

Docket Item # 3
BAR CASE # 2017-00387

BAR Meeting
November 1, 2017

ISSUE: Certificate of Appropriateness (Front yard fence)

APPLICANT: Cecily Crandall

LOCATION: 815 Green Street

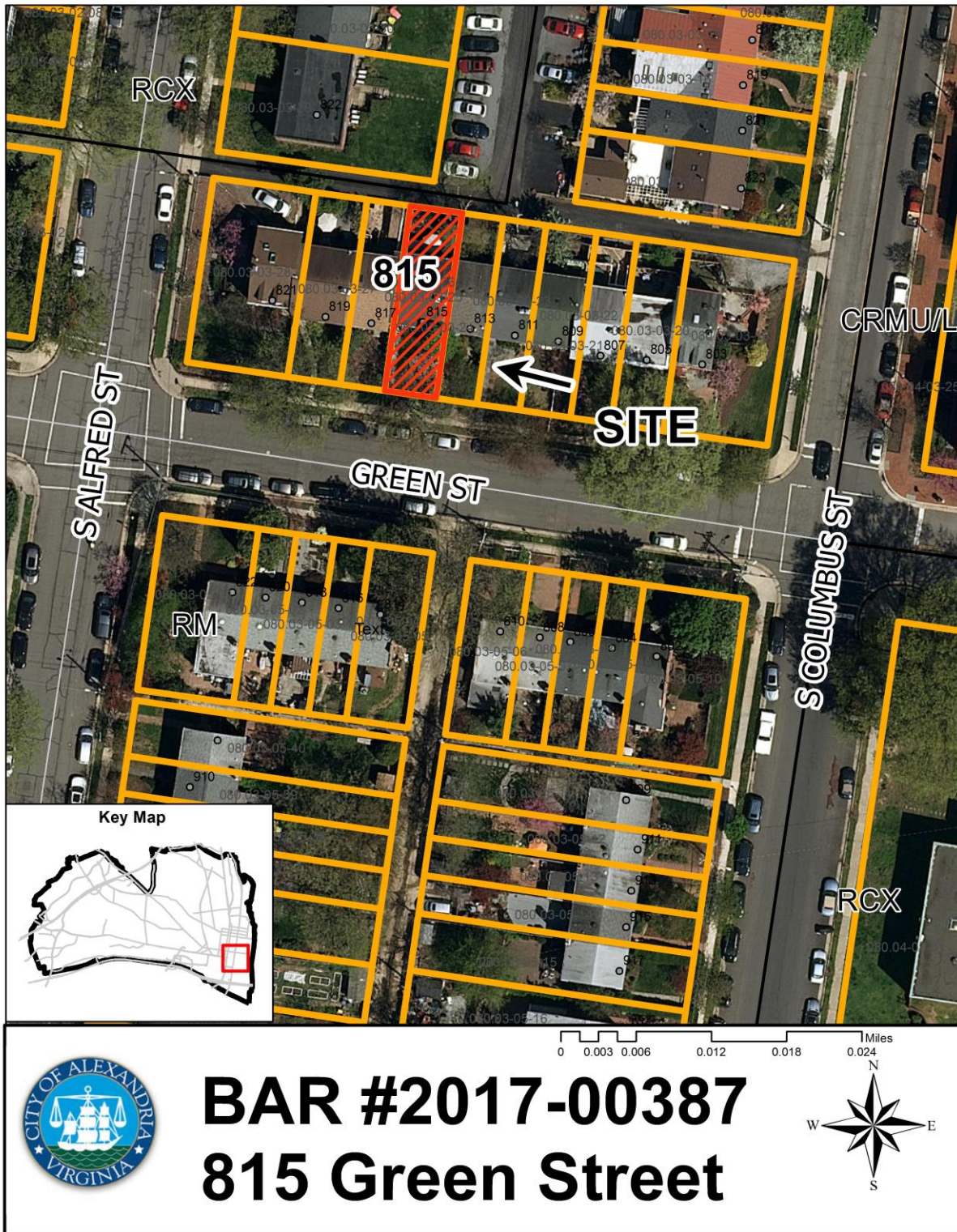
ZONE: RM / Residential

STAFF RECOMMENDATION

Staff recommends approval of the Certificate of Appropriateness, as submitted.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



I. ISSUE

The applicant is seeking a Certificate of Appropriateness to install a fence on the south elevation (front yard) of 815 Green Street. Although the fence is perpendicular to the street and separates two properties, it is in front of the building and is considered a front yard fence. The Board of Architectural Review's Minor Architectural Elements policy does not authorize staff to administratively fences in the front yard in the Old and Historic Alexandria District, so the construction of the fence at 815 Green Street has to go before the Board for approval.

The fence will be located between the 815 and 813 property line. The fence will be approximately twenty-eight feet (27.9') long. The fence will start at the front of the house and will end at the front property line, which is four feet (4'-0") from the back of the sidewalk. The fence will be constructed of two-by-two inch (2" x 2") square Red Cedar pickets each with pyramidal top pickets. The fence will be at forty-two inches (42") in height with four-by-four (4"x 4") treated posts and two (2) two-by-four (2" x 4") cedar rails per section. The fence will be painted antique white to match the trim of the house. There is a slight incline from the sidewalk to the house at 815 Green Street similar to other properties on the block (819, 814, 806, and 804) with fences and other properties in Old Town. The recommendation of the fence company is to install the fence parallel with the terrain in a straight line.

No trees or shrubbery will be removed to install fence. The proposed fence will be worked into current landscape.

II. HISTORY

Green Street presently consists of a largely unaltered row of similar brick townhouses. 815 Green Street is a mid-block, two-story brick townhouse that shares party walls with 817 and 813 Green. The townhouse at 815 Green Street was constructed between **1941 and 1958** according to Sanborn Fire Insurance Map research. Many townhomes in the surrounding blocks were built in 1945, immediately after World War II, as part of the Hunting Creek Homes Subdivision (815 Green Street is part of the Hunting Creek Homes Subdivision).

III. ANALYSIS

Important visual features of the historic districts include fences that define property lines. Fences serve as a distinctive feature of the streetscape and individual yards. Fences also provide a sense of privacy and enclosure for property owners. Fences are often partially transparent and, in the historic districts, are made of a number of traditional materials including wood, masonry and brick.

The BAR's *Design Guidelines* state the following about fences:

1. Fences should be appropriate in materials, design, and scale to the period and character of the structure they surround.
 - a. Wood is a traditional material for fences. Wood fences generally have vertical pickets.
2. Wood fences must be painted or stained.

Several properties in the 800 block of Green Street currently have front yard fences and gates. Some are made of brick and include: 802, 804, 806, 810, 814, 816, 821, 819, and 803 which has a

wooden railing to the sidewalk that looks like a fence. Staff notes that many of the fences in this area extend beyond the property line to the back of the public sidewalk. Fences may not be constructed in the public right-of-way without an encroachment ordinance approved by City Council but there is no record of approval for the majority of these fences.

Staff has no objection to the proposed fence as the fence is within the subject property, meets the Design Guidelines and is a historically appropriate design and material. This type of installation would match other fenced properties on the 800 block of Green Street and in similar areas of Old Town. Therefore, staff recommends approval of the application, finding the design of the fence to be historically appropriate for the age of the property and the surrounding area.

STAFF

Jennifer Rowan, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed fence installation complies with zoning.

Code Administration

No comments received. (no building permit is required for fences.)

Transportation and Environmental Services

- R1. The building permit must be approved and issued prior to the issuance of any permit for demolition, if such permits are required. (T&ES)
- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F1. After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- C1. The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

- C2. The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C3. Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C4. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

This lot appears to have remained largely vacant throughout the nineteenth century and into the mid-twentieth century. There is low potential for significant archaeological resources to be disturbed by this project. No archaeological action is required.

V. ATTACHMENTS

- 1 – Application for BAR 2017-0387: 815 Green Street*
- 2 – Supplemental Materials*

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ADDRESS OF PROJECT: 815 GREEN ST.TAX MAP AND PARCEL: 080.03

ZONING: _____

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☒ Property Owner ☐ Business (Please provide business name & contact person)Name: CELILY CRANDALLAddress: 815 GREEN ST.City: ALEXANDRIA State: VA Zip: 22314Phone: 703.59.5696 E-mail: cccrav@verizon.netAuthorized Agent (if applicable): ☒ Attorney ☐ Architect ☐ _____Name: David ChamowitzPhone: 703.548-0110E-mail: dchamowitz@chamowitz.com

Legal Property Owner:

Name: CELILY CRANDALLAddress: 815 GREEN ST.City: ALEXANDRIA State: VA Zip: 22314Phone: 703.59.5696 E-mail: cccrav@verizon.net☐ Yes ☒ No Is there an historic preservation easement on this property?☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?☐ Yes ☒ No Is there a homeowner's association for this property?☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations? N/A

If you answered yes to any of the above, please attach a copy of the letter approving the project.

BAR Case # _____

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--------------------------------------|--|---|-----------------------------------|
| <input type="checkbox"/> awning | <input checked="" type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☐ ADDITION
☐ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☐ ☐ Description of the reason for demolition/encapsulation.
☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

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Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- N/A
- ☐ ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
 - ☐ ☐ FAR & Open Space calculation form.
 - ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
 - ☐ ☐ Existing elevations must be scaled and include dimensions.
 - ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
 - ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
 - ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A
- ☐ ☐ Linear feet of building: Front: _____ Secondary front (if corner lot): _____
 - ☐ ☐ Square feet of existing signs to remain: _____
 - ☐ ☐ Photograph of building showing existing conditions.
 - ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
 - ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
 - ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
 - ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- N/A
- ☒ ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
 - ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☐ ☒ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
 - ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
 - ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

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ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: _____

Date: _____

Sept. 15, 2017

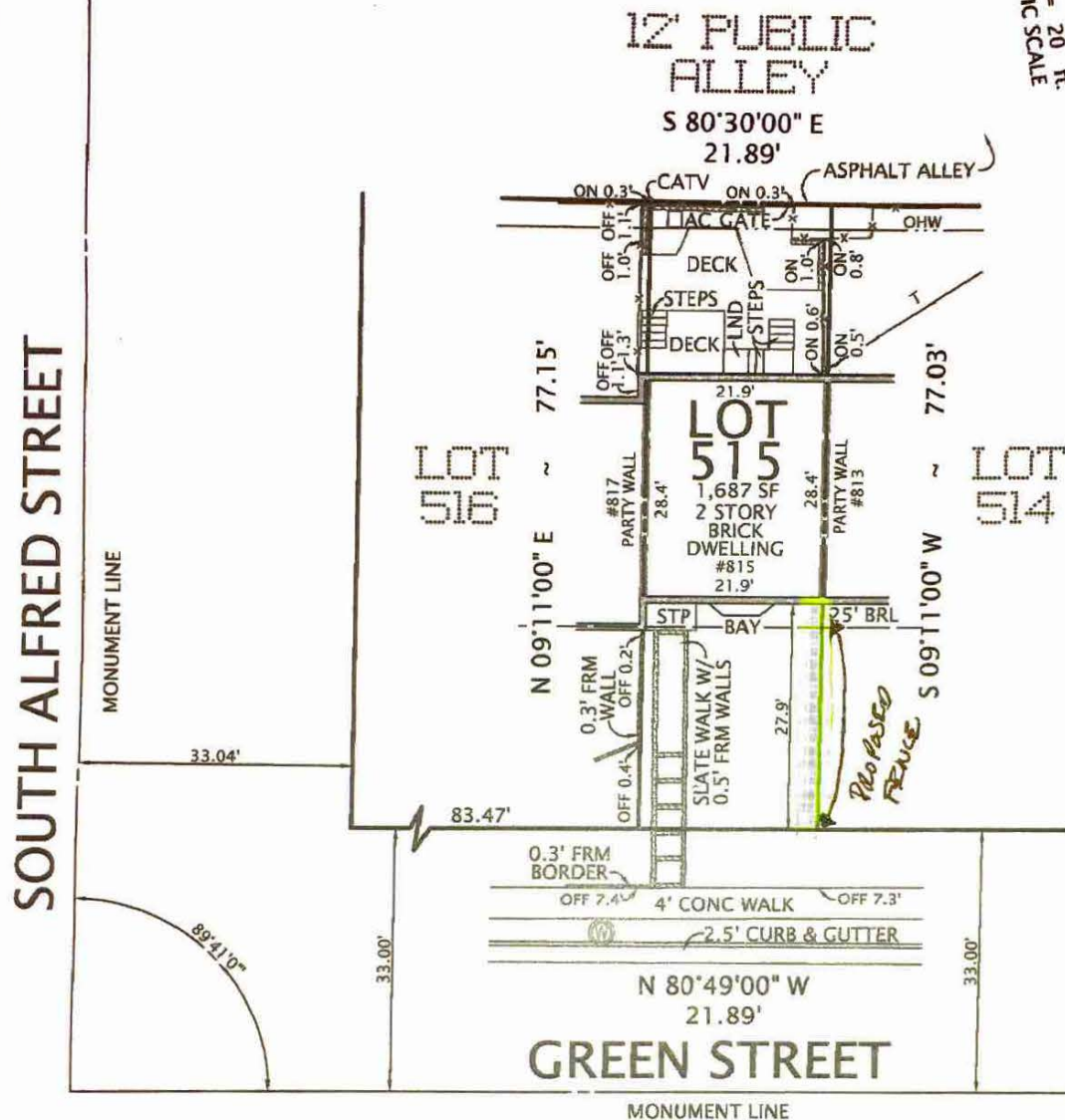
MEMORANDUM

RE: 815 Green St.
Alexandria, VA 22314

Cecily Crandall

Proposed Fence

1. The fence will be located on the 815/813 property line.
2. Fence will be 32' (thirty-two feet) long. Fence will start at brick facing at front of house and will be set back 4' (four feet) from sidewalk and to, but not on, the City Right-of-Way.
3. Fence will be square Red Cedar pickets (2x2) each with pyramid posts. Fence will be, at 42" in height, with 4x4 treated posts and two 2x4 cedar rails per section. **(See included photo of house on Franklin St. same style pickets and posts).**
4. The fence will be painted antique white to match the trim of the house.
5. There is a slight incline from the sidewalk to the house at 815 Green St. similar to other properties on the block (819, 814, 806, 804) with fences and other properties in Old Town. The recommendation of the fence company is to install the fence along the terrain in a straight line. This type of installation would match other fenced properties on the 800 block of Green St. and in similar areas of Old Town.
6. Addresses of houses on the 800 of Green St. that currently have fences (many of which are to the sidewalk with gates and some made of brick) include: 802, 804, 806, 808, 810, 814, 816, 818, 821, 819 & 803 which has a wooden railing to the sidewalk that looks like a fence. The 900 block of Green St. includes: 903, 907 & 902 (Mostly apartments on this block).
7. No trees or shrubbery will be removed to install fence. Proposed fence will be worked into current landscape.



(DEED BOOK 917, PAGE 310)
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 20' JULY 15, 2009

07/15/2009
 GEORGE M. O'QUINN
 11
 LICENSE NO.
 2069
 COMMONWEALTH OF VIRGINIA
 LAND SURVEYOR
George M. O'Quinn

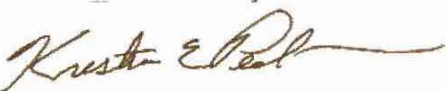
8808-H PEAR TREE VILLAGE COURT
ALEXANDRIA, VIRGINIA 22309
703-619-6555
FAX: 703-799-6412

VA Class A 2705136172A
DC ID/BBL 26426-71101164

EXPERT FENCE

6027 Farrington Ave Alexandria, VA 22304
Phone 703-751-3008 Fax: 703-751-8803
Email: expertfence@expertfence.com

Rated #1 by Washington
Consumers' Checkbook
Magazine - 2004-2017

Job Name: Crandall		Date: 9/6/2017	
Billing Address: 815 Green Street		City/State: Alexandria, VA	Zip: 22314
Contact: Ms. Cecily Crandall			
Home Phone:	Work Phone:	Cell Phone: 703-519-5696	
Job Address: Same		City/State:	Zip:
Contact E-mail: cacran@verizon.net	County:	Cross:	Map/Grid:
<p>Expert Fence (herein called Seller) proposes to furnish material, labor and equipment to install (if wood fence, see "Fence Specifications" on page 2). Inclement weather will affect start date. Approximate completion date is within 1 week of start date. Please refer to terms and conditions, attached. Estimate valid for 30 days.</p> <p>Expert Fence cannot warranty Pressure Treated wood against warping, checking, or shrinking. Buyer agrees to pay for the goods, services and installation according to the terms of this Agreement. Buyer acknowledges that before Buyer signed this agreement, Seller submitted the agreement to Buyer with all blank spaces filled in and that the buyer had a reasonable opportunity to examine it and that thereafter a legible executed and completed copy thereof was delivered to buyer. Buyer has read and understands both pages and agrees to the terms and conditions as set forth herein. The below prices, specifications and conditions are satisfactory and are hereby accepted. Expert Fence is authorized to do as specified.</p>		<p>Approx. Start Date: (Weather permitting) Will be provided after Expert Fence receives signed contract and upfront deposit 3 weeks or less</p>	<p>Fence permit c/o: By Owner, Historic</p>
<p>Description of Proposed Work listed as options:</p> <ol style="list-style-type: none"> On the front right of home as facing, Install 32' of 42" high Western Red Cedar picket fence. 2" x 2" (actual dimension 1 3/8" x 1 3/8") Clear (no knots) Western red Cedar pickets with a pyramid point. 1 1/2" spacing on the pickets (or can be decided in day of install). Fence to have (2) 2x4 cedar rails per section. 4x4 pressure treated line posts with an angled cut and below the top of the pickets, the rails will be face nailed on the post so all the pickets face in towards your yard. <p style="text-align: center;">Total \$1,200.00</p> <p>Thank you and we will build you a top quality fence.</p>			
Additional Notes:		Total Sale:	\$1,200.00
		Deposit:	\$600.00
		Due Upon Completion:	\$600.00
Expert Fence:	Buyer(s):	Date	
			

PROPOSED FENCE STYLE



Application Materials
BAR2017-00387
815 Green
Date Routed:10.11.2017

815 GREEN ST
SIDE 215/013
PROPOSED FENCE
ALONG

813

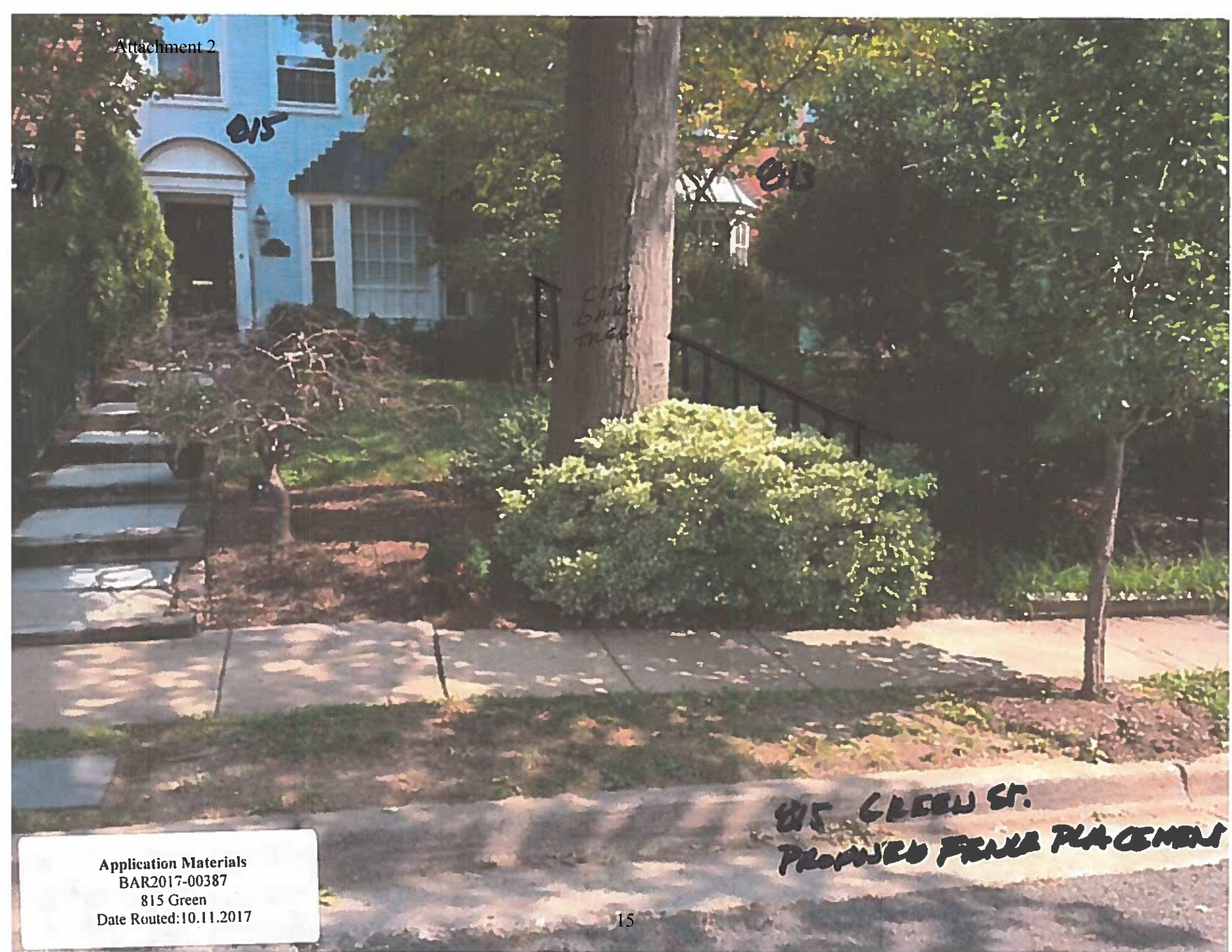
815

Proposed Fence
Start at
House (Behind
Fence)

Proposed Fence Behind
Dogwood tree
& Bushes

EXISTING RAILING
ON SCOPE

Application Materials
BAR2017-00387
815 Green
Date Routed: 10.11.2017:



Application Materials
BAR2017-00387
815 Green
Date Routed: 10.11.2017