

BAR Meeting
December 20, 2017

ISSUE: Request for a Permit to Demolish/Capsulate and a Certificate of Appropriateness for alterations, waiver of fence height, an addition and accessory structure

APPLICANT: Paul Murtagh and Erin Clearly

LOCATION: 211 South Saint Asaph

ZONE: RM/Townhouse Zone

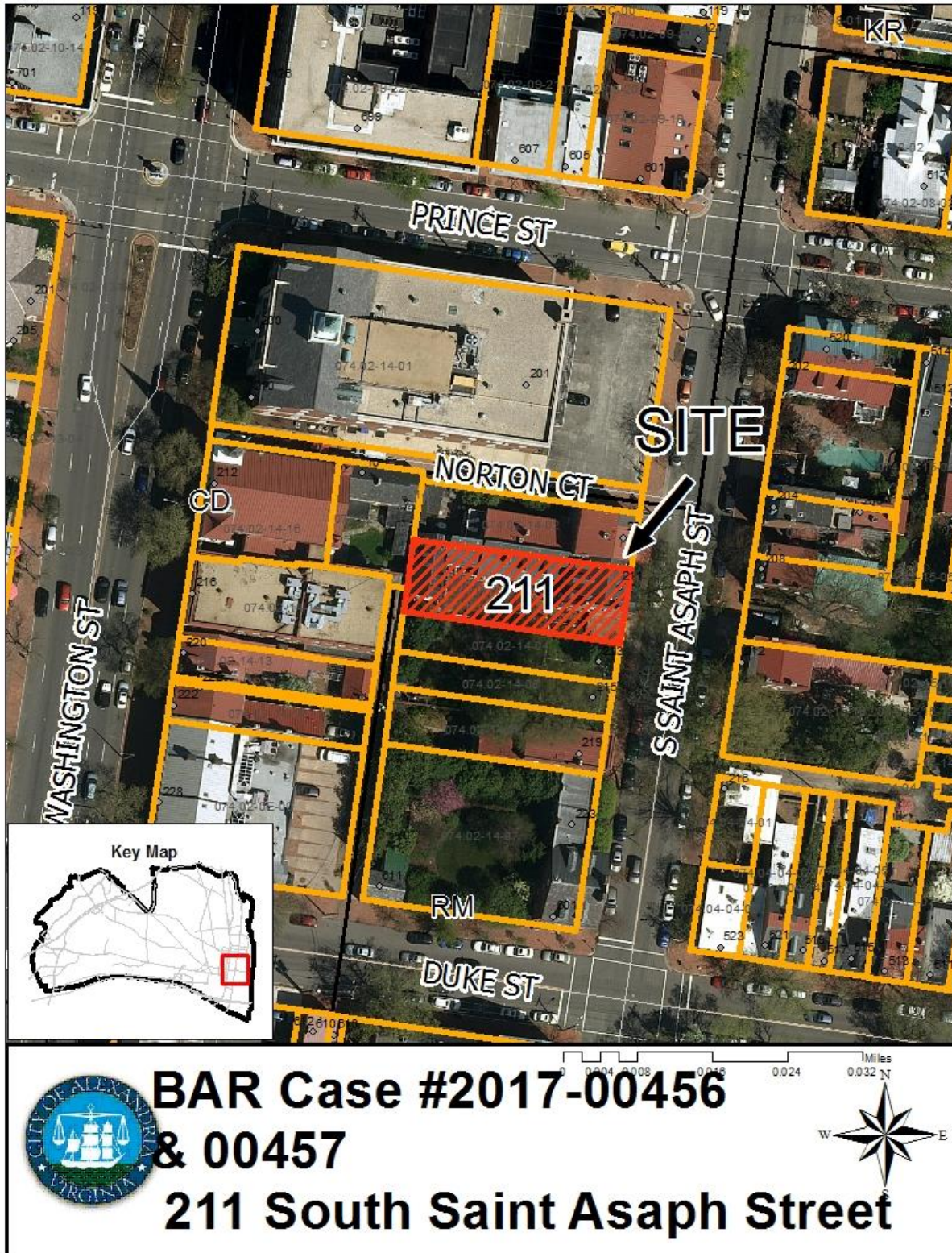
STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish and Certificate of Appropriateness with the following conditions:

1. Relocate or screen any new trash or parking areas from South Saint Asaph Street.
2. Include the following statements on all site plans and construction documents that involve demolition or ground disturbance (including Basement/Foundation plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the recommendations.
 - a. Inform Alexandria Archaeology (703-746-4399) two weeks before the starting date of any ground disturbance so that a monitoring and inspection schedule for City archaeologists can be arranged.
 - b. Alexandria Archaeology recommends that the applicant/property owner call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work should cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - c. The applicant/property owner shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.
3. Consider allowing Alexandria Archaeology to monitor ground disturbing activity as described in R-1 of the Alexandria Archaeology comments in City Department Comments at the end of this report.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



Note: Staff coupled the applications for a Permit to Demolish (BAR#2017-0456) and Certificate for Appropriate (BAR #2017-0457) for clarity and brevity.

I. ISSUE

The applicant is requesting approval of a Permit to Demolish for the following:

- to partially demolition/capsulate the east wall of the 1998 addition and portions of the 1960 rear ell;
- to remove two existing windows;
- to demolish the existing pergola,
- to demolish the shed located on the rear property line and;
- remove the roof and dormers on the 1998 addition.

The applicant is also requesting a Certificate of Appropriateness for the following:

- to construct a new rear two-story addition;
- to build a second-floor balcony;
- to convert two existing windows to doors;
- to construct a new two-story accessory structure with pergola;
- to build new 6' brick wall in the front yard.

A waiver of fence height from the BAR is required only if the fence on the front lot line is significantly modified but no changes are proposed at this time.

II. HISTORY

According to Alexandria Archaeology, the first house constructed on this lot was possibly built as early as 1760. According to Ethelyn Cox's Historic Alexandria Street By Street, the 2½-story brick residence at 211 South Saint Asaph Street was constructed ca. **1810** and was the home of prominent Quaker merchant John Janney. The house consists of four sections: a brick main block; an apparently original, flounder shaped brick ell; a rear, flounder shaped brick addition which was added before 1877 (and likely ca. 1847); and a late twentieth-century, one-story, frame utility room at the very rear. The building experienced several other alterations, particularly in the nineteenth century, including the raising of portions of the roof of the main block to produce a full third story in 1847. About 1847 the residence was remodeled in the Greek Revival style, a third story added and an identical rowhouse was constructed adjacent to the north. Nonetheless, the structure maintains its nearly intact nineteenth-century footprint.

In **1960**, the Board approved the restoration of the house to approximate its original appearance, including the return of the primary roof to its original height and configuration, the removal of Victorian window heads, and the construction of dormer windows. This conjectural restoration in 1960 was based upon the then current restoration assumptions about Federal houses and made this a two story building. The applicants at that time were the owners of the property, Mr. and Mrs. Arthur J. Mourot, prominent figures in Alexandria's preservation movement since the 1940s. The restored home was featured in an illustrated article in the Sunday magazine of *The (Washington) Star* on October 8, 1961.

The 1960 work, according to the building permit, included removal of the side porch and an up and downstairs porch as well as the “brick library between the front portion and wing” (Building Permit #16206, 5/3/1960). The westernmost section of the building then was re-built as part of the 1960 restoration. This section is constructed of cinder block with face brick. Thus, this mid-20th century section of the house is not considered historic.

In **1998**, the Board approved the demolition of a one-story, frame utility room at the rear of the house in order to construct a larger addition. The Board also approved the construction of a gazebo, potting shed and alterations to the main block of the house and site (BAR98-0151/0152).

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The proposed alterations and addition require a relatively minimal amount of selective demolition to the **1998** addition and **1960** rear ell. On the 1960 rear ell and west elevation of the historic structure, the applicant is proposing to convert two windows to doors on the 2nd-story. This conversion will allow access to the proposed balcony from the ell and historic structure. Each

window opening will be increased by approximately 7 square feet to construct the new doors. This alteration will not be visible from the public right-of-way.

Additionally, sections of the brick garden wall on the east (front) elevation will be removed and re-configured, as well as the 1998 non-historic shed will be demolished. As described in the zoning ordinance criteria, the specific amount that can be supported depends upon the public visibility, the importance of the structure and the quality or rarity of the material and craftsmanship being demolished or capsulated. Staff has no objection to proposed demolition of the minimally visible and non-historic walls and structures described above.

Certificate of Appropriateness

The applicant is requesting a number of modifications at 211 South Saint Asaph Street, including the construction of a new two-story accessory structure, a rear addition on the main building, pergolas on both the main and accessory structures and new garden walls. The proposed addition and modifications to the existing later addition will be minimally visible from the public right-of-way. The image below shows the relationship and visibility of the proposed modifications within the context of the blockface.



Figure 1: Block elevation with proposed modifications to 211 S St Asaph in the highlighted area

Accessory Structure

The proposed neoclassical-style garden pavilion is an approximately 22' wide x 23' deep x 21' tall accessory structure that is set back 20' feet from the garden wall on the front (east) lot line. The proposed exterior finishes are stucco with wood trim, a cooper roof and clad SDL casement windows. The *Design Guidelines* states that free-standing accessory structures should complement, not compete with, the architecture of the main building. The materials of accessory structures should follow the historic usage of materials, and should not visually detract from the materials of the main building.

The proposed garden pavilion fits the criteria set forth in the *Design Guidelines*, it's small size and materials do not compete with the main building or the historic neighboring dwellings and its location and setback behind a formal garden minimally interrupts the present openness of the property and historic rhythm of solid and void on this block. The proposed landscape pergola flanking the pavilion is identical in style to the proposed pergola on the revised addition on the rear of the main building. This pergola must be a minimum of 80% open to the sky to be located in a required yard but there is significant open remaining space on this lot.

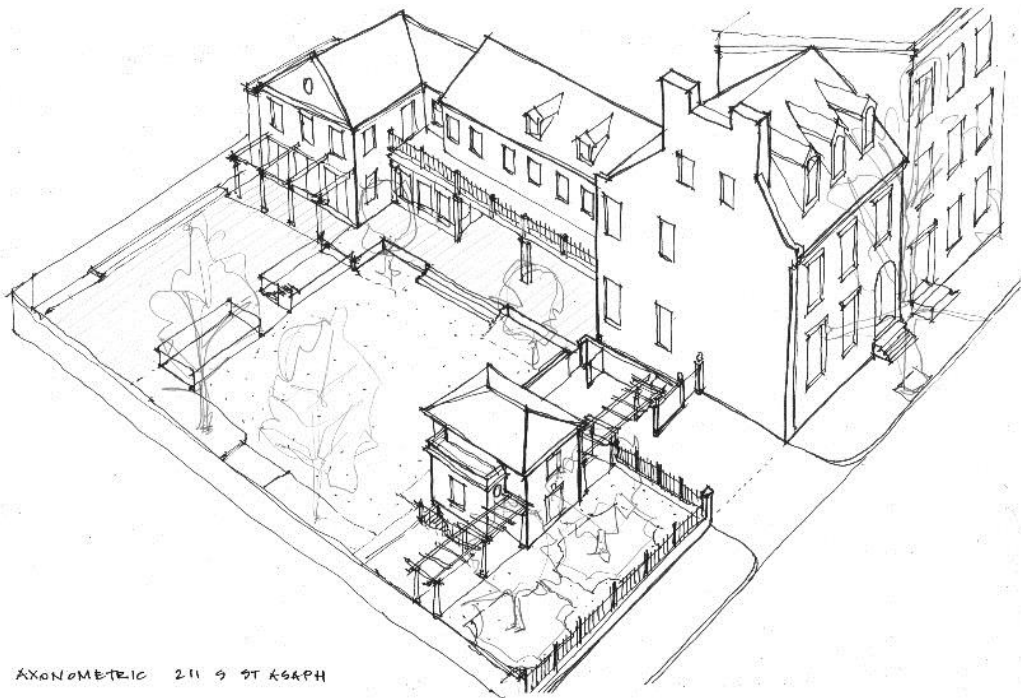


Figure 2: Perspective drawing illustrating the proposed alterations and the setback of the accessory structure from S Saint Asaph St.

Rear Addition

The *Design Guidelines* states that as a general rule, additions should be contextual background buildings which allow historic structures to maintain the primary visual importance. Additions must be designed so that they are compatible with both the architectural character of the existing house and the immediate neighborhood. Furthermore, additions should make use of the design vocabulary of the existing historic structure and should be clearly distinguishable from the original structure.

The proposed two-story rear addition with a pergola on its south elevation will have no physical impact on the historic 19th – century portion of the house, since it will be an extension of the 1998 addition. The east elevation of that rear addition will receive the most modifications. The majority of the 1st-story of the ell will be removed for the expansion of the addition. This section of the addition will be finished with multi-light clad casement windows and wood paneling. On top of this section of the addition will be a 10' wide balcony, that is attached to the rear ell, connecting the historic structure to the later additions on the west. The exterior finish for the east and south elevation of the rear addition will be stucco. This change in finishes will differentiate the later addition from historic brick structure. It will also connect the accessory structure the main building because of the shared exterior finish.

Additionally, the dormers will be removed from the 2nd-story addition and an existing rooftop air conditioning unit will be relocated on the west elevation of the roof. This unit will not be visible from the public right-of-way. The existing slate roof will remain on the ell but Tesla brand solar shingles will be installed on the east and west slopes of the new gable roof of the rear addition.



Figure 3: View of the existing ell and rear addition.

Alterations

The applicant is proposing a number of alterations in addition to the accessory structure and rear addition. On the norther portion of the fence on the east side of the parcel, sections of the brick wall will be replaced with metal fence to match the existing adjacent fencing, increasing the visibility of the formal garden from the public right-of-way. The remaining sections of the garden wall will be modified to create a paved courtyard for a third parking space between the accessory structure and main building. The proposed north and west brick walls of the parking courtyard are 6' feet in height and the west wall is set back 40 feet from the front elevation.

Although there is an existing two-car-wide curb cut and two off street parking spaces today, the applicant proposes to park a third car in the new courtyard, along with brick alcoves to store trash cans. No doors or gates are shown to screen these uses from the street. The BAR has traditionally discouraged driveways and parking in front of residential properties where parking is not screened. The *Guidelines* states that: "...individual driveways in the front of residential properties are not desirable because the automobiles parked in the front yards create a visual intrusion and disrupt the scale, rhythm and unity of the architecture." The BAR's *Design Guidelines* also requires "review of all hard surface paving materials in excess of 150 square feet which are or may be used for parking on private property." (Parking – Page 4) The two existing parking spaces are paved with brick and the applicant proposes to extend that material to the new space. The survey in the application shows a 10' private alley in the rear. It would be aesthetically desirable to locate the parking and trash off of the alley at the rear or at least to screen the trash and proposed new parking space from Saint Asaph Street with an iron fence or wooden gate.

With the exception of staff's concern for public visibility of additional parking and trash from Saint Asaph Street, the remainder of the project is extremely well done, maintaining the historic portions of the house and public visibility of the majority of the garden with relatively modest

additions and alterations that incorporate solar shingles on the rear addition. Staff recommends approval with the archeology recommendations listed below.

STAFF

Amirah Lane, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

- F-1 On September 10, 1998 the Board of Zoning Appeals approved BZA application #98-0029 for the construction of a new two-story addition in required rear yard.
- C-1 Proposed improvements will comply with the RM floor area and open space requirements.
- C-2 Proposed two-story accessory structure is permitted under section Zoning Ordinance §7-101(B) and §7-101(I). Pursuant to §7-101(I), the accessory use shall be used by temporary guests or occupants of the main residence, contains no kitchen facilities and is not rented or otherwise used as a separate dwelling.
- C-3 All proposed pergola must remain 80% open. (if located in a required setback)
- C-4 Proposed AC units must comply with the side yard setback or an Air Conditioner Placement Waiver Request is required.
- C-5 Proposed new fence/brick wall located in the front yard cannot exceed 3.50 feet and must be at least 50% open or a waiver from the board of architectural review shall be required. The proposed new fence must be located completely on the subject property (Zoning Ordinance § 7-202(C)).
- C-6 Pursuant to Zoning Ordinance § 6-403(B)(3), the board of architectural review may waive or modify the screening requirement of subsection (B)(1) of this section.
- C-7 Show the average existing grade on the elevations.
- C-8 Applicant must properly consolidate all lots and the lot will be assessed as one lot prior to the submitting for a building permit

Code Administration

- C-1 A building permit, plan review and inspections are required.

Transportation and Environmental Services

- R1. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F1. Based on the submitted package, staff believes a grading plan will be required. The applicant should provide a determination of disturbed area per City Guidelines to T&ES prior to submitting for permits. If the land disturbance meets or exceeds 2500 square feet, a released grading plan will be required prior to submitting for permits. (T&ES)
- F2. If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C1. The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C2. The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C3. Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C4. All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C5. Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C6. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

- C7. A GRADING PLAN showing all improvements and alterations to the site shall be required prior to any land disturbing activities and must be approved prior to issuance of a building permit. (5-6-224) (T&ES)
- C8. An erosion and sediment control plan must be approved by T&ES prior to any land disturbing activity greater than 2500 square feet subject to the Exceptions described in Section 5-4-5. An erosion and sediment control bond shall be posted prior to release of the grading plan. (Sec.5-4-1.1) (T&ES)
- C9. The applicant shall comply with the provisions of Article XIII Environmental Management Ordinance of the City of Alexandria. (T&ES)
- C10. Flow from downspouts, foundation drains, and sump pumps shall be discharged to the storm sewer per the requirements of Memorandum to Industry 05-14 that is available on the City of Alexandria's web site. The downspouts and sump pump discharges shall be piped to the storm sewer outfall, where applicable per the requirements of Article XIII of Alexandria Zoning Ordinance (AZO). Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

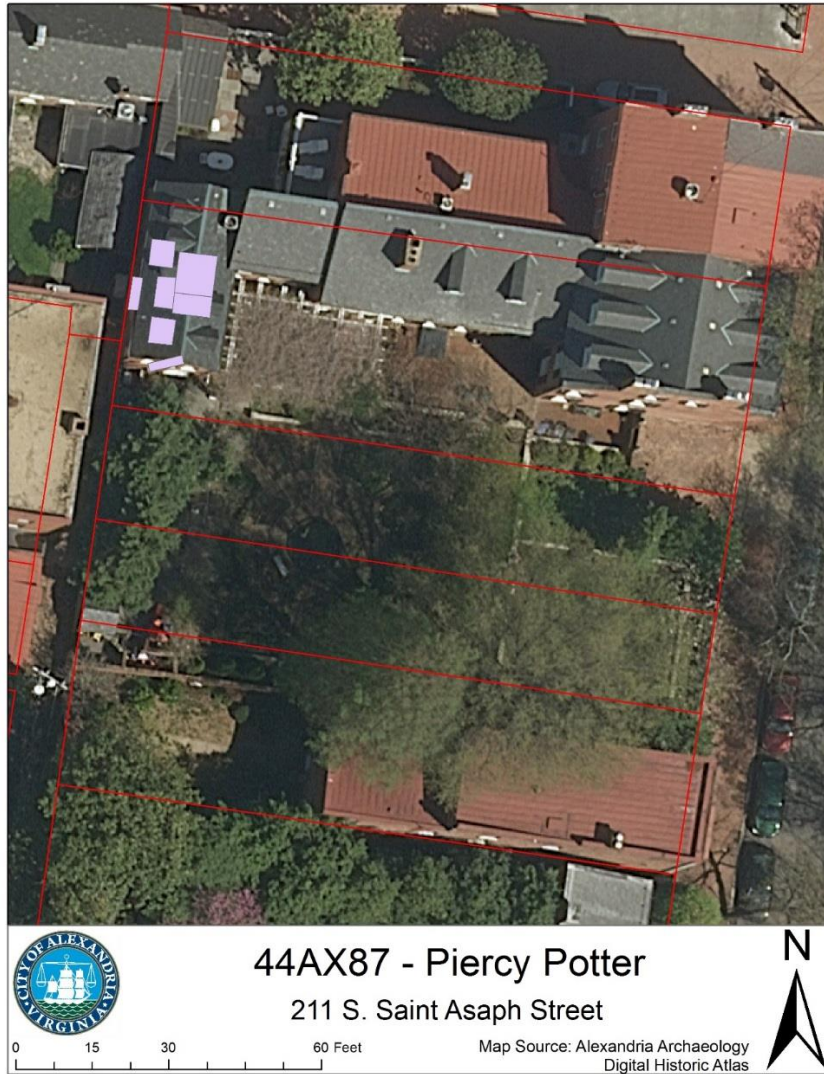
Alexandria Archaeology

- F-1 The property at 211 S. St. Asaph St. is closely associated with the Henry Piercy Pottery which was active in the 1790s, one of the earliest functioning potteries in the region. The primary kiln was located a few dozen feet to the southwest from 211 S. St. Asaph at 220 S. Washington St. When the addition was put onto the back of the house in the late 1990s a portion of the Piercy Pottery "waster dump" was uncovered. Wasters are the vessels that broke during firing, or otherwise were not useable. Alexandria Archaeology was allowed to spend several days excavating the waster dump (see attached map: the purple areas were where archaeology tested), and as a result: a host of articles were written about this significant potter; the story of the Piercy Pottery is now a featured educational program in our museum; and the artifact collection generated from the site has become an important study collection for ceramic scholars throughout the country.
- R-1 The currently proposed changes to 211 S. St. Asaph will likely impact additional buried evidence of the Piercy Pottery. Alexandria Archaeology would like the opportunity to enter the property in advance of construction and possibly excavate a small number of small test squares, especially focused on those portions of the property that will be most heavily impacted by construction (i.e. the basement expansion and other places where deep digging will occur). When construction begins, we would like the opportunity to monitor the process so as to record archaeological evidence if and when it is exposed. If buried features related to Piercy Pottery are encountered, we may ask to be allowed to partially excavate them (or perhaps have the dirt temporarily set aside to allow us to collect a sample of artifacts). We would work within the project schedule so as to not cause any delays. All artifact finds would be cleaned, processed, and cataloged at Alexandria Archaeology and then returned to the property owner. If the property owner so desired, archaeological

findings can be stored by Alexandria Archaeology in perpetuity at their curation facility. All of this proposed archaeological work is offered at no cost to the property owner. Should the applicant/property owner have any questions regarding this proposal, please contact Alexandria Archaeology (703-746-4399).

- R-2.* Alexandria Archaeology recommends that the applicant/property owner inform Alexandria Archaeology (703-746-4399) two weeks before the starting date of any ground disturbance so that a monitoring and inspection schedule for City archaeologists can be arranged.
- R-3.* Alexandria Archaeology recommends that the applicant/property owner call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work should cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- R-4.* The applicant/property owner shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.

**The statements in archaeology conditions above marked with an asterisk "*" shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the recommendations.*



V. ATTACHMENTS

- 1 – Application for BAR 2017-00457 & 2017-00457: 211 South Saint Asaph Street*
- 2 – Supplemental Materials*

BAR Case # _____

ADDRESS OF PROJECT: 211 SOUTH SAINT ASAPH
 TAX MAP AND PARCEL: 7402-14-03 ZONING: RM

APPLICATION FOR: *(Please check all that apply)*

- ☒ CERTIFICATE OF APPROPRIATENESS
- ☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- ☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
 CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
- ☒ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*Name: PAUL MURTAGH / ERIN CLEARYAddress: 211 SOUTH ST ASAPHCity: ALEXANDRIA State: VA Zip: 22314

Phone: _____ E-mail: _____

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ _____Name: PATRICK CAMUS Phone: 703 626 1984E-mail: STUDIOCAMUS@comcast.net

Legal Property Owner:

Name: SAME

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☒ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☒ No Is there a homeowner's association for this property?
- ☐ Yes ☒ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

BAR Case # _____

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☒ EXTERIOR ALTERATION: *Please check all that apply.*
 ☐ awning ☒ fence, gate or garden wall ☒ HVAC equipment ☐ shutters
 ☐ doors ☒ windows ☐ siding ☐ shed
 ☐ lighting ☒ pergola/trellis ☐ painting unpainted masonry
 ☐ other _____
☒ ADDITION
☒ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

PARTIAL DEMOLITION OF 1998 REAR ADDITION. PARTIAL CAPSULATION OF 1960'S REAR EWL. NEW ADDITION @ REAR & SIDE PORCH/BALCONY. REBUILD DRIVEWAY WALL & GATE @ PARKING @ FRONT. NEW 2 STORY GARDEN PAVILION & PERGOLA IN SIDE YARD

SUBMITTAL REQUIREMENTS:

Items listed below comprise the minimum supporting materials for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☒ ☐ Description of the reason for demolition/encapsulation.
☒ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

BAR Case # _____

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A
- ☐ ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
 - ☐ ☐ FAR & Open Space calculation form.
 - ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
 - ☐ ☐ Existing elevations must be scaled and include dimensions.
 - ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
 - ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
 - ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A
- ☐ ☐ Linear feet of building: Front: _____ Secondary front (if corner lot): _____
 - ☐ ☐ Square feet of existing signs to remain: _____
 - ☐ ☐ Photograph of building showing existing conditions.
 - ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
 - ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
 - ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
 - ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A
- ☐ ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
 - ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
 - ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
 - ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

BAR Case # _____

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:Signature: Printed Name: PATRICK CAMUSDate: 20 NOV 17

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. PAUL MURTAGH ERIN CLEARY	211 S. ST ASAPH	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 211 S. ST ASAPH (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. PAUL MURTAGH ERIN CLEARY	211 S. ST. ASAPH	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.


Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

20 NOV 17
Date

PATRICK CAMUS
Printed Name


Signature



DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property InformationA1. Street Address 211 SOUTH SAINT ASAPH Zone RMA2. 11,545 x 1.5 = 17,317
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area**B. Existing Gross Floor Area**

Existing Gross Area*		Allowable Exclusions	
Basement	2322	Basement**	2322
First Floor	2822	Stairways**	350
Second Floor	2822	Mechanical**	45
Third Floor	1166	Other**	
Porches/ Other SHED	10	Total Exclusions	2717
Total Gross *	9142		

B1. Existing Gross Floor Area *
9142 Sq. Ft.B2. Allowable Floor Exclusions**
2717 Sq. Ft.B3. Existing Floor Area minus Exclusions
6425 Sq. Ft.
(subtract B2 from B1)**C. Proposed Gross Floor Area (does not include existing area)**

Proposed Gross Area*		Allowable Exclusions	
Basement	611	Basement**	611
First Floor	1146	Stairways**	120
Second Floor	611	Mechanical**	
Third Floor		Other**	
Porches/ Other SHED	-10	Total Exclusions	731
Total Gross *	2358		

C1. Proposed Gross Floor Area *
2358 Sq. Ft.C2. Allowable Floor Exclusions**
731 Sq. Ft.C3. Proposed Floor Area minus Exclusions
1627 Sq. Ft.
(subtract C2 from C1)**D. Existing + Proposed Floor Area**D1. Total Floor Area (add B3 and C3) 8052 Sq. Ft.D2. Total Floor Area Allowed by Zone (A2) 17317 Sq. Ft.

*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

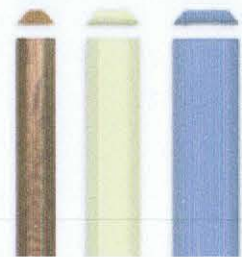
F. Open Space Calculations

Existing Open Space	8543	74%
Required Open Space	4040	35%
Proposed Open Space	7389	64%

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____

Date: 12 DEC 17



JELD WEN Simulated Divided Lites

(SDL) grilles that are permanently attached to both the interior and exterior glass (aluminum for clad exteriors, wood for wood exteriors), metal bars placed between the panes of insulating glass to provide design detail.

Grilles 7/8" width in putty profile: These grilles are available in wood for wood exteriors or the color that matches the exterior clad color of the window you choose or a custom color.



TESLA SOLAR CELL ROOFING



SLATE



Invisible Solar Cells

Customize the amount of electricity your Solar Roof produces to fit your energy needs. This feature is made possible by using two types of glass tile, solar tile and non-solar tile. Both appear the same from street level.



DEPARTMENT OF PLANNING AND ZONING
FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property Information

A. Property information 211 SOUTH SAINT ASAPH Zone RM

A1. Street Address

A2. $\frac{11,545}{\text{Total Lot Area}} \times \frac{1.5}{\text{Floor Area Ratio Allowed by Zone}} = \frac{17,317}{\text{Maximum Allowable Floor Area}}$

B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	2 3 2 2	Basement**	2 3 2 2
First Floor	2 0 2 2	Stairways**	3 0
Second Floor	2 0 2 2	Mechanical**	4 5
Third Floor	1 1 6 6	Other**	
Porches/ Other		Total Exclusions	2 7 1 7
Total Gross *	9 1 3 2		

B1. Existing Gross Floor Area *
9132 Sq. Ft.
 B2. Allowable Floor Exclusions**
2717 Sq. Ft.
 B3. Existing Floor Area minus Exclusions
6415 Sq. Ft.
 (subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement	6 1 1	Basement**	6 1 1
First Floor	1 1 4 6	Stairways**	1 2 0
Second Floor	6 6 1	Mechanical**	
Third Floor		Other**	
Porches/ Other		Total Exclusions	7 3 1
Total Gross *	2 3 6 8		

C1. Proposed Gross Floor Area
2368 Sq. Ft.
C2. Allowable Floor Exclusions**
731 Sq. Ft.
C3. Proposed Floor Area minus
Exclusions 1637 Sq. Ft.
(subtract C2 from C1)

D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 8052 Sq. Ft.
D2. Total Floor Area Allowed by Zone (A2) 17317 Sq. Ft.

*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

**** Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.**
If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

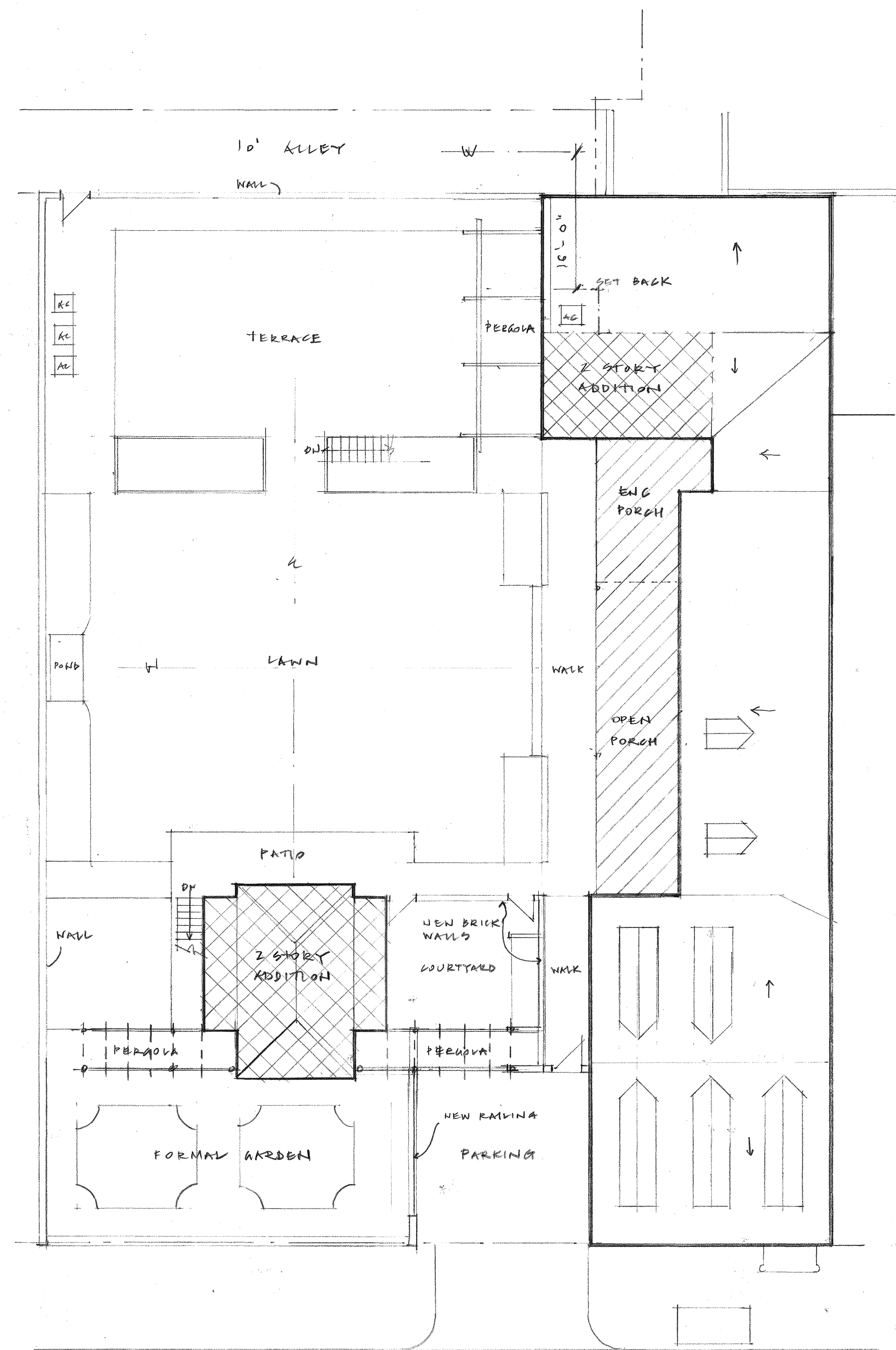
F. Open Space Calculations

Existing Open Space	8543	74%
Required Open Space	4040	35%
Proposed Open Space	7389	64%

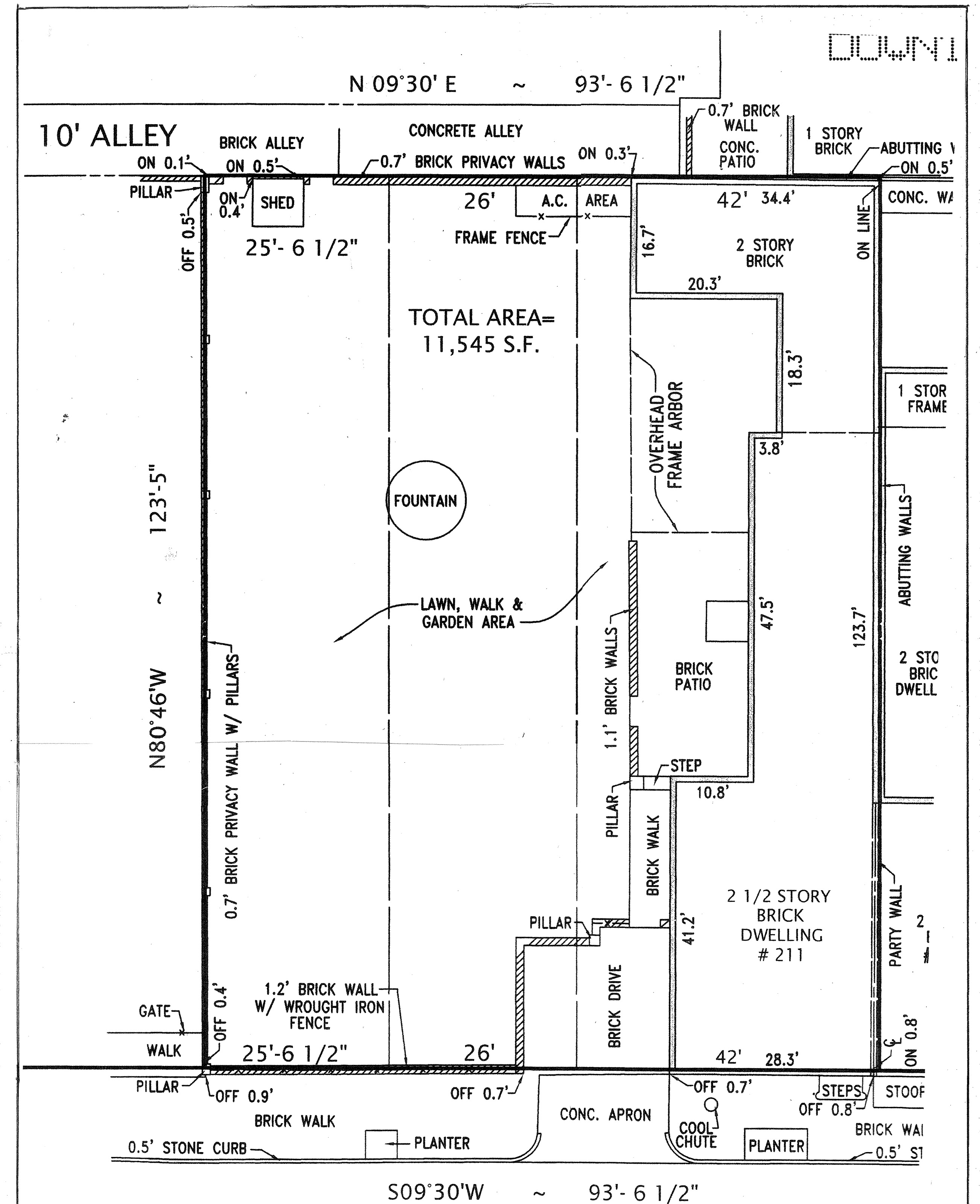
The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: [Signature] Date: 20 Nov 17

Updated July 10, 2008



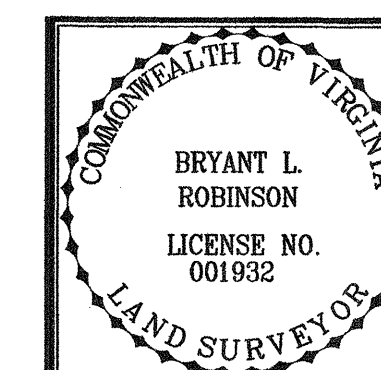

PROPOSED SITE PLAN



MONUMENT LINE

PLAT
SHOWING HOUSE LOCATION ON
THE PROPERTY LOCATED AT
211 SOUTH SAINT ASAPH STREET
CITY OF ALEXANDRIA , VIRGINIA
SCALE: 1" = 10' MAY 23, 2005

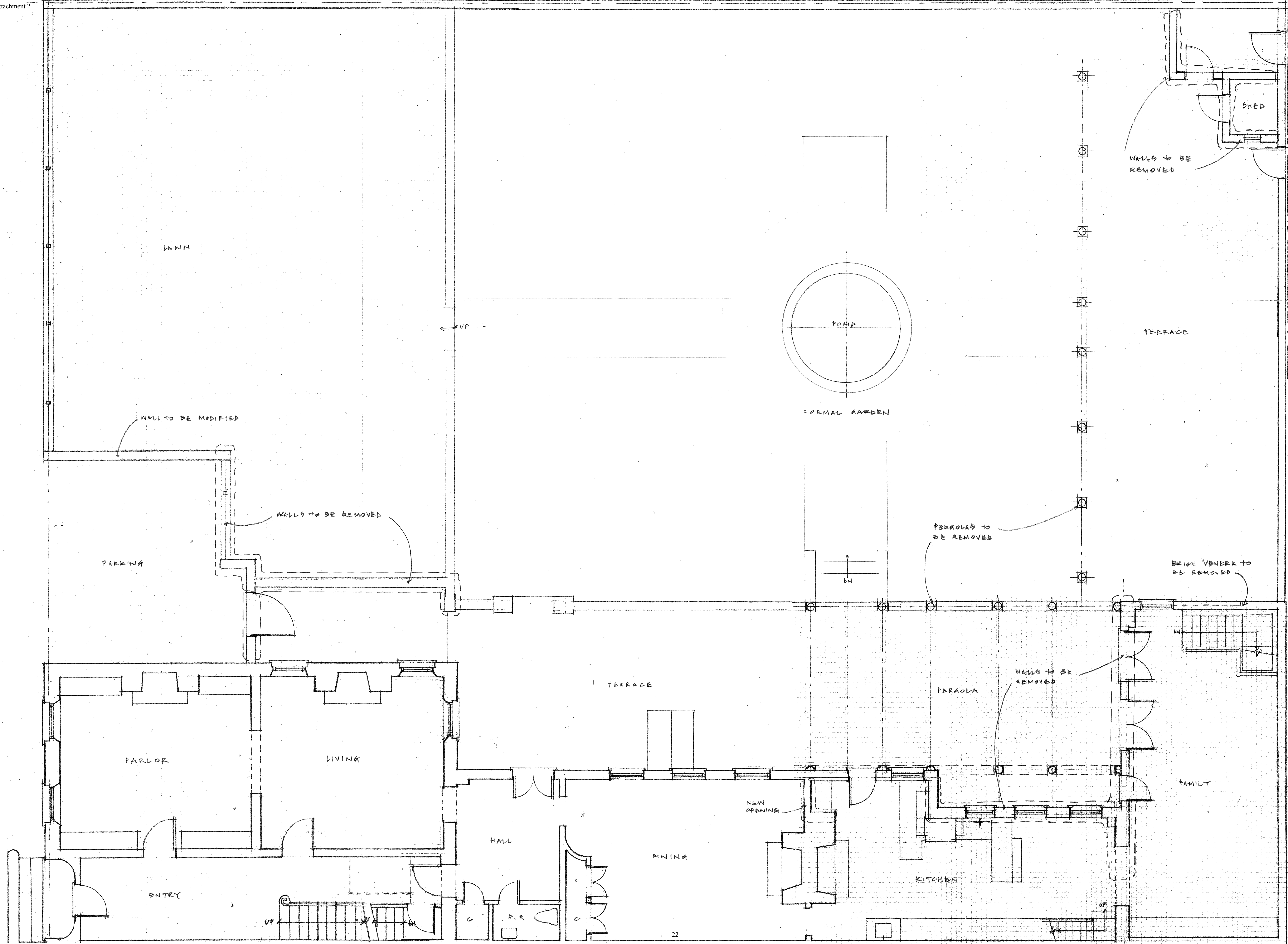
GRAPHIC SCALE



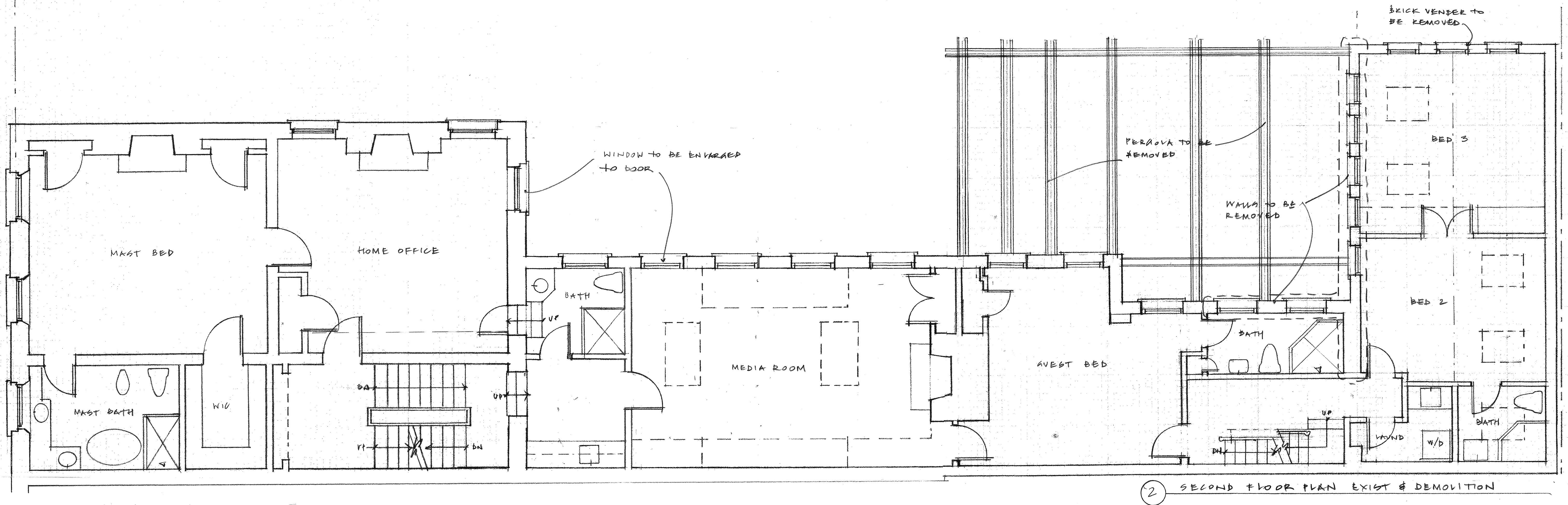
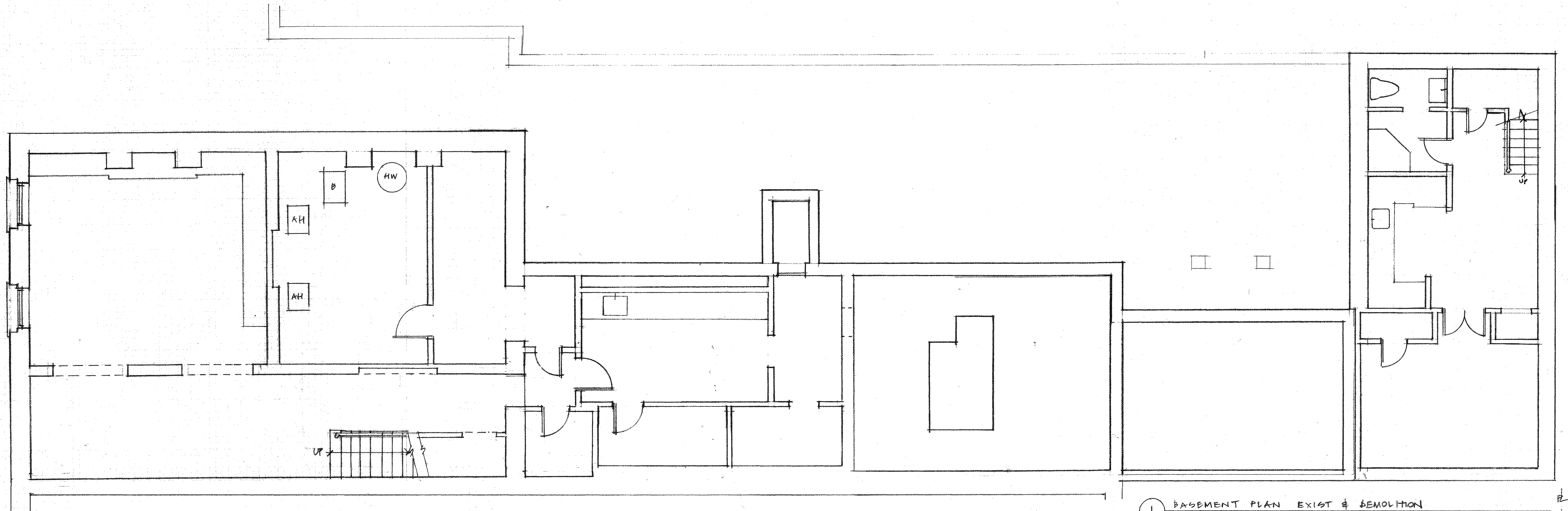
CASE NAME:	PARTEE - DOTY
<p>PLAY SUBJECT TO RESTRICTIONS OF RECORD. TITLE REPORT NOT FURNISHED.</p> <p>I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CORRECTLY ESTABLISHED BY A TRANSIT SURVEY AND UNLESS OTHERWISE SHOWN, THERE ARE NO VISIBLE ENCROACHMENTS.</p> <p><i>David E. Roblin</i> DAVID E. ROBLIN P.E.</p>	<p>REQUESTED BY:</p> <p>REDMON, PEYTON & BRASWELL</p> <p>ALEXANDRIA SURVEYS INTERNATIONAL, LLC 6345 SOUTH KINGS HIGHWAY ALEXANDRIA, VIRGINIA 22306 TEL. (703) 763-6661 FAX (703) 768-7261</p>

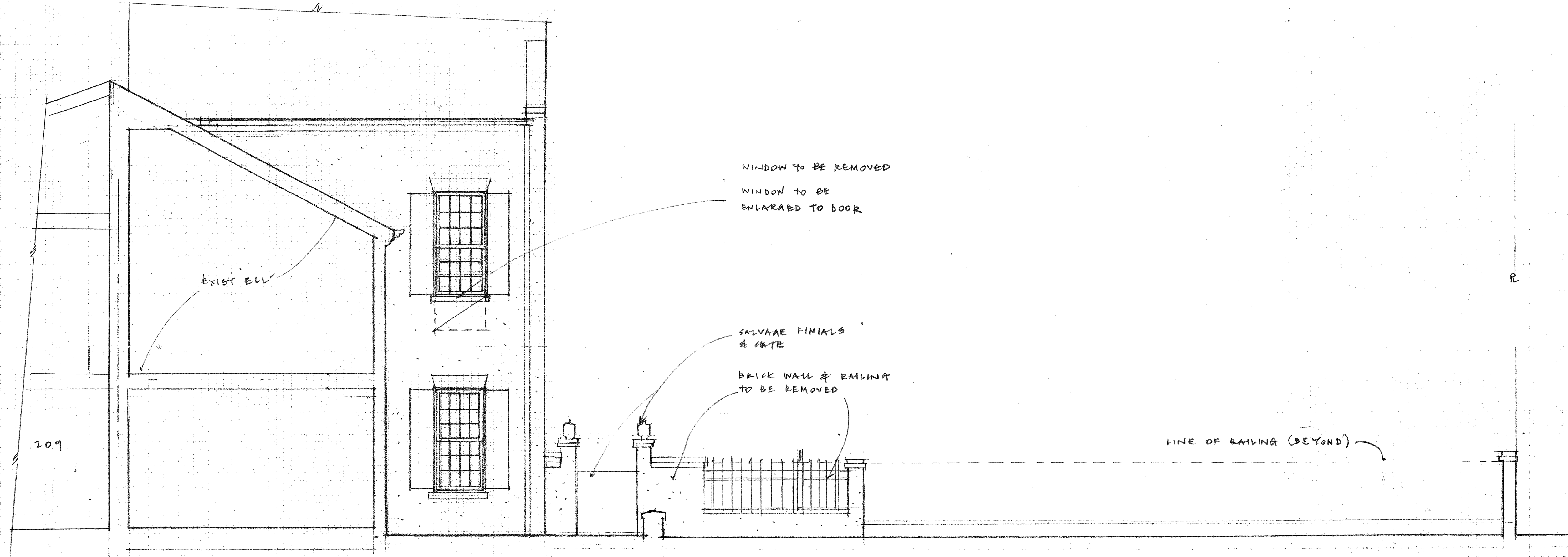
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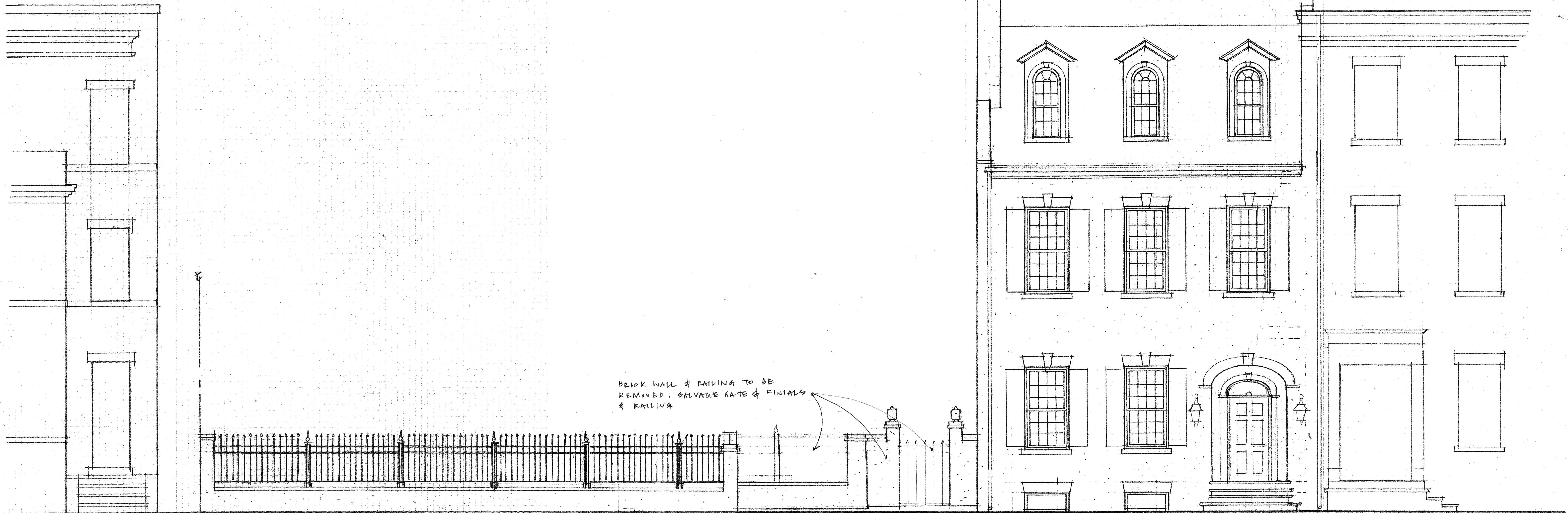


1 FIRST FLOOR PLAN EXISTING & DEMOLITION

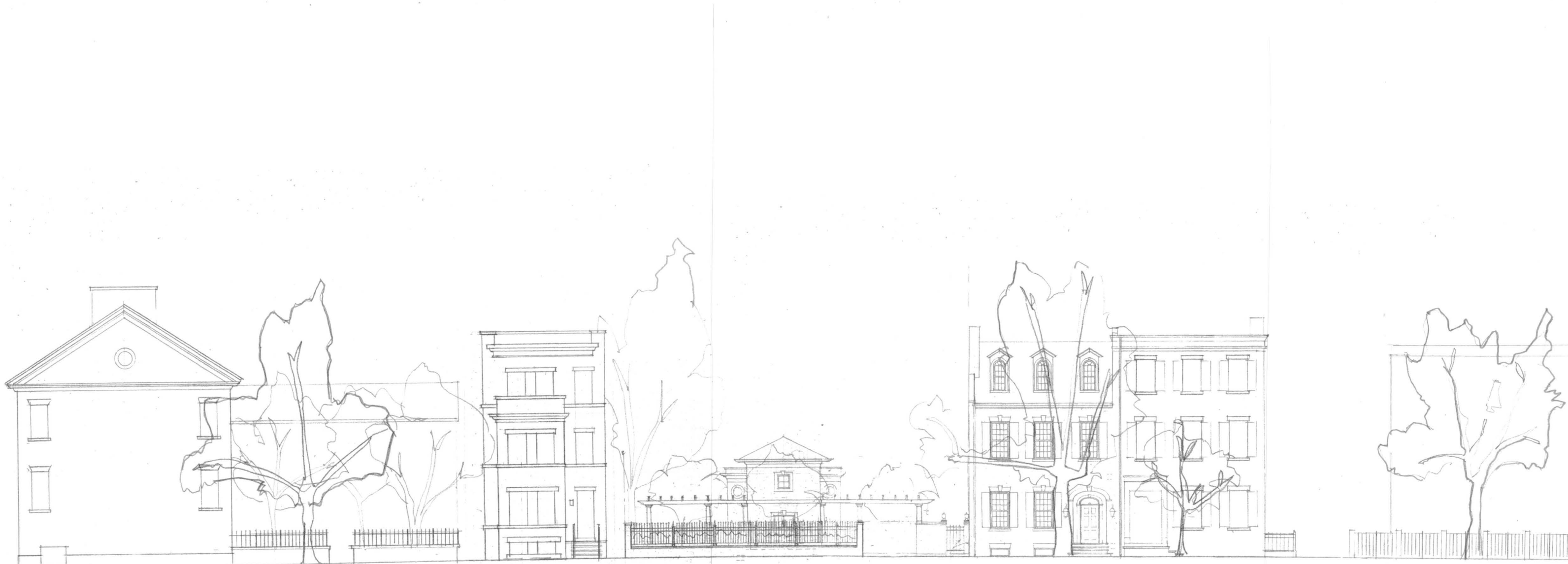




2 GARDEN ELEVATION - EXISTING & DEMOLITION



1 FRONT ELEVATION - EXIST & DEMOLITION



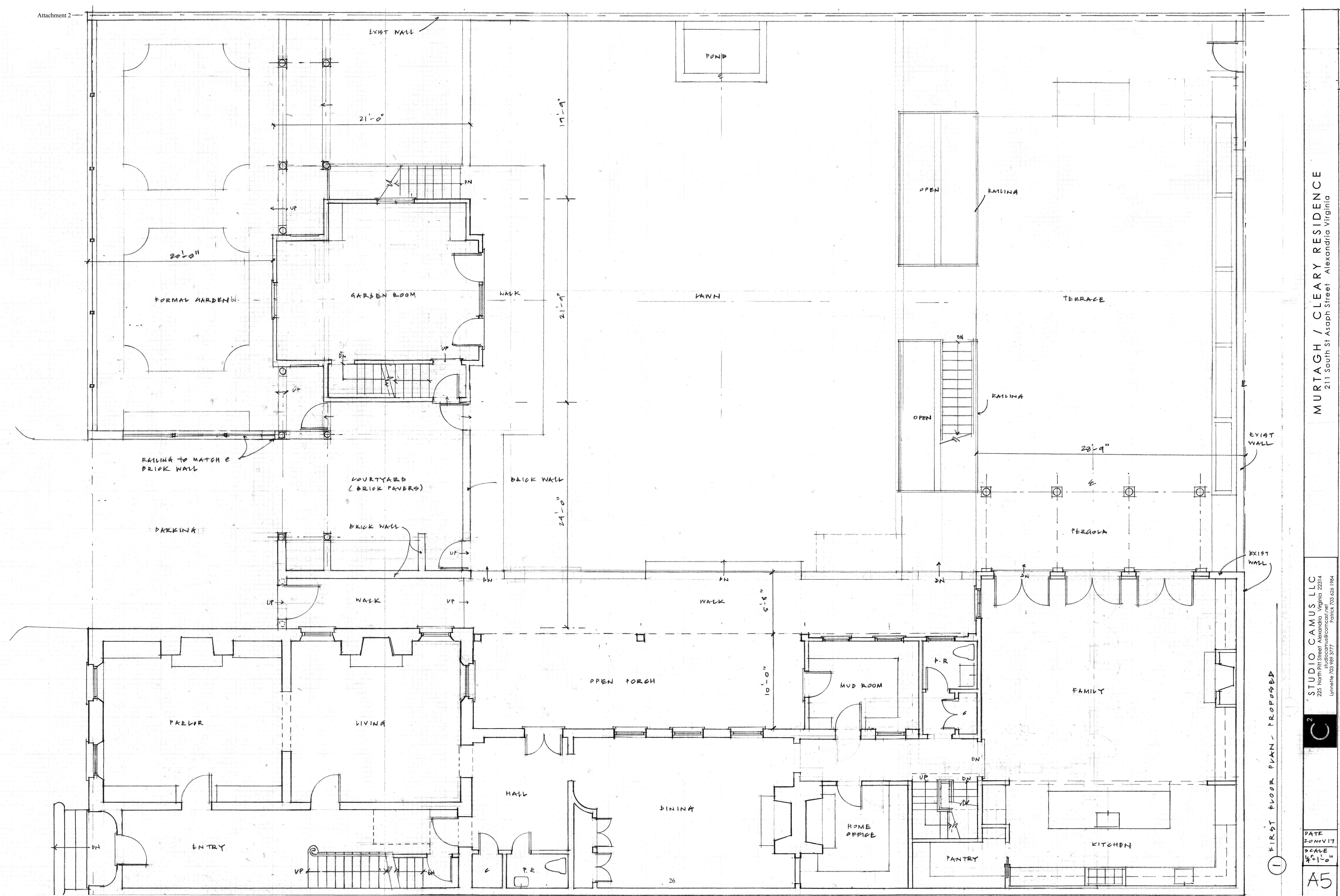
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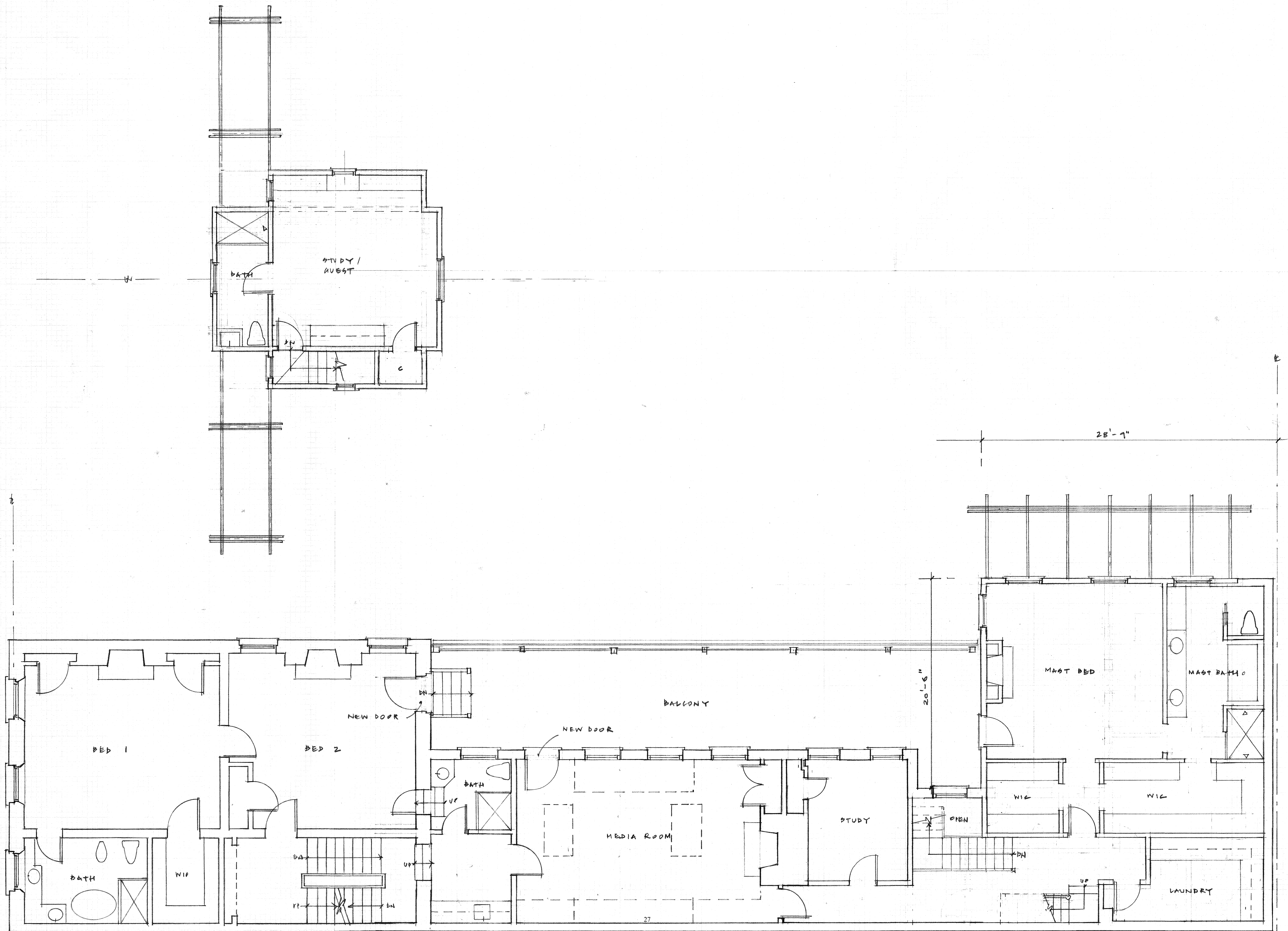
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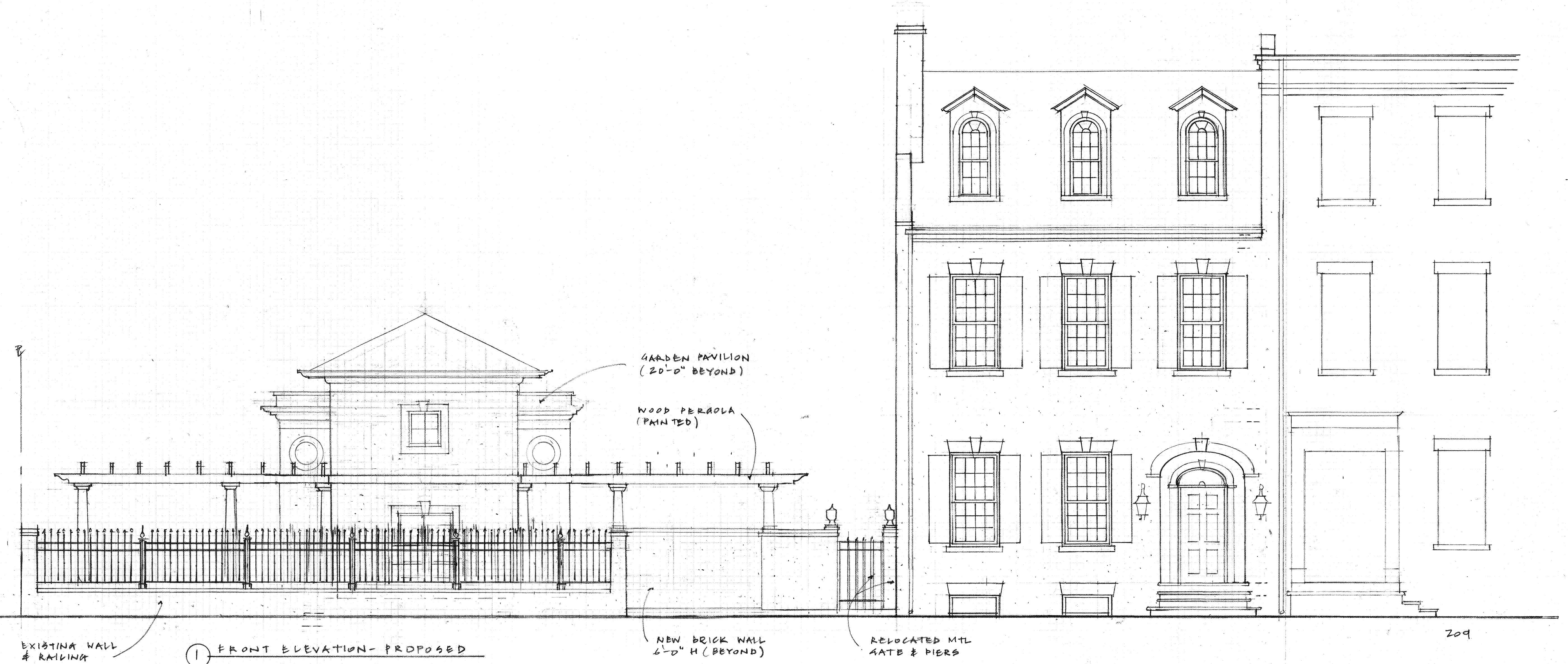
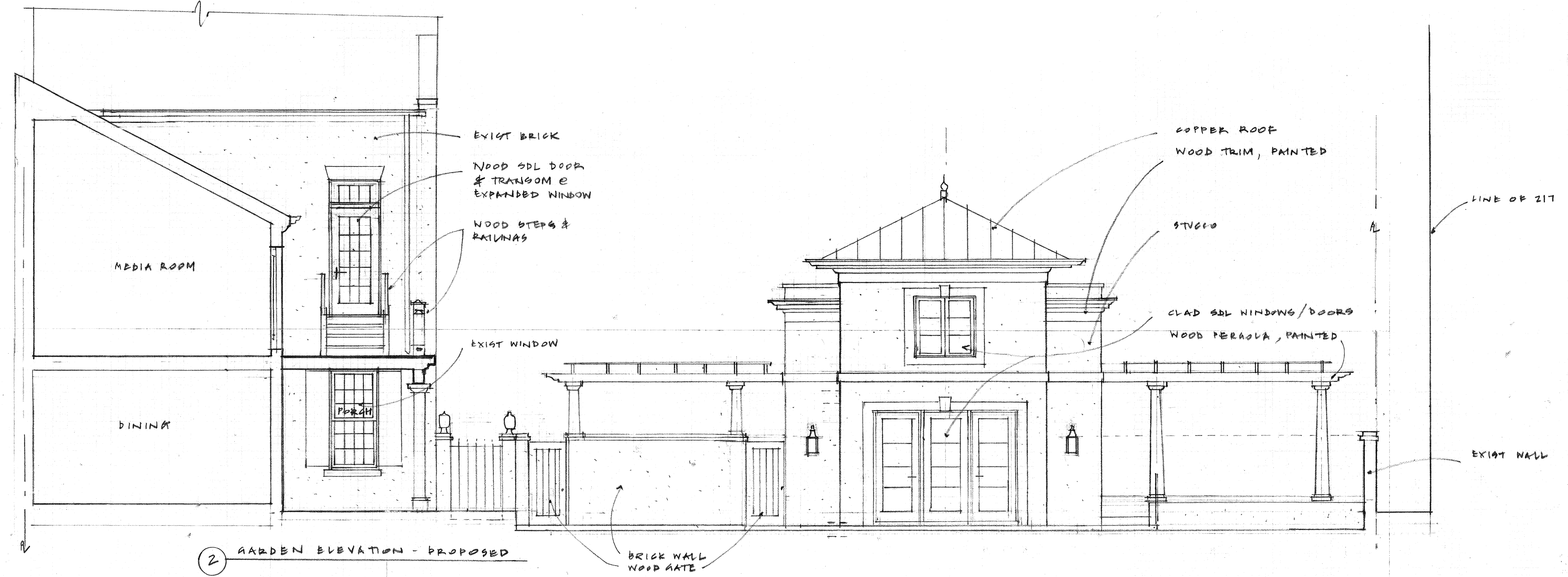
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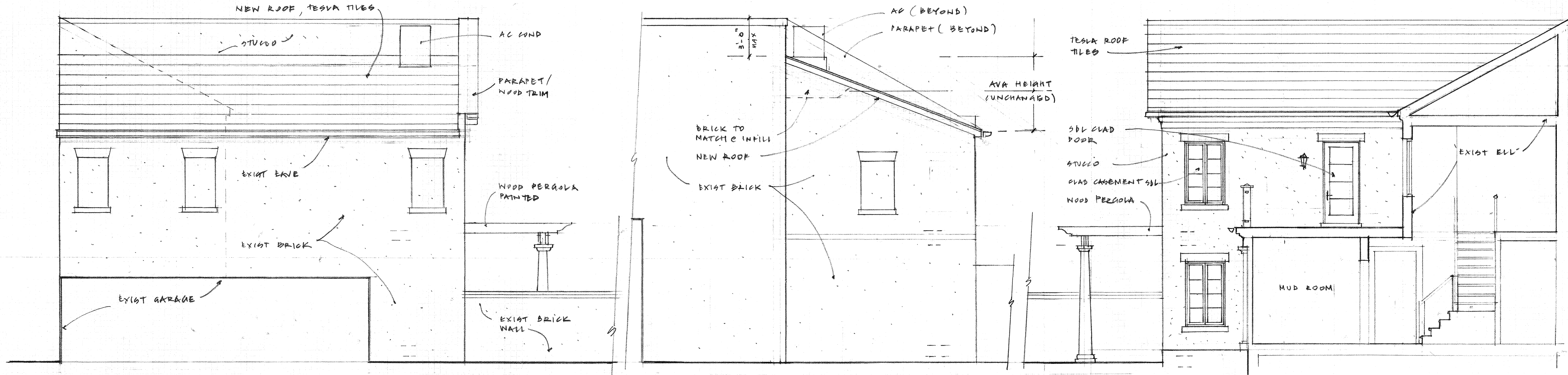
BLOCK ELEVATION, SOUTH SAINT ASAPH ST

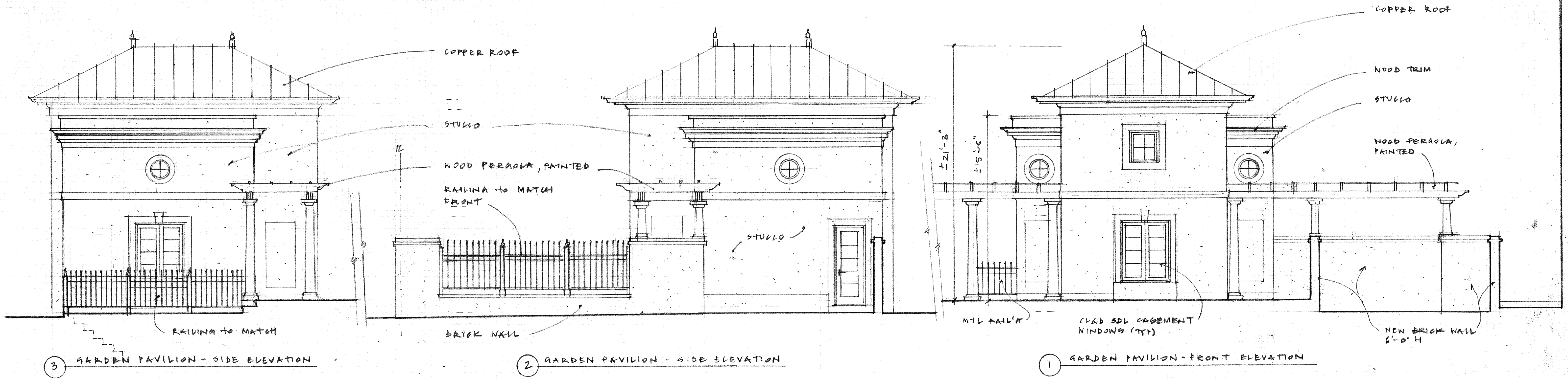


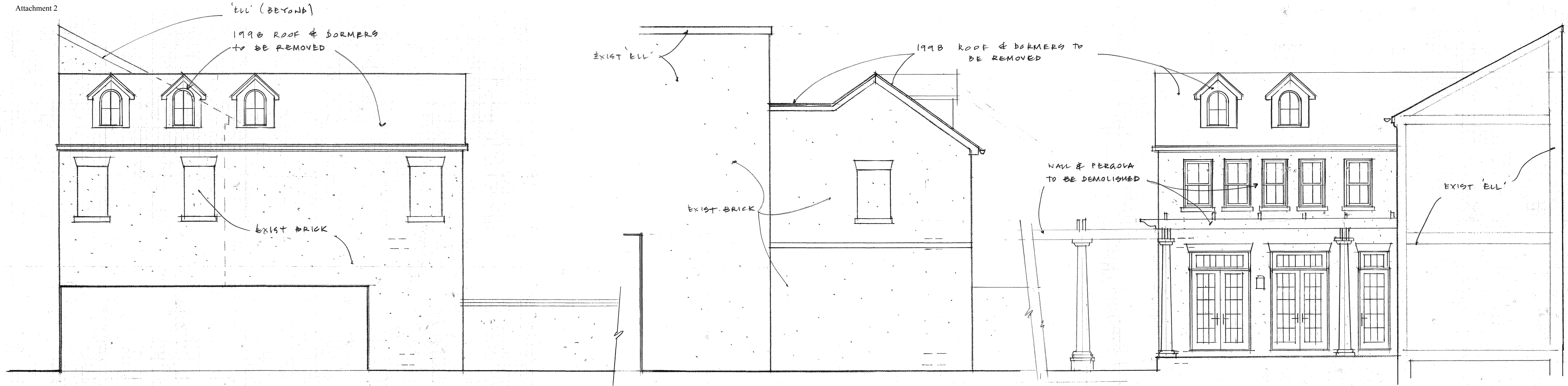
1 FIRST FLOOR PLAN - PROPOSED











4 REAR ELEVATION - EXIST & DEMOLITION

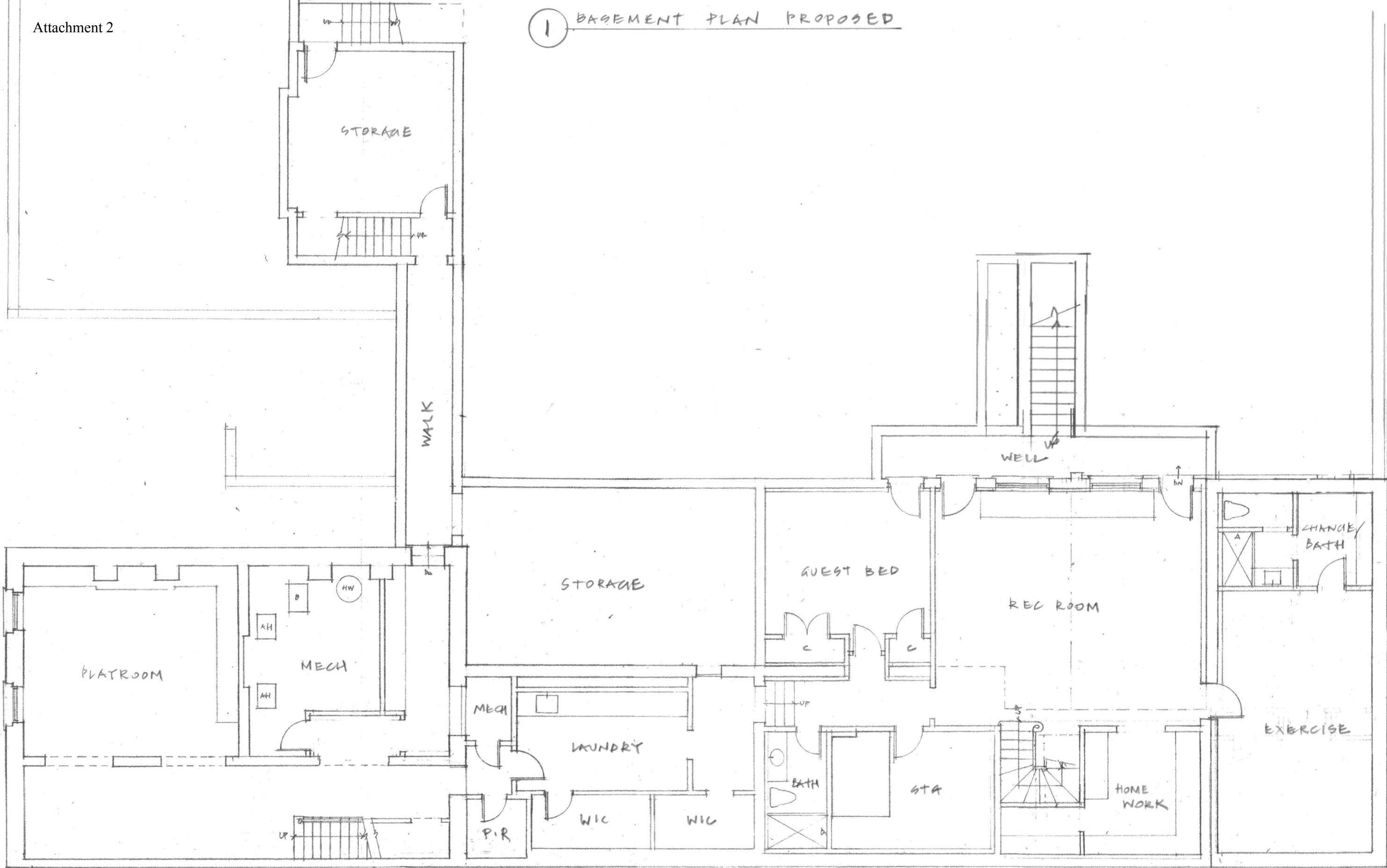
3 ALLEY ELEVATION, EXIST & DEMOLITION

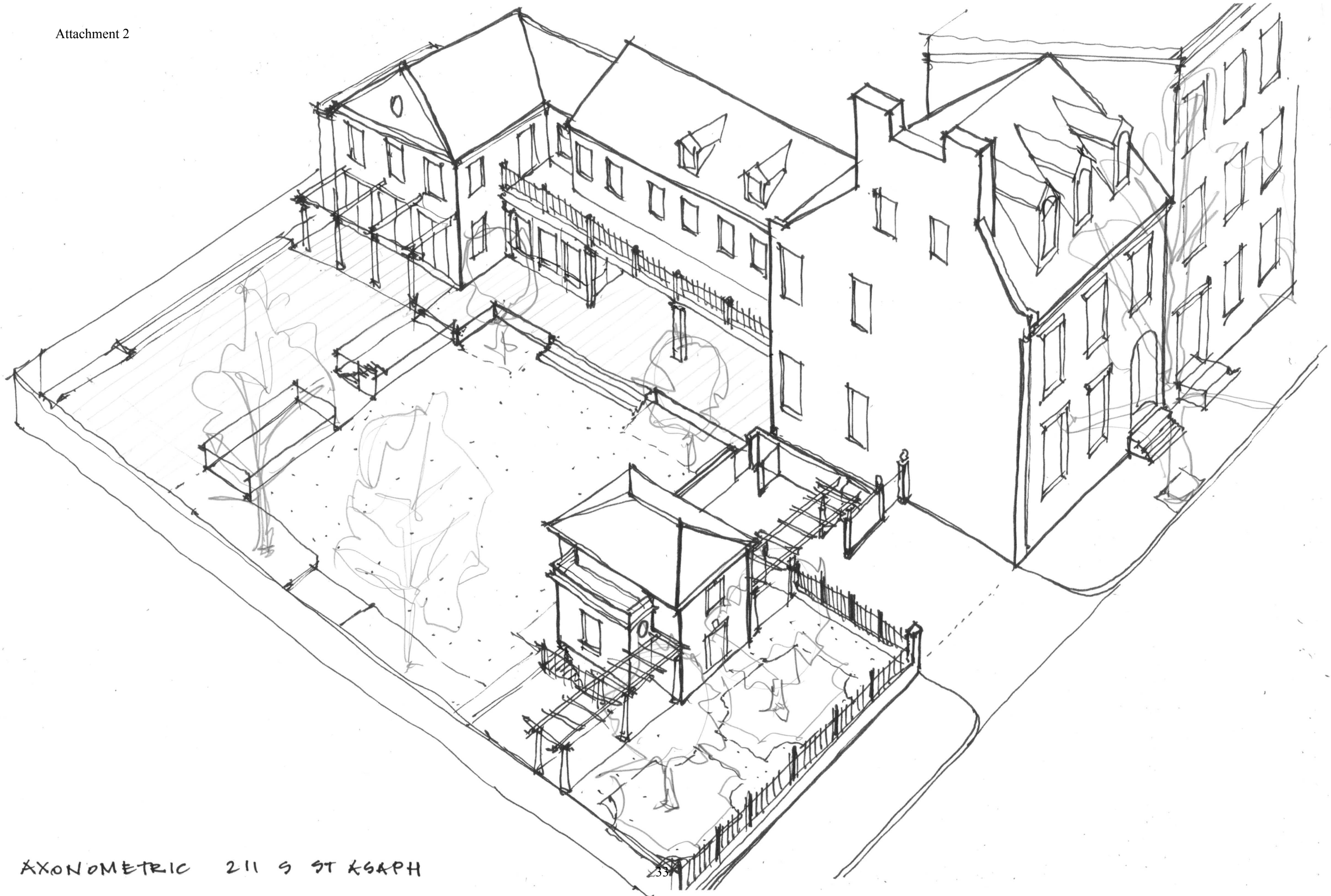
2 1998 ADDITION ELEVATION - EXIST & DEMO



1 SIDE ELEVATION - EXIST & DEMOLITION

1 BASEMENT PLAN PROPOSED





AXONOMETRIC 211 S ST ASAPH