

Docket Item #3  
BZA Case #2016-0010

Board of Zoning Appeals  
September 8, 2016

**ADDRESS:** 512 PUTNAM PLACE  
**ZONE:** R-8/RESIDENTIAL SINGLE-FAMILY  
**APPLICANT:** GEORGE AND ELIZABETH WYSZOMIERSKI BY RA DAVIS

**ISSUE:** Special exception to construct a covered front porch in the required front yard.

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CODE SECTION	SUBJECT	CODE REQMT	APPLICANT PROPOSES	REQUESTED EXCEPTION
7-2503(A)	Front Yard	32.50 feet*	27.10 feet	5.40 feet

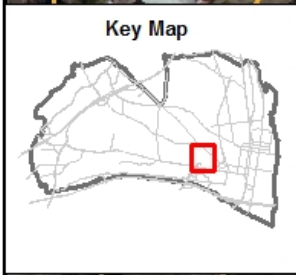
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\* Based on the average setback of the block face on the cul-de-sac portion of Putnam Place.

The staff **recommends approval** of the requested special exception because the request meets the criteria for a special exception.

If the Board decides to grant the requested special exception with the following condition it must comply with the code requirements under the department comments and the applicant must submit the following prior to the final inspection: a survey plat prepared by a licensed surveyor confirming building footprint, setbacks and building height compliance from average preconstruction grade. The special exception must also be recorded with the deed of the property in the City's Land Records Office prior to the release of the building permit.



**BZA Case #2016-0010**  
**512 Putnam Place**



**I. Issue**

The applicant proposes to construct an open front porch in the front yard located at 512 Putnam Place.

**II. Background**

The subject property is one lot of record with 259.79 feet of frontage facing Putnam Place. The property contains 11,468 square feet of lot area. The subject property complies with the minimum lot area, width, and frontage requirements for the R-8 zone.

<b>R-8 Zone</b>	<b>Requirement</b>	<b>Existing</b>	<b>Proposed</b>
<b>Lot Area</b>	8,000 sq. ft.	11,468 sq. ft.	11,468 sq. ft.
<b>Lot Width</b>	65 ft.	129 ft.	129 ft.
<b>Lot Frontage</b>	40 ft.	259.79 ft.	259.79 ft.
<b>Front Yard</b>	32.50 ft.	30.60 ft.(building wall) 28.00 ft. (front portico)	30.60 ft.(building wall) 27.10 ft. (front porch)
<b>Side Yard (North)</b>	8.00 ft. (1:2 with 8 ft. min)	11.90 ft.	11.90 ft.
<b>Side Yard (West)</b>	8.00 ft. (1:2 with 8 ft. min)	30.70 ft.	26.80 ft.
<b>Building Height</b>	Max: 25.00 ft.	20.90 ft.	20.90 ft.
<b>Net FAR</b>	Max: 4,013 sq. ft. (.35)	2,701.7 sq. ft.	2,701.7 sq. ft.

The lot is currently developed with a two story single-family dwelling located 30.6 feet from the front property line, 30.7 feet from the west side property line and 9.9 feet from the north side property line. According to real estate records the house was constructed in 1953. It was substantially renovated in late 1993/early 1994.

**III. Project Description**

The applicants propose to construct an open front porch enlarging an existing open front portico. They propose to locate the front porch 27.10 feet from the front property line. The proposed porch measures 19 feet by 7.1 feet with a total of 134.6 square feet. It would be located across 96 percent of the front building wall plane and would measure 9.16 feet in height from grade to the midpoint of the hip roof facing the front yard property line. This proposed porch requires a special exception to be located in the required front yard. Upon completion of the work, the proposed renovations will continue to comply with the net floor area requirements, where 4,013 square feet is permitted and 2,701.7 square feet is proposed. (Refer to attached FAR calculations.)

There have been no variances or special exceptions previously granted for the subject property.

**IV. Master Plan/Zoning**

The subject property is currently zoned R-8 and has been so zoned since adoption of the Third Revised Zoning Map in 1951. It is identified in the Taylor Run Small Area Plan for a residential use.

**V. Requested Special Exception:**

7-2503(A) Average Front Setback

This section of the zoning ordinance requires a front setback of 32.50 feet based on the average prevailing front setback along the cul-de-sac portion of Putnam Place. The applicants request a special exception of 6.50 feet to construct the open front porch 27.10 feet from the front property line facing Putnam Place.

**VI. Special Exceptions Standards**

To grant a special exception, the Board of Zoning Appeals must find that the strict application of the zoning ordinance creates an unreasonable burden on the use and enjoyment of the property. Section 11-1304 of the zoning ordinance lists standards that an applicant must address and that the Board believes exists and thus warrants granting a special exception of the zoning regulations.

- 1) Whether approval of the special exception will be detrimental to the public welfare, to the neighborhood or to the adjacent properties.

The Infill Task Force Recommendations state that “open front porches can be a neighborhood-friendly design asset that enhances the value of a homeowner’s property and the neighborhood as a whole.”

- 2) Whether approval of the special exception will impair an adequate supply of light and air to the adjacent property, or cause or substantially increase traffic congestion or increase the danger of fire or the spread of fire, or endanger the public safety.

The proposed front porch must remain open and would not impair supply of light to adjacent properties. The proposed porch would meet the minimum side yard requirement of 8.00 feet for R-8 zoning. The proposed porch would be approximately 25 feet from the nearest property line so it would be too far from another property to affect its access to light or air.

- 3) Whether approval of the special exception will alter the essential character of the area or zone.

Staff believes that proposed front porch would not alter the essential character of the surrounding neighborhood. The home would continue to be used as a single-family dwelling. Additionally, several other dwellings in the neighborhood also have front porches that are similar in size and design to the one proposed here.

- 4) Whether the proposal will be compatible with the development in the surrounding neighborhood.

Several of the houses along Putnam Place have modest front porches. The design of the proposed front porch ties in elements from the overall architectural character of the surrounding neighborhood. Additionally, the proposed porch would provide meaningful visual improvement that would create a better appearance of structural support to the existing, cantilevered second-story addition. The porch would also provide appropriate visual scale to the existing structure.

- 5) Whether the proposed development represents the only reasonable means and location on the lot to accommodate the proposed structure given the natural constraints of the lot or the existing development of the lot.

The front of the house is the only reasonable location for a front porch.

## VII. Staff Conclusion

### Neighborhood Impact

Staff believes that the proposed porch adds proportion to the existing structure. The proposed covered porch complements the view of the home from the street, would draw from architectural characteristics of neighboring homes in the area, and would not be detrimental to neighboring properties.

### Light and Air

The porch meets the eligibility criteria for a special exception for a front porch. The ground level, single story, covered, open front porch would be placed at the main architectural entrance to the dwelling and would face the front yard. At 7.1 feet in depth, the porch is within the allowed projection from the front building wall. The porch would not extend beyond the width of the front building wall into any required side yard setbacks. The roof line of the porch is in scale with the existing architecture and does not exceed the existing home in height. With no second floor or enclosure of screens or glass, staff does not believe this new porch would adversely affect the light and air of neighboring properties.

### Staff Conclusion

As outlined above, staff believes the application meets the criteria for a special exception and **recommends approval** of the request.

### Staff

Sam Shelby, Urban Planner I, [sam.shelby@alexandriava.gov](mailto:sam.shelby@alexandriava.gov)

Alex Dambach, Division Chief, [alex.dambach@alexandriava.gov](mailto:alex.dambach@alexandriava.gov)

## DEPARTMENTAL COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

\* The applicant is advised that if the special exception is approved the following additional comments apply.

### Transportation and Environmental Services:

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Code Administration:

No comments received.

Recreation (Arborist):

F-1 No specimen trees are affected by the proposed Special Exception.

Historic Alexandria (Archaeology):

F-1 There is low potential for significant archaeological resources to be disturbed by this project. No archaeological action is required.

Other Requirements Brought to the Applicant's Attention:

C-1 A wall check survey plat shall be submitted to Planning and Zoning when the building footprint is in place pursuant to Alexandria City Code section 8-1-12.



**APPLICATION  
BOARD OF ZONING APPEALS**

**SPECIAL EXCEPTION FOR PORCHES**

Section of zoning ordinance from which request for special exception is made:

Special Exception for Porches

1. Applicant:  Owner  Contract Purchaser  Agent

Name Ra Davis

Address 10527 Providence Way

Daytime Phone (703) 899-7574

Email Address radavisphoenix@gmail.com

2. Property Location 512 Putnam Place

3. Assessment Map # \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_ Zone \_\_\_\_\_

4. Legal Property Owner Name George Wyszomierski

Address 512 Putnam Place



## OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. George and Elizabeth Wyszomierski	512 Putnam Place	100%
2. George and Elizabeth Wyszomierski		
3. George and Elizabeth Wyszomierski		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 512 Putnam Place (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. George and Elizabeth Wyszomierski		
2. George and Elizabeth Wyszomierski		
3. George and Elizabeth Wyszomierski		

**3. Business or Financial Relationships.** Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose any business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. George and Elizabeth Wyszomierski		
2. George and Elizabeth Wyszomierski		
3. George and Elizabeth Wyszomierski		

**NOTE:** Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

7/15/16

Ra Davis

Ra Davis

Digitally signed by Ra Davis  
Date: 2016.07.15 11:47:47 -0400

Date

Printed Name

Signature

5. Describe request briefly :

To install a 19'x7' porch.

6. If property owner or applicant is being represented by an authorized agent, such as an attorney, realtor or other person for which there is a form of compensation, does this agent or the business in which they are employed have a business license to operate in the City of Alexandria, Virginia?

[X] Yes — Provide proof of current City business license.

[ ] No — Said agent shall be required to obtain a business prior to filing application.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the projects, etc., are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

Applicant or Authorized Agent:

Ra Davis
Print Name
(703) 899-7574
Telephone

Ra Davis
Digitally signed by Ra Davis
Date: 2016.07.15 11:48:43 -0400
Signature
7/15/16
Date

Pursuant to Section 13-3-2 of the City Code, the use of a document containing false information may constitute a Class 1 misdemeanor and may result in a punishment of a year in jail or \$2,500 or both. It may also constitute grounds to revoke the permit applied for with such information.

Note to Applicant: Only one special exception per dwelling shall be approved under the provisions of Section 11-1302(B)(4).

**PART B** (SECTIONS 11-1302(C) and 11-1304)

**APPLICANT MUST COMPLETE THE FOLLOWING:**  
(Please use additional sheets where necessary.)

- 1. Please provide the following details of the proposed porch:
  - a. Porch projection from front building wall to deck edge 7'
  - b. Length of building wall where porch is to be built \_\_\_\_\_
  - c. Length of porch deck 19'
  - d. Depth of overhang 8"
  - e. Distance of furthest projecting porch element from the front property line 26'
  - f. Overall height of porch from finished or existing grade 9'8"
  - g. Height of porch deck from finished or existing grade 9'8"

- 2. Explain the conditions of the subject property which prevent locating the proposed porch in compliance with the zoning ordinance.

Due to Alexandria zoning restrictions, the porch must have an average setback distance to the curb of surrounding houses which is 32.5'. The proposed structure will be at 26'

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- 3. Explain if the proposed porch will be detrimental to the adjacent properties or the neighborhood in general.

The porch will be pleasing to the eye and thus contribute to the aesthetic qualities of the neighborhood.

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- 4. Explain how the proposed porch will affect the light and air to any adjacent property.

N/A

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- 5. Has the applicant shown the plans to the most affected property owners? Have any neighbors objected to the proposed special exception, or have any neighbors written letters of support? If so, please attach the letter.

Property owner has consulted with several of the neighbors and no one has raised any objection.

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REVISED



DEPARTMENT OF PLANNING AND ZONING
FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS FOR
SINGLE AND TWO-FAMILY RESIDENTIAL OUTSIDE HISTORIC DISTRICTS

A. Property Information
A1. Street Address 512 PUTNAM PL Zone R-8
A2. 11468 x 0.35 = 4013
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Table with 2 main columns: Existing Gross Area and Allowable Exclusions. Rows include Basement, First Floor, Second Floor, Third Floor, Porches/Other, and Total Gross.

B1. Existing Gross Floor Area \* 4838.7 Sq. Ft.
B2. Allowable Floor Exclusions\*\* 2137 Sq. Ft.
B3. Existing Floor Area minus Exclusions 2701.7 Sq. Ft. (subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Table with 2 main columns: Proposed Gross Area and Allowable Exclusions. Rows include Basement, First Floor, Second Floor, Third Floor, Porches/Other, and Total Gross.

C1. Proposed Gross Floor Area \* 134.6 Sq. Ft.
C2. Allowable Floor Exclusions\*\* 134.6 Sq. Ft.
C3. Proposed Floor Area minus Exclusions 0 Sq. Ft. (subtract C2 from C1)

D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 2701.7 Sq. Ft.
D2. Total Floor Area Allowed by Zone (A2) 4013 Sq. Ft.

\*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof on a lot, measured from exterior walls.

\*\*Refer to the zoning ordinance (Section 2-145(A)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas illustrated must be submitted for review. Sections may also be required for some exclusions.

F. Open Space Calculations Required in RA & RB zones

Table with 2 columns and 3 rows: Existing Open Space, Required Open Space, Proposed Open Space. The table is crossed out with a large X.

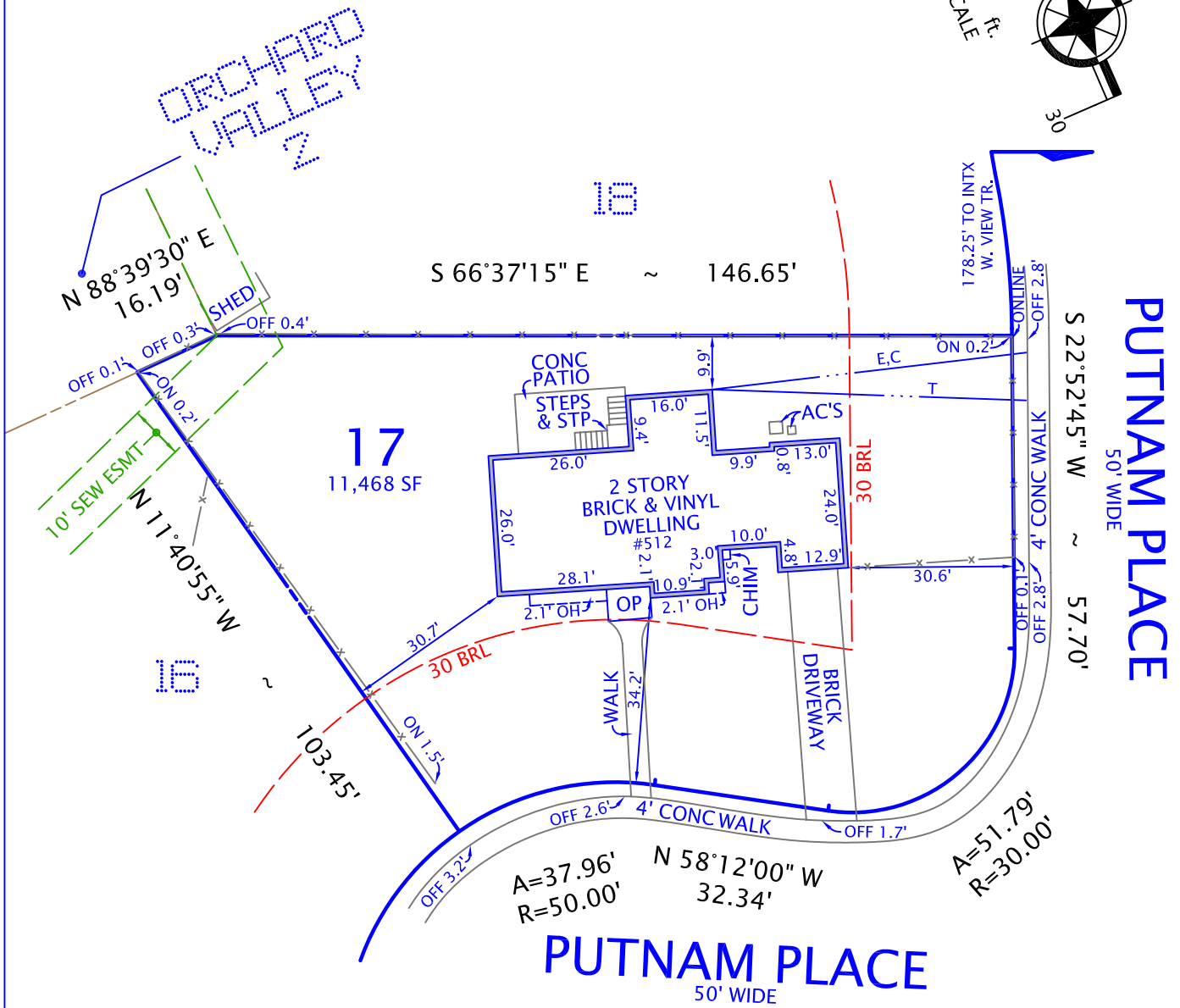
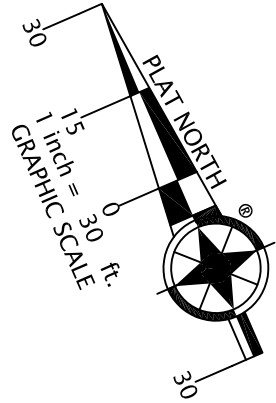
The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: [Handwritten Signature]

Date: 8/30/16

NOTES: 1. FENCES ARE FRAME.

# Existing Plans



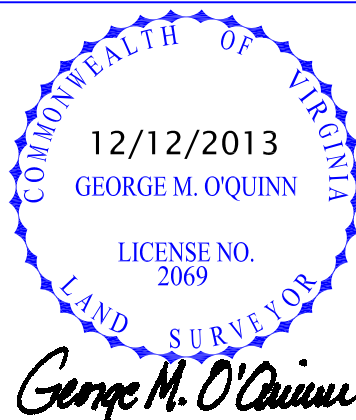
PLAT  
SHOWING HOUSE LOCATION ON  
LOT 17

## ANCO ADDITION TO GEORGE WASHINGTON PARK

(DEED BOOK 355, PAGE 348)  
CITY OF ALEXANDRIA, VIRGINIA  
SCALE: 1" = 30'      DECEMBER 12, 2013

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.  
A TITLE REPORT WAS NOT FURNISHED.  
NO CORNER MARKERS SET.



ORDERED BY:

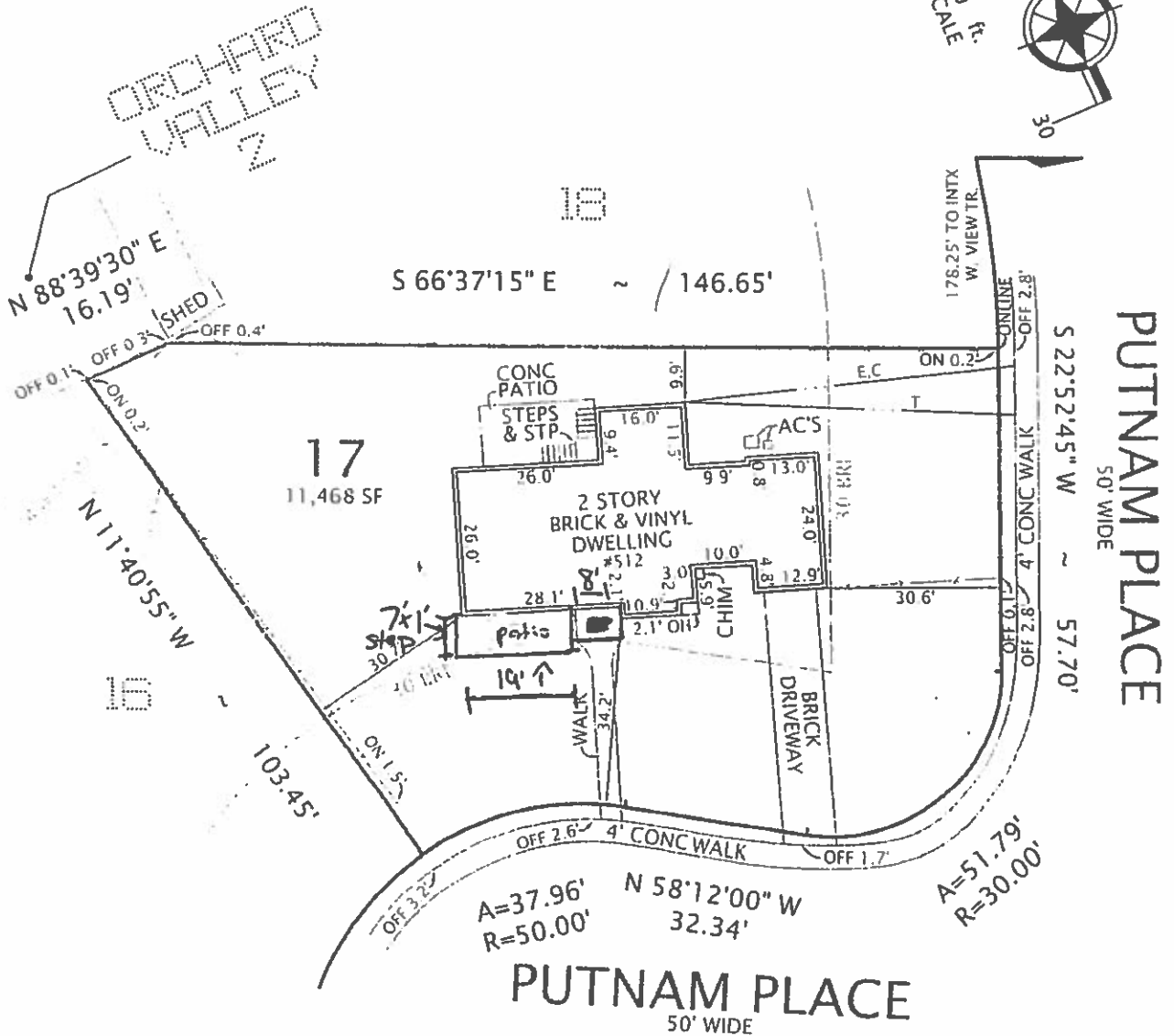
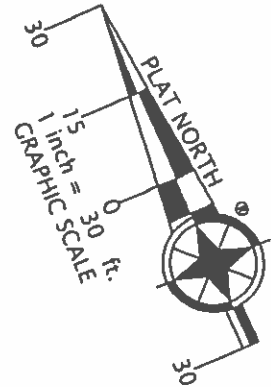
HAZEN, TRUSTEE/LINDERMAN ~  
WYSZOMIERSKI  
HIGHLAND TITLE & ESCROW

**DOMINION** Surveyors Inc.®  
8808-H PEAR TREE VILLAGE COURT  
ALEXANDRIA, VIRGINIA 22309  
703-619-6555  
FAX: 703-799-6412

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NOTES: 1. FENCES ARE FRAME.

**Proposed Plans**

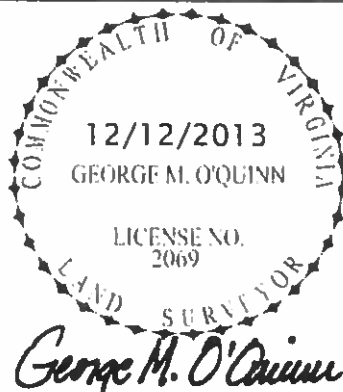


PLAT  
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LOT 17  
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ORDERED BY:  
HAZEN, TRUSTEE/LINDERMAN -  
WYSZOMIERSKI  
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STRUCTURAL NOTES

- All work and materials to comply with the requirements of the 2012 VUSRC as revised by county.
- CODES: The following design standards are applicable by reference:  
 ACI 530-13/ASCE 5-13 Building code requirements for masonry structures.  
 AITC- Timber construction manual-fifth ed.  
 ACI 318-14 Building code requirements for reinforced concrete.  
 AISC- 360-10 Specifications for steel buildings.
- FOUNDATIONS: Footings, underpinning and slab on grades are designed to bear on native soil with an allowable bearing pressure of 2000PSF. A qualified soil-bearing inspector prior to placement of concrete shall verify all bearing values.
  - All structural steel, including detail material shall conform to ASTM A572 Fy=50ksi, U.N.O.
  - All structural tubing shall conform to ASTM A500, grd, B.
  - All steel pipe shall be ASTM A53, type E or S grade B.
  - All welders shop and field, shall be certified . Use E70xx electrodes only.
  - All steel exposed to weather and exterior masonry support shall receive one shop coat of corrosion-inhibiting primer.
  - Detailing, fabrication and erection shall be in accordance with AISC. Adequately brace all steel against lateral loads during erection.
  - All exterior structural steel shall receive rust preventative paint.
  - Connections:
    - All beam connections shall be simple shear connections, U.N.O. where no reaction is provided the beam shall be assumed to carry 120% of the allowable uniform load in kips for beams laterally supported, as given in the AISC steel construction manual.
    - Except as noted , all fasteners shall be  $\frac{3}{4}$ " diameter ASTM A325 bolts, designed to act in bearing type connections with threads included.
- LUMBER:
  - Lumber shall be SPF #2 with a min. Fb=875 psi MIN. Fv=135 psi and min E=1,400,000 psi
  - LVL and PSL shall have a min. Fb=2850 psi, Fv=285 psi, E=2,000,000 psi.
  - Nail all multiple members together per manufacturers recommendations and at a minimum use 2-10d nails at 6" O.C. staggered. Glue multiple studs together. Stagger sides that nails are driven from.
  - Provide bridging at center of all joist spans exceeding 8'-0" and at  $\frac{1}{3}$  points of all joist spans exceeding 16'-0". Provide solid blocking at all bearing points on top of walls or beams. Provide squash blocking below all post and multiple studs.
  - Exterior load bearing walls shall be 2"x6" studs and interior load bearing walls shall be 2"x4" studs @ 16" O.C.with a double top plate and a single bottom plate. Provide solid blocking @4'-0" with a min. of solid blocking at the mid height of the wall.
  - Floor decking shall be  $\frac{3}{4}$ " APA rated decking and roof decking shall be  $\frac{1}{2}$ " OSB decking . Wall sheathing shall be  $\frac{7}{16}$ " APA rated sheathing. Glue and nail decking to the floor joists.
  - All post shall have Simpson cap and base plates typ.
  - All joist shall have Simpson hangers where applicable.
  - Place a double stud below all beams, headers and double joist.
  - Provide double joist below all walls that span parallel to floor framing.
  - All lumber in contact with masonry or concrete shall be pressure treated. All lumber placed within 8" of soil shall be pressure treated. All lumber shall be protected against decay and termites per IRC chapter R3.
  - See IRC TABLE R602.3(1) for nailing not shown on the plans.
  - Wood headers shall be as follows:  
 OPENING <3'-0" -2-2x6  
 3'-0" < OPENING <4'-6" -2-2x6  
 4'-6" < OPENING <6'-0" -2-2x10  
 6'-0" < OPENING <8'-0" -2-1 $\frac{3}{4}$ " x 6 $\frac{1}{4}$ " LVL  
 8'-0" < OPENING <12'-0" -2-1 $\frac{3}{4}$ " x 11 $\frac{1}{8}$ " LVL
- FASTENERS:
  - All prefabricated angles, bearing plates and joist hangers shall be installed per manufacturer recommendations.
  - Follow the manufacturer recommendations for setting epoxy bolts.
  - Expansion bolts shall be RAWL power stud.
- MASONRY:
  - Masonry construction shall be in conformation with the applicable sections of ACI 530-13/ASCE-13, specifications for Masonry structures.
  - Concrete masonry units shall be hollow load bearing units (ASTM C90) grade n-1 with a net strength of 2000 psi and Fm-1500psi.

GENERAL NOTES

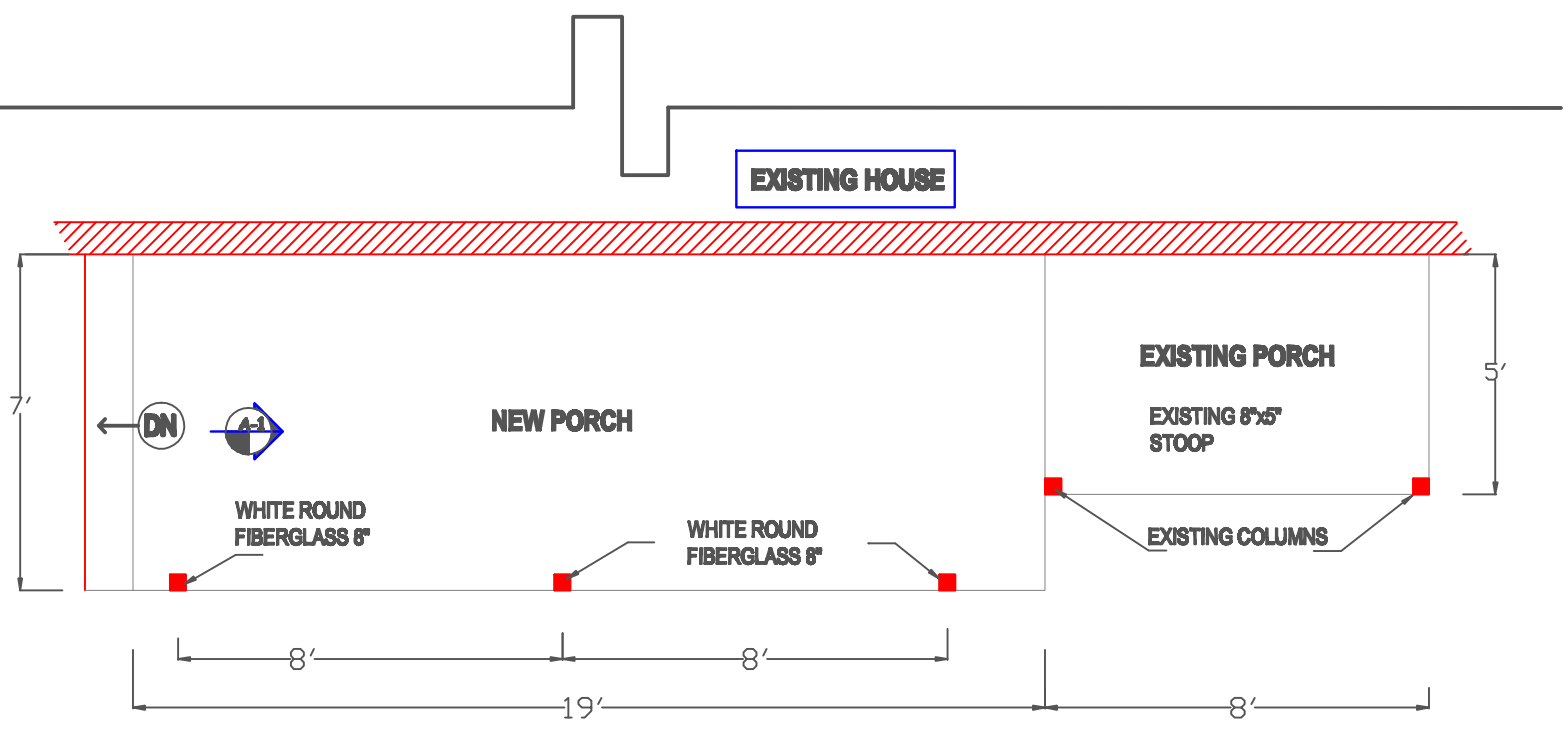
- LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2 AND CARRY THE TRADEMARK "SP#2" WATERSTAR.
- STAIRS AND LANDING ARE SHOWN IN THEIR APPROXIMATED LOCATION. CONTRACTOR SHALL LAY OUT EXACT NUMBER OF STAIRS IN THE FIELD.
- SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
- ALL NAILS SHALL BE RING SHANK NAILS.
- ALL NAILS, SCREWS, BOLTS AND METAL HANGERS SHALL BE GALVANIZED.
- PROVIDE TEMP. SHORING FOR THE EXISTING STRUCTURAL ELEMENTS THAT REMAIN AS NEEDED.
- BOTTOM OF ALL FOOTINGS SHALL BE 24" MINIMUM BELOW GRADE.
- ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A JACK AND KING STUD, UNLESS NOTED OTHERWISE.

No.	Revision/Issue	Date

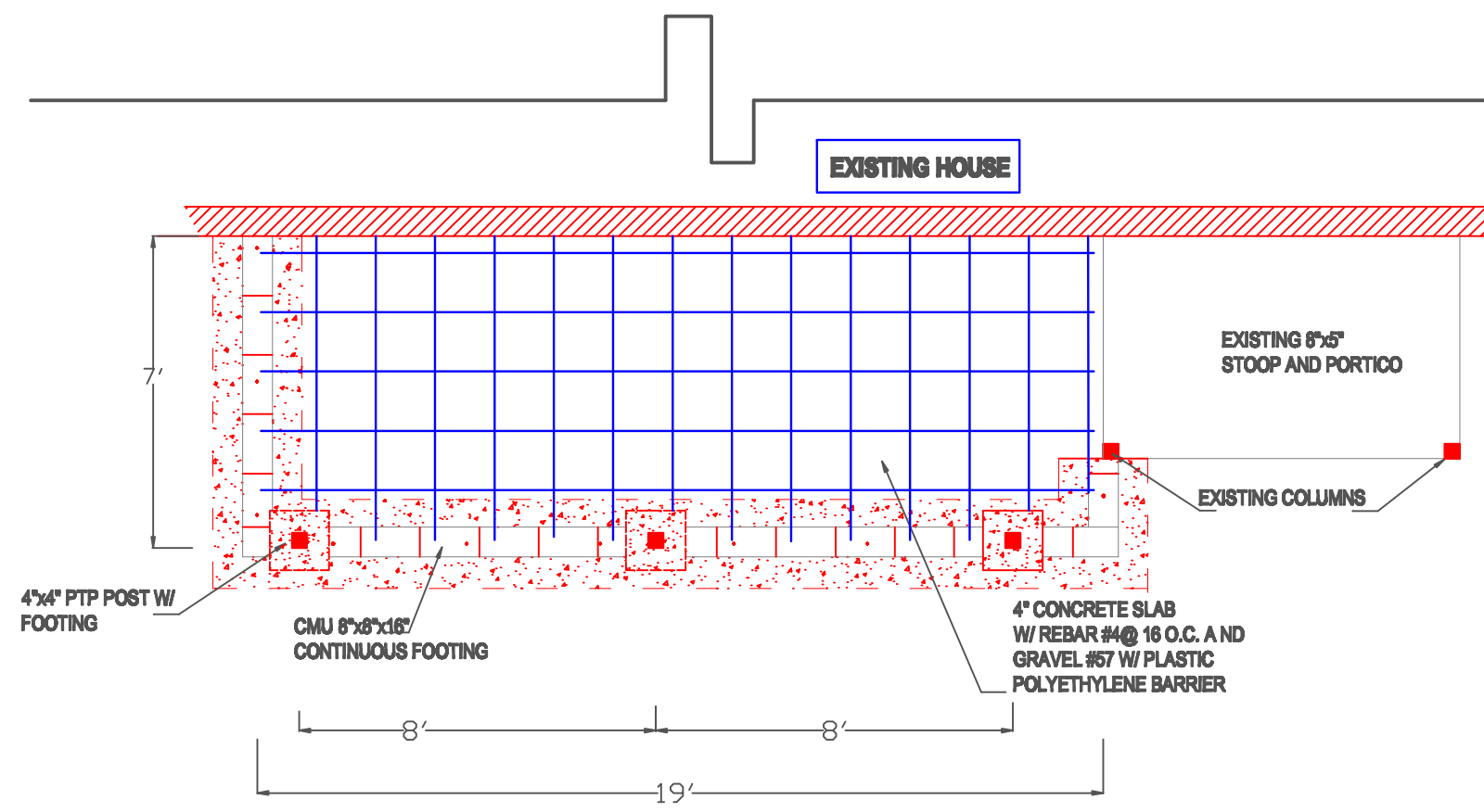
Firm Name and Address  
**PHOENIX HOME SERVICES**  
 9669 A MAIN STREET  
 FAIRFAX, VA 22031  
 703-868-0067

**GEORGE WYSZOMIERSKI**  
 512 PUTNAM PLACE  
 ALEXANDRIA, VA 22302

Designer <b>WENDY FLORES</b>	Sheet <b>#1</b>
Date <b>07/27/2016</b>	<b>OF</b>
Scale <b>AS NOTED</b>	<b>4</b>

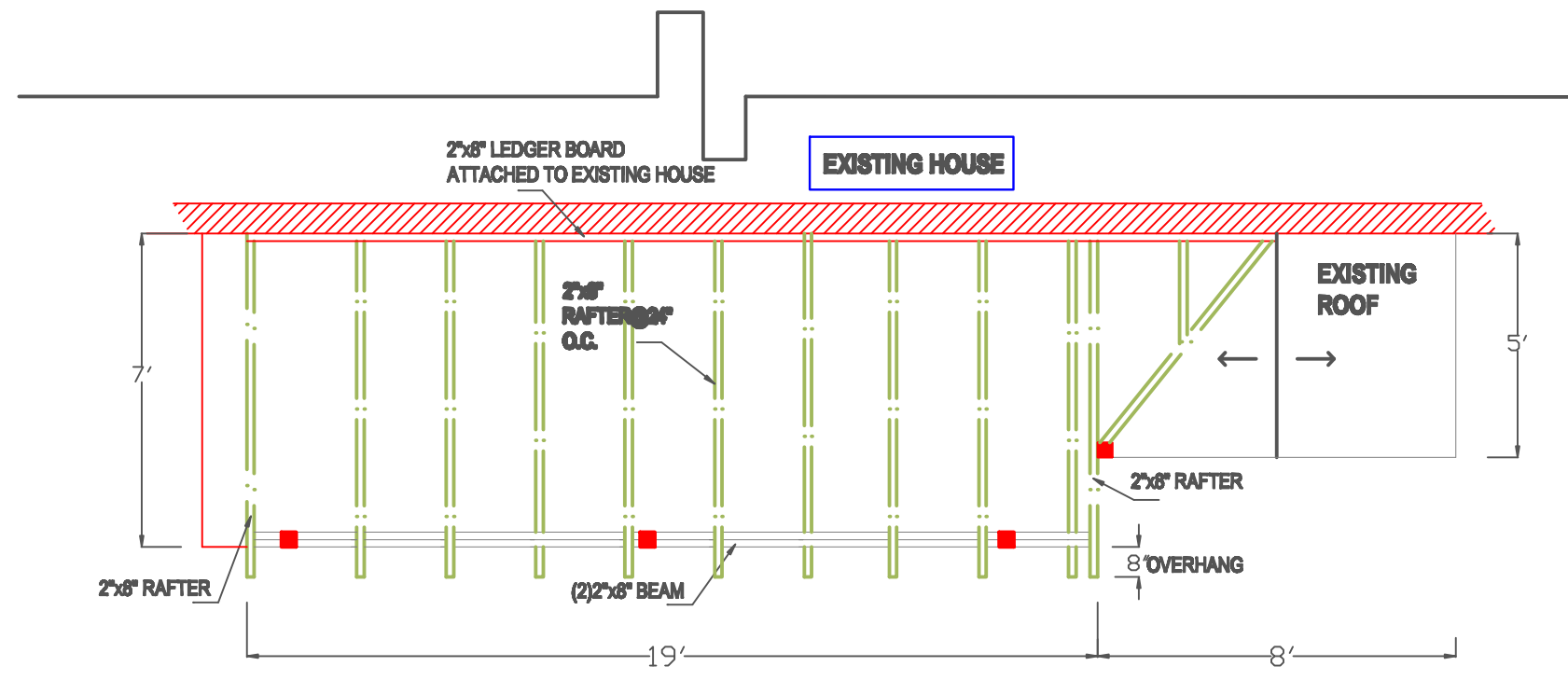


**FLOOR PLAN**  
 SCALE:  $\frac{1}{4}$ "=1'-0"

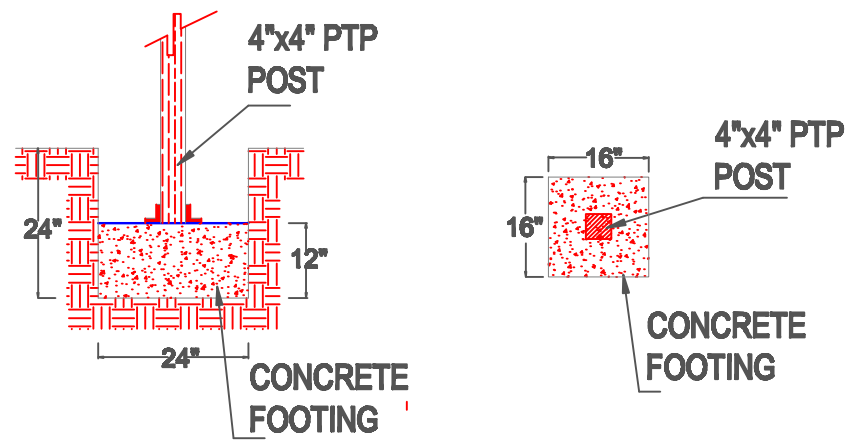


**FOUNDATION PLAN**  
 SCALE:  $\frac{1}{4}$ "=1'-0"

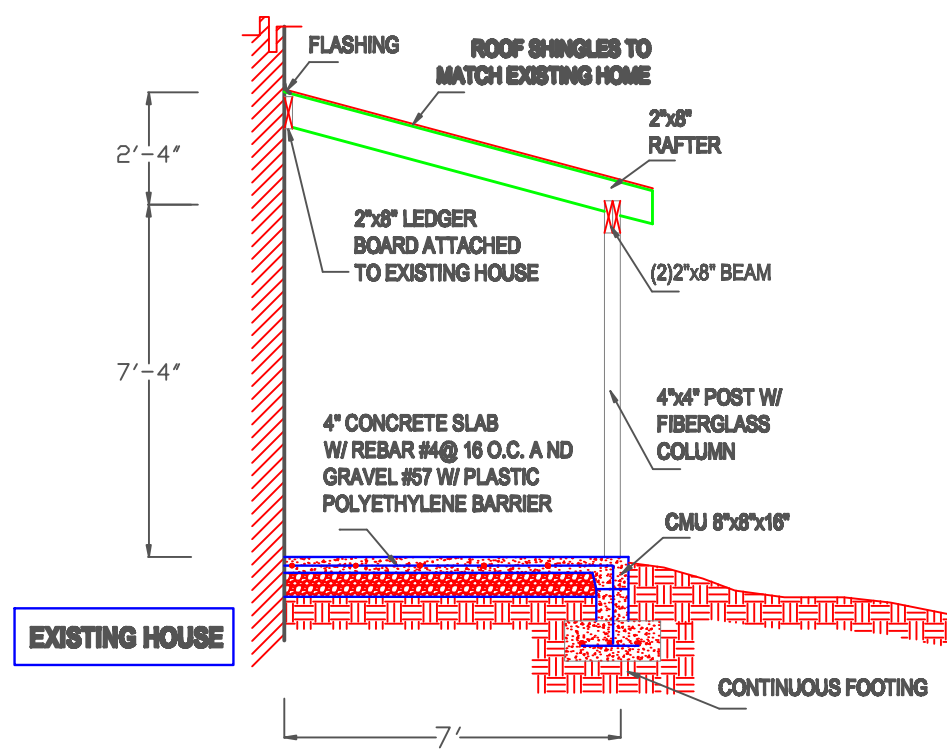




**ROOF FRAMING PLAN**  
SCALE: 1/4"=1'-0"



**FOOTING DETAIL**  
NOT SCALE



**SECTION A-1**  
SCALE: 1/4"=1'-0"

**GENERAL NOTES**

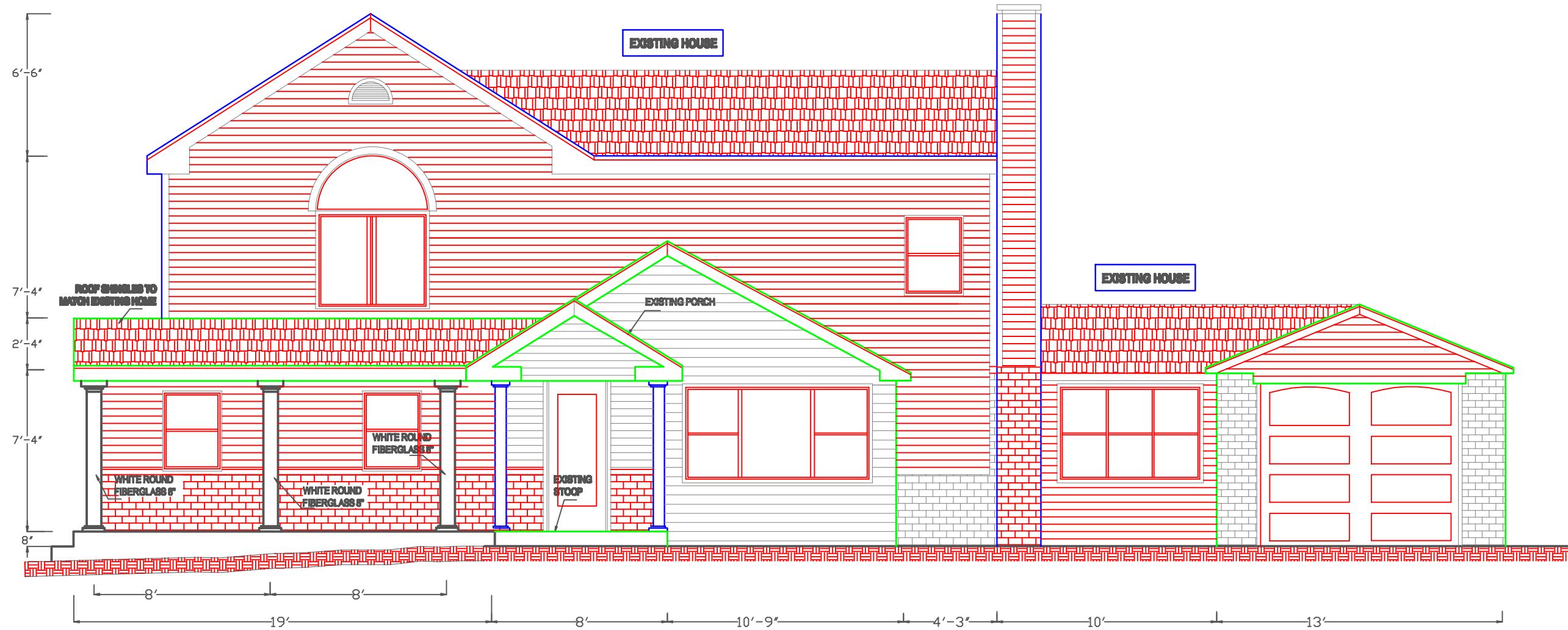
1. LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2 AND CARRY THE TRADEMARK "SP18" WATERSTAIN.
2. STAIRS AND LANDING ARE SHOWN IN THEIR APPROXIMATED LOCATION. CONTRACTOR SHALL LAY OUT EXACT NUMBER OF STAIRS IN THE FIELD.
3. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
4. ALL NAILS SHALL BE RING SHANK NAILS.
5. ALL NAILS, SCREWS, BOLTS AND METAL HANGERS SHALL BE GALVANIZED.
6. PROVIDE TEMP. SHORING FOR THE EXISTING STRUCTURAL ELEMENTS THAT REMAINS NEEDED.
7. BOTTOM OF ALL FOOTINGS SHALL BE 24" MINIMUM BELOW GRADE.
8. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A JACK AND KING STUD, UNLESS NOTED OTHERWISE.

No.	Revision/Issue	Date

Firm Name and Address  
**PHOENIX HOME SERVICES**  
 9669 A MAIN STREET  
 FAIRFAX, VA 22031  
 703-868-0067

**GEORGE WYSZOMIERSKI**  
 512 PUTNAM PLACE  
 ALEXANDRIA, VA 22302

Designer <b>WENDY FLORES</b>	Sheet <b>#2</b>
Date <b>07/27/2016</b>	<b>OF</b>
Scale <b>AS NOTED</b>	<b>4</b>



**FRONT ELEVATION**  
SCALE: 3/16"=1'-0"

GENERAL NOTES

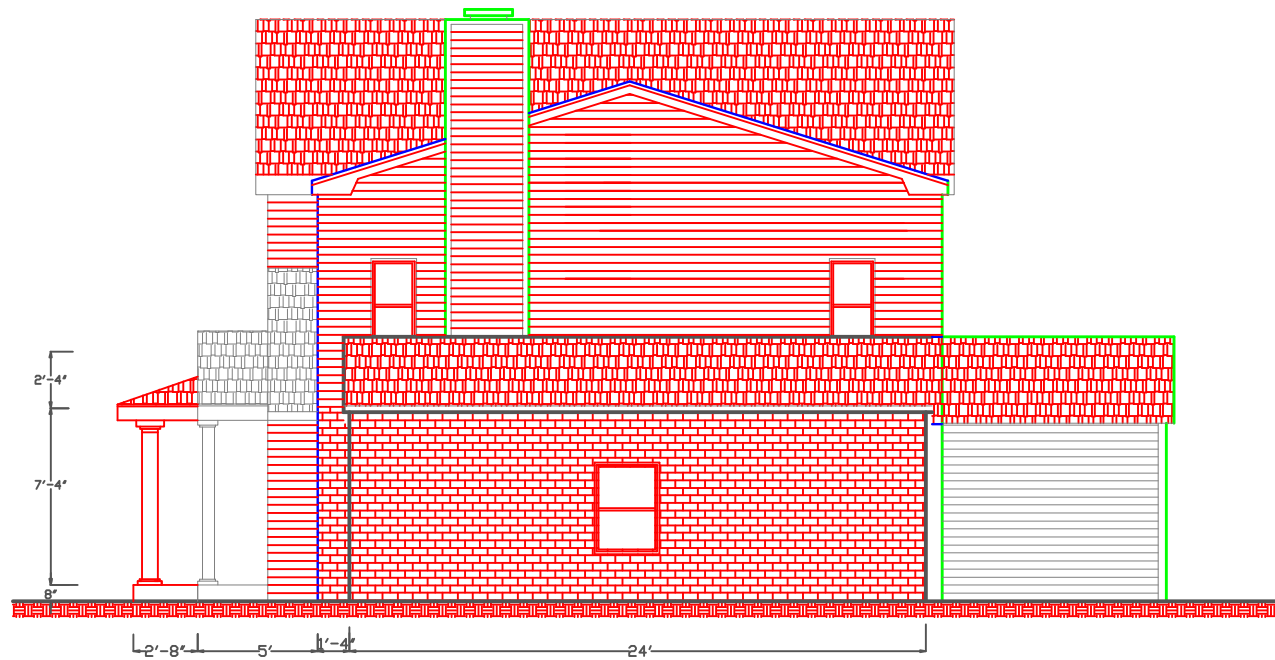
1. LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2 AND CARRY THE TRADEMARK "SP#2" WATERSTAIN.
2. STAIRS AND LANDING ARE SHOWN IN THEIR APPROXIMATED LOCATION. CONTRACTOR SHALL LAY OUT EXACT NUMBER OF STAIRS IN THE FIELD.
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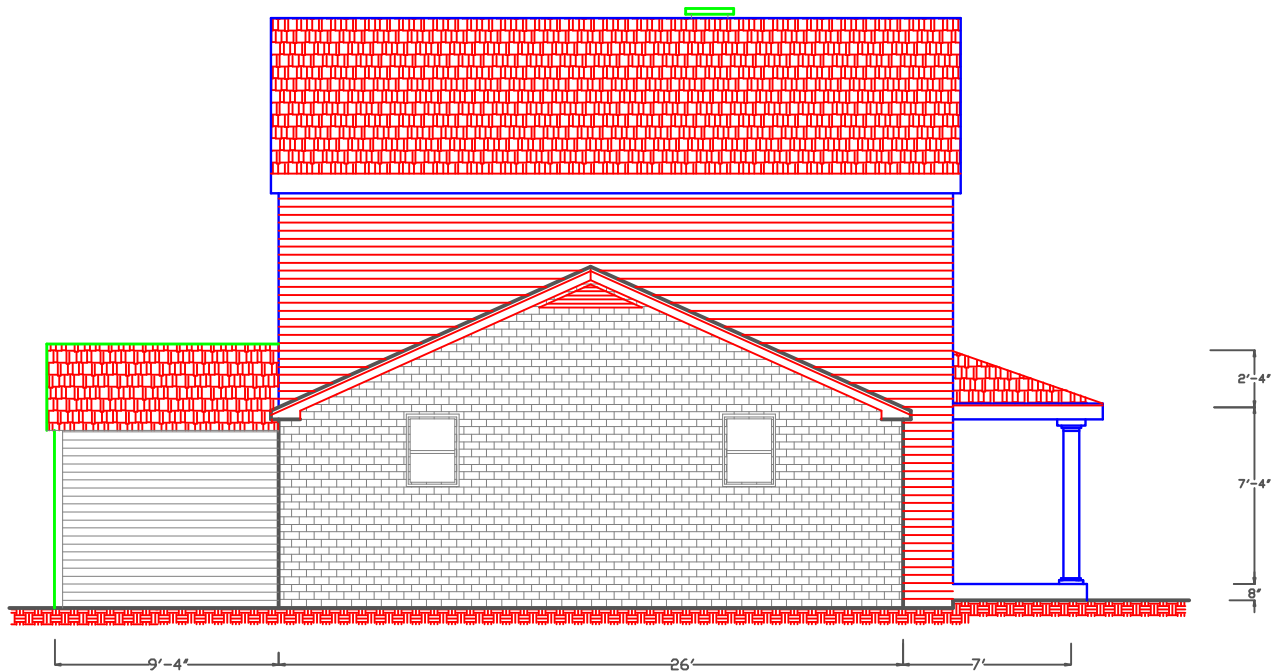
Firm Name and Address  
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**GEORGE WYSZOMIERSKI**  
 512 PUTNAM PLACE  
 ALEXANDRIA, VA 22302

Designer <b>WENDY FLORES</b>	Sheet <b>#3</b>
Date 07/27/2016	<b>OF</b>
Scale AS NOTED	<b>4</b>



**RIGHT VIEW**  
SCALE: 1/4"=1'-0"



**LEFT VIEW**  
SCALE: 1/4"=1'-0"

GENERAL NOTES

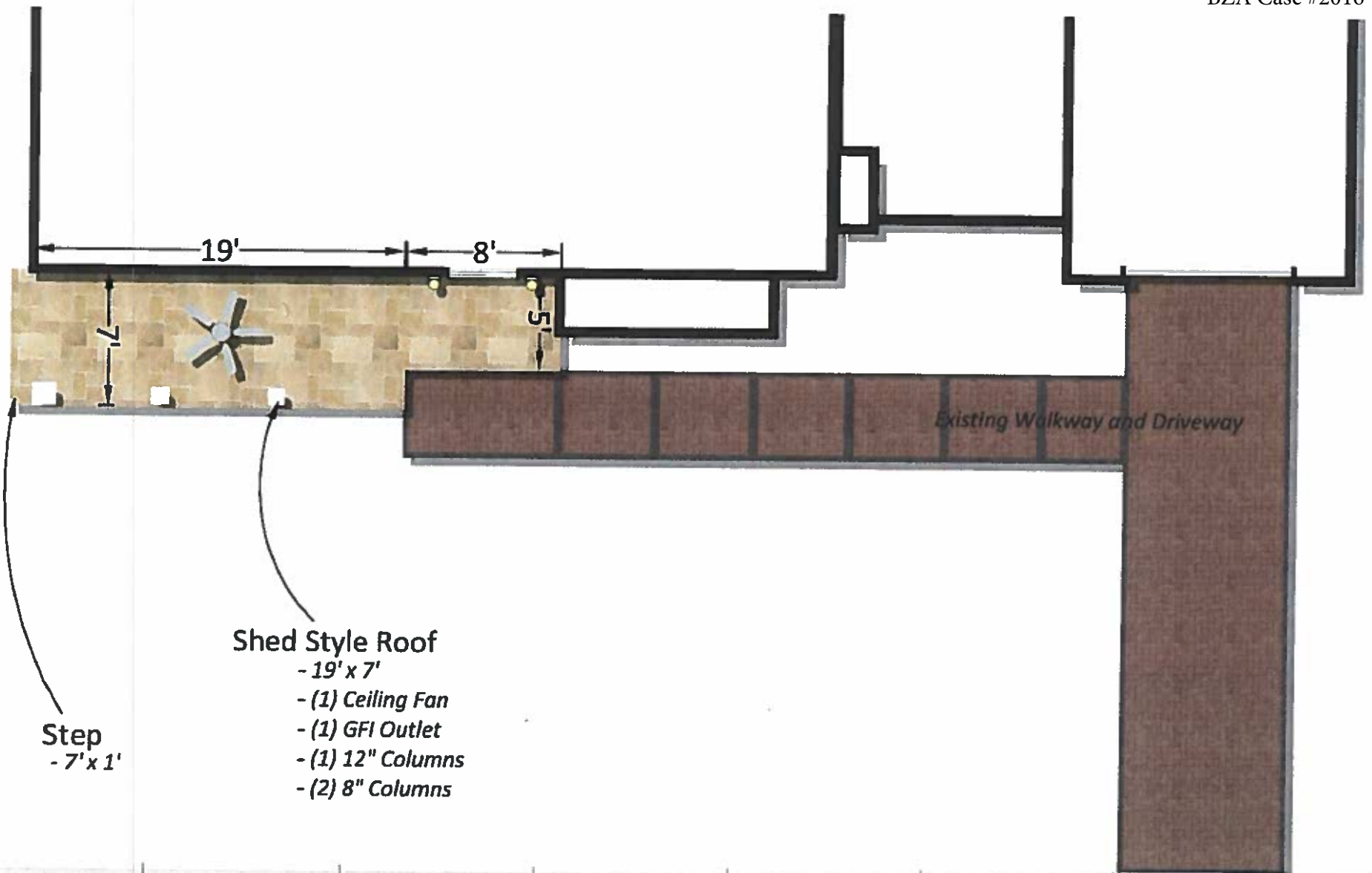
1. LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2 AND CARRY THE TRADEMARK "SPB" WATERSTAIN.
2. STAIRS AND LANDING ARE SHOWN IN THEIR APPROXIMATED LOCATION. CONTRACTOR SHALL LAY OUT EXACT NUMBER OF STAIRS IN THE FIELD.
3. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
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Designer <b>WENDY FLORES</b>	Sheet <b>#4</b>
Date 07/27/2016	<b>OF</b>
Scale AS NOTED	<b>4</b>



**Shed Style Roof**

- 19' x 7'
- (1) Ceiling Fan
- (1) GFI Outlet
- (1) 12" Columns
- (2) 8" Columns

**Step**  
- 7' x 1'

**Clint Asmar**  
Phoenix Home Services

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www.phoenixmason.com

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Email: Clint@phoenixmason.com







527 Putnam





515 Putnam