

Docket Item #3
BAR CASE # 2017-0106
BAR Meeting
April 26, 2017

ISSUE: Re-approval of a Certificate of Appropriateness for New Construction
APPLICANT: Timothy Kane
LOCATION: 408 North Henry Street
ZONE: RB / Residential

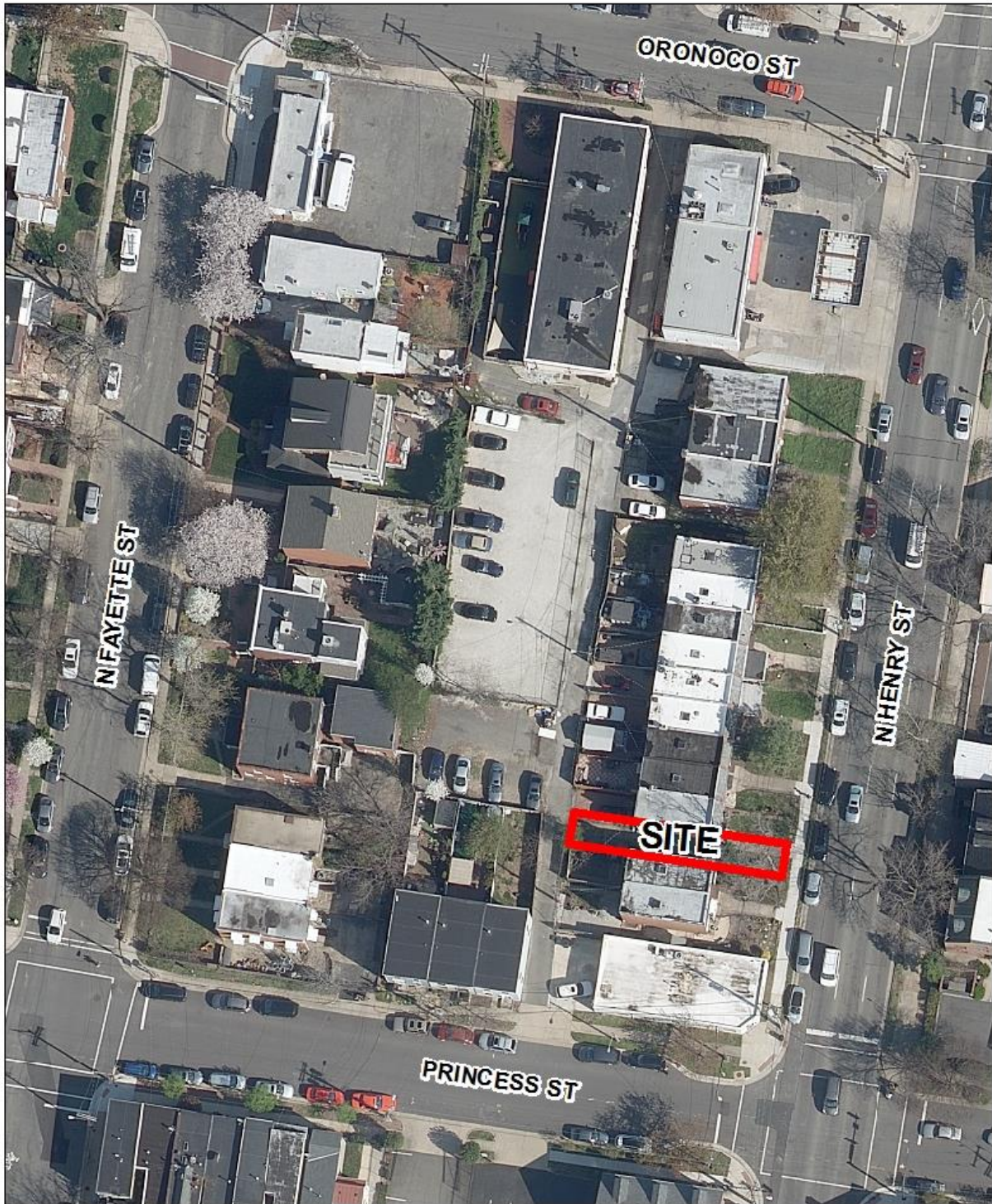
STAFF RECOMMENDATION

Staff recommends approval of the Certificate of Appropriateness with the following conditions:

1. Encourage the addition of a contemporary style door hood or canopy above the front entrance.
2. Include the following archaeology conditions in the General Notes of all site plans and on grading plans so that on-site contractors are aware of the requirements.
 - a. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of historic or prehistoric artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
 - c. All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR2017-00106



UPDATE:

After the BAR approved the new townhouse at 408 North Henry Street in 2014, the prior owner obtained a building permit to construct the house (Figure 1). The building permit plans (Figure 2) integrated the Board's two conditions of approval, but construction was never commenced; both the building permit and the BAR approval have since expired and the new property owner is seeking BAR re-approval for the townhouse.

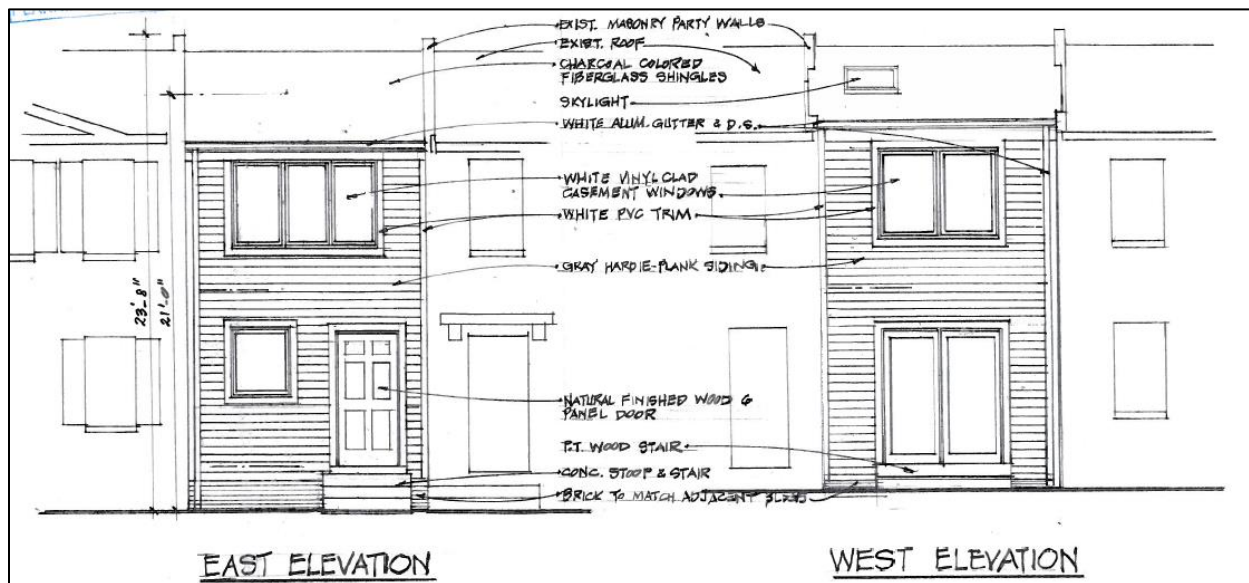


Figure 1: BAR#2014-0020 elevations; approved, with conditions

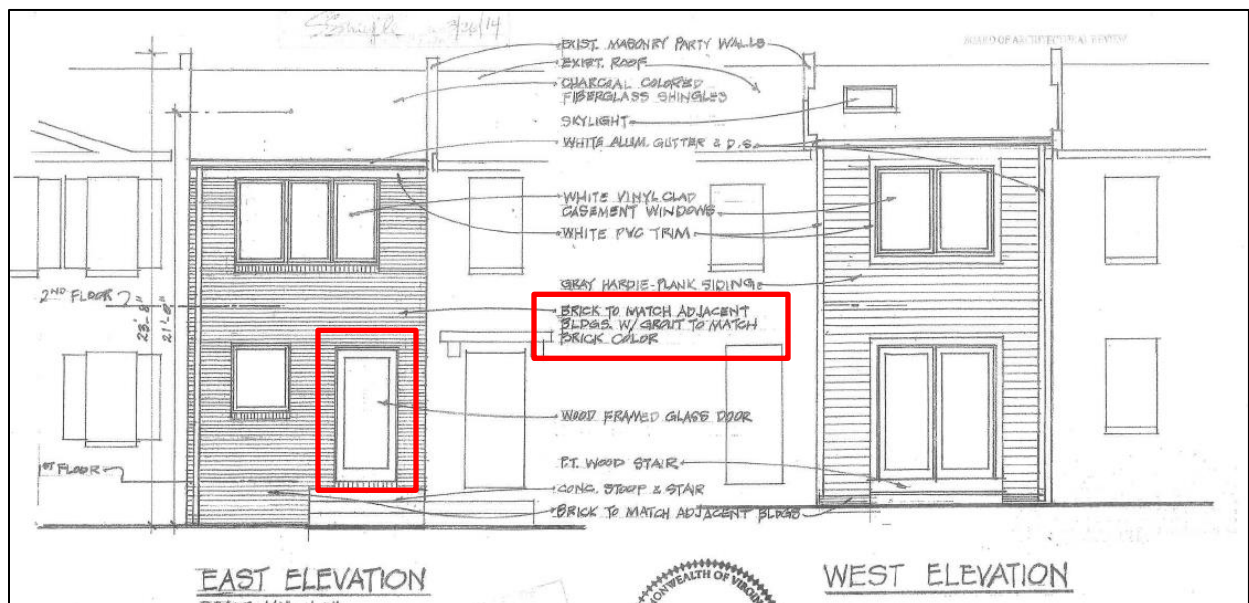


Figure 2: Approved building permit elevations (BLD2015-0346, 4/8/15); not constructed

I. ISSUE

The applicant requests re-approval of a Certificate of Appropriateness to construct a two-story dwelling on a vacant townhouse lot at 408 North Henry Street. The new townhouse is being reconstructed on the footprint of the previous townhouse which was destroyed by fire, and maintains the same massing and roof form. The follow materials are proposed:

Front facade

- Brick in a color compatible with the adjacent townhouses, but with a mortar color that is similar in tone to the new brick
- Full-light glass contemporary wood front door
- Full-light vinyl casement windows
- PVC trim
- Charcoal colored fiberglass shingles on the front mansard

West elevation

- Fiber cement siding
- Full-light French doors on the first floor and vinyl casement windows on the second floor
- Skylight on the flat roof

II. HISTORY

The two-story, cinder block, brick faced townhouses on the west side of North Henry Street (404 to 426) were constructed as a row of twelve nearly identical dwellings circa **1938** (Permit #1696, 5/20/1938). The unit at 408 North Henry Street was demolished after a fire in the mid-1990s.

On March 24, 2014, the Board approved BAR Case #2014-0020 for the construction of a townhouse with the following conditions:

1. The front façade must be brick in a color similar to the adjacent townhouses, with a mortar color that is close in tone to the brick;
2. The applicant must select a more modern front door design; and,
3. The applicant is strongly encouraged to install an optional door hood or awning in a contemporary style.

III. ANALYSIS

The subject vacant lot is considered substandard for an RB zoned townhouse, but zoning ordinance Section 3-707 (B) states that any lot of record as of December 28, 1951, may be developed at the lot area shown on the recorded plat. In addition, since the previous townhouse was a noncomplying structure, Section 12-102(B) applies: “if a noncomplying structure is destroyed, demolished or otherwise removed, it may be reconstructed provided that there is no increase in the floor area ratio, density, height or degree of noncompliance which existed prior to such destruction”.

When the townhouse was first proposed in 2014, it was the first application for new construction after adoption of the new Parker-Gray regulations. Because the changes did not specifically address in-fill construction, the previous *Design Guidelines* for residential new construction were used as guidance for Staff and the Board. The Board supported the modest new townhouse because it was compatible, but not replicative, with the later brick townhouses in this row. The found that the townhouse reflected the uniform materiality of the adjacent townhouses while differentiating itself with more contemporary fenestration in both window style (single light casement) and material (vinyl windows over 25 feet from the front property line).

At the hearing, the Board strongly encouraged the applicant to consider the installation of a contemporary door hood or canopy. The other 11 units in this row, with the exception of the two townhouses that have full width front porches, appear to have their original projecting canopies. Although the applicant choose not to install a canopy at the time the building permit was approved, staff continues to support a canopy over the front door. Not only would it help to relate the new townhouse to the existing townhouses in the row, it would also provide some functional relief by provide some protection from the inclement weather and sun (the front of the house faces southeast). As the Board is aware, this is an alteration that is occasionally requested by homeowners who have no protection over their front doors. With that encouragement, Staff recommends approval of the proposed new townhouse.

STAFF

Stephanie Sample, Historic Preservation Planner
Al Cox, FAIA, Historic Preservation Manager

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Zoning

- F-1 The property was originally developed with a two-story townhouse dwelling in 1938. Sometime prior to 1995, the dwelling was demolished after being damaged by a fire. The lot is substandard for an RB zoned townhouse lot, but section 3-707(B) states that any lot of record as of December 28, 1951, may be developed at the lot area shown on the recorded plat.
- F-2 An approved grading plan (GRD2014-0014) was granted on February 19, 2015 for the reconstruction of the two-story dwelling. The grading plan is valid for 36 months from the date of approval.
- C-1 Proposed reconstruction of the two-story dwelling will comply with zoning and shall be developed pursuant to the approved grading plan (GRD2014-0014).

Code Administration

- F-1 A building permit, plan review and inspections are required for this application prior to the start of construction.

Transportation and Environmental Services (T&ES)

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 Previously reviewed under [BAR2014-00020] (T&ES)
- F-2 There is an existing released grading plan under [GRD2014-00014]. (T&ES)
- F-3 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 Civil War era maps indicate that a complex of Union Army buildings was located on this block during the war, although nothing on the subject property. After the war the entire block seems to have remained vacant well into the twentieth century. The subject property may contain significant archaeological remains that pertain to the Union Army occupation of Alexandria during the Civil War.
- R-1 *The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of historic or prehistoric artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- R-2 *The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
- R-3 *All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.
- R-4 The statements in archaeology conditions above marked with an asterisk (*) shall appear in the General Notes of all site plans and on grading plans so that on-site contractors are aware of the requirements.

V. ATTACHMENTS

1 – Supporting Materials

2 – Application for BAR2017-106; 408 North Henry Street

General

1. The work consists of the construction of a two story infill attached row dwelling.
2. All work shall be in conformance with the 2009 Virginia Residential Code. The architect accepts no responsibility for any changes to these drawings except by written change order.
3. Contractor shall obtain building and all other required permits and shall arrange for all required inspections.

Demolition and Sitework

1. Regrade as necessary to provide positive drainage away from the building in all directions.
2. At completion of construction, fine grade and seed and straw.

Concrete

1. Footings are designed for an assumed soil bearing capacity is 1500 psf. All footings shall bear on undisturbed soil. New footings adjacent to existing footings shall be at the same elevation.

Carpentry

1. All wood within 8" of grade or in contact with concrete or masonry shall be pressure treated for rot and termite resistance.
2. Wood base and window and door trim shall be paint grade and shall match existing.
3. New siding shall be HardiePlank painted a medium gray..
4. New rear stair shall be pressure treated southern pine #2 and shall be constructed in accordance with the City of Alexandria Standard Deck Details publication.

Masonry

1. Provide concrete masonry units conforming to ASTM C-90 Grade B.
2. Brick shall match color and texture of adjacent buildings and be Type SW.
3. Mortar shall be ASTM C-270 Type S and shall be the same color as the brick.

Thermal and Moisture Protection

1. Provide rubber roofing at roof areas where pitch is below 2/12. Installation shall be in strict accordance with manufacturer's recommendations.
2. At front mansard provide charcoal colored fiberglass shingles over 15 lb. felt paper.

Doors and Windows

1. New exterior doors shall be vinyl clad glass doors with tempered insulating glass and a maximum U value of 0.35.
2. New windows shall be double glazed casement. In sleeping rooms, at least one window shall have a minimum net clear opening of 5.7 sq.ft., a minimum clear width of 20 in. and a maximum sill height of 44 in. Windows shall have a maximum U of 0.35.
3. Skylight shall be Velux FS-308 with low slope Velux flashing kit.

Finishes

1. Provide 1/2" drywall throughout. Paint with latex primer and two coats of latex satin throughout except semi-gloss at bath, kitchen, doors, windows, shelving and wood trim.
2. Provide hardwood flooring throughout except at second floor bath.
3. At second floor bath provide ceramic tile over Durok for floor and tub walls. Tile shall be installed in accordance with the recommendations of the Tile Council of America.

Plumbing

1. Provide new copper supply piping and PVC waste.

HVAC

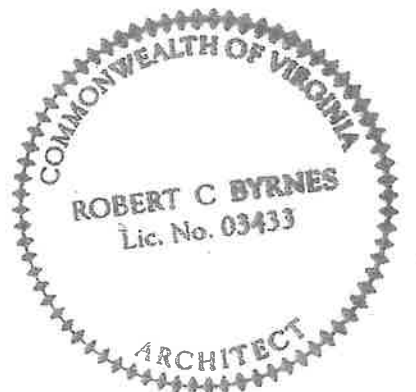
1. Provide heat pump with attic mounted air handling unit.
2. Crawl space will be insulated and conditioned. Provide a minimum of 9cfm supply and a floor transfer grille for return air.

Electrical

1. Connect new circuits to new panel.
2. All electrical wiring shall be copper and shall be in accordance with the current NEC.
3. Provide AFI circuits at bedrooms and GFI circuits at Baths and Kitchen areas.
4. Light fixtures are an allowance item.
5. Provide interlocked, hard wired smoke detectors where indicated SD on plans.

BOARD OF ARCHITECTURAL REGULATION

Application Package
BAR2017-00106
408 N Henry Street
3/20/2017

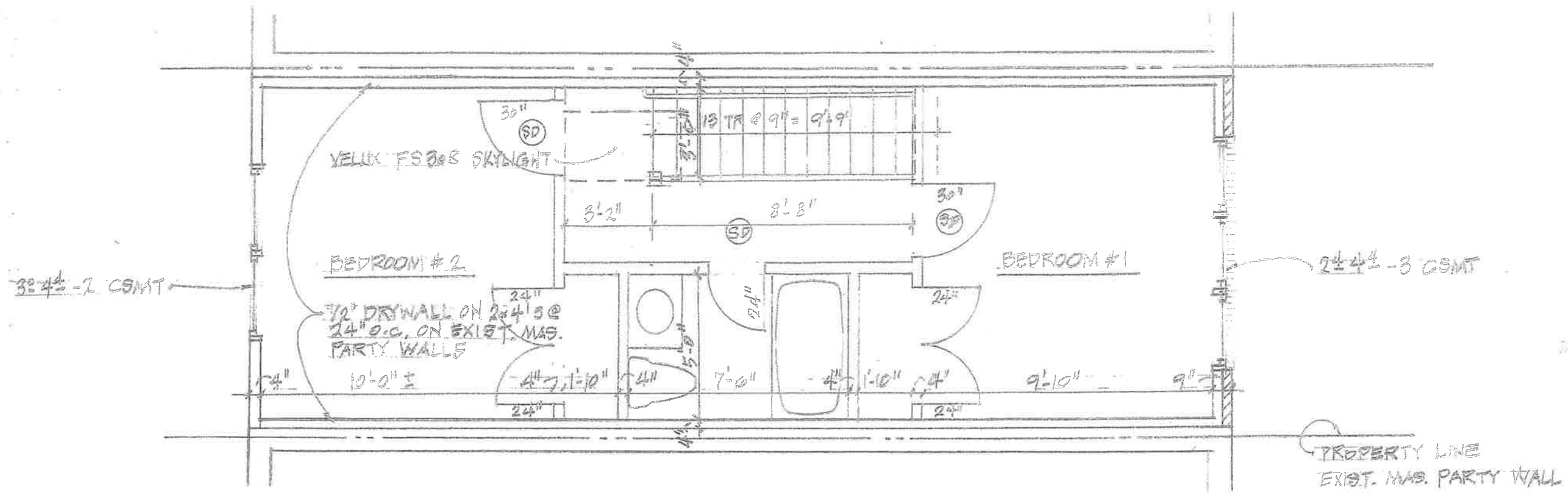


New House at 408 N. Henry St.

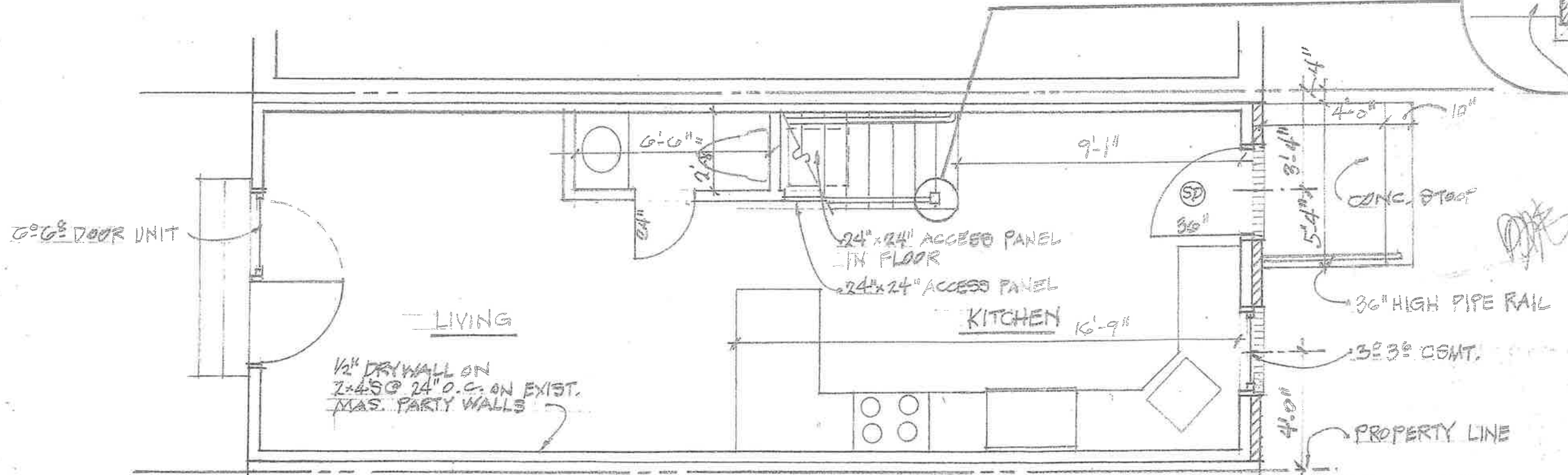
Robert C. Byrnes Architect
25 W. Myrtle Street
Alexandria, VA 22301
703-683-1011

Date: 1/6/15
Revisions: _____

Sheet 1 of 7



2ND FLOOR
 SCALE 1/4" = 1'-0"



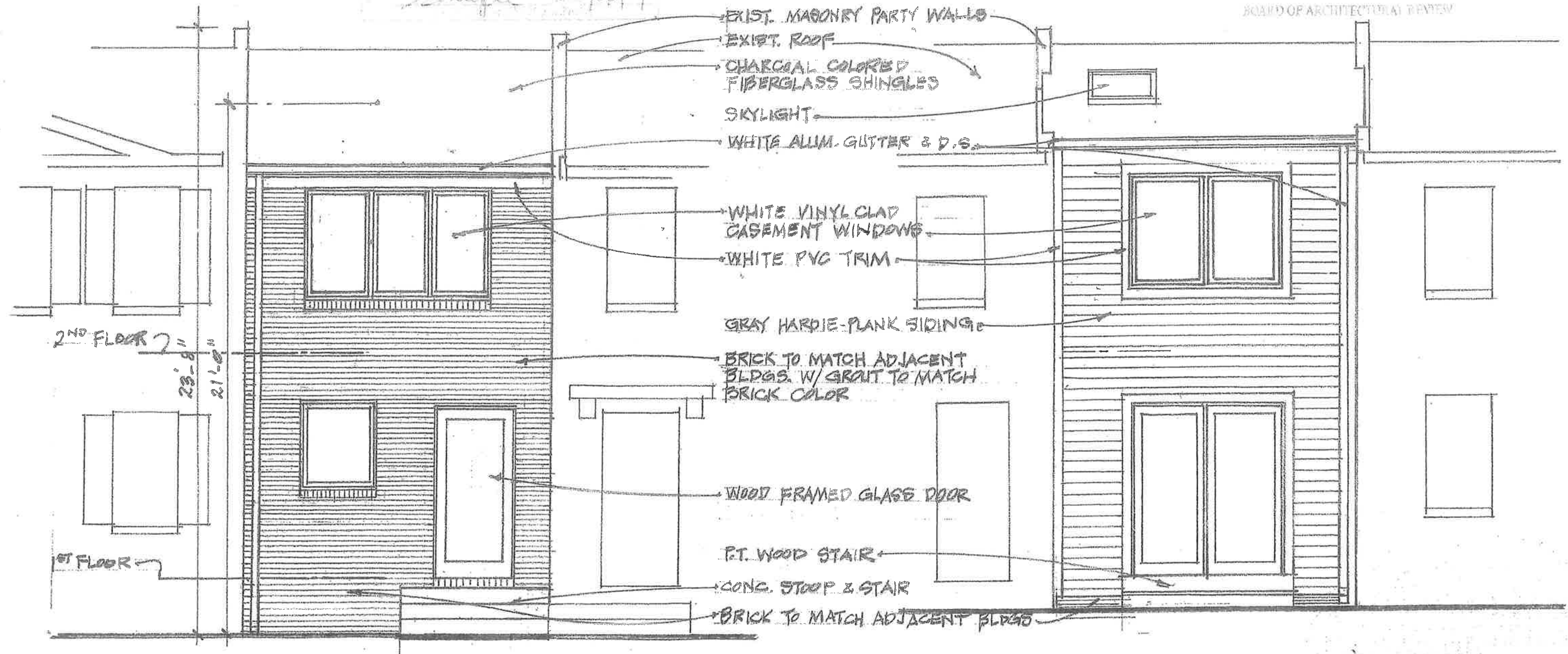
1ST FLOOR
 SCALE 1/4" = 1'-0"



New House at 408 N. Henry St.

Robert C. Byrnes Architect
 25 W. Myrtle Street
 Alexandria, VA 22301
 703-683-1011

Date: 1/6/15
 Revisions: _____
 Sheet 2 of



EAST ELEVATION

SCALE 1/4" = 1'-0"

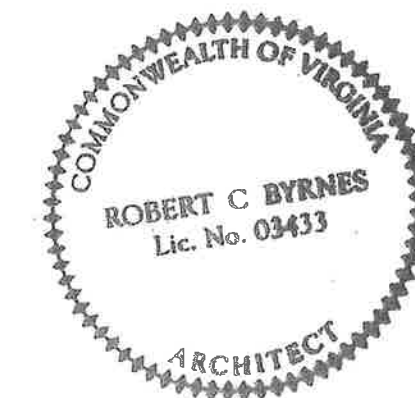
WEST ELEVATION

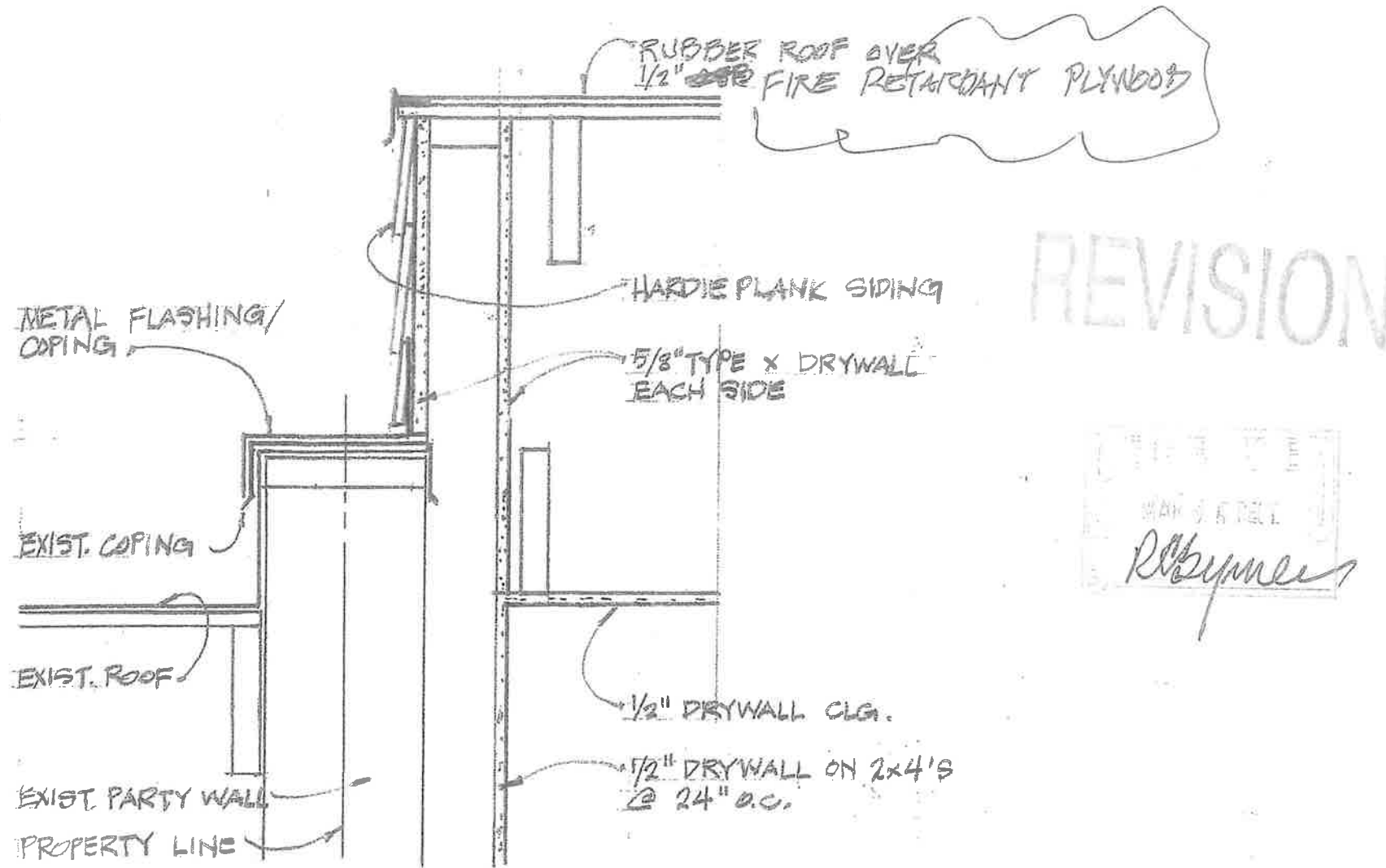
New House at 408 N. Henry St.

Robert C. Byrnes Architect
 25 W. Myrtle Street
 Alexandria, VA 22301
 703-683-1011

Date: 1/6/15
 Revisions:

Sheet 3 of 7





REVISION

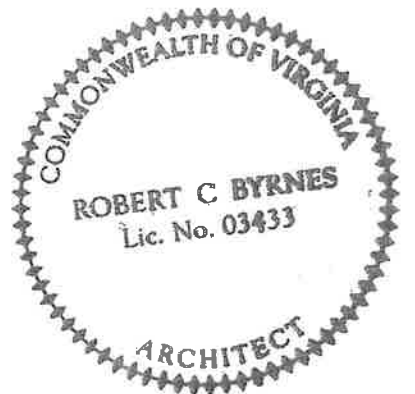
Robert C. Byrnes

BOARD OF ARCHITECTURAL REVIEW

PARTY WALL SECTION

SCALE 1/2" = 1'-0"

BOTH SIDES

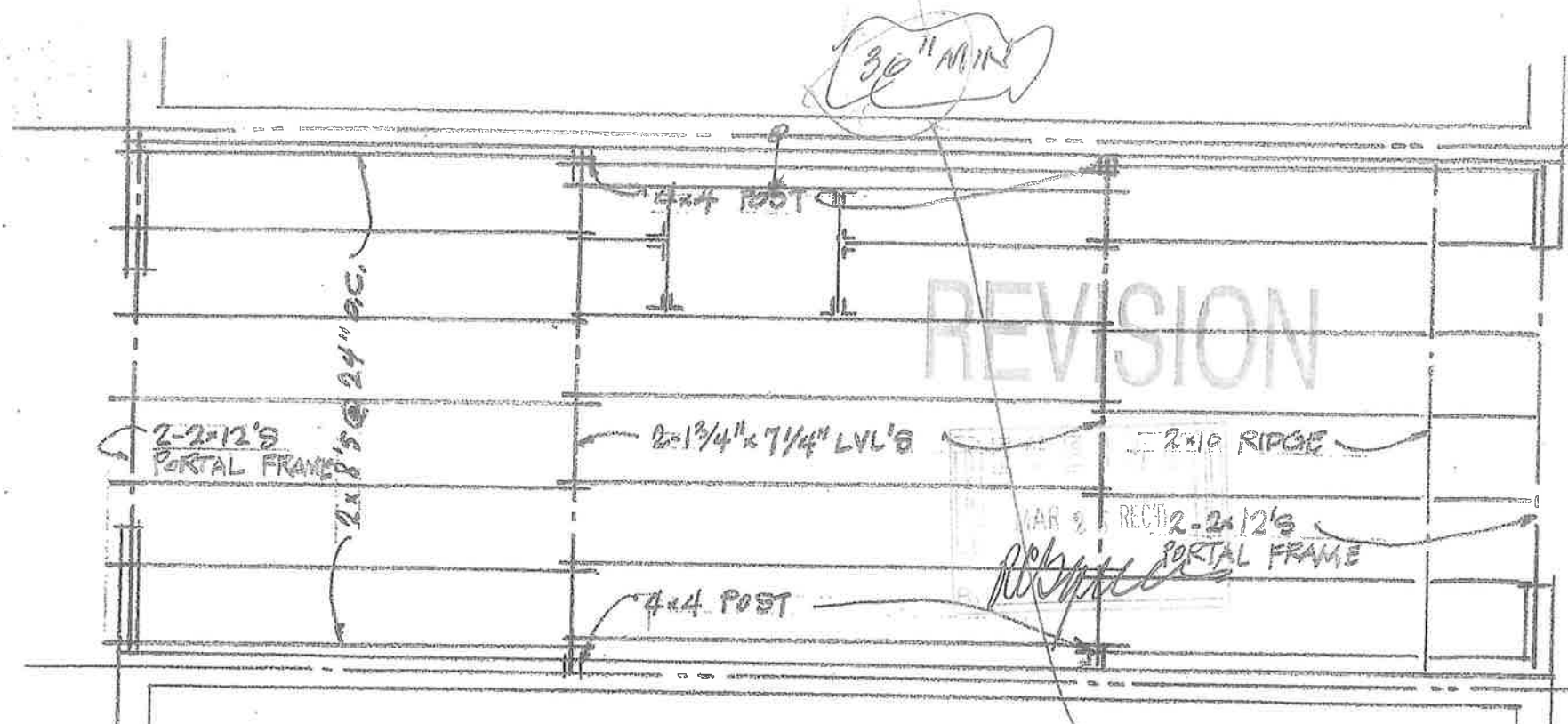


New House at 408 N. Henry St.

Robert C. Byrnes Architect
 25 W. Myrtle Street
 Alexandria, VA 22301
 703-683-1011

Date: 1/6/15
 Revisions:

Sheet 5 of 7

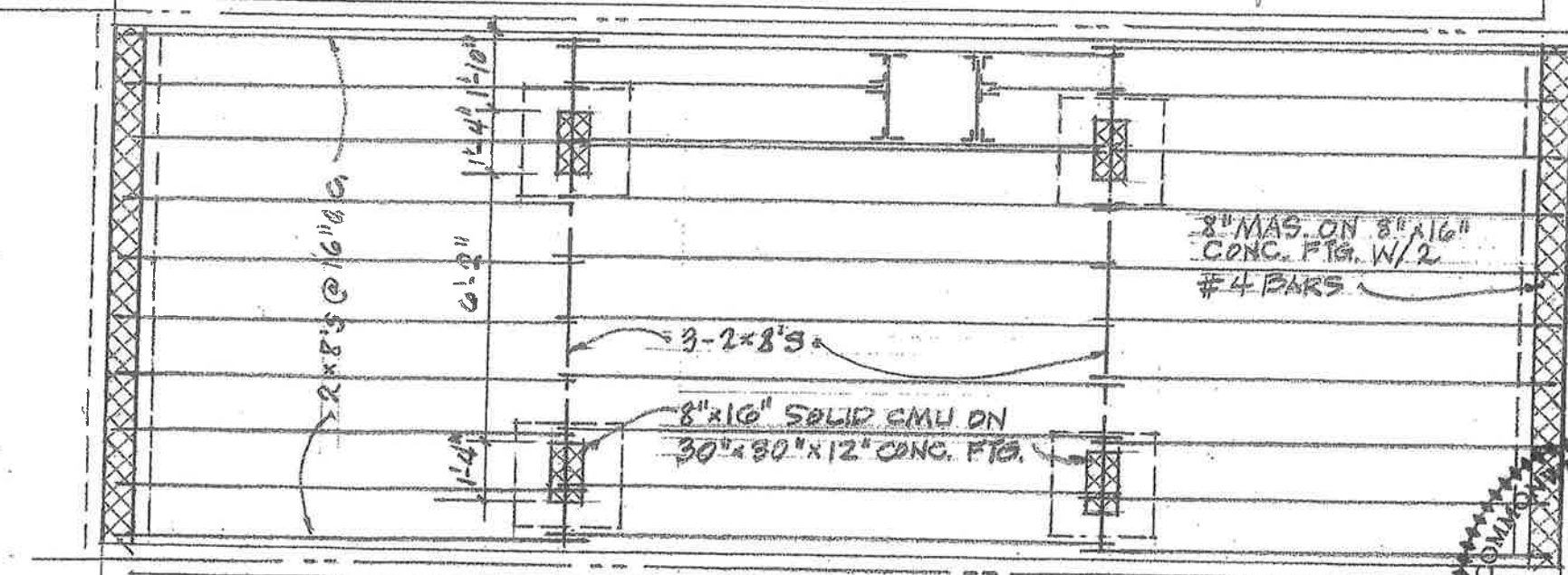


ROOF FRAMING

SCALE 1/4" = 1'-0"

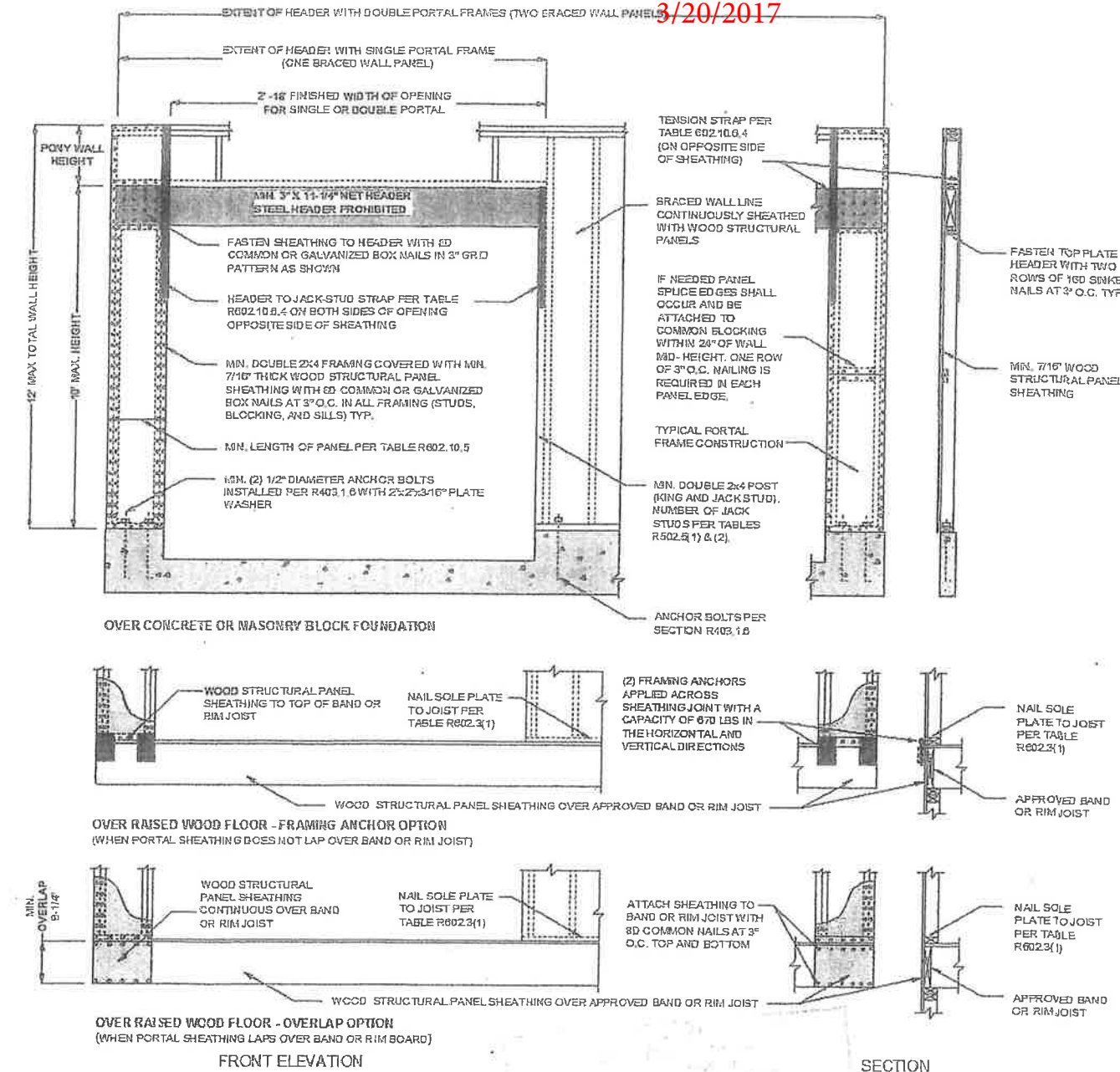
BOARD OF ARCHITECTURAL REVIEW

700
2012 Section
R302.27



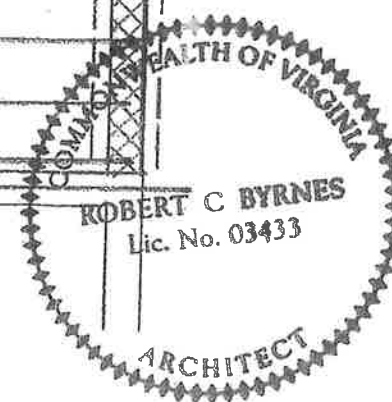
FOUNDATION & 1ST FLOOR FRAMING

SCALE 1/4" = 1'-0"



For SI: 1 inch = 25.4 mm, 1 foot = 305 mm, 1 pound force = 4.48 N.

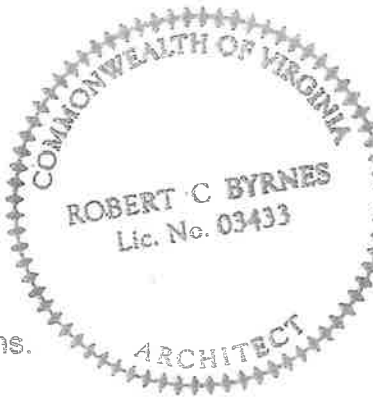
FIGURE R602.10.6.4
METHOD CS-PF: CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION



New House at 408 N. Henry St.

Robert C. Byrnes Architect
25 W. Myrtle Street
Alexandria, VA 22301
703-683-1011

Date: 1/6/15
Revisions: _____
Sheet 6 of 7



STRUCTURAL NOTES

Design Live Loads

1. Floors - 40 psf except sleeping rooms.
2. Floors of sleeping rooms - 30 psf.
3. Attics without storage - 10 psf.
4. Roof - 30psf.
5. Maximum deflection for floors shall be L/360 and L/240 for roofs.

Framing

1. Where dimension lumber is indicated for floor and roof framing, provide SPF#2 or Hem-fir#2.
2. Where lumber is noted PT (pressure treated) provide southern pine #2 treated for ground contact.
3. LVL beams and headers shall have a minimum Fb of 2650 psi and a minimum 'E' of 1,800,000 psi.
4. Subfloor shall be 3/4" tongue and groove plywood glued and nailed to joists.

Wall Bracing

1. Wall bracing shall be Continuously Sheathed Portal Frame (CS-PF), and shall be in accordance with detail in these drawings.

Concrete

1. Footings are designed for an assumed soil bearing capacity is 1500 psf. All footings shall bear on undisturbed soil. New footings adjacent to existing footings shall be at the same elevation.
2. Provide stone concrete having a minimum compressive strength of 3000 psi at 28 days.
3. Reinforcing steel shall conform to ASTM A-615 Grade 60 for bars.

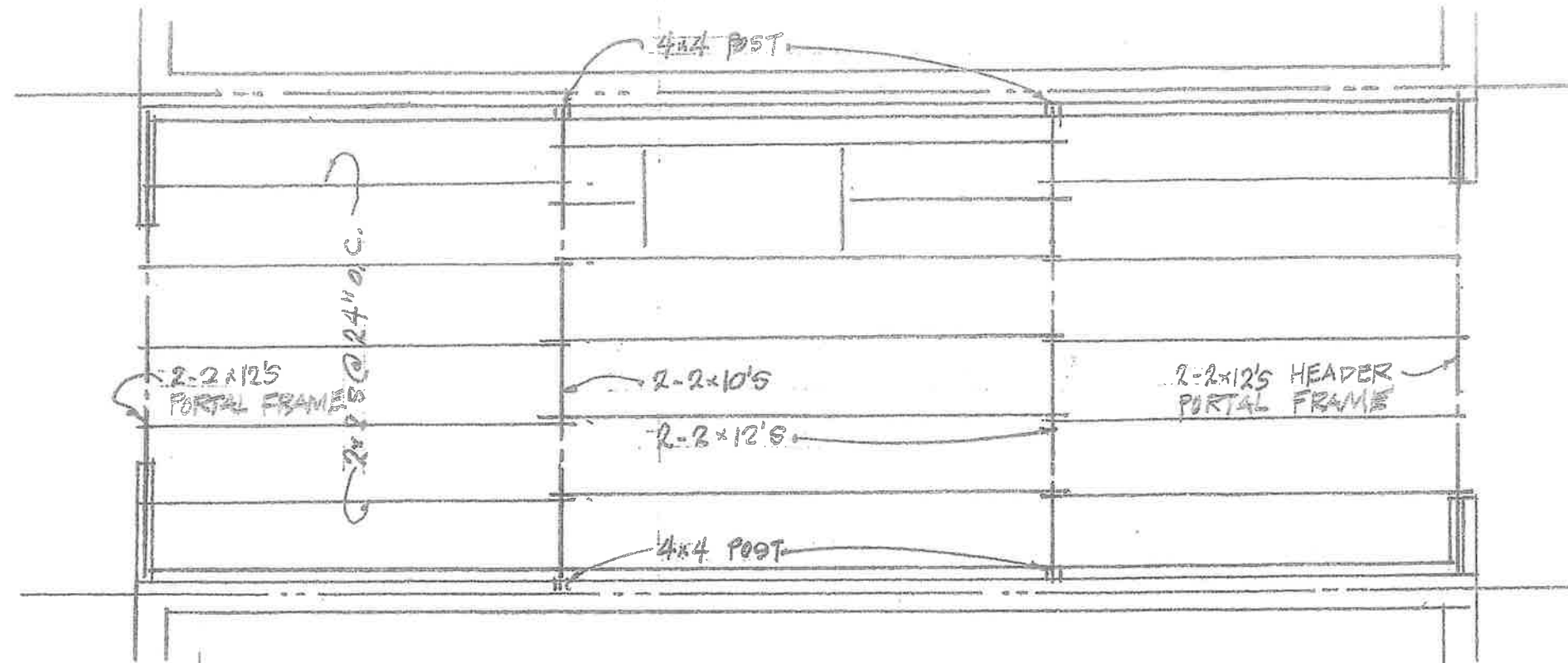
Application Package
BAR2017-00106
408 N Henry Street
3/20/2017

New House at 408 N. Henry St.

Robert C. Byrnes Architect
25 W. Myrtle Street
Alexandria, VA 22301
703-683-1011

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Revisions: _____

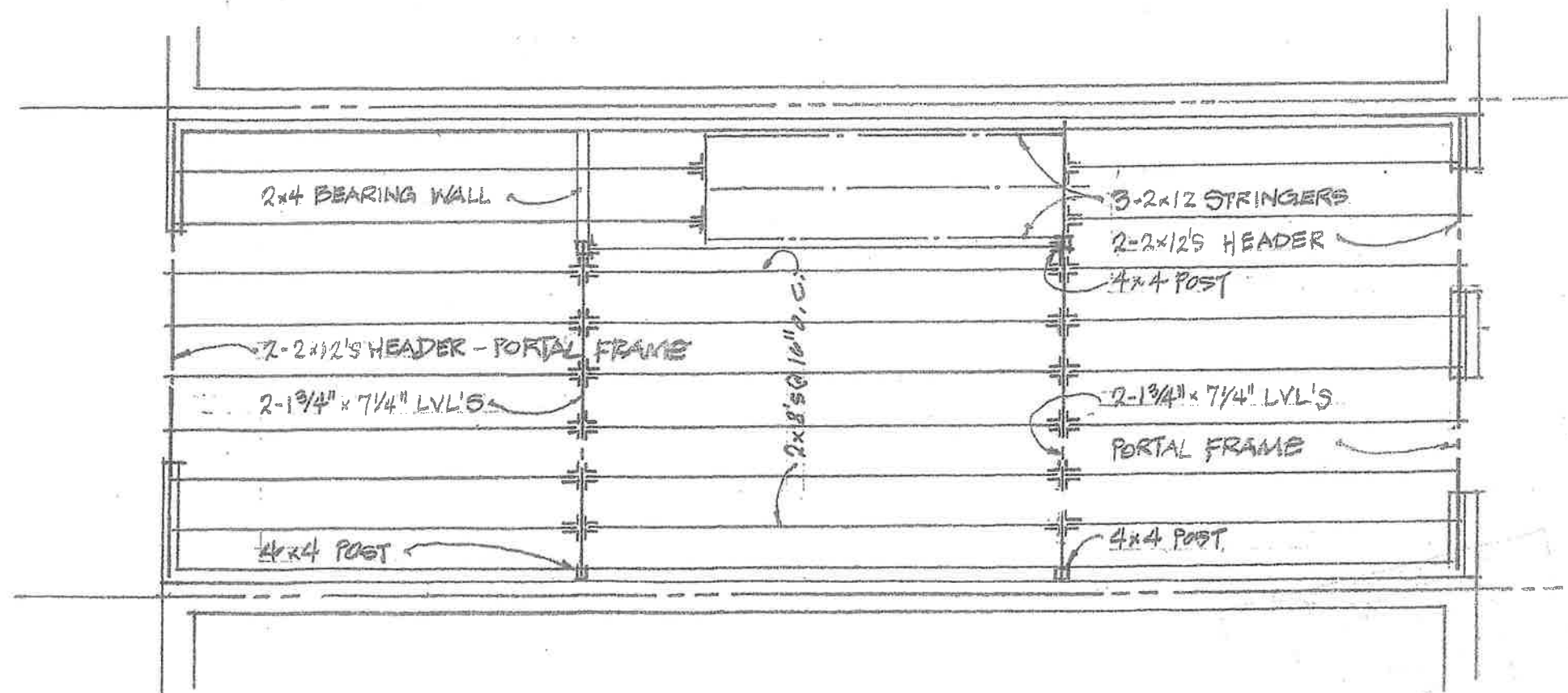
Sheet 7 of 7



ATTIC FRAMING

SCALE 1/4" = 1'-0"

BOARD OF ARCHITECTURAL REVIEW



2ND FLOOR FRAMING

SCALE 1/4" = 1'-0"

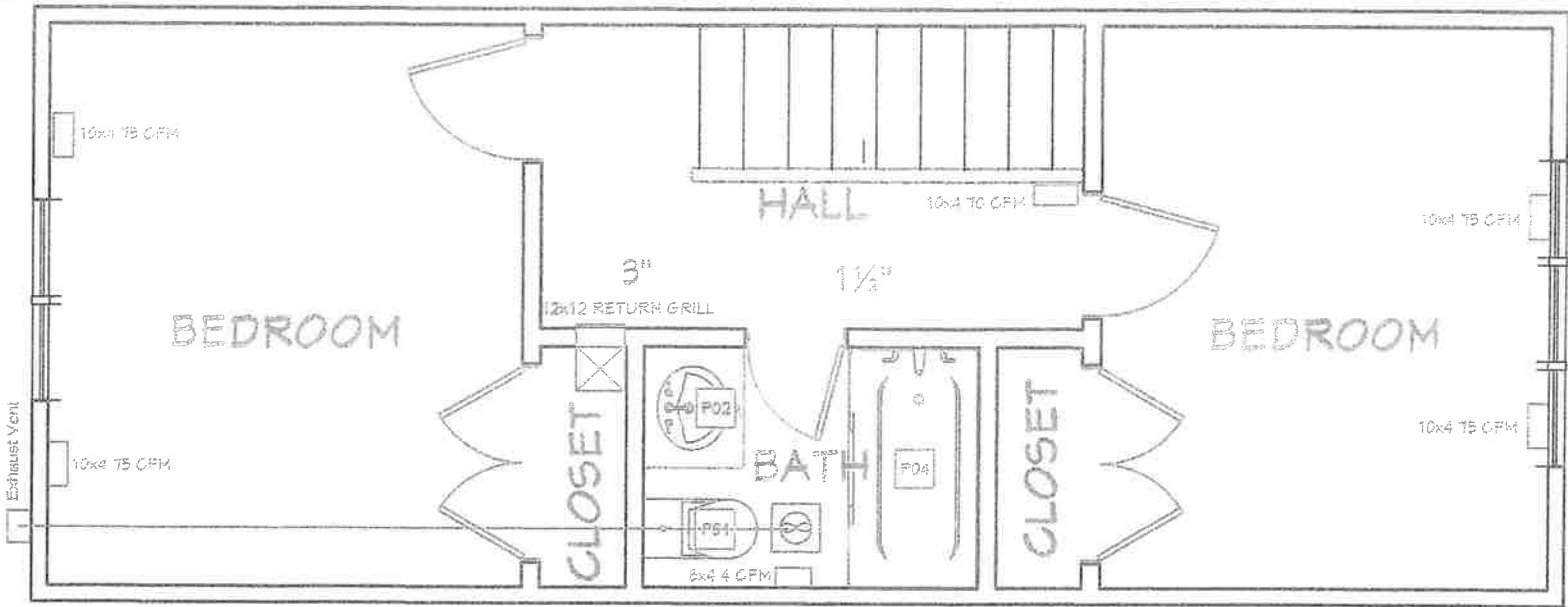
NOTE:

FURNACE IS 90% AND COMBUSTION AIR PROVIDE BY A 2-PIPE SYSTEM FROM FURNACE TO ADJACENT EXTERIOR WALL.

THE WATER HEATER IS DIRECT VENT TO EXTERIOR.

COMBUSTION AIR				
FT. ²	X	CEILING HEIGHT	=	FT. ³
363	X	8	=	2904
FIXTURE	KBTU	FT. ³	=	FT. ³
A01 RANGE	54.4	X 50	=	2,720
TOTAL				= 2,720

PER 304.5.1 Standard method.
The minimum required volume shall be 50 cubic feet per 1,000 Btu/h (4.8 m3/kW) of the appliance input rating.

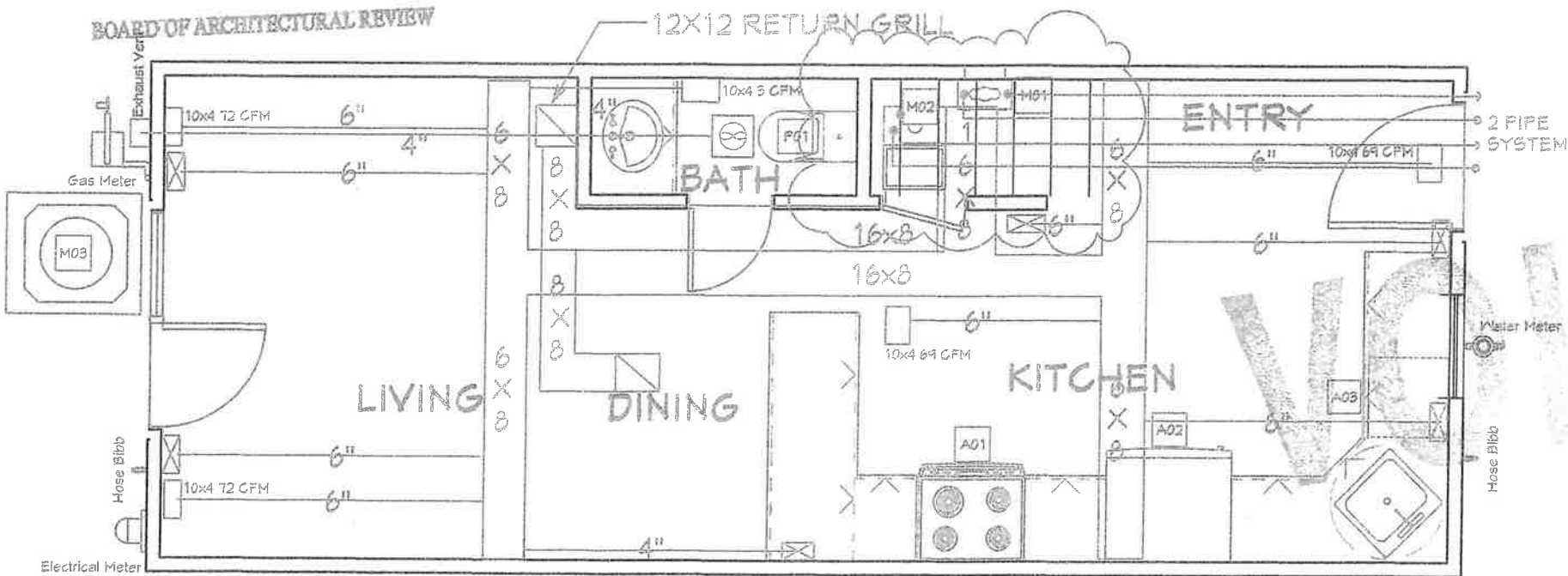


2ND FLOOR MECHANICAL PLAN

Construction drawings submitted must be in full conformance with all plans approved by the Planning Commission, Board of Zoning Appeals and Board of Architectural Review. Plans and specifications of approval of a building approval of any changes, such plans unless they are specifically identified by the applicant and approved by the City.

MECHANICAL FIXTURE SCHEDULE				
NUMBER	LABEL	QTY	CODE	MANUFACTURER
M01	WATERLESS WATER HEATER	1	GTS-110-PI	STATE
M02	45 MBH GAS FURNACE	1	GKS90453BX	GOODMAN
M03	AIR UNIT	1	GSX130181D	GOODMAN

APPLIANCE FIXTURE SCHEDULE				
NUMBER	LABEL	QTY	CODE	MANUFACTURER
A01	GAS RANGE	1	JGBS10DEFBB	GE
A02	TOP-MOUNT REFRIGERATOR	1		
A03	DISHWASHER (BASIC)	1		



1ST FLOOR MECHANICAL PLAN

CONSTRUCTION TRADE SERVICES
7830 BACKLICK RD SUITE 401,
SPRINGFIELD, VA 22150
(PH) 703 455.5520 (F) 703 455.5530
rick@ctsincva.com

RENOVATION OF
NAZAR J & MARIE LUISE
SHABBAR
408 No Henry St
Alexandria, VA, 22314

MECHANICAL PLAN

SCALE 1/4" = 1'

DESIGN BY:
Rock Sennett

3/16/2015

M-1

JOSE R VENTURA
MASTER HVAC
2710055118

CTS INC
SPRINGFIELD, VA
703-455-5520

Application Package
BAR2017-00106
408 N Henry Street
3/20/2017

Application Package
BAR2017-00106
408 N Henry Street
3/20/2017

JOSE R VENTURA
MASTER HVAC
2710055118

CTS INC
SPRINGFIELD, VA
703-455-5520

BOARD OF ARCHITECTURAL REVIEW

Load Short Form
Entire House
Construction Trade Services Inc.

Job:
Date:
By:

7830 Backlick Rd Suite 401, Springfield, VA 22150 Phone: 703-455-5520 Fax: 703-455-5520 Email: Ron@ctsincva.com

Project Information

For: 408 N. Henry St, Alexandria, VA

Design Information

	Htg	Clg	Infiltration	
Outside db (°F)	17	95	Method	Simplified
Inside db (°F)	70	75	Construction quality	Semi-tight
Design TD (°F)	53	20	Fireplaces	0
Daily range	-	M		
Inside humidity (%)	30	50		
Moisture difference (gr/lb)	22	46		

HEATING EQUIPMENT

Make Comfortmaker
Trade AIRQUEST,ARCOAIRE,COMFORTMAKER...
Model PDS330040K**1C*
AHRI ref 2003805

Efficiency 80 AFUE
Heating input 40000 Btuh
Heating output 32000 Btuh
Temperature rise 52 °F
Actual air flow 560 cfm
Air flow factor 0.060 cfm/Btuh
Static pressure 0 in H2O
Space thermostat

COOLING EQUIPMENT

Make Goodman Mfg.
Trade GOODMAN, JANITROL, AMANA DISTI...
Cond GSX130181D*
Coil ACNF18XX16D*
AHRI ref 4699944

Efficiency 11.0 EER, 13 SEER
Sensible cooling 13272 Btuh
Latent cooling 3528 Btuh
Total cooling 16800 Btuh
Actual air flow 560 cfm
Air flow factor 0.051 cfm/Btuh
Static pressure 0 in H2O
Load sensible heat ratio 0.87

ROOM NAME	Area (ft²)	Htg load (Btuh)	Clg load (Btuh)	Htg AVF (cfm)	Clg AVF (cfm)
Bed 1	138	2175	2820	131	143
Bath SF	48	66	65	4	3
M Bed	132	1984	2756	120	140
Hall SF	78	351	1322	21	67
Kitchen	192	2263	2355	137	119
Pwdr	21	43	15	3	1
Living	183	2387	1714	144	87
Entire House	792	9269	11046	560	560
Other equip loads		0	0		
Equip. @ 1.00 RSM			11046		
Latent cooling			1647		
TOTALS	792	9269	12694	560	560

Bold/italic values have been manually overridden

Calculations approved by ACCA to meet all requirements of Manual J 8th Ed.

CONSTRUCTION TRADE SERVICES
7830 BACKLICK RD SUITE 401,
SPRINGFIELD, VA 22150
(PH) 703 455.5520 (F) 703 455.5530
rick@ctsincva.com

RENOVATION OF
NAZAR J & MARIE LUISE
SHABBAR
408 No Henry St
Alexandria, VA, 22314

MANUAL-J LOADS

SCALE 1/4" = 1'

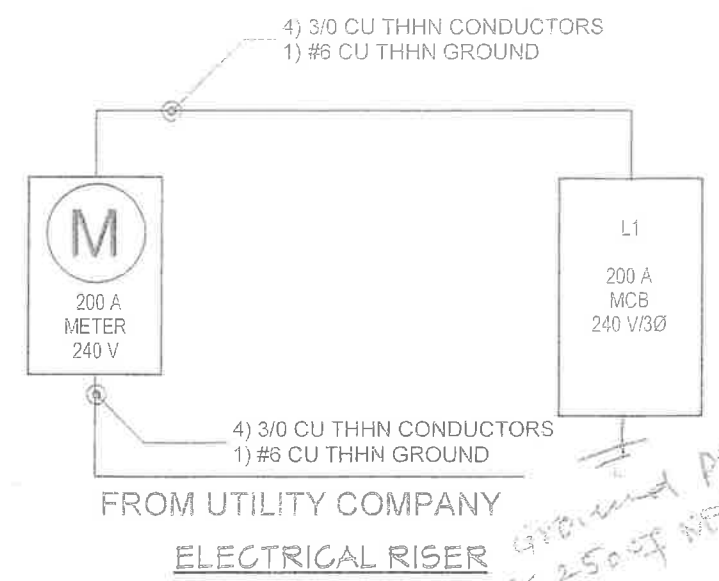
DESIGN BY:
Rock Sennett

1/8/2015

M-2

FIXTURE LEGEND

- T-STAT
- OUTLET - GFCI
- OUTLET - DUPLEX
- OUTLET - WATERPROOF GFI
- OUTLET - SINGLE (DEDICATED)
- OUTLET - QUADRAPLEX
- OUTLET - AFCI
- OUTLET - 220 V
- OUTLET - REFRIDGERATOR
- OUTLET - MICROWAVE
- CLOTHES DRYER
- CLOTHES WASHER
- DISHWASHER
- ELECTRIC RANGE
- GAS COOKTOP
- HOOD w/VENT
- GARBAGE DISPOSAL
- CABLE JACK
- CAT 5 NETWORK JACK
- TELEPHONE JACK
- TV JACK
- DISCONNECT
- ELECTRICAL PANEL
- SWITCH - SINGLE POLE
- SWITCH - DIMMER
- SWITCH - 3 WAY
- SWITCH - TIMER
- SWITCH - WATER PROOF
- EXHAUST FAN - 80 CFM
- RECESSED LIGHT
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR

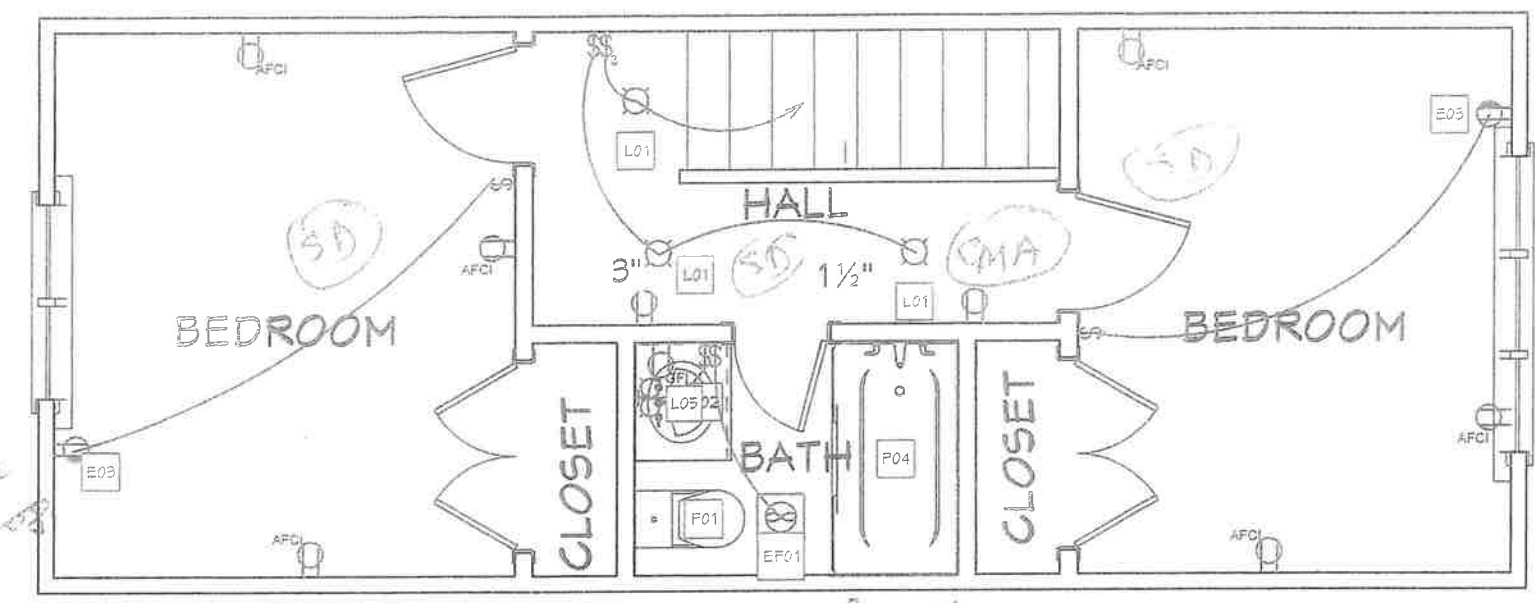


ELECTRICAL SCHEDULE			
NUMBER	QTY	ATTACHED TO	DESCRIPTION
E01	6	WALL	AFCI
E02	8	WALL	DUPLEX
E03	3	WALL	DUPLEX (SPLIT WIRED)
E04	1	WALL	ELECTRIC RANGE
E05	1	WALL	FUSED
E06	9	WALL	GFI
E07	1	WALL	GARBAGE DISPOSAL
E08	1	WALL	REFRIGERATOR
E09	14	WALL	SINGLE POLE
E10	2	WALL	THREE WAY

LIGHTING SCHEDULE			
NUMBER	QTY	ATTACHED TO	DESCRIPTION
L01	5	CEILING	CONTEMPORARY FLUSH
L02	7	CEILING	RECESSED DOWN LIGHT 6
L03	2	CEILING	TWIST PENDANT
L04	2	WALL	EXTERIOR LANTERN 1
L05	2	WALL	VANITY VALANCE

SAUL E ROMERO
MASTER
ELECTRICIAN
2710040678

CTS INC
SPRINGFIELD, VA
703-455-5520



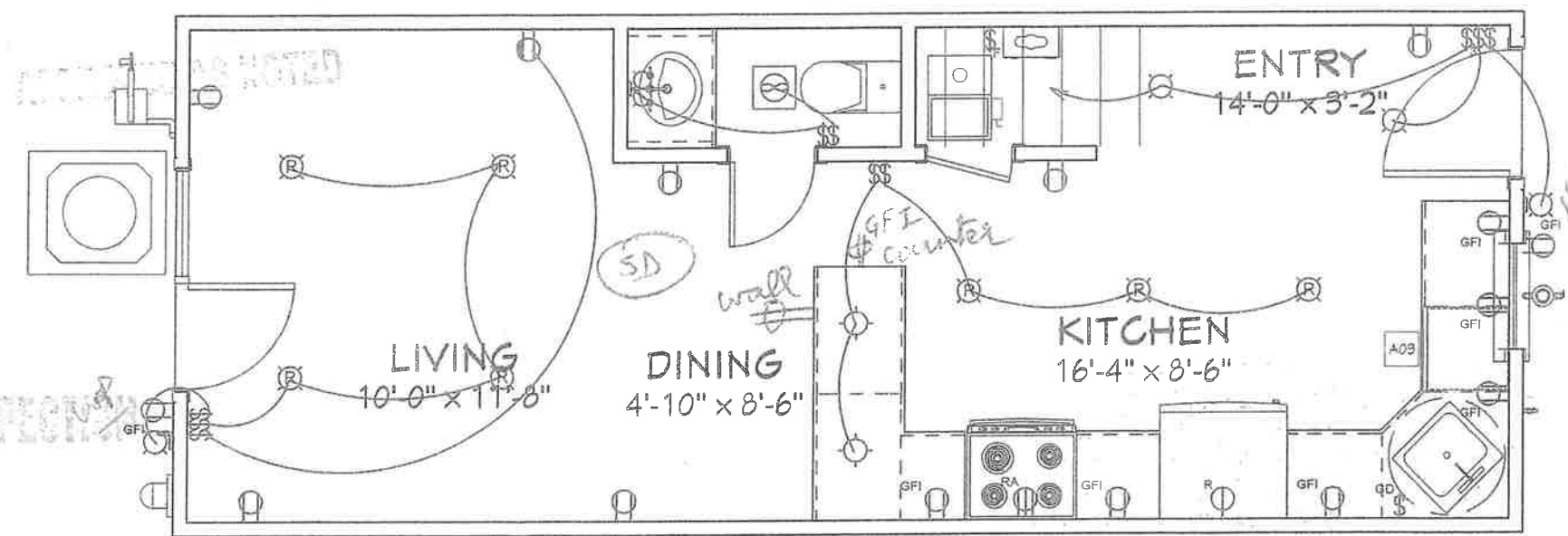
2ND FLOOR ELECTRICAL PLAN

MECHANICAL FIXTURE SCHEDULE					
NUMBER	LABEL	QTY	CODE	MANUFACTURER	COMMENTS
M01	TANKLESS WATER HEATER	1	GTS-110-PI	STATE	140 KBTUH
M02	40 MBH GAS FURNACE	1	GMS80403A*B	GOODMAN	40 KBTU, 120V, 8.5A
M03	AC UNIT	1	GSX130181D	GOODMAN	230V, 9.1A

APPLIANCE FIXTURE SCHEDULE					
NUMBER	LABEL	QTY	CODE	MANUFACTURER	COMMENTS
A01	GAS RANGE	1	JGBS10DEFBB	GE	54.4 KBTUH, 120V, 15A
A02	TOP-MOUNT REFRIGERATOR	1			
A03	DISHWASHER (BASIC)	1			

FAN SCHEDULE						
NUMBER	QTY	ATTACHED TO	DESCRIPTION	CODE	MANUFACTURER	COMMENTS
EF01	2	CEILING	EXHAUST FAN	QTXE050	BROAN	120V, 1.1A, 50 CFM

BOARD OF ARCHITECTURAL REVIEW
Provide 20A Laundry Circuit



1ST FLOOR ELECTRICAL PLAN

CONSTRUCTION TRADE SERVICES
1830 BACKLICK RD SUITE 401,
SPRINGFIELD, VA 22150
(PH) 703 455.5520 (F) 703 455.5530
rick@ctsincva.com

RENOVATION OF
NAZAR J & MARIE LUISE
SHABBAR
408 No Henry St
Alexandria, VA, 22314

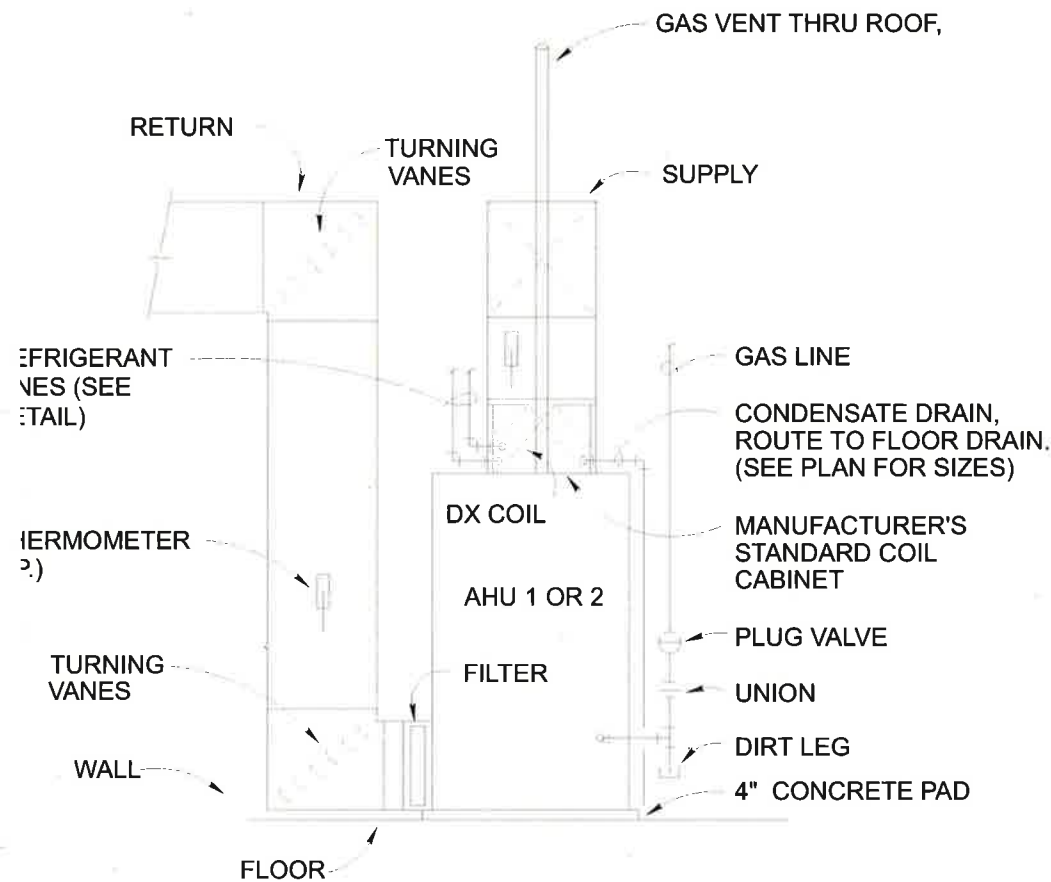
ELECTRICAL PLAN
ONE LINE RISER
FIXTURE LEGEND
SCALE 1/4" = 1'

DESIGN BY:
Rock Sennett

1/8/2015

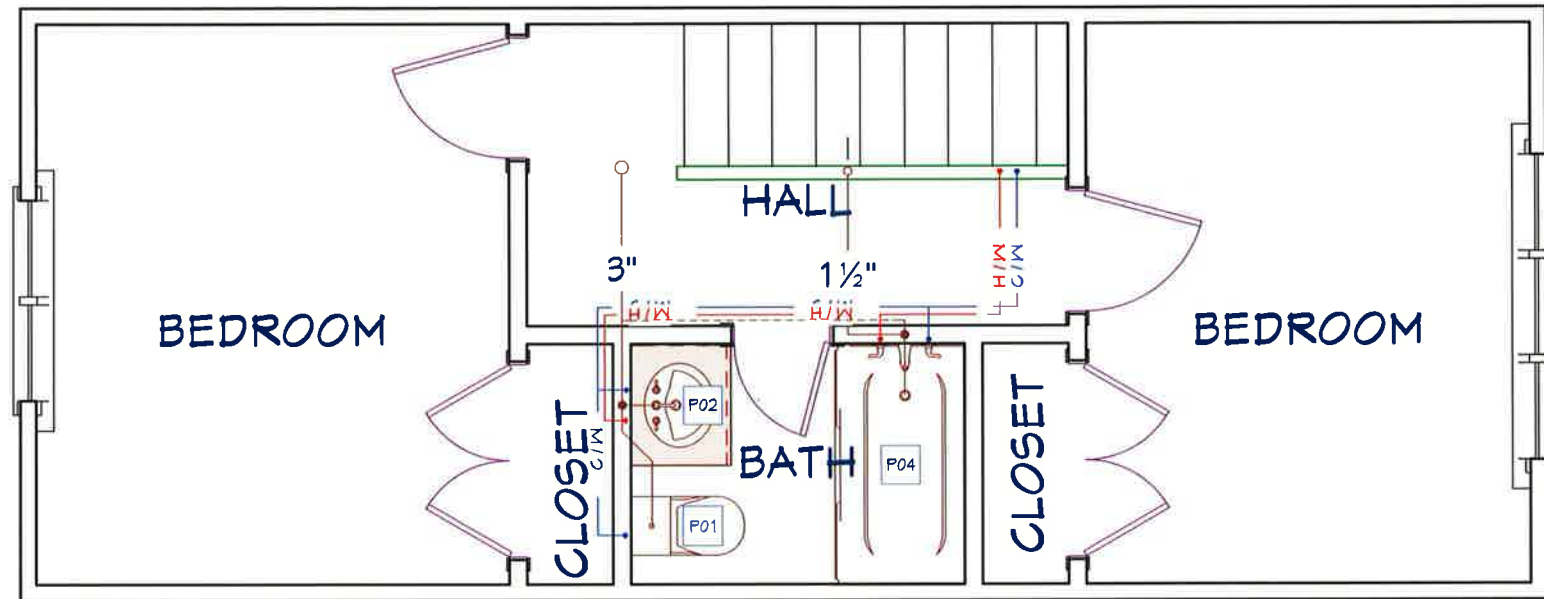
E-1

Application Package
BAR2017-00106
408 N Henry Street
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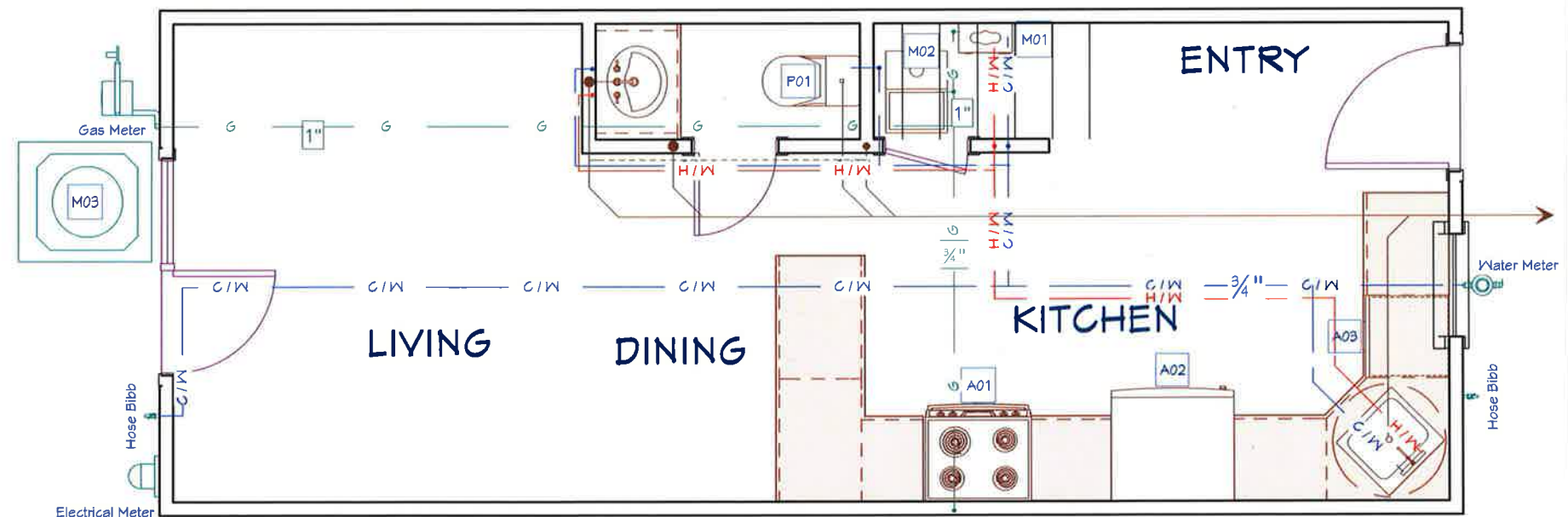
GAS-FIRED AIR HANDLING UNIT DETAIL

N.T.S.



2ND FLOOR PLUMBING PLAN

PLUMBING FIXTURE SCHEDULE					
NUMBER	LABEL	QTY	CODE	MANUFACTURER	COMMENTS
P01	ONE-PIECE TOILET	2			
P02	OVAL	2			
P03	SINGLE 24" (FLUSH) [23]	1			
P04	BATH TUB	1			



1ST FLOOR PLUMBING PLAN

SAUL E ROMERO
MASTER
ELECTRICIAN
2710040678

CTS INC
SPRINGFIELD, VA
703-455-5520

Application Package
BAR2017-00106
408 N Henry Street
3/20/2017

CONSTRUCTION TRADE SERVICES

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RENOVATION OF
NAZAR J & MARIE LUISE
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PLUMBING PLANS

SCALE 1/4" = 1'

DESIGN BY:
Rock Sennett

1/8/2015

P-1

Gas	Natural
Inlet Pressure	0.50 psi or less
Pressure Drop	0.5 inch WC
Specific Gravity	0.60

TDL 26'
40 KBTUH

TDL 28'
140 KBTUH

TDL 35'
54.4 KBTUH

TABLE 402.4(2)
SCHEDULE 40 METALLIC PIPE



N.T.S.

CE CONNECTION DETAIL



BOARD OF ARCHITECTURAL REVIEW

Application Package
BAR2017-00106
408 N Henry Street
3/20/2017

P-2

BAR Case # 2017-00106

ADDRESS OF PROJECT: 408 N. Henry St.

TAX MAP AND PARCEL: 064.01-06-17

ZONING: PB

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business (Please provide business name & contact person)

Name: Timothy Kane

Address: 8762 Cold plain ct Springfield, VA

City: Springfield State: VA Zip: 22153

Phone: 240-304-8578 E-mail: tinkane27@gmail.com

Authorized Agent (if applicable): ☐ Attorney ☐ Architect ☐

Name: Phone:

E-mail:

Legal Property Owner:

Name: Tim Kane

Address: 8762 Cold plain ct

City: Springfield State: VA Zip: 22153

Phone: 240-304-8578 E-mail: tinkane27@gmail.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☒ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: Please check all that apply

- ☒ NEW CONSTRUCTION
- ☐ EXTERIOR ALTERATION: Please check all that apply.
- | | | | |
|--------------------------------------|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☐ ADDITION
- ☐ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: Please describe the proposed work in detail (Additional pages may be attached).

New 12 ft. wide by 33.4 ft., two story Dwelling unit. To Replace a building which was demolished after a fire.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.

- N/A
- ☐ ☒ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☐ ☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☒ Description of the reason for demolition/encapsulation.
- ☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☐ ☒ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☒ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____
- ☐ ☒ Square feet of existing signs to remain: _____
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: Please read and check that you have read and understand the following items:

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: Timothy Kane

Date: 3/23/17

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. 408 N Henry, LLC	4010 Medford Dr Annandale, VA 22003	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. 408 N Henry, LLC	4010 Medford Dr Annandale, VA 22003	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. 408 N Henry LLC	N/A	None
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

3/23/17 Timothy Kane

Date

Printed Name



Signature

Application Package
BAR2017-00106
408 N Henry Street
3/20/2017



DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property Information

A1. Street Address 408 N Henry St Zone PB
 A2. 1101.5 x 0.75 = 828.1
 Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	<u>N/A</u>	Basement**	
First Floor	<u>380.1</u>	Stairways**	
Second Floor	<u>380.1</u>	Mechanical**	
Third Floor <u>Attic</u>	<u>48.0</u>	Other**	
Porches/ Other	<u>54.</u>	Total Exclusions	
Total Gross *			

B1. Existing Gross Floor Area *
 _____ Sq. Ft.
 B2. Allowable Floor Exclusions**
 _____ Sq. Ft.
 B3. Existing Floor Area minus Exclusions
 _____ Sq. Ft.
 (subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement	<u>N/A</u>	Basement**	
First Floor	<u>380.1</u>	Stairways**	<u>81</u>
Second Floor	<u>380.1</u>	Mechanical**	<u>0</u>
Third Floor	<u>48.0</u>	Other**	<u>54</u>
Porches/ Other	<u>54.0</u>	Total Exclusions	<u>135</u>
Total Gross *	<u>882.2</u>		

C1. Proposed Gross Floor Area *
882.2 Sq. Ft.
 C2. Allowable Floor Exclusions**
135 Sq. Ft.
 C3. Proposed Floor Area minus
 Exclusions 747.2 Sq. Ft.
 (subtract C2 from C1)

D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 747.2 Sq. Ft.
 D2. Total Floor Area Allowed by Zone (A2) 828.1 Sq. Ft.

*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

F. Open Space Calculations

Existing Open Space	
Required Open Space	
Proposed Open Space	

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____ Date: _____