

PRELIMINARY SITE PLAN

4607 EISENHOWER AVENUE

CITY OF ALEXANDRIA, VIRGINIA

AREA TABULATIONS

TOTAL SITE AREA = 4.6508 AC 202,590 SF
TOTAL AREA OF TAX PARCEL = 4.6508 AC 202,590 SF
TOTAL EXISTING IMPERVIOUS AREA = 4.39 AC 191,049 SF
TOTAL PROPOSED IMPERVIOUS AREA = 4.33 AC 188,570 SF
TOTAL DISTURBED AREA = 2.12 AC 92,207 SF

ZONING TABULATIONS

SITE ADDRESS: 4607 EISENHOWER AVE, ALEXANDRIA VA, 22314 (LOT 501)
TAX MAP NUMBERS: 069.01-01-02
EXISTING PARCEL AREA: 202,590 SF
EXISTING ZONE: OCM (100)
PROPOSED ZONE: OCM (100)
EXISTING USE: WAREHOUSE
PROPOSED USE: RETAIL
GROSS FLOOR AREA: EXISTING TOTAL: 103,308
PROP. RETAIL: 98,501
TOTAL: 98,501 SF
NET FLOOR AREA: 98,501 SF
FAR: MAX PER ZONING = 1.5
PROVIDED = 0.48
BUILDING HEIGHT: MAX PER ZONING = 100 FT
PROVIDED = 34.94 FT
AVERAGE FINISHED GRADE: 70.72 FT
OPEN SPACE REQUIRED: NOT REQUIRED FOR NON RESIDENTIAL USE
OPEN SPACE PROPOSED: 7,395 SF (0.17 AC.) - 3.65% OF SITE AREA
FRONTAGE REQUIRED: N/A
SETBACK REQUIRED: N/A

TRIP GENERATION

EXISTING TRIP GENERATION: 480 TRIPS/DAY*
PROPOSED TRIP GENERATION: 3,017 TRIPS/DAY**
*EXISTING TRIP GENERATION BASED ON ITE LAND USE CODE 150
**PER CONSULTATION WITH CITY STAFF TRIP GENERATION BASED ON ITE LAND USE CODE 862

PARKING TABULATIONS

PARKING REQUIRED: PARKING DISTRICT #4
RETAIL: (1.2 SPACE / 230 SF) X 98,501 SF = 514 SPACES
PARKING PROVIDED: STANDARD 113 + COMPACT 37 + ACCESSIBLE 6 = 156 SPACES

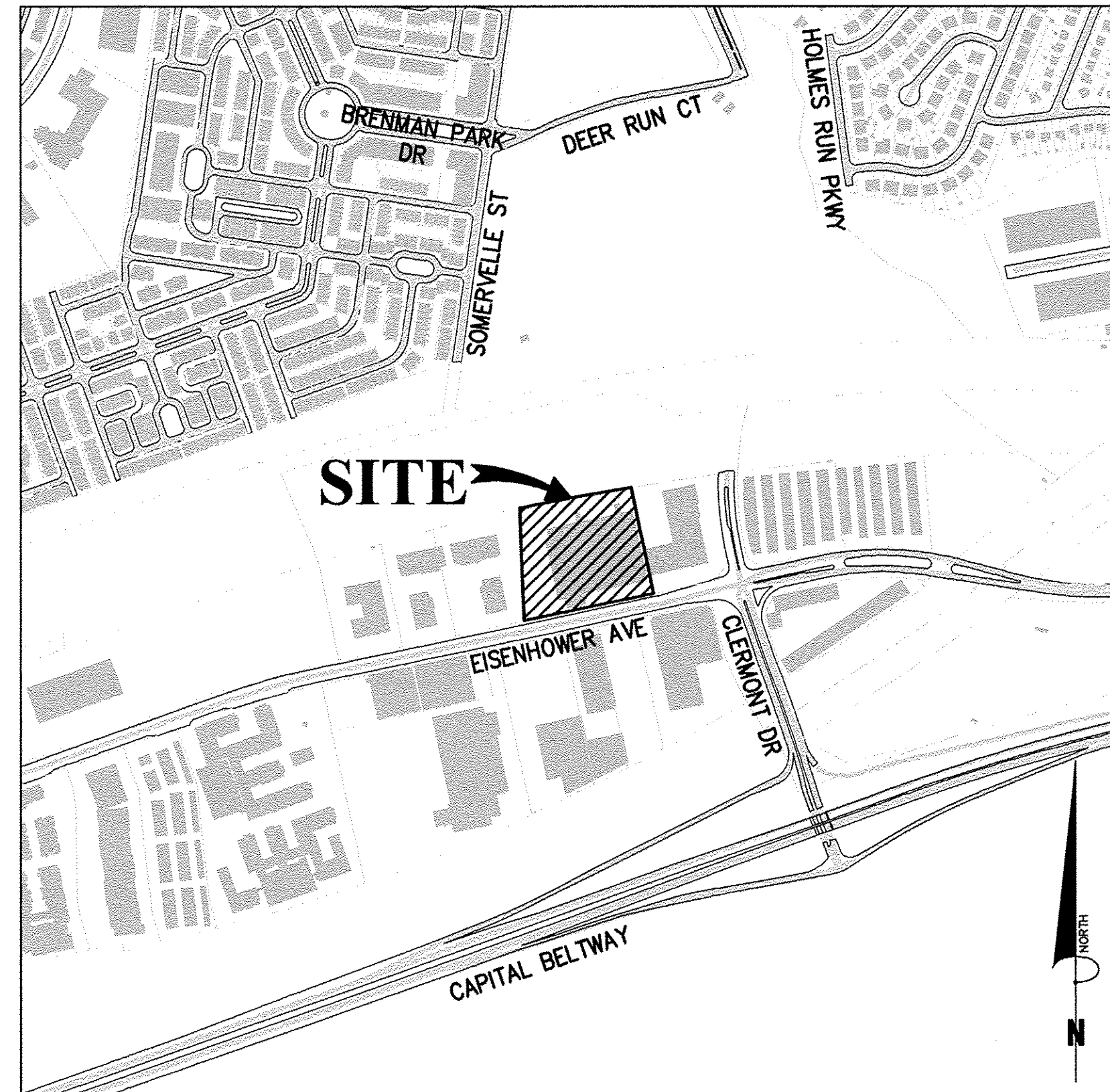
NOTE: A PARKING SPACE REDUCTION IS REQUIRED

LOADING TABULATIONS

LOADING REQUIRED: 97,850 SF OF GSF X 1 SPACES/20,000 SF = 5 SPACES
TOTAL = 5 SPACES
LOADING PROVIDED: 2 SPACES
NOTE: A LOADING SPACE REDUCTION IS REQUIRED

STREET TABULATION

	New	Upgraded
Crosswalks (number)	-	-
Standard	-	-
High Visibility	-	-
Curb Ramps	-	-
Sidewalks (LF)	-	412
Bicycle Parking (number/spaces)	8	-
Public/Visitor	8	-
Private/Garage	-	-
Bicycle Paths (LF)	-	-
Pedestrian Signals	-	-



VICINITY MAP
SCALE : 1" = 500'

OWNER

CIA BOUNDARY 4607 EISENHOWER AVE LLC
2560 HUNTINGTON AVE SUITE 200
ALEXANDRIA, VA 22303

ATTORNEY

WALSH, COLUCCI, LUBELEY & WALSH, P.C.
2200 CLARENDON BOULEVARD, SUITE 1300
ARLINGTON, VA 22201
ATTN: CATHY PUSKAR
PHONE: (703) 528-4700

CIVIL ENGINEER

BOWMAN CONSULTING GROUP
2121 EISENHOWER AVENUE, SUITE 302
ALEXANDRIA, VIRGINIA 22314
ATTN: STEVE LIAM, PE, PROJECT MANAGER
MARK S. STIRES, P.E., PRINCIPAL
PHONE: (703) 548-2188

ARCHITECT

LITTLE
410 BLACKWELL STREET
DURHAM, NC 27701
ATTN: JEFF ROARK
PHONE: (919) 474-2500

DEVELOPER

FLOOR AND DECOR OUTLETS OF AMERICA, INC.
2233 LAKE PARK DRIVE, SUITE 400
SMYRNA, GA 30080
ATTN: ED COSTA, SR. DIRECTOR OF CONSTRUCTION
PHONE: 678-505-3926

SPECIAL USE PERMIT/ZONING MODIFICATION/WAIVERS

1. DEVELOPMENT SPECIAL USE PERMIT AND SITE PLAN AMENDMENT WITH MODIFICATIONS.
2. USE PERMIT FOR RETAIL SHOPPING ESTABLISHMENT LARGER THAN 20,000 SQUARE FEET.
3. USE PERMIT FOR PARKING REDUCTION FOR COMMERCIAL USES (RETAIL PARKING AND LOADING SPACES).
4. MODIFICATION FOR CROWN COVERAGE REQUIREMENTS.
5. MODIFICATION TO LANDSCAPE DESIGN GUIDELINE REQUIREMENTS.
6. AMEND SIT 89-030.

SHEET INDEX

Sheet Number	Sheet Title
C1.00	COVER SHEET
C2.00	NOTES, ABBREVIATIONS AND LEGEND
C3.00	CONTEXTUAL PLAN
C4.00	EXISTING CONDITIONS PLAN
C4.10	PRELIMINARY EASEMENT PLAN
C4.20	DEMOLITION PLAN
C5.00	PRELIMINARY SITE PLAN
C5.10	DIMENSIONAL PLAN
C6.00	UTILITY PLAN
C6.10	STORMWATER MANAGEMENT PLAN
C6.20	STORMWATER DETAILS
C7.00	OPEN SPACE PLAN
C8.00	LANDSCAPE PLAN
C9.00	FIRE SERVICE PLAN
C9.10	LOADING TRUCK TURNING MOVEMENT PLAN
C9.20	TRASH TRUCK TURNING MOVEMENT PLAN
C9.30	PAVEMENT PLAN
C10.00	RESOURCE PROTECTION PLAN
C11.00	SIGHT DISTANCE PLAN
C12.00	PRELIMINARY LIGHTING PLAN
C12.10	PRELIMINARY LIGHTING DETAILS
T1.00	TREE INVENTORY PLAN
A1.00	EXIST/DEMO PLAN
A2.00	FLOOR PLAN
A3.00	ROOF PLAN
A4.00	PRELIMINARY EXTERIOR ELEVATIONS
A4.10	PRELIMINARY ENLARGED EXTERIOR ELEVATIONS
A5.00	PRELIMINARY SITE SECTIONS
A6.00	MASSING VIEWS
A7.00	EXISTING CONDITIONS PHOTOS
TOTAL SHEETS = 30	

FIRE FLOW

INFORMATION SHALL PROVIDED BY VIRGINIA AMERICAN WATER AT A LATER DATE.

SOIL INFORMATION

A GEOTECHNICAL REPORT FOR THIS SITE SHALL BE PROVIDED AT A LATER DATE. NO ON-SITE CONTAMINATION IS KNOWN OF AT THIS TIME TO THE BEST OF OUR KNOWLEDGE, MARINE CLAYS ARE NOT PRESENT ON THE PROJECT SITE.

EXISTING TOPOGRAPHY NOTE

THE TOPOGRAPHY SHOWN HEREON IS A COMBINATION OF CITY OF ALEXANDRIA RECORDS AND FIELD RUN SURVEY PERFORMED BY BOWMAN CONSULTING GROUP AND DATED JUNE 2016.

RPA NOTE:

THERE ARE RPA'S ON THIS SITE ACCORDING TO CITY OF ALEXANDRIA RECORD MAPS. REFER TO SHEET C10.00 FOR RPA ZONES IN THE VICINITY OF THE SITE. LOCATION IS APPROXIMATE AND GENERATED FROM GIS INFORMATION.

FLOODPLAIN NOTE:

THE SURVEYED PROPERTY SHOWN HEREON IN ZONE "X" (UN-SHADED)(AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP FOR CITY OF ALEXANDRIA, VIRGINIA, COMMUNITY-PANEL NUMBER 5155190036E, MAP REVISED JUNE 16, 2011.

NARRATIVE

THE APPLICANT PROPOSES THE RENOVATION OF AN EXISTING WAREHOUSE BUILDING INTO A RETAIL USE PROPOSED TO BE A FLOOR AND DECOR RETAIL SHOWROOM BUILDING WITH APPROXIMATELY 98,501 SF. MINIMAL SITE WORK IS REQUIRED TO ADAPT THE EXISTING BUILDING AND PARKING CONFIGURATION FOR THE NEW USE.

APPROVED

SPECIAL USE PERMIT NO. 2016-0023
DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION _____ DATE _____	
DATE RECORDED _____	
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____	

Bowman
CONSULTING

Bowman Consulting Group, Ltd.
2121 Eisenhower Avenue
Alexandria, Virginia 22314

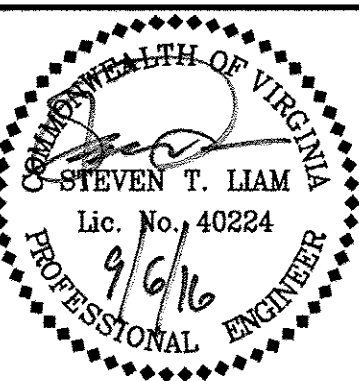
Phone: (703) 548-2188
Fax: (703) 683-5781

www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

COVER SHEET

4607 EISENHOWER AVENUE
FLOOR & DECOR STORE # VA-ALEX-2017

CITY OF ALEXANDRIA VIRGINIA



PLAN STATUS	
6/13/16	CONCEPT STAGE I & II
7/18/16	PRELIMINARY SITE PLAN
9/6/16	PRELIMINARY SITE PLAN

DATE	DESCRIPTION
DD	TH SL
DESIGN	DRAWN CHKD
SCALE	H: AS SHOWN V: _____
JOB No. 4636-05-002	
DATE : JUNE 2016	
FILE No. 4636-05-002	

SHEET C1.00

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	INDEX CONTOUR	
	INTERMEDIATE CONTOUR	
	EDGE OF PAVEMENT	
	CURB AND GUTTER	
	TRANSITION FROM CSCG-2 TO CSCG-1	
	PROPOSED HEADER CURB	
	PROPERTY LINE	
	DEPARTING PROPERTY LINE	
	LOT LINE	
	RIGHT-OF-WAY	
	CENTERLINE	
	FLOOD PLAIN	
	LIMITS OF DISTURBANCE	
	TREE LINE	
	FLOW LINE OF SWALE	
	STREAM	
	OVERLAND RELIEF PATHWAY	
	FENCE LINE	
	EASEMENT	
	WATER LINE	
	WATER VALVE	
	WATER REDUCER	
	SANITARY SEWER	
	STORM SEWER	
	CABLE TV	
	ELECTRIC SERVICE	
	TELEPHONE SERVICE	
	GAS LINE	
	OVERHEAD ELECTRIC	
	OVERHEAD TELEPHONE	
	SPOT ELEVATION	
	UTILITY POLE	
	SIGN	
	SANITARY SEWER IDENTIFIER	
	STORM DRAIN IDENTIFIER	
	WATER METER	
	FIRE HYDRANT	
	PARKING INDICATOR	
	INDICATES THE NUMBER OF TYPICAL PARKING SPACES	
	STREET LIGHT	
	VEHICLES PER DAY (TRAFFIC COUNT)	
	TEST PIT LOCATION RECOMMENDED/REQUIRED	
	CRITICAL SLOPE	
	SLOPES TO BE STABILIZED PURSUANT TO VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK	
	DOOR ENTRANCE	
	HANDICAP RAMP (CSPR-1)	
	DENOTES CLEAR SIGHT TRIANGLE	
	TREE	
	BENCHMARK	
	ASPHALT TRAIL	
	CONCRETE SIDEWALK	
	BRICK SIDEWALK	
	END WALLS	
	END SECTIONS	
	STOP SIGN	
	STREET SIGN	
	WETLAND FLAG LOCATION (AB#)	
	HANDICAP PARKING SPACE (VAN)	
	RIP RAP	

ABBREVIATIONS

AASHTO	AREA OF ARC	I	RAINFALL INTENSITY
	AMERICAN ASSOCIATION OF STATE HWY	ID	INSIDE DIAMETER OR IDENTIFICATION
	& TRANSP OFFICIALS	IE	INVERT ELEVATION
AC	ACRE	IN	INCH
ADJ	ADJACENT	INV	INVERT
AGGR	AGGREGATE	IP	IRON PIPE
AHD	AHEAD	IPF	IRON PIPE FOUND
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	IPS	IRON PIPE SET
APPROX	APPROXIMATE	JB	JUNCTION BOX
ARCH	ARCHITECTURAL	JNT	JOINT
ASPH	ASPHALT		
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	K	SIGHT DISTANCE COEFFICIENT
AWWA	AMERICAN WATER WORKS ASSOCIATION	Ke	CULVERT ENTRANCE LOSS COEFFICIENT
B	BREADTH	L	LENGTH
BC	BACK OF CURB	LAT	LATERAL
BF	BASEMENT FLOOR	LCG	LIMITS OF CLEARING & GRADING
BLDG	BUILDING	LF	LINEAR FEET
BM	BENCHMARK	LL	LOWER LEVEL
BMP	BEST MANAGEMENT PRACTICES (WATER QUALITY)	LOS	LINE OF SIGHT
B/V	BLOW OFF VALVE	LP	LOW POINT
BRG	BEARING	LS	LOADING SPACE
BRL	BUILDING RESTRICTION LINE	L	LEFT
BVCE	BEGINNING VERTICAL CURVE ELEVATION	M	MONUMENT FOUND
BVCS	BEGINNING VERTICAL CURVE STATION	MAX	MAXIMUM
BW	BOTTOM OF WALL	MECH	MECHANICAL
		MH	MANHOLE
c,e	CENTER CORRECTION ON VERTICAL CURVE	M	MILE
C	CURNOFF COEFFICIENT	MIN	MINIMUM
C&G	CABLE TELEVISION	MISC	MISCELLANEOUS
CATV	CURB AND GUTTER	MPH	MILES PER HOUR
CB	CATCH BASIN	MS	MEDIAN STRIP
CBR	CALIFORNIA BEARING RATIO	MSL	MEAN SEA LEVEL
CC	CENTER TO CENTER	NA OR N/A	NOT APPLICABLE
CF	CUBIC FEET	NBL	NORTH BOUND LANE
CFS	CUBIC FEET PER SECOND	N/F	NOW OR FORMERLY
CG(R)	CURB AND GUTTER (REVERSE SLOPE)	NFA	NET FLOOR AREA
CH	CHORD	NO. OR #	NUMBER
CHBRG	CHORD BEARING	OC	ON CENTER
CIP	CAST IRON PIPE	OBJ	OBJECT
CL	CENTERLINE OR CLASS	OD	OUTSIDE DIAMETER
C	CENTERLINE	OH	OVERHANG
C/L	CLEAR	O/H	OVERHEAD
CLR	CLEAR	OHC	OVERHEAD CABLE
CM	CUBIC METERS	OHE	OVERHEAD ELECTRIC
CMP	CORRUGATED METAL PIPE	OHT	OVERHEAD TELEPHONE
CMS	CUBIC METERS PER SECOND		
CN	RUNOFF CURVE NUMBER	P	PERIMETER
CONT	CONTINUOUS	P&P	PLAN AND PROFILE
CO	CLEAN OUT	PC	POINT OF CURVATURE
CONC	CONCRETE	PCC	POINT OF COMPOUND CURVE
CS	CURB STOP	PCEC	POINT OF CURVATURE TOP OF CURB
CT	COURT	PCEP	POINT OF CURVE EDGE OF PAVEMENT
CTR	CENTERLINE	PFM	PUBLIC FACILITIES MANUAL
CY	CUBIC YARD	PG	PAGE
		PGL	POINT OF GRADE LINE
D	DEPTH	PI	POINT OF INTERSECTION
DA	DRAINAGE AREA	PL	PROPERTY LINE
DB	DEED BOOK	E	PROPERTY LINE
DEQ	VA. DEPARTMENT OF ENVIRONMENTAL QUALITY	PRC	POINT OF REVERSE CURVE
DET	DETAIL		
DIA	DIAMETER	PRELIM	PRELIMINARY
DID	DUCTILE IRON PIPE	PROP	PROPOSED
DI	DROP INLET	PT	POINT OF TANGENCY
DIST	DISTANCE	PVC	POINT OF VERTICAL CURVE
DL	DOMESTIC LINE	PM	POINT OF VERTICAL INTERSECTION
DM	DROP MANHOLE	PVMT	PAVEMENT
DOM	DOMESTIC	PVRC	POINT OF VERTICAL REVERSE CURVE
DR	DRIVE	PVT	POINT OF VERTICAL TANGENT
DRN	DRAINAGE AREA	Q (cfs)	AMOUNT OF RUNOFF (FLOW RATE)
DS	DOWN SPOUT		
DU	DWELLING UNITS	R	RADIUS
DWG	DRAWING	RD	REINFORCED CONCRETE PIPE
D/W	DRIVEWAY	RCP	ROAD OR ROOF DRAIN
Δ	DELTA	REINF	REINFORCED
E	RATE OF SUPER ELEVATION	REQD	REQUIRED
EA	EACH	RET	RETAINING
EBL	EAST BOUND LANE	REV	REVISION
EC	EROSION CONTROL	RGV	ROUGH GRADING PLAN
ES	EDGE OF GUTTER	RMA	RESOURCE MANAGEMENT AREA
EQL	ENERGY GRADIENT LINE	ROM	REMOTE OUTSIDE MONITOR
EL	ELEVATION	RPA	RESOURCE PROTECTION AREA
ELEC	ELECTRIC	RR	RAILROAD
ELEV	ELEVATION	RT	RIGHT
ENGR	ENGINEER	ROUTE	ROUTE
ENT	ENTRANCE	R/W	RIGHT OF WAY
EP	EDGE OF PAVEMENT		
EQUIP	EQUIPMENT	S	SPEED OR SLOPE
ES	END SECTION	SAN	SANITARY
ESMT	EASEMENT	SBL	SOUTH BOUND LANE
ETD	EXISTING TO BE DEMOLISHED	SCH	SCHEDULE
ETR	EXISTING TO REMAIN	SD	SIGHT DISTANCE
ETRL	EXISTING TO BE RELOCATED	SEC	SECTION
ETRP	EXISTING TO BE REPLACED	SECT	SECTION
EVCE	ENDING VERTICAL CURVE ELEVATION	SEW	SEWER
EVCS	ENDING VERTICAL CURVE STATION	SF	SQUARE FEET
EW	END WALL	SH	SHOULDER
EX	EXISTING	SP	SPACE OR SITE PLAN
EQC	ENVIRONMENTAL QUALITY CORRIDOR	SPEC	SPECIFICATIONS
F	FIRE LINE	STA	STATION
FAR	FLOOR AREA RATIO	STD	STANDARD
FC	FACE OF CURB	STK	STACK
FCPA	FAIRFAX COUNTY PARK AUTHORITY	STM	STORM
FCWA	FAIRFAX COUNTY WATER AUTHORITY	STR	STRUCTURE
FD	FLOOR DRAIN	SVC	SERVICE
FF	FIRST FLOOR	S/W	SIDEWALK
FG	FINISH GRADE	SWM	STORM WATER MANAGEMENT
FH	FIRE HYDRANT	Sx	CROSS SLOPE
FL	FLOW LINE	SY	SQUARE YARD
FND	FOUNDATION		
FOY	FOYER	T	TANGENT
FP	FLOOR PLAN	TB	TOP OF BANK OR TEST BORING
FPS	FEET PER SECOND	Tc	TOP OF CURB
FS	FIRE SERVICE OR FACTOR OF SAFETY	Tc	TIME OF CONCENTRATION
FT	FOOT / FEET	TEL	TELEPHONE
		TEMP	TEMPORARY
G	GAS	TH	TEST HOLE
GAR	GARAGE	TP	TEST PIT OR TREE PROTECTION
GFA	GROSS FLOOR AREA	TRANSP	TRANSPORTATION
GR	GUARD RAIL OR GRATE INLET	TW	TOP OF WALL OR TAILWATER
		TYP	TYPICAL
H	HEAD	UG	UNDERGROUND
HC	HANDICAP	UGE	UNDERGROUND ELECTRIC
HB	HORIZONTAL BEND	UGT	UNDERGROUND TELEPHONE
HGL	HYDRAULIC GRADE LINE	UGC	UNDERGROUND CABLE
HORZ	HORIZONTAL	UL	UNDERDRAIN
HP	HIGH POINT	UL	UPPER LEVEL
HR	HAND RAIL	UP	UTILITY POLE
HT	HEIGHT	USGS	US GEOLOGICAL SURVEY
HW	HEADWATER		

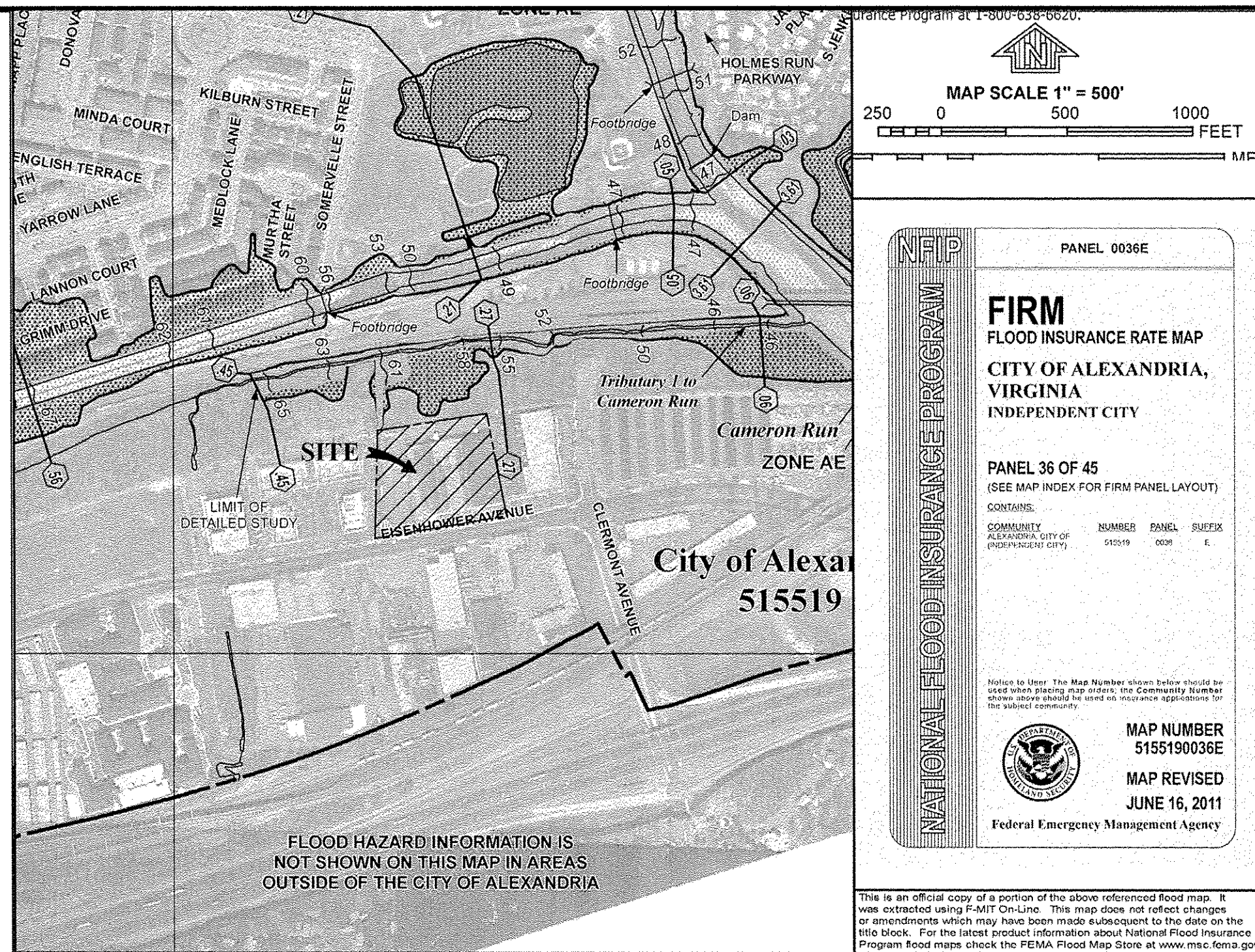
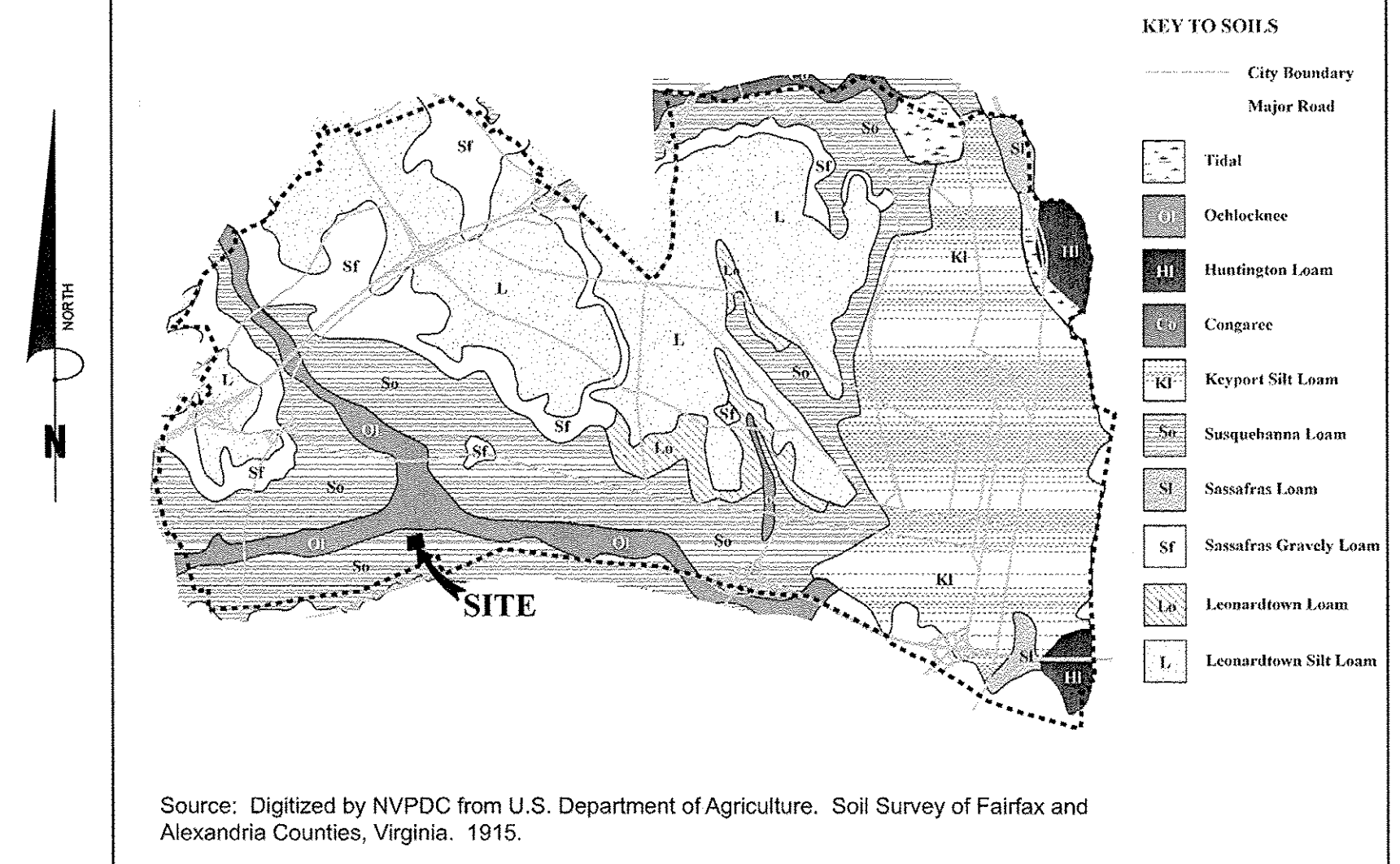


FIGURE II.8
Generalized Alexandria Soils Map



SOILS MAP
N.T.S.

GENERAL NOTES

1. BOUNDARY INFORMATION AS SHOWN HEREON IS COMPILED FROM EXISTING LAND RECORDS OF THE CITY OF ALEXANDRIA AND A FIELD SURVEY PERFORMED BY BOWMAN CONSULTING GROUP, LTD. IN JUNE 2016.
2. THE SUBJECT PROPERTY IS NOT LOCATED IN A COMBINED SEWER AREA.
3. THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703.746.4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
4. THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.

ENVIRONMENTAL SITE ASSESSMENT NOTE

THERE ARE NO TIDAL WETLANDS, TIDAL SHORES, TRIBUTARY STREAMS, CONNECTED TIDAL WETLANDS, HIGHLY ERODIBLE/PERMEABLE SOILS OR BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS OR WETLANDS LOCATED ON THIS SITE. ADDITIONALLY, THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS OR AREAS OF SOIL OR GROUNDWATER CONTAMINATION ON THE SITE. THE SITE DOES NOT LIE IN A COMBINED SEWER AREA.

THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, OFFICE OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL, IT'S CONTENTS, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE AND CITY REGULATIONS.

ALL WELLS TO BE DEMOLISHED IN THIS PROJECT, INCLUDING MONITORING WELLS, MUST BE CLOSED IN ACCORDANCE WITH VIRGINIA STATE WATER CONTROL BOARD (VSWCB) REQUIREMENTS. CONTACT AN ENVIRONMENTAL HEALTH SPECIALIST, AND COORDINATE WITH ALEXANDRIA HEALTH DEPARTMENT AT 703 746-4400.

ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE 11, CHAPTER 5, WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:

- MONDAY THROUGH FRIDAY FROM 7 AM TO 6 PM
- SATURDAYS FROM 9 AM TO 6PM.
- NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS.

PILE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING HOURS:

- MONDAY THROUGH FRIDAY FROM 9 AM TO 6 PM
- SATURDAYS FROM 10 AM TO 4 PM.

V	OR VOL	VOLUME
V	OR VEL	VELOCITY
VA		VIRGINIA
VAN		HANDICAPPED VAN PARKING SPACE
VB		VERTICAL BEND
VC		VERTICAL CURVE
VDOT		VA DEPT. OF TRANSPORTATION
VF		VERTICAL FOOT
W		WEIGHT OR WIDTH
WBL		WEST BOUND LANE
WL		WATER LINE
WM		WATER METER
W/M OR WM		WATER MAIN
WP		WALLED PLANTER BOX
WQIA		WATER QUALITY IMPACT ASSESSMENT
WV		WATER VALVE
XF		TRANSFORMER
YI		YARD INLET
YR		YEAR
Z		SIDE SLOPES

NOTE:
THIS IS A STANDARD SHEET. THEREFORE, SOME
ABBREVIATIONS MAY APPEAR ON THIS SHEET AND
NOT BE USED ON THE PROJECT.

APPROVED	
SPECIAL USE PERMIT NO. <u>2016--0023</u>	
DEPARTMENT OF PLANNING & ZONING	
_____ DIRECTOR	_____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
_____ CHAIRMAN, PLANNING COMMISSION	
_____ DATE	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

DATE		DESCRIPTION	
DD	TH	SL	
DESIGN	DRAWN	CHKD	
SCALE	H: N/A V:		
JOB No. 4636-05-002			
DATE : JUNE 2016			
FILE No. 4636-05-002			

SHEET C2.00

NOTES, ABBREVIATIONS AND LEGEND

4607 EISENHOWER AVENUE
FLOOR & DECOR STORE # VA-ALEX-2017

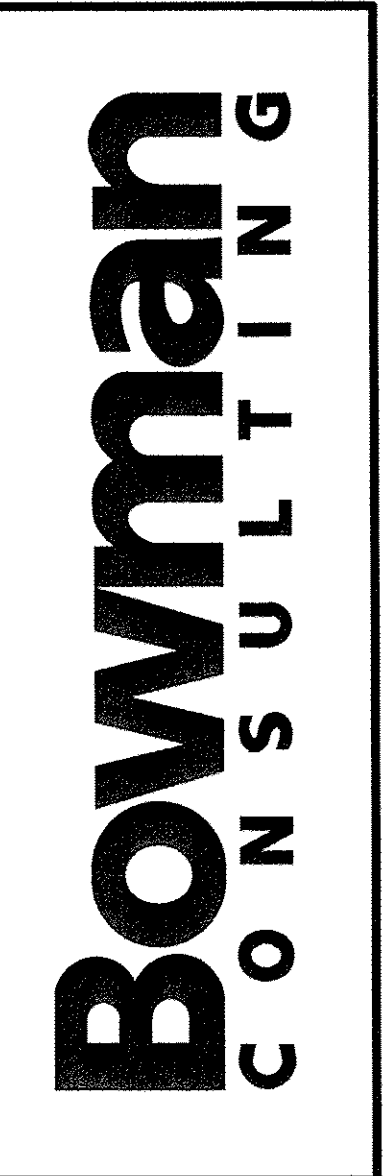
CITY OF ALEXANDRIA

Bowman Consulting Group, Ltd.
2121 Eisenhower Avenue
Alexandria, Virginia 22314

Phone: (703) 548-2188
Fax: (703) 683-5781
www.bowmanconsulting.com

© Bowman Consulting Group, Ltd.

Cad file name : P:\4636 - 4607 Eisenhower\4636-05-002 (ENG) - 4607 Eisenhower Ave PDSUP & FDSUP\Engineering\Engineering Plans\SHEETS\4636-D-003-C2.00-LEG-NOTES.dwg

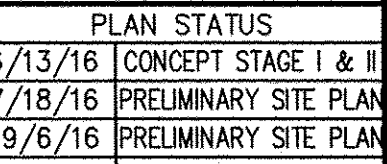


CITY OF ALEXANDRIA

CONTEXTUAL PLAN

4607 EISENHOWER AVENUE
FLOOR & DECOR STORE # VA-ALEX-2017

VIRGINIA

SHEET C3.00

GRAPHIC SCALE

(IN FEET)
1 inch = 200 ft.

LEGEND	
	METRO STATION
	BUS STOP
— · — · —	BUS ROUTE
—————	RAIL LINE
-----	METRO LINE
.....	DISTANCE TO METRO (4,685 FEET)

APPROVED	
SPECIAL USE PERMIT NO. <u>2016-0023</u>	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF PLANNING & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	DATE _____
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____



1. TITLE REPORT FURNISHED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. V09-6059, DATED JUNE 3, 2009.
2. THE PROPERTY DELINEATED HEREON IS SHOWN ON THE CITY OF ALEXANDRIA TAX ASSESSMENT MAP AS PARCEL 69-00-01-02 AND IS ZONED OCM100.
3. THE PROPERTY DELINEATED HEREON IS LOCATED IN FLOOD ZONE "X" (OUTSIDE THE 500 YEAR FLOOD PLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP OF ALEXANDRIA AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY PANEL NUMBER 515519 0005 D. DATED MAY 15, 1991.
4. THE PERMANENT VDOT EASEMENT IS SHOWN AS DEPICTED ON SHEET 4B OF THE VDOT PROJECT U000-100-V09, RW-201 AND U00-100-109, C-501.
5. THE PROPERTIES HORIZONTAL DATUM IS IN NAD83, VA NORTH ZONE. THE VERTICAL DATUM IS NAVD88

ZONING NOTES

THE FOLLOWING INFORMATION WAS TAKEN FROM SEC. 4-1000 OCM(100)/OFFICE COMMERCIAL MEDIUM (100) ZONE, OF THE CITY OF ALEXANDRIA ZONING ORDINANCE.

SETBACK: FOR NONRESIDENTIAL USES, THERE ARE NO YARD OR OPEN SPACE REQUIREMENTS EXCEPT AS MAY BE APPLICABLE PURSUANT TO THE SUPPLEMENTAL YARD OR SETBACK REGULATIONS OF SECTION 7-1000 AND THE ZONE TRANSITION REQUIREMENTS OF SECTION 7-900.

HEIGHT: THE MAXIMUM PERMITTED HEIGHT OF A BUILDING IS 100 FEET, EXCEPT THAT ADDITIONAL HEIGHT UP TO A MAXIMUM OF 150 FEET MAY BE APPROVED WITH A SPECIAL USE PERMIT.

F.A.R.: THE MAXIMUM FLOOR AREA RATIO FOR NONRESIDENTIAL USES IS 1.50.

SCHEDULE B – SECTION II NOTES

- 8) DEED OF EASEMENT TO BELL ATLANTIC--VIRGINIA, INC. RECORDED IN DEED BOOK 1569 AT PAGE 469 AFFECTS LOT 500 AND IS SHOWN ON THE SURVEY.
- 9) EASEMENT AGREEMENTS TO VIRGINIA ELECTRIC AND POWER COMPANY RECORDED IN:
A) DEED BOOK 580 AT PAGE 347 AFFECTS LOT 501
B) DEED BOOK 679 AT PAGE 269 AFFECTS LOT 500
C) DEED BOOK 706 AT PAGE 656 AFFECTS LOT 501
D) DEED BOOK 1167 AT PAGE 1594 AFFECTS LOT 500
E) DEED BOOK 1230 AT PAGE 1255 AFFECTS LOT 501
F) DEED BOOK 1571 AT PAGE 1494 AFFECTS LOT 500
ALL OF WHICH ARE SHOWN ON THE SURVEY.
- 10) EASEMENT AGREEMENT CONTAINED IN DEED RECORDED IN DEED BOOK 611 AT PAGE 375 AFFECTS LOT 500 AND IS SHOWN ON THE SURVEY.
- 11) EASEMENT TO THE CITY OF ALEXANDRIA RECORDED IN DEED BOOK 681 AT PAGE 584 AFFECTS LOT 501 AND IS SHOWN ON THE SURVEY.
- 12) PLAT ATTACHED TO DEED OF RESUBDIVISION RECORDED IN DEED BOOK 830 AT PAGE 249 SHOWS THE FOLLOWING AS TO LOT 500:
A) SLOPE MAINTENANCE EASEMENT
B) EXISTING TEN (10) FOOT SANITARY SEWER EASEMENT
C) EXISTING EIGHTY (80) FOOT RIGHT OF WAY RESERVATION
ALL OF WHICH ARE SHOWN ON THE SURVEY.
- 13) PLAT ATTACHED TO DEED OF EASEMENT RECORDED IN DEED BOOK 1153 AT PAGE 1117 SHOWS THE FOLLOWING, AS TO LOT 500:
A) TEN (10) FOOT PRIVATE STORM DRAINAGE EASEMENT
B) TWENTY (20) FOOT EMERGENCY VEHICLE EASEMENT
C) TWENTY (20) FOOT STORM DRAINAGE EASEMENT
D) TEN (10) PRIVATE STORM DRAINAGE EASEMENT
E) FIFTEEN (15) FOOT PRIVATE STORM DRAINAGE EASEMENT
ALL OF WHICH ARE SHOWN ON THE SURVEY.
- 14) TWENTY--TWO (22) FOOT EMERGENCY VEHICLE EASEMENT RECORDED IN DEED BOOK 1223 AT PAGE 1063 AND IN DEED BOOK 701 AT PAGE 481 AFFECTS LOT 501 AND IS SHOWN ON THE SURVEY.
- 15) PLAT ATTACHED TO DEED OF RESUBDIVISION AND PARTIAL RELEASE RECORDED IN DEED BOOK 1180 AT PAGE 383 SHOWS, AS TO LOT 501:
A) TWO (2) FOOT INGRESS--EGRESS CONSTRUCTION EASEMENT
B) NOTE NO. 3 ON PLAT AS TO INGRESS--EGRESS AND CONSTRUCTION EASEMENT FOR THE USE OF LOT 500 AND ASSIGNS AFFECTS LOT 501 AND IS SHOWN ON THE SURVEY.

LEGAL DESCRIPTION

LOT 501 AS RESUBDIVIDED IN DEED BOOK 1180 AT PAGE 383, AND CONSENTED TO IN DEED BOOK 1181 AT PAGE 1165, AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.

TOGETHER WITH THE RIGHT OF ACCESS OVER ANY AND ALL ROADS, DRIVEWAYS,
PARKING AREAS OR OTHER PAVED AREAS LOCATED ON THAT CERTAIN PROPERTY
DESCRIBED AS FOLLOWS:

LOT 500 AS RESUBDIVIDED IN DEED BOOK 1180 AT PAGE 383 AND CONSENTED TO IN DEED BOOK 1181 AT PAGE 1165 AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA.

AND BEING THE SAME PROPERTY CONVEYED TO SECURITY STORAGE COMPANY OF WASHINGTON, A DELAWARE CORPORATION, BY DEED FROM 4607 EISENHOWER ASSOCIATES, LLC, A VIRGINIA LIMITED LIABILITY COMPANY, DATED SEPTEMBER 28, 1998 AND RECORDED SEPTEMBER 29, 1998 IN DEED BOOK 1662 AT PAGE 1352 AMONG THE LAND RECORDS OF ALEXANDRIA, VIRGINIA.

APPROVED

APPROVED
SPECIAL USE PERMIT NO. 2016-0023
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

 DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.
----------------	---------------	----------

Bowman CONSULTING

Bowman Consulting Group, Ltd.
2121 Eisenhower Avenue
Alexandria, Virginia 22314

Phone: (703) 548-2188

Fax: (703) 683-5781

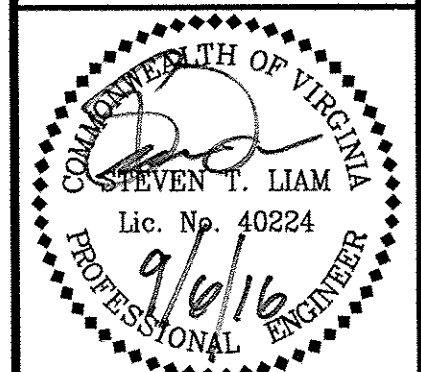
www.bowmanconsulting.com

© Bowman Consulting Group, Ltd.

EXISTING CONDITIONS PLAN

4607 EISENHOWER AVENUE
FLOOR & DECOR STORE # VA-ALEX-2017

CITY OF ALEXANDRIA VIRGINIA



PLAN STATUS

6/13/16	CONCEPT STAGE I & II
---------	----------------------

7/18/16	PRELIMINARY SITE PLAN
---------	-----------------------

9/6/16	PRELIMINARY SITE PLAN
--------	-----------------------

DATE	DESCRIPTION	
DD	TH	SL
DESIGN	DRAWN	CHKD
SCALE	H: 1" = 30'	
	V:	

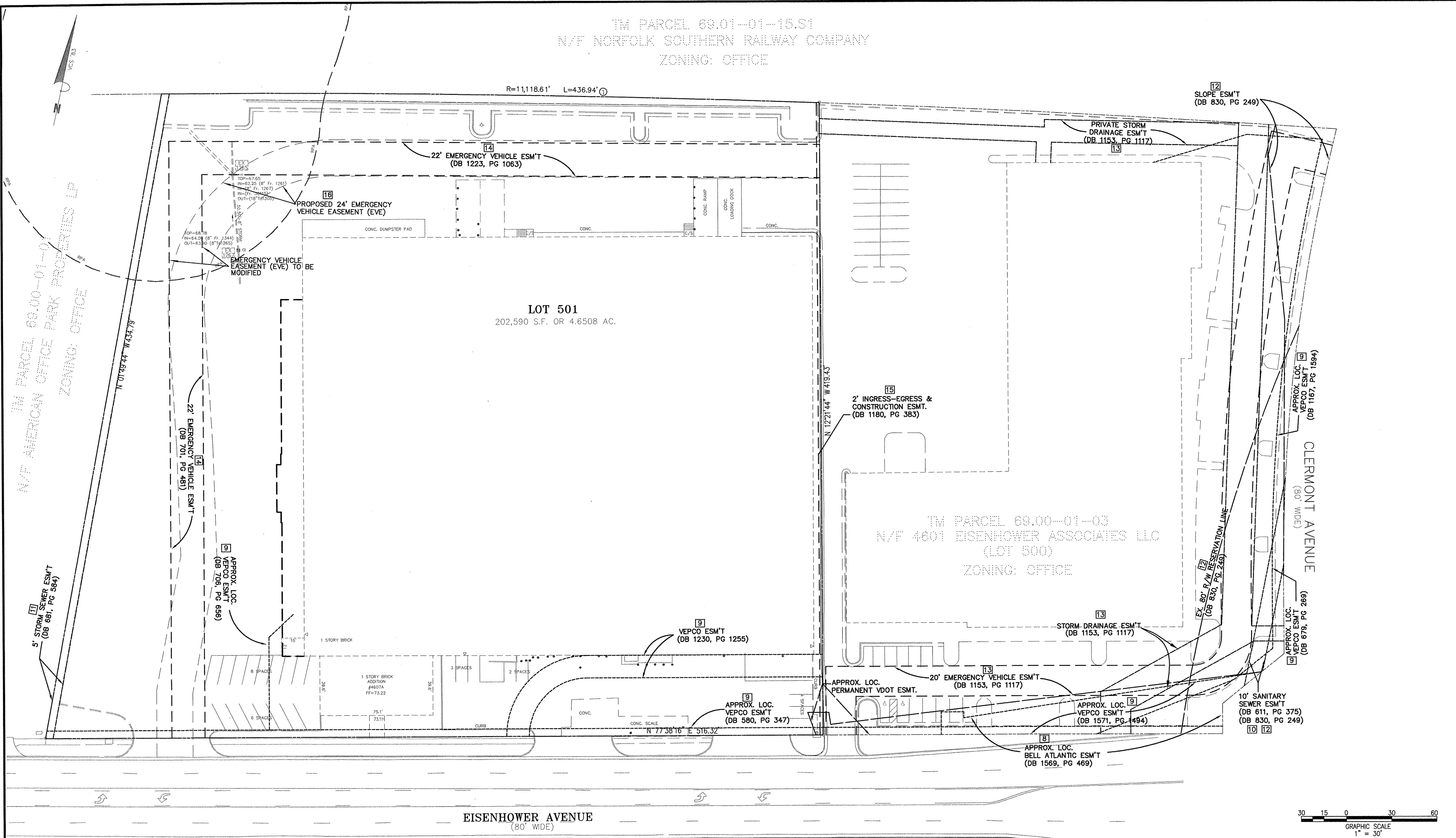
JOB No. 4636-05-002

DATE: JUNE 2016

DATE : JUNE 2016

FILE No. 4636-05-002

SHEET C4.00



SCHEDULE B -- SECTION II NOTES

- [8] DEED OF EASEMENT TO BELL ATLANTIC-VIRGINIA, INC. RECORDED IN DEED BOOK 1569 AT PAGE 469 AFFECTS LOT 500 AND IS SHOWN ON THE SURVEY.
- [9] EASEMENT AGREEMENTS TO VIRGINIA ELECTRIC AND POWER COMPANY RECORDED IN:
- A) DEED BOOK 580 AT PAGE 347 AFFECTS LOT 501
 - B) DEED BOOK 679 AT PAGE 269 AFFECTS LOT 500
 - C) DEED BOOK 706 AT PAGE 656 AFFECTS LOT 501
 - D) DEED BOOK 1167 AT PAGE 1594 AFFECTS LOT 501
 - E) DEED BOOK 1230 AT PAGE 1255 AFFECTS LOT 501
 - F) DEED BOOK 1571 AT PAGE 1494 AFFECTS LOT 500
- ALL OF WHICH ARE SHOWN ON THE SURVEY.
- [10] EASEMENT AGREEMENT CONTAINED IN DEED RECORDED IN DEED BOOK 611 AT PAGE 375 AFFECTS LOT 500 AND IS SHOWN ON THE SURVEY.
- [11] EASEMENT TO THE CITY OF ALEXANDRIA RECORDED IN DEED BOOK 681 AT PAGE 584 AFFECTS LOT 501 AND IS SHOWN ON THE SURVEY.

- [12] PLAT ATTACHED TO DEED OF RESUBDIVISION RECORDED IN DEED BOOK 830 AT PAGE 249 SHOWS THE FOLLOWING AS TO LOT 500:
- A) SLOPE MAINTENANCE EASEMENT
 - B) EXISTING TEN (10) FOOT SANITARY SEWER EASEMENT
 - C) EXISTING EIGHTY (80) FOOT RIGHT OF WAY RESERVATION
- ALL OF WHICH ARE SHOWN ON THE SURVEY.
- [13] PLAT ATTACHED TO DEED OF EASEMENT RECORDED IN DEED BOOK 1153 AT PAGE 1117 SHOWS THE FOLLOWING, AS TO LOT 500:
- A) TEN (10) FOOT PRIVATE STORM DRAINAGE EASEMENT
 - B) TWENTY (20) FOOT EMERGENCY VEHICLE EASEMENT
 - C) TWENTY (20) FOOT STORM DRAINAGE EASEMENT
 - D) TEN (10) PRIVATE STORM DRAINAGE EASEMENT
 - E) FIFTEEN (15) FOOT PRIVATE STORM DRAINAGE EASEMENT
- ALL OF WHICH ARE SHOWN ON THE SURVEY.

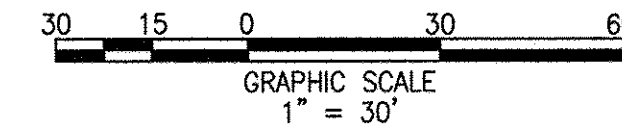
- [14] TWENTY-TWO (22) FOOT EMERGENCY VEHICLE EASEMENT RECORDED IN DEED BOOK 1223 AT PAGE 1063 AND IN DEED BOOK 701 AT PAGE 481 AFFECTS LOT 501 AND IS SHOWN ON THE SURVEY.
- [15] PLAT ATTACHED TO DEED OF RESUBDIVISION AND PARTIAL RELEASE RECORDED IN DEED BOOK 1180 AT PAGE 383 SHOWS, AS TO LOT 501:
- A) TWO (2) FOOT INGRESS-EGRESS CONSTRUCTION EASEMENT
 - B) NOTE NO. 3 ON PLAT AS TO INGRESS-EGRESS AND CONSTRUCTION EASEMENT FOR THE USE OF LOT 500 AND ASSIGNS
- AFFECTS LOT 501 AND IS SHOWN ON THE SURVEY.

PROPOSED EASEMENTS

- [16] 24' EMERGENCY VEHICLE EASEMENT (EVE)

NOTES

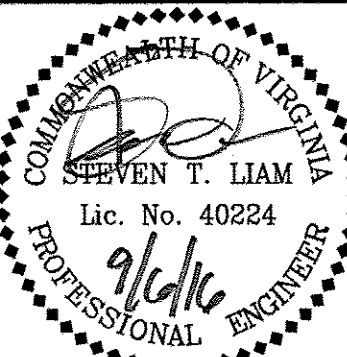
1. SPECIAL WARRANTY DEED RECORDED AS INSTRUMENT NUMBER 160000650 WHICH CONVEYS THE RIGHT OF ACCESS OVER ANY AND ALL ROADS, DRIVEWAYS, PARKING AREAS OR OTHER PAVED AREAS LOCATED ON THAT CERTAIN PROPERTY DESCRIBED AS FOLLOWS: LOT 500 AS RESUBDIVIDED IN DEED BOOK 1180 AT PAGE 383 AND CONSENTED TO IN DEED BOOK 1181 AT PAGE 1165 AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VA.



APPROVED
SPECIAL USE PERMIT NO. 2016-0023
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



PLAN STATUS		
6/13/16	CONCEPT STAGE I & II	
7/18/16	PRELIMINARY SITE PLAN	
9/6/16	PRELIMINARY SITE PLAN	

DATE	DESCRIPTION
DD	TH
DESIGN	DRAWN
SCALE	H: 1" = 30'

JOB No. 4636-05-002

DATE : JUNE 2016

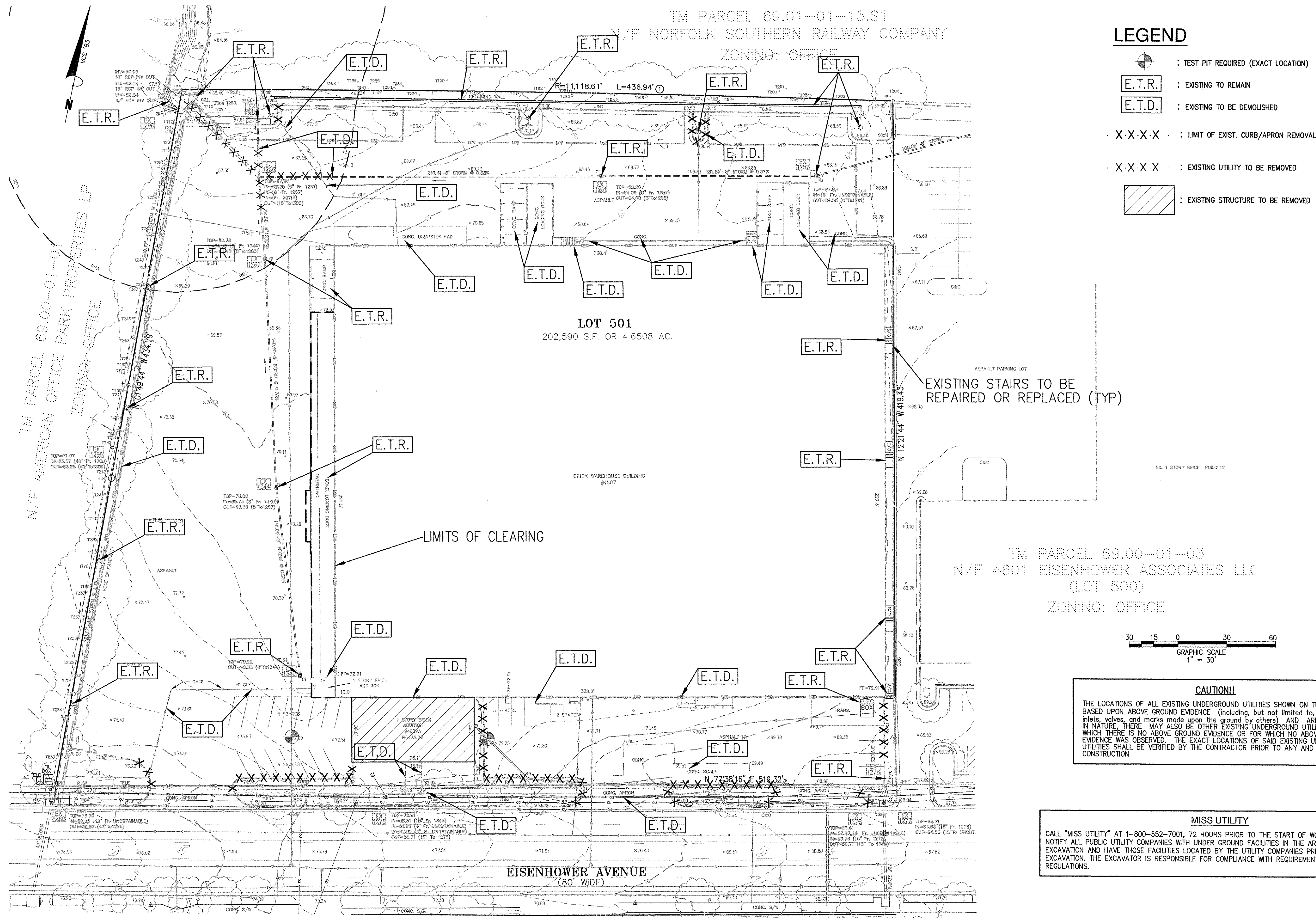
FILE No. 4636-05-002

SHEET C4.10

Bowman
CONSULTING

Bowman Consulting Group, Ltd.
2121 Eisenhower Avenue
Alexandria, Virginia 22314
Phone: (703) 548-2188
Fax: (703) 683-5781
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

EASEMENT PLAN
4607 EISENHOWER AVENUE
FLOOR & DECOR STORE # VA-ALEX-2017
CITY OF ALEXANDRIA
VIRGINIA

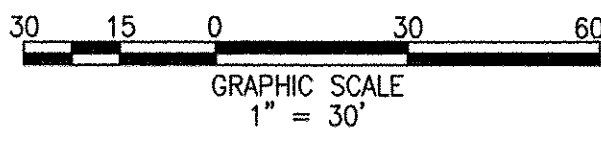


DEMOLITION NOTES:

- ALL DEMOLITION SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE CURRENT REGULATIONS OF THE CITY OF ALEXANDRIA AND THE COMMONWEALTH OF VIRGINIA.
- ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN PER EXISTING RECORDS. CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO ASCERTAIN THE EXISTENCE AND LOCATION OF EXISTING UTILITIES.
- ITEMS SHOWN TO BE RELOCATED SHALL BE CAREFULLY REMOVED AND STORED BY THE CONTRACTOR UNTIL SUCH TIME AS THEY CAN BE PLACED IN THEIR NEW LOCATION. CONTRACTOR SHALL VERIFY THESE ITEMS WITH THE OWNER PRIOR TO CONSTRUCTION.
- ALL ITEMS WHICH REQUIRE VERIFICATION BETWEEN THE CONTRACTOR AND THE OWNER SHALL BE DONE IN WRITING BY THE CONTRACTOR PRIOR TO BIDDING AS A METHOD OF BID CLARIFICATION.
- CONTRACTOR TO STUDY GEOTECHNICAL INFORMATION AVAILABLE AND CLEARLY REPORT PROPOSED CONSTRUCTION METHODOLOGIES TO THE OWNER PRIOR TO BIDDING.
- CONTRACTOR MUST ADHERE TO ALL SAFETY REGULATIONS GIVEN BY O.S.H.A.
- THE CONTRACTOR SHALL CALL "MISS UTILITY" AT 1-800-552-7001 AT LEAST 72 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
- THE TEST PIT LOCATIONS SHOWN ARE PRELIMINARY AND SUBJECT TO REVISIONS. ADDITIONAL TEST PITS MAY BE REQUIRED, FOLLOWING "UTILITY MARK-OUT" PROCEDURES (i.e. TEST PITS FOR GAS, ELECTRIC, CABLE, TELEPHONE, ETC.) AS ORDERED BY THE CONTRACTOR VIA MISS UTILITY. ADDITIONAL TEST PITS MAY ALSO BE REQUIRED SHOULD PROPOSED UTILITY LOCATIONS BE REVISED, PRIOR TO FINAL JURISDICTIONAL APPROVAL. ALL TEST PIT LOCATIONS SHOWN THROUGHOUT PLAN SET MUST BE PERFORMED BY CONTRACTOR PRIOR TO EXECUTION OF ANY CONSTRUCTION ACTIVITIES. SHOULD A DISCREPANCY BE DISCOVERED BETWEEN THIS PLAN SET AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL COORDINATE REMOVAL OR RELOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD ELECTRICAL, TELEPHONE AND CABLE TV LINES AND REMOVAL OF UTILITY POLES, PEDASTALS AND TRANSFORMERS WITH UTILITY COMPANIES AND WITH DEVELOPER PRIOR TO DEMOLITION (AS REQUIRED).
- LIMITS OF DISTURBANCE SHOWN ARE BASED UPON BEST AVAILABLE INFORMATION AND MAY BE SUBJECT TO CHANGE BASED UPON COORDINATION BETWEEN THE DEVELOPER AND UTILITY COMPANIES. SHOULD THESE LIMITS BE REVISED, THE DEVELOPER SHALL CONTACT THE ENGINEER AND THE CITY OF ALEXANDRIA IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL EXISTING CURB & GUTTER AROUND THE PERIMETER OF THE ENTIRE PROJECT. SHOULD ANY CURBS OR GUTTER REQUIRE REPLACEMENT AS DIRECTED BY THE OWNER, ENGINEER OR CITY, THE CONTRACTOR SHALL REPLACE THEM AS PART OF THE ORIGINAL WORKSCOPE.
- THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES (T&ES), DIVISION OF ENVIRONMENTAL QUALITY (DEQ) MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS, AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE AND CITY REGULATIONS.
- PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT OR LAND DISTURBANCE PERMIT, A RODENT ASSESSMENT PLAN SHALL BE SUBMITTED TO CODE ENFORCEMENT THAT WILL OUTLINE THE STEPS THAT WILL BE TAKEN TO PREVENT THE SPREAD OF RODENTS FROM THE CONSTRUCTION SITE TO THE SURROUNDING COMMUNITY AND SEWER.
- ALL ARCHEOLOGICAL PRESERVATION MEASURES MUST BE COMPLETED PRIOR TO GROUND-DISTURBING ACTIVITIES (SUCH AS CORING, GRADING, FILLING, VEGETATION REMOVAL, UNDERGROUNDING UTILITIES, PIPE DRIVING, LANDSCAPING AND OTHER EXCAVATION AS DEFINED IN SECTION 2-151 OF THE ZONING ORDINANCE). TO CONFIRM, CALL ALEXANDRIA ARCHEOLOGY AT (703) 838-4399.
- CALL ALEXANDRIA ARCHEOLOGY IMMEDIATELY AT (703) 838-4399 IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
- SANITARY FLOW SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. ON REMOVAL OF A PORTION OF THE SANITARY LATERAL, BULK HEAD MUST BE INSTALLED IN THE MANHOLE TO MAINTAIN SANITARY SERVICE.
- REFER TO GENERAL NOTES, SHEET C2.00 FOR ADDITIONAL NOTES.

LEGEND

- TEST PIT REQUIRED (EXACT LOCATION)
- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- LIMIT OF EXIST. CURB/APRON REMOVAL
- EXISTING UTILITY TO BE REMOVED
- EXISTING STRUCTURE TO BE REMOVED



CAUTION!!
THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

MISS UTILITY

CALL "MISS UTILITY" AT 1-800-552-7001, 72 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF LOCAL CODES AND REGULATIONS.

APPROVED
SPECIAL USE PERMIT NO. 2016-0023
DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE	
DATE RECORDED	
INSTRUMENT NO.	
DEED BOOK NO.	
PAGE NO.	

Bowman
CONSULTING

Bowman Consulting Group, Ltd.
2122 Eisenhower Avenue
Alexandria, Virginia 22314
Phone: (703) 548-2188
Fax: (703) 683-5781
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

DEMOLITION PLAN
4607 EISENHOWER AVENUE
FLOOR & DECOR STORE # VA-ALEX-2017
CITY OF ALEXANDRIA
VIRGINIA

COMMONWEALTH OF VIRGINIA
STEVEN T. LIAM
Lic. No. 40224
PROFESSIONAL ENGINEER

PLAN STATUS
6/13/16 CONCEPT STAGE I & II
7/18/16 PRELIMINARY SITE PLAN
9/6/16 PRELIMINARY SITE PLAN

DATE	DESCRIPTION
DD	TH
DESIGN	SL
CHKD	CHKD
SCALE: H: 1" = 30'	
JOB No. 4636-05-002	
DATE: JUNE 2016	
FILE No. 4636-05-002	
SHEET C4.20	

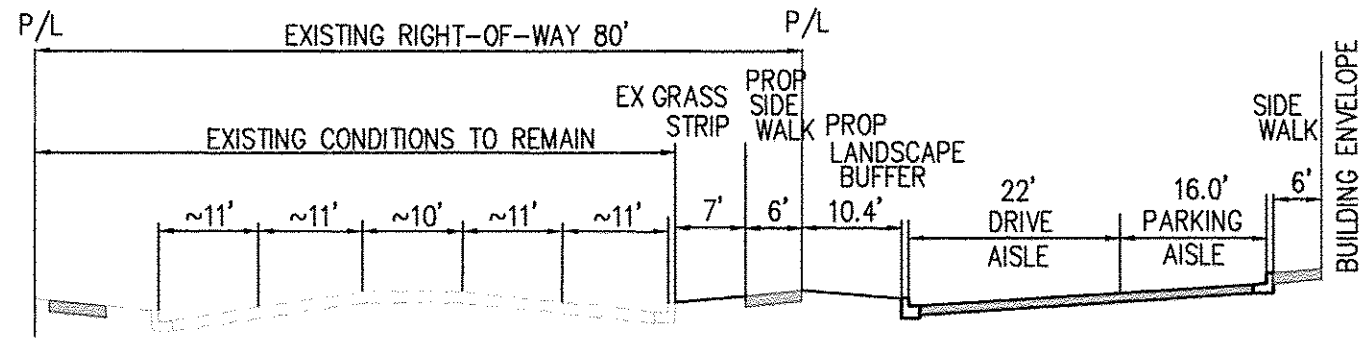
Parking Tabulations				
Required:	(1.2 spaces / 230 SF) X	98,501 SF =	514 SPACES	
	Standard	Compact	Accessible	Total
Provided:	113	37	6	156 SPACES

NOTE: PARKING SPACE REDUCTION IS REQUIRED

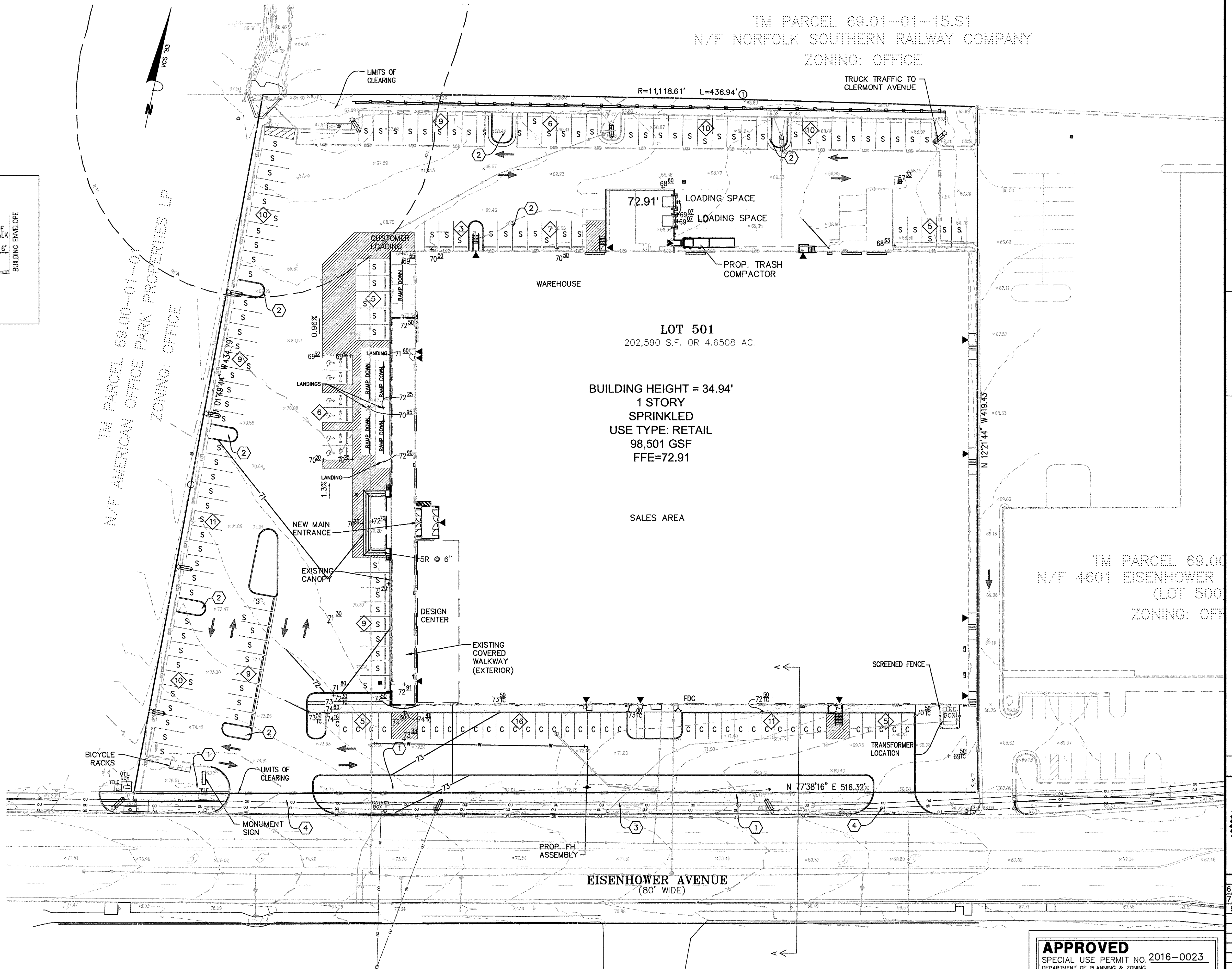
Loading Tabulation				
Required:	(1 spaces / 20,000 SF) X	97,850 SF =	5 SPACES	
Provided:	2	SPACES		

NOTE: LOADING SPACE REDUCTION IS REQUIRED.

TYPICAL SECTION A-A



N.T.S.



SITE LEGEND	
⬢	NUMBER OF SPACE IN ROW
①	3 FT PARKING SCREEN/PLANTING ZONE
②	LANDSCAPING BREAK
③	CLOSED DRIVEWAY ENTRANCE
④	RECONSTRUCTED DRIVEWAY ENTRANCE
S	18.5' x 9' STANDARD SPACE
C	16' x 8' COMPACT SPACE

- NOTES:
1. ALL CURB RADIUS IS 5' UNLESS OTHERWISE NOTED.
 2. SEE SHEET C2.00 FOR OVERALL LEGEND
 3. SEE SHEET C5.10 FOR SITE DIMENSIONAL PLAN

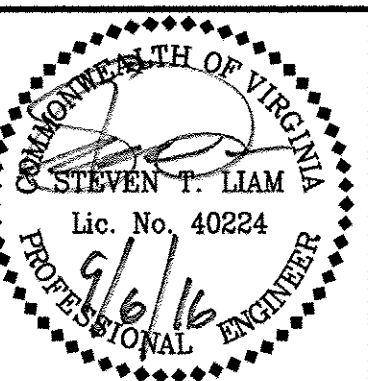


APPROVED	
SPECIAL USE PERMIT NO. 2016-0023	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

Bowman
CONSULTING

Bowman Consulting Group, Ltd.
2121 Eisenhower Avenue
Alexandria, Virginia 22314
Phone: (703) 548-2188
Fax: (703) 683-5781
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

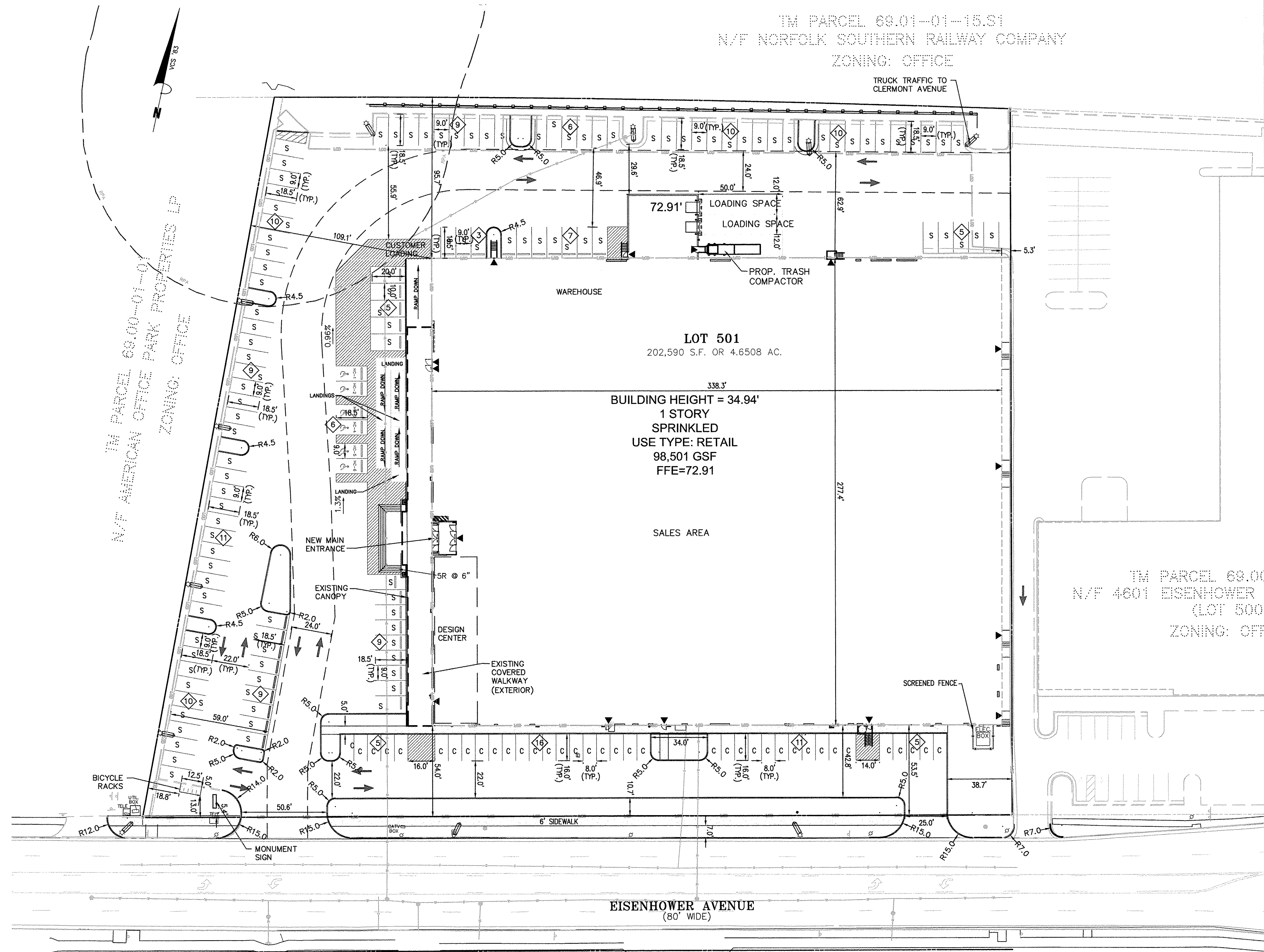
PRELIMINARY SITE PLAN
4607 EISENHOWER AVENUE
FLOOR & DECOR STORE # VA-ALEX-2017
CITY OF ALEXANDRIA, VIRGINIA



PLAN STATUS	
6/13/16	CONCEPT STAGE I & II
7/18/16	PRELIMINARY SITE PLAN
9/6/16	PRELIMINARY SITE PLAN

DATE	DESCRIPTION
DD	TH
DESIGN	DRAWN
SCALE	H: 1" = 30'
SCALE	V: _____
JOB No.	4636-05-002
DATE :	JUNE 2016
FILE No.	4636-05-002

SHEET C5.00



TM PARCEL 69.01-01-15.S1
N/F NORFOLK SOUTHERN RAILWAY COMPANY
ZONING: OFFICE

TM PARCEL 69.00-01-01
N/F AMERICAN OFFICE PARK PROPERTIES LP
ZONING: OFFICE

TM PARCEL 69.00-01-01
N/F 4601 EISENHOWER
(LOT 500)
ZONING: OFFICE

LOT 501
202,590 S.F. OR 4.6508 AC.

BUILDING HEIGHT = 34.94'
1 STORY
SPRINKLED
USE TYPE: RETAIL
98,501 GSF
FFE=72.91

LOADING SPACE
LOADING SPACE
PROP. TRASH COMPACTOR

WAREHOUSE

SALES AREA

SCREENED FENCE

EXISTING COVERED WALKWAY (EXTERIOR)

NEW MAIN ENTRANCE

EXISTING CANOPY

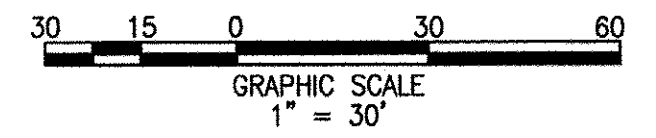
DESIGN CENTER

BICYCLE RACKS

MONUMENT SIGN

EISENHOWER AVENUE
(80' WIDE)

- NOTES:
1. ALL CURB RADIUS IS 5' UNLESS OTHERWISE NOTED.
 2. SEE SHEET C2.00 FOR LEGEND



APPROVED
SPECIAL USE PERMIT NO. 2016-0023
DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE	
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
PAGE NO.	

Bowman
CONSULTING

Bowman Consulting Group, Ltd.
2122 Westpark Drive
Alexandria, Virginia 22314
Phone: (703) 548-2188
Fax: (703) 883-5781
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

DIMENSIONAL PLAN

4607 EISENHOWER AVENUE
FLOOR & DECOR STORE # VA-ALEX-2017

CITY OF ALEXANDRIA VIRGINIA

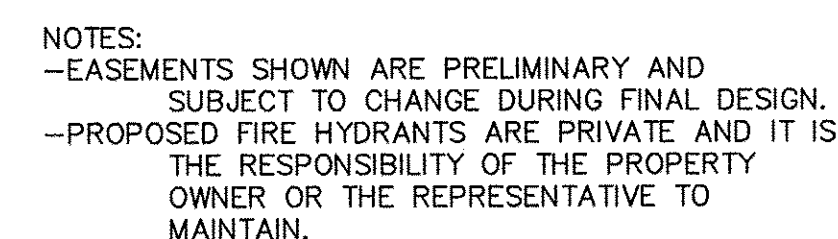
STEVEN T. LIAM
Lic. No. 40224
PROFESSIONAL ENGINEER

PLAN STATUS

6/13/16	CONCEPT STAGE I & II
7/18/16	PRELIMINARY SITE PLAN
9/6/16	PRELIMINARY SITE PLAN

DATE	DESCRIPTION
DD	TH
DESIGN	DRAWN
SL	CHKD
SCALE H: 1" = 30'	
V:	
JOB No. 4636-05-002	
DATE : JUNE 2016	
FILE No. 4636-05-002	
SHEET C5.10	

THE EXISTING WAREHOUSE PROVIDED 3 RESTROOM FACILITIES. THE RENOVATED WAREHOUSE/RETAIL WILL PROVIDE 1 RESTROOM FACILITY. THE REDUCTION OF FIXTURE UNITS AND USE OF THE BUILDING DOES NOT WARRANT A SANITARY SEWER ADEQUATE OUTFALL ANALYSIS. PER MEMORANDUM TO INDUSTRY NO 06-14 NEW SANITARY SEWER CONSTRUCTION AND ADEQUATE OUTFALL ANALYSIS IF THE ADDITIONAL ESTIMATED PEAK WASTE WATER FLOW EXCEEDS 10,000 GALLONS PER DAY A STUDY IS REQUIRED. THE ESTIMATED SINGLE RESTROOM WILL GENERATE 1,440 GALLONS PER DAY.



GRAPHIC SCALE
1" = 30'

APPROVED	
SPECIAL USE PERMIT NO. <u>2016-0023</u>	
DEPARTMENT OF PLANNING & ZONING	
_____ DIRECTOR	_____ DATE
DEPARTMENT OF PLANNING & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
_____ CHAIRMAN, PLANNING COMMISSION	
_____ DATE	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

Bowman CONSULTING

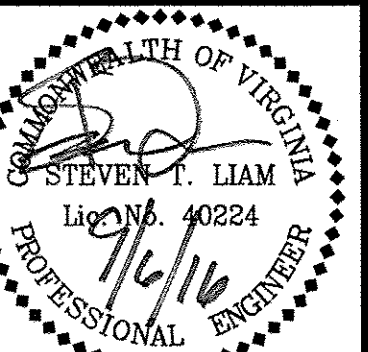
2121 Eisenhower Avenue
Alexandria, Virginia 22314

Phone: (703) 548-2188
Fax: (703) 683-5781
www.bowmanconsulting.com

© Bowman Consulting Group, Ltd.

4607 EISENHOWER AVENUE
FLOOR & DECOR STORE # VA-ALEX-2017

CITY OF ALEXANDRIA VIRGINIA



PLAN STATUS	
13/16	CONCEPT STAGE I & II
18/16	PRELIMINARY SITE PLAN
/6/16	PRELIMINARY SITE PLAN

DATE		DESCRIPTION	
DD	TH	SL	
DESIGN	DRAWN	CHKD	
SCALE H: 1" = 30'			
V:			
JOB No. 4636-05-002			
DATE : JUNE 2016			
FILE No. 4636-05-002			
SHEET C6.00			

Site Summary

Total Rainfall (in):	43
Total Disturbed Acreage:	2.12

Site Land Cover Summary

Pre-ReDevelopment Land Cover (acres)

	A soils	B Soils	C Soils	D Soils	Totals	% of Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0
Managed Turf (acres)	0.00	0.00	0.00	0.18	0.18	8
Impervious Cover (acres)	0.00	0.00	0.00	1.94	1.94	92
				2.12		100

Post-ReDevelopment Land Cover (acres)

	A soils	B Soils	C Soils	D Soils	Totals	% of Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0
Managed Turf (acres)	0.00	0.00	0.00	0.09	0.09	4
Impervious Cover (acres)	0.00	0.00	0.00	2.03	2.03	96
				2.12		100

Site Tv and Land Cover Nutrient Loads

	Final Post-Development (Post-ReDevelopment & New Impervious)	Post- ReDevelopment	Post- Development (New Impervious)	Adjusted Pre- ReDevelopment
Site Rv	0.92	0.92	0.95	0.92
Treatment Volume (ft ³)	7,082	6,772	310	6,772
TP Load (lb/yr)	4.45	4.25	0.20	4.25

Total TP Load Reduction Required (lb/yr)	1.01	0.85	0.16
--	------	------	------

	Final Post-Development Load (Post-ReDevelopment & New Impervious)	Pre- ReDevelopment
TN Load (lb/yr)	31.83	30.80

Site Compliance Summary

Maximum % Reduction Required Below Pre-ReDevelopment Load	20%
--	-----

Total Runoff Volume Reduction (ft ³)	0
Total TP Load Reduction Achieved (lb/yr)	2.22
Total TN Load Reduction Achieved (lb/yr)	0.00
Remaining Post Development TP Load (lb/yr)	2.23
Remaining TP Load Reduction (lb/yr) Required	0.00

** TARGET TP REDUCTION EXCEEDED BY 1.21 LB/YEAR **

Drainage Area Summary

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres)	0.09	0.00	0.00	0.00	0.00	0.09
Impervious Cover (acres)	2.03	0.00	0.00	0.00	0.00	2.03
Total Area (acres)	2.12	0.00	0.00	0.00	0.00	2.12

Drainage Area Compliance Summary

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
TP Load Reduced (lb/yr)	2.22	0.00	0.00	0.00	0.00	2.22
TN Load Reduced (lb/yr)	0.00	0.00	0.00	0.00	0.00	0.00

Drainage Area A Summary

Land Cover Summary

	A Soils	B Soils	C Soils	D Soils	Total	% of Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0
Managed Turf (acres)	0.00	0.00	0.00	0.09	0.09	4
Impervious Cover (acres)	0.00	0.00	0.00	2.03	2.03	96
				2.12		

BMP Selections

Practice	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	BMP Treatment Volume (ft ³)	TP Load from Upstream Practices (lbs)	Untreated TP Load to Practice (lbs)	TP Removed (lb/yr)	TP Remaining (lb/yr)	Downstream Treatment to be Employed
14.a. Manufactured Treatment Device- Hydrodynamic	0.09	2.03	7,082.13	0.00	4.44	2.22	2.22	

Total Impervious Cover Treated (acres)	2.03
Total Turf Area Treated (acres)	0.09
Total TP Load Reduction Achieved in D.A. (lb/yr)	2.22
Total TN Load Reduction Achieved in D.A. (lb/yr)	0.00

Update Summary Sheet

Print Preview

Print

CHANNEL PROTECTION

Q₂ = 12.46 CFS > 12.17 CFS

FLOOD PROTECTION

Q₁₀ = 18.09 CFS > 17.67 CFS

SWM NARRATIVE

THE SITE AREA IS 4.65 AC., THE DISTURBED AREA IS 2.12 AC. THE PERCENTAGE OF DISTURBED AREA ONSITE IS 2.12AC. / 4.65AC. = 45.6%. THEREFORE, THE SITE TREATMENT AREA WILL BE THE DISTURBED AREA.

THE SITE REDEVELOPMENT WILL COMPLY WITH ALL STORMWATER MANAGEMENT REQUIREMENTS BY ROUTING PROPOSED RUNOFF TO EXISTING PARKING LOT DRAINAGE INLETS TO A PROPOSED UNDERGROUND SWM VAULT WITH CARTRIDGE FILTERS ON THE DOWN STREAM END OF THE EXISTING STORM SEWER. THE SWM VAULT WILL BE USED TO PROVIDE QUALITY AND QUANTITY CONTROL. IN ADDITION A FILTERA BMP WILL BE PLACED AT THE FRONT OF THE BUILDING. FINAL STORMWATER MANAGEMENT SHALL BE DETERMINED DURING FINAL ENGINEERING PHASE. SEE THIS PLAN FOR DETAILS.

STORMWATER QUALITY COMPUTATIONS ARE CALCULATED VIA VIRGINIA RUNOFF REDUCTION SPREADSHEET. PHOSPHORUS LOAD REMOVAL IS ACHIEVED VIA A PROPRIETARY MANUFACTURED TREATMENT DEVICE. THE AFOREMENTIONED UNDERGROUND STORAGE SYSTEM SHALL PROVIDE TREATMENT FLOW TO CARTRIDGES TO PROVIDE TREATMENT.

THE PROPOSED CUMULATIVE SITE AREA OF THE AFOREMENTIONED STORAGE SYSTEM WILL PROVIDE 3684 CF. PER ENERGY BALANCE TABULATION ON THIS SHEET. THIS VALUE IS EQUAL TO THE REQUIRED STORAGE OF 3684 CF, THEREFORE, STORMWATER QUANTITY IS ACHIEVED. SEE THIS SHEET FOR DETAILS. FINAL DESIGN OF VAULTS AND TREATMENT SYSTEM SHALL BE DETERMINED DURING FINAL ENGINEERING PHASE AND IS SUBJECT TO CHANGE. FINAL ENGINEERING WILL BE COMPLIANT PER VRRM SPREADSHEET AND ALEXANDRIA WATER QUALITY DEFAULT.

CHANNEL AND FLOOD PROTECTION ARE SHOWN ON THIS SHEET. USING RATIONAL METHOD, IT HAS BEEN DETERMINED THAT THE 2-YEAR AND 10-YEAR STORM POST-DEVELOPMENT RUNOFF RATES DO NOT EXCEED THE 2-YEAR AND 10-YEAR PRE-DEVELOPMENT RUNOFF RATES, THEREFORE, CHANNEL AND FLOOD PROTECTION HAVE BEEN ACHIEVED FOR THIS SITE.

ALEXANDRIA WATER QUALITY VOLUME DEFAULT

WQ_v = 1815 X IMPERVIOUS AREA (AC.) / (0.50 INCH DEPTH) WQ_v = 1815 X 2.03 = 3,684 CF REQUIRED

3,684 CF VOLUME PROVIDED IN PROPOSED UNDERGROUND VAULT (FINAL DESIGN TO BE DETERMINED DURING FINAL ENGINEERING PHASE)

REMAINING IMPERVIOUS AREA (0.36 AC) TO BE TREATED WITH A FILTERRA SYSTEM.

SWM Water Quantity Energy Balance Worksheet

SITE AREA (acre)	2.12			
	PRE	POST (adjusted)	PRE	POST (adjusted)
P	2.7	2.7	5.2	5.2
CN	96.00	96.00	96.00	96.00
S=1000/CN-10	0.42	0.42	0.42	0.42
0.25	0.08	0.08	0.08	0.08
RV=(P-0.25) ² /(P-0.25)+S	2.26	2.26	4.73	4.73

QPost Development <= I.F.* (Qpre-development* RVpre-development)/RVDeveloped)

I.F.	0.8
CHANNEL PROTECTION	
Qpre-development	9.23
QPost Development	9.23
RVPost Development (with runoff reduction)	2.26
Qallowable	7.38

From TR55

From TR55

From RRM

Qallowable/QPost Development	0.80
Vs/Vr	0.18
Vs	0.41
Storage required (cf)	3127

Fig 11.7 of DEQ Manual

FLOOD CONTROL	
Qpre-development	15.27
QPost Development	15.27
RVPost Development (with runoff reduction)	4.73
Qallowable	15.27

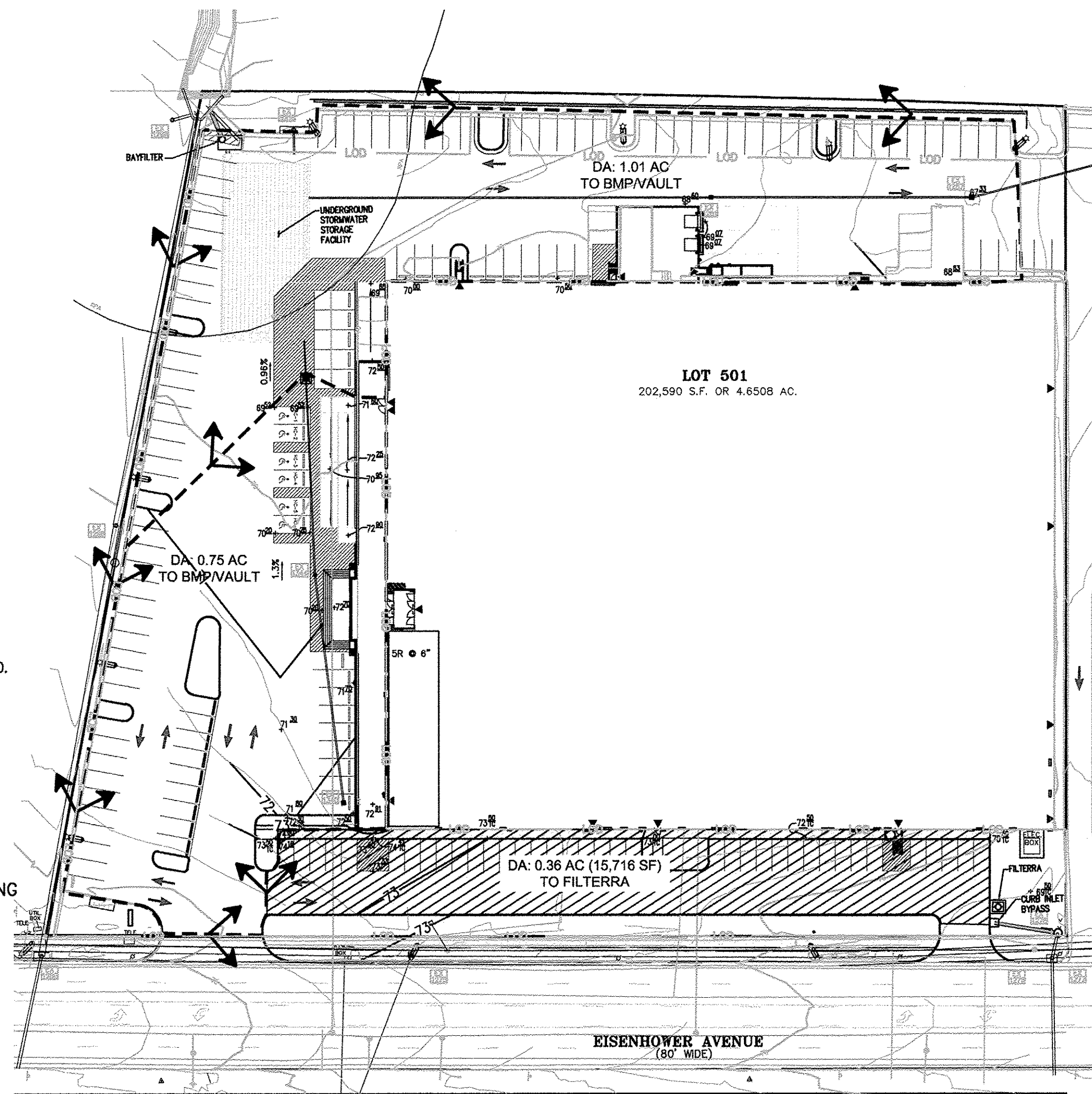
Qallowable/QPost Development	1.00
Vs/Vr	0.18
Vs	0.85
Storage required (cf)	6554

Pre- ReDevelopment TP Load per acre (lb/acre/yr)	Final Post- Development TP Load per acre (lb/acre/yr)	Post-ReDevelopment TP Load per acre (lb/acre/yr)
2.10	2.10	2.10

Runoff Volume and CN Calculations

	1-year storm	2-year storm	10-year storm
Target Rainfall Event (in)	2.70	3.20	5.20

Drainage Areas	RV & CN	Drainage Area A	Drainage Area B	Drainage Area C	Drainage Area D	Drainage Area E
CN		97	0	0	0	0
RR (ft ³)		0	0	0	0	0
1-year return period		RV w/ RR (ws-in)	2.36	0.00	0.00	0.00
		RV w/ RR (ws-in)	2.36	0.00	0.00	0.00
		CN adjusted	97	0	0	0
2-year return period		RV w/ RR (ws-in)	2.86	0.00	0.00	0.00
		RV w/ RR (ws-in)	2.86	0.00	0.00	0.00
		CN adjusted	97	0	0	0
10-year return period		RV w/ RR (ws-in)	4.85	0.00	0.00	0.00
		RV w/ RR (ws-in)	4.85	0.00	0.00	0.00
		CN adjusted	97	0	0	0



LEGEND:



Project Description

Development or Redevelopment

Drainage Area	Impervious	Pervious	Total
Site Area	2.03 AC	0.09 AC	2.12 AC
On-Site Treated	2.03 AC	0.09 AC	2.12 AC
Off-Site Treated	0.00 AC	0.00 AC	0.00 AC
Total Treated	2.03 AC	0.09 AC	2.12 AC
Any On-Site Disconnected by a Vegetated Buffer (25 ft)	N/A		
Total On-Site Treated or Disconnected			2.12 AC

Water Treatment on site

BMP Type	Area treated by BMP (acres)	Impervious area treated by BMP (acres)	BMP efficiency (%)
Bayfilter	1.76 AC	1.87 AC	60% PHOS Red.
Filterra	0.36 AC	0.36 AC	60% PHOS Red.

Miscellaneous

Total WQV treated: ☒ yes ☐ no

Project is within which watershed? Cameron Run

Project discharges to which body of water? Cameron Run/Potomac River

APPROVED

SPECIAL USE PERMIT NO. 2016-0023
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DESIGNER _____ DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

50 25 0 50 100
GRAPHIC SCALE
1" = 50'

Bowman
CONSULTINGBowman Consulting Group, Ltd.
2121 Eisenhower Avenue
Alexandria, Virginia 22314

Phone: (703) 548-2188

Fax: (703) 683-5781

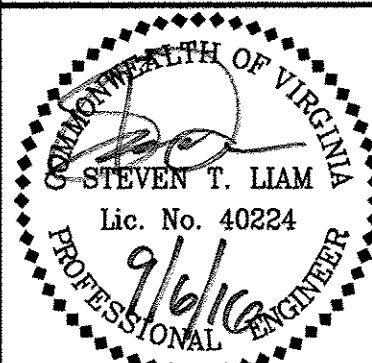
www.bowmanconsulting.com

© Bowman Consulting Group, Ltd.

STORMWATER MANAGEMENT PLAN

4607 EISENHOWER AVENUE
FLOOR & DECOR STORE # VA-ALEX-2017

CITY OF ALEXANDRIA VIRGINIA



PLAN STATUS

6/13/16 CONCEPT STAGE I & II
7/18/16 PRELIMINARY SITE PLAN
9/6/16 PRELIMINARY SITE PLAN

DATE DESCRIPTION

DD TH SL
DESIGN DRAWN CHKD

SCALE H: 1" = 50'

JOB No. 4636-05-002

DATE : JUNE 2016

FILE No. 4636-05-002

SHEET C6.10

STORMWATER CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-160LP OR APPROVED EQUAL.
- CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE "J".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL MEET THE MATERIAL REQUIREMENTS IN ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" (NOTE: THE SC160LP CHAMBER CLASSIFICATION HAS NOT YET BEEN ADDED TO THE ASTM F2418 STANDARD).^J
- CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. THE CHAMBER MANUFACTURER SHALL SUBMIT THE FOLLOWING UPON REQUEST TO THE SITE DESIGN ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
 - A STRUCTURAL EVALUATION THAT DEMONSTRATES THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY AASHTO FOR THERMOPLASTIC PIPE.
 - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL EVALUATION IS BASED.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-160LP SYSTEM^J

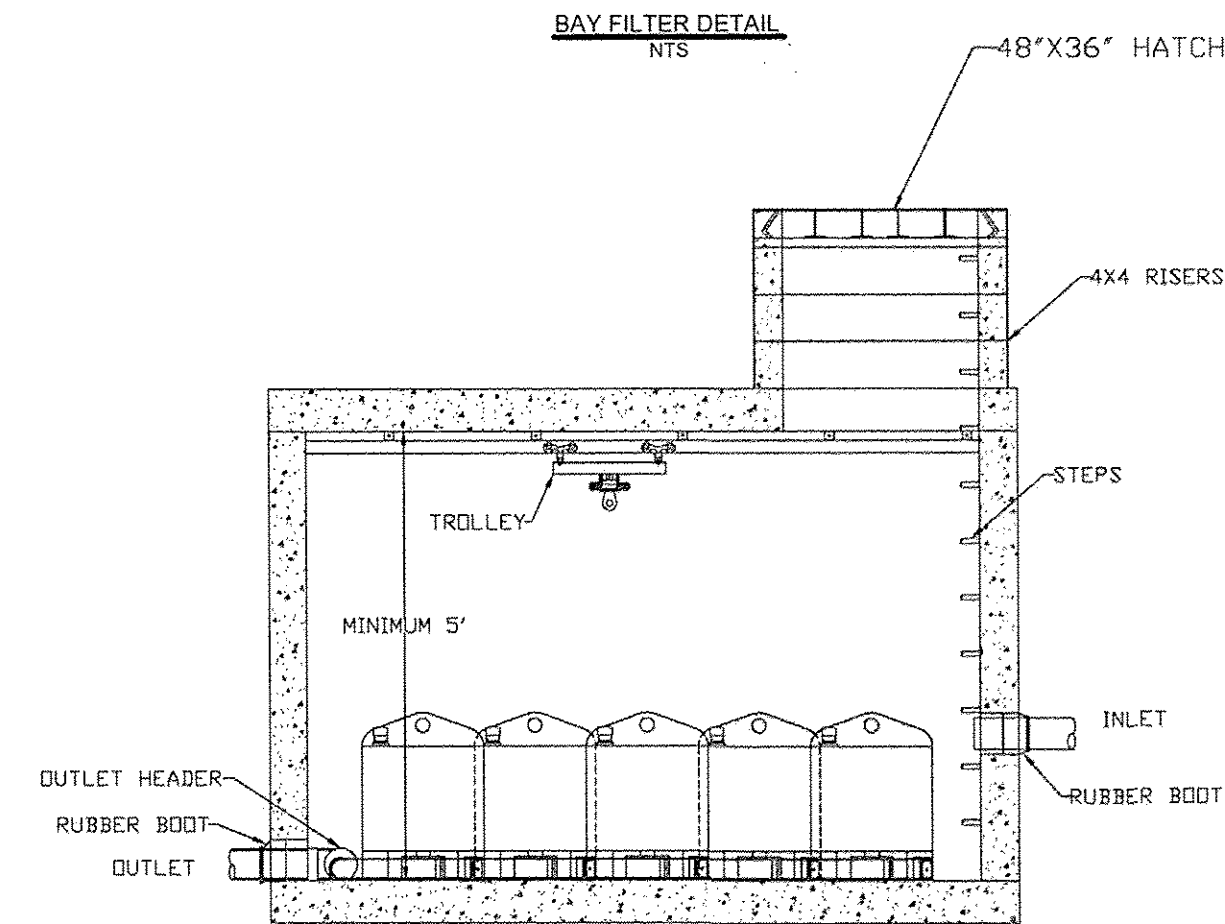
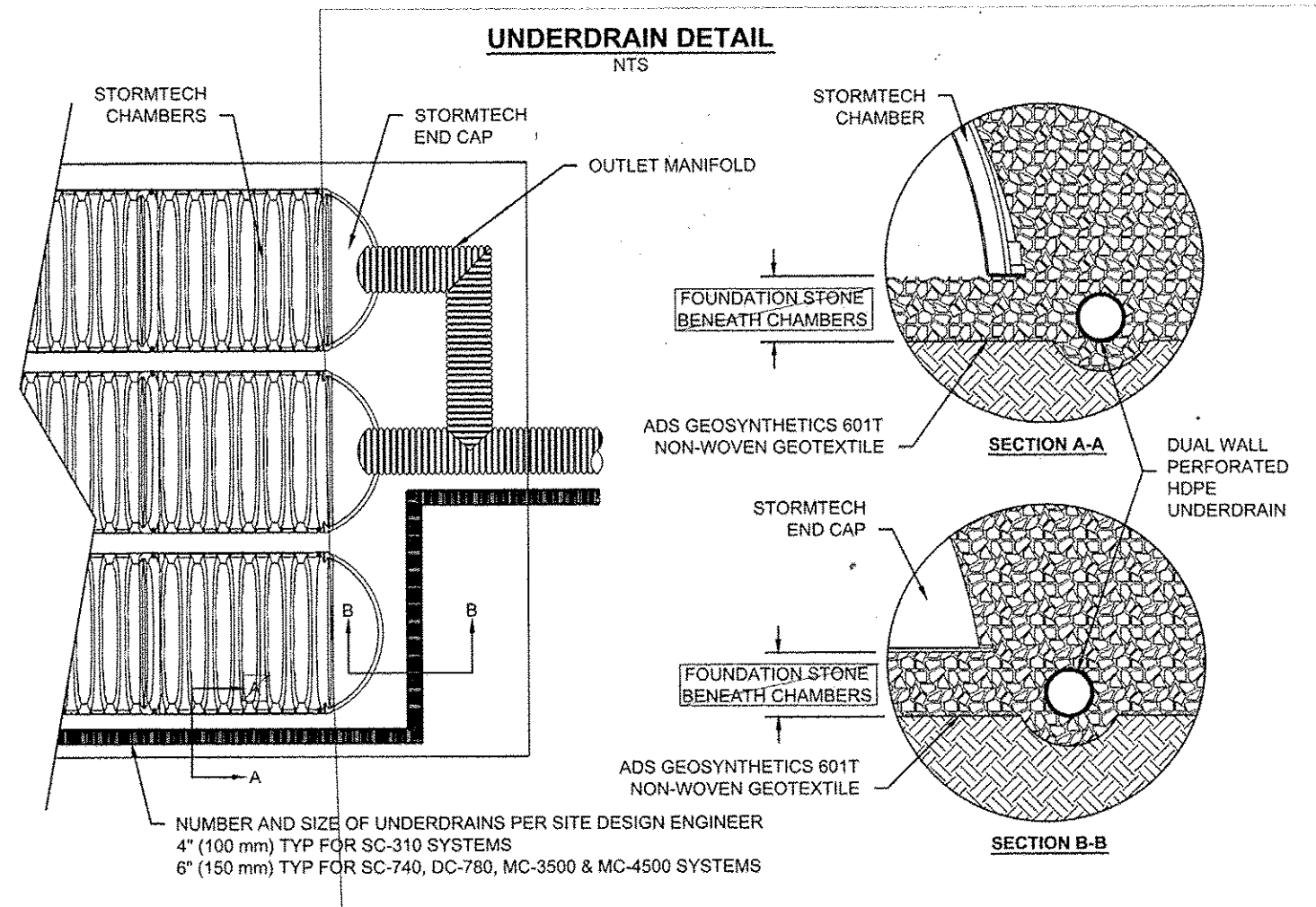
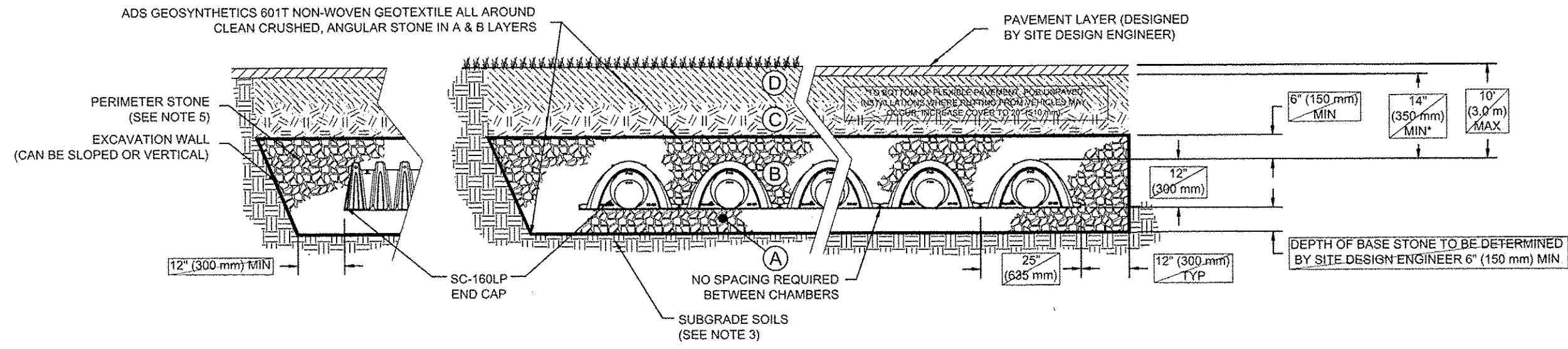
- STORMTECH SC-160LP CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH SC-160LP CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-160LP CONSTRUCTION GUIDE".
- FOUNDATION STONE AND EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE; AASHTO M43 #3, 357, 4, 467, 5, 56, OR 57.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- THE DEPTH OF FOUNDATION STONE SHALL BE DETERMINED BASED ON THE SUBGRADE BEARING CAPACITY PROVIDED BY THE SITE DESIGN ENGINEER.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES CONCERNING CHAMBER FOUNDATION DESIGN AND SUBGRADE BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- CHAMBERS SHALL BE INSTALLED "TOE TO TOE". NO ADDITIONAL SPACING BETWEEN ROWS IS REQUIRED.
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.^A
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT^A

- THE USE OF CONSTRUCTION EQUIPMENT OVER SC-160LP CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER Tired LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-160LP CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-160LP CONSTRUCTION GUIDE".^A
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

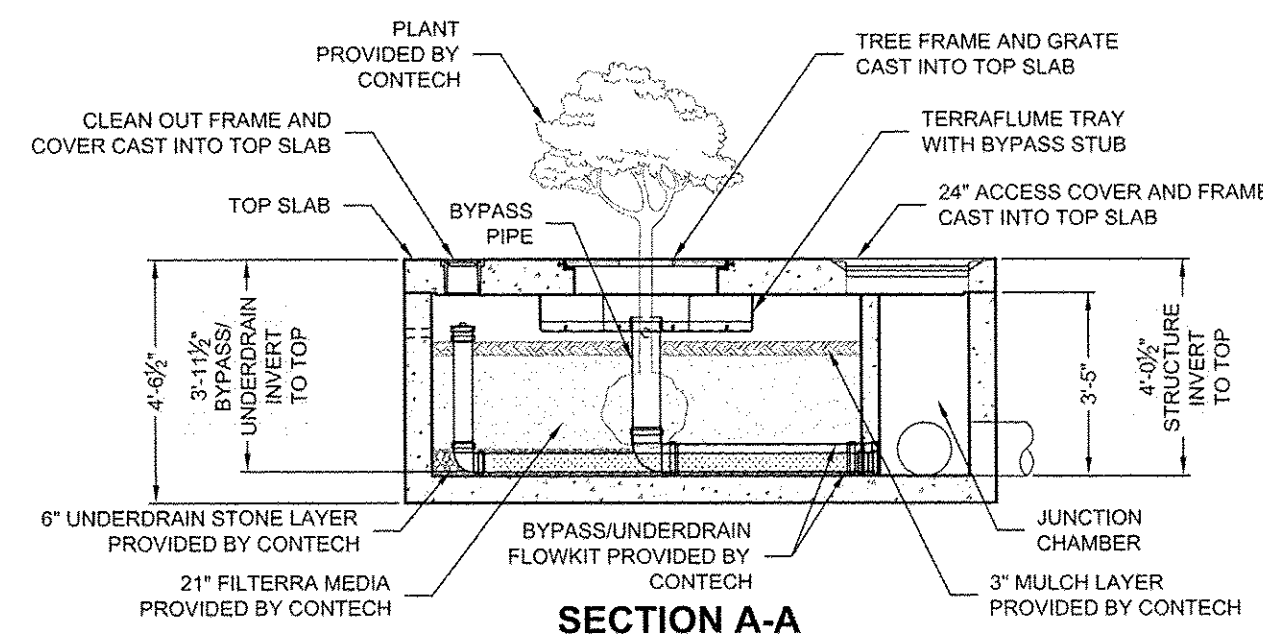
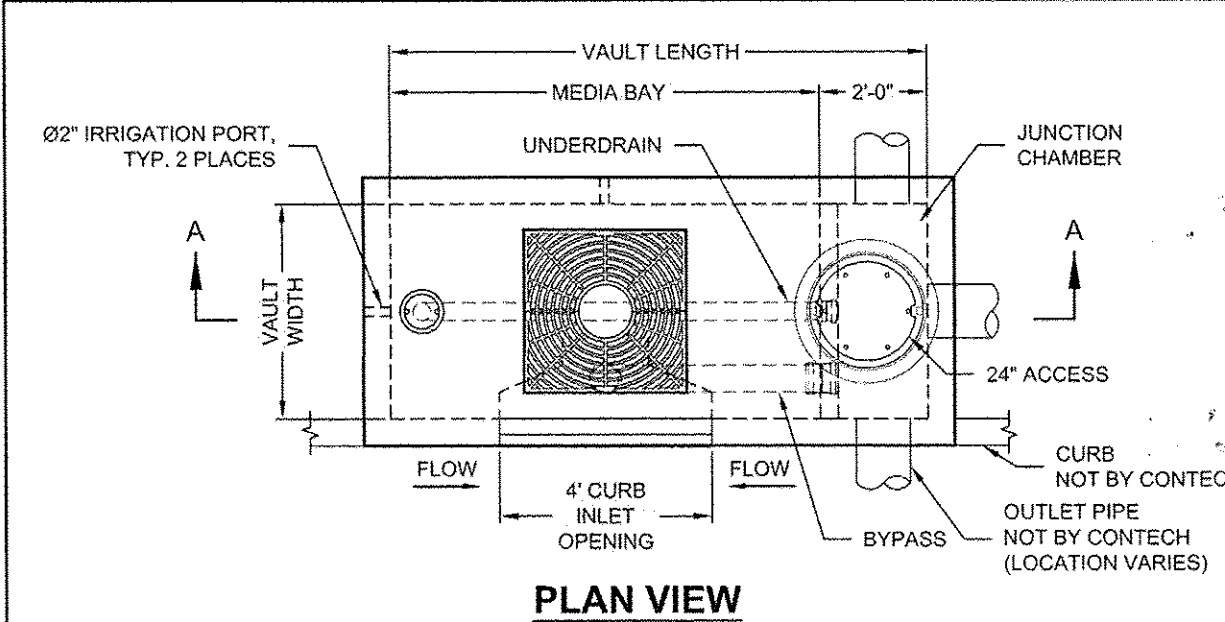
USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



FILTERRA DETAIL

NTS



SECTION A-A

FTIBC-C LONG SIDE CURB INLET

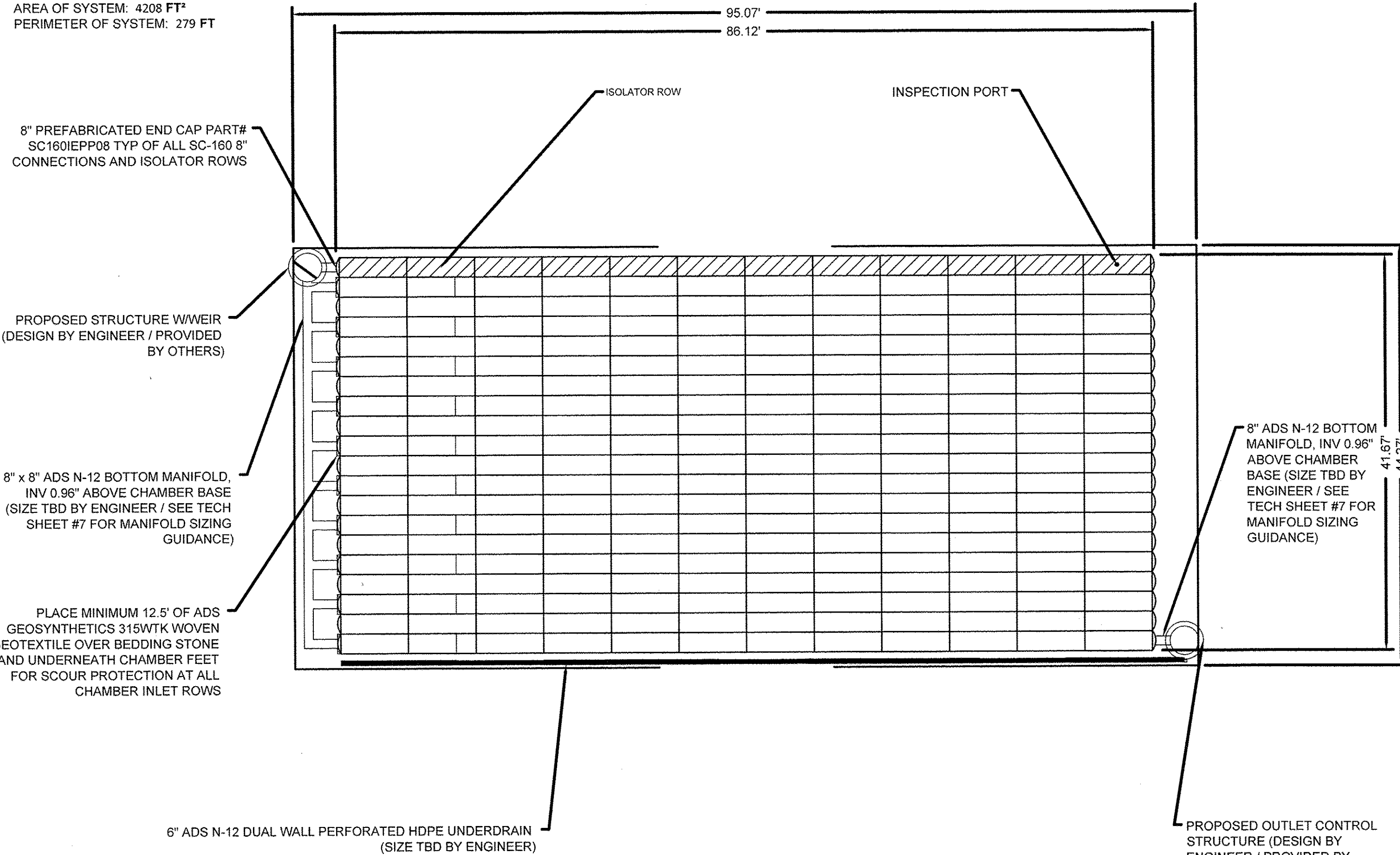
DESIGNATION (LONG SIDE)	SIZE (MEDIA BAY)	VAULT LENGTH	VAULT WIDTH	MAX. BYPASS PIPE SIZE	MAX. BYPASS FLOW (CFS)	UNDERDRAIN PIPE DIA. (PERF.)	TREE GRATE QTY. & SIZE
FTIBC-C0404 LS	4' x 4'	6'-0"	4'-0"	6" SDR 35	1.42	4" SDR 35	(1) 3' x 3'
FTIBC-C0604	6' x 4'	8'-0"	4'-0"	8" SDR 35	1.89	4" SDR 35	(1) 3' x 3'
FTIBC-C0606 LS	6' x 6'	8'-0"	6'-0"	10" SDR 35	2.37	4" SDR 35	(1) 3' x 3'
FTIBC-C0804	8' x 4'	10'-0"	4'-0"	8" SDR 35	1.89	4" SDR 35	(1) 3' x 3'
FTIBC-C0806	8' x 6'	10'-0"	6'-0"	10" SDR 35	2.37	4" SDR 35	(1) 4' x 4'
FTIBC-C1006	10' x 6'	12'-0"	6'-0"	10" SDR 35	2.37	6" SDR 35	(1) 4' x 4'
FTIBC-C1204	12' x 4'	14'-0"	4'-0"	8" SDR 35	1.89	4" SDR 35	(2) 3' x 3'
FTIBC-C1206	12' x 6'	14'-0"	6'-0"	10" SDR 35	2.37	6" SDR 35	(2) 3' x 4'
FTIBC-C1307	13' x 7'	15'-0"	7'-0"	10" SDR 35	2.37	6" SDR 35	(2) 4' x 4'

INTERNAL PIPE CONFIGURATION MAY VARY DEPENDING ON VAULT SIZE

COMPUTER GENERATED CONCEPTUAL LAYOUT - NOT FOR CONSTRUCTION

CONCEPTUAL LAYOUT

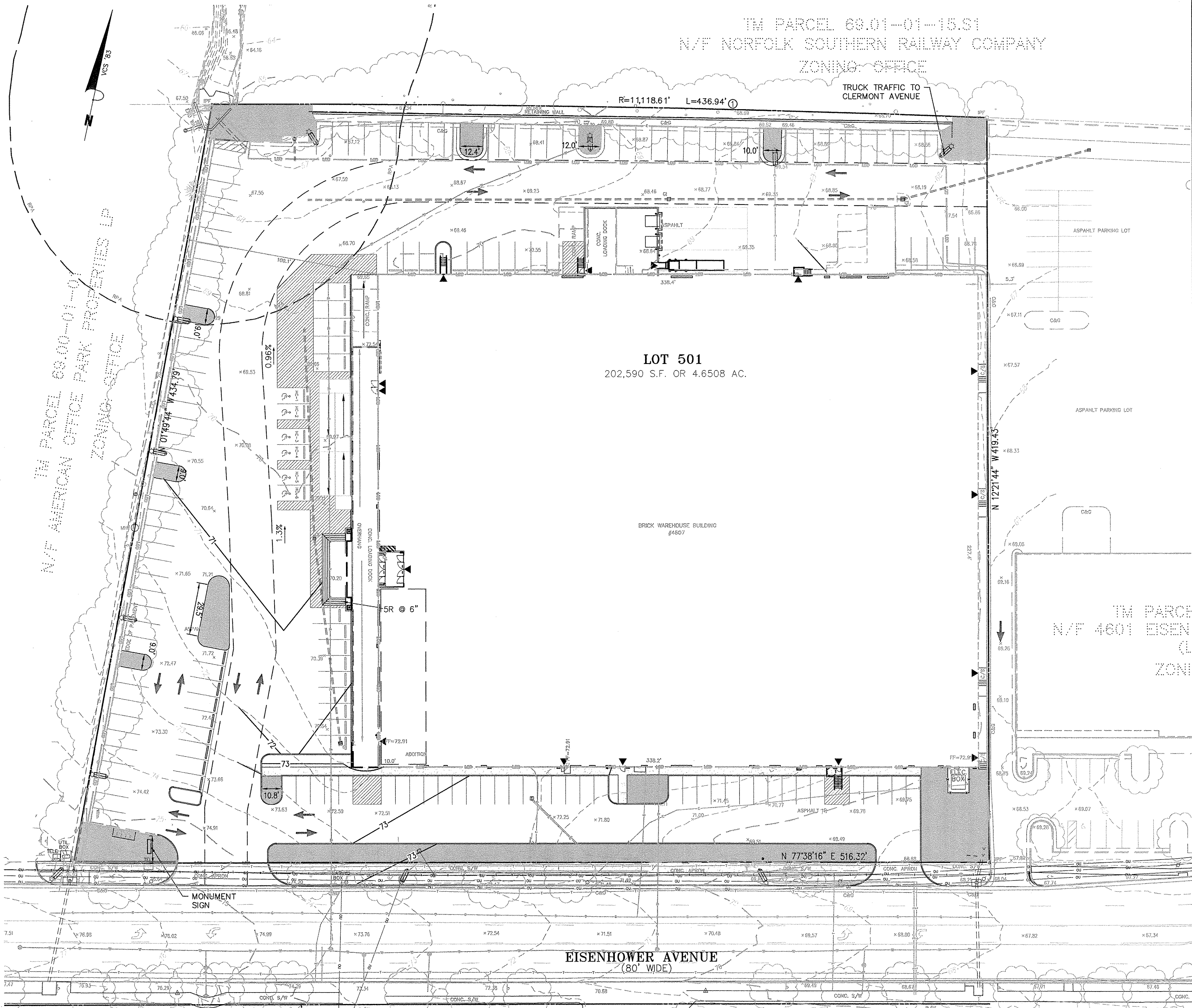
(240) STORMTECH SC-160 CHAMBERS
(40) STORMTECH SC-160 END CAPS
INSTALLED WITH 6" COVER STONE, 6" BASE STONE, 40% STONE VOID
INSTALLED SYSTEM VOLUME: 3833 CF
AREA OF SYSTEM: 4208 FT²
PERIMETER OF SYSTEM: 279 FT



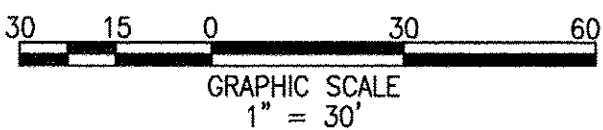
APPROVED

SPECIAL USE PERMIT NO. 2016-0023
DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE	
DATE RECORDED	
INSTRUMENT NO.	
DEED BOOK NO.	
PAGE NO.	



LEGEND		OPEN SPACE COMPUTATIONS	
	OPEN SPACE (GROUND LEVEL)	SITE AREA = 202,590 SF (4.6508 AC.)	
	AREA= 9,790 SF (0.22 AC)	OPEN SPACE AREA = 9,970 SF (0.22 AC.)	
		PERCENTAGE OPEN SPACE PROVIDED = 4.8%	



APPROVED	
SPECIAL USE PERMIT NO. 2016-0023	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE	
DATE RECORDED	
INSTRUMENT NO.	
DEED BOOK NO.	
PAGE NO.	

Bowman
CONSULTING

Bowman Consulting Group, Ltd.
2121 Eisenhower Avenue
Alexandria, Virginia 22314
Phone: (703) 548-2188
Fax: (703) 683-5781
www.bowmanconsulting.com

OPEN SPACE PLAN

4607 EISENHOWER AVENUE
FLOOR & DECOR STORE # VA-ALEX-2017

CITY OF ALEXANDRIA VIRGINIA

PLAN STATUS

6/13/16 CONCEPT STAGE I & II

7/18/16 PRELIMINARY SITE PLAN

9/6/16 PRELIMINARY SITE PLAN

DATE	DESCRIPTION
DD	TH SL
DESIGN	DRAWN CHKD
SCALE	H: 1" = 30'
	V:
JOB No. 4636-05-002	
DATE : JUNE 2016	
FILE No. 4636-05-002	
SHEET C7.00	

Cad file name : P:\4636 - 4607 Eisenhower\4636-05-002 (ENG) - 4607 Eisenhower Ave PDSUP & FDSUP\Engineering\Engineering Plans\SHEETS\4636-D-003-C7.00-OSP.dwg

LAWN

GROUND COVER

SHRUB

MEDIUM SHADE TREE

LARGE SHADE TREE

EXISTING TREE

EXISTING TREE CANOPY AREA

PRELIMINARY CROWN COVERAGE CALCULATION

SITE AREA:	202,590 SF
CROWN COVERAGE REQUIRED:	50,648 SF (25%)
CROWN COVERAGE PROVIDED:	21,687 SF (11%)
EXISTING TREE CANOPY	9,187 SF
10 PROPOSED LARGE SHADE TREES (1250 SF EA.)	12,500 SF

APPROVED

SPECIAL USE PERMIT NO. 2016-0023

DEPARTMENT OF PLANNING & ZONING

DIRECTOR

DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO.

DIRECTOR

DATE

CHAIRMAN, PLANNING COMMISSION

DATE

DATE RECORDED

INSTRUMENT NO.

DEED BOOK NO.

PAGE NO.

Bowman

C O N S U L T I N G

Bowman Consulting Group, Ltd.

2121 Eisenhower Avenue

Alexandria, Virginia 22314

Phone: (703) 548-2188

Fax: (703) 683-5781

www.bowmanconsulting.com

© Bowman Consulting Group, Ltd.

LANDSCAPE PLAN

4607 EISENHOWER AVENUE

FLOOR & DECOR STORE # VA-ALEX-2017

CITY OF ALEXANDRIA

VIRGINIA

COMMONWEALTH OF VIRGINIA

JOHN B. STORY JR.

Lic. No. 1582

9/6/16

LANDSCAPE ARCHITECT

PLAN STATUS

6/13/16

CONCEPT STAGE I & II

7/18/16

PRELIMINARY SITE PLAN

9/6/16

PRELIMINARY SITE PLAN

DATE

DESCRIPTION

DD

TH

SL

DESIGN

DRAWN

CHKD

SCALE

H: 1" = 30'

V:

JOB No.

4636-05-002

DATE :

JUNE 2016

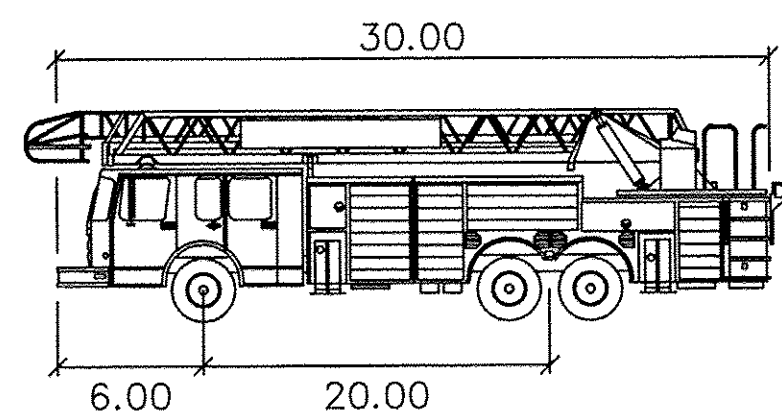
FILE No.

4636-05-002

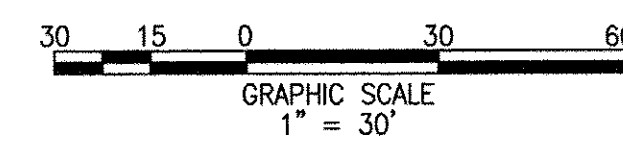
SHEET

C8.00

Cad file name : P:\4636 - 4607 Eisenhower\4636-05-002 (PLN) - 4607 Eisenhower Ave PDSUP & FDSUP\Planning\Engineering\Concept I\4636-D-003-C8.10-LSP.dwg



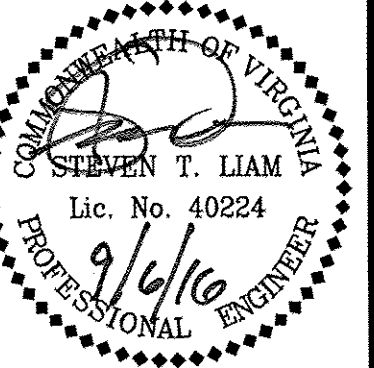
NOTE: PROPOSED FIRE HYDRANTS ARE PRIVATE AND IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER OR THE REPRESENTATIVE TO MAINTAIN.



TM PARCEL 69.0
N/F 4601 EISENHOWER
(LOT 500)
ZONING: CF

VIRGINIA

FIRE SERVICE PLAN

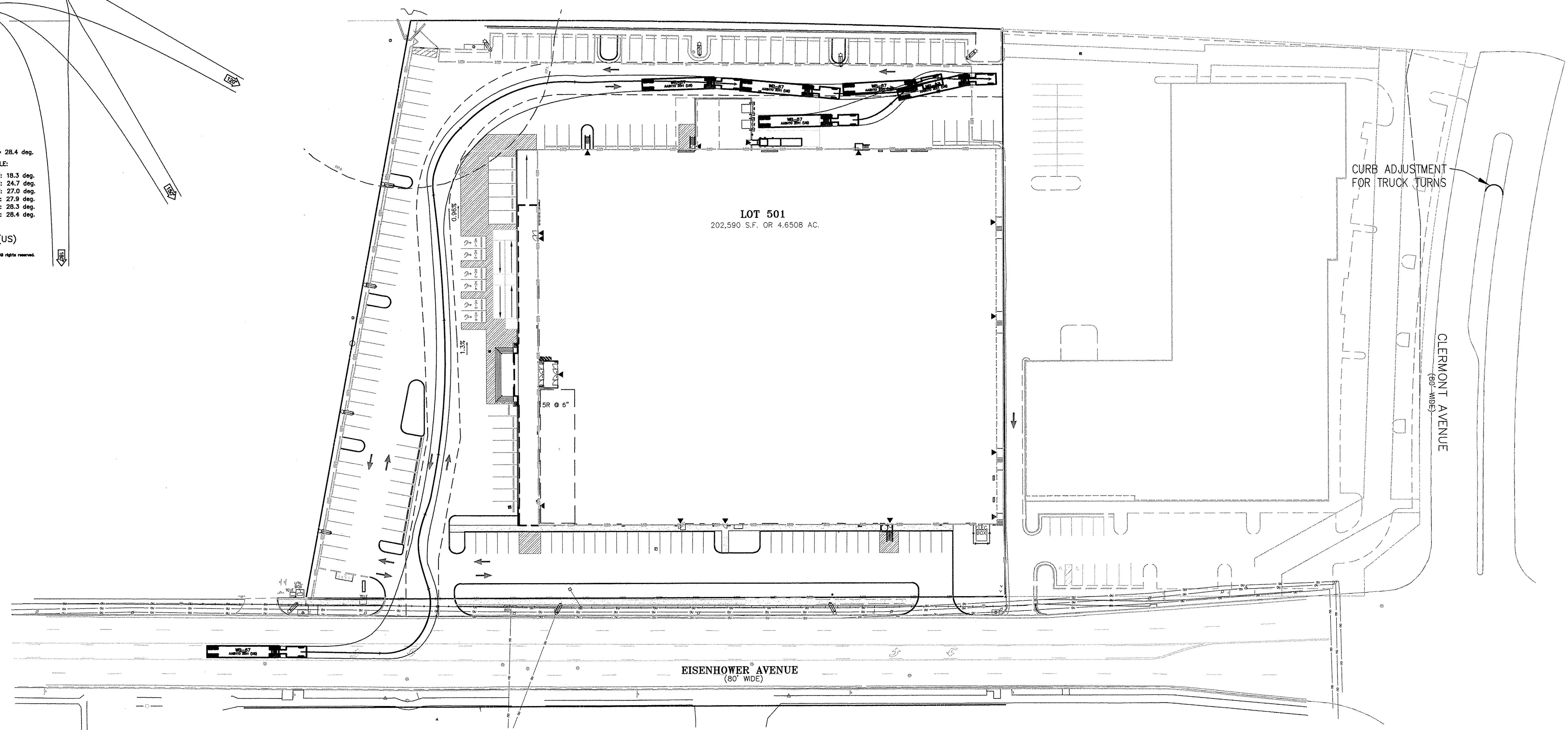
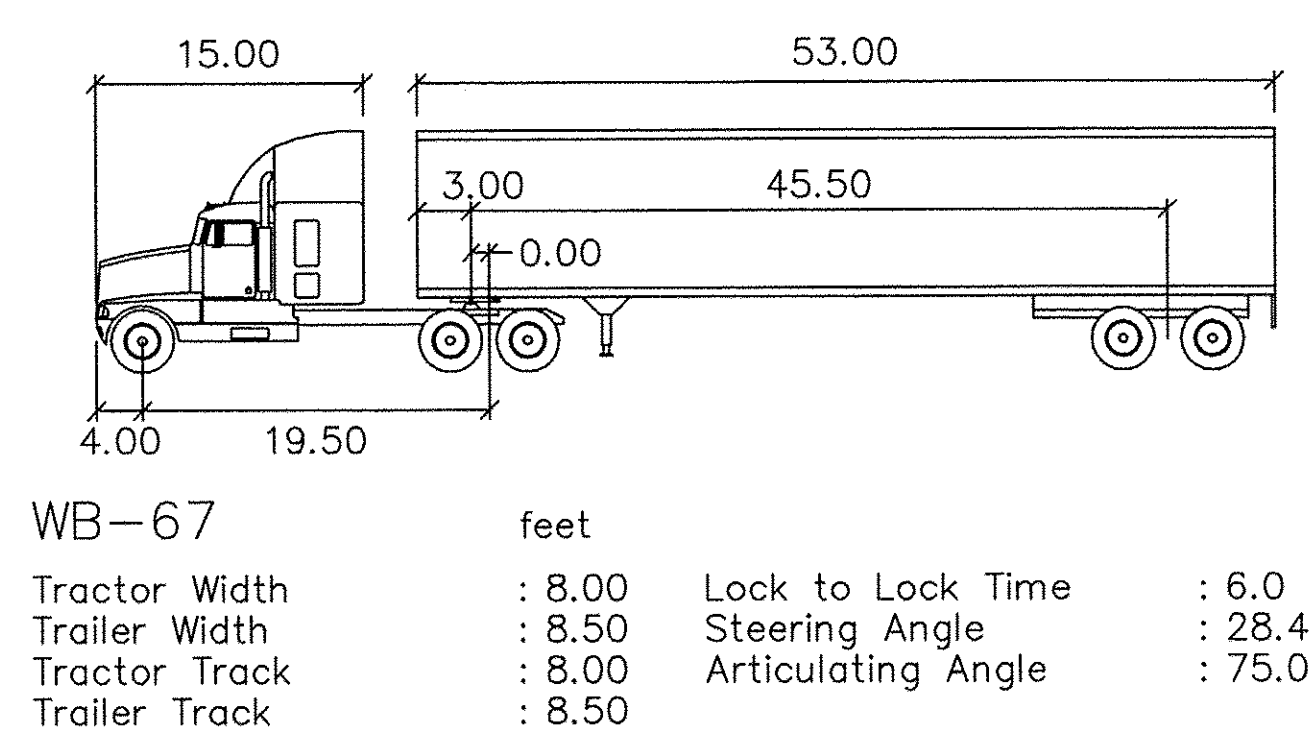
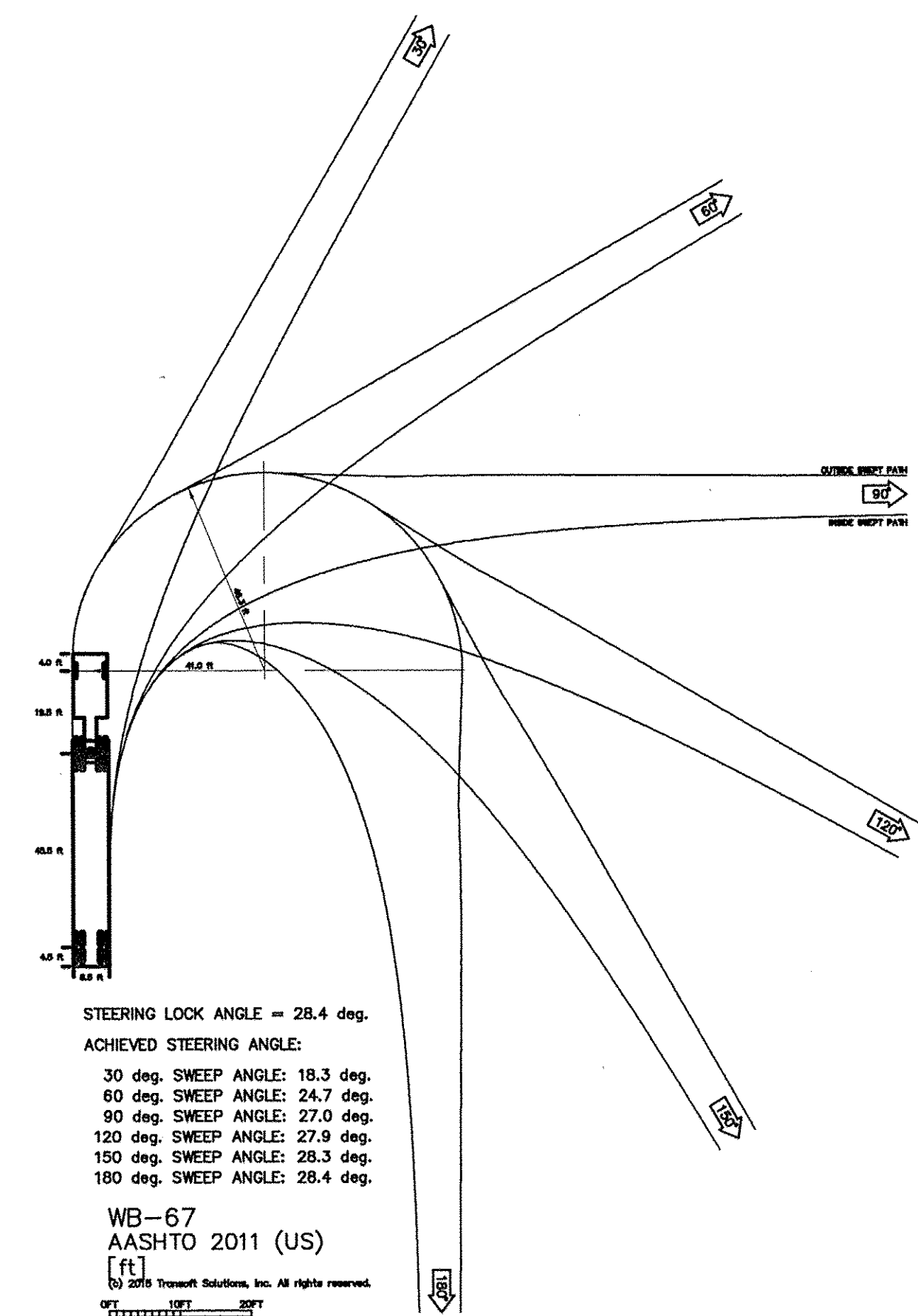


PLAN STATUS	
1/13/16	CONCEPT STAGE I & II
1/18/16	PRELIMINARY SITE PLAN
1/26/16	PRELIMINARY SITE PLAN

DATE		DESCRIPTION	
DD	TH	SL	
DESIGN	DRAWN	CHKD	
SCALE	H: 1" = 30' V:		
JOB No. 4636-05-002			
DATE : JUNE 2016			
FILE No. 4636-05-002			

SHEET C9.00

APPROVED	
SPECIAL USE PERMIT NO. <u>2016-0023</u>	
DEPARTMENT OF PLANNING & ZONING	
_____ DIRECTOR	_____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
_____ CHAIRMAN, PLANNING COMMISSION	
_____ DATE	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

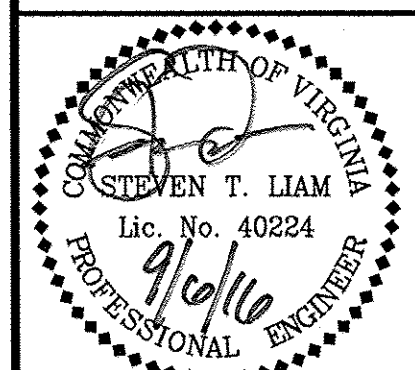


APPROVED
SPECIAL USE PERMIT NO. 2016-0023
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



PLAN STATUS	
6/13/16	CONCEPT STAGE I & II
7/18/16	PRELIMINARY SITE PLAN
9/6/16	PRELIMINARY SITE PLAN

DATE	DESCRIPTION
DD	TH
DESIGN	DRAWN
SCALE	H: 1" = 40'
V:	
JOB No.	4636-05-002
DATE	JUNE 2016
FILE No.	4636-05-002

SHEET C9.10

Bowman Consulting Group, Ltd.
2121 Northpark Drive
Alexandria, Virginia 22314
Phone: (703) 548-2188
Fax: (703) 683-5781
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

LOADING TRUCK TURNING MOVEMENT PLAN

4607 EISENHOWER AVENUE
FLOOR & DECOR STORE # VA-ALEX-2017

CITY OF ALEXANDRIA VIRGINIA

Bowman
CONSULTING

TM PARCEL 69.01-01-15.S1
N/F NORFOLK SOUTHERN RAILWAY COMPANY
ZONING: OFFICE

R=11,118.61' L=436.94' ①

MATCHLINE
SEE THIS SHEET

LOT 501
202,590 S.F. OR 4.6508 AC.



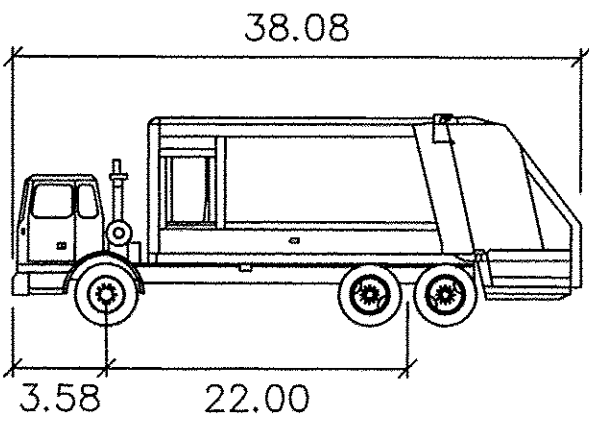
N 122°14' W 419.43'

N 77°38'16" E 516.32'

EISENHOWER AVENUE
(80' WIDE)

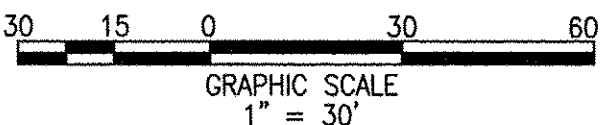
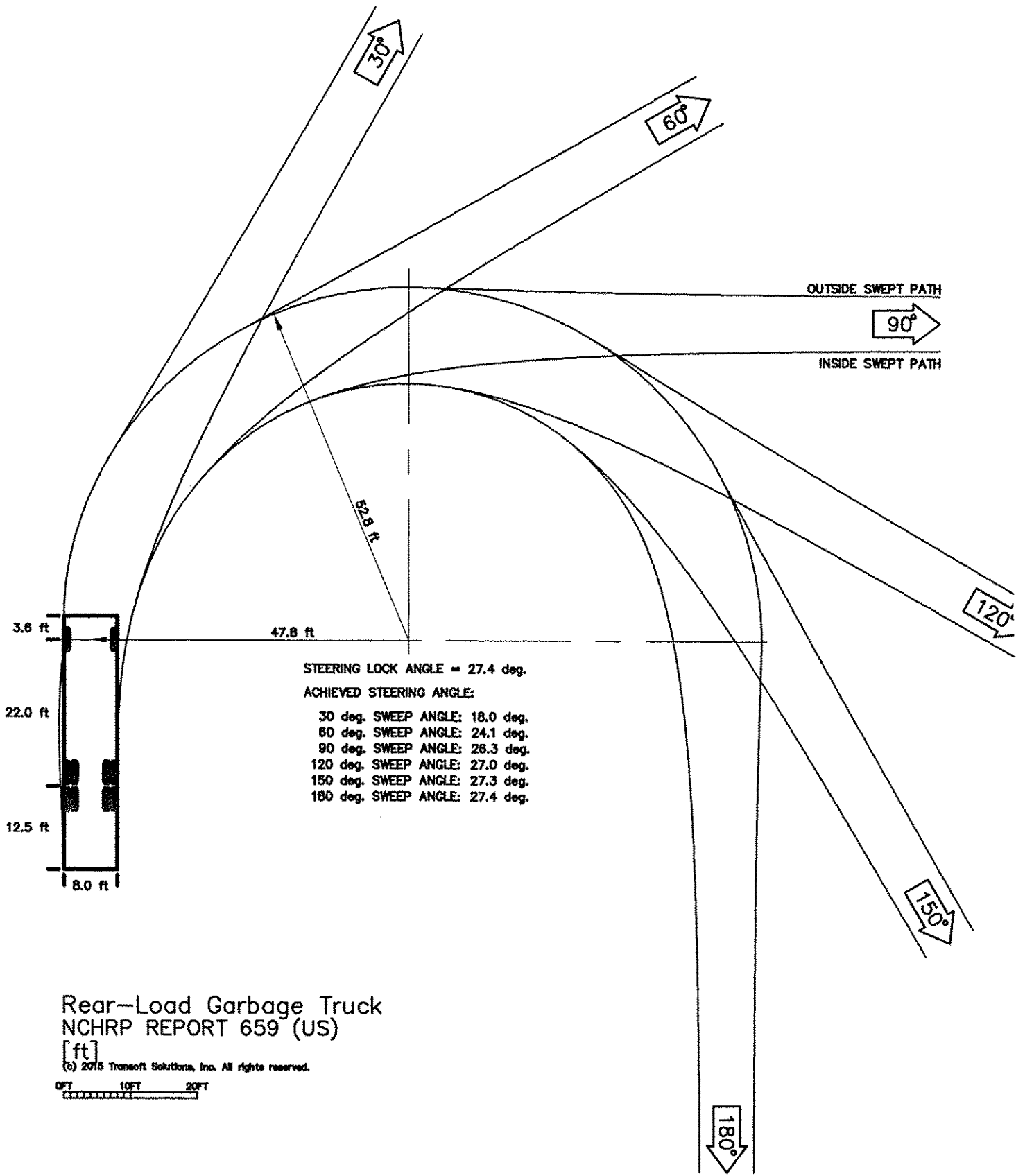
MATCHLINE
SEE THIS SHEET

INSET "A"
1" = 30'



Rear-Load Garbage Truck

feet
Width : 8.00
Track : 8.00
Lock to Lock Time : 6.0
Steering Angle : 27.4



APPROVED
SPECIAL USE PERMIT NO. 2016-0023
DEPARTMENT OF PLANNING & ZONING

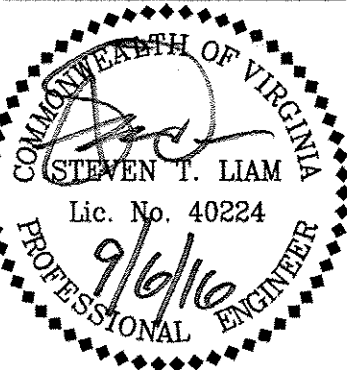
DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

Bowman
CONSULTING

Bowman Consulting Group, Ltd.
2121 Eisenhower Avenue
Alexandria, Virginia 22314
Phone: (703) 548-2188
Fax: (703) 683-5781
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

TRASH TRUCK TURNING MOVEMENT PLAN
4607 EISENHOWER AVENUE
FLOOR & DECOR STORE # VA-ALEX-2017
CITY OF ALEXANDRIA VIRGINIA



PLAN STATUS
6/13/16 CONCEPT STAGE I & II
7/18/16 PRELIMINARY SITE PLAN
9/6/16 PRELIMINARY SITE PLAN

DATE	DESCRIPTION
DD	TH SL
DESIGN	DRAWN CHKD
SCALE	H: 1" = 30'
V:	
JOB No. 4636-05-002	
DATE : JUNE 2016	
FILE No. 4636-05-002	

SHEET C9.20

TM PARCEL 69.01-01-15.S1
N/F NORFOLK SOUTHERN RAILWAY COMPANY
ZONING: OFFICE

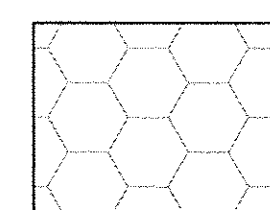
TM PARCEL 69.00-01-01
N/F AMERICAN OFFICE PARK PROPERTIES LP
ZONING: OFFICE

LOT 501
202,590 S.F. OR 4.6508 AC.

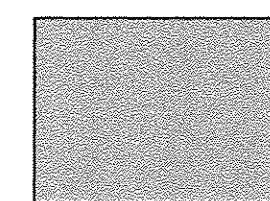
TM PARCEL 69.00-01-03
N/F 4601 EISENHOWER ASSOCIATES LLC
(LOT 500)
ZONING: OFFICE

EISENHOWER AVENUE
(80' WIDE)

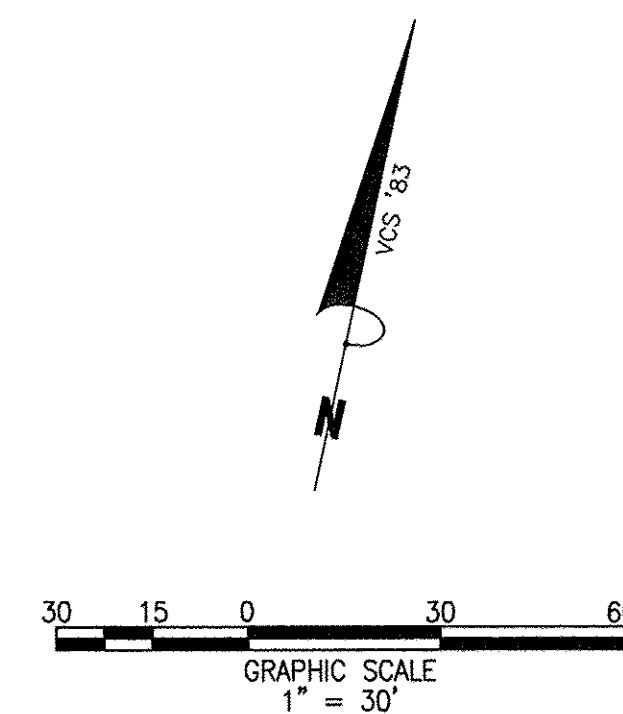
SITE LEGEND



MILL AND OVERLAY

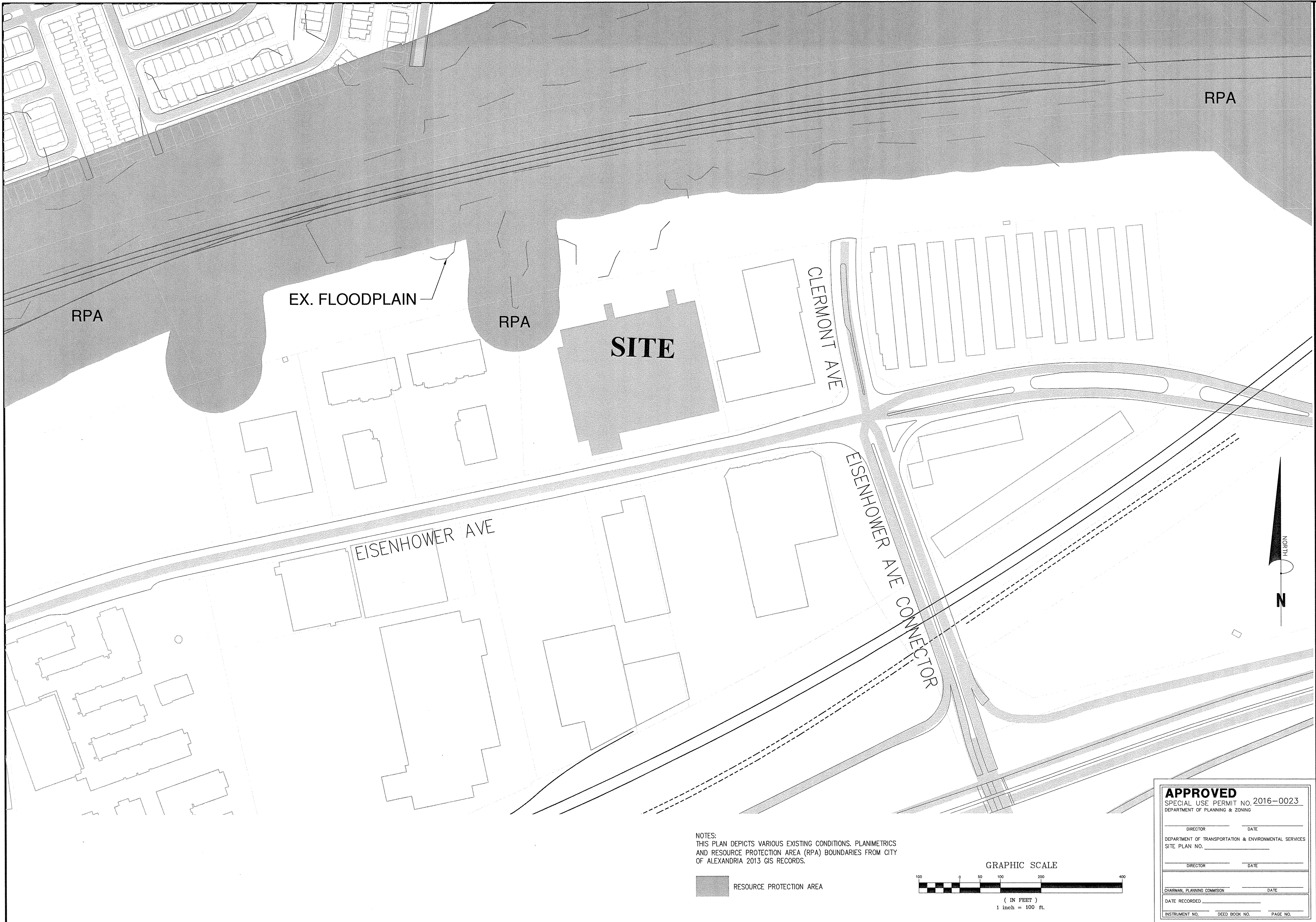


FULL DEPTH ASPHALT REPLACEMENT



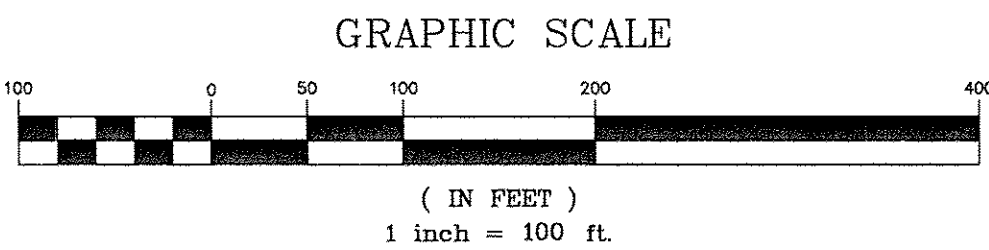
APPROVED
SPECIAL USE PERMIT NO. 2016-0023
DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE	
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
PAGE NO.	



NOTES:
THIS PLAN DEPICTS VARIOUS EXISTING CONDITIONS. PLANIMETRICS
AND RESOURCE PROTECTION AREA (RPA) BOUNDARIES FROM CITY
OF ALEXANDRIA 2013 GIS RECORDS.

RESOURCE PROTECTION AREA



APPROVED
SPECIAL USE PERMIT NO. 2016-0023
DEPARTMENT OF PLANNING & ZONING

DIRECTOR

DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO.

DIRECTOR

DATE

CHAIRMAN, PLANNING COMMISSION

DATE

DATE RECORDED

INSTRUMENT NO.

DEED BOOK NO.

PAGE NO.

Bowman
CONSULTING

Bowman Consulting Group, Ltd.
2121 Eisenhower Avenue
Alexandria, Virginia 22314
Phone: (703) 546-2188
Fax: (703) 683-5781
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

RESOURCE PROTECTION PLAN

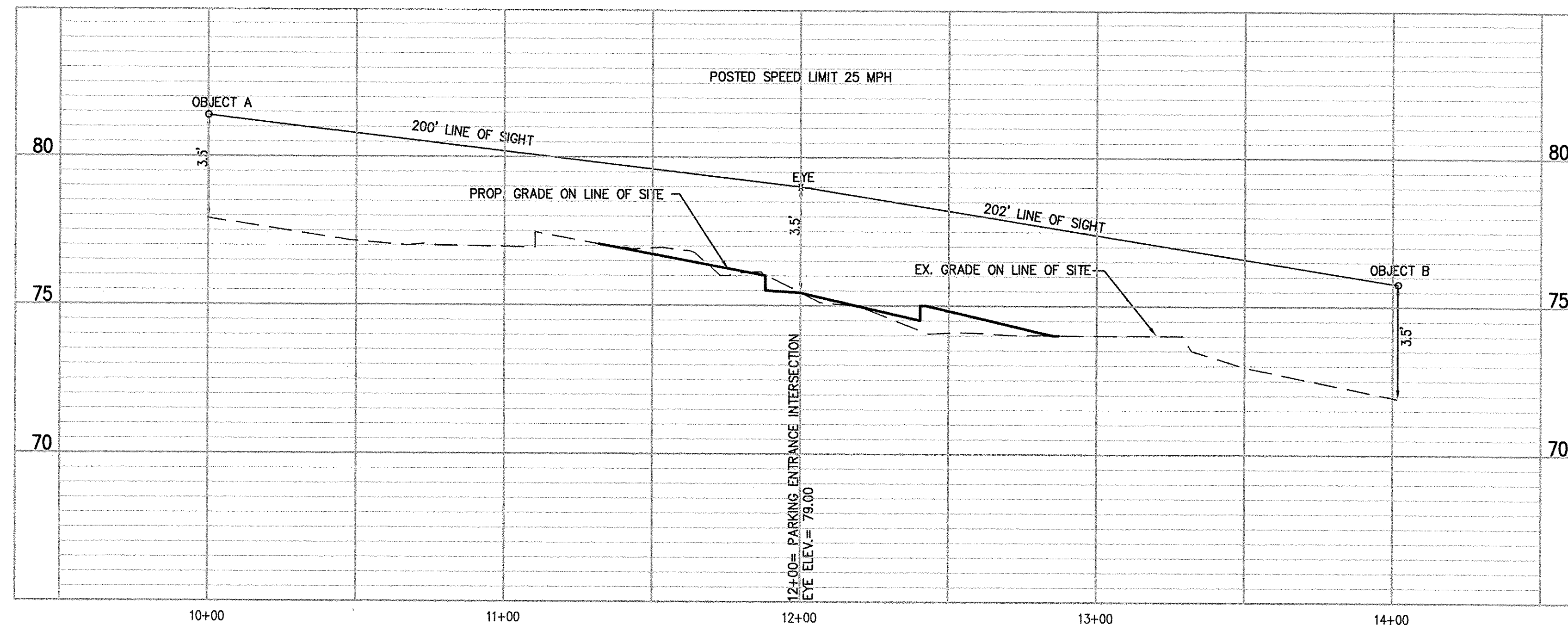
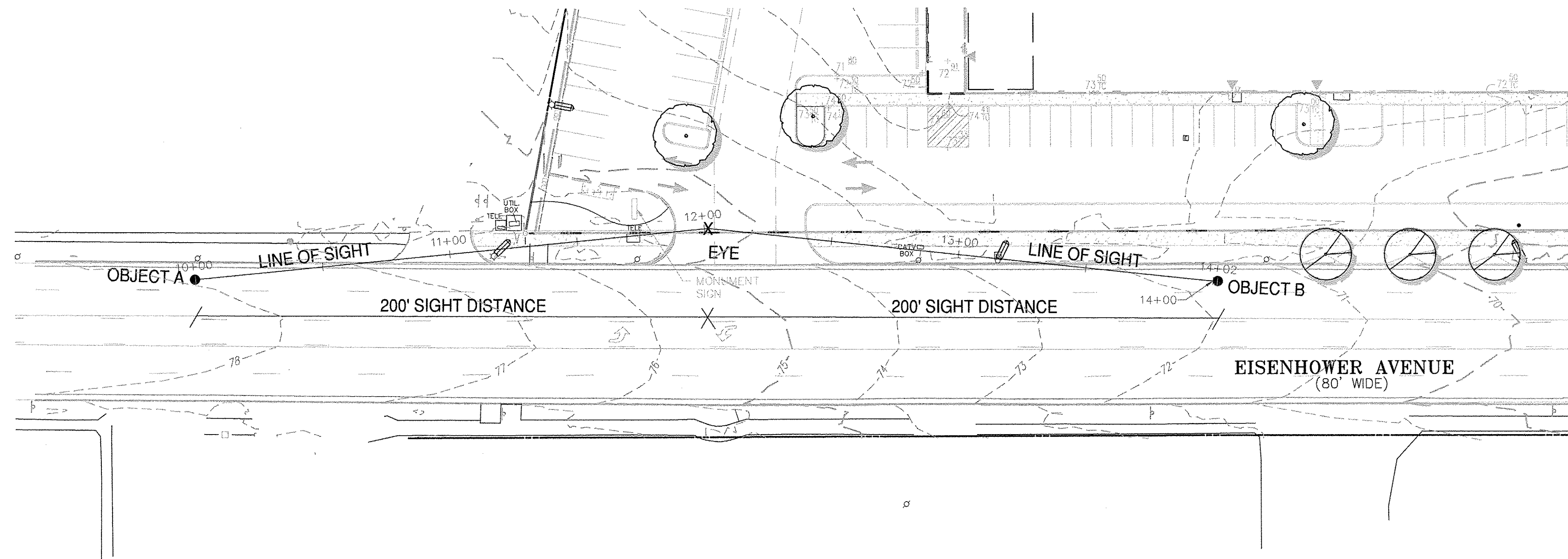
4607 EISENHOWER AVENUE
FLOOR & DECOR STORE # VA-ALEX-2017

CITY OF ALEXANDRIA VIRGINIA

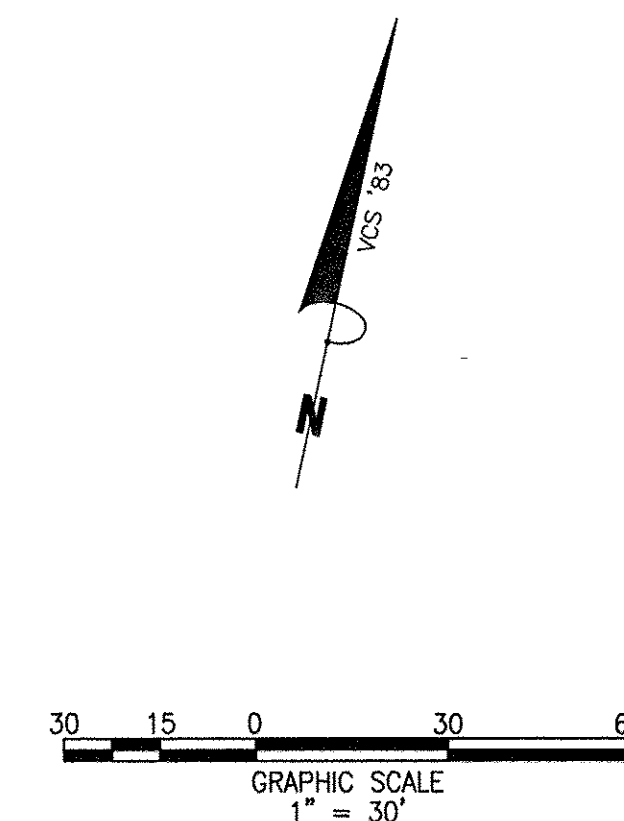
STEVEN T. LIAM
Lic. No. 40224
9/6/16
PROFESSIONAL ENGINEER

PLAN STATUS	
6/13/16	CONCEPT STAGE I & II
7/18/16	PRELIMINARY SITE PLAN
9/6/16	PRELIMINARY SITE PLAN

DATE	DESCRIPTION		
DD	TH	SL	
DESIGN	DRAWN	CHKD	
SCALE H: 1" = 200'			
V:			
JOB No. 4636-05-002			
DATE : JUNE 2016			
FILE No. 4636-05-002			
SHEET C10.00			



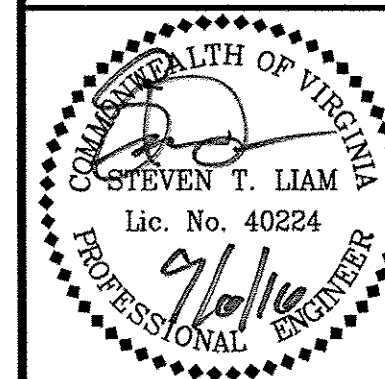
EISENHOWER AVENUE LINE OF SIGHT PROFILE VIEW
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=3'



APPROVED
SPECIAL USE PERMIT NO. 2016-0023
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



PLAN STATUS	
6/13/16	CONCEPT STAGE I & II
7/18/16	PRELIMINARY SITE PLAN
9/6/16	PRELIMINARY SITE PLAN

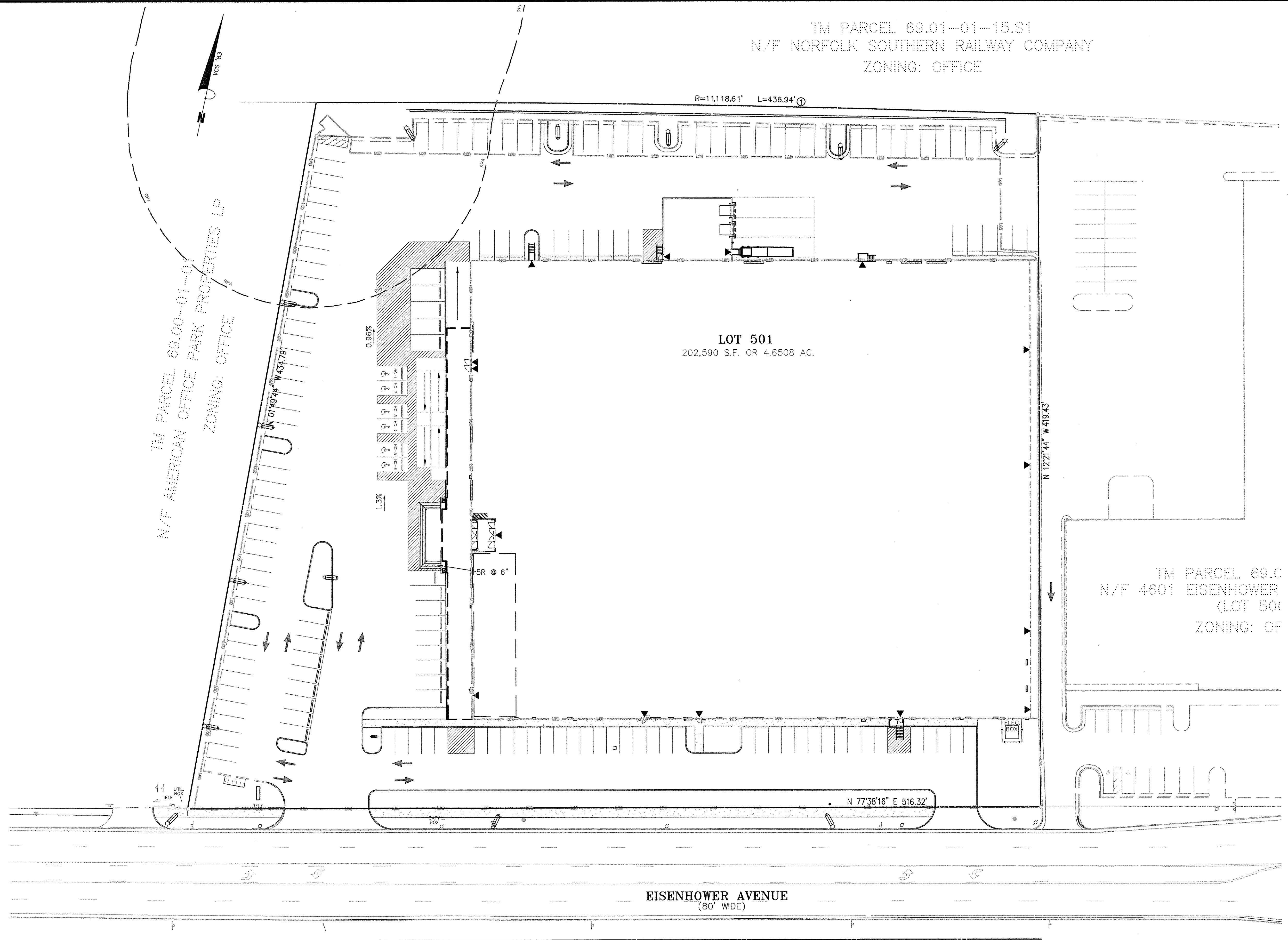
DATE	DESCRIPTION
DD	TH SL
DESIGN	DRAWN CHKD
SCALE H: 1" = 30'	V:
JOB No. 4636-05-002	
DATE : JUNE 2016	
FILE No. 4636-05-002	

SHEET C11.00

Bowman Consulting Group, Ltd.
2122 Eisenhower Avenue
Alexandria, Virginia 22314
Phone: (703) 548-2188
Fax: (703) 683-5781
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

SIGHT DISTANCE PLAN
4607 EISENHOWER AVENUE
FLOOR & DECOR STORE # VA-ALEX-2017
CITY OF ALEXANDRIA VIRGINIA

Bowman
CONSULTING



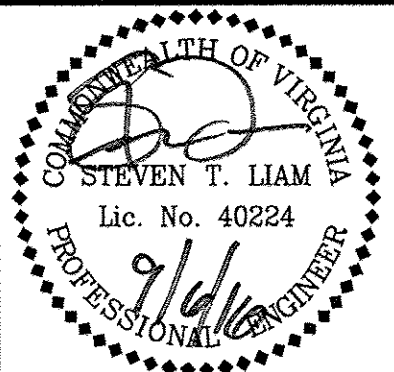
LEGEND

○ PROPOSED LED FIXTURE

- NOTES:**
1. ALL EXISTING LIGHT POLES TO RECEIVE NEW SINGLE LED HEADS. SEE DETAIL ON SHEET C12.10.



APPROVED		
SPECIAL USE PERMIT NO. 2016-0023		
DEPARTMENT OF PLANNING & ZONING		
DATE _____		
DIRECTOR _____		
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN NO. _____		
DATE _____		
DIRECTOR _____		
CHAIRMAN, PLANNING COMMISSION _____		
DATE _____		
DATE RECORDED _____		
INSTRUMENT NO. _____		
DEED BOOK NO. _____		
PAGE NO. _____		



PLAN STATUS	
6/13/16	CONCEPT STAGE I & II
7/18/16	PRELIMINARY SITE PLAN
9/6/16	PRELIMINARY SITE PLAN

DATE	DESCRIPTION
DD	TH SL
DESIGN	DRAWN CHKD
SCALE H: 1" = 30'	
V:	
JOB No. 4636-05-002	
DATE : JUNE 2016	
FILE No. 4636-05-002	

SHEET C12.00

PRELIMINARY LIGHTING PLAN

4607 EISENHOWER AVENUE

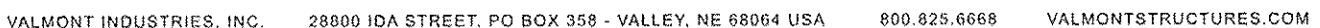
FLOOR & DECOR STORE # VA-ALEX-2017

CITY OF ALEXANDRIA VIRGINIA

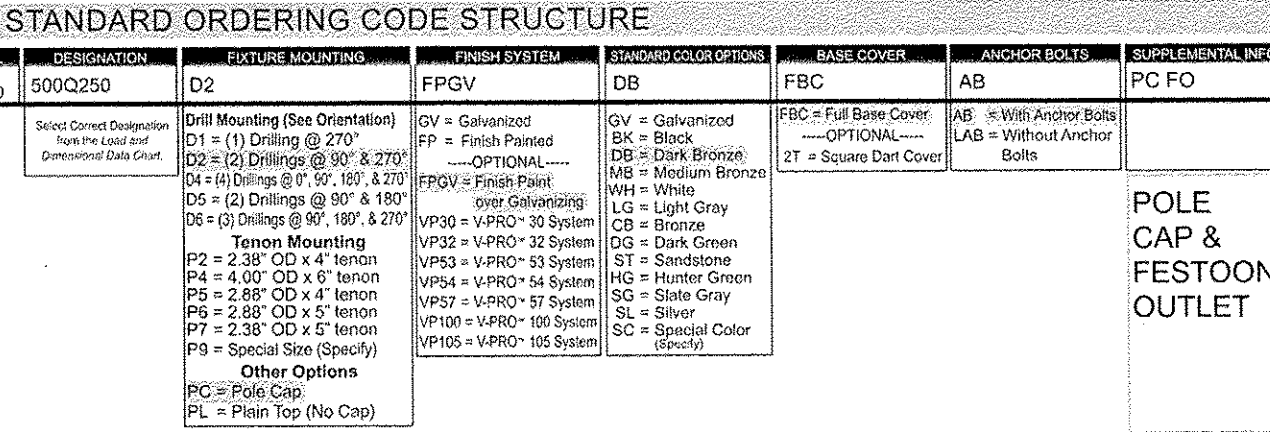
Bowman Consulting Group, Ltd.
2121 Eisenhower Avenue
Alexandria, Virginia 22314
Phone: (703) 548-2188
Fax: (703) 683-5781
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

Bowman
CONSULTING

SOFT SQUARE STEEL
DS330
Fatigue Resistant



DESIGNATION, LOAD AND DIMENSIONAL DATA												
DESIGNATION	DESIGN INFORMATION						POLE DIMENSIONS ¹				DESIGNATION	
	30 MPa NOMINAL STRENGTH	30 MPa MAX STRENGTH	30 MPa MAX STRENGTH	30 MPa MAX STRENGTH	100 MPa MAX STRENGTH	SHAFT SHAPE (mm)	SHAFT SHAPE (mm)	WALL THICKNESS (mm)	STRUCTURE TYPE			
10-0°	39.5	44.8	23.8	N/A	N/A	4.00	4.00	11	24	4000I20		
12-0°	34.2	40.6	21.0	N/A	N/A	4.00	4.00	11	24	4000I20		
14-0°	19.8	49.8	15.1	378	117	293	4.00	4.00	11	100	4000I410	
16-0°	15.9	39.8	11.8	295	83	223	4.00	4.00	11	115	4000I410	
18-0°	12.6	34.2	9.0	210	60	165	4.00	4.00	11	126	4000I410	
20-0°	9.8	29.4	6.7	167	4.5	150	4.00	4.00	11	140	4000I200	
	17.7	44.3	12.7	343	94	235	5.00	5.00	11	185	5000I200	
	28.1	72.1	20.4	550	150	375	5.00	5.00	11	285	5000I200	
22-0°	8.4	25.0	2.6	100	1.0	5.0	4.00	4.00	11	170	4000I250	
	10.8	27.7	7.7	188	5.4	136	4.00	4.00	7	245	4000I250	
	18.5	48.3	13.3	333	93.5	238	5.00	5.00	7	300	5000I250	
	6.7	16.8	4.4	110	2.8	65	4.00	4.00	7	291	4000I300	
	2.0	4.7	2.0	4.7	0.7	N/A	6.00	6.00	1	285	5000I300	
	10.7	26.7	6.7	167	3.9	100	6.00	6.00	5	300	5000I300	
	19.0	47.6	13.2	330	9.0	225	6.00	6.00	7	520	6000I300	
30-0°	5.0	15.0	2.5	100	N/A	N/A	5.00	5.00	7	440	5000I350	
	7.0	21.0	3.5	105	N/A	N/A	5.00	5.00	7	440	5000I350	
40-0°	7.2	18.0	3.0	75	N/A	N/A	6.00	6.00	7	605	6000I400	



Accessories	
1) RCLT 4' LED strip lighting for any low voltage from 120-277V (50/60 Hz). Spool 120, 208, 240 or 277 options only when ordering with kiosk (SCF or optional, or photocell) (PFC) option.	
2) Available with 30/120/240/277 options only with LED SCF, PFC, or MAG option not available.	
3) Also available in a separate enclosure with 120V connection.	
4) Photocell (PFC) requires 120, 208, 240, or 277V options. Not available with mains and kiosk light system (PMS).	
5) Requires a RCLMT 4' LED module with 10W density (output) and 120V dimming capability. Not available with PMS (PFC). Additional hardware and wiring required for RCLMT application. See below for more details.	
6) See the Lithonia website for RCLMT application details. Includes a RCLMT application form for details, technical product literature. Not available with "PFC" option (photocell or PFC). Dimming not available.	
7) Single line RCLT requires 120, 208 or 277V options. Double line RCLT requires 240, 208 or 480V options only.	
8) See the electrical section in page 2 for more details.	
9) Requires lighting to be specified with PFC option. Cabled and dimmed in a separate line feed.	

Note:
Available with phosphor-converted amber LEDs (nonradiant AMBPC). These LEDs produce light with 97 + % >530 nm.

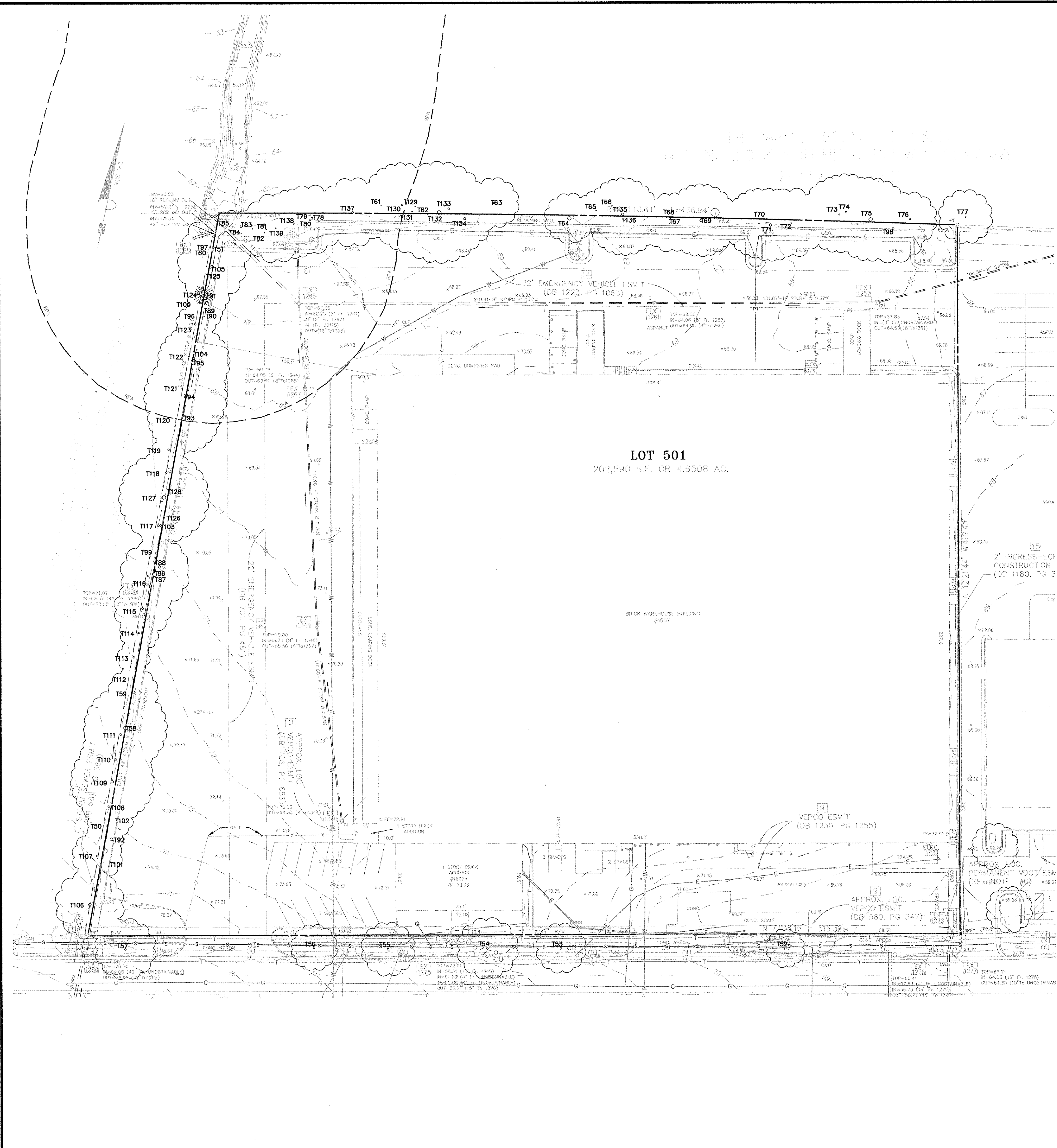
Page 10

One Lithonia Way • Corvys, Georgia 30012 • Phone: 800.279.8041 • Fax: 770.918.1209 • www.lithonia.com
© 2012-2015 Acuity Brands Lighting, Inc. All rights reserved.

APPROVED		
SPECIAL USE PERMIT NO. 2016-0023		
DEPARTMENT OF PLANNING & ZONING		
_____ DIRECTOR		_____ DATE
DEPARTMENT OF PLANNING & ENVIRONMENTAL SERVICES		
SITE PLAN NO. _____		
_____ DIRECTOR		_____ DATE

_____ CHAIRMAN, PLANNING COMMISSION		_____ DATE
DATE RECORDED _____		
INSTRUMENT NO. _____		DEED BOOK NO. _____
		PAGE NO. _____

COMMONWEALTH OF VIRGINIA
STEVEN T. LIAM
Lic. No. 40224
9/0/16
PROFESSIONAL ENGINEER



TREE INVENTORY
4607 Eisenhower Avenue, Alexandria, VA
Date of site visit (s): June 7, 2016
Certified Arborist: Gregg D. Eberly, MA-4616A

Tree #	Botanic Name	Common Name	Caliper (DBH)	Condition Rating	Species Rating
50	Prunus serotina	Black Cherry	8	50	50
51	Ailanthus altissima	Tree of Heaven	8	60	30
52	Gleditsia triacanthos	Honey Locust	12	70	60
53	Gleditsia triacanthos	Honey Locust	12	70	60
54	Gleditsia triacanthos	Honey Locust	12	70	60
55	Gleditsia triacanthos	Honey Locust	12	70	60
56	Gleditsia triacanthos	Honey Locust	12	70	60
57	Gleditsia triacanthos	Honey Locust	12	70	60
58	Morus nigra	Black Mulberry	24	40	50
59	Morus nigra	Black Mulberry	22 (multi)	40	50
60	Fraxinus pennsylvanica	Green Ash	4	20	40
61	Robinia pseudoacacia	Black Locust	4	DEAD	50
62	Fraxinus pennsylvanica	Green Ash	6	70	40
63	Morus nigra	Black Mulberry	8	DEAD	50
64	Robinia pseudoacacia	Black Locust	18	DEAD	50
65	Ulmus americana	American Elm	6	70	60
66	Robinia pseudoacacia	Black Locust	6	70	50
67	Robinia pseudoacacia	Black Locust	12	70	50
68	Robinia pseudoacacia	Black Locust	7	70	50
69	Robinia pseudoacacia	Black Locust	17	40	50
70	Ulmus americana	American Elm	9	50	60
71	Catalpa speciosa	Northern Catalpa	12	60	40
72	Catalpa speciosa	Northern Catalpa	9 (multi)	70	40
73	Robinia pseudoacacia	Black Locust	8	60	50
74	Robinia pseudoacacia	Black Locust	12	50	50
75	Morus nigra	Black Mulberry	16 (multi)	50	50
76	Catalpa speciosa	Northern Catalpa	8	50	40
77	Morus nigra	Black Mulberry	4 (multi)	50	50
78	Morus nigra	Black Mulberry	7	60	50
79	Morus nigra	Black Mulberry	12	50	50
80	Morus nigra	Black Mulberry	12	50	50
81	Morus nigra	Black Mulberry	5	60	50
82	Robinia pseudoacacia	Black Locust	10	60	50
83	Fraxinus pennsylvanica	Green Ash	6	60	40
84	Robinia pseudoacacia	Black Locust	8	50	50
85	Robinia pseudoacacia	Black Locust	8	40	50
86	Ulmus americana	American Elm	20	70	60
87	Ulmus americana	American Elm	32 (multi)	70	60
88	Ulmus americana	American Elm	16	70	60
89	Ulmus americana	American Elm	4	70	60
90	Ulmus americana	American Elm	4	70	60
91	Pyrus calleryana	Bradford Pear	7	70	40
92	Morus nigra	Black Mulberry	14 (multi)	50	50
93	Fraxinus pennsylvanica	Green Ash	16	DEAD	40
94	Fraxinus pennsylvanica	Green Ash	19	DEAD	40
95	Fraxinus pennsylvanica	Green Ash	24 (multi)	DEAD	40
96	Fraxinus pennsylvanica	Green Ash	6	DEAD	40
97	Fraxinus pennsylvanica	Green Ash	6	70	40
98	Fraxinus pennsylvanica	Green Ash	12	60	40
99	Liquidambar styraciflua	Sweetgum	4	70	60
100	Ulmus americana	American Elm	7	60	60
101	Ailanthus altissima	Tree of Heaven	4	60	30
102	Fraxinus pennsylvanica	Green Ash	5	60	40
103	Ailanthus altissima	Tree of Heaven	12	70	30
104	Fraxinus pennsylvanica	Green Ash	4	DEAD	40
105	Fraxinus pennsylvanica	Green Ash	24 (multi)	DEAD	40
106	Pinus strobus	White Pine	17	70	50
107	Pinus strobus	White Pine	12	40	50
108	Pinus strobus	White Pine	13	40	50
109	Pinus strobus	White Pine	17	40	50
110	Pinus strobus	White Pine	13	40	50
111	Pinus strobus	White Pine	12	20	50
112	Pinus strobus	White Pine	6	DEAD	50
113	Pinus strobus	White Pine	12	70	50
114	Pinus strobus	White Pine	14	70	50
115	Pinus strobus	White Pine	14	DEAD	50
116	Pinus strobus	White Pine	12	60	50
117	Pinus strobus	White Pine	12	70	50
118	Pinus strobus	White Pine	12	70	50
119	Pinus strobus	White Pine	13	70	50
120	Pinus strobus	White Pine	12	50	50
121	Pinus strobus	White Pine	7	60	50
122	Pinus strobus	White Pine	7	70	50
123	Pinus strobus	White Pine	12	70	50
124	Pinus strobus	White Pine	7	DEAD	50
125	Prunus serotina	Black Cherry	8	DEAD	50
126	Fraxinus pennsylvanica	Green Ash	5	60	40
127	Fraxinus pennsylvanica	Green Ash	26	DEAD	40
128	Fraxinus pennsylvanica	Green Ash	3	60	40
129	Fraxinus pennsylvanica	Green Ash	4	70	40
130	Robinia pseudoacacia	Black Locust	8	60	50
131	Robinia pseudoacacia	Black Locust	8	60	50
132	Robinia pseudoacacia	Black Locust	18 (multi)	60	50
133	Robinia pseudoacacia	Black Locust	12	60	50
134	Robinia pseudoacacia	Black Locust	16	DEAD	50
135	Robinia pseudoacacia	Black Locust	17	70	50
136	Robinia pseudoacacia	Black Locust	17	70	50
137	Robinia pseudoacacia	Black Locust	12	70	50
138	Robinia pseudoacacia	Black Locust	12	50	50
139	Robinia pseudoacacia	Black Locust	7	50	50

Notes:
1. Condition Rating based on formula provided by the Guide for Plant Appraisal published by the ISA.
Condition Rating: 90-100 Excellent, 70-89 Good, 50-69 Fair, 25-49 Poor, 05-24 Very Poor
2. Species Rating based on formula provided by the Guide for Plant Appraisal published by the ISA.
3. Off site trees included in this inventory had critical root zones located in or on subject property.

APPROVED
SPECIAL USE PERMIT NO. 2016-0023
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DATE	DESCRIPTION
DD	TH SL
DESIGN	DRAWN CHKD
SCALE	H: 1" = 30'
V:	
JOB No.	4636-05-002
DATE :	JUNE 2016
FILE No.	4636-05-002
SHEET	T1.00

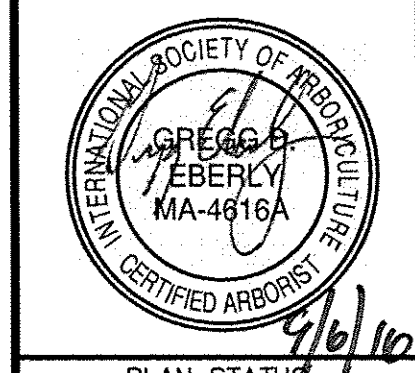
Bowman
CONSULTING

Bowman Consulting Group, Ltd.
2122 Eisenhower Avenue
Alexandria, Virginia 22314
Phone: (703) 546-2188
Fax: (703) 663-5781
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

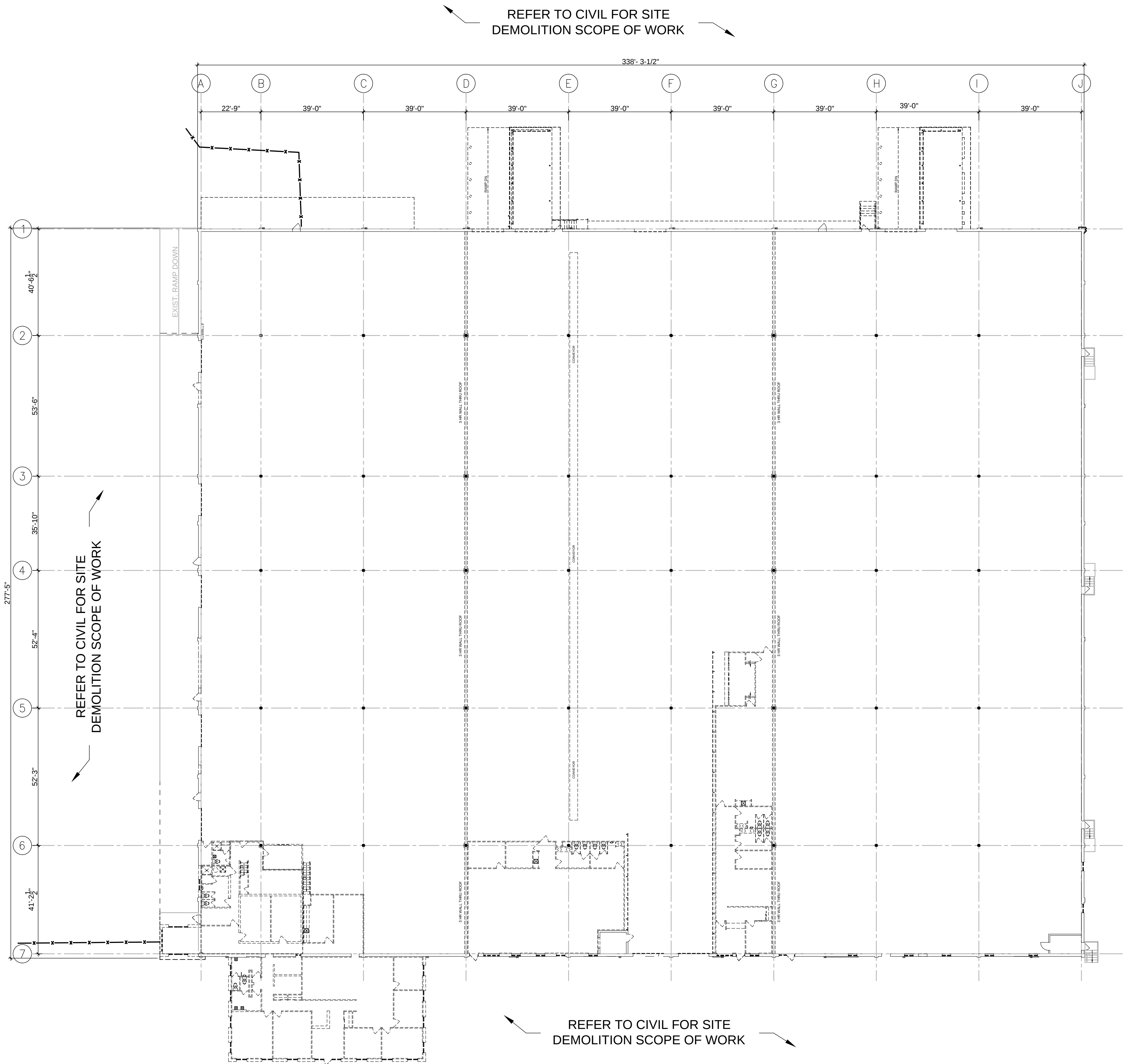
TREE INVENTORY PLAN

4607 EISENHOWER AVENUE
FLOOR & DECOR STORE # VA-ALEX-2017

CITY OF ALEXANDRIA VIRGINIA



PLAN STATUS
6/13/16 CONCEPT STAGE I & II
7/18/16 PRELIMINARY SITE PLAN
9/6/16 PRELIMINARY SITE PLAN



1 EXIST/DEMO PLAN
SCALE: 1" = 20'-0"

BUILDING AREA SUMMARY	
WAREHOUSE	86,094 SF
OFFICE	10,235 SF
TOTAL (GROSS)	96,329 SF
WEST CANOPY	3,704 SF
LOADING DOCK CANOPIES	3,275 SF
TOTAL GFA	103,308 SF

APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
DATE _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____

LITTLE
DIVERSIFIED ARCHITECTURAL CONSULTING

5815 Westpark Drive Charlotte, NC 28217
T: 704.525.6350 F: 704.561.8700
www.littleonline.com

This drawing and the design shown are the property of Little Diversified Architectural Consulting. The reproduction, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.

© Little 2016

FLOOR & DECOR

2233 LAKE PARK DRIVE SUITE 400
SMYRNA, GA 30080

PROJECT NAME

FLOOR & DECOR
STORE # VA-ALEX-2017
4607 EISENHOWER AVE
ALEXANDRIA VA, 22304

SEAL

BRIAN TIMOTHY MORRISON
Lic. No. 014213
ARCHITECT

PROJECT TEAM

PRINCIPAL IN CHARGE
JR

PROJECT MANAGER
MNM

DRAWN BY
.

ISSUE / REVISIONS

NO.	REASON	DATE

SHEET TITLE

EXIST/DEMO PLAN

PROJECT NO.

121.5844.00

ISSUE / DATE

PRELIM

SHEET NUMBER

A1.00

09.06.16



2233 LAKE PARK
DRIVE SUITE 400
SMYRNA, GA 30080

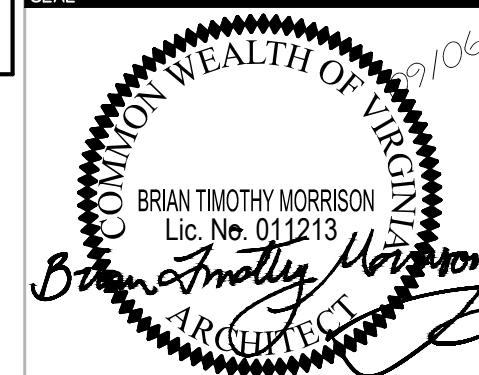
PROJECT NAME

FLOOR & DECOR

STORE # VA-ALEX-2017
4607 EISENHOWER AVE
ALEXANDRIA VA, 22304

BUILDING AREA SUMMARY		
	SALES AREA	79,515 SF
	WAREHOUSE	13,189 SF
	OFFICE	2,093 SF
	TOTAL BUILDING	94,797 SF
	WEST CANOPY	3,704 SF
	TOTAL GFA	98,501 SF
	DEDUCTIONS	N/A
	NET GROSS FLOOR AREA	98,501 SF

SEA



PROJECT TEAM

PRINCIPAL IN CHARGE
1BPROJECT MANAGER
MNM

DRAW

[illegible]

	SHEET TITLE

FLOOR PLAN

APPROVED		
SPECIAL USE PERMIT NO. _____		
DEPARTMENT OF PLANNING & ZONING		
_____ DIRECTOR	_____ DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN NO. _____		
_____ DIRECTOR	_____ DATE	
_____ CHAIRMAN, PLANNING COMMISSION	_____ DATE	
DATE RECORDED _____		
INSTRUMENT NO. _____	DEED BOOK NO. _____	PAGE NO. _____

PROJECT NO.

121.5844.00

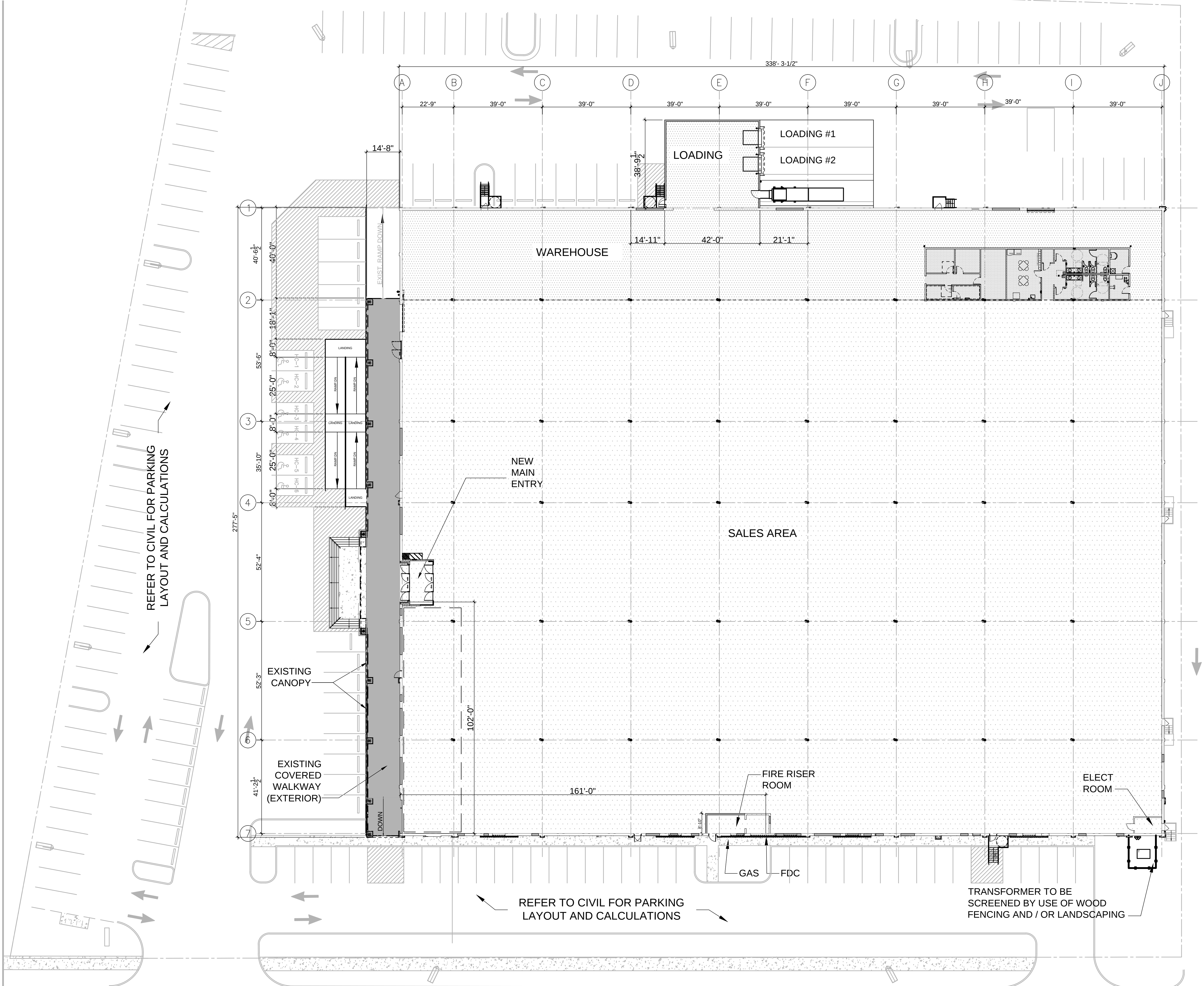
ISSUE / DATE

10002 / DATE

PRELIM
09.06.16

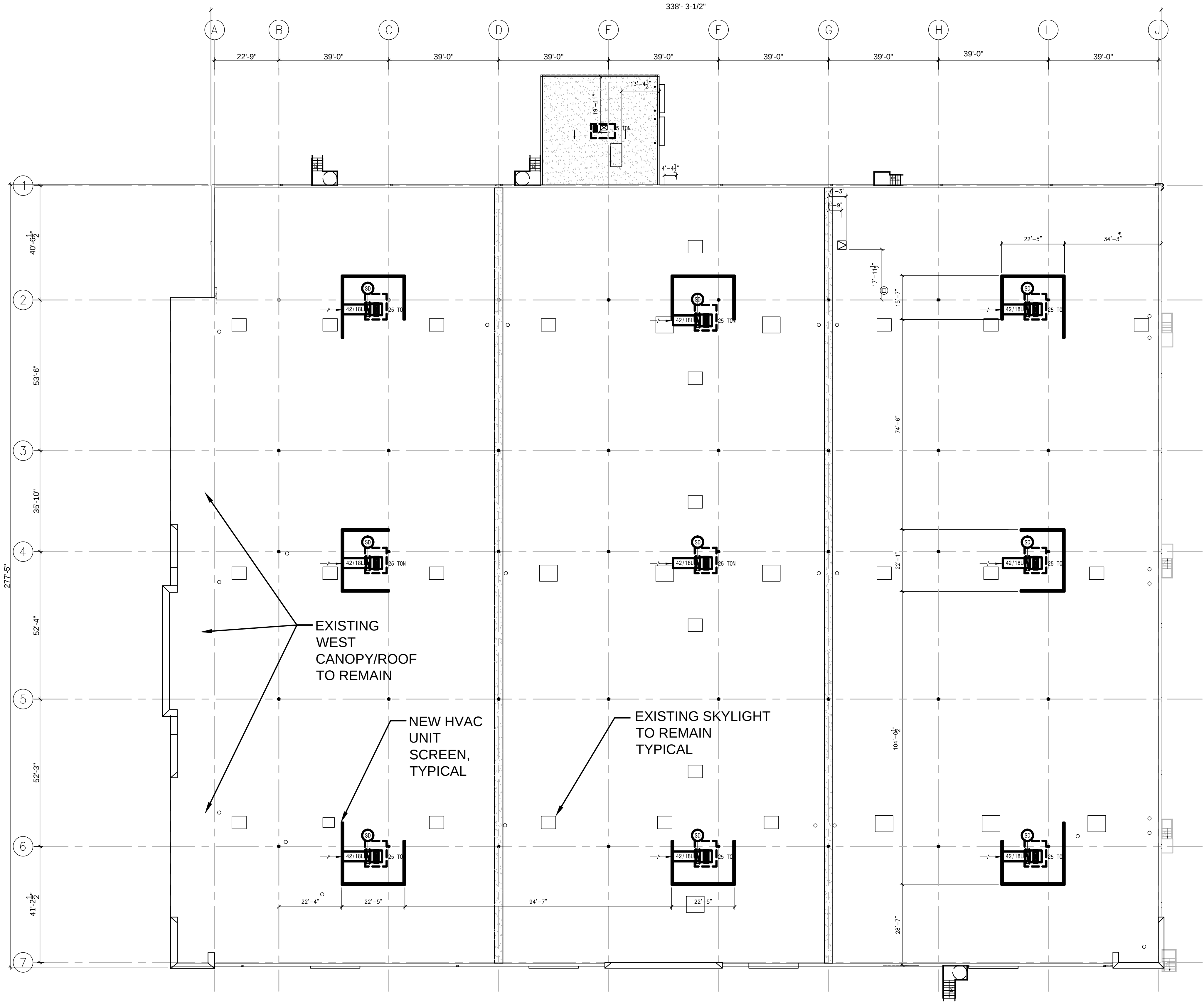
SHEET NUMBER

A2.00



1 FLOOR PLAN

SCALE: 1" = 20'-0"



1 ROOF PLAN
SCALE: 1" = 20'-0"

APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
DATE _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	
DEED BOOK NO. _____	
PAGE NO. _____	

LITTLE™

DIVERSIFIED ARCHITECTURAL CONSULTING

5815 Westpark Drive Charlotte, NC 28217

T: 704.525.6350 F: 704.561.8700

www.littleonline.com

This drawing and the design shown are the property of Little Diversified Architectural Consulting. The reproduction, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.

© Little 2016

FLOOR&DECOR

2233 LAKE PARK DRIVE SUITE 400 SMYRNA, GA 30080

PROJECT NAME

FLOOR&DECOR

STORE # VA-ALEX-2017

4607 EISENHOWER AVE

ALEXANDRIA VA, 22304

SEAL

COMMONWEALTH OF VIRGINIA

BRIAN TIMOTHY MORRISON

Lic. No. 014213

ARCHITECT

09/06/16

Brian Timothy Morrison

PROJECT TEAM

PRINCIPAL IN CHARGE

JR

PROJECT MANAGER

MNM

DRAWN BY

.

ISSUE / REVISIONS

NO.	REASON	DATE

SHEET TITLE

ROOF PLAN

PROJECT NO.

121.5844.00

ISSUE / DATE

PRELIM

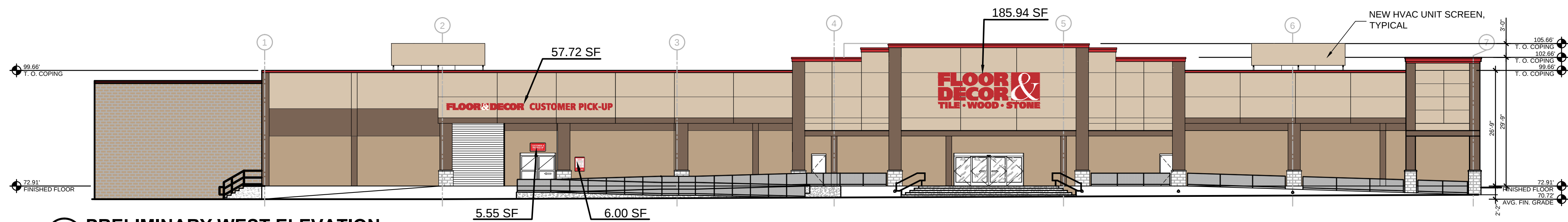
09.06.16

SHEET NUMBER

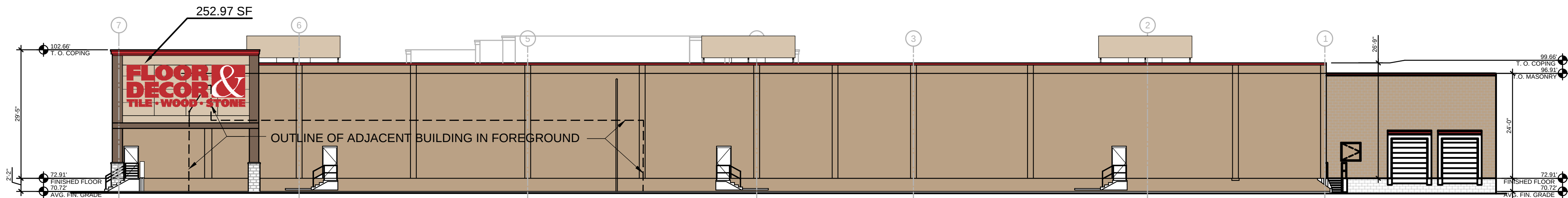
A3.00



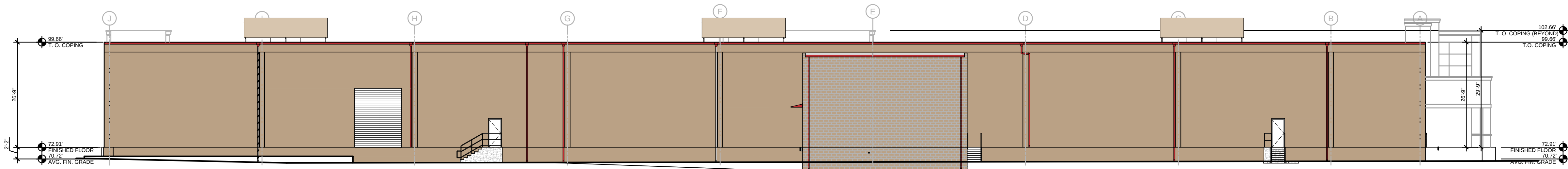
1 PRELIMINARY SOUTH ELEVATION (FROM EISENHOWER AVE.)
SCALE: 1/16" = 1'-0"



2 PRELIMINARY WEST ELEVATION
SCALE: 1/16" = 1'-0"



3 PRELIMINARY EAST ELEVATION
SCALE: 1/16" = 1'-0"



4 PRELIMINARY NORTH ELEVATION
SCALE: 1/16" = 1'-0"

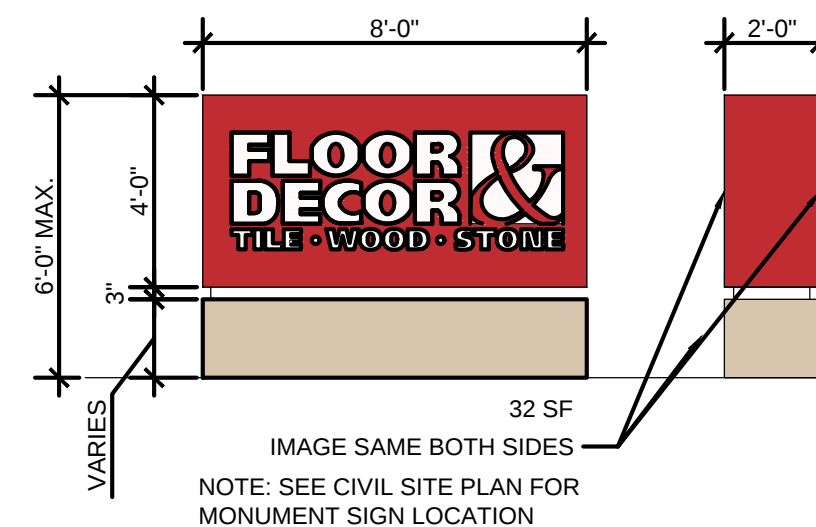
SIGNAGE AREA

	LIN FEET OF WALL / SF OF SIGNAGE ALLOWED	SF OF SIGNS SHOWN
SOUTH	337' / 337 SF	330.46 SF
WEST	277' / 277 SF	255.21 SF
EAST	277' / 277 SF	252.97 SF
NORTH	337' / 337 SF	0.00 SF
TOTAL:	1,228' / 1,228 SF	838.64 SF

EXTERIOR COLOR LEGEND

- E1 EIFS SAND BLAST FINISH TO MATCH SHERWIN WILLIAMS 6106 "KILIM BEIGE"
- E2 EIFS SAND BLAST FINISH TO MATCH SHERWIN WILLIAMS 6108 "LATTE"
- E3 EIFS SAND BLAST FINISH TO MATCH SHERWIN WILLIAMS 6082 "COBBLE BROWN"
- E4 EIFS SAND BLAST FINISH TO MATCH SHERWIN WILLIAMS 6868 "REAL RED"
- P1 SHERWIN WILLIAMS 6106 "KILIM BEIGE"
- P2 SHERWIN WILLIAMS 6108 "LATTE"
- P3 SHERWIN WILLIAMS 6082 "COBBLE BROWN"
- P4 SHERWIN WILLIAMS 6868 "REAL RED"
- P5 SHERWIN WILLIAMS "PURE WHITE"
- S1 BORAL CULTURED STONE - COLOR: PARCHMENT - 2 X 8" X 16"

1) ALL EXTERIOR PAINT SHALL BE A 1 COAT PRIMER AND 2 COATS FINAL



5 MONUMENT SIGN ELEVATION

SCALE: 1/4" = 1'-0"

APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
DATE _____	
DATE RECORDED _____	
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____	

LITTLE
DIVERSIFIED ARCHITECTURAL CONSULTING

5815 Westpark Drive Charlotte, NC 28217
T: 704.525.6350 F: 704.561.8700

www.littleonline.com

This drawing and the design shown are the property of Little Diversified Architectural Consulting. The reproduction, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.

© Little 2016

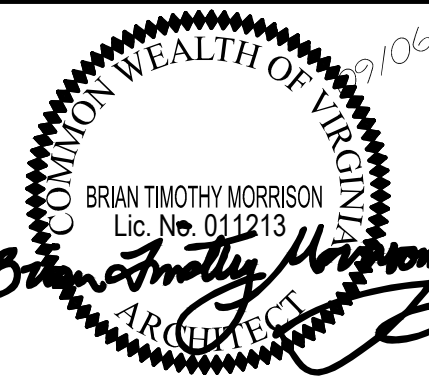
FLOOR & DECOR

2233 LAKE PARK
DRIVE SUITE 400
SMYRNA, GA 30080

PROJECT NAME

FLOOR & DECOR
STORE # VA-ALEX-2017
4607 EISENHOWER AVE
ALEXANDRIA VA, 22304

SEAL



PROJECT TEAM

PRINCIPAL IN CHARGE

JR

PROJECT MANAGER

MNM

DRAWN BY

ISSUE / REVISIONS

NO.

REASON

DATE

SHEET TITLE

PRELIMINARY
EXTERIOR
ELEVATIONS

PROJECT NO.

121.5844.00

ISSUE / DATE

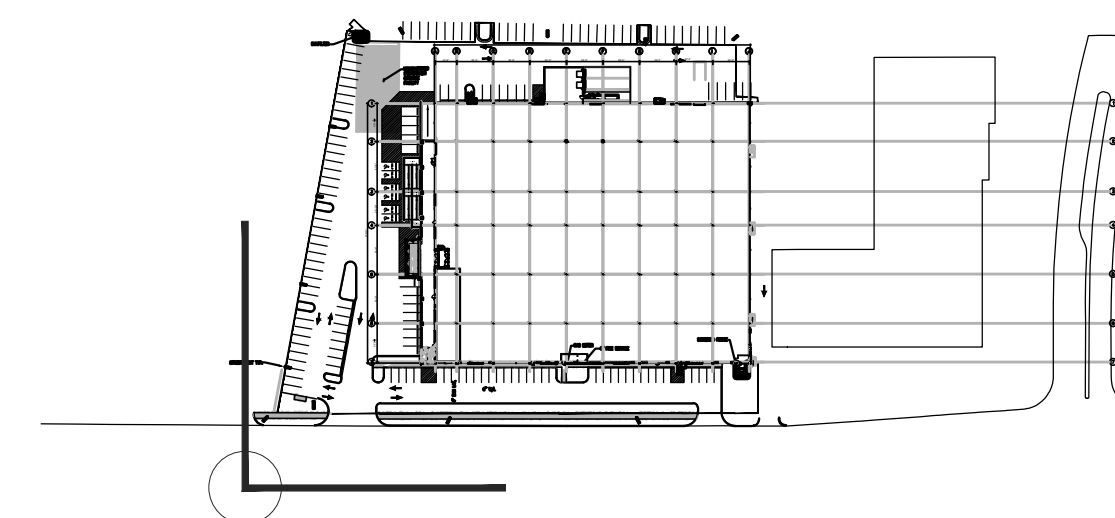
PRELIM

09.06.16

SHEET NUMBER

A4.00

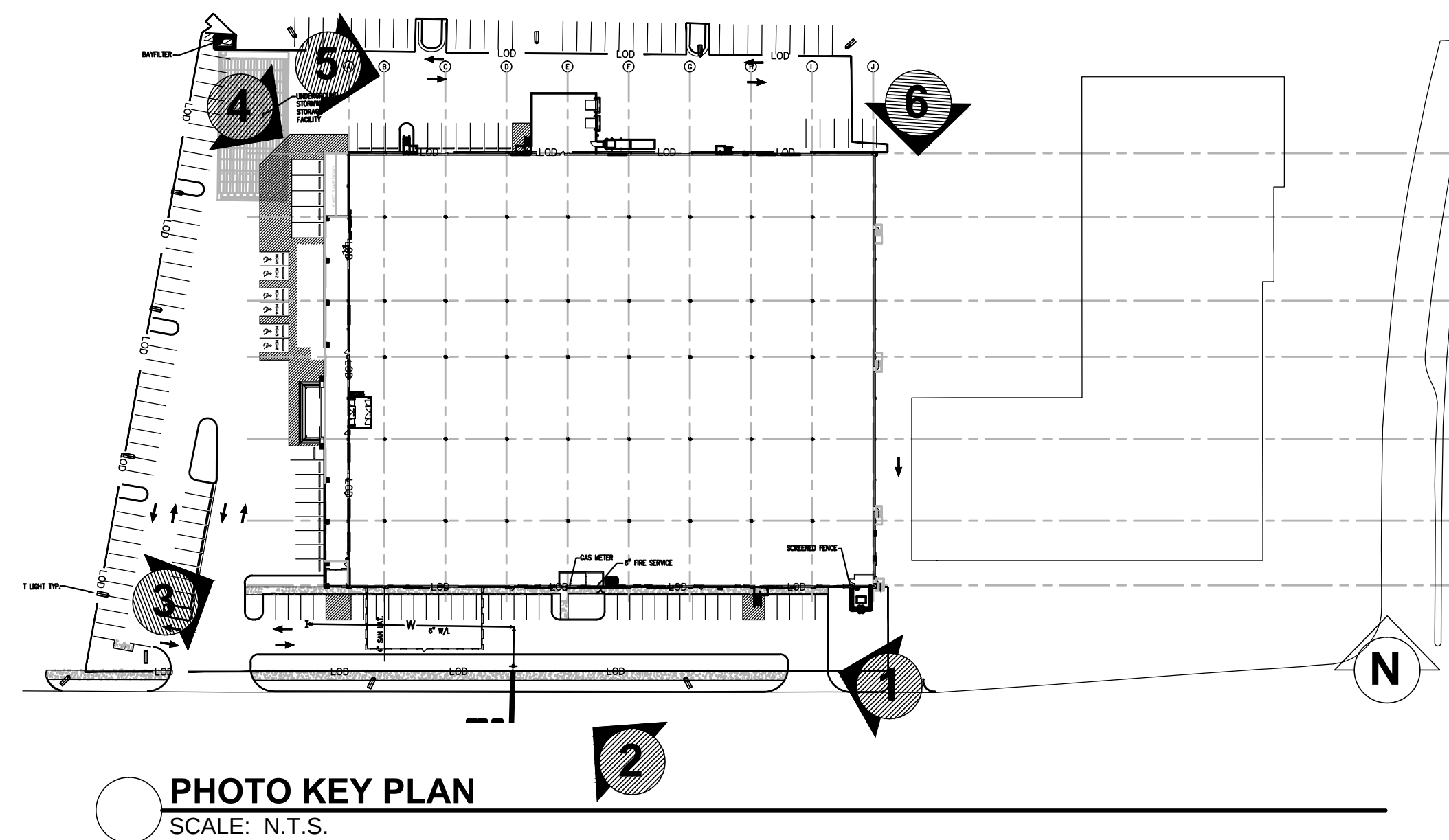
APPROVED		
SPECIAL USE PERMIT NO. _____		
DEPARTMENT OF PLANNING & ZONING		
_____	_____	_____
DIRECTOR	DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN NO. _____		
_____	_____	_____
DIRECTOR	DATE	
CHAIRMAN, PLANNING COMMISSION		
_____		DATE
DATE RECORDED _____		
INSTRUMENT NO. DEED BOOK NO. PAGE NO.		



APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____	
DATE RECEIVED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____

00:00:10

F:\2 Retail\Rollout\Floor & Decor\121-5844-00 Alexandria, VA\Design\A6-5844-Massing 01.dwg Sep 6, 2016-10:25am



APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
_____ DIRECTOR	_____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
_____ CHAIRMAN, PLANNING COMMISSION	
_____ DATE	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____

LITTLETM
DIVERSIFIED ARCHITECTURAL CONSULTING

815 Westpark Drive Charlotte, NC 28217
T: 704.525.6350 F: 704.561.8700

www.littleonline.com

This drawing and the design shown are the property of Little Diversified Architectural Consulting. The reproduction, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.

Little 2016

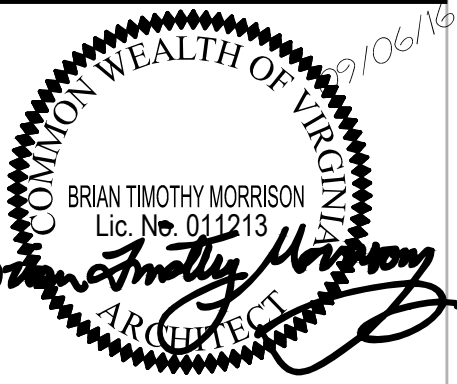
FLOOR & DECOR

2233 LAKE PARK
DRIVE SUITE 400
SMYRNA, GA 30080

SUBJECT NAME

FLOOR&DECOR
STORE # VA-ALEX-2017
4607 EISENHOWER AVE
ALEXANDRIA VA, 22304

100



SUBJECT TEAM

PRINCIPAL IN CHARGE
3

PROJECT MANAGER

E / REVISIONS

[illegible]

ET TITLE

EXISTING
CONDITIONS
PHOTOS

SUBJECT NO.

121.5844.00

E / DATE

PRELIM

T NUMBER

A7.00