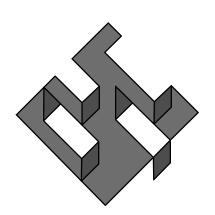
PRELIMINARY DSUP SITE PLAN THE STRAND CONDOMINUM ALEXANDRIA, VIRGINIA

SUBMISSION

TAX MAP # 075.03-03-05, 075.03-03-06, 075.03-03-07



PREPARED BY:

christopher consultants

engineering · surveying · land planning 9900 main street (fourth floor) fairfax, va 22031-3907

APPLICANT

THE IDI STRAND LC

1700 NORTH MOORE STREET, SUITE 2020 ARLINGTON, VIRGINIA 22209 (703) 558-7300

ARCHITECT

RUST ORLING ARCHITECTURE

1215 CAMERON STREET ALEXANDRIA, VIRGINIA 22314 (703) 836-3205

CIVIL ENGINEER

christopher consultants, Itd.
9900 MAIN STREET

FOURTH FLOOR FAIRFAX, VIRGINIA 22031 (703) 273-6820

ATTORNEY

McGUIRE WOODS 1750 TYSONS BLVD, SUITE 1800 (703) 712-5000



LOCATION MAP

SCALE I"= 200'

<u>AREA TABULATIONS:</u>

TOTAL AREA OF TAX PARCEL = 0.619 Ac. OR 26,944 SF

075.03-03-07 - 18,779 S.F. OR 0.431 AC. 075.03-03-06 - 3,639 S.F. OR 0.084 AC.

075.03-03-05 - 3,708 S.F. OR 0.086 AC.

075.03-03-04.R - ALLEY - 818 S.F. OR 0.0188 AC. (ALLOCATION PER AGREEMENT WITH ABUTTING ALLEY OWNERS - SEE BELOW)

TOTAL EXISTING IMPERVIOUS AREA = 0.59 Ac. OR 25,700 SF

TOTAL PROPOSED IMPERVIOUS AREA = 0.52 Ac. OR 22,650 SF

TOTAL DISTURBED AREA = 0.54 Ac. OR 23,350 SF

BUILDING CODE ANALYSIS:

		Building Code Dat	a	
		211 Strand St.	205 Strand St.	203 Strand St. (ex'g to remain)
Use Group		R-2/M/S-2/A-3	R-3/M	A-2
Number of stories		5 + Occupied Roof	3	2
Type of Construction	1	II-B	III-B	existing
	1	13,632	2,750	3,325
	2	11,112	2,700	3,161
Floor Area per floor	3	12,953	2,700	n/a
	4	12,795	n/a	n/a
	5	12,566	n/a	n/a
Sprinklered	No.	yes	yes	

NARRATIVE DESCRIPTION OF DEVELOPMENT

THE SITE IS BORDERED TO THE NORTH BY PRINCE STREET; TO THE EAST BY STRAND STREET; TO THE WEST BY SOUTH UNION STREET AND TO THE SOUTH BY A PROPOSED HOTEL CURRENTLY UNDER CONSTRUCTION. THE ENTIRE SITE FALLS WITHIN THE 100-YEAR FLOODPLAIN. THERE ARE NO STEEP SLOPES ON THE PROPERTY.

THIS PROJECT CONSISTS OF THE REDEVELOPMENT OF THE SUBJECT SITE CURRENTLY OCCUPIED BY THREE EXISTING BUILDINGS CONTAINING RETAIL, OFFICE, AND A RESTAURANT. THE EXISTING BUILDING AT 211 STRAND STREET WILL BE DEMOLISHED. A 5-STORY MULTIFAMILY BUILDING WITH RETAIL, LOBBY AND PARKING ON THE GROUND FLOOR AND IMPROVED STREETSCAPE/OPEN SPACE. GARAGE ACCESS WILL BE PROVIDED BY A RELOCATED ENTRANCE ALONG SOUTH UNION STREET. THE SECOND FLOOR OF THE EXISTING BUILDING AT 205 STRAND STREET WILL BE CONVERTED TO TWO RESIDENTIAL UNITS AND THE FIRST FLOOR WILL BE CONVERTED TO RETAIL. A I-STORY ADDITION IS PROPOSED FOR 205 STRAND STREET. THE RESTAURANT AT 203 STRAND STREET WILL

SITE ACCESS: THE PRIMARY ACCESS TO THIS SITE WILL BE FROM SOUTH UNION STREET.

SPECIAL USE PERMITS/ZONING MODIFICATIONS/WAIVERS

DEVELOPMENT SPECIAL USE PERMIT SPECIAL USE PERMIT FOR RESTAURANT IN W-I ZONE SPECIAL USE PERMIT FOR HEIGHT OVER 30 FEET IN POTOMAC RIVER VICINITY HEIGHT DISTRICT RETAIL AND RESIDENTIAL PARKING REDUCTION SPECIAL USE PERMIT MODIFICATION OF NORTH AND SOUTH SIDE YARD SETBACKS MODIFICATION OF MINIMUM CANOPY COVERAGE WAIVER OF SECTION 6-403 SPECIAL USE PERMIT FOR HEIGHT INCREASE FOR 2 PENTHOUSES

PARKING REDUCTION FOR 28 SPACES (20 RETAIL SPACES AND 8 RESIDENTIAL SPACES) MODIFICATION FOR RESIDENTIAL LOBBY ON GROUND FLOOR IN W-I ZONE (5-509(A))*

*UNDER THE CURRENT CITY PARKING ORDINANCE, THE APPLICANT REQUESTS A PARKING REDUCTION OF 25 SPACES FOR THE NEW RETAIL SPACE. IF THE CITY APPROVES THE PROPOSED CHANGE TO THE CITY PARKING ORDINANCE OF .25 SPACES PER I,000 SQUARE FEET OF RETAIL, THE RETAIL PARKING REDUCTION REQUEST WILL BE REDUCED TO 2 SPACES

SHEET INDEX

CIVIL PLAN SHEETS

COVER SHEET NOTES AND TABULATIONS SITE DETAILS EXISTING CONDITIONS PLAN CONTEXTUAL PLAN DEMOLITION PLAN PRELIMINARY SITE PLAN PRELIMINARY SITE GRADING PLAN PRELIMINARY DIMENSION PLAN PRELIMINARY FIRE SERVICE PLAN BIKE CIRCULATION EXHIBIT SWM/BMP NOTES AND COMPUTATIONS PRELIMINARY BMP DRAINAGE DIVIDE MAP SANITARY SEWER COMPUTATIONS SIGHT DISTANCE PROFILE TURNING MOVEMENTS PRELIMINARY OPEN SPACE PLAN PRELIMINARY LANDSCAPE PLAN PRELIMINARY LIGHTING AND SIGNAGE PLAN

PRELIMINARY LANDSCAPE DETAILS

ARCHITECTURAL SHEETS

ARCHITECTURAL SITE PLAN

FLOOR PLANS

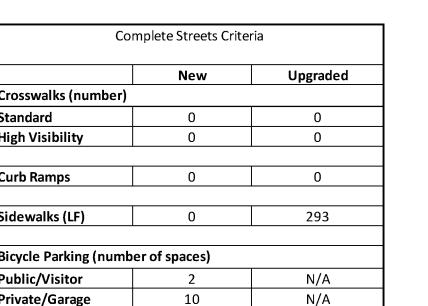
FLOOR PLANS FAR DIAGRAMS

Bicycle Paths (LF)

Pedestrian Signals

EXTERIOR ELEVATIONS

211 STRAND BUILDING SECTIONS



N/A

0

N/A



APPROV			
SPECIAL USE DEPARTMENT OF PLAI	. —		016-0003
DIRECTOR		DATE	
DEDARTMENT OF TRANS			
SITE PLAN NO	SPORTATION	& ENVIRON	NMENTAL SERVICES
	SPORTATION (& ENVIRON	NMENTAL SERVICES
SITE PLAN NO			DATE
SITE PLAN NO	MISSION		

GENERAL NOTES

- I. THE BOUNDARY INFORMATION FOR THE SUBJECT SITE IS BASED ON A CURRENT FIELD SURVEY PREPARED BY THIS FIRM IN FEBRUARY 2016.
- 2. EXISTING SITE INFORMATION FOR THE SUBJECT SITE IS BASED ON A CURRENT FIELD SURVEY PREPARED BY THIS FIRM IN JANUARY AND FEBRUARY 2016.
- 3. THE SUBJECT SITE IS LOCATED ON CITY OF ALEXANDRIA ASSESSMENT MAP 075.03-03-07, 075.03-03-06, 075.03-03-05, AND 075.03-03-04.R.
- 4. THE PROPERTY SHOWN HEREON IS LOCATED ON F.E.M.A. MAP COMMUNITY PANEL NUMBER 5155190041E, REVISED JUNE 16, 2011, ZONE AE.
- 5. PENDING OWNER/APPLICANT: THE IDI STRAND LC
- 6. IN ACCORDANCE WITH THE CITY OF ALEXANDRIA'S MARINE CLAY AREAS MAP DATED NOVEMBER 1976, THERE ARE NO AREAS OF MARINE CLAY LOCATED IN THE VICINITY OF THIS SITE.
- 7. IN ACCORDANCE WITH THE RESOURCE PROTECTION AREAS MAP ADOPTED JUNE 12, 2004 BY THE CITY COUCIL OF ALEXANDRIA, THERE ARE NO RESOURCE PROTECTION AREAS LOCATED ON THIS PROPERTY.
- 8. THIS PROJECT IS LOCATED IN A COMBINED SEWER AREA.
- 9. TO THE BEST OF OUR KNOWLEDGE THE SITE IS NOT LOCATED WITHIN 1,000 FEET OF A SANITARY LANDFILL.
- 10. TO THE BEST OF OUR KNOWLEDGE THERE ARE AREAS ON-SITE CONTAINING CONTAMINATED SOILS OR CONTAMINATED GROUNDWATER.
- II. THERE IS NO OBSERVABLE EVIDENCE OF CEMETERIES OR BURIAL GROUNDS.

SOIL DATA:

A GEOTECHNICAL ENGINEERING REPORT FOR THE SUBJECT PROPERTY WAS PREPARED BY ECS MID-ATLANTIC, LLC IN MARCH, 2016. SOIL BORING TESTS WERE DONE ON SITE TO EVALUATE THE SUBSURFACE CONDITIONS. THE TOP STRATUM CONSISTED OF FILL MATERIAL. BENEATH THE FILL MATERIAL ARE ALLUVIAL SOILS CONSISTING OF GRAVEL, SANDS AND SILTS.

ENVIRONMENTAL SITE ASSESSMENT

THERE ARE NO TIDAL WETLANDS, TIDAL SHORES, TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS, HIGHLY ERODIABLE/PERMEABLE SOILS OR BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS, OR WETLANDS LOCATED ON THE SITE. FURTHER, THERE ARE NO WETLAND PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT. ADDITIONALLY, THERE ARE KNOWN UNDERGROUND STORAGE TANKS OR AREAS OF SOIL OR GROUNDWATER CONTAMINATION ON THE SITE.

THE FOLLOWING REPORTS WILL BE SUBMITTED TO THE CITY OF ALEXANDRIA FOR REVIEW AND APPROVAL DURING THE FINAL SITE PLAN PROCESS: SITE CHARACTERIZATION REPORT RISK ASSESSMENT, HAZARDOUS MATERIALS SURVEY OF ALL ONSITE BUILDINGS, SOIL AND GROUNDWATER MANAGEMENT PLAN, AND HEALTH AND SAFETY PLAN. REPORT RECOMMENDATIONS WILL BE FOLLOWED.

- 2. THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, OFFICE OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS, AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY REGULATIONS.
- 3. ALL WELLS TO BE DEMOLISHED IN THIS PROJECT, INCLUDING MONITORING WELLS, MUST BE CLOSED IN ACCORDANCE WITH VIRGINIA STATE WATER CONTROL BOARD (VSWCB) REQUIREMENTS. CONTACT ENVIRONMENTAL HEALTH SPECIALIST AND COORDINATE WITH THE ALEXANDRIA HEALTH DEPARTMENT AT 703-838-4400 EXT 267/255.
- 4. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE II, CHAPTER 5, WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:
 - MONDAY THROUGH FRIDAY FROM 7AM TO 6PM AND
 - SATURDAYS FROM 9AM TO 6PM

• SATURDAYS FROM IOAM TO 4PM.

NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS

PILE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING HOURS:

- MONDAY THROUGH FRIDAY FROM 9AM TO 6PM

PROJECT SITE RUNOFF COMPUTATIONS:

PRE-DEVELOPMENT	POST-DEVELOPMENT

A = 0.62 ACRES A = 0.62 ACRESC = (0.03)(0.35) + (0.59)(0.90) = 0.87 C = (0.10)(0.35) + (0.52)(0.90) = 0.81

T = 5 MINUTES Tr = 5 MINUTES $I_2 = 6.2$ INCHES/HOUR I = 6.2 INCHES/HOUR In= 9.0 INCHES/HOUR In = 9.0 INCHES/HOUR $Q_2 = (0.87)(6.2)(0.62) = 3.344 \text{ CFS}$ Q = (0.81)(6.2)(0.62) = 3.113 CFS

 $Q_{\omega} = (0.87)(9.0)(0.62) = 4.854 CFS$ $Q_{\rm m} = (0.81)(9.0)(0.62) = 4.520 CFS$ NET DECREASE IN RUNOFF

 $Q_{2} = 3.344 \text{ CFS} - 3.113 \text{ CFS} = 0.231 \text{ CFS}$

 $Q_n = 4.854 \text{ CFS} - 4.520 \text{ CFS} = 0.334 \text{ CFS}$

<u>STORM WATER MANAGEMENT NARRATIVE</u>

DUE TO THE REDUCTION IN IMPERVIOUS COVER FOR THE SITE THROUGH REDEVELOPMENT, POST-DEVELOPMENT PEAK RUNOFF FOR THE TWO AND TEN YEAR STORMS WILL NOT EXCEED THE PRE-DEVELOPMENT RATES. PER THE CITY'S STORMWATER MANAGEMENT REQUIREMENTS [ARTICLE XIII 'CHESAPEAKE BAY ENVIRONMENTAL MANAGEMENT' SECTION 13-109.F.1] NO VOLUME CONTROL IS REQUIRED.

ZONING TABULATIONS

PROPOSED SITE AREA:

PROPOSED RETAIL GFA:

OPEN SPACE REQUIRED:

SITE LOCATION/ADDRESS: #203, 205, AND 211 STRAND STREET

EXISTING ZONE: PROPOSED ZONE:

SMALL AREA PLAN DISTRICT: WATERFRONT PLAN 075.03-03-07 - 18,779 S.F. OR 0.431 AC. EXISTING SITE AREA: 075.03-03-06 - 3,639 S.F. OR 0.084 AC.

> 075.03-03-05 - 3,708 S.F. OR 0.086 AC. 075.03-03-04.R - ALLEY - 818 S.F. OR 0.0188 AC. (ALLOCATION PER AGREEMENT WITH ABUTTING ALLEY OWNERS - SEE BELOW)

26,126 S.F. OR 0.599 AC. ALLEY ALLOCATION - 818 S.F.

TOTAL - 26,944 S.F. OR 0.619 AC. DEDICATED R.O.W: O SF OR O Ac. EXISTING USE: OFFICE/RETAIL/RESTAURANT

MULTIFAMILY/RETAIL/RESTAURANT PROPOSED USE: MAXIMUM FLOOR AREA RATIO: 3.0 EXISTING FLOOR AREA RATIO: 0.65 PROPOSED FLOOR AREA RATIO:

211 STRAND: GROSS FLOOR AREA PROPOSED: 66,369 S.F. 205 STRAND: 8,150 S.F. (EXISTING)

<u>6,486 S.F. (EXISTING)</u> 203 STRAND: TOTAL GROSS FLOOR AREA: 81,005 S.F.

NET FLOOR AREA PROPOSED: 80,832 S.F. (MAXIMUM NET FLOOR AREA PROVIDED IN ORDER

TO ACCOMMODATE FINAL DESIGN OF BUILDING AND FAR DEDUCTIONS)

MAXIMUM NUMBER OF UNITS: 30 UNITS PER ACRE

18 DWELLING UNITS (2 \$ 3 BEDROOM UNITS) PROPOSED NUMBER OF UNITS:

> 211 STRAND: 2,266 S.F. 205 STRAND: 1,861 S.F. 6,486 S.F. (EXISTING) 203 STRAND: TOTAL GROSS FLOOR AREA: 10,829 S.F.

REQUIRED: 300 SF/UNIT = 5,400 SF OR 0.131 AC.

50' FROM AVERAGE FINISHED GRADE

1,452 SF / UNIT * 18 UNITS = 26,136 SF < 26,944 SF REQUIRED LOT SIZE:

AT GRADE: 4,729 SF OPEN SPACE PROVIDED: ABOVE GRADE (ROOFTOP): 671 SF

TOTAL OPEN SPACE = 5,400 SF OR 20% 50' FROM AVERAGE FINISHED GRADE MAXIMUM BUILDING HEIGHT:

8.95'

AVERAGE FINISHED GRADE:

PROPOSED BUILDING HEIGHT:

YARDS:

LOT FRONTAGE:

PARKING REQUIRED:

FRONT YARD REQUIRED: FRONT YARD PROVIDED: 0.88' (WEST) 1.5' (EAST) FRONT YARD PROVIDED: 16' MINIMUM SIDE YARD REQUIRED: 16.75' (NORTH) SIDE YARD PROVIDED: 10' (SOUTH) SIDE YARD PROVIDED: LOT FRONTAGE REQUIRED:

LOT FRONTAGE PROVIDED: 104' (WEST) LOT FRONTAGE PROVIDED: 183.98' (EAST)

BASE FLOOD ELEVATION = 10.2' BASE FLOOD ELEVATION:

> RESIDENTIAL (211 + 205 STRAND) I.O SPACE PER BEDROOM - 5% 4+ BUS ROUTES = 0.95 SPACES PER BEDROOM

18 UNITS (2 OR 3 BEDROOM) X 0.95 SPACES PER BEDROOM = 34.2 SPACES REQUIRED

<u>RETAIL</u>

II REQUIRED (I.O PER 210 SF) 211 STRAND 2,266 SF

205 STRAND 1,861 SF 9 REQUIRED

RESTAURANT 6,486 SF 203 STRAND O REQUIRED

36 SPACES (GARAGE - 2/UNIT); IT COMPACT; 2 HANDICAP

PARKING PROVIDED: PARKING REDUCTION REQUESTED: 28 SPACES

LOADING REQUIRED: I SPACE

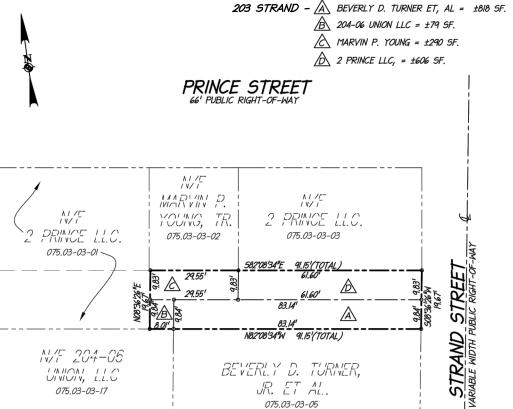
LOADING PROVIDED: I SPACE FOR COMMERCIAL USE IN THE ALLEY

EXISTING TRIP GENERATION: 168 ADT (PER ITE STANDARDS) 139 ADT (PER ITE STANDARDS) PROPOSED TRIP GENERATION:

APPROXIMATE AREA OF DISTURBANCE DURING CONSTRUCTION: 0.54 AC OR 23,350 SF

BICYCLE PARKING REQUIRED: 12 SPACES BICYCLE PARKING PROVIDED: 12 SPACES BASE FLOOD ELEVATION: 10.2'

<u>ALLEY OWNERSHIP ALLOCATION</u>



(203 STRAND)

BEST MANAGEMENT PRACTICES:

TO COMPLY WITH THE CHESAPEAKE BAY ACT (CBA) AND ARTICLE XIII OF THE ZONING ORDINANCE, THIS PROJECT WILL PROVIDE WATER QUALITY TREATMENT THROUGH GREEN ROOF. THE DESIGN WILL BE UPDATED WITH FUTURE SUBMISSIONS.

<u>SANITARY DESIGN FLOWS</u>

NO CHANGE TO THE EXISTING FLOWS FROM 203 STRAND STREET

CITY OF ALEXANDRIA RECOMMENDED AVERAGE DESIGN FLOWS:

300 GPD/UNIT (FOR RESIDENTIAL) 200 GPD/I,000 SF (FOR RETAIL)

(300 GPD/UNIT X 18 UNITS) + (200 GPD/1,000 SF X 2,266 SF) = 5,854 GPD

PEAK FACTOR FOR LATERALS = 4.0

5,854 GPD * (4) = 23,416 GPD > 10,000 GPD*

*PER MEMO TO INDUSTRY 2002-0007, ADEQUATE OUTFALL ANALYSIS NECESSARY - SEE SHEET C502

Q = (5,854 GPD / 7.48 GAL/CF) * (DAY/86,400 SEC) = 0.009 C.F.S.

DESIGN FLOW = 0.009 X 4.0 = 0.036 C.F.S.

UTILITY CONTACTS:

<u>VERIZON</u> WASHINGTON GAS

MR. PAT ESTRADA-PALMA 6801 INDUSTRIAL ROAD SPRINGFIELD, VA 22151 (703) 750-4289

MR. STEVE H PURYEAR, SUPERVISOR-ENGINEERING 2980 FAIRVIEW PARK DRIVE, 6TH FLOOR FALLS CHURCH, VA 22042 (703) 204-5072

DOMINION VIRGINIA POWER VIRGINIA AMERICAN WATER COMPANY

MR. KEN HOLMES 907 WEST GLEBE ROAD. ALEXANDRIA, VA 22305 (703) 838-2478

COMCAST CABLE

STEVEN CHEN

(703) 706-3863

2225 DUKE STREET

ALEXANDRIA, VA 22314

MR. GUSTAVO CATELLON 2707 WILSON BLVD. ARLINGTON, VA 22201 (703) 926-0534

CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

301 KING STREET, ROOM 4100 ALEXANDRIA, VA 22314 (703) 746-4025

GREEN BUILDING POLICY

WALKABILITY SCORE

Walkability Index Use Types & Categories Chart

Use or Service Type

armers Market (min. 9 months per year)

Family entertainment venue (e.g. theater,

estaurant, café, diner (excluding those with

Cultural arts facility (museum, performing

education center, vocational school,

vernment office that serves public on-site

Medical clinic or office that treats patients >

Education facility (e.g. K-12 school) Education facility (e.g. university, adult

Gym, health club, exercise studio

Adult or senior care (licensed)

(min. 5,000 gross square footage)

Bank (not ATM)

Laundry, dry cleane

Child care (licensed)

Place of worship

Post office

Public library

Public park

Multiple retail uses may be counted if they are of a different type

Pharmacies may be co-located with grocery stores

Only up to two restaurants may be counted

Police or fire station

Community recreation center Social services center

Business office (100 or more FTE)

narket or grocery with produce secti

Max. Points

THE SITE WILL COMPLY WITH THE CITY OF ALEXANDRIA'S GREEN BUILDING POLICY

0.25 mi. or less | 0.25 - 0.5 mi

ARCHAEOLOGY NOTES

I. THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

2. THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY , UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ALEXANDRIA STANDARDS AND **SPECIFICATIONS**

DISTURBED AREA:

0.54 AC OR 23,350 S.F.

SUBMISSION

LEGEND

Utilities – Water WATER VALVE FIRE HYDRANT WATER METER Utilities - Sanitary SANITARY MANHOLE

DATE

CLEAN OUT Utilities - Storm STORM DRAIN INLET STORM DRAIN MANHOLE STORM CATCH BASIN

STORM INVERT

Utilities - Electric LIGHT POLE ELECTRIC MANHOLE ELECTRIC VAULT

POWER POLE Utilities - Communication

COMMUNICATION PEDESTAL COMMUNICATION MANHOLE COMMUNICATION VAULT

Utilities - Gas GAS VALVE GAS METER Misc. Symbols

> UNIDENTIFIED MANHOLE *BOLLARD* GROUND SPOT SHOT BUILDING HEIGHT MEASUREMENT METAL POST

> > EXISTING PARCEL IDENTIFICATION PARKING SPACE COUNT STORM STRUCTURE

> > > SANITARY STRUCTURE

DECIDUOUS TREE • CONIFEROUS TREE

Linetypes		
· · · · · · · · · · · · · · · · · · ·	× ×	- FENCE
 55	 55	- UNDERGROUND SANITARY LINE
——————————————————————————————————————	—	- UNDERGROUND GAS LINE
——Е——	—Е——	- UNDERGROUND ELECTRIC LINE
T	T	- UNDERGROUND COMMUNICATION LINE
——————————————————————————————————————	—- W	- UNDERGROUND WATER LINE
_UU	UU	- UNIDENTIFIED UNDERGROUND UTILITY
— — G— -	— G— —	- GAS LINE SCALED PER PLANS
<u> </u>	— —5 5 — ——	- SANITARY LINE SCALED PER PLANS
<u> </u>	s	- STORM LINE SCALED PER PLANS
		CURB & GUTTER
		PROPERTY LINE
		- ADJOINER LINE
		- EX. INDEX CONTOUR (5')
		- FX INT CONTOUR (IÌ) Î

— ·· — ·· — ·· — EDGE OF WATER CENTERLINE OF R/W Abbreviations CURB & GUTTER REIN. CONC. PIPE CHAIN LINK FENCE WOOD FENCE EDGE OF WATER

> INFORMATION COMPACT PARKING SPACE

END OF UTILITY

------ PROPOSED CURB & GUTTER ------ PROPOSED CURB & GUTTER TRANSITION

DENOTES NUMBER OF STANDARD PARKING SPACES

PROPOSED ENTRANCE

FIRE DEPARTMENT CONNECTION (FDC) - x - PROPOSED FENCE

DATE RECORDED.

APPROVED SPECIAL USE PERMIT NO. 2016-0003 DEPARTMENT OF PLANNING & ZONING DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. ____ DIRECTOR DATE DATE CHAIRMAN, PLANNING COMMISSION

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

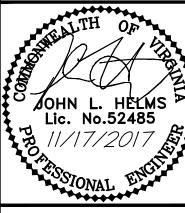
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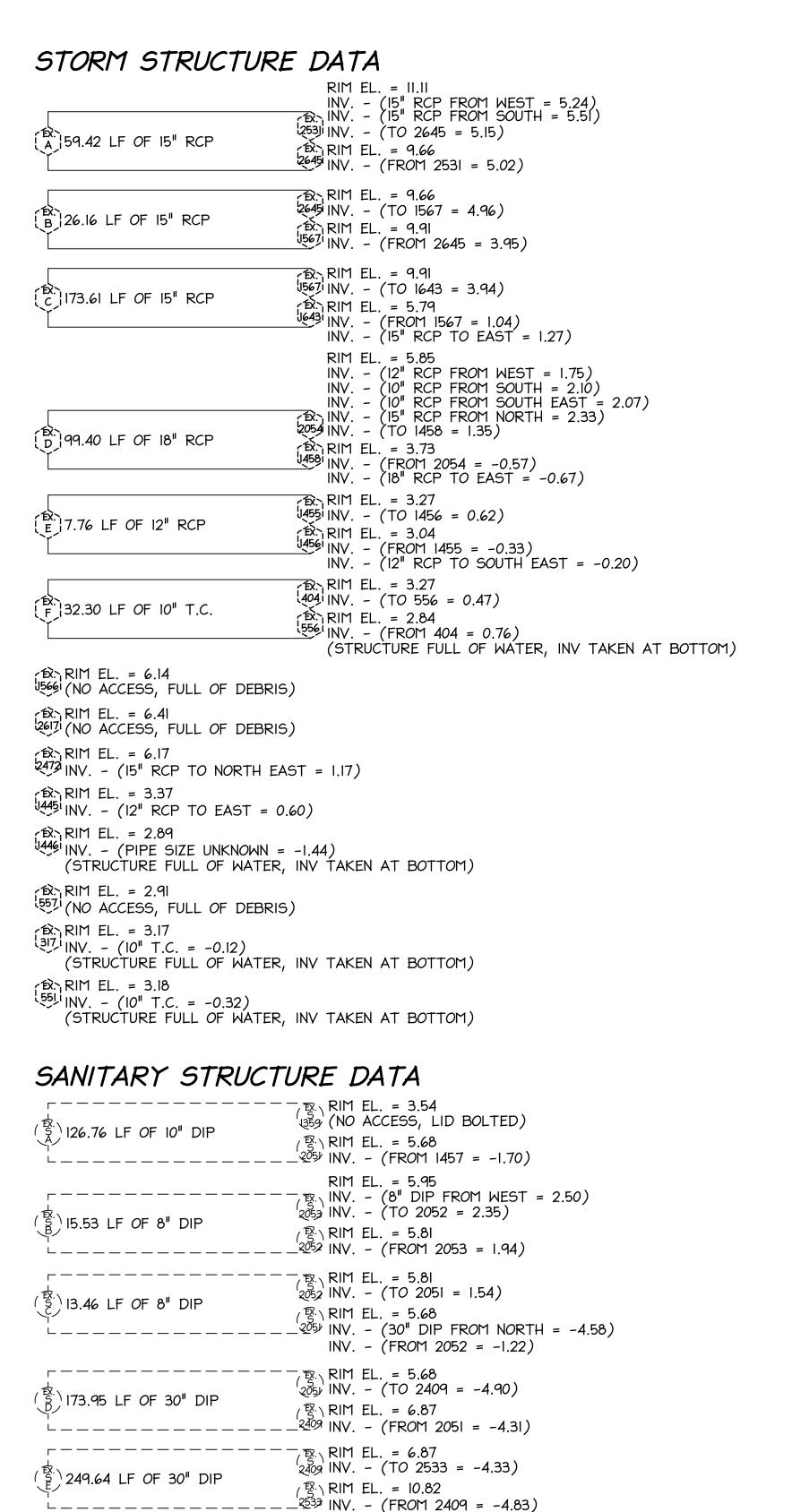
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DATE: 4/14/17

SHEET No.

PROJECT NO:15048.002.00 SCALE:

DESIGN: JLH DRAWN: AJB CHECKED: KMW



INV. - (8" DIP FROM WEST = -1.76) INV. - (10°) DIP FROM EAST = 0.61) INV. - (10° DIP TO SOUTH = -4.59)

INV. - (10" T.C. TO WEST = -1.21)

(46) INV. - (TO 1358 = 0.26)

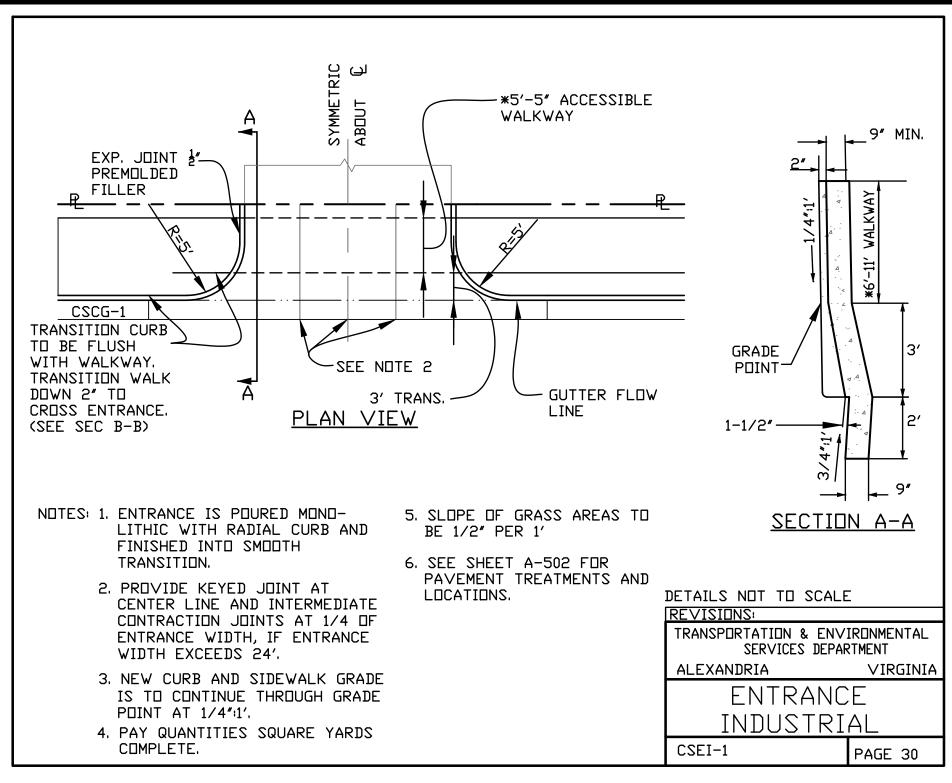
 $\sqrt{358}$ INV. - (FROM 461 = 0.78)

(1358) INV. - (TO 1359 = -1.21)

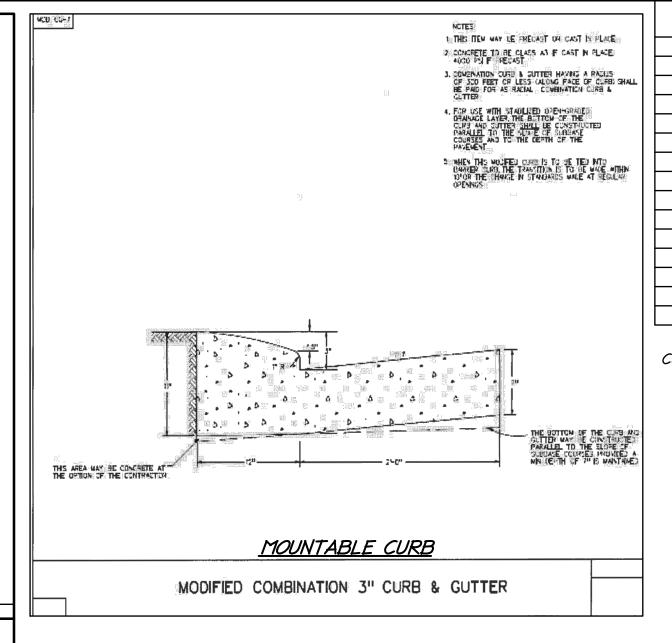
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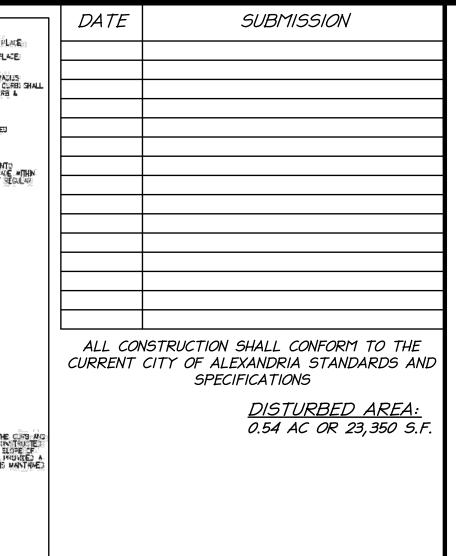
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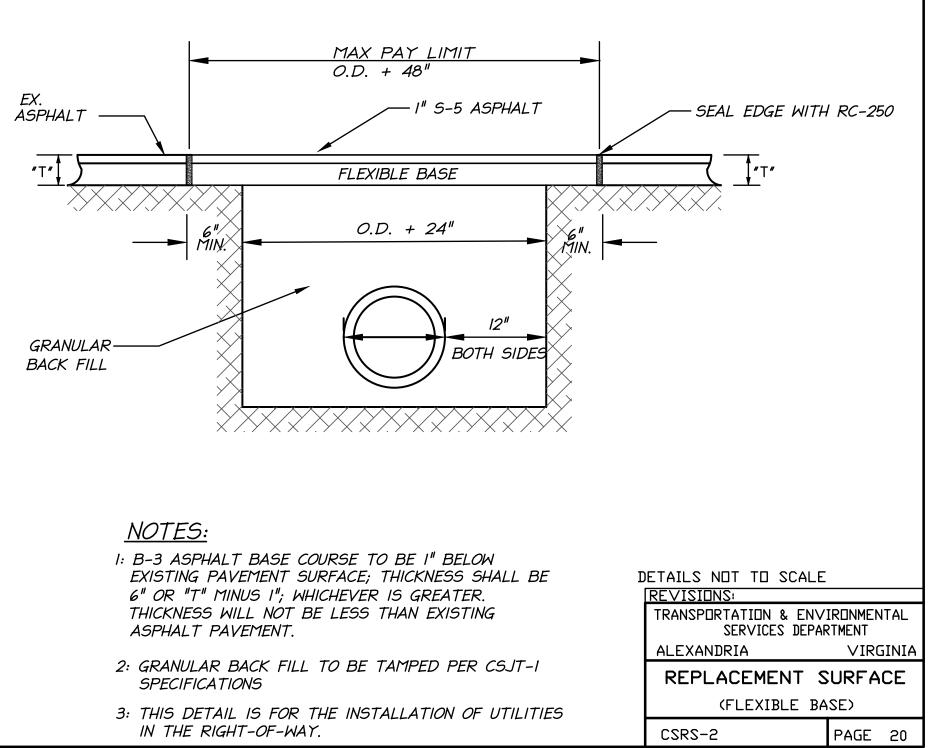
/ [환·\ RIM EL. = 3.54

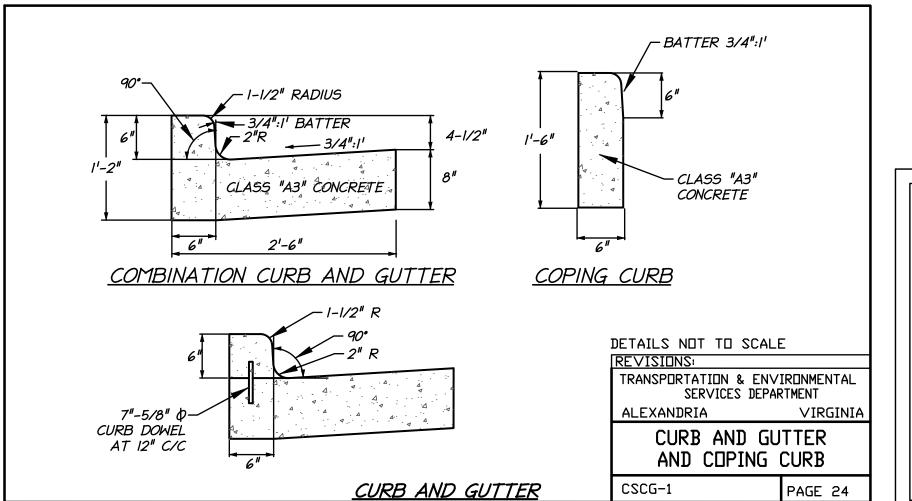


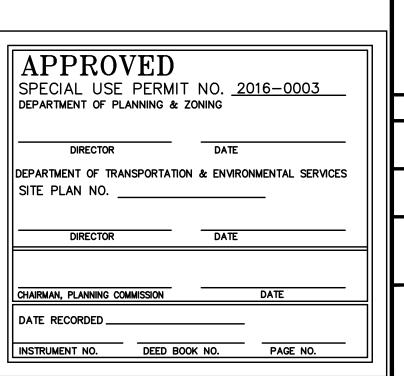












THE PROJECT NO:15048.002.00 SCALE: N/A DATE: 4/14/17 DESIGN: JLH DRAWN: AJB CHECKED: KMW SHEET No.

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ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ALEXANDRIA STANDARDS AND **SPECIFICATIONS**

DATE

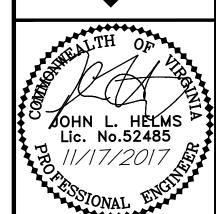
DISTURBED AREA: 0.54 AC OR 23,350 S.F.

SUBMISSION

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CONSI

stop



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PROJECT NO:15048.002.0

SCALE: 1"=20' DATE: 4/14/17

DESIGN: JLH DRAWN: AJB CHECKED: KMW

SHEET No.

C300

GENERAL NOTES . THE PROPERTIES SHOWN HEREON ARE NOW IN THE NAME OF BEVERLY D. TURNER, JR ET AL., RECORDED AT DEED BOOK 748 AT PAGE 784, DEED BOOK 851 AT PAGE 343, DEED BOOK 875 AT PAGE 749 ALL AMONG THE LAND RECORDS OF THE CITY OF

2. DURING THE PROCESS OF OUR PHYSICAL SURVEY NO INDICATIONS OF A CEMETERY WERE FOUND. NO FURTHER INSPECTION OF THESE PROPERTIES HAVE BEEN MADE FOR POSSIBLE CEMETERIES.

3. A TITLE REPORT WAS FURNISHED AND HAS BEEN INCORPORATED HEREON. ALL UNDERLYING TITLE LINES, RIGHT-OF-WAYS, EASEMENTS, ENCUMBRANCES OR OTHER CIRCUMSTANCES AFFECTING THE SUBJECT PROPERTY ARE AS SHOWN BY THE TITLE REPORT FURNISHED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER AI50136ICL AND WITH AN EFFECTIVE DATE OF JANUARY 4th, 2016.

4. A.) HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD 83) - VIRGINIA STATE GRID NORTH ZONE AS ESTABLISHED FROM A RECENT FIELD SURVEY PERFORMED BY C.P. JOHNSON & ASSOCIATES.

B.) THE VERTICAL DATUM SHOWN HEREON IS REFERENCE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AS ESTABLISHED FROM A RECENT FIELD SURVEY PERFORMED BY C.P. JOHNSON & ASSOCIATES.

5. NO GEOTECHNICAL, SUBSURFACE, FIELD REVIEWS, RESEARCH, AGENCY OR GOVERNMENTAL RECORD REVIEWS, OR OTHER INVESTIGATIONS HAVE BEEN MADE FOR THE PURPOSE OF LOCATING, OR DETERMINING THE EXISTENCE OF WETLANDS, HAZARDOUS MATERIALS, OR OTHER ENVIRONMENTAL CONCERNS ON SITE IN THE PERFORMANCE OF CHRISTOPHER CONSULTANTS, LTD SERVICES FOR THE PROJECT AS SHOWN HEREON.

6. ALL BUILDING DIMENSIONS ARE MEASURED AT THE OUTSIDE GROUND LEVEL OF BUILDING.

7. THERE ARE 26 REGULAR PARKING SPACES AND NO HANDICAP PARKING SPACES WITHIN THE LIMITS OF THE SURVEY.

8. THE PERPETUAL INGRESS-EGRESS EASEMENT SHOWN HEREON IS BASED UPON A PLAT ENTITLED "PLAT SHOWING A NON-EXCLUSIVE PERPETUAL INGRESS-EGRESS EASEMENT ON THE LAND OF BEVERLY D. TURNER, JR., JAMES A TURNER, DORIS TURNER-WHITESTONE", BY HOLLAND ENGINEERING AND DATED FEBRUARY 16th, 1995. THERE HAS BEEN NO EVIDENCE OF THIS PLAT BEING RECORDED AT THE TIME OF THIS SURVEY.

FLOOD ZONE NOTE

THE PROPERTIES SHOWN HEREON ARE LOCATED ON THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 5155190041E, REVISED AND EFFECTIVE ON JUNE 16, 2011.

BY GRAPHIC DEPICTION ONLY (UNLESS OTHERWISE NOTED), THE PROPERTIES SHOWN HEREON ARE SHOWN IN: • FLOOD ZONE "AE", SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD -BASE FLOOD AREAS DETERMINED.)

A FIELD SURVEY WAS NOT PERFORMED TO DETERMINE THE FLOOD ZONES LISTED HEREON. AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

UTILITY MARKING NOTES:

1) THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES AND SURFACE GROUND MARKINGS.

2) BEFORE DIGGING IN THIS AREA, CALL "MISS UTILITY" 1-800-552-7001 FOR FIELD LOCATIONS (REQUEST FOR GROUND MARKINGS) OF UNDERGROUND UTILITY LINES.

UNDERGROUND UTILITIES ON 08/08/14.

4) THIS INVESTIGATION DOES NOT INCLUDE THE USE OF GROUND PENETRATING RADAR OR INTRUSIVE METHODS OF INVESTIGATION SUCH AS TEST PITS OR BORINGS.

5) THIS INVESTIGATION DOES NOT INCLUDE DESIGNATING SPRINKLER OR IRRIGATION SYSTEMS, BURIED TANKS, SEPTIC SYSTEMS, OR WELLS.

6) DETECTING AND DESIGNATING UTILITIES THAT ARE BURIED DIRECTLY BELOW OTHER UTILITIES ARE NOT PROVIDED.

UTILITY DESCRIPTION	PLANS	MARKED	LOCATED	NOTES
COMMUNICATIONS	•			
VERIZON		X	×	MARKED AND LOCATED AS SHOWN.
COMCAST		X	X	MARKED AND LOCATED AS SHOWN.
ELECTRIC				
DOMINION VIRGINIA POWER		X	×	MARKED AND LOCATED AS SHOWN.
WATER				
VIRGINIA AMERICAN WATER		X	×	MARKED AND LOCATED AS SHOWN.
GAS	1			
WASHINGTON GAS		X	X	MARKED AND LOCATED AS SHOWN.
STORM & SANITARY SEWER				
CITY OF ALEXANDRIA	ALEXANDRIA SEWER VIEWER			AS-BUILT DATA OBTAINED WHERE ACCESSIBLE. CERTAIN FEATURES SHOW! PER PLAN.
UNIDENTIFIED				
UNIDENTIFIED UTILITY LINE		\/	\ \/	MARKED AND LOCATED AS SHOWN.

EXISTING PARCEL TABULATION AND OWNER INFORMATION

PARCEL #075.03-03-01 OWNER: 2 PRINCE LLC INST # 120015524 4,832 SQ. FT. ZONED: W-1

PARCEL #075.03-03-02
OWNER: YOUNG MARVIN P TR
INST #010024262
I,035 SQ. FT.
ZONED: W-1

PARCEL #075.03-03-03
OWNER: 2 PRINCE LLC
INST #120015524
1,960 SQ. FT.
ZONED: W-1

EX. C#G (EX. 5918 ZONE=CD ZONE=WPR 15921 ZONE=W-I ZONE=W-I 18" RCP (66' PUBLIC STREET) (66') 18" RCP 12" RCP (ÉX.) 1458 EX. PARKING 12054 TICKET METER-^{55.7¹} ROOF=17.15 ↔ (ULD TOWN FINES) III | 9 # NOT POSTED (BIG WHEEL BIKES) (BUSINESS NOT POSTED) **√**FF=6.23 -STORY BRICK AND BRICK -2-STORY BRICK BUILDING BLOCK BUILDING BUILDING © ROOF=28.63 24.0' $\xi \tilde{\sigma}$ FF=5.29♦▽ ROOF=28.69⊕ **√** FF=6.72 ♣ ROOF=30.69 ROOF=29.96⊕8 (SEE SHEET CIOO) 5 82°08'34" E 83.14" EX. METAL STAIRS-**♦**\ROOF=46.32 ROOF=34.94 #203 FF=5.25**⊕**▷ (CHADWICK'S) BENCHMARK #I SANITARY SEWER MANHOLE N: 6,978,699.97 2-STORY BRICK BUILDING (COLUMBIA CAPITAL) 5 80°42'34" E: 11,898,790.98 ELEVATION: 6.41 -: 3-STORY BRICK BUILDING -2-STORY BRICK AND STUCCO BUILDING ♣ROOF=49.31 (POTOMAC RIVERBOAT (RIVERSIDE\ (IDEA COMPANY) **♦**FF=5.97 5 81°46'34" E79 179.18 BENCHMARK #2 EX. TIMBER WALL SAMITARY EX. TIMBER WALL PFRPFTIJA - | SEWER MANHOLE N: 6, 978, 639.39 E: 11, 898, 011.00 ELEVATION: 5.02 'NGRESS-EGRESS EÀSEMENT': (SEE NOTE #8) EX. 16 EMERGENGY -VEHICLE EASEMENT D.B. 895 PG. 287 (TO BE VACATEĎ) CENTERLINE OF VEPCO EASEMENT D.B. 340 PG. 293 TIMBER WAL (TO BE VACATED) 65.7' FF=12.08 • FF=11.97 **♣**△ ন FF=12.02: # NOT POSTED ღi **⊲** #210 (CAC BALNCA) (WEB DEVELOPMENT GROUP) (MYSTIQUE) ROOF=37.25€ <u>₩</u> Δ0FF=12.00 I-STORY BRICK BUILDING N 82°05'34" W 180.00' EX. TEMPORARY 6' CHAIN -+N:6, 978, 508 +E:11, 898, 895 LINK CONSTRUCTION FENCE MAP #075.03-03-08 CARR 220 SOUTH UNION STREET, LLC INST #150017929 ZONED: W-1 AREA CURRENTLY UNDER CONSTRUCTION ~ (NO ACCESS)

MARKED AND LOCATED AS SHOWN. X

NOTES:

I. SEE SHEET CIOO FOR LEGEND I. SEE SHEET C200 FOR STORM AND

SANITARY STRUCTURE DATA.

GRAPHIC SCALE SCALE: 1" = 20'

APPROV SPECIAL USE DEPARTMENT OF PLA	PERMIT		016-0003
DIRECTOR		DATE	
DEPARTMENT OF TRANS	SPORTATION	& ENVIRO	ONMENTAL SERVICES
DIRECTOR		DATE	
CHAIRMAN, PLANNING COM	MISSION		DATE
DATE RECORDED			
INSTRUMENT NO.	DEED BOOK	NO.	PAGE NO.

PARCEL #075.03-03-17
OWNER: 204-206 UNION LLC
INST #130016843
6.950 SQ. FT.

PARCEL #075.03-03-05
OWNER: TURNER BEVERLY D JR ET ALS
3,708 SQ. FT.
ZONED: W-I

PARCEL #075.03-03-07
OWNER: TURNER BEVERLY D JR ET ALS
INST #150017929
18,779 SQ. FT.

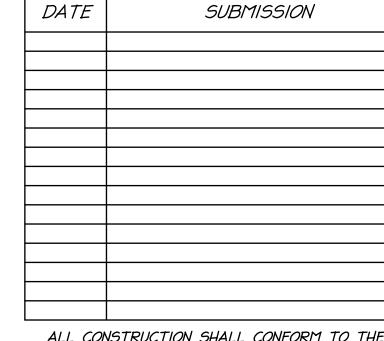
OWNERSHIP INFORMATION

- WATERFRONT PARK IA PRINCE STREET USE: OPEN SPACE ZONE: WPR
- AMERICAN MEDICAL GROUP ASSOCIATION 14. I PRINCE STREET USE: OFFICE ZONE: CD
- SOUTH UNION STREET HOLDINGS LLC 110 S UNION STREET USE: OFFICE ZONE: CD
- 2 PRINCE LLC 2 PRINCE STREET USE: GENERAL COMMERCIAL ZONE: W-I
- YOUNG MARVIN P TR 6 PRINCE STREET USE: GENERAL COMMERCIAL ZONE: W-I
- CITY OF ALEXANDRIA #0 PRINCE STREET USE: CITY ZONE: W-I
- CITY OF ALEXANDRIA 208 STRAND STREET USE: CITY PARKINGL ZONE: W-I
- CITY OF ALEXANDRIA 206 STRAND STREET USE: CITY PARKING ZONE: W-I
- CITY OF ALEXANDRIA 210 STRAND STREET USE: OPEN SPACE ZONE: W-I
- THE WASHINGTON POST COMPANY 226 STRAND STREET USE: OFFICE/WAREHOUSE ZONE: W-I
- OLD DOMINION BOAT CLUB 200 STRAND STREET USE: GENERAL COMMERCIAL ZONE: W-I
- 12. TURNER BEVERLY D JR ET ALS 203 STRAND STREET USE: RESTAURANT/FST FOOD ZONE:W-I

<u>LEGEND</u>

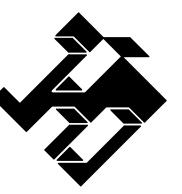
DASH BUS STOP

- 13. TURNER BEVERLY D JR ET ALS 205 STRAND STREET USE: GENERAL COMMERCIAL
 - ZONE:W-I TURNER BEVERLY D JR ET ALS
 - 211 STRAND STREET USE: GENERAL COMMERCIAL ZONE:W-I
 - CARR 220 SOUTH UNION STREET LLC 220 S UNION STREET USE: HOTEL AND MOTEL ZONE: W-I
- 16. 2 PRINCE LLC 10 PRINCE STREET USE: OFFICE ZONE: W-I
- 17. 204-06 UNION LLC 206 UNION STREET USE: OFFICE ZONE: W-I
- 18. OLINGER DAVID S OR MIRIAM W 100 PRINCE STREET USE: RESIDENTIAL ZONE: RM
- 19. SHOTPUT PROPERTIES LLC 203 S UNION STREET USE: GENERAL COMMERCIAL ZONE: W-I
- 20. BUNN KATHY T OR ROBERT A 205 S UNION STREET USE: GENERAL COMMERCIAL ZONE: W-I
- 21. CAPTAINS LANDING INC. 299 S UNION STREET USE: VACANT - COMMERCIAL ZONE: RM
- SPICER GEORGE W OR AGNES G 215 S UNION STREET USE: GENERAL COMMERCIAL ZONE: W-I
- 23. CUMMINGS INVESTMENT ASSOCIATES INC 101 DUKE STREET USE: PARKING GARAGE ZONE: W-I



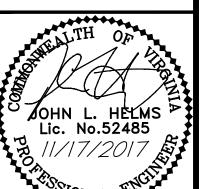
ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS

> <u>DISTURBED AREA:</u> 0.54 AC OR 23,350 S.F.



stop

· consultants



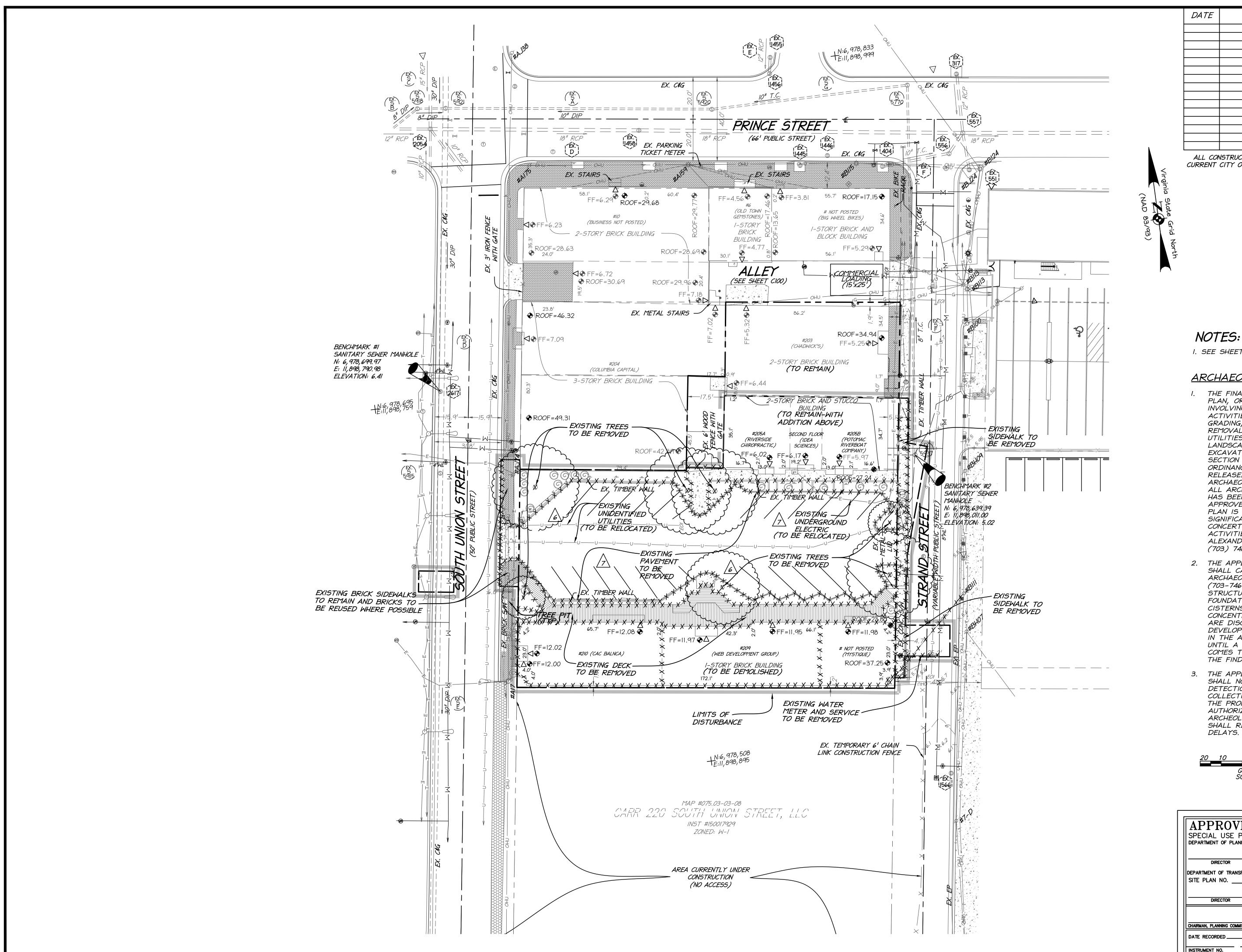
PROJECT NO:15048.002.00 SCALE:

SEE DWG DATE: 4/14/17

DESIGN: JLH DRAWN: JLH CHECKED: KMW

SHEET No. C301

APPROVED
SPECIAL USE PERMIT NO. 2016-0003
DEPARTMENT OF PLANNING & ZONING DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES || SITE PLAN NO. ___ DIRECTOR DATE CHAIRMAN, PLANNING COMMISSION DATE RECORDED_ INSTRUMENT NO. DEED BOOK NO. PAGE NO.



SUBMISSION

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS

> <u>DISTURBED AREA:</u> 0.54 AC OR 23,350 S.F.

· consultants nd planning

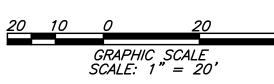
stop

NOTES:

I. SEE SHEET CIOO FOR LEGEND

ARCHAEOLOGY NOTES

- THE FINAL SITE PLAN, GRADING PLAN, OR ANY OTHER PERMITS INVOLVING GROUND-DISTURBING ACTIVITIES (SUCH AS CORING, GRADING, FILLING, VEGETATION REMOVAL, UNDERGROUNDING UTILITIES, PILE DRIVING, LANDSCAPING AND OTHER EXCAVATIONS AS DEFINED IN SECTION 2-151 OF THE ZONING ORDINANCE) SHALL NOT BE RELEASED UNTIL THE CITY ARCHAEOLOGIST CONFIRMS THAT ALL ARCHAEOLOGICAL FIELD WORK HAS BEEN COMPLETED OR THAT AN APPROVED RESOURCE MANAGEMENT PLAN IS IN PLACE TO RECOVER SIGNIFICANT RESOURCES IN CONCERT WITH CONSTRUCTION ACTIVITIES. TO CONFIRM, CALL ALEXANDRIA ARCHAEOLOGY AT (703) 746-4399.
- 2. THE APPLICANT / DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
- THE APPLICANT / DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT



APPROV SPECIAL USE		NO.	2016-0003
DEPARTMENT OF PLA			
DIRECTOR		DATE	:
DEPARTMENT OF TRAN SITE PLAN NO			
DIRECTOR		DATE	
DIRECTOR		DATE	:
DIRECTOR CHAIRMAN, PLANNING COM		DATE	DATE
	MISSION		

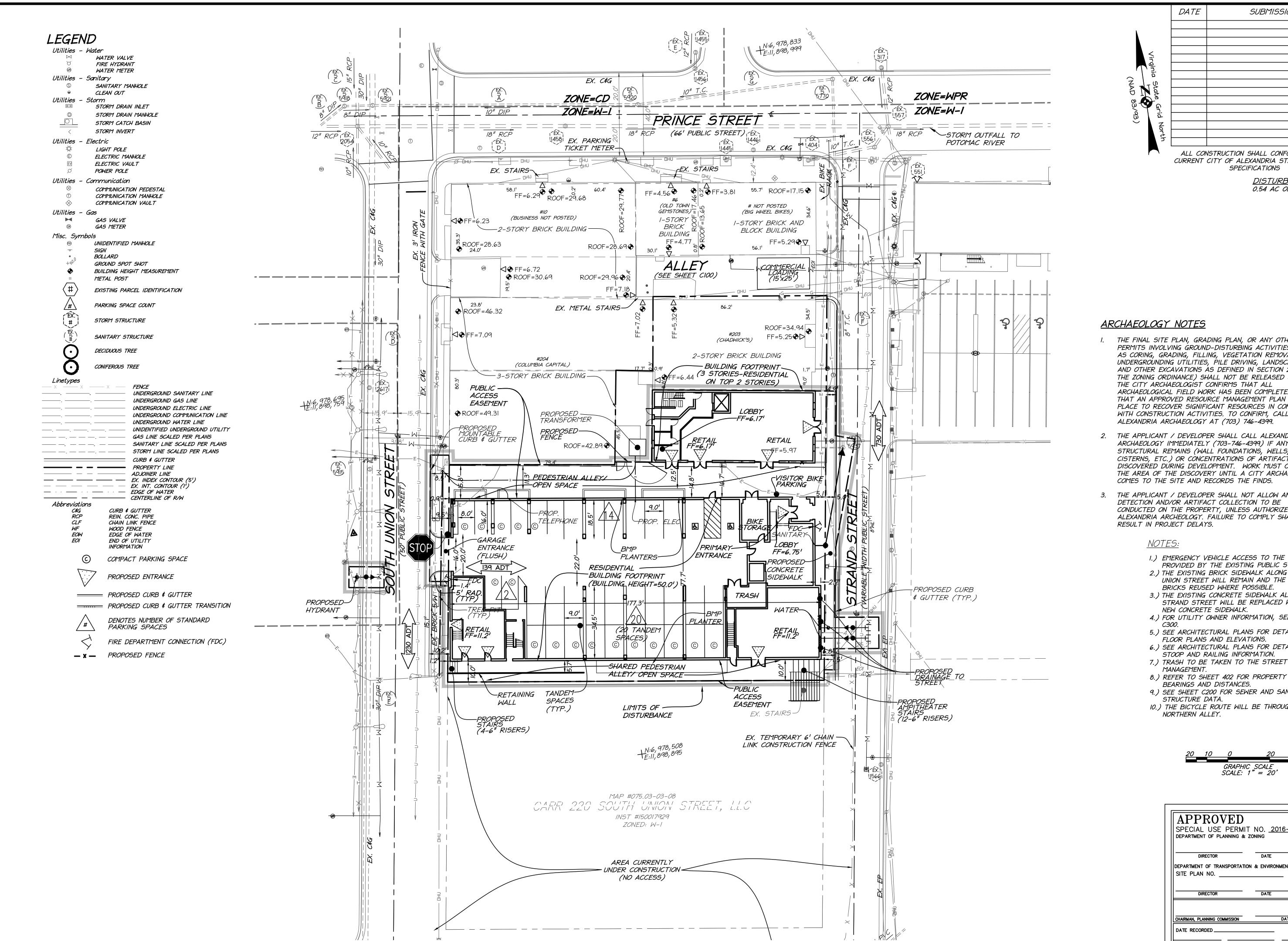
PROJECT NO:15048.002.00 SCALE:

1"=20' DATE: 4/14/17

DESIGN: JLH DRAWN: JLH CHECKED: KMW

SHEET No.

MININI Ø Ø



ALL CONSTRUCTION SHALL CONFORM TO THE

DATE

CURRENT CITY OF ALEXANDRIA STANDARDS AND **SPECIFICATIONS**

> **DISTURBED AREA:** 0.54 AC OR 23,350 S.F.

SUBMISSION

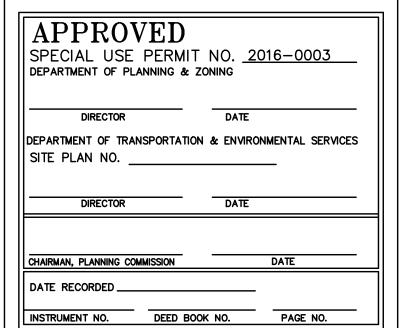
ARCHAEOLOGY NOTES

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- 3. THE APPLICANT / DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

NOTES:

- I.) EMERGENCY VEHICLE ACCESS TO THE SITE IS PROVIDED BY THE EXISTING PUBLIC STREETS. 2.) THE EXISTING BRICK SIDEWALK ALONG SOUTH UNION STREET WILL REMAIN AND THE EXISTING BRICKS REUSED WHERE POSSIBLE.
- 3.) THE EXISTING CONCRETE SIDEWALK ALONG STRAND STREET WILL BE REPLACED WITH A NEW CONCRETE SIDEWALK.
- 4.) FOR UTILITY OWNER INFORMATION, SEE SHEET
- 5.) SEE ARCHITECTURAL PLANS FOR DETAILED
- FLOOR PLANS AND ELEVATIONS. 6.) SEE ARCHITECTURAL PLANS FOR DETAILED
- STOOP AND RAILING INFORMATION.
- 7.) TRASH TO BE TAKEN TO THE STREET BY MANAGEMENT.
- BEARINGS AND DISTANCES.
- 9.) SEE SHEET C200 FOR SEWER AND SANITARY STRUCTURE DATA.
- 10.) THE BICYCLE ROUTE WILL BE THROUGH THE NORTHERN ALLEY.





consultants

stop

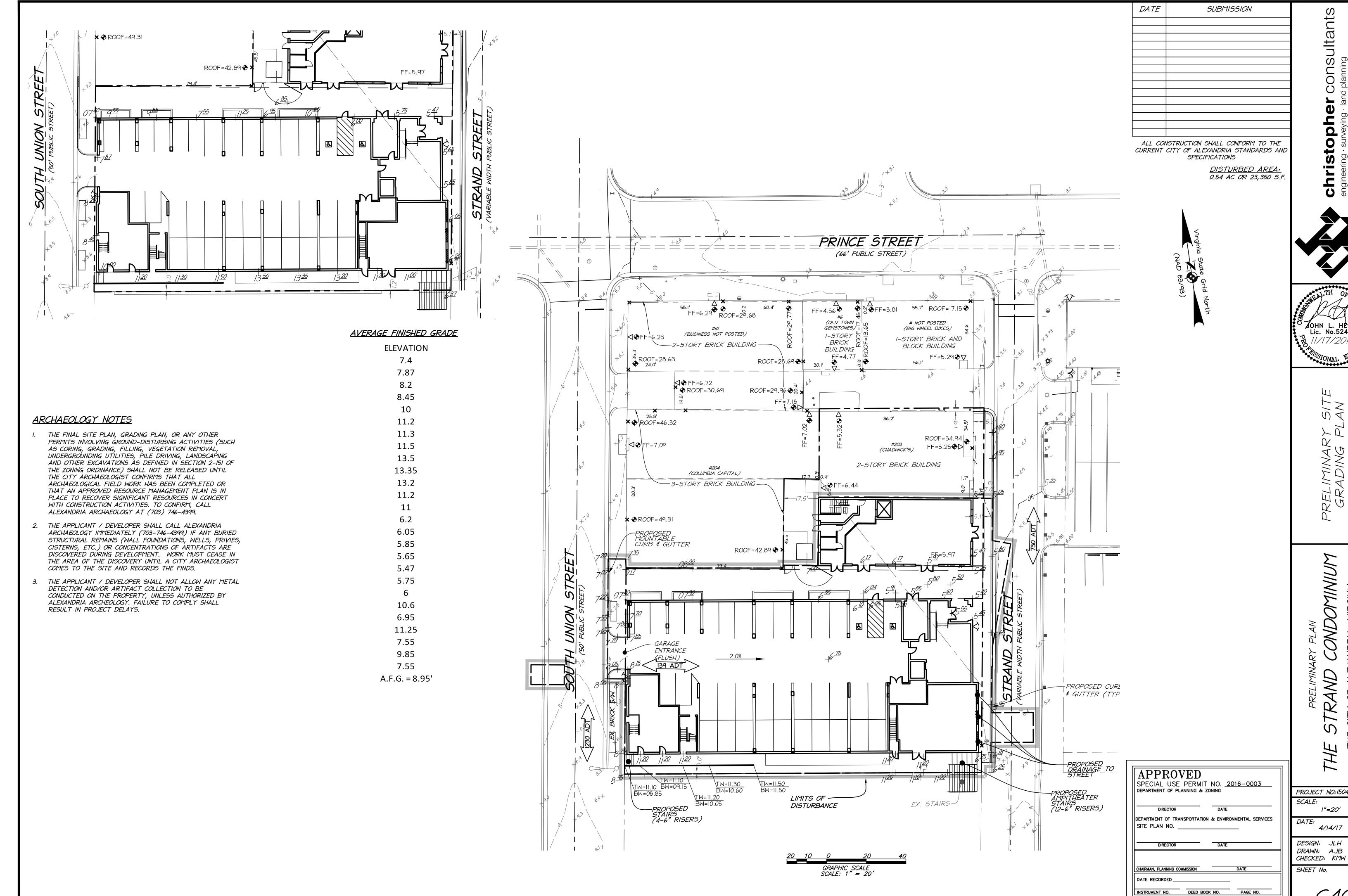
MINING

PROJECT NO:15048.002.00 SCALE:

1"=20' DATE: 4/14/17

DESIGN: JLH DRAWN: JLH CHECKED: KMW

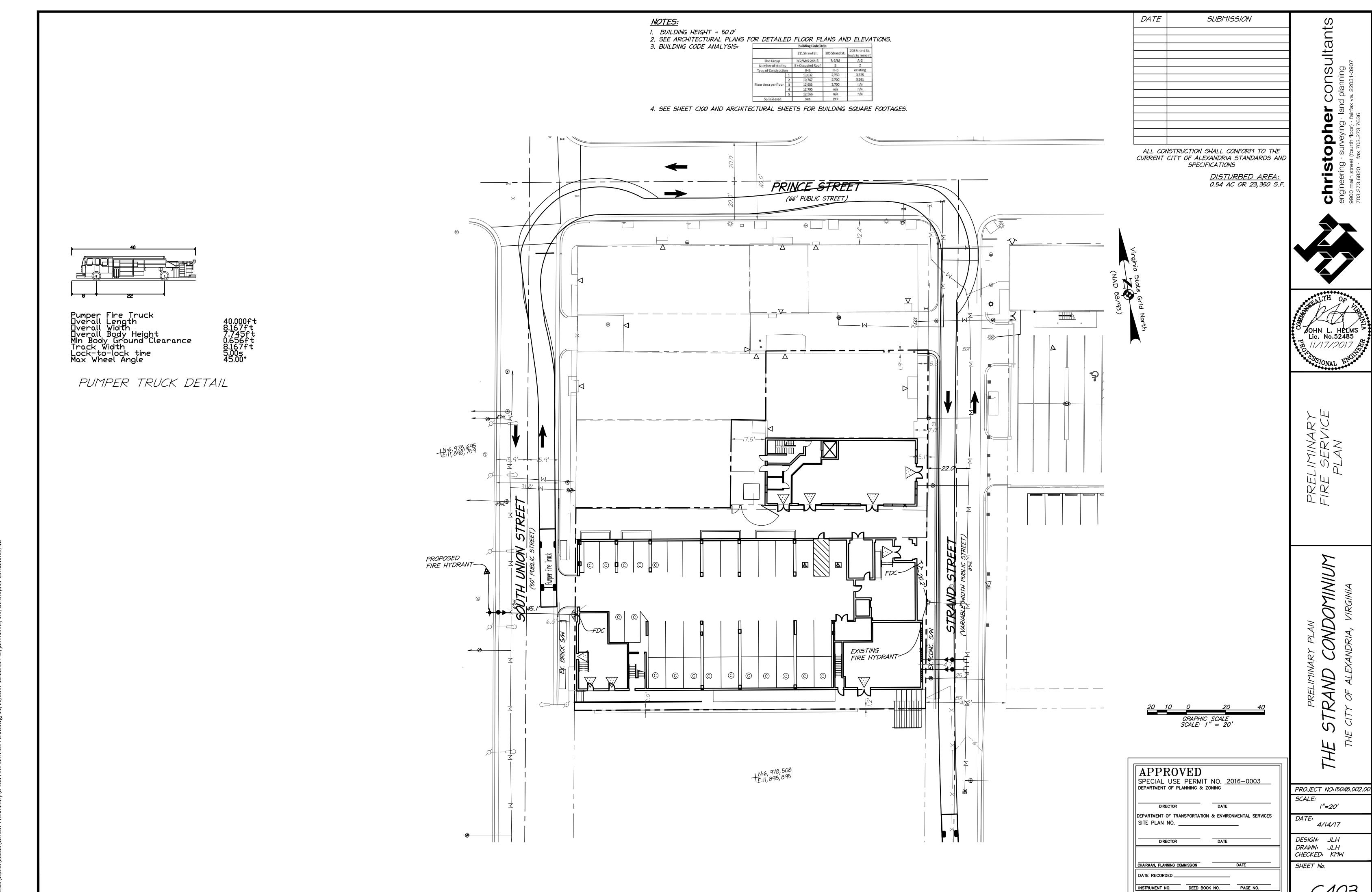
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PROJECT NO:15048.002.00

4/14/17

PROJECT NO:15048.002.00



REVIEW OF EXISTING TOPOGRAPHY INDICATES THAT MAJORITY OF THE PROPERTY SLOPES FROM THE WEST TO THE EAST TOWARDS THE POTOMAC RIVER. THE EXISTING PARKING LOT DRAINS TO AN EXISTING CLOSED CONDUIT STORM SYSTEM. THE STORM SYSTEM OUTFALLS INTO THE POTOMAC RIVER.

THERE ARE NO RESOURCE PROTECTION AREAS ON THIS PROPERTY.

PROPOSED CONDITION SITE NARRATIVE

THIS PROJECT CONSISTS OF THE REDEVELOPMENT OF THE SUBJECT SITE. THE EXISTING BUILDING AT 211 STRAND STREET WILL BE DEMOLISHED. A 5-STORY MULTIFAMILY BUILDING WITH RETAIL, LOBBY AND PARKING ON THE GROUND FLOOR AND IMPROVED STREETSCAPE/OPEN SPACE. GARAGE ACCESS WILL BE PROVIDED BY A RELOCATED ENTRANCE ALONG SOUTH UNION STREET. THE SECOND FLOOR OF THE EXISTING BUILDING AT 205 STRAND STREET WILL BE CONVERTED TO TWO RESIDENTIAL UNITS AND THE FIRST FLOOR WILL BE CONVERTED TO RETAIL. A I-STORY ADDITION IS PROPOSED FOR 205 STRAND STREET. THE RESTAURANT AT 203 STRAND STREET WILL REMAIN.

WATER QUALITY TREATMENT (BMP) NARRATIVE

TO COMPLY WITH THE CHESAPEAKE BAY ACT (CBA) AND ARTICLE XIII OF THE ZONING ORDINANCE, THE PROJECT WILL PROVIDE WATER QUALITY TREATMENT THROUGH GREEN ROOF. THIS TREATMENT FACILITY IS CAPABLE OF TREATING NECESSARY VOLUME TO MEET THE STATE WATER QUALITY REQUIREMENT FOR THE RE-DEVELOPED PROPERTY.

THE BMP WILL TREAT APPROXIMATELY 0.16 ACRES OF IMPERVIOUS RUNOFF. THE SITE INCREASES THE PERVIOUS AREA IN THE ALLEYS, AND THEREFORE HAS MET THE STATE PHOSPHORUS REMOVAL REQUIREMENTS.

WQV TREATMENT

THE WQV TO BE TREATED AS PER THE CITY OF ALEXANDRIA SUPPLEMENT TO THE NORTHERN VIRGINIA BMP HANDBOOK IS 1816 CU FT/ ACRE OF IMPERVIOUS SURFACE. THEREFORE WQV REQUIRED = 0.54 x 1816 = 980.64 CU FT. CHADWICKS AND ITS ASSOCIATED ALLEY IS NOT INCLUDED FOR THE WATER QUALITY VOLUME PER DIRECTION FROM THE CITY.

BMP TREATMENT PROVIDED

FOR THIS PROJECT, 0.14 AC OF ON-SITE IMPERVIOUS COVER IS TREATED WITH THE GREEN ROOF AND WILL BE TREATED AGAIN BY URBAN BIORETENTION PLANTERS. CONTRIBUTION TO THE WQIF WILL BE MADE FOR THE REMAINDER OF THE SITE. THIS PROJECT IS COMBINING 3 PARCELS TO ACHIEVE THE NECESSARY DENSITY THE CONTRIBUTION IS NECESSARY DUE TO THE PROJECT INCLUDING 2 EXISTING BUILDINGS, ONE OF WHICH WILL NOT BE MODIFIED, AND THE OTHER CANNOT HANDLE THE ADDITIONAL LOAD DUE TO STRUCTURAL ISSUES. THERE IS ALSO AN ALLEY INCLUDED IN THE SITE AREA FOR DENSITY PURPOSES WHICH IS SHARED BY 4 BUSINESSES AND IS USED FOR DELIVERY AND TRASH, AND CANNOT BE MODIFIED TO HANDLE A BMP FACILITY. ADDITIONAL BMP FACILITIES CANNOT BE INSTALLED AT GRADE AS THE WATER TABLE WOULD RENDER THESE FACILITIES INEFFECTIVE AND WOULD CAUSE EXTENDED PONDING AND AN UNDERDRAIN SYSTEM CANNOT BE INSTALLED DUE TO EXISTING UTILITIES IN STRAND STREET.

BECAUSE OF THESE REASONS, A CONTRIBUTION TO THE WQIF IS REQUESTED IN LIEU Adjusted total acreage is consistent with Post-Redevelopment acreage (min

WATER QUANTITY TREATMENT (SWM) NARRATIVE

DUE TO THE DECREASE IN IMPERVIOUS COVER FOR THE SITE THROUGH REDEVELOPMENT, THE POST-DEVELOPMENT PEAK RUNOFF FOR THE TWO AND TEN YEAR STORMS WILL NOT EXCEED THE PRE-DEVELOPMENT

BECAUSE OF THE SITE'S DECREASE IN RUNOFF AND AND ITS CLOSE PROXIMITY TO THE POTOMAC RIVER, STORMWATER MANAGEMENT WILL NOT

BMP MAINTENANCE AGREEMENT NOTE:

THE APPLICANT SHALL EXECUTE A MAINTENANCE SERVICE CONTRACT WITH A PRIVATE CONTRACTOR FOR A MINIMUM OF THREE YEARS. A COPY OF THE CONTRACT SHALL BE PLACED IN THE BMP OPERATION AND MAINTENANCE MANUAL. PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, A COPY OF THE CONTRACT SHALL BE SUBMITTED TO THE CITY. THE APPLICANT SHALL PREPARE AN OWNER'S OPERATION AND MAINTENANCE MANUAL FOR ALL THE BEST MANAGEMENT PRACTICES (BMPS) USED ON SITE. THE MANUAL SHALL INCLUDE AT

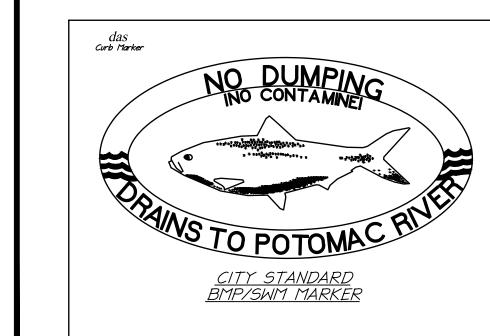
A MINIMUM: AN EXPLANATION OF THE FUNCTIONS AND OPERATIONS OF THE BMP(S); DRAWINGS AND DIAGRAMS OF THE BMP(S) AND ANY SUPPORTING UTILITIES; CATALOG CUTS ON MAINTENANCE REQUIREMENTS; MANUFACTURER CONTACT NAMES AND PHONE NUMBERS; A COPY OF THE EXECUTED MAINTENANCE SERVICE CONTRACT; AND A COPY OF THE MAINTENANCE AGREEMENT WITH THE CITY. PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, A COPY OF THE OPERATION AND MAINTENANCE MANUAL SHALL BE SUBMITTED TO THE CITY ON A DIGITAL

DESIGN PROFESSIONAL INSPECTION NOTE

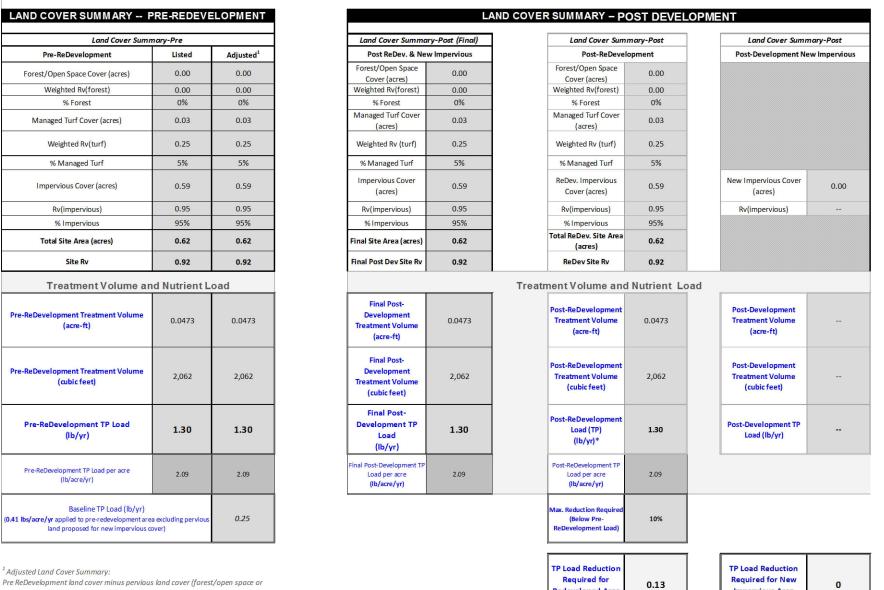
THE STORMWATER BEST MANAGEMENT PRACTICES (BMPS) REQUIRED FOR THIS PROJECT SHALL BE CONSTRUCTED AND INSTALLED UNDER THE DIRECT SUPERVISION OF THE DESIGN PROFESSIONAL OR HIS DESIGNATED REPRESENTATIVE. PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, THE DESIGN PROFESSIONAL SHALL SUBMIT A WRITTEN CERTIFICATION TO THE DIRECTOR OF TES THAT THE BMPS ARE:

A. CONSTRUCTED AND INSTALLED AS DESIGNED AND IN ACCORDANCE WITH THE APPROVED FINAL SITE PLAN.

B. CLEAN AND FREE OF DEBRIS, SOIL, AND LITTER BY EITHER HAVING BEEN INSTALLED OR BROUGHT INTO SERVICE AFTER SITE WAS STABILIZED.



SITE DATA: final results Site Information Post-Development Project (Treatment Volume and Loads) Enter Total Disturbed Area (acres) → 0.54 BMP Design Specifications List: 2013 Draft Stds & Specs Linear project? No Land cover areas entered correctly? The site's net increase in impervious cover (acres) is: Post-Development TP Load Reduction for Site (lb/yr): 0.13 Total disturbed area entered? 0.00 protected forest/open space or reforested Managed Turf (acres) -- disturbed, graded 0.03 yards or other turf to be mowed/managed mpervious Cover (acres) 0.00 Nanaged Turf (acres) -- disturbed, grade 0.03 yards or other turf to be mowed/managed 0.59 A Soils B Soils C Soils D Soils osphorus (TP) EMC (ma al Nitrogen (TN) EMC (mg/L) get TP Load (lb/acre/yr) LAND COVER SUMMARY -- PRE-REDEVELOPMENT LAND COVER SUMMARY - POST DEVELOPMENT Land Cover Summary-Post (Final) Land Cover Summary-Pos Pre-ReDevelopment Listed Adjusted¹ Post ReDev. & New Impervious Post-ReDevelopment



umn I shows load reduction requriement for new impervious cover (based on videvelopment load limit, 0.41 lbs/acre/year).				
	Post-Development Requirement for	Site Area		
	TP Load Reduction Required (lb/yr)	0.13		
	Nitrogen Loads (Informational Pur	poses Only)		
Pre-ReDevelopment TN Load (lb/yr)	9.27	Final Post-Development TN Load (Post-ReDevelopment & New Impervious) (lb/yr)	9.27	

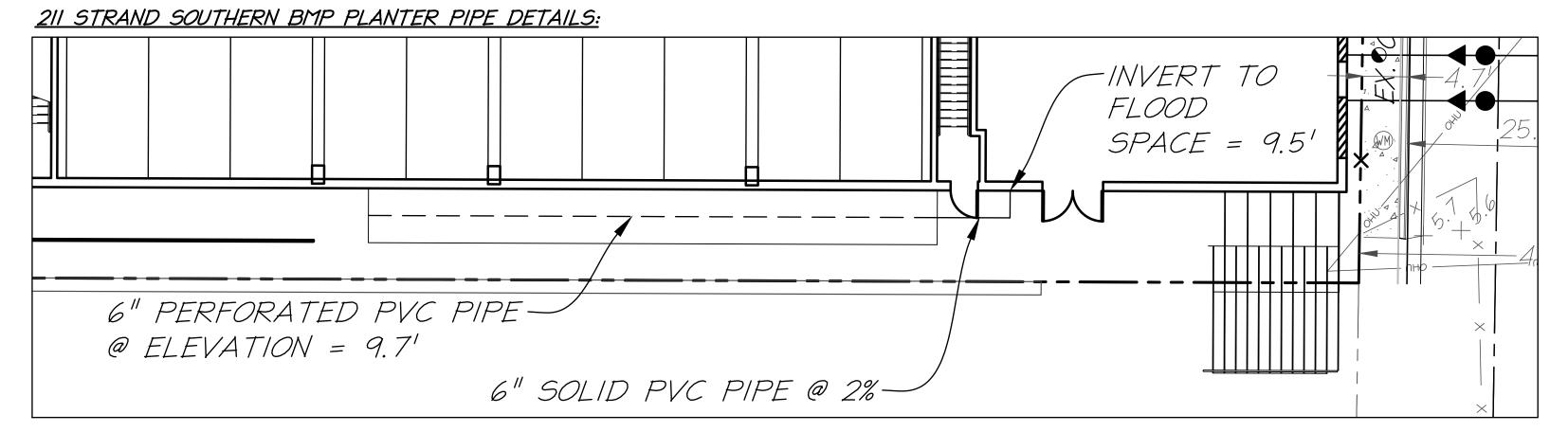
211 STRAND BMP AREA SUMMARY:

	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Forest/Open Space (acres)					0.00	0.00
Managed Turf (acres)					0.00	0.00
Impervious Cover (acres)				0.31	0.31	0.95
	•			Total	0.31	

managed turf) acreage proposed for new impervious cover.

Managed Turf (acres)					0.00	0.00						
Impervious Cover (acres)				0.31	0.31	0.95		Tota	al Phosphorus Ava	ilable for Remova	l in D.A. A (lb/yr)	
				Total	0.31				Post Developmer	nt Treatment Volu	me in D.A. A (ft³)	
itormwater Best Managem	ormwater Best Management Practices (RR = Runoff Reduction)											
Practice	Runoff Reduction Credit (%)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft ³)	Runoff Reduction (ft³)	Remaining Runoff Volume (ft ³)	Total BMP Treatment Volume (ft ³)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (Ib)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed By Practice (Ib)	P
. Vegetated Roof (RR)												
								·				

					0.02				rost Developmen	it ireatilient voidi	ille III D.A. A (It.)	_,005	1
Stormwater Best Managem	ormwater Best Management Practices (RR = Runoff Reduction)Select from dropdown											Select from dropdown lists-	
Practice	Runoff Reduction Credit (%)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft ³)	Runoff Reduction (ft ³)	Remaining Runoff Volume (ft³)	Total BMP Treatment Volume (ft ³)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (Ib)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed By Practice (Ib)	Remaining Phosphorus Load (Ib)	Downstream Practice to be Employed
1. Vegetated Roof (RR)													
1.a. Vegetated Roof #1 (Spec #5)	45		0.14		217	266	483	0		0.30	0.14	0.17	2.i. To Stormwater Planter (Urban Bioretention)
2. Rooftop Disconnection (RR)													
2.i. To Stormwater Planter, Urban Bioretention (Spec #9, Appendix A)	40			266	106	159	266	25	0.17	0.00	0.09	0.07	



mpervious Area

CLEAR BMP AREAS

SITE RESULTS:

Runoff Reduction Volume and TP By Drainage Area

TP LOAD AVAILABLE FOR REMOVAL (lb/yr)

FINAL POST-DEVELOPMENT TP LOAD (lb/yr)

TP LOAD REDUCTION REQUIRED (lb/yr)

EMAINING TP LOAD REDUCTION REQUIRED (lb/yr):

NITROGEN LOAD REDUCTION ACHIEVED (Ib/yr)

VOLUME = (.6)(266 CU.FT.) = 160 CU.FT. AREA = 6'x62.5' = 375 SQ.FT.

VOLUME = (.6)(266 CU.FT.) = 107 CU.FT.

AREA = 3'x/8' = 54 SQ.FT. PER PLANTER

107 CU.FT. PER 2 DOWNSPOUTS = 53.5 CU.FT. EACH

SIZING FOR 211 STRAND:

<u>AREA TO BE TREATED:</u>

DEPTH OF STONE = 1 FT.'

DEPTH OF MEDIA = 2.5 FT.

STONE POROSITY = 0.40

MEDIA POROSITY = 0.25

DEPTH OF STONE = 1 FT.' STONE POROSITY = 0.40 DEPTH OF MEDIA = 2.5 FT.

MEDIA POROSITY = 0.25

55.35 CU.FT. > 53.5 CU.FT.

0.67

384 CU.FT. > 160 CU.FT.

RAINFALL = 1 INCH

TP LOAD REDUCTION ACHIEVED (lb/yr)

URBAN BIORETENTION PLANTER

TP LOAD REDUCTION ACHIEVED (lb/yr)

Total Phosphorus

TP LOAD REMAINING (lb/yr):

POST-DEVELOPMENT LOAD (lb/yr) 9.2

OREST/OPEN SPACE (ac)

Site Treatment Volume (ft³) 2,062

TP LOAD REMAINING (lb/yr) 0.44 0.00 0.00

** TARGET TP REDUCTION EXCEEDED BY 0.1 LB/YEAR

TOTAL VOLUME NOT TREATED BY GREEN ROOF = 266 CU. FT.

<u>SOUTHERN PLANTER VOLUME: 60% OF LEFT OVER VOLUME</u>

NORTHERN PLANTER VOLUME: 40% OF LEFT OVER VOLUME

VOLUME PROVIDED = (375 SQ.FT.)(1')(0.40)+(375 SQ.FT.)(2.5')(0.25) = 384 CU.FT.

VOLUME PROVIDED = (54 SQ.FT.)(1')(0.40)+(54 SQ.FT.)(2.5')(0.25) = 55.35 CU.FT.

Nitrogen Nitrogen Load Untreated Nitrogen

Vegetated Roof (RR)

Rooftop Disconnection (RR)

Removal from Upstream Nitrogen Load Removed By Nitrogen Load

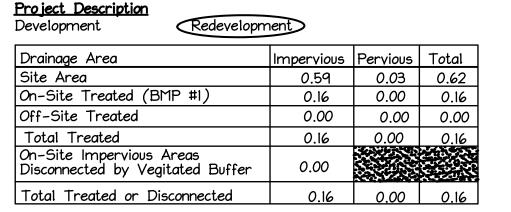
40 1.19 0.00 0.76 0.43

2.17 0.98 1.19

Efficiency (%) Practices (lbs) to Practice (lbs) Practice (lbs) (lbs)

Site Results (Water Quality Compliance)

NITROGEN LOAD REDUCTION ACHIEVED (Ib/yr) 1.74 0.00 0.00 0.00 0.00 1.74



Water Treatment On-Site

Missellesseus				
VEGETATIVE ROOF	0.16 AC		0.16 AC	0%
,			treated by BMP	Efficiency (%)
BMP Type	Area Treated by	ВМР	Impervious Area	BMP

<u>Miscellaneous</u>

Total WQV treated no Detention on Site yes

POTOMAC RIVER Project is within which watershed? POTOMAC RIVER Project Discharges to which body of water?

SUBMISSION

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS

DISTURBED AREA.

0.54 AC OR 23,350 S.F

PROJECT SITE RUNOFF COMPUTATIONS: <u>PRE-DEVELOPMENT</u> <u>POST-DEVELOPMENT</u>

A = 0.62 ACRESA = 0.62 ACRESC = (0.03)(0.35) + (0.59)(0.90) = 0.87 C = (0.10)(0.35) + (0.52)(0.90) = 0.88

DATE

T = 5 MINUTES T_c = 5 MINUTES I,= 6.2 INCHES/HOUR I = 6.2 INCHES/HOUR In= 9.0 INCHES/HOUR In = 9.0 INCHES/HOUR

Q = (0.81)(6.2)(0.62) = 3.113 CFS $Q_2 = (0.87)(6.2)(0.62) = 3.344 CFS$ $Q_{\rm p}$ = (0.87)(9.0)(0.62) = 4.854 CFS $Q_{\rm p} = (0.81)(9.0)(0.62) = 4.520 CFS$

> NET DECREASE IN RUNOFF $Q_{a} = 3.344 \text{ CFS} - 3.113 \text{ CFS} = 0.231 \text{ CFS}$ $Q_{\rm in}$ = 4.854 CFS - 4.520 CFS = 0.334 CFS

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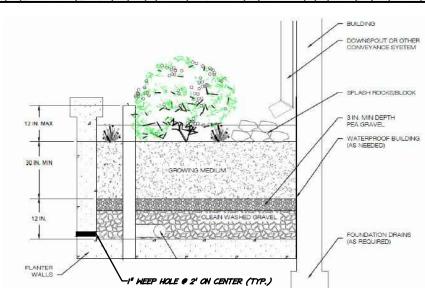
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URBAN BIORETENTION PLANTER DETAIL:



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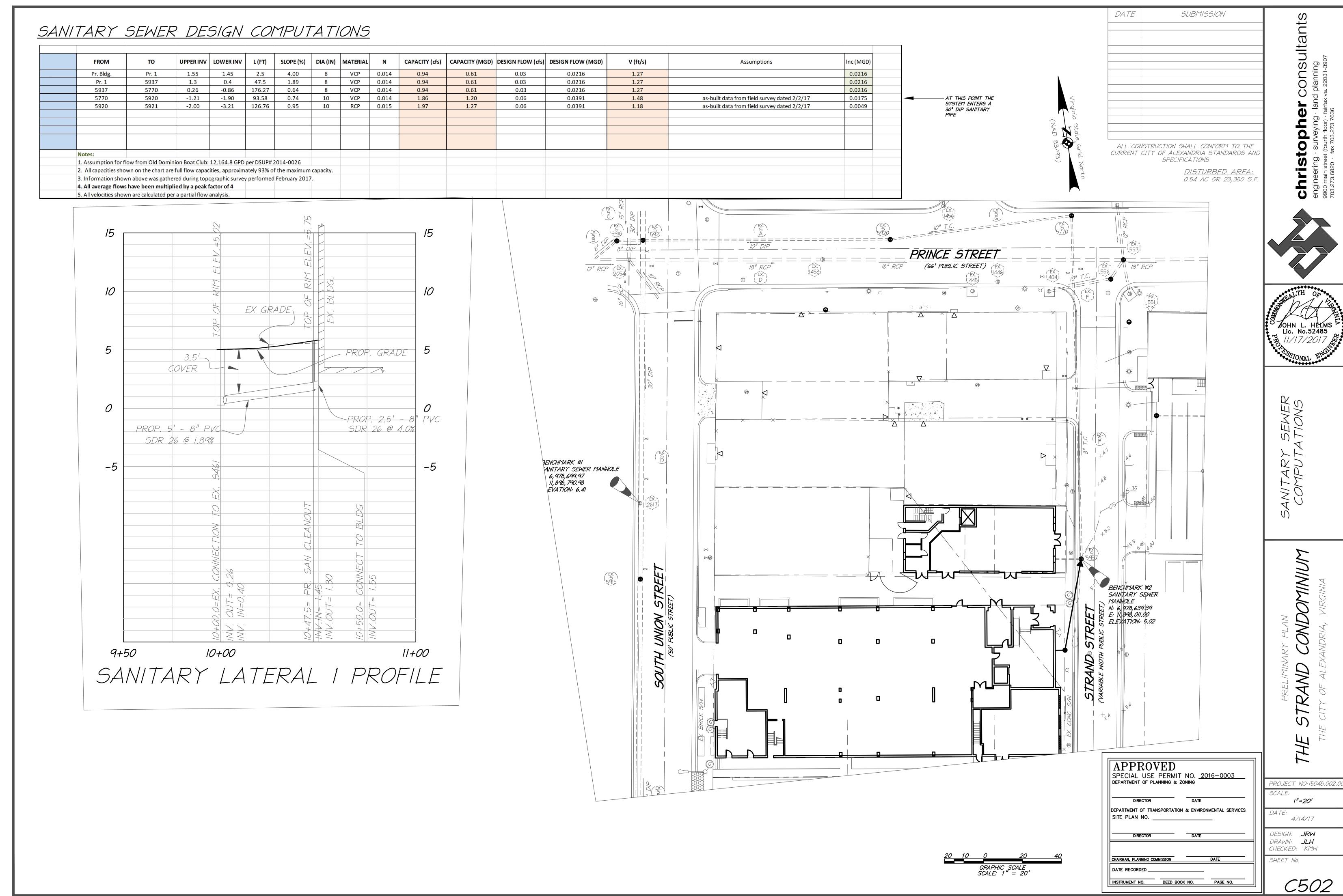
APPROVED SPECIAL USE PERMIT NO. 2016-0003 DEPARTMENT OF PLANNING & ZONING DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. DIRECTOR DATE CHAIRMAN, PLANNING COMMISSION DATE RECORDED_

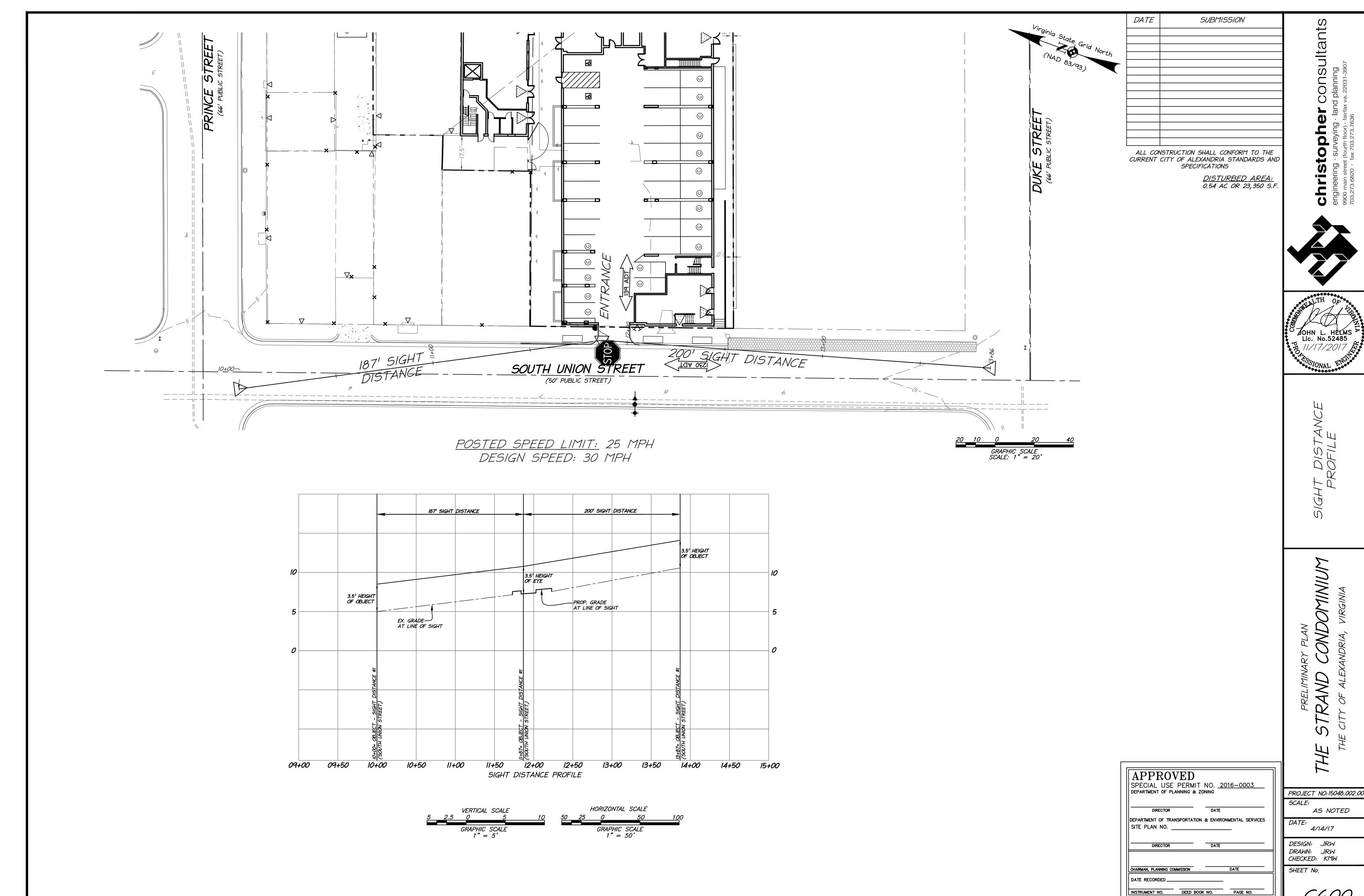
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

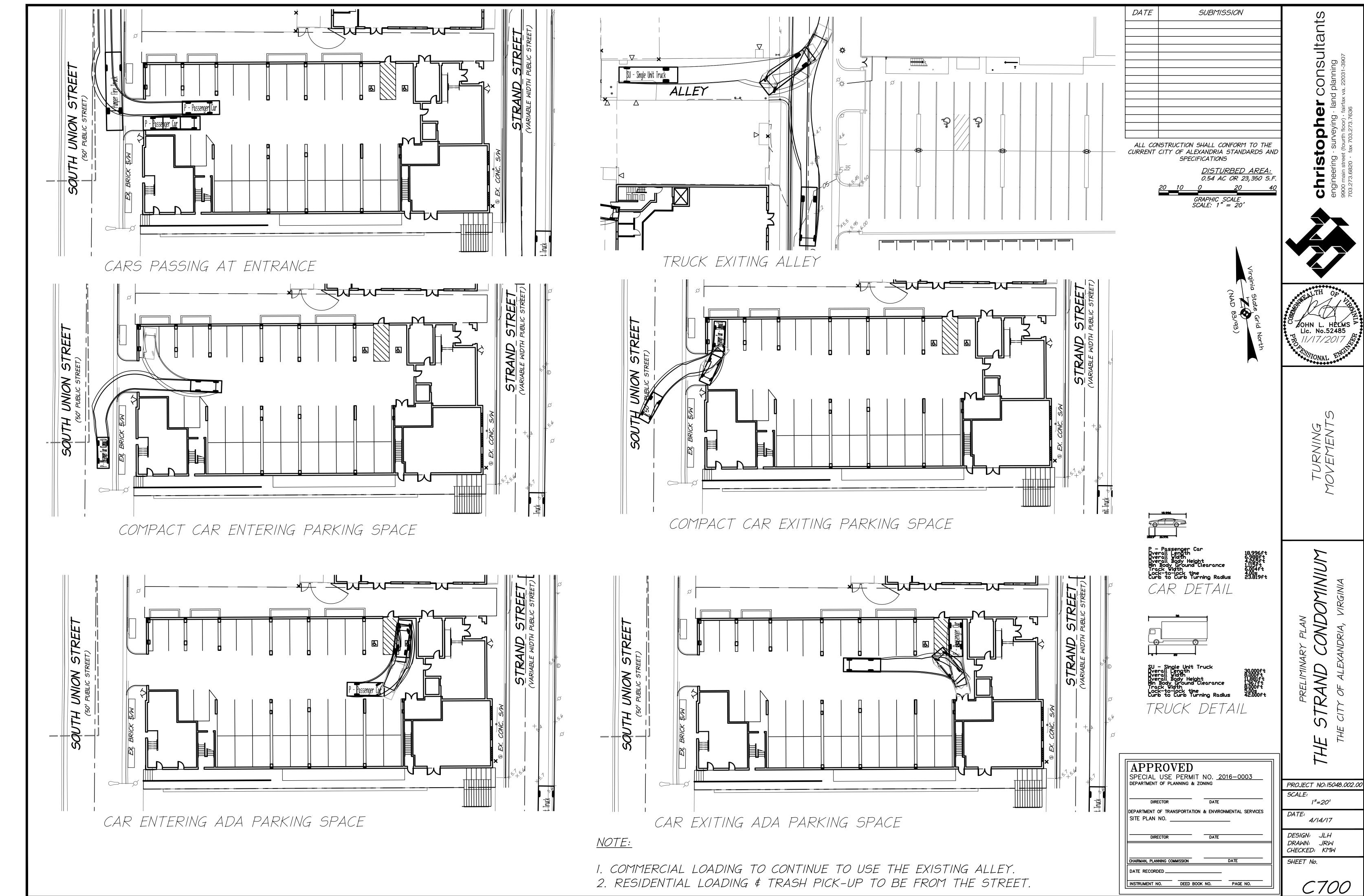
PROJECT NO:15048.002.00 SCALE: 1"=20' DATE: 4/14/17 DESIGN: JLH

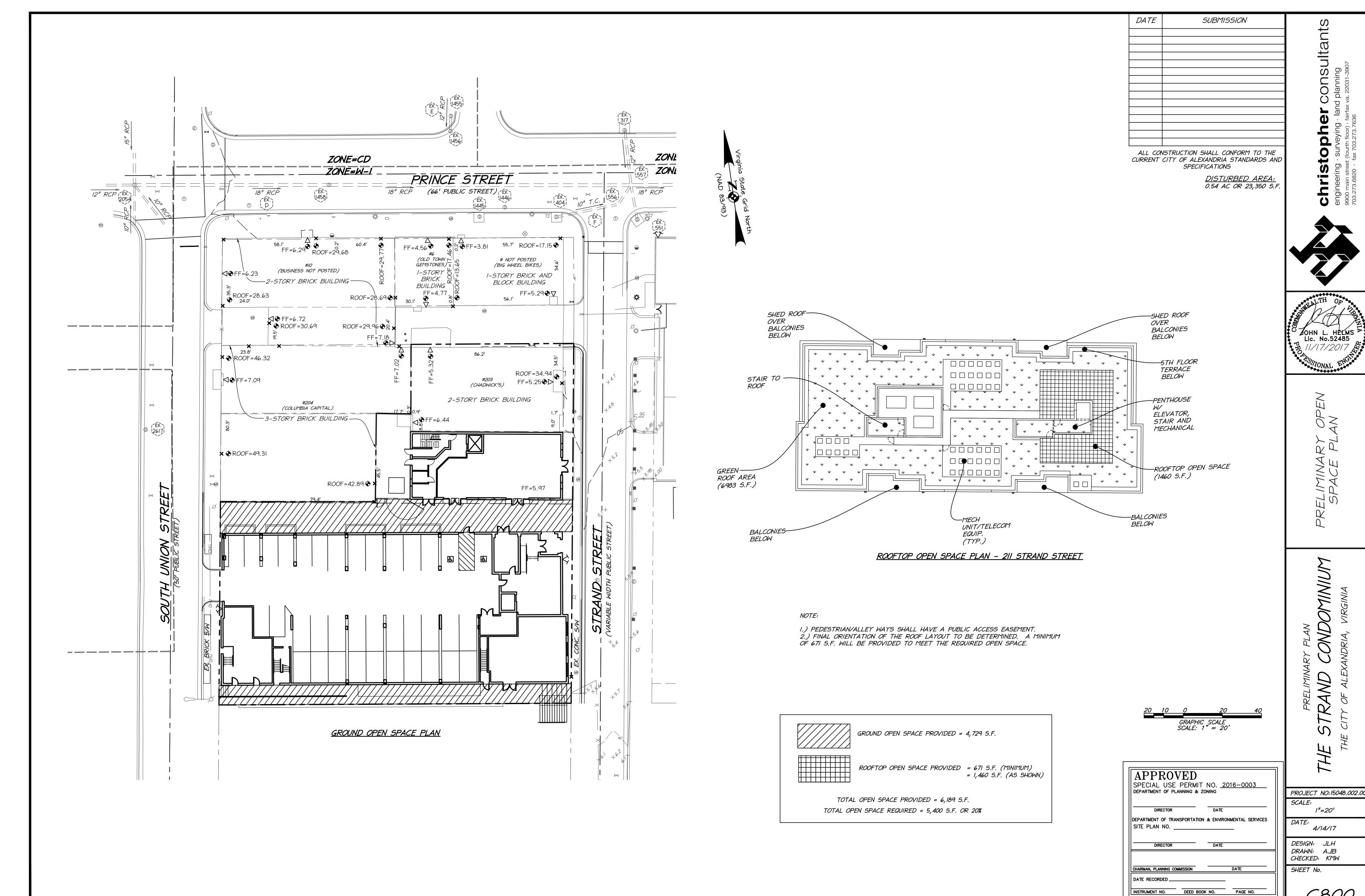
DRAWN: JLH CHECKED: KMW SHEET No.

C500



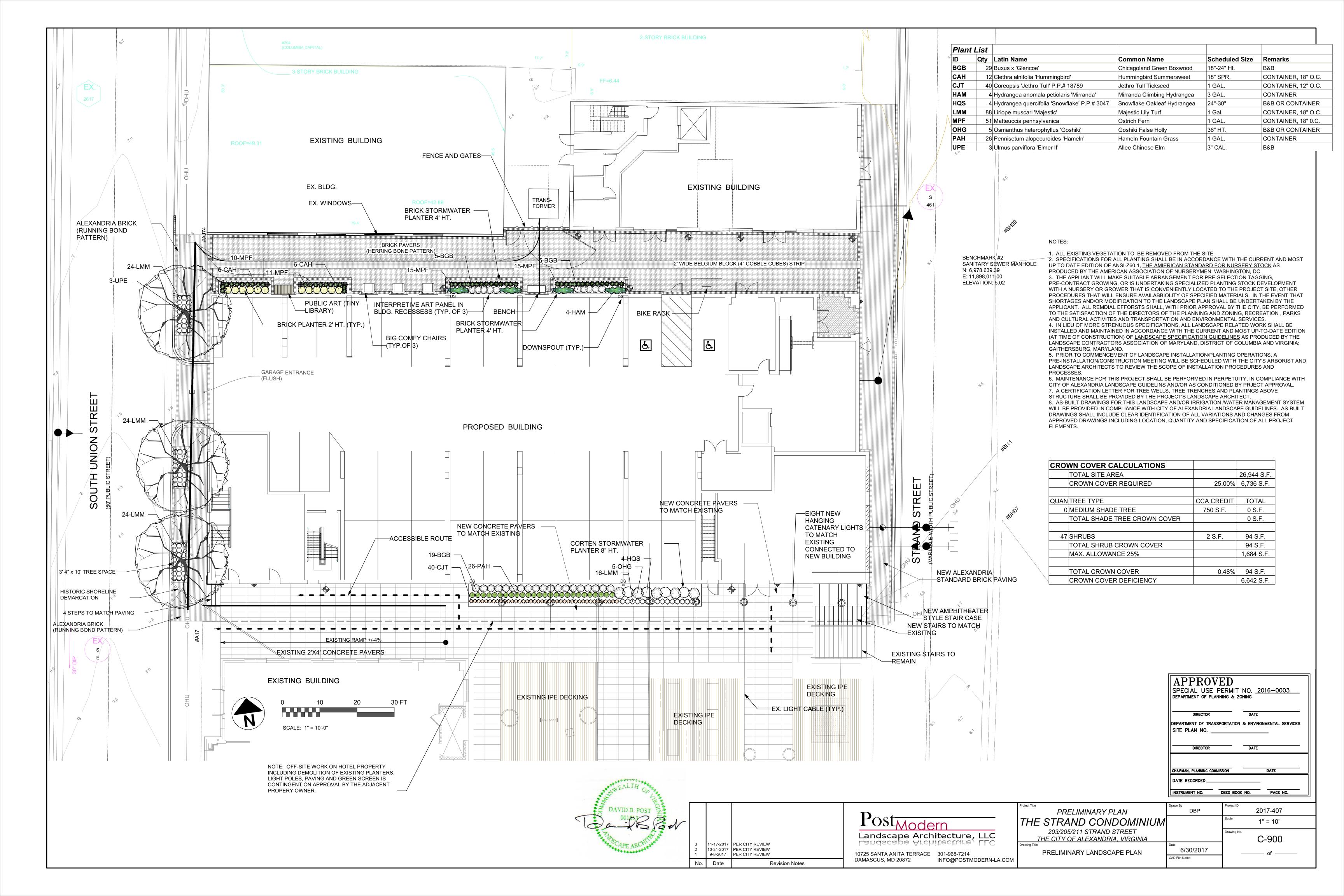


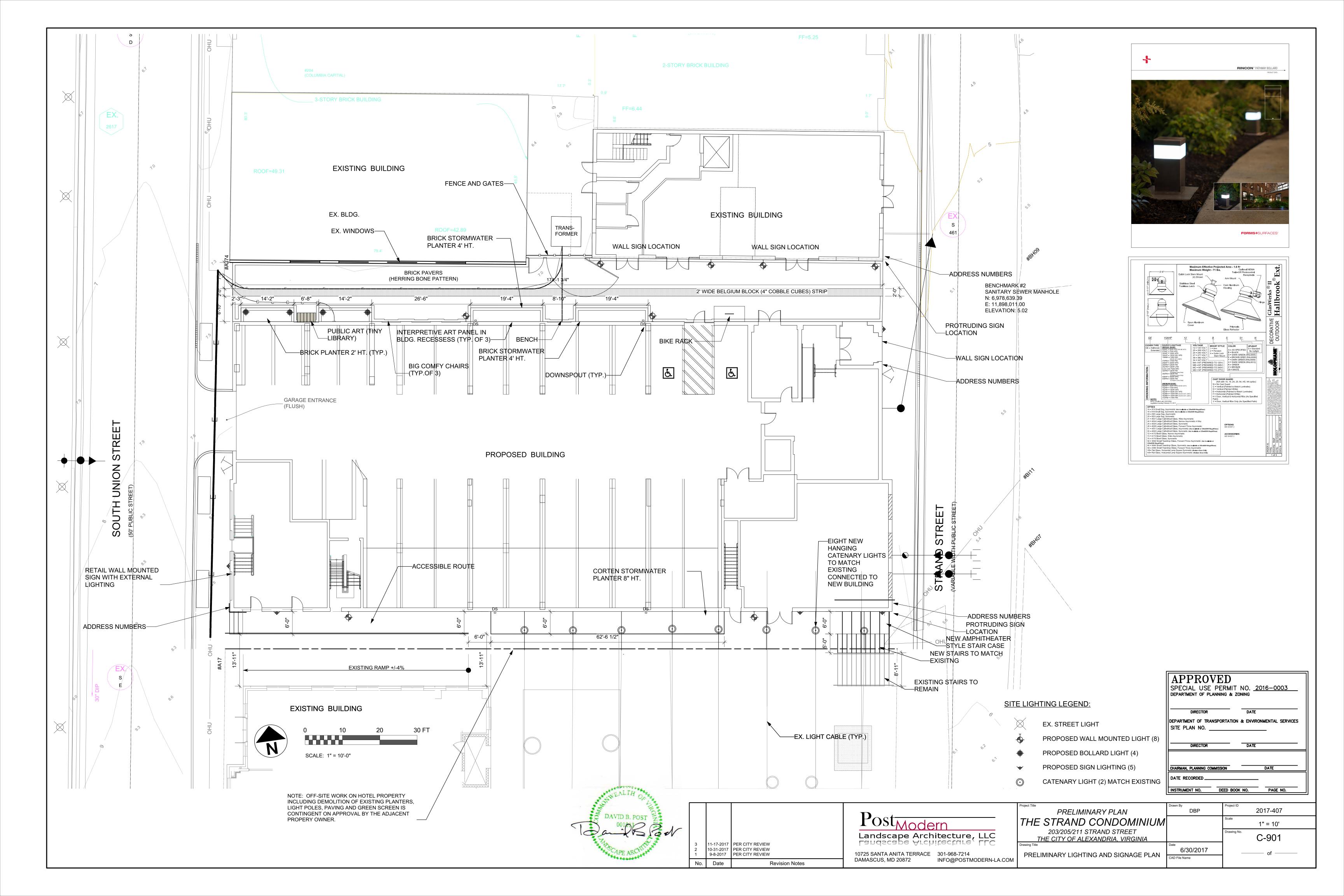




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SPECIFICATIONS FOR PLANTING

Plant Identification - All plants shall be properly tagged with plant name, size and nursery location

List of Plant Material - The quantities given in the plant list are <u>approximate</u> only. The contractor is responsible for verifying plant quantities prior to bidding and any discrepancies shall be brought to the attention of the landscape architect. The Contractor shall furnish, and plant, all plants required to complete the work as shown on the drawings. Substitutions shall not be made without the written approval of the Landscape Architect. This contract will be based on the bidder having verified, prior to bidding, the availability of the required plant materials as specified on the Plant

Plant Quality - All shrubs shall be dense, heavy to the ground, and well grown, showing evidence of having been pruned regularly, and shall be vigorous, healthy and of good color. All plants shall be sound, free of plant disease, infestation, or insect eggs and shall have a healthy, normal root system. Plants shall be freshly dug and not heeled-in stock, nor stock from cold storage. All plants shall be nursery grown. Plants shall not be pruned prior to delivery. The shape of the plant shall, in general, conform to its <u>natural growth proportions</u> unless otherwise specified. All plants, including container grown, shall conform to the branching, caliper and height specifications of the American Association of Nurserymen's Publication entitled American standard for Nursery Stock, ANSIZ60.1, latest edition, and shall have a well-shaped, heavy-branched structure for the species. Evergreen trees are to have an internode no greater than 24" and shall be uniformly well-shaped.

Plant Tagging - The contractor shall prepare a list of nurseries supplying the specified plant material.

Plant Spacing - Plant spacing is to scale on plan. No shrub material shall be closer than 30" to building walls.

Soil Mix - Soil mix will be 2/3 existing topsoil, 1/3 leafmold or other approved organic matter, thoroughly mixed and

Rootball Size - The ball size shall conform to the American Association of Nurserymen's Publication entitled <u>American</u> Standard for Nursery Stock, ANSIZ60.1, latest edition, and shall be wrapped in untreated burlap.

Excavation - Holes for all plants shall be 18" larger in diameter than size of ball or container and shall have vertical sides. Hedges shall be planted in a trench 12" wider than ball diameter. Beds for mass planting shall be entirely rototilled to a depth of 8" and shall be 18" beyond the average outside edge of plant balls. Organic matter will be incorporated into plant beds by tilling again to a depth of 8". Proportions of soil to organic material will be two parts existing soil to one part organic material.

Planting - Backfilling shall be done with soil mix previously described, reasonably free of stones, subsoil, clay, lumps, stumps, roots, weeds, Bermuda grass, litter, toxic substances, or any other material which may be harmful to plant growth or hinder grading, planting, or maintenance operations. Should any unforeseen or unsuitable planting conditions arise, such as faulty soil drainage, chemical residues or inconsistencies between plans and actual site conditions, they should be called to the attention of the landscape architect and the owner for adjustment before planting. Plants shall be set plumb and straight and trees shall be guyed or staked at the time of planting. Backfill shall be well worked about the roots and seated by watering. Plants will be planted higher than surrounding grade. Shrubs will be 1" higher and trees will be 3" higher. Remove rope from round tree trunks and lay back burlap and wire baskets from top 1/3 of all B&B material. Nylon, plastic, or vinyl rope and/or burlap will be completely removed from all plant material prior to planting.

Transplanting Trees by Tree Machines - Trees shall be moved by machines that provide a minimum ball diameter of 10" per 1" of tree caliper. Holes are to be dug by the same size machine as the one transporting the plant. The plant material shall be transplanted in approximately the same growing condition as it is presently growing, in terms of soil type and moisture content. Fertilize and guy as described in these plans and specifications.

Cultivation - All trenches and shrub beds shall be cultivated, edged and mulched to a depth of 2" minimum and 3" maximum with well-aged, fine-shredded hardwood bark. The area around isolated plants shall be mulched to at least a 6" greater diameter than that of the hole. Plant beds adjacent to buildings shall be entirely mulched to the building wall.

Maintenance - The Contractor shall be responsible during the contract and up to the time of acceptance for keeping the planting and work incidental thereto in good condition by replanting, plant replacement, watering, weeding, cultivating, pruning, spraying, restaking and cleaning up, and by performing all other necessary operations of care for the promotion of good plant growth so that all work is in satisfactory condition at the time of acceptance at no additional cost to the

Fertilizer - All fertilizer shall be granular, packet or pellet type with 35 to 80 percent of the total nitrogen in a slowly available form. For trees, shrubs, and groundcover; fertilizer shall be a complete fertilizer with a minimum analysis of 10 percent nitrogen, 6 percent phosphorus and 4 percent potassium. For perennials, annuals, and bulbs; fertilizer shall be a time-released, high-phosphate fertilizer; i.e., MagAmp 7-40-6 coarse. For bulbs, fertilizer shall be bonemeal (commercial, raw and finely-round), with an analysis of 4 percent nitrogen and 20 percent phosphoric acid.

Fertilizer shall be added depending on the size of the plant and the manufacturer's recommendation using the following application rates:

- Trees: Use ½ lb. of 10-6-4 fertilizer per inch of trunk diameter.
- Shrubs: Use 1/4 lb. of 10-6-4 fertilizer per foot of height or spread per plant, or 3-5 lbs. of 10-6-4 fertilizer per 100 square feet of bed area.
- 3. Groundcover: Use 3 lbs. of 10-6-4 fertilizer per 100 square feet of bed area.
- Perennials, Annuals, Bulbs: Use 3 lbs. of time-release, high-phosphate fertilizer (5-10-5) per 100 square feet of bed

5. Bulbs: Use 4-8 lbs. of bonemeal per 100 square feet of bed area (or use time-released, high-phosphate fertilizer as specified above).

Ground Cover - All areas of groundcover shall be rototilled to a depth of 6". Apply 2" of organic material (leafmold) and rototil until thoroughly mixed. Apply fertilizer as stated above.

Perennial Flower Bed Preparation - A soil test shall be taken for pH analysis and the soil amended with ground limestone for acidic soil and garden sulfur or ferrous sulfate for alkaline soil at rates recommended by the soil test. The final pH should be between 6.5 and 7.0. Soil shall be spaded to a depth of 12". Spread 4" of completely decayed organic matter over the soil. Use "nitrogen-fortified" organic material or spread two pounds of ammonium sulfate per 100 square feet. Over this layer spread a thin layer of fertilizer per the schedule unless the soil test indicates otherwise. Rototil fertilizer and organic matter, mixing them thoroughly into the soil. Use a tiller that will cultivate to a minimum depth of 8" and do not make more than two passes. The entire bed may be cultivated with a spade if preferred. When finished, rake surface with a steel-tooth rake until smooth. Moisten the bed, let the water soak in, and rake it again.

Annual Flower Bed Preparation - A soil test shall be taken for pH analysis and the soil amended with ground limestone for acidic soil and garden sulfur or ferrous sulfate to alkaline soil at rates recommended by the soil test. The final pH should be between 6.5 and 6.8. Soil shall be spaded to a depth of approximately 12". Spread 2"-3" of organic matter over soil. Organic material may be coarse moist peat moss, well-rotted manure or compost. Over this layer of organic material, spread a thin layer of fertilizer per the schedule above. Rototil fertilizer and organic material to a depth of 6", mixing them thoroughly into the soil and continue to break-up lumps; then rake surface with steel-tooth rake until smooth. Moisten the bed, let the water soak in and rake it again. Space plants as indicated on drawing.

Guarantee and Replacement - All plant material shall be unconditionally guaranteed for one year. The guarantee will begin on the date of final acceptance of the work. After a plant has been determined to be dead, dying or damaged from handling or installation, it will be replaced during the next growing season. For example, if a plant is found dead during the summer months, it will be replaced during the fall planting season. The guarantee will end for all plant material one year after acceptance. During the guarantee period, the Contractor will not be responsible for mechanical injury or vandalism caused by other parties.

Material Inspection - The Landscape Architect may inspect plant material before and during delivery and installation. Plant material will be properly delivered in covered trucks, and promptly uncovered when delivered to prevent damage. Material will be unloaded and properly handled in such a way as not to damage plants. Plants will be inspected and may be rejected upon delivery and/or installation by the owner for mechanical damage, and damage that will subsequently cause misshapen or deformed material. Owner will have authority to observe site preparation and planting installations, and have the right to reject any work if the specifications and construction documents are not followed. All plant material shall be of the quality specified and installed as described above, and unless these minimum standards are satisfied, the plants will be rejected.

SECTION 9-A-4: TYPICAL DETAILS

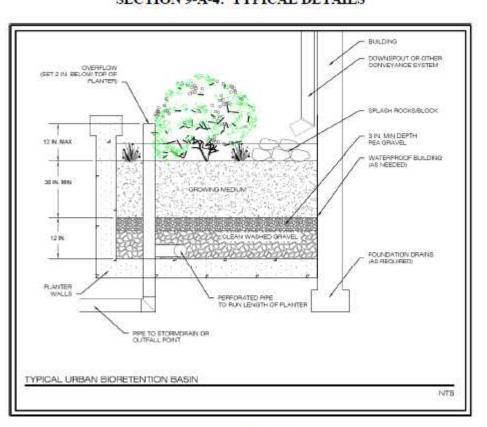


Figure 9-A.4. Stormwater Planter Cross-Section

ROOTBALL

ALLOW

TREE PIT MENSION VARIES

TREE PLANTING IN R.O.W. ADJACENT TO PAVEMENT

PRUNE TO REMOVE DAMAGED

DISEASED OR BROKEN BRANCHES.

DO NOT REMOVE MORE THAN 1/5

OF BRANCH SYSTEM. DO NOT CUT LEADER. TREE MUST RETAIN

REMOVE ALL STAKES WITHIN THE

-RUBBER HOSE OR CHAFING GUARD

-2 STRANDS, 12 GAUGE WIRE TWISTED

ROOTBALL CENTERED IN TREE PIT

-(2) 2"x 2" MIN. HARDWOOD STAKES

- REMOVE EXCESS SOIL FROM TOP OF

REMOVE TOP 2/3 OF WIRE BASKET,

PLANTING HOLE OR 50% CLEAN

3" HARDWOOD MULCH,

PAVEMENT TYPICAL

ROOTBALL

PULL BACK 6" FROM TRUNK

SPLAY SIDES OF PLANTING PIT.

PIT DEPTH EQUAL TO HEIGHT OF

*NOT TO SCALE

REMOVE OR FOLD DOWN BURLAP TO

REMAINING BASKET. CUT/REMOVE AI ATTACHED STRING AND ROPE.

EXISTING SOIL, 25% TOP SOIL, AND 25%

CITY APPROVED ORGANIC MATERIAL

PER TREE. SET 18" BELOW TREE PIT, PARALLEL TO STREET IN UNDISTURBED

GROUND. DO NOT DRIVE STAKES INTO

REOUIRED PERIOD.



EXISTING VIEW OF SOUTH ALLEY FROM STRAND STREET: EXISTING STEPS AND HANDRAILS TO REMAIN. CORTEN PLANTER TO BE REMOVED. NEW AMPHITEATER STYLE STAIRS AND RAILING TO MATCH.

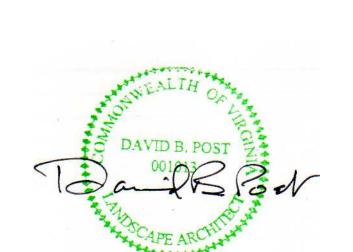


VICTOR STANLEY, INC.® 1-5/16 TUBULAR STEEL RUNG USED FOR ADDITIONAL SUPPOR 12 STANDARD COLORS, CUSTOM COLORS (INCLUDING THE RAL RANGE) ENGRAVED CAST BRONZE PLAQUES DUCTILE IRON CASTINGS COME WITH A TEN YEAR WARRANTY AGAINST BREAKAGE. DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.
 ALL FABRICATED METAL COMPONENTS ARE STEEL SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY. COATED WHILE HOT TO FILL CREVICES AND BUILD COATING FILM. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS 4. IT IS NOT RECOMMENDED TO LOCATE ANCHOR BOLTS UNTIL BENCH IS IN PLACE. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND, CONSULT YOUR LOCAL CODES FOR REGULATIONS 5. ANCHOR BOILTS NOT PROVIDED BY VICTOR STALLEY, INC.
6. FOR HIGH SALT ABUSIVE CLIMATES, HOT DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. SEE WRITTEN SPECIFICATIONS FOR DETAILS. THIS PRODUCT IS SHIPPED FULLY ASSEMBLED. STANDARD BENCH WITH DUCTILE IRON END FRAMES

BENCH

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BIKE RACK





DIRECTOR	DATE	
	NSPORTATION & ENVIR	
DIRECTOR	DATE	
CHAIRMAN, PLANNING CO	MMISSION	DATE

APPROVED

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72-3/8 CENTER-TO-CENTER

CENTER-TO-CENTER DISTANCES ARE APPROXIMATE

* ALL DIMENSIONS ARE IN INCHES *

ct Title	Drawn By	Project ID
PRELIMINARY PLAN	DBP	2017-407
HE STRAND CONDOMINIUM		AS SHOWN
203/205/211 STRAND STREET THE CITY OF ALEXANDRIA, VIRGINIA		Drawing No. C-902
PRELIMINARY LANDSCAPE DETAILS	6/30/2017 CAD File Name	of