

BAR Meeting
November 1, 2017

ISSUE: Partial Demolition. Alterations and Waiver of Rooftop Screening Requirement

APPLICANT: James Oliff

LOCATION: 808 Duke Street

ZONE: RM/Residential

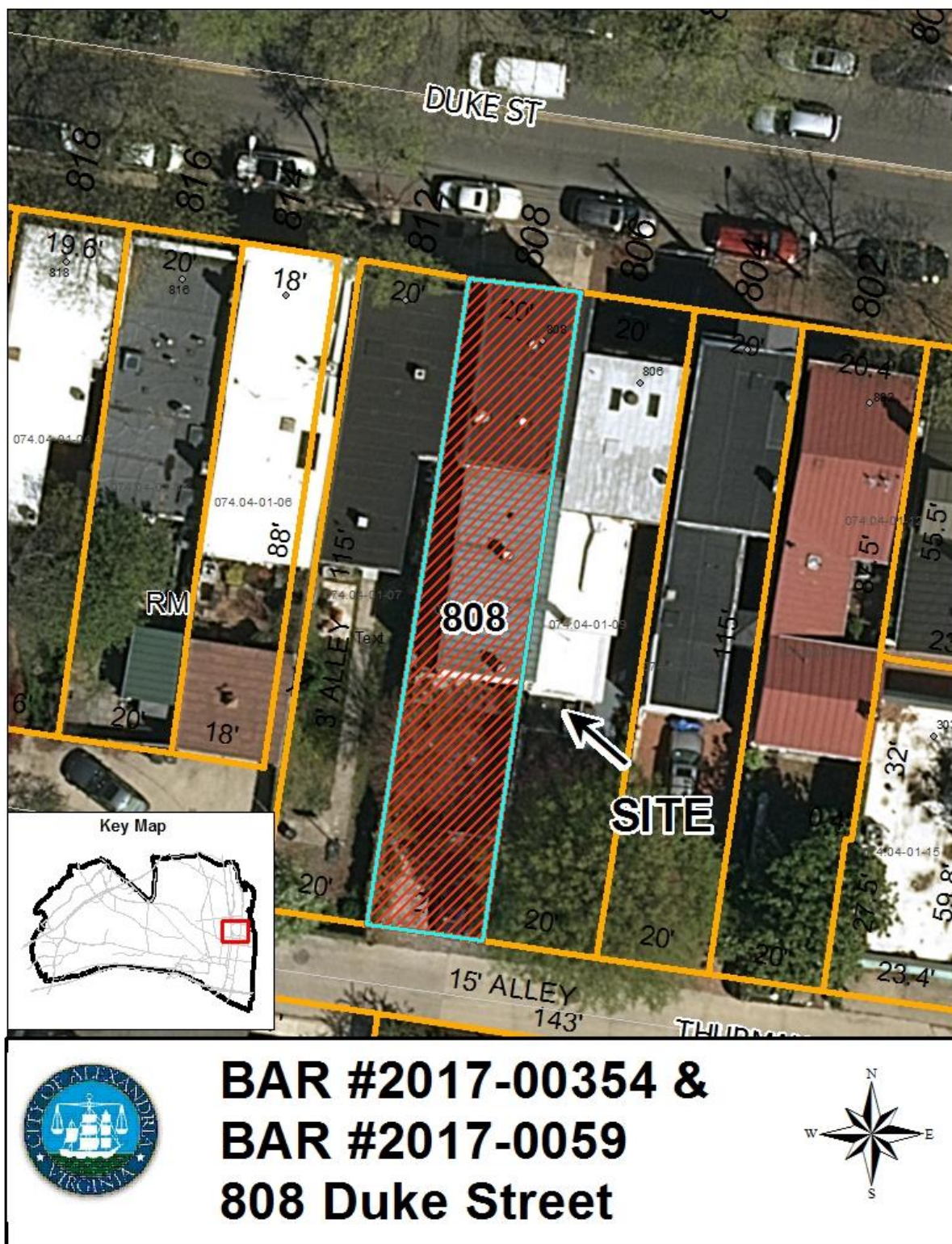
STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish and Certificate of Appropriateness with the conditions that:

1. Coordinate with staff on the condition of any historic siding exposed after the removal of the existing aluminum siding. If historic siding remains and is in good condition and reasonably repairable, it should be retained, repaired and patched where necessary, in accordance with the BAR's adopted policy;
2. Coordinate with staff on the design details of the new door surround to ensure that it is compatible with any exposed paint ghost marks on underlying siding and is stylistically appropriate to the Late Victorian era townhouse;
3. Retain the existing glass transom and decorative trim below and integrate it in the design of the new door surround;
4. Repair and retain the identified historic two-over-two windows;
5. New two-over-two wood replacement windows must have 2" muntins rather than the 1 1/8" muntin proposed by the applicant; and
6. The statements in archaeology conditions below shall appear in the General Notes of all construction documents that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.
 - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



I. ISSUE

The applicant is requesting approval of a Permit to Demolish and a Certificate of Appropriateness for alterations, as well as a Waiver of Rooftop Screening Requirement, as part of a comprehensive rehabilitation of 808 Duke Street.

The demolition associated with the project is limited to two 5.5' by 9' (49.5 square feet) sections of the first floor rear elevation to install two French doors. The applicant also proposes some additional limited demolition on the west elevation of the main block to allow for a new window on the first floor and a paired window on the second floor.

On the exterior, the existing aluminum siding and asphalt "brick" siding under the aluminum siding will be removed and the applicant will work with staff to identify if any historic wood siding exists, which will be retained and repaired if feasible. New wood siding will be added where necessary in consultation with staff.

The following alterations are also proposed:

Front façade

- Replacement of the six-over-six windows on the front façade with two-over-two, double-hung wood windows
- Installation of a new wood door surround
- Replacement of the existing front railing with a new cast iron railing and balusters
- Replacement of the entrance light fixture
- Replacement of the operable (louver) wood shutters

Side elevation

- Enlargement of a second floor window opening for a pair of two-over-two wood windows
- Installation of a new two-over-two window near the front façade on the first floor
- Retention of the original two-over-two windows on the second floor of the rear ell
- Removal of the existing door and small window on the rear ell
- Replacement of the remaining windows with new two-over-two wood windows

Rear elevation

- Retention of one second floor original two-over-two window and replacement of the other window with a new two-over-two window
- Installation of two new wood multi-light French doors with multi-light transoms on the first floor
- Installation of new light fixtures

The proposed replacement wood windows will be manufactured by Lincoln in a two-over-two, simulated-divided-light, double-hung configuration with 1 1/8" putty profile muntins. A new HVAC condenser will also be located on the rear ell roof.

II. HISTORY

According to Ethelyn Cox in her book *Historic Alexandria Virginia Street by Street*, the two-story, three-bay frame townhouse at 808 Duke Street dates to the **mid-nineteenth century**. The flat roof, bracketed cornice and 2/2 windows are signatures of the Italianate Victorian style in Alexandria.

The only recent BAR approval staff could locate was for the administrative approval of a simple metal railing at the front entrance (BAR Case #2011-0322).

The alley behind the subject property is public.

III. ANALYSIS

While the proposed project complies with the Zoning Ordinance, the property is subject to Virginia Residential Code Section R302.1, which applies to all dwellings with and without fire suppression systems. This section states that: “Openings and penetrations of exterior walls of dwellings are not allowed when located less than three feet from the property line.” As such, the new openings shown on the drawings at the north end of the west elevation, at the main block of the dwelling – which are approximately 2’ from the property line – are not permitted to be enlarged or relocated as proposed.

Permit to Demolish/Capsulate

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No

(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No
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Staff has no objection to the demolition of portions of the first floor rear elevation, as this wood frame wall does not have such old or unusual craftsman ship that it couldn't be easily reproduced. In addition, this area of the house has limited visibility from a public way over a privacy fence. Staff recommends approval of the Permit to Demolish as submitted.

Alterations

Staff is pleased that the applicant is proposing to rehabilitate the subject property and installing historically appropriate features, such as wood siding, two-over-two windows and a decorative door surround. Like many properties in the historic district, this Late Victorian era townhouse was likely "colonialized" in 1966, when the BAR approved the installation of "aluminum siding, shutters and small paned windows" in order to give the townhouse an earlier appearance. While some of the alterations now proposed could have been approved administratively, the project is being brought forward in it's entirely to provide design context and to reduce the applicant's fees.

The BAR's Minor Architectural Elements policy requires that siding identified in the field by staff as historic be retained and repaired whenever reasonably feasible. Because the existing aluminum siding and asphalt siding hides the condition of the underlying material, staff, recommends that the Board condition approval of any new wood siding and the details of the future door surround on an evaluation by staff, after the inappropriate asphalt and aluminum siding is removed. Staff believes that there is likely to be historic wood siding on the main block of the house, since a portion of the aluminum siding has been removed on the rear and historic German lap siding was exposed (Figure 1). It is also highly likely that this townhouse had a decorative door surround and its profile may be revealed as a ghost mark on the historic siding. The applicant has provided an example of a typical Late Victorian door surround which may be appropriate at 808 Duke Street. Staff supports the installation of a new decorative surround, provided that the applicant retain the existing transom and decorative trim, which likely date to the original construction, and that the final design details are approved by staff (Figure 2).



Figure 1: Exposed German lap siding on ell



Figure 2: Existing front door and surround

Staff has visited the site on a number of occasions and identified eight historic 2/2 windows with cylinder glass (Figure 3), which staff recommends be repaired and retained, rather than replaced, based on the BAR's window policy. Staff supports replacement of existing windows that are not historic, but recommends that the vertical muntin be the 2" width available from this manufacturer, rather than the 1' 1/8" proposed by the applicant, to be more compatible with the wide muntins on the historic windows. The replacement window materials submitted by the applicant otherwise comply with the BAR's window policy.



Figure 3: West and South elevations with the 8 historic windows identified by staff in the field

As the Board is aware, Section 6-403(B)(3) of the zoning ordinance permits the BARs to consider a waiver of the rooftop mechanical screening requirement:

For buildings located within the Old and Historic Alexandria District or the Parker Gray District, or for buildings outside such districts designated pursuant to section 10-300, the board of architectural review having jurisdiction of the matter may, after public hearing, waive or modify the screening requirement of subsection (B)(1) of this section, if the board finds such requirement to be architecturally inappropriate.

In the opinion of staff, the addition of rooftop screening frequently draws *more* attention to the rooftop feature than the condensing unit alone because the space between the unit and the screen required for air circulation and maintenance makes the screening many times larger than the unit itself. Given the location of the rooftop unit, close to the main block and with limited visibility from the rear alley or neighboring residents, staff has no objection to the waiver of the rooftop screening in this case but recommends that the exterior shell of the unit be painted to match the adjacent wall material.

Staff supports the proposed light fixture, wood shutters, rear French doors and brick front stoop and iron railing. As noted above, these could have been approved administratively but were included to show the extent of the proposed work.

STAFF

Stephanie Sample, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed exterior work complies with zoning. No change to existing building footprint and open space.

C-2 Pursuant to section 6-403, the board of architectural review may review and grant a waiver for the screening requirement of subsection (B)(1).

Code Administration

C-1 Openings and penetrations of exterior walls of dwellings are not allowed when located less than three feet from the property line.

- C-2 A building permit, plan review and inspections are required prior to the start of construction.

Transportation and Environmental Services

- R1. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F1. After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F2. If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C1. The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C2. The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C3. Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C4. All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C5. Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C6. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons,

etc. must be city standard design. (Sec. 5-2-1) (T&ES)

- C7. The owner shall obtain and maintain a policy of general liability insurance in the amount of \$1,000,000 which will indemnify the owner (and all successors in interest); and the City as an Additional Insured, against claims, demands, suits and related costs, including attorneys' fees, arising from any bodily injury or property damage which may occur as a result of the encroachment. (Sec. 5-29 (h)(1)) (T&ES)

Please submit Insurance Certificate:

City of Alexandria

T&ES

Attn: Shanna Austin

301 King Street, Room 4130

Alexandria, VA 22314

Alexandria Archaeology

- *R-1. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- *R-2. The applicant/developer shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.
- R-3. The statements in archaeology conditions above marked with an asterisk "*" shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.
- F-1 According to Ethelyn Cox in her book *Historic Alexandria Virginia Street by Street*, the dwelling at 808 Duke St. dates to the mid-nineteenth century. Moreover, this property is part of an early nineteenth century Free Black neighborhood. Therefore, it has the potential to yield archaeological resources which could provide insight into residential life in nineteenth century Alexandria.

V. ATTACHMENTS

- 1 – Application for BAR 2017-0354 & 0359 413 808 Duke Street*
2 – Supplemental Materials

BAR Case # _____

ADDRESS OF PROJECT: 808 DUKE STREET ALEXANDRIA VA 22314

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☒ Property Owner ☐ Business (Please provide business name & contact person)Name: JAMES OLIFFAddress: 808 DUKE STREETCity: Alexandria State: VA Zip: 22314

Phone: _____ E-mail: _____

Authorized Agent (if applicable): ☐ Attorney ☐ Architect ☒ DesignerName: Lindsay KeiserPhone: 570-262-0670E-mail: lindsay.keiser@gmail.com

Legal Property Owner:

Name: JAMES OLIFFAddress: 808 DUKE STREETCity: Alexandria State: VA Zip: 22314

Phone: _____ E-mail: _____

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☒ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☒ No Is there a homeowner's association for this property?
- ☐ Yes ☒ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

BAR Case # _____

NATURE OF PROPOSED WORK: Please check all that apply

- ☐ NEW CONSTRUCTION
☒ EXTERIOR ALTERATION: Please check all that apply.
- | | | | |
|--------------------------------------|---|---|--|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input checked="" type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☐ ADDITION
☒ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: Please describe the proposed work in detail (Additional pages may be attached).

Remove existing aluminum siding to expose original wood siding. Remove all windows and doors and install new Lincoln Wood Window and doors to match original historic details. Install new wood shutters and exterior trim details. Install new cast iron railing at existing front stoop. Install exterior condenser unit at roof. If roof is not acceptable please note location where it can be placed.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the minimum supporting materials for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.

- ☒ ☒ N/A
☒ Survey plat showing the extent of the proposed demolition/encapsulation.
☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☒ Description of the reason for demolition/encapsulation.
☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

BAR Case # _____

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☒ FAR & Open Space calculation form.
- ☐ ☒ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☒ Existing elevations must be scaled and include dimensions.
- ☐ ☒ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☒ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ Linear feet of building: Front: _____ Secondary front (if corner lot): _____
- ☐ ☒ Square feet of existing signs to remain: _____
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☐ ☒ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

BAR Case # _____

ALL APPLICATIONS: Please read and check that you have read and understand the following items:

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: _____

Date: _____

[Signature]
 Lindsay Keiser
 10/11/17

Member of the Board of the City Council	Relationship as defined by Section 11-301(B) of the Zoning Ordinance	Name of person or entity
_____	_____	_____
_____	_____	_____
_____	_____	_____

NOTE: Businesses or financial relationships of the type described in Sec. 11-301(B) that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearing.

As the applicant or authorized agent, I hereby attest that the data in this application is true and correct.

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. **Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. James Oliff	808 Duke Street	100 %
2.		
3.		

2. **Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.


Name	Address	Percent of Ownership
1. James Oliff	808 Duke Street	100 %
2.		
3.		

3. **Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. James Oliff	808 Duke Street	100 %
2. James Oliff	No	N/A
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

10/11/17 Lindsay Keiser 
 Date Printed Name Signature



A.I.A. SPECIFICATION FOR WOOD DIRECT SET WINDOWS

SECTION 08550 WOOD WINDOWS & CLAD WOOD WINDOWS

PART 1 - GENERAL

1.01 SECTION INCLUDES

- A. Wood direct set windows with accessories and components as indicated on window schedule.

1.02 REFERENCED STANDARDS

- A. ASTM C1036 - Flat Glass
- B. ASTM E283 - Rate of Air Leakage Through Exterior Windows, Curtain Walls and Doors.
- C. ASTM E330 - Structural Performance of Exterior Windows, Curtain Walls and Doors by Uniform Static Air Pressure Performance.
- D. ASTM E547 - Water Penetration of Exterior Windows, Curtain Walls and Doors by Uniform Static Air Pressure Difference.
- E. ASTM E2190-08 - Specification for Sealed Insulated Glass Units.
- F. Federal Specifications- FL L-S-125B - Screening, Insect Non-Metallic.- FS DD-G-451D - Glass, Float or Plate, Sheet.
- G. AAMA/WDMA/CSA 101/I.S.2/A440-11 Standard and Specification for Windows, Doors and Skylights.
- H. ATSM E1886 - Standard Test Method for Performance of Exterior Windows, Curtain Walls, Doors, and Impact Protective Systems Impacted by Missile(s) and Exposed to Cyclic Pressure Differentials
- I. ASTM E1996 - Standard Specification for Performance of Exterior Windows, Curtain Walls, Doors, and Impact Protective Systems Impacted by Windborne Debris in Hurricanes

1.03 QUALITY ASSURANCE

- A. Sealed Durability of Insulating Glass Test per - ASTM E2190-08.
- B. Argon Gas Concentration of Insulating Glass Units Test - ASTM E2649-09.
- C. Harmonized Insulating Glass Testing Standards as designated by IGCC and IGMA.
- D. NFRC Certification Program for Energy Ratings of Fenestration Products.
- E. AAMA Certification Program. AAMA Gold Label.

1.04 SYSTEM DESCRIPTION

- A. Design and Performance Requirements
 - 1. Air, water, structural performance and forced entry resistance testing shall be at levels which meet the specifications as outlined in AAMA/WDMA/CSA 101/I.S.2/A440-11.
 - 2. Impact resistance performance rating shall be Missile Level D, Windzone 3 per ASTM E 1886 and ASTM E 1996.
 - 3. All glass shall be select quality complying with FS DD-G-451 D.
 - 4. Insulating glass shall be manufactured and tested to comply with IGCC and ASTM E2190-08.
- B. Energy Requirements:

- 1. All units tested are single lite residential as listed on the NFRC label adhered to the glass. Values are certified per NFRC Certification Program.

Note: Up to date performance data can be found in the technical data section on our website at <http://www.lincolnwindows.com>

1.05 SUBMITTALS

- A. Submit the following in accordance with Section 01330.
- B. Shop drawings showing rough openings, unit dimensions and fenestration of specialty units as required.
- C. Insulated Glass Warranty: Lincoln Wood Products, Inc. Lifetime Limited Warranty.

1.06 DELIVERY AND STORAGE

- A. Deliver products in manufacturer's original containers, dry, undamaged, seals and labels intact.
- B. Store and protect products from job site damage. Uninstalled products must be protected from exposure to the weather.

1.07 INSULATED GLASS WARRANTY

- A. Lincoln Wood Products, Inc. provides a ten (10) year limited warranty on general product found to be defective by virtue of materials or workmanship. Glass is covered for seal failure causing impaired visibility due to moisture, film or dust between the glass panes for twenty (20) years on insulated glass and ten (10) years on impact-resistant or laminated glass. For complete details, terms, conditions, limitations and exclusions, reference the most current warranty, available at www.lincolnwindows.com.

PART 2 - PRODUCTS

2.01 MANUFACTURER

Refer to drawings for window schedule indicating sizes and configuration of units and type of components, colors, glazing and additional data.

- A. Wood direct set windows as specified in this section and as manufactured by Lincoln Wood Products, Inc., Merrill, Wisconsin.

Application Materials
BAR2017-00354 & 00359
808 Duke
Date Routed: 10.11.2017:



A.I.A. SPECIFICATION FOR WOOD DIRECT SET WINDOWS

SECTION 08550 WOOD WINDOWS & CLAD WOOD WINDOWS

2.02 MATERIALS AND FINISHES

- A. **WOOD:** Kiln-dried selected soft woods and or engineered wood products, treated with water repellent preservative. Frame depth shall be 4-9/16", with jamb extensions available up to 10". Head, sill and side jambs shall be 1" thick.
- B. **GLASS:** 3/4" – 1" IG. 1" Laminated insulated impact resistant IG. Low "E" with Argon. Tempered. Tint: Bronze, Grey, Obscure, Clear. Warm edge tin plated spacer or foam spacer used. Steel spacer used on impact resistant IG. Foam pacer used on all radius units. ***High altitude IG and IG units with glass less than 12" width or height have open breather tube and will not contain argon gas***
- C. **STANDARD WOOD GRILLES:** 5/8", 7/8", 1" Profiled select wood for attachment to interior of sash and designed for removal for glass cleaning.
- D. **FULL SURROUND GRILLES:** 5/8", 7/8", 1", 1-7/8" Profiled select wood for attachment to interior of sash and designed for removal for glass cleaning
- E. **INTERNAL MUNTINS:** Profiled 1 1/16" and 1" aluminum grilles permanently sealed between two panes of insulating glass. Color to match exterior cladding unless otherwise scheduled.
- F. **TRUE DIVIDED LITES:** 1-1/4" wide pine muntin bars to the exterior with applied pine stops on the interior
- G. **SIMULATED DIVIDED LITES:** SDL glass is 3/4" or 1" insulated. Available in 2", 4-1/8" and 7/8" bar widths. Lite division is accomplished with the application of interlocking primed aluminum grids on the exterior and interlocking wood grids on the interior, both secured to the glass lite with an adhesive glazing tape. Glass may be with or without internal grid, as designated by customer.
- H. **INTERIOR EXTENSION JAMBS:** Kiln-dried selected softwood, for transparent interior finish.

2.03 FABRICATION

- A. Fabricate frame for hairline fit, water and airtight.
- B. Set insulating glass in silicone bedding compound, exterior and interior glazed with clear pine wood stops.

PART 3 - EXECUTION

3.01 INSPECTION

- A. Verify rough openings are correctly sized and located.
- B. Beginning of installation means acceptance of existing conditions.

3.02 PREPARATION

- A. Prepare opening to permit correct installation of window unit and air and vapor barrier seal.

3.03 INSTALLATION

- A. Install windows in accordance with manufacturer's instructions.
- B. Align windows plumb and level, free of warp or twist. Maintain dimensional tolerances, aligning with adjacent work. Secure assembly to frame openings without distortion or stress.
- C. Ensure air and vapor barrier is sealed to window frame. Coordinate placement of insulation in shim spaces around unit perimeter.
- D. Install sealant and related backing materials at exterior and interior of installed assembly.

3.04 CLEANING

- A. Clean exterior and interior surfaces of window frames and glass after installation. Do not damage interior or exterior finishes.
- B. Remove labels and visible markings. Comply with manufacturer's recommendations for cleaning glass.
- C. Remove and replace glass that is broken, chipped, cracked, abraded or damaged at no expense to owner.

END OF SECTION



A.I.A. SPECIFICATION FOR WOOD IN-SWING PATIO DOORS

SECTION 08210 WOOD DOORS AND CLAD WOOD DOORS

PART 1 - GENERAL

1.01 SECTION INCLUDES

- A. Wood in-swing patio doors with accessories and components as indicated on door schedule.

1.02 REFERENCED STANDARDS

- A. ASTM C1036 - Flat Glass
- B. ASTM E283 - Rate of Air Leakage Through Exterior Windows, Curtain Walls and Doors.
- C. ASTM E330 - Structural Performance of Exterior Windows, Curtain Walls and Doors by Uniform Static Air Pressure Performance.
- D. ASTM E547 - Water Penetration of Exterior Windows, Curtain Walls and Doors by Uniform Static Air Pressure Difference.
- E. ASTM E2190-08 - Specification for Sealed Insulated Glass Units.
- F. Federal Specifications- FL L-S-125B - Screening, Insect Non-Metallic.- FS DD-G-451D - Glass, Float or Plate, Sheet.
- G. AAMA/WDMA/CSA 1011.S.2/A440-11 Standard and Specification for Windows, Doors and Unit Skylights.

1.03 QUALITY ASSURANCE

- A. Sealed Durability of Insulating Glass Test - ASTM E2190-08.
- B. Argon Gas Concentration of Insulating Glass Units Test - ASTM E2849-09.
- C. Harmonized Insulating Glass Testing Standards as designated by IGCC and IGMA.
- D. NFRC Certification Program for Energy Ratings of Fenestration Products.
- E. AAMA Certification Program. AAMA Gold Label.

1.04 SYSTEM DESCRIPTION

- A. Design and Performance Requirements:
 - 1. Air, water, structural performance and forced entry resistance testing shall be at levels which meet the specifications as outlined in AAMA/WDMA/CSA 1011.S.2/A440-11.
 - 2. All glass shall be select quality complying with FS DD-G-451 D.
 - 3. Insulating glass shall be manufactured and tested to comply with IGCC and ASTM E2190-08.
- B. Energy Requirements:
 - 1. All units tested are single lite residential as listed on the NFRC label adhered to the glass. Values are certified per NFRC Certification Program.
- C. Emergency Escape & Rescue
 - 1. Larger width & height units with standard hardware, as designated, shall comply with the International Residential Code (minimum clear opening of 5.7 sq.ft. or 5 sq. ft. for grade floor).

Note: Up to date performance data can be found in the technical data section on our website at <http://www.lincolnwindows.com>

1.05 SUBMITTALS

- A. Submit the following in accordance with Section 01330.
- B. Shop drawings showing rough openings, unit dimensions and fenestration of specialty units as required.
- C. Insulated Glass Warranty: Lincoln Wood Products, Inc. Lifetime Limited Warranty.

1.06 DELIVERY AND STORAGE

- A. Deliver products in manufacturer's original containers, dry, undamaged, seals and labels intact.
- B. Store and protect products from job site damage. Uninstalled products must be protected from exposure to the weather.

1.07 INSULATED GLASS WARRANTY

- A. Lincoln Wood Products, Inc. provides a ten (10) year limited warranty on general product found to be defective by virtue of materials or workmanship. Glass is covered for seal failure causing impaired visibility due to moisture, film or dust between the glass panes for twenty (20) years on insulated glass and ten (10) years on impact-resistant or laminated glass. For complete details, terms, conditions, limitations and exclusions, reference the most current warranty, available at www.lincolnwindows.com.

PART 2 - PRODUCTS

2.01 MANUFACTURER

Refer to drawings for door schedule indicating sizes and configuration of units and type of components, colors, glazing and additional data.

- A. Wood in-swing patio doors as specified in this section and as manufactured by Lincoln Wood Products, Inc., Merrill, Wisconsin.

2.02 MATERIALS AND FINISHES

- A. **WOOD:** Kiln-dried selected soft woods and or engineered wood products, treated with water repellent preservative. Frame depth shall be 4-9/16", with exterior jamb extensions available up to 6-9/16" and inside jamb extensions available up to 10". Head and side jambs shall be 1-3/16" thick. Panel thickness shall be 1-3/4". Sash stiles are constructed of core block centers covered with sliced veneer and clear edge strips, lock stiles are laminated centers. The 4-7/8" sash rails are solid pine. The 7-1/4" and 12" rails have core block or timberstrand cores, with sliced veneer faces and clear edge strips.

BEDROOM SALE

GARAGE & ENTRYWAY SALE

HOME OFFICE SALE

LIVING ROOM & LOUNGE SALE

Hayneedle

Lighting

Outdoor Lighting

Outdoor Wall Lights

Item # ACCL510



Acclaim Lighting Manchester 1 Light
Outdoor Wall Mount Light Fixture
by Acclaim Lighting Inc

\$190.00

\$147⁵⁷

22% OFF

WRITE THE FIRST REVIEW

1 Question Answered

Finish

Copper

- 1 +

Print



FREE Shipping arrives by Oct 02
Upgrade to get it sooner

Earn \$4.43 in My Rewards

Full Screen



Product Overview

- Dimensions: 6W x 6D x 13.25H in.
- Clear glass panels
- Industrial design
- Made from copper or bronze
- Your choice of finish
- Requires one 60-watt bulb (not included)

MORE PRODUCT INFO

Specifications

Dimensions
6W x 6D x 13.25H in.

Weight
7 lbs.

Material
Solid Copper
Solid Brass

MORE SPECS

Delivery

FedEx Ground - FREE
Oct 2 (Monday)

MORE DELIVERY INFO

Attachment 2

Similar Outdoor Wall Lights

[SHOP ALL OUTDOOR WALL LIGHTS](#)



Product Information



Overview

- Dimensions: 6W x 6D x 13.25H in.
- Clear glass panels
- Industrial design
- Made from copper or bronze
- Your choice of finish
- Requires one 60-watt bulb (not included)

What's Included

- Lighting fixture

What's Not Included

- Light bulb(s)

Description

Make the Acclaim Lighting Manchester 1 Light Outdoor Wall Mount Light Fixture a good match to your architectural design by choosing from available finishes. Its squared lantern design is enhanced by clear glass panels. This outdoor wall-mounted fixture requires one 100-watt bulb (not included).

Thoughts on our product description? [Leave feedback.](#)

Technical Details



Wood Louver Shutter Specification Sheet



Material: Pine, Cedar, Redwood, Cypress, or Mahogany

- 1" thick

Available Finishes:

- Unfinished
- Factory Primed
- 9 Standard Factory Paint Colors
- (Factory Painted Custom Color Matching!) *MATCH EXISTING*



Black

White



Ebony
Green



Pine
Green



Colonial
Blue



Chocolate
Chip



Brick
Red



Brandy-
wine



Dove
Gray

Warranty:

- 1 Year Manufacturer's Warranty
- Covers defects in structure and factory finish

Features:

- Historically & Architecturally Correct
- Custom Designed & Assembled By Hand
- Closed or Open Louver Options
- Made In America

Dimensions: (CALL FOR CUSTOM DIMENSIONS 866-760-2846)

- 3" Top Rail
- 2" Side Stiles
- 3" Center Rails (if applicable)
- Bottom Rail Varies (Usually about 3")
- 1-3/8" Louver Height
- 1" Overall Depth
- 18" Louver Angle



Made in USA



Ships to Canada

Bluestone Specifications

ASTM C 616: CLASSIFICATION OF SANDSTONE—TYPE II QUARTZITE SANDSTONE

Composition

Silicon Dioxide 72.8 percent Iron Oxide (Ferrous) 2.50 percent

Aluminum Oxide 12.2 percent Magnesium Oxide 1.20 percent

Iron Oxide (Ferric) 1.92 percent Sodium Oxide .85 percent

Calcium Oxide (Lime) .70 percent Titanium Oxide 1.16 percent

Acid Resistance: N/A

Edge Detail: Sawn, Thermal, Rock Face, Bullnose, Honed

Texture: Thermal, Natural Cleft, Honed

Thickness Range: 3/8" to 30" thick

Lippage/Warpage: Quality Controlled

Flaking: Quality Controlled

Sealer Recommendation: N/A

Percentage Breakage: Quality Controlled

Approximate Crate Size: 42" x 48" pallet, 3,500 lbs.

Recommended Areas of Usage: Interior, Exterior

Peculiar Characteristics: Only quarried in Northeast Pennsylvania and Southern New York

ASTM QUALIFICATIONS OF SANDSTONE

ASTM C-97: ABSORPTION & BULK SPECIFIC GRAVITY

SAMPLE ID ABSORPTION SPECIFIC GRAVITY

#1 1.09% 2.810 (162.86 pcf)

#2 1.04% 2.607 (162.68 pcf)

#3 1.11% 2.608 (162.74 pcf)

Average 1.08% 2.608 (162.74 pcf)

ASTM C-99: MODULUS OF RUPTURE

SAMPLE ID PARALLEL TO BED PERPENDICULAR TO BED

#1 2093 psi 2901 psi

#2 2268 psi 2842 psi

#3 2188 psi 2755 psi

#4 2209 psi 2951 psi

#5 2213 psi 2832 psi

Average 2194 psi 2856 psi

ASTM C-170: COMPRESSIVE STRENGTH DRY CONDITION

SAMPLE ID PARALLEL TO BED PERPENDICULAR TO BED

#1 14235 psi 18523 psi

#2 13960 psi 18910 psi

#3 14891 psi 18546 psi

#4 15124 psi 17953 psi

#5 14200 psi 17997 psi

Average 14482 psi 18386 psi

ASTM C-170: COMPRESSIVE STRENGTH WET CONDITION

SAMPLE ID PARALLEL TO BED PERPENDICULAR TO BED

#1 13120 psi 17424 psi

#2 12900 psi 17019 psi

#3 13006 psi 16841 psi

#4 12854 psi 16420 psi

#5 12910 psi 17283 psi

Average 12958 psi 16988 psi

ASTM C-241 ABRASION RESISTANCE TO FOOT TRAFFIC

SAMPLE ID THERMAL FACE NATURAL CLEFT

#1 26.8 9.2

#2 27.4 8.8

#3 26.9 8.6

Average 27.0 8.9



PA Blue Stone-Rear Patio



Details

This is a lovely set of very old iron posts salvaged from a Brownstone in New York. This set is missing the top finials. These can be bought separately as it appears there are more of them out there than there are of these! The hole at top for the finial is 1".

The decorative tops to these are not identical. One is slightly bigger round and has a different detail than the other.

Both have the same dimensions: 48" tall, 7" wide at base. One post has a 5/16" drilled and threaded hole in the center of the "flower" pattern, the other has a hole approximately 3/8" in the same place. These make a statement! They are beautiful and in excellent overall condition. A little black glossy paint will "touch up" the scuffs that both have and then they're ready for their next 200 years of living!'

OLIFF REMODEL

808 DUKE STREET, ALEXANDRIA VA 22314



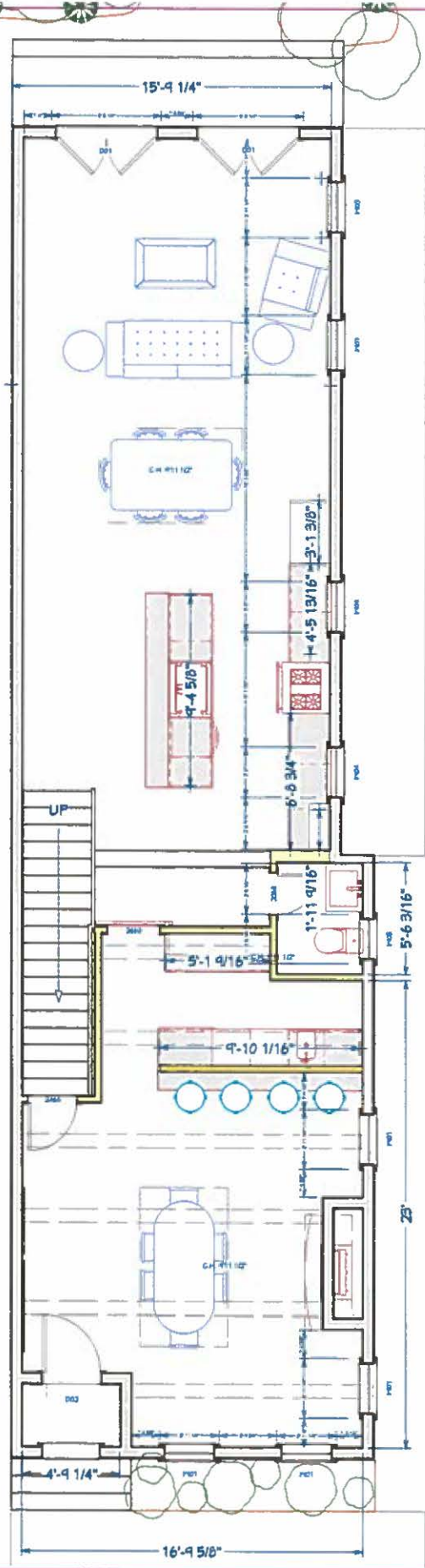
Project Summary
Owner's Names: James Oliff
Property Address: 808 Duke Street, Alexandria VA 22314
Project Description: Whole House Remodel

Project Index
C-1.0-Project Info, Index of Drawings, Notes and Specifications
A-1.0-Proposed Plans
A-2.0-Existing and Proposed Elevations
A-3.0-Existing and Proposed Elevations
A-4.0-Front Door Detail
A-5.0-Existing Photos

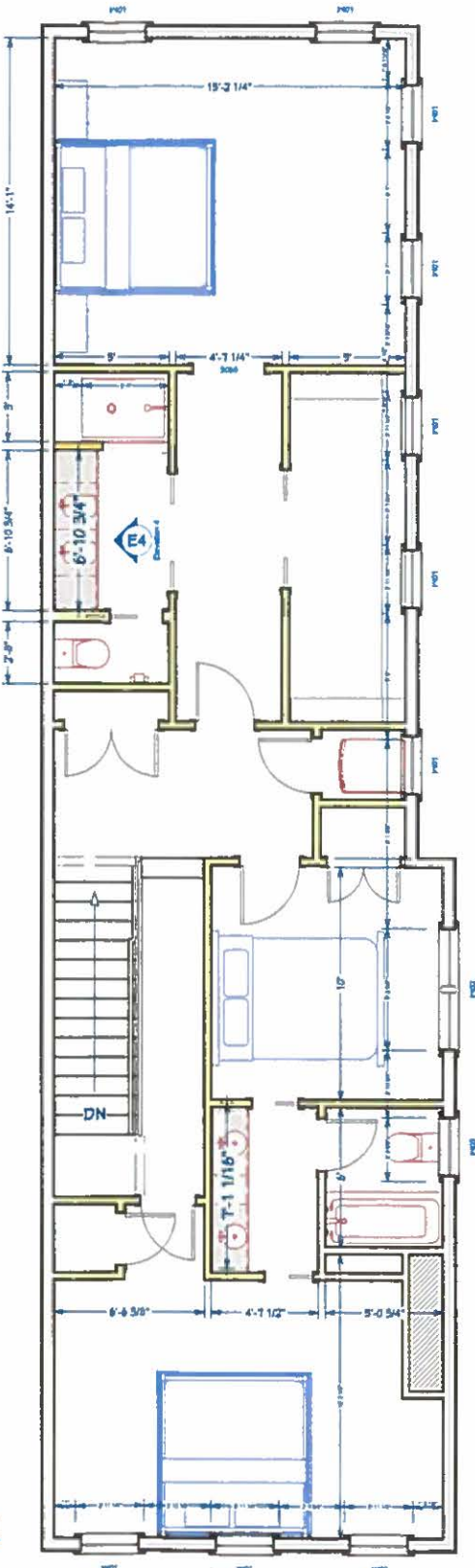
FOUNDATION NOTES:
SLOPE CRAWL SPACE TO DRAIN. MAXIMUM SLOPE IS 2 HORIZ, 1 VERT. BETWEEN FOOTINGS AT DIFFERENT ELEVATIONS.
ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FOOTINGS A REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINISH GRADES.
CONCRETE STRENGTH, 3,000 PSI AT 28 DAYS FOR ALL SLABS. (FOUNDATION DESIGN BASED ON 2,500 PSI). 3,000 PSI AT 28 DAYS FOR ALL OTHER CONDITION. MAXIMUM SLUMP, 4"
USE ASTM A-615 GRADE 60 DEFORMED REINFORCING BARS UNLESS NOTED OTHERWISE
CONCRETE EXPASION ANCHORS SHALL BE 'SIMPSON WEDGE-ALL STUD ANCHORS' OR ENGINEER APPROVED EQUAL. EPOXY TO BE SIMPSON "SET" ADHESIVE OR APPROVED EQUAL.
INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.
• JOINTS AROUND WINDOW AND DOOR FRAMES
• JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
• JOINTS BETWEEN WALL AND FOUNDATION
• JOINTS BETWEEN WALL AND ROOF
• JOINTS BETWEEN WALL PANELS
• UTILITY PENETRATIONS THROUGH EXTERIOR WALLS
CARPENTRY:
SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG- TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HU OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TABLE R602.3(1).
PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.
ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE BLOCKED, TONGUE-AND- GROOVE, OR HAVE EDGES SUPPORTED BY PLYCLIPS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. NAILING NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS TO CONFORM WITH IRC TABLE R602.3(1).
GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, AITC 117. EACH MEMBER SHALL BEAR AN AITC OR APA-EWS IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD. GLULAM HANGERS NOT SHOWN SHALL BE SIMPSON EG. BEAMS SHALL BE VISUALLY GRADED WESTERN SPECIES INDUSTRIAL GRADE, AND OF THE STRENGTH INDICATED BELOW:
CARPENTRY: CONT
COMBINATION
DEPTH SYMBOL SPECIES USE
ALL 24F - V4 DF/DF (SIMPLE SPAN)
ALL 24F - V8 DF/DF (CONT. OR CANTILEVER)
PREMANUFACTURED WOOD JOISTS: PREMANUFACTURED WOOD JOISTS SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUS JOIST COMPANY. OR AN ENGINEER APPROVED EQUAL. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. JOISTS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. THE JOIST MANUFACTURER SHALL VISIT JOB SITE AS REQUIRED AND VERIFY THE PROPER INSTALLATION OF JOISTS IN WRITING TO THE ARCHITECT/ENGINEER. PREMANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ICBO APPROVED.
LUMBER SPECIES:
A. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2
B. EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER
C. SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2.
D. ALL STUDS TO BE DF#2 OR BETTER.
E. PLYWOOD SHEATHING SHALL BE AS FOLLOWS: ROOF SHEATHING SHALL BE 1/2" CDX INT-APA RATED 32/16. WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR 7/16" OSB.
FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB.
F. '1' JOISTS SHALL BE MANUFACTURED BY TRUS JOIST OR ENGINEER APPROVED EQUAL
G. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED

Application Materials
BAR2017-00354 & 00359
808 Duke
Date Routed: 10.11.2017:

Proposed 1st Floor Plan
Scale 1/8"=1'0"



Proposed 2nd Floor Plan
Scale 1/8"=1'0"



Proposed Roof Plan
Scale 1/8"=1'0"





Existing Front Elevation
Scale 1/8"=1'0"



Proposed Front Elevation
Scale 1/8"=1'0"



Existing Rear Elevation
Scale 1/8"=1'0"



Proposed Rear Elevation
Scale 1/8"=1'0"



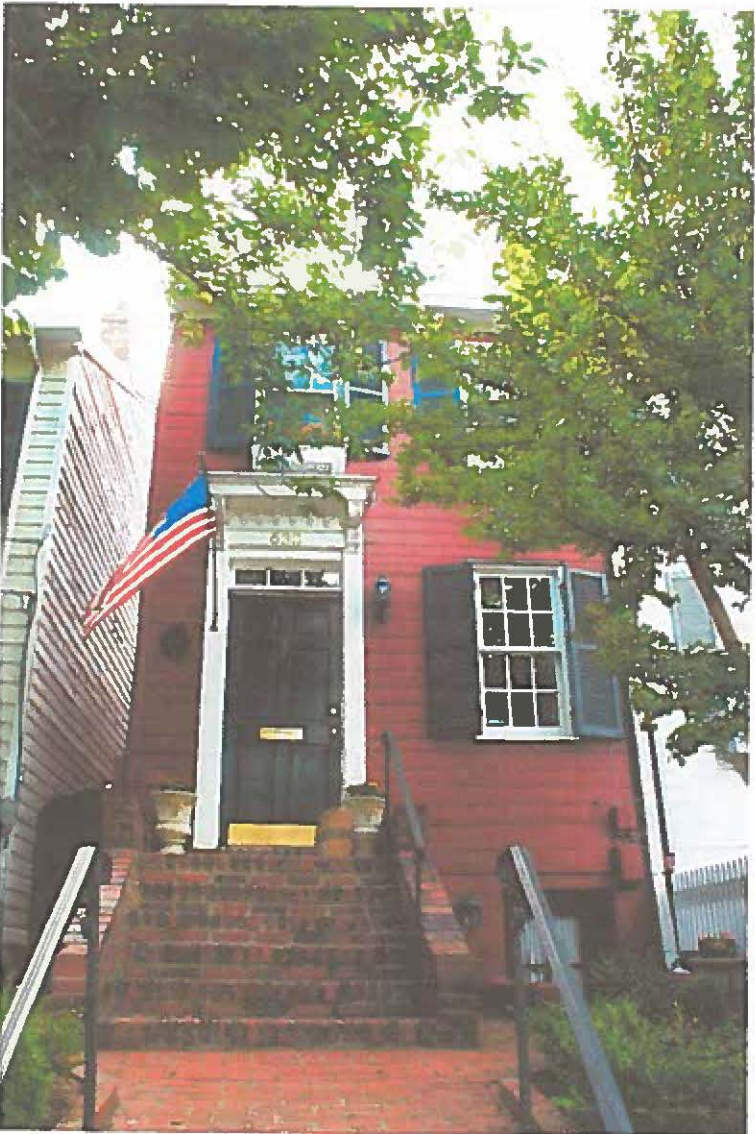
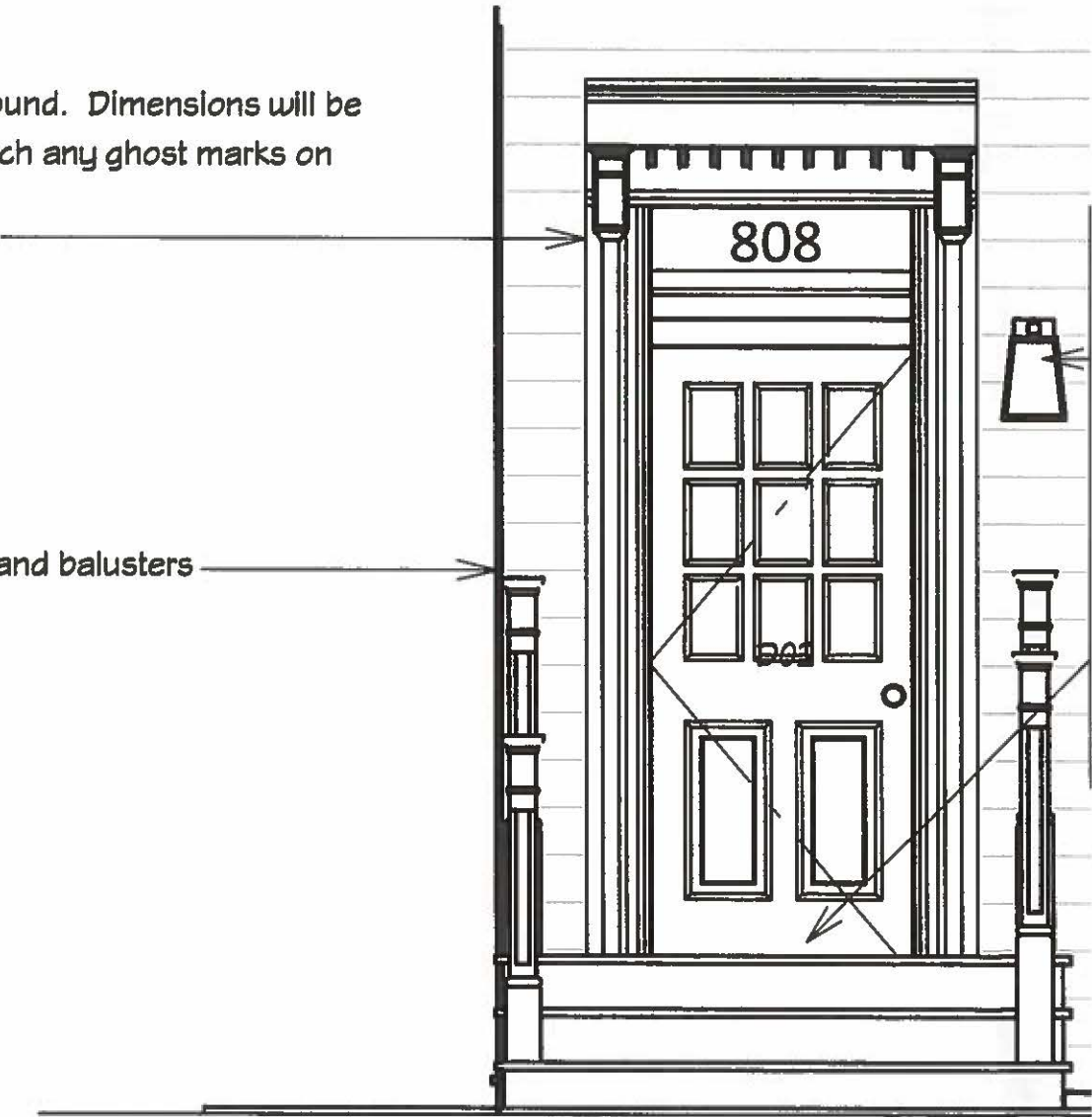
Existing Side Elevation
Scale 1/8"=1'0"



Proposed Side Elevation
Scale 1/8"=1'0"

Install new wood surround. Dimensions will be modified onsite to match any ghost marks on existing wood siding

New cast iron railing and balusters





Existing Photos
Not to Scale



BAR REVIEW

OLIFF REMODEL
808 DUKE STREET, ALEXANDRIA VIRGINIA 22314