Cultivation - All trenches and shrub beds shall be cultivated, edged and mulched to a depth of 2" minimum and 3" maximum with well-aged, fine-shredded hardwood bark. The area around isolated plants shall be mulched to at least a 6" greater diameter than that of the hole. Plant beds adjacent to buildings shall be entirely mulched to the building wall.

Maintenance - The Contractor shall be responsible during the contract and up to the time of acceptance for keeping the planting and work incidental thereto in good condition by replanting, plant replacement, watering, weeding, cultivating, pruning, spraying, restaking and cleaning up, and by performing all other necessary operations of care for the promotion of good plant growth so that all work is in satisfactory condition at the time of acceptance at no additional cost to the owner.

Fertilizer - All fertilizer shall be granular, packet or pellet type with 35 to 80 percent of the total nitrogen in a slowly available form. For trees, shrubs, and groundcover; fertilizer shall be a complete fertilizer with a minimum analysis of 10 percent nitrogen, 6 percent phosphorus and 4 percent potassium. For perennials, annuals, and bulbs; fertilizer shall be a time-released, high-phosphate fertilizer; i.e., MagAmp 7-40-6 coarse. For bulbs, fertilizer shall be bonemeal (commercial, raw and finely-round), with an analysis of 4 percent nitrogen and 20 percent phosphoric acid.

Fertilizer shall be added depending on the size of the plant and the manufacturer's recommendation using the following application rates:

- Trees: Use ½ lb. of 10-6-4 fertilizer per inch of trunk diameter.
- Shrubs: Use 1/4 lb. of 10-6-4 fertilizer per foot of height or spread per plant, or 3-5 lbs. of 10-6-4 fertilizer per 100 square feet of bed area.
- Groundcover: Use 3 lbs. of 10-6-4 fertilizer per 100 square feet of bed area.
- Perennials, Annuals, Bulbs: Use 3 lbs. of time-release, high-phosphate fertilizer (5-10-5) per 100 square feet of bed area.
- Bulbs: Use 4-8 lbs. of bonemeal per 100 square feet of bed area (or use time-released, high-phosphate fertilizer as specified above).

Ground Cover - All areas of groundcover shall be rototilled to a depth of 6". Apply 2" of organic material (leafmold) and rototil until thoroughly mixed. Apply fertilizer as stated above.

Perennial Flower Bed Preparation - A soil test shall be taken for pH analysis and the soil amended with ground limestone for acidic soil and garden sulfur or ferrous sulfate for alkaline soil at rates recommended by the soil test. The final pH should be between 6.5 and 7.0. Soil shall be spaded to a depth of 12". Spread 4" of completely decayed organic matter over the soil. Use "nitrogen-fortified" organic material or spread two pounds of ammonium sulfate per 100 square feet. Over this layer spread a thin layer of fertilizer per the schedule unless the soil test indicates otherwise. Rototil fertilizer and organic matter, mixing them thoroughly into the soil. Use a tiller that will cultivate to a minimum depth of 8" and do not make more than two passes. The entire bed may be cultivated with a spade if preferred. When finished, rake surface with a steel-tooth rake until smooth. Moisten the bed, let the water soak in, and rake it again.

Annual Flower Bed Preparation - A soil test shall be taken for pH analysis and the soil amended with ground limestone for acidic soil and garden sulfur or ferrous sulfate to alkaline soil at rates recommended by the soil test. The final pH should be between 6.5 and 6.8. Soil shall be spaded to a depth of approximately 12". Spread 2"-3" of organic matter over soil. Organic material may be coarse moist peat moss, well-rotted manure or compost. Over this layer of organic material, spread a thin layer of fertilizer per the schedule above. Rototil fertilizer and organic material to a depth of 6", mixing them thoroughly into the soil and continue to break-up lumps; then rake surface with steel-tooth rake until smooth. Moisten the bed, let the water soak in and rake it again. Space plants as indicated on drawing.

Guarantee and Replacement - All plant material shall be unconditionally guaranteed for one year. The guarantee will begin on the date of final acceptance of the work. After a plant has been determined to be dead, dying or damaged from handling or installation, it will be replaced during the next growing season. For example, if a plant is found dead during the summer months, it will be replaced during the fall planting season. The guarantee will end for all plant material one year after acceptance. During the guarantee period, the Contractor will not be responsible for mechanical injury or vandalism caused by other parties.

Material Inspection - The Landscape Architect may inspect plant material before and during delivery and installation. Plant material will be properly delivered in covered trucks, and promptly uncovered when delivered to prevent damage. Material will be unloaded and properly handled in such a way as not to damage plants. Plants will be inspected and may be rejected upon delivery and/or installation by the owner for mechanical damage, and damage that will subsequently cause misshapen or deformed material. Owner will have authority to observe site preparation and planting installations, and have the right to reject any work if the specifications and construction documents are not followed. All plant material shall be of the quality specified and installed as described above, and unless these minimum standards are satisfied, the plants will be rejected.

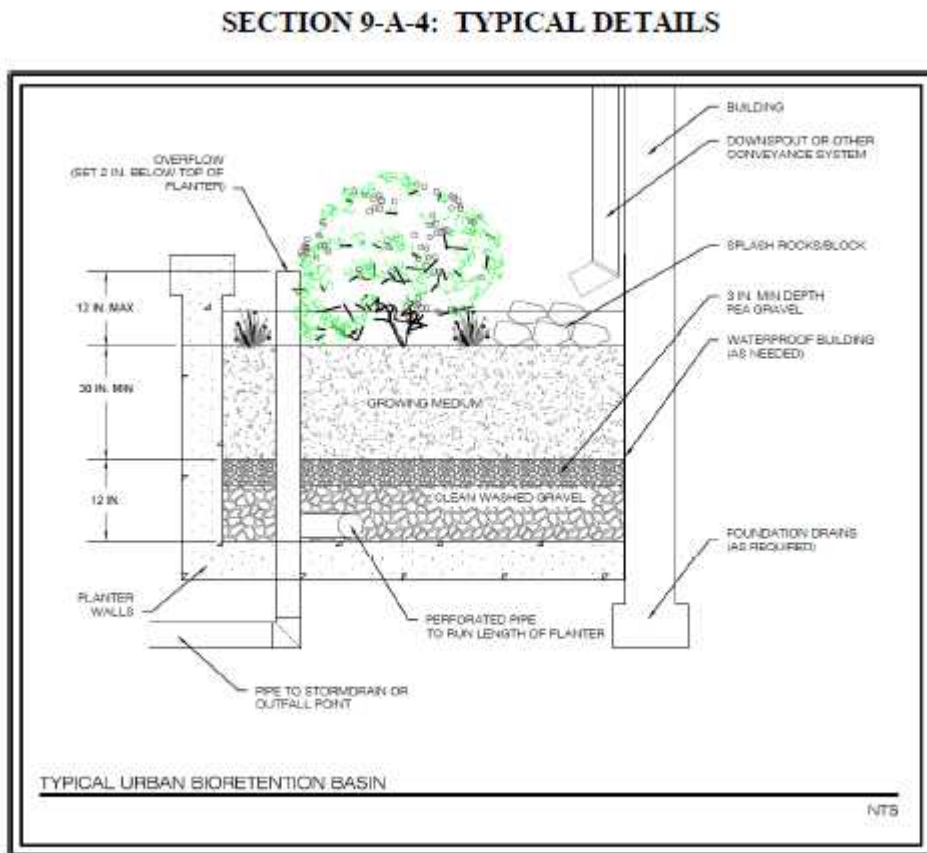
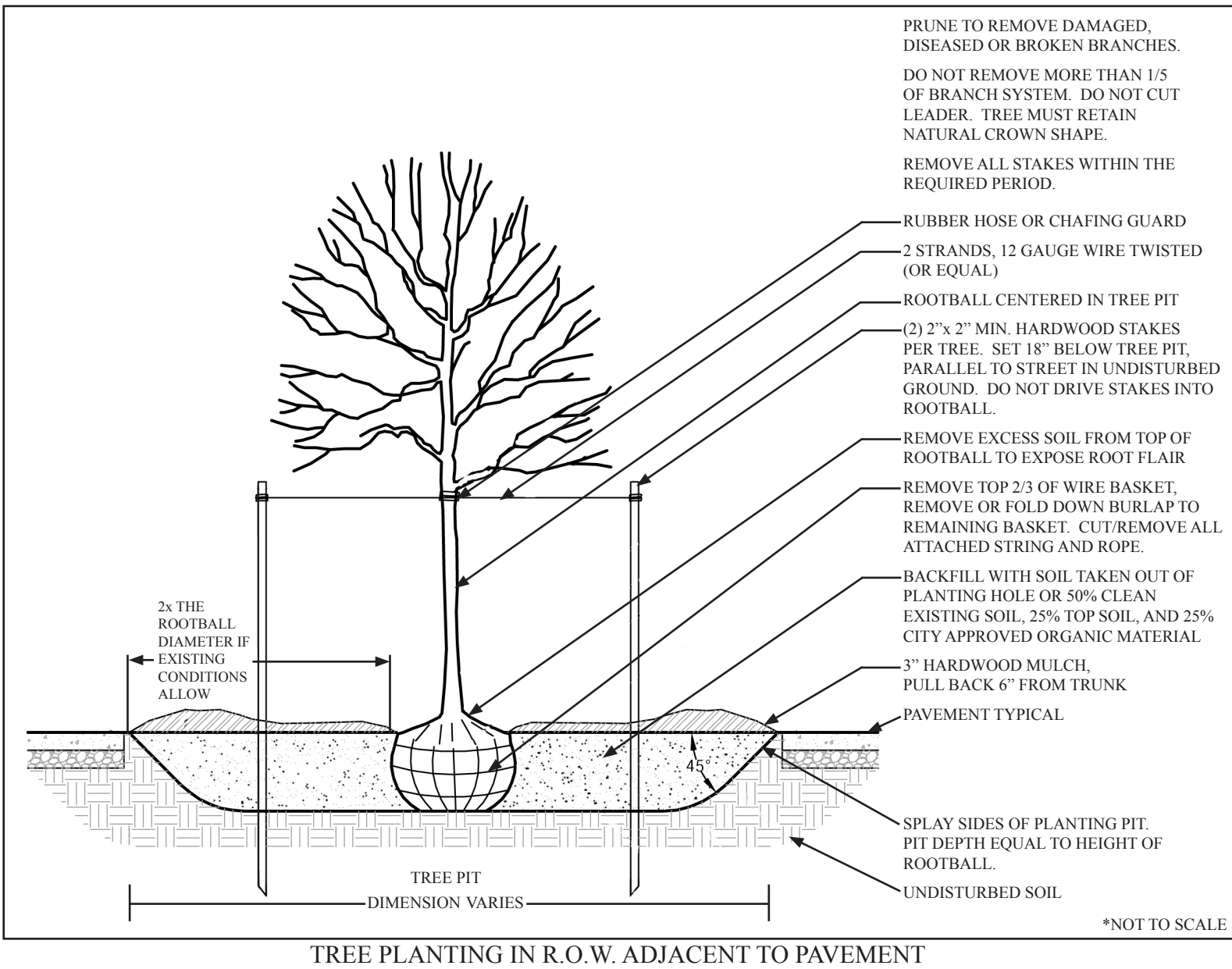


Figure 9-A.4. Stormwater Planter Cross-Section



3	11-17-2017	PER CITY REVIEW
2	10-31-2017	PER CITY REVIEW
1	9-8-2017	PER CITY REVIEW
No.	Date	Revision Notes

PostModern  
Landscape Architecture, LLC  
landscape architects llc

10725 SANTA ANITA TERRACE 301-968-7214  
DAMASCUS, MD 20872 INFO@POSTMODERN-LA.COM

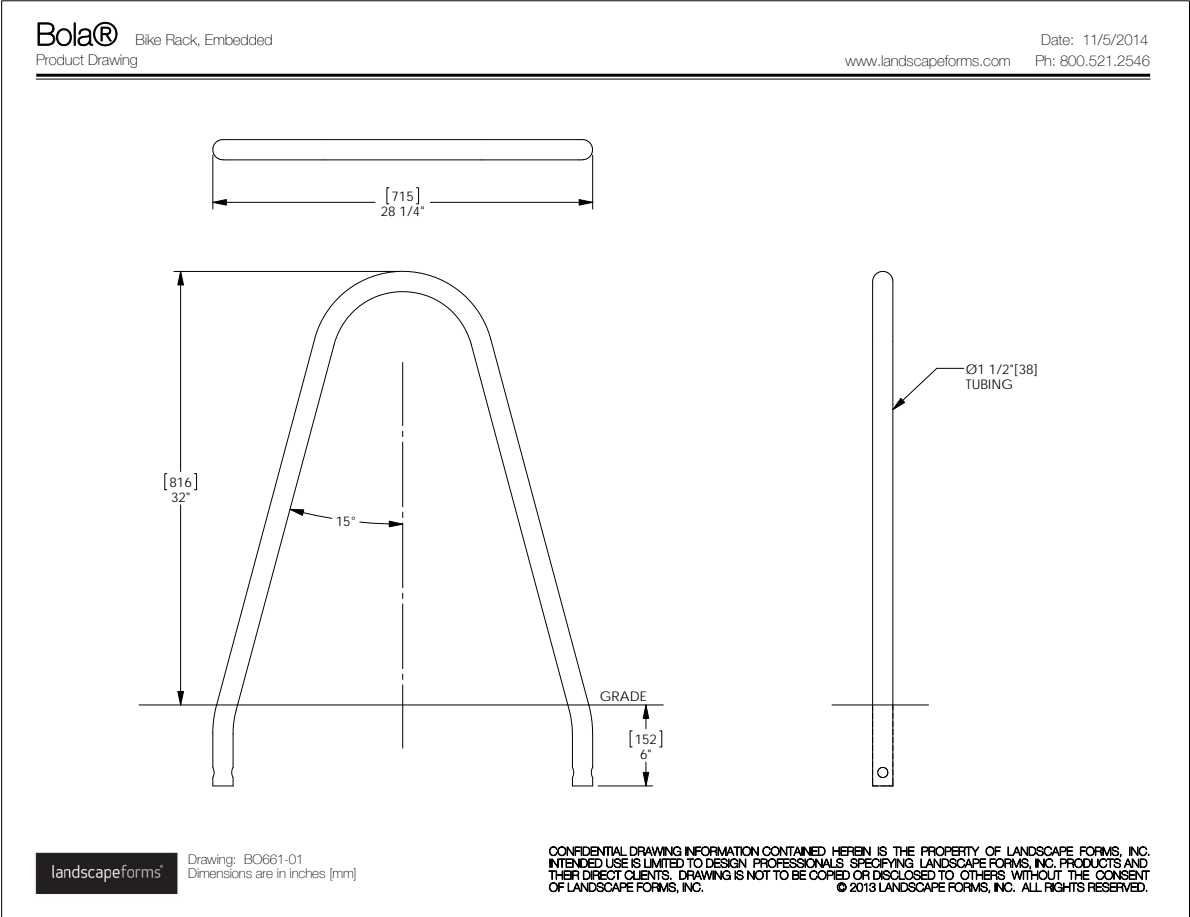
Project Title	PRELIMINARY PLAN THE STRAND CONDOMINIUM 203/205/211 STRAND STREET THE CITY OF ALEXANDRIA, VIRGINIA
Drawing Title	PRELIMINARY LANDSCAPE DETAILS

APPROVED SPECIAL USE PERMIT NO. 2016-0003 DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO. PAGE NO.

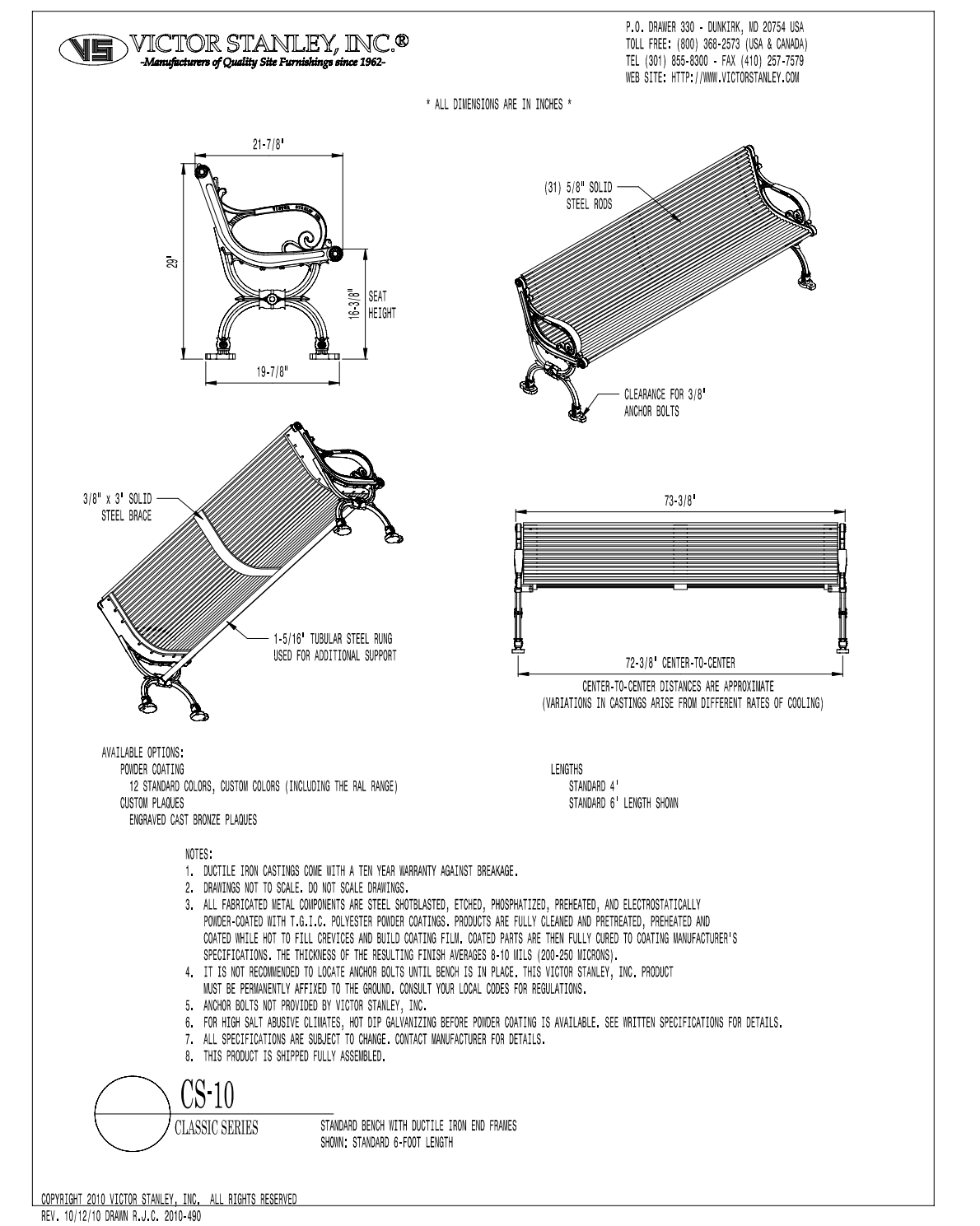
Drawn By	DBP	Project ID	2017-407
Scale	AS SHOWN		
Drawing No.	C-902		
Date	6/30/2017	of	
CAD File Name			



EXISTING VIEW OF SOUTH ALLEY FROM STRAND STREET:  
EXISTING STEPS AND HANDRAILS TO REMAIN.  
CORTEN PLANTER TO BE REMOVED.  
NEW AMPHITEATER STYLE STAIRS AND RAILING TO MATCH.



BIKE RACK



BENCH