

Docket Item #4  
BAR CASE # 2017-00108

BAR Meeting  
April 26, 2017

**ISSUE:** Alterations

**APPLICANT:** Helen Boyd

**LOCATION:** 636 North Columbus Street

**ZONE:** RB / Residential

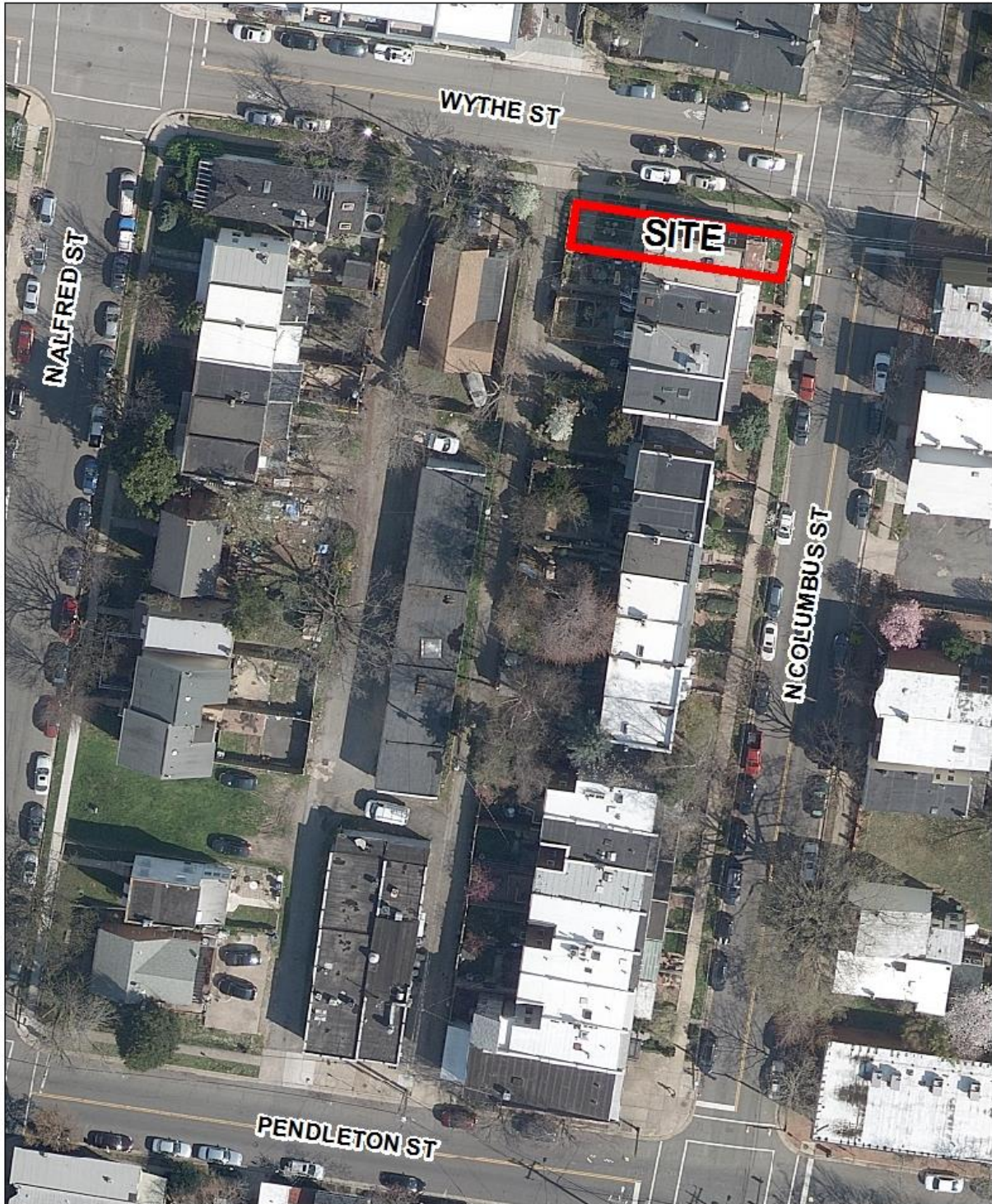
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### **STAFF RECOMMENDATION**

Staff recommends approval, as submitted.

### **GENERAL NOTES TO THE APPLICANT**

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR2017-00108



## **I. ISSUE**

The applicant is requesting approval of a Certificate of Appropriateness to enlarge two window openings at the basement level on the north elevation (a secondary front). The windows will be enlarged below the existing basement windows to create code-compliant egress windows. The new windows will be painted wood. Additionally, the applicant is requesting to remove an existing small window opening on the north elevation of an existing rear addition.

## **II. HISTORY**

The dwelling at 636 North Columbus Street is a two-story brick rowhouse constructed circa **1925**. It is one a series of rowhouses with characteristic one-story front porches, similar to the Wardman rowhouses constructed in Washington, DC, in the 1910s and 1920s. Based on the date of construction it is considered an **Early** building in the Parker-Gray District.

## **III. ANALYSIS**

The Parker-Gray Residential Reference Guide (RRG) describes various alterations and changes that may be made to both Early and Later residential buildings by elevation (front, side and rear). The requirements are most flexible for rear elevations with many requests not even requiring staff level review. Corner properties, such as the subject property, are considered to have two street-facing frontages. Although when considering the building typologically, the architecture and design of the east elevation clearly establishes a primary front and the north elevation a secondary front or side, the Zoning ordinance and RRG consider both the east and north elevations to be fronts and the other two elevations to be sides.

While these requests could have been administratively approved on the lower level of a rear elevation, they require approval by the BAR due to their street facing location. Staff has no objection to the enlargement of the two basement windows, finding that the width will remain the same and continue to align with the windows above. The selection of a wood window is consistent with the BAR's adopted window policies. Staff also has no objection to the removal of what appears to be a later window on the rear addition. The 1931 Sanborn Fire Insurance Map depicts this area as a frame porch when first constructed and it was later enclosed to create more useable utility space. The removal of the small window and replacement with siding, as part of a comprehensive residing of the rear addition, are appropriate alterations. Staff is working with the applicant on historically appropriate siding and other minor replacements, consistent with the BAR's adopted policies, as part of an administrative approval.

## **STAFF**

Catherine K. Miliaras, Historic Preservation, Principal Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

#### **IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

##### **Zoning**

C-1 Proposed window replacement project complies with zoning.

##### **Code Administration**

F-1 A building permit, plan review and inspections are required for this application prior to the start of construction.

##### **Transportation and Environmental Services (T&ES)**

R-1. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent City right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant

must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the City right-of-way such as curbing, sidewalk, driveway aprons, etc. must be City standard design. (Sec. 5-2-1) (T&ES)

**V. ATTACHMENTS**

*1 – Supplemental Materials*

*2 – Application for BAR 2017-00108: 636 North Columbus Street*





Application Package  
BAR2017-00108  
636 N Columbus Street  
3/27/2017





## Contract - Detailed

Phone:

Fax:

Sales Rep Name: Brewer, James

Sales Rep Phone: 703-906-4223

Sales Rep Fax: 703-852-7335

Sales Rep E-Mail: jbrewer@kc-pella.com

Customer Information	Project/Delivery Address	Order Information
<b>AJ Indovina Construction</b> 12634 Garry Glen Dr.  BRISTOW, VA 20136 Primary Phone: (703) 3311801 Mobile Phone: Fax Number: E-Mail: Contact Name:  Great Plains #: CEZC4Z Customer Number: 1008220207 Customer Account: 1004148894	<b>Boyd - 636 N. Columbus St</b> 636 N. Columbus St.  Lot # Alexandria, VA 22314 County: Owner Name: AJ Indovina Construction Owner Phone: (703) 3311801	<b>Quote Name:</b> Arch Series Addition  Order Number: 060 Quote Number: <b>8781210</b> Order Type: Non-Installed Sales Wall Depth: Payment Terms: C.O.D. Tax Code: ALEXANVA Cust Delivery Date: None Quoted Date: 3/17/2017 Contracted Date: Booked Date: Customer PO #:

Customer Notes: TONY INDOVINA  
703-346-0733

Line #	Location	Attributes	Item Price	Qty	Ext'd Price
1	None Assigned	TRFUELSURCHARGE - Fuel Surcharge - TRADE	\$25.00	1	\$25.00

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Line #	Location	Attributes	Item Price	Qty	Ext'd Price
10	REAR ADDITION	<b>Pella Brand, Entry Door Inswing, 37.5 X 81.75, White, 4 9/16"</b>  1: 3680 Entry Door Frame Size: 37 1/2 X 81 3/4 Unit Type: Right Inswing, Standard Sill, No Fire Rating, No Fire Rating Dimension Options: No Cut Down General Information: 5 7/8", 1 5/16", 4 9/16" Panel Style: Full Light Glass: Tempered Blinds-Between-The-Glass Air Fillec Panel Selection: Smooth, Unfinished, Unfinished Frame Selection: Clad, Pine, Oak Threshold, No Panel Reinforcement, Standard Enduraclad, White, Wood, Primed Hardware Options: Latch Bore with Deadbolt, 2 3/8", 2 1/8", No Integrated Sensor, No Handle Set, Aluminum Adjustable, Satin Nickel, Mill Finish Sil Unit Accessories: No Wrought Iron, No Bang Panel Performance Information: U-Factor 0.32 SHGC 0.23 VLT 0.25 CPD PEL-M-174-01957-00001, Calculated Positive DP Rating 20, Calculated Negative DP Rating 30, Year Rated 08 Wrapping Information: Nail Fin, Factory Applied, No Exterior Trim, No Interior Trim, 4 9/16", 5 7/8", Factory Applied, Pella Recommended Clearance, Perimeter Length = 239".	\$885.57	1	\$885.57



Viewed From Exterior

Rough Opening: 38 - 1/4" X 82 - 1/4"

Customer Notes: 4-9/16 JAMB

Line #	Location	Attributes	Item Price	Qty	Ext'd Price
15	UPPER REAR	<b>Architect, Double Hung, 35.5 X 59.5, White</b>  1: 35.559.5 Double Hung, Equal Frame Size: 35 1/2 X 59 1/2 General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16", No Certification Exterior Color / Finish: Painted, Standard Enduraclad, White Interior Color / Finish: Prefinished White Interior Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Spoon-Style Lock, White, No Limited Opening Hardware, Order Sash Lift Screen: Full Screen, Standard EnduraClad, White, Standard, InView™ Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.53, CPD PEL-N-179-01137-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08/11 Grille: No Grille, Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, No Interior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 190".	\$650.32	2	\$1,300.64



Viewed From Exterior

3' x 5'

Rough Opening: 36 - 1/4" X 60 - 1/4"

Customer Notes: 4-9/16 JAMB

CLAD EXTERIOR

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at [www.pella.com](http://www.pella.com)

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Line #	Location	Attributes
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20 LOWER REAR

**Architect, Double Hung, 31.5 X 59.5, White**

Item Price	Qty	Ext'd Price
\$628.96	4	\$2,515.84

PK #  
1981

1: 31.559.5 Double Hung, Equal

Frame Size: 31 1/2 X 59 1/2

General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16", No Certification

Exterior Color / Finish: Painted, Standard EnduraClad, White

Interior Color / Finish: Prefinished White Interior

Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs

Viewed From Exterior

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Spoon-Style Lock, White, No Limited Opening Hardware, Order Sash Lift

Screen: Full Screen, Standard EnduraClad, White, Standard, InView™

Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.53, CPD PEL-N-179-01137-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08/11

Grille: No Grille,

Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, No Interior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 182".

32 x 60

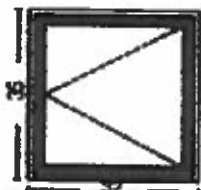
Rough Opening: 32 - 1/4" X 60 - 1/4"

Customer Notes: 4-9/16 JAMB

CLAD EXTERIOR

Line #	Location	Attributes
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25 BASEMENT SIDE

**Architect, Casement Left, 32 X 35**

Item Price	Qty	Ext'd Price
\$420.89	1	\$420.89

PK #  
1981

1: 3235 Left Casement

Frame Size: 32 X 35

General Information: Standard, Wood, Pine, 4 3/8", 4 3/16", No Certification

Exterior Color / Finish: Primed

Interior Color / Finish: Primed Interior

Sash / Panel: Putty Glaze, Ogee, Standard

Viewed From Exterior

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, No Window Opening Control Device, No Limited Opening Hardware

Screen: Full Screen, White, InView™

Performance Information: U-Factor 0.26, SHGC 0.26, VLT 0.48, CPD PEL-N-39-06543-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08

Grille: No Grille,

Wrapping Information: Wood Brickmould, 1 7/8", Factory Applied, 1 1/8" Wood Subsill, Factory Applied, No Exterior Trim, No Interior Trim, 4 3/16", 4 3/8", Factory Applied, Pella Recommended Clearance, Perimeter Length = 134".

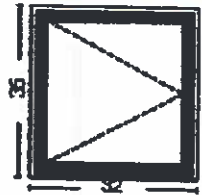
Rough Opening: 32 - 3/4" X 36 - 7/8"

Customer Notes: ALL WOOD

34 3/4 M.O.  
w/ BM 9 34 3/4

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Line #	Location	Attributes
30	BASEMENT SIDE	



Viewed From Exterior

PK #  
1981**Architect, Casement Right, 32 X 35**

Item Price	Qty	Ext'd Price
\$420.89	1	\$420.89

**1: 3235 Right Casement****Frame Size:** 32 X 35**General Information:** Standard, Wood, Pine, 4 3/8", 4 3/16", No Certification**Exterior Color / Finish:** Primed**Interior Color / Finish:** Primed Interior**Sash / Panel:** Putty Glaze, Ogee, Standard**Glass:** Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**Hardware Options:** Wash Hinge Hardware, Fold-Away Crank, White, No Window Opening Control Device, No Limited Opening Hardware**Screen:** Full Screen, White, InView™**Performance Information:** U-Factor 0.26, SHGC 0.26, VLT 0.48, CPD PEL-N-39-06543-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08**Grille:** No Grille,**Wrapping Information:** Wood Brickmould, 1 7/8", Factory Applied, 1 1/8" Wood Subsill, Factory Applied, No Exterior Trim, No Interior Trim, 4 3/16", 4 3/8", Factory Applied, Pella Recommended Clearance, Perimeter Length = 134".**Rough Opening:** 32 - 3/4" X 36 - 7/8"**Customer Notes:** ALL WOOD

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## Thank You For Purchasing Pella® Products

### PELLA WARRANTY:

Pella products are covered by Pella's limited warranties in effect at the time of sale. All applicable product warranties are incorporated into and become a part of this contract. Please see the warranties for complete details, taking special note of the two important notice sections regarding installation of Pella products and proper management of moisture within the wall system. Neither Pella Corporation nor K. C. Company, Inc. will be bound by any other warranty unless specifically set out in this contract. However, Pella Corporation will not be liable for branch warranties which create obligations in addition to or obligations which are inconsistent with Pella written warranties.

Clear opening (egress) information does not take into consideration the addition of a Rolscreen [or any other accessory] to the product. You should consult your local building code to ensure your Pella products meet local egress requirements.

Per the manufacturer's limited warranty, unfinished mahogany exterior windows and doors must be finished upon receipt prior to installing and refinished annually, thereafter. Variations in wood grain, color, texture or natural characteristics are not covered under the limited warranty.

**INSYNCTIVE PRODUCTS:** In addition, Pella Insynctive Products are covered by the Pella Insynctive Products Software License Agreement and Pella Insynctive Products Privacy Policy in effect at the time of sale, which can be found at [Insynctive.pella.com](http://Insynctive.pella.com). By installing or using Your Insynctive Products you are acknowledging the Insynctive Software Agreement and Privacy Policy are part of the terms of sale.

### ARBITRATION AND CLASS ACTION WAIVER ("ARBITRATION AGREEMENT")

YOU and Pella and its subsidiaries and the Pella Branded Distributor AGREE TO ARBITRATE DISPUTES ARISING OUT OF OR RELATING TO YOUR PELLA PRODUCTS (INCLUDES PELLA GOODS AND PELLA SERVICES) AND WAIVE THE RIGHT TO HAVE A COURT OR JURY DECIDE DISPUTES. YOU WAIVE ALL RIGHTS TO PROCEED AS A MEMBER OR REPRESENTATIVE OF A CLASS ACTION, INCLUDING CLASS ARBITRATION, REGARDING DISPUTES ARISING OUT OF OR RELATING TO YOUR PELLA PRODUCTS. You may opt out of this Arbitration Agreement by providing notice to Pella no later than ninety (90) calendar days from the date You purchased or otherwise took ownership of Your Pella Goods. To opt out, You must send notice by e-mail to [pellawebsupport@pella.com](mailto:pellawebsupport@pella.com), with the subject line: "Arbitration Opt Out" or by calling (877) 473-5527. Opting out of the Arbitration Agreement will not affect the coverage provided by any applicable limited warranty pertaining to Your Pella Products. For complete information, including the full terms and conditions of this Arbitration Agreement, which are incorporated herein by reference, please visit [www.pella.com/arbitration](http://www.pella.com/arbitration) or e-mail to [pellawebsupport@pella.com](mailto:pellawebsupport@pella.com), with the subject line: "Arbitration Details" or call (877) 473-5527. D'ARBITRAGE ET RENONCIATION AU RECOURS COLLECTIF ("convention d'arbitrage") EN FRANÇAIS SEE [PELLA.COM/ARBITRATION](http://PELLA.COM/ARBITRATION). DE ARBITRAJE Y RENUNCIA COLECTIVA ("acuerdo de arbitraje") EN ESPAÑOL VER [PELLA.COM/ARBITRATION](http://PELLA.COM/ARBITRATION).

### Product Performance Information:

U-Factor, Solar Heat Gain Coefficient (SHGC), and Visible Light Transmittance (VLT) are certified by the National Fenestration Rating Council (NFRC). Manufacturer stipulates that these ratings conform to applicable NFRC procedures for determining whole product performance. NFRC ratings are determined for a fixed set of environmental conditions and a specific product size. NFRC does not recommend any products and does not warrant the suitability of any product for any specific use.

Design Pressure (DP), Performance Class, and Performance Grade (PG) are certified by a third party organization, in many cases the Window and Door Manufacturers Association (WDMA). The certification requires the performance of at least one product of the product line to be tested in accordance with the applicable performance standards and verified by an independent party. The certification indicates that the product(s) of the product line passed the applicable tests. The certification does not apply to mulled and/or product combinations unless noted. Actual product results will vary and change over the products life.

For more performance information along with information on Florida Product Approval System (FPAS) Number and Texas Dept. of Insurance (TDI) number go to [www.pella.com/performance](http://www.pella.com/performance).

**K.C. Company, Inc.****CONTRACT:**

This contract constitutes the sole and complete agreement between the purchaser and K.C. Company, Inc. the seller, and is subject to additional charges should changes be required. No statement, representation or agreement written or verbal, not appearing on the face of this Contract is binding on the seller. This contract is binding upon the seller only upon acceptance by an authorized executive of the company at the home office. All agreements are subject to prior sale, government regulations and requirements. If contract is not approved the purchaser will be notified within fourteen (14) days of contract date, otherwise the same is automatically approved. The seller will not be responsible for delays due to labor troubles, fire, accidents, transportation, or other causes beyond its control.

**MATERIALS TO BE FURNISHED:**

Contract is based upon quantities, unit sizes, and unit numbers as sketched and listed on enclosed proposal, as well as equipment and fittings as specified. Drawings are as viewed from the exterior. Purchaser should carefully check quantities, sizes, and specifications. Standard jamb extension is applied, unless otherwise noted. The products ordered in this contract will be made and assembled to these specific requirements, and therefore this order is not cancelable, and these units may not be returned without a charge to be determined by the seller. All Pella wood windows and sliding glass doors are factory primed on the exterior (excludes Mahogany). Units with wood exterior, assembled by the seller will include standard brickmould, sill and outside mullion covers (unless otherwise noted herein).

**DELIVERY:**

**CUSTOMER MUST FURNISH HELP TO UNLOAD AT TIME OF DELIVERY.** Customer is responsible for checking the material upon arrival. Any shortage or damage must be noted on the delivery/packing list. No claim will be considered unless seller is notified within seventy-two (72) hours from the date of delivery. Customer is responsible for furnishing map to job site. Seller will deliver the goods covered by this contract within a reasonable time from the date of contract ratification, unless otherwise expressly stated in this written contract.

Anticipated Delivery Date: \_\_\_\_\_

**PAYMENT TERMS**

100% payment is due upon the execution of this Agreement.

Alternatively, a 50 % Deposit must be made upon execution of this Agreement.

(Internal Use Only): 50% Deposit in the amount of \$ \_\_\_\_\_ received on \_\_\_\_ day of \_\_\_\_\_ 20\_\_.

If a 50% deposit is made, the 50% remaining balance must be received from Purchaser not less than two days prior to Anticipated Delivery Date. Purchaser must make payment by credit card (no checks will be accepted).

(Internal Use Only): 50% Balance received \$ \_\_\_\_\_ on \_\_\_\_ day of \_\_\_\_\_ 20\_\_.

**NET 30 DAYS (if applicable):** Net 30 day terms are subject to approval by K.C. Company, Inc. of customer's credit. A one and one half percent (1 1/2 %) per month (annual percentage rate of eighteen percent) late charge will apply to all payments over thirty (30) days past due computed on the basis of the balance outstanding at the end of each monthly statement period. A one and one half percent (1 1/2 %) per month (annual percentage rate of eighteen percent) late charge will apply to all payments over thirty (30) days past due computed on the basis of the balance outstanding at the end of each monthly statement period.

**SELLER REMEDIES:**

Seller reserves a security interest in the goods sold pursuant to this contract under the applicable provisions of article 9 -Secured Transactions-Uniform Commercial Code. Seller further reserves the right to perfect and enforce any statutory lien, including any mechanic's contractor's or materialmen's lien, arising under local law to secure payment of the account debt arising under this contract. In the event Seller employs an attorney-at-law after Buyer has defaulted in its payment as agreed under the terms of this contract, then Buyer shall pay Seller a collection fee in a fixed and stipulated sum equal to twenty percent (20%) of the outstanding principal account balance at the time of buyer's default, or two thousand five hundred dollars (\$2,500.00), whichever is greater, together with any court or litigation costs incurred by seller in collecting the account debt arising under this contract.

**LIMITATION OF WARRANTIES AND DAMAGES:**

Seller expressly warrants the goods sold under this contract will be as described in this contract. ALL OTHER WARRANTIES, INCLUDING THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, ARE EXPRESSLY DISCLAIMED. Buyer's remedy for breach shall be limited to replacement of the goods sold or to a return of the goods and a refund of their purchase price, at Buyer's option, which shall be the Buyer's sole remedy in the event of seller's breach in the performance of this contract. Seller shall not be liable for any consequential or incidental damages for breach of any warranty.

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☐ Project Checklist has been reviewed

Customer Name (Please print)

Pella Sales Rep Name (Please print)

Customer Signature

Pella Sales Rep Signature

Date

Date

Credit Card Approval Signature

## Order Totals

Taxable Subtotal	\$5,543.83
Sales Tax @ 6%	\$332.63
Non-taxable Subtotal	\$25.00
Total	\$5,901.46
Deposit Received	\$0.00
Amount Due	\$5,901.46

\$ 4000 PAYMENT  
\$ 2098.54 CREDIT

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ADDRESS OF PROJECT: 636 North Columbus ST. Alexandria, VA 223  
 TAX MAP AND PARCEL: 054-04-13-03 ZONING: \_\_\_\_\_

APPLICATION FOR: (Please check all that apply)

- ☒ CERTIFICATE OF APPROPRIATENESS
- ☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
 (Required if more than 25 square feet of a structure is to be demolished/impacted)
- ☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
 CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
- ☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
 (Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☐ Business (Please provide business name & contact person)

Name: HELEN Boyd

Address: 636 N. Columbus ST.

City: Alexandria State: VA Zip: 22314

Phone: 703-969-8851 E-mail: ITSMBoyd@gmail.com

Authorized Agent (if applicable): ☐ Attorney ☐ Architect ☒ \_\_\_\_\_

Name: Tony Inoovina / Michael A. Boyd Phone: 703-346-0733

E-mail: AINOOVINA@aol.com ITSmboyd@gmail.com

Legal Property Owner:

Name: HELEN Boyd

Address: 636 N. Columbus ST.

City: Alexandria State: VA Zip: 22314

Phone: 703-969-8851 E-mail: ITSmboyd@gmail.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?  
☐ Yes ☒ No If yes, has the easement holder agreed to the proposed alterations?  
☐ Yes ☒ No Is there a homeowner's association for this property?  
☐ Yes ☒ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: *Please check all that apply.*
- |   |   |   |                                   |
|---|---|---|-----------------------------------|
| <input type="checkbox"/> awning                 | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment             | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors                  | <input type="checkbox"/> windows                    | <input type="checkbox"/> siding                     | <input type="checkbox"/> shed     |
| <input type="checkbox"/> lighting               | <input type="checkbox"/> pergola/trellis            | <input type="checkbox"/> painting unpainted masonry |                                   |
| <input checked="" type="checkbox"/> other _____ |   |   |                                   |
- ☐ ADDITION
- ☐ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

TO ~~ADD~~ ENLARGE TWO BASEMENT EGRESS WINDOWS.  
REMOVING SMALL WINDOW LOCATED ON THE MAIN  
LEVEL ON THE SIDE OF THE HOUSE.

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- N/A
- ☐ ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
  - ☐ ☐ FAR & Open Space calculation form.
  - ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
  - ☐ ☐ Existing elevations must be scaled and include dimensions.
  - ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
  - ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
  - ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
  - ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A
- ☐ ☐ Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_
  - ☐ ☐ Square feet of existing signs to remain: \_\_\_\_\_
  - ☐ ☐ Photograph of building showing existing conditions.
  - ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
  - ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
  - ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
  - ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- N/A
- ☐ ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
  - ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
  - ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
  - ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
  - ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.



**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☐ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☐ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☐ I, the applicant, or an authorized representative will be present at the public hearing.
- ☐ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: Michael A. Boyd  
 Printed Name: Michael A. Boyd  
 Date: 3/27/17

# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. <u>Helen Boyd</u>	<u>636 N. Columbus St.</u> <u>Alex. VA 22314</u>	<u>100%</u>
2.		
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 636 N. Columbus St. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. <u>Helen Boyd</u>	<u>636 N. Columbus St.</u> <u>Alexandria, VA 22314</u>	<u>100%</u>
2.		
3.		

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. <u>Helen Boyd</u>	<u>NONE</u>	<u>N/A</u>
2.		
3.		

**NOTE:** Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

3/27/17      Michael Boyd      Michael A. Boyd  
Date                      Printed Name                      Signature