

Docket Item # 2
BAR CASE # 2016-0114

BAR Meeting
June 15, 2016

ISSUE: Park improvements

APPLICANT: City of Alexandria Department of Project Implementation

LOCATION: 421, 500, 500A, abutting parcel south of 500A, 501, 520 & 600 S Union St (Windmill Hill Park)

ZONE: WPR / Waterfront park and recreation

STAFF RECOMMENDATION

Staff recommends approval of the proposal with the following conditions:

1. The metal mesh portion of the railings should have a matte finish.
2. Lighting consistent with the Waterfront Common Elements for the promenade area shall be used where replacement lighting is proposed adjacent to the path, once the Common Elements are approved.
3. Historic interpretation consistent with the Waterfront Common Elements should be included at this site in the future, particularly interpretation related to rail transportation and industrial heritage.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR2016-00114



I. ISSUE

The City's Department of Project Implementation (DPI) is requesting approval of a Certificate of Appropriateness for a number of improvements at Windmill Hill Park on the east side of South Union Street. The applicant came before the BAR on May 4, 2016 where the BAR provided several specific comments and based on those comments, the applicant requested deferral of the project for further study. The Board had many questions regarding the proposed park improvements and found that the application needed significant changes to be approved. While the Board thought that some of the items were headed in the right direction, many expressed concern about the conceptual nature of the proposal. There was strong support for the shoreline restoration and for many of the improvements. **The BAR made the following comments to DPI on May 4, 2016:**

- Provide information on the overall park plan improvements, including the west side, specifically the playground. Consider the east and west sides as one park.
- Base plan is generally successful, in concept.
- Incorporate the stone walls and irregular flagstone pavers from the west side into the design on the east side to enhance the connection between the two areas.
- Remove the proposed gateway arches. While an entry feature in some form may be appropriate, the arches as designed are not appropriate/necessary.
- Prefer to see wood decking for the pier rather than concrete but concrete may be acceptable if color/treatment is improved.
- Pursue a wood bridge option but the bridge should not be same design as that used in the west end of the City.
- Support for raised intersection and granite mounting blocks.

The proposed improvements currently include the following:

- Wood pedestrian pier with railing on the northern shore
- Wood pedestrian bridge over the restored stream on the southern end
- Replacement lighting along northern path and new lighting in seating areas
- New bicycle parking, benches, trash receptacles and drinking fountains
- Raised intersection and crosswalk enhancements
- Granite mounting blocks on South Union Street (part of future Common Elements)

The applicant has made the following revisions since the May 4, 2016 BAR hearing:

- Entry arch (brick and wrought iron) with seating wall at two sidewalk entrance locations
- A simple wooden pier and pedestrian bridge in place of concrete or metal truss bridges and piers as previously proposed
- Incorporation of irregular fieldstone pavers as found on the west side of the park into the east side park seat walls

As noted previously, shoreline, marsh and stream restoration will all be undertaken as part of the overall park improvement project. The temporary safety fence, approved by the BAR and installed in 2012, and the deteriorated bulkhead will be removed as part of the project. The existing failing bulkhead will be removed to a depth of two feet below the proposed finished grade of the living shoreline and upland/riparian areas. Once this portion of the crumbling bulkhead is removed, select fill materials will then be used to backfill the area to meet the

proposed finished grade and provide an appropriate planting medium for the living shoreline and upland/riparian areas.

DPI has held a number of community meetings to receive feedback on the improvements. This design was presented separately to the Environmental Policy Commission, the Parks and Recreation Commission and the Waterfront Commission. It has also been presented to City Council twice. It is anticipated that construction will begin in late summer 2016. The current proposal is consistent with the implementation of a more than twenty year master planning process for Windmill Hill Park. A number of action items for the overall park design have already been completed including the addition of wayfinding signage, the relocation of the volleyball and basketball courts, and various landscaping improvements.

II. HISTORY

Windmill Hill derives its name from a wind-powered mill constructed on the steep banks overlooking the Potomac River in this location in the 1840s. The area comprising Windmill Hill Park was an important Civil War logistics and railroad center, linking with the existing Wilkes Street Tunnel and the Hooff's Run bridge. The land where the dog park and present Ford's Landing townhouse development now sit was used in the 19th century as a shipbuilding site known as Keith's Wharf and later as a Ford automobile dealer make-ready facility. There were also fuel oil tank farms near on the west side of South Union Street in the mid-20th century. The area east of Union Street had small sheds used for storage and boats in the early 20th century and the bay was a private marina known as the Old Town Yacht Basin until the 1980s. The coal fired Old Dominion power plant was demolished to construct the Harborside townhouses about that same time. Today, the park occupies land on both the east and west sides of South Union Street and features a basketball court, volleyball courts, a playground, a dog park and open lawn. The nearest historic buildings that remain today are on the west side of South Lee Street. The buildings to the north and south are all late 20th-century residential developments.

In 2012, the BAR approved the installation of a temporary fence around the crumbling and hazardous bulkhead until the improvements outlined in this application could be completed (BAR Case # 2012-0187). The case was appealed to City Council who overturned the BAR's approval of a certain fence design (split-rail). City Council approved a different fence design (nautical rope) and requested that staff bring forward the bulkhead and park improvements sooner which is the subject of the present application.

III. ANALYSIS

Chapter 10 of the Zoning Ordinance, which covers the purpose and responsibilities of the BAR and historic districts, includes the responsibility to approve both "landscapes" and "settings," in addition to buildings, structures and others places of architectural, cultural or historical value. However, the BAR, by longstanding practice, has not reviewed plant materials or landscape plans and does not, of course, have purview over the use, environmental impact, parking, noise, hours of operation, or other park related activities regulated by the Park and Recreation Commission or City Council. The BAR's practice is based on the belief that living plant materials inherently increase in size and change shape when they grow and die and there is no specific landscape architecture expertise required by the ordinance for members of the BAR. In

addition, landscape designs frequently change when residential properties change ownership, as a matter of personal taste and are generally easily reversible, much like paint colors.

However, the BAR has reviewed permanent landscape elements such as walls, benches, lighting, permanent planters, street furniture and the like. This particular application does not propose a significant new landscape design, as it is more of a naturalized shoreline, marsh and stream restoration project. The items that the BAR is reviewing for these proposed improvements are therefore limited to the more permanent elements, consistent with the BAR's adopted policies and practices. The BAR's *Design Guidelines* that relate to this include the chapters on Fences, Garden Walls and Gates, and Street Furniture. The BAR's *Waterfront Design Guidelines* chapter is not applicable as it almost exclusively addresses buildings.

Since the last submission, the DPI project team has made substantial revisions that directly respond to the BAR's previous concerns. The current submission provides additional background on the park master plan process and implementation for Windmill Hill Park so that the BAR members can better understand the context of this particular proposal. The proposal is also now somewhat scaled down with the elimination of entry arches and choice of a simpler pedestrian bridge, in addition to the incorporation of elements found on the west side of the park, such as the irregular flagstone seat walls, into the east side of the park.

Seat walls and mounting blocks

The *Guidelines* note that "fences, garden walls and gates should be appropriate in materials, design and scale," and "a number of different types of materials are appropriate." Low curving seat walls made of irregular field stone, similar to what exists on the western edge of the park, are appropriate and provide continuity across the entire park. The carriage mounting blocks are of a stone common to this area (granite) and provide a tangible connection to the Potomac River. Staff supports these elements as submitted.

Pedestrian Pier and Bridge

While there are no specific *Guidelines* for these particular elements, the general tenets of the *Guidelines* suggest that the proposed materials should be durable, high-quality natural materials found throughout the historic districts. Further, these elements should complement the historic character of this area rather than ostentatiously announce their presence. Previously, the BAR expressed concern about the use of concrete decking and use of an industrial character bridge, seemingly because it was found in a park in another part of the City. The BAR encouraged the use of a natural material like wood and a simple railing, consistent with other waterfront pedestrian piers. For the required railings, staff also recommends that the metal mesh have a matte, not shiny, finish.

Lighting

The programmatic requirements of the project scope require replacing existing streetlights on the northern path and installing limited new streetlights where there are seating areas for safety purposes. Staff finds this lighting scheme to be a modest level of illumination that will continue the natural feel of this particular park while providing appropriate lighting for overall safety. It should be noted that the specification of Gadsby streetlights in the park is an interim proposal until the Waterfront Common Elements palette is approved. Concurrently, the City is in the process of selecting an appropriate Gadsby Replacement Streetlight that will be more historically

accurate, much more energy efficient, and substantially less cost to replace. As part of the Gadsby Replacement Streetlight project and the Waterfront Common Elements, there has been discussion and general consensus that the Gadsby Streetlights should be true streetlights and used only on streets. While the existing Gadsby Streetlights are found all over Old Town, and in some curious locations, it is quite likely that the intention going forward will be to be more conscientious in determining where they are installed. It is expected that the BAR will review the Waterfront Common Elements palette and Replacement Gadsby Streetlight for separate Certificates of Appropriateness on July 20, 2016.

The Waterfront Common Elements will include a unique promenade light that will be used to visually link the public path along the entire length of the waterfront. In the future, as each waterfront park is fully designed, there may be additional lighting options for other areas in the interior of the parks, street-end gardens and piers. Because the Gadsby Streetlights are by function and aesthetics a more traditional streetlight, staff recommends that an alternate light, consistent with the Waterfront Common Elements palette be used in Windmill Hill Park. The use of lights from the Common Elements for the pathway and seating area will also knit this particular park into the overall waterfront park program and further connections along the waterfront. Staff recommends that once the Common Elements are approved, the selected promenade light should be used in the limited lighting areas in Windmill Hill Park, adjacent to the path, as the character of this area is more similar to the park promenade than the street. Should the final promenade light not be selected in time for the construction at Windmill Hill Park, the replacement Gadsby Streetlight may be installed only as an interim condition.

Street Furniture

The proposed park benches, trash receptacles and bicycle racks are the same Victor Stanley models that were previously approved by the BARs for the historic districts and which T&ES and RP&CA have adopted for use throughout the City. These elements are metal with a black powder coat finish and have proven to be durable everywhere and appropriate in a range of areas. Staff recommends approval of these elements, as submitted.

Street Improvements

This particular street area does not have historic granite curbs or cobblestones that the BAR would normally request to have preserved and enhanced. The proposed pedestrian improvements utilize a red brick sidewalk which is compatible with the historic district and the nearby streetscapes. Staff recommends approval of these elements as submitted.

Historic Interpretation

The historic interpretation for this park is limited to the installation of granite mounting blocks and the use of materials found at the nearby Wilkes Street Tunnel. Staff notes that this park is an excellent opportunity to provide historic interpretation of the waterfront's industrial heritage as this present-day calm and serene park had been the site of heavy industrial operations for a significant period of time. Additionally, this site is an opportunity to expand the rail history interpretation through a visible and physical connection to the nearby Wilkes Street Tunnel and should be pursued in a subsequent phase. Once the Waterfront Common Elements are developed, staff strongly recommends that historic interpretation be pursued for this park, consistent with the overall Common Elements for historic interpretation.

Summary

In general, staff is highly supportive of the proposed Windmill Hill Park improvements and finds them appropriate and compatible with this area of the historic district. Staff has no objection to proceeding with the planning, bidding and construction of the improvements with the understanding that certain elements, such as the lighting, will be consistent with the Waterfront Common Elements palette that will likely be approved in the coming months. Therefore, staff recommends approval with the conditions noted above.

STAFF

Catherine K. Miliaras, Historic Preservation Planner, Planning & Zoning

Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning Comments

C-1 Page 3 indicates pole lights to be located along the north path and along seating areas. Applicant must show the location of all proposed lights on the plan and in compliance with the 12' setbacks.

Code Administration

C-1 An electrical permit, plan review and inspections are required for this site lighting proposed for this project.

Transportation and Environmental Services

No comments received.

Alexandria Archaeology

No comments received.

V. ATTACHMENTS

1 – Supplemental Materials

2 – Application for BAR Case #2016-0114: 500A South Union Street

3-- Application Materials for May 4th OHAD BAR hearing

Application Materials
BAR2016-00114
500A S. Union St
4/5/2016



Attachment #1

Windmill Hill Park

Shoreline Rehabilitation Project

June 15, 2016 – Old and Historic Alexandria District Board of Architectural Review

Application Materials
BAR2016-00114
500A S. Union St
4/5/2016



Windmill Hill Park Limits

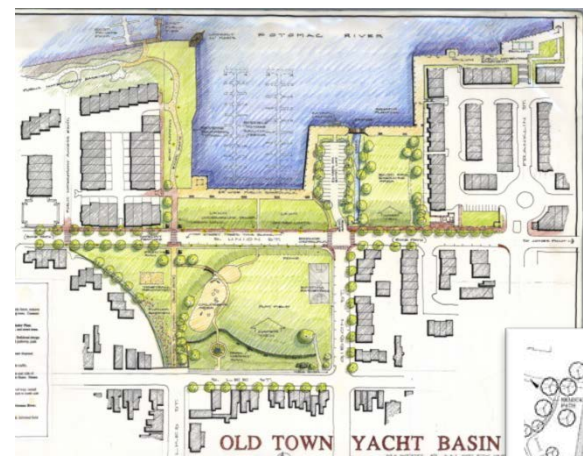
Application Materials
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Shoreline Rehabilitation Project – Limit of Work



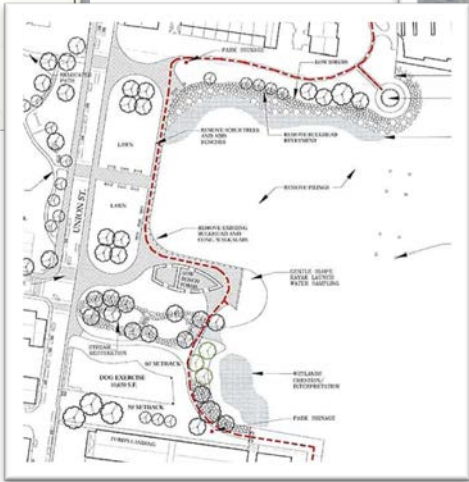
Windmill Hill Park Master Plan - 1997



Council Approved Plan – June 2015



Application Materials
BAR2016-00114
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Council Approved Concept Plan - 2003



Current Plan – June 2016

Plan Progression – Master¹² Plan to Final Design

Public meetings – Final Design

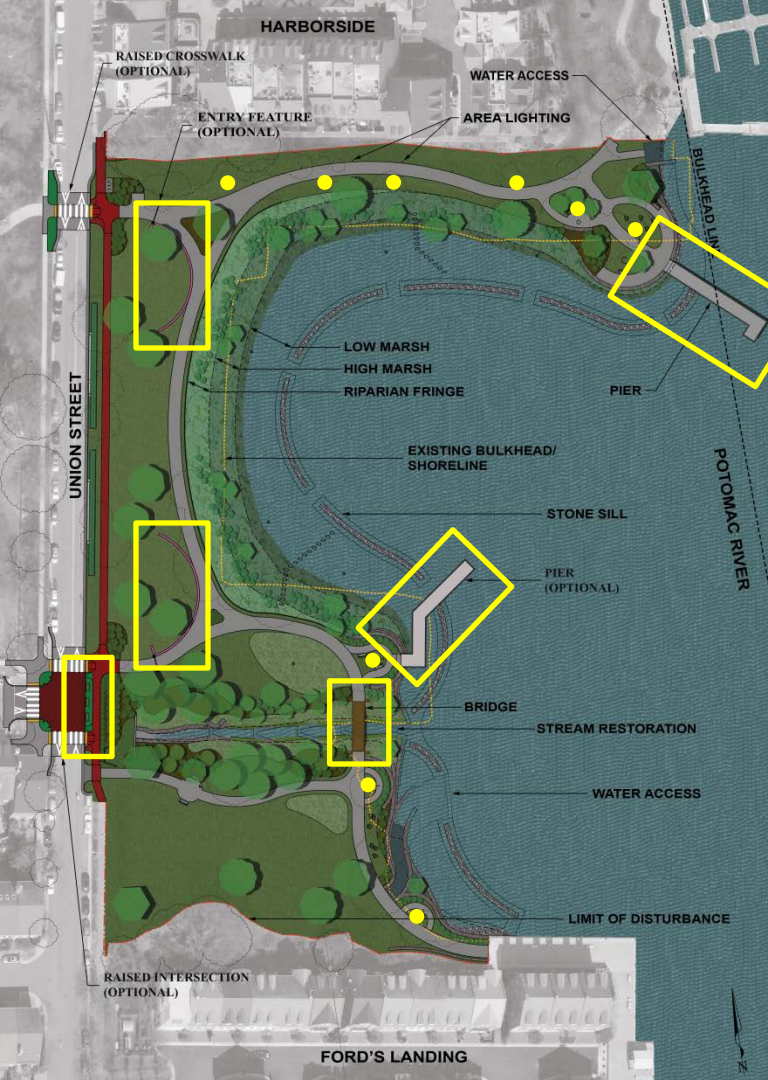
Community Meetings 1, 2, Stakeholder, & City Council

Feb. 12, 2015 - Project Overview, Review of Approved 2003 Concept and Replacement Opportunities, Community Input

April 13, 2015 - Presentation of Three Concepts, Community Input

May 2015 - Series of meetings with stakeholder groups including Environmental Policy Commission, Waterfront Commission, and the Park and Recreation Commission

June 13, 2015 - City Council unanimously approves Living Shoreline Concept. Council requests Union Street Improvements



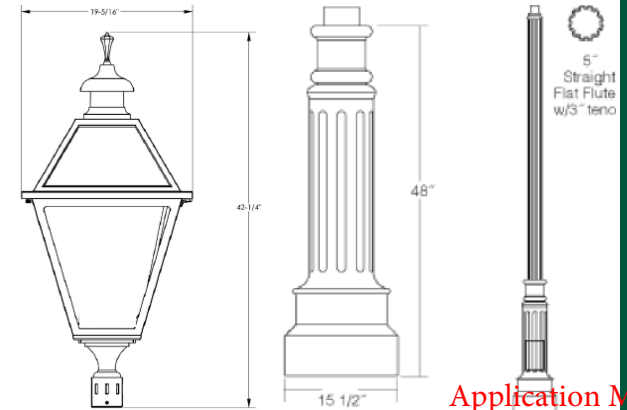
BRIDGE AND PEDESTRIAN PIERS



STONE-FACED SEAT WALLS



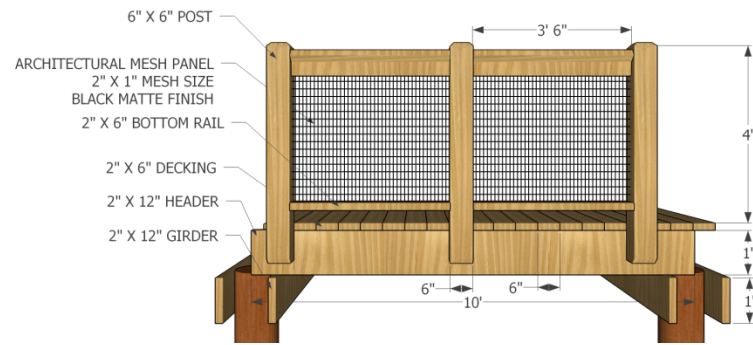
GRANITE MOUNTING BLOCKS



INTERIM SITE LIGHTING – GADSBY REPLACEMENT LIGHT

Application Materials
BAR2016-00114
500A S. Union St

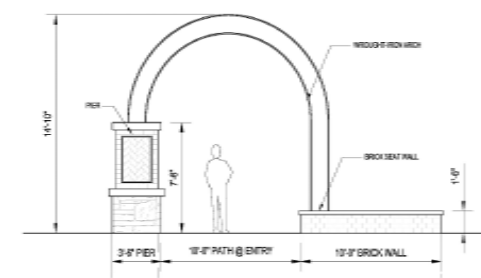
4/5/2016



- MATERIALS AND STYLE OF BRIDGE TO MATCH PIER



- SEAT WALL MATERIALS TO MATCH AND COMPLEMENT THE EXISTING FIELD STONE WALL LOCATED ON WESTERN PORTION OF WINDMILL HILL PARK

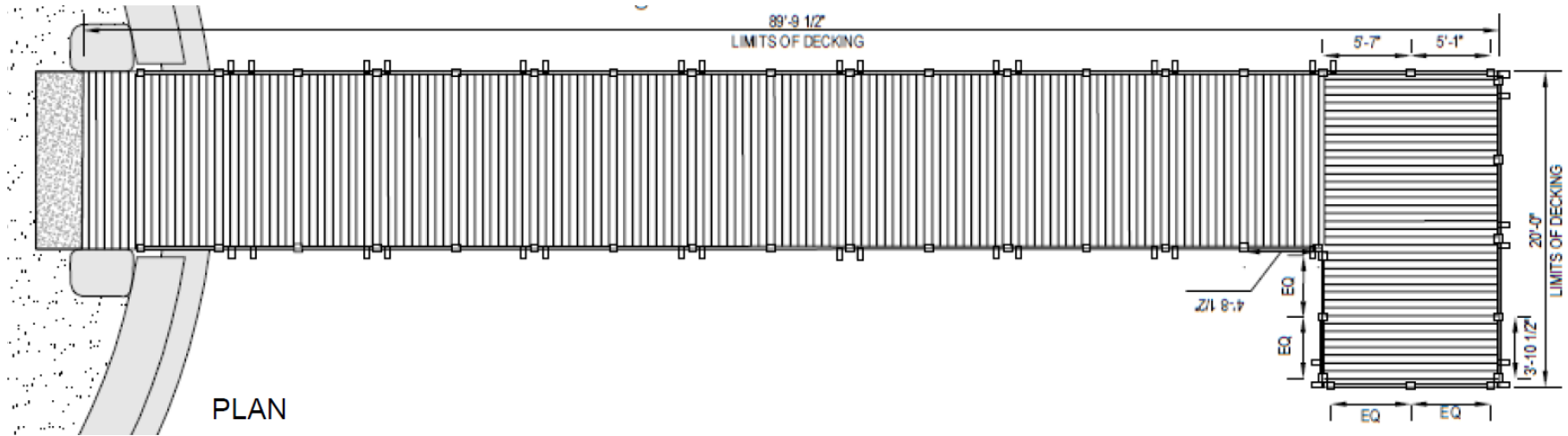


- ELIMINATED ENTRY MONUMENT FEATURES (TWO)

Application Materials
BAR2016-00114
500A S. Union St
4/5/2016



Revisions since last presentation -
Response to BAR comments

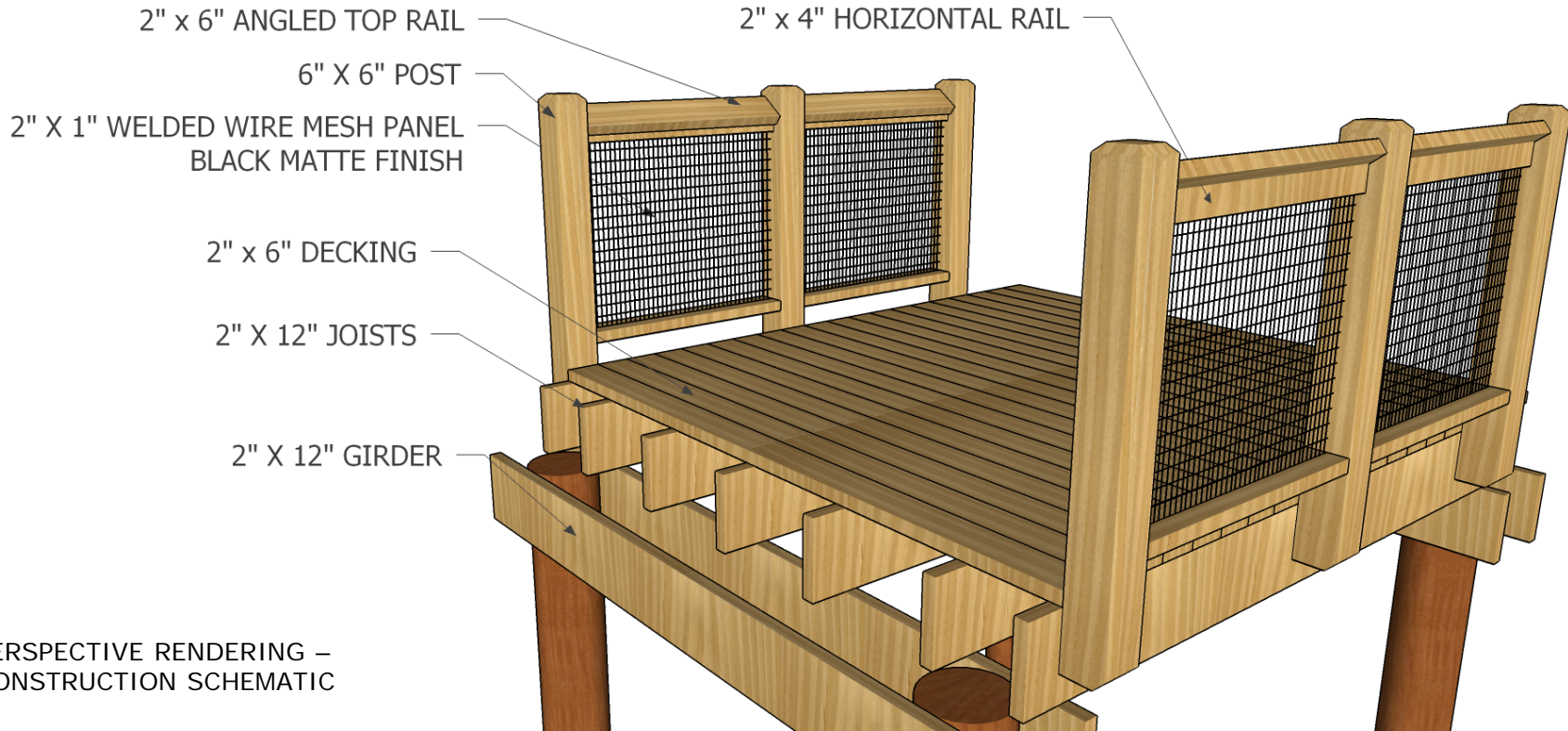


Notes:

1. Wood shall be marine-grade pressure treated pine. Galvanized hardware and fasteners shall be used.
2. No gaps greater than 4" in railing.
3. Pier decking, railing, and overall aesthetic may be subject to the Waterfront Common Elements palette of materials in the future. The proposed design will serve in the interim until the Common Elements are established and fully adopted.

Application Materials
BAR2016-00114
500A S. Union St
4/5/2016

Pedestrian Pier



PERSPECTIVE RENDERING –
CONSTRUCTION SCHEMATIC

Notes:

1. Wood shall be marine-grade pressure treated pine. Galvanized hardware and fasteners shall be used.
2. Welded wire mesh shall be coated against corrosion in a matte black finish.
3. No gaps greater than 4" in railing.
4. Decking, railing, and overall aesthetic of the bridge may be subject to the Waterfront Common Elements palette of materials in the future. The proposed design will serve in the interim until the Common Elements are established and fully adopted.

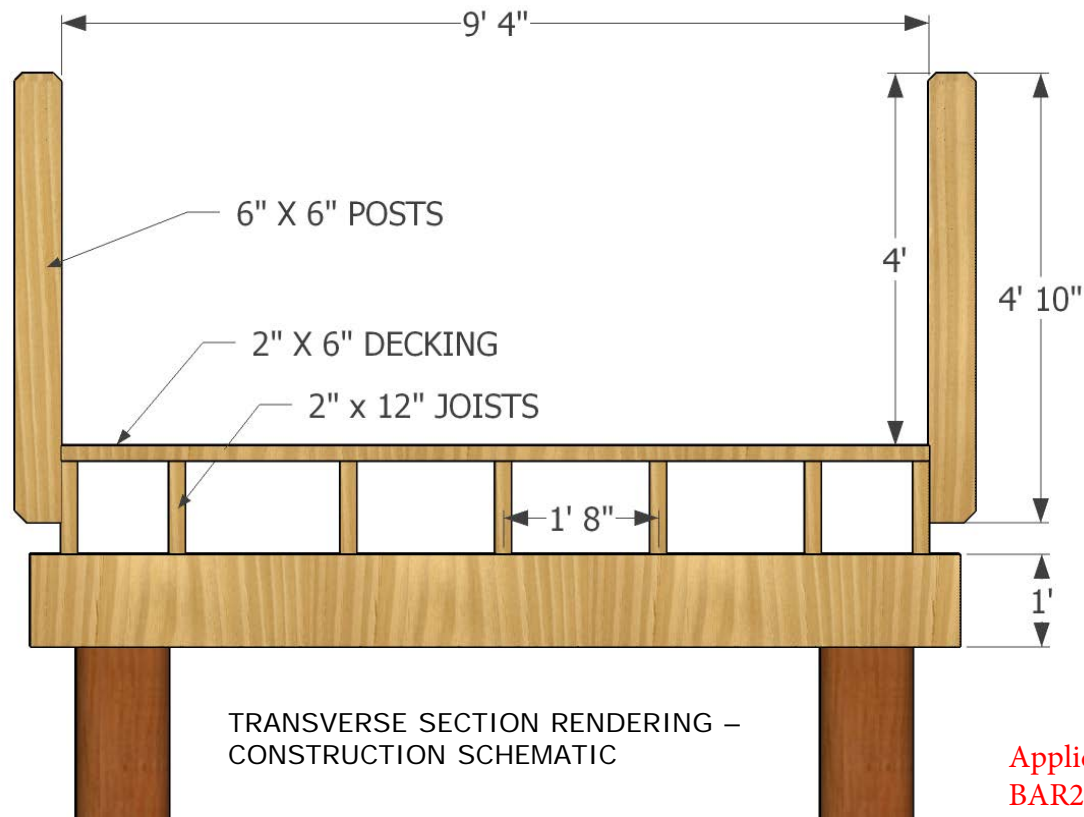
Application Materials

BAR2016-00114

500A S. Union St

4/5/2016

Pedestrian Pier

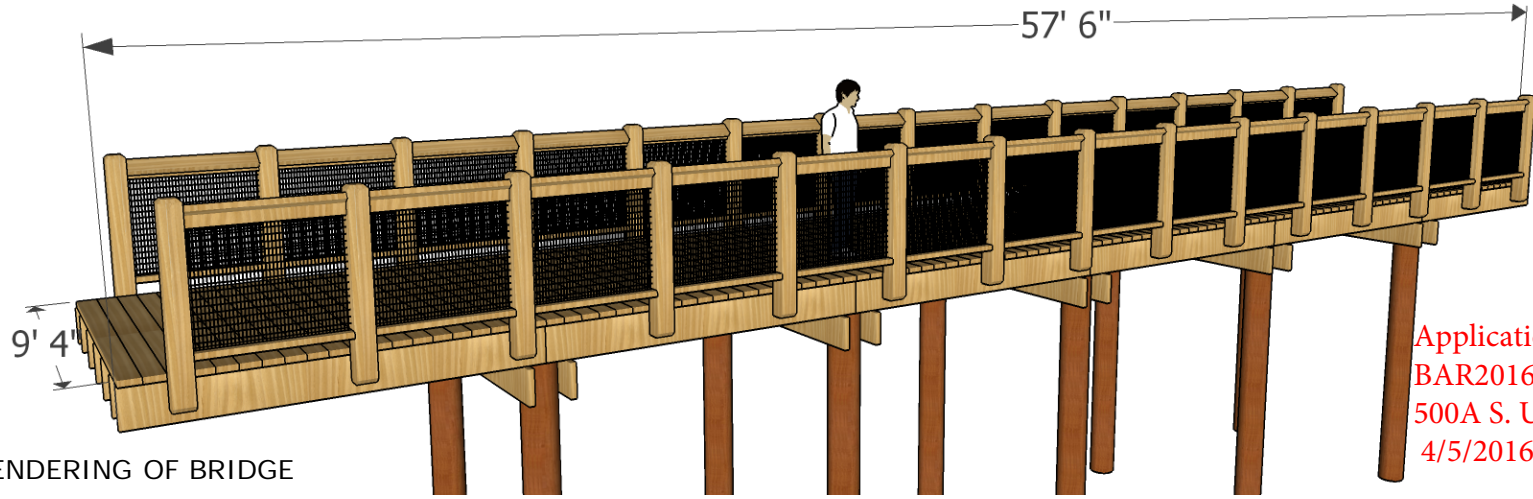


Notes:

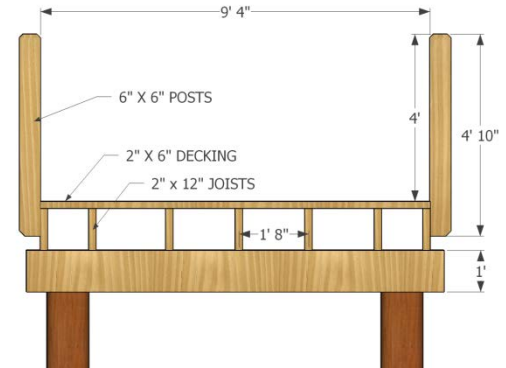
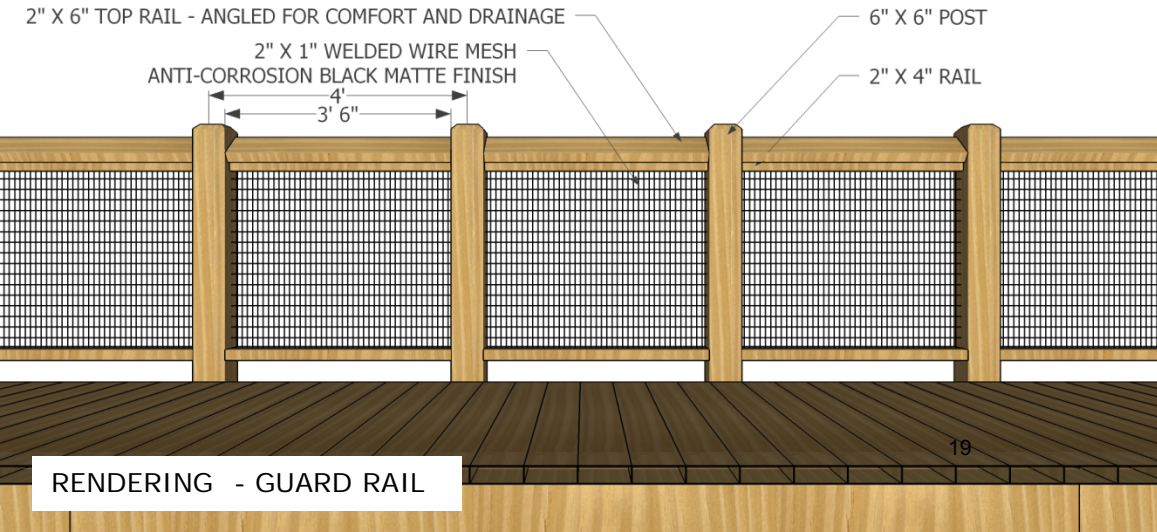
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Application Materials
BAR2016-00114
500A S. Union St
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Pedestrian Pier

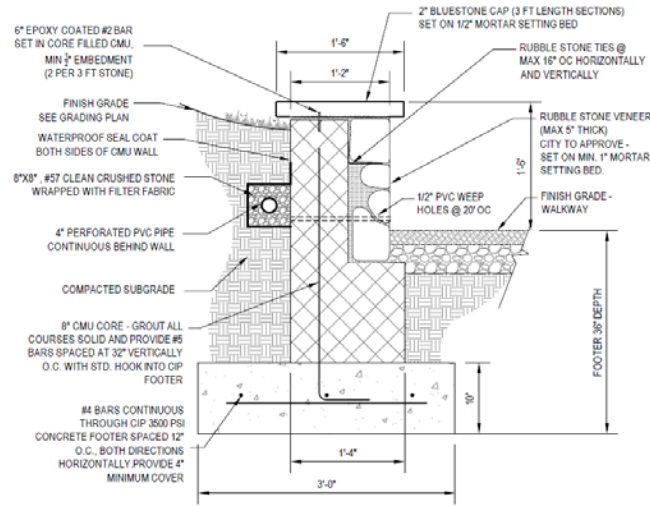
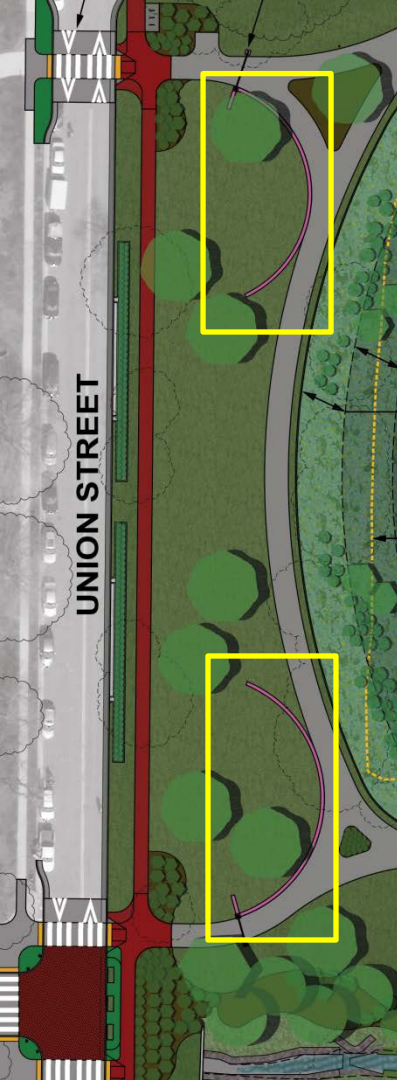


Application Materials
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SECTION TO MATCH PIER

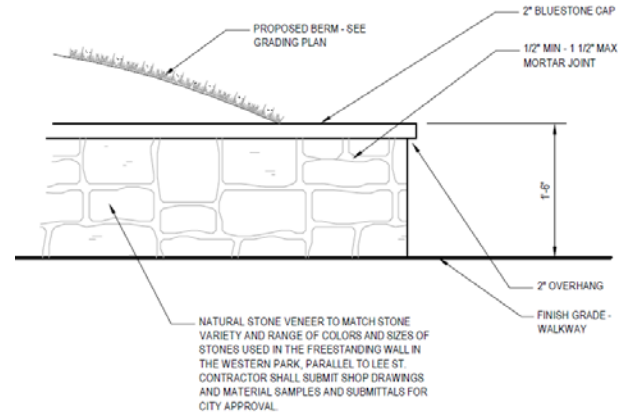
Pedestrian Bridge



1 **OPTION #1 : SEAT WALL & BERMS**
SCALE : 1"=1'-0"



20



2 **OPTION #1 : SEAT WALL & BERMS**
SCALE : 1"=1'-0"



Application Materials
BAR2016-00114
500A S. Union St
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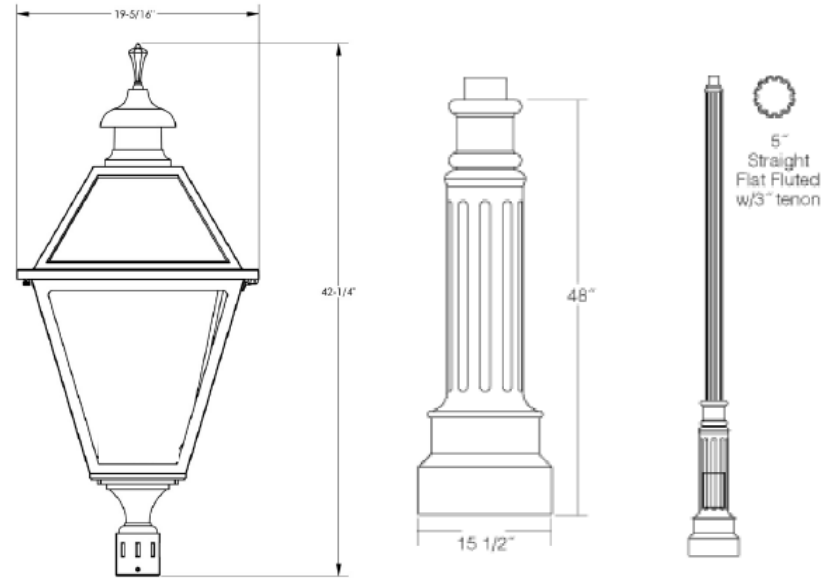
Stone Seat Walls





Site Lighting – Gadsby Pole Replacement

Interim light pending W.F. Common Elements light selection.



Fixture: Hadco VX671 1-80 LED, opaque panels.

Pole model: Phillips Hadco P4465 – 12' pole, black with 5" to 4" tapered shaft.

Gadsby Pole replacement model shall be used as an interim condition until Waterfront Common Elements are finalized and lighting master plan is complete.

Application Materials

BAR2016-00114

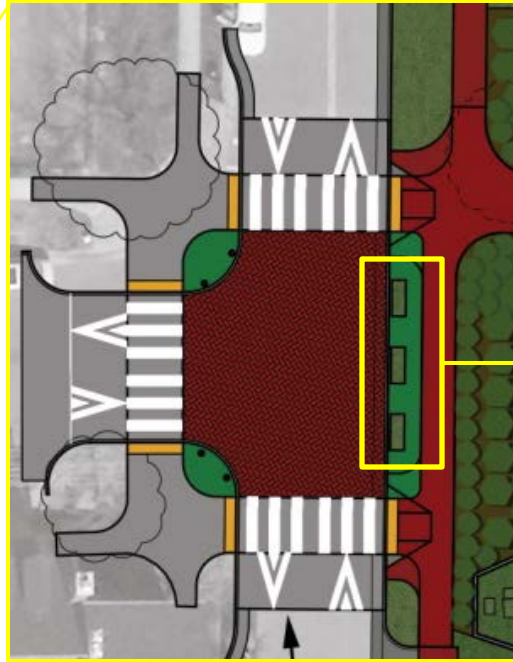
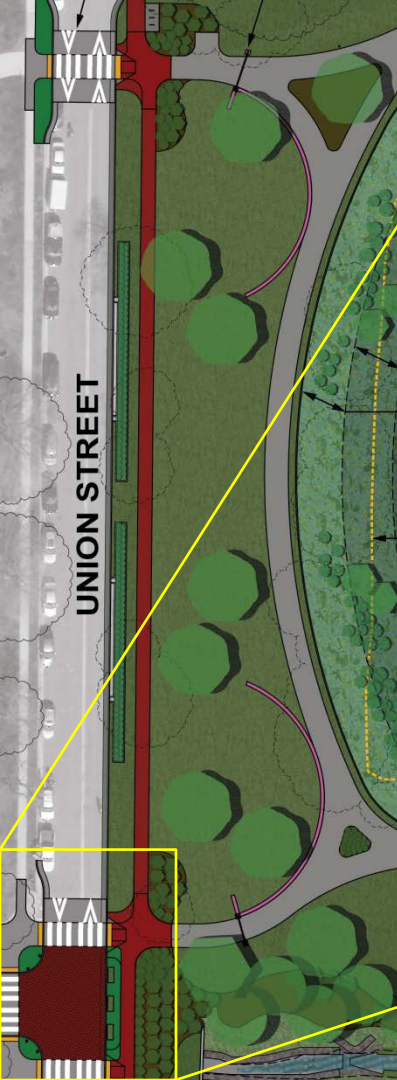
500A S. Union St

4/5/2016

Light fixture

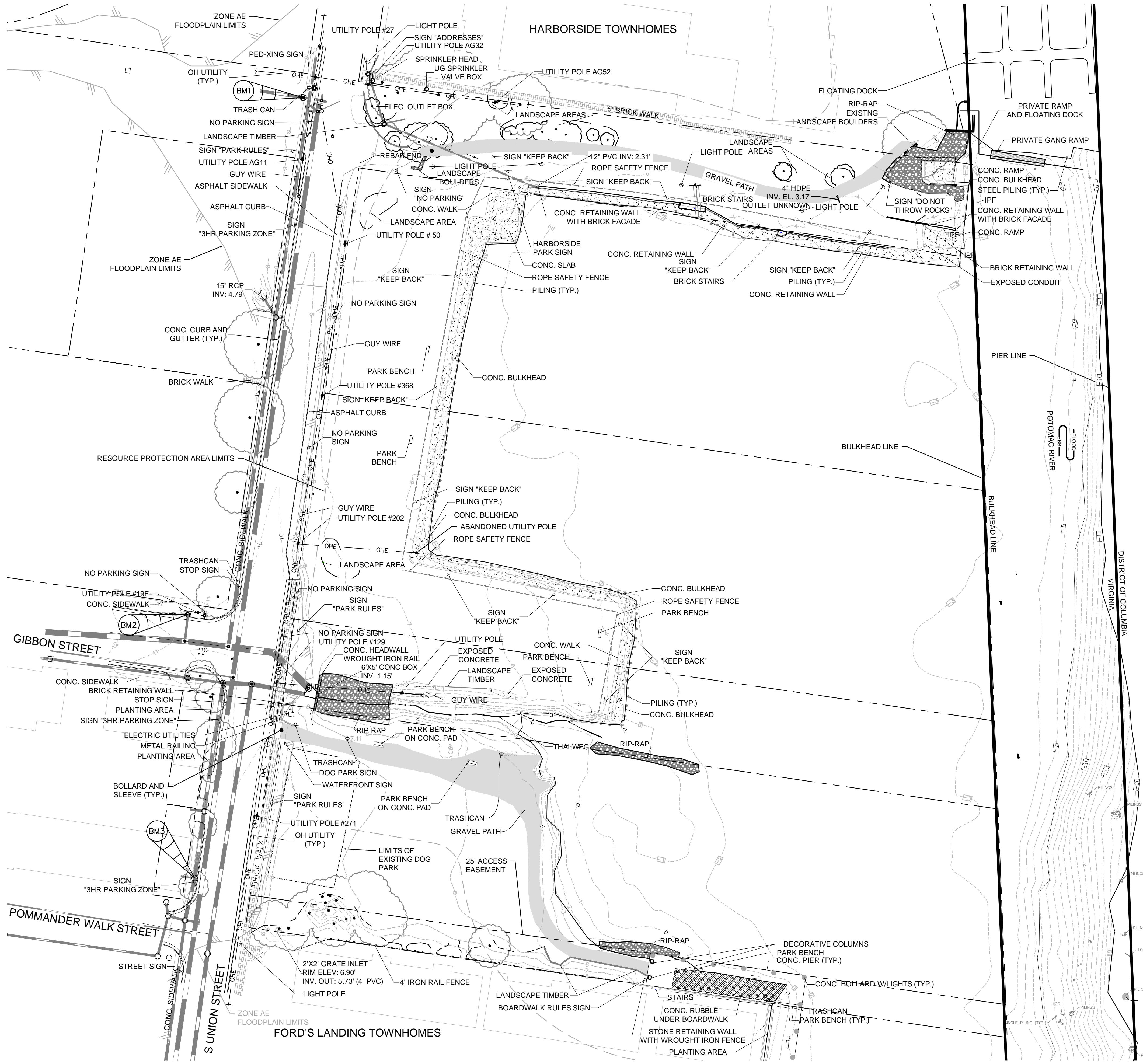


Granite Mounting Block – Per Water Front Common Elements



Notes:

1. Materials and shop drawings will be coordinated with BAR staff for approval.
2. Materials shall also be coordinated with Waterfront Common Elements, as appropriate.
3. Raised intersection has been previously presented to the BAR as part of the Union Street Corridor Study.



LEGEND

- MANHOLE/VALVE COVER
- LIGHT
- TRASHCAN
- SIGN
- UTILITY POLE
- ELECTRICAL BOX
- BENCH
- ROPE SAFETY FENCE
- MINOR CONTOUR
- MAJOR CONTOUR
- GRAVEL PATH
- RIP-RAP
- ALUMINUM GANG RAMP
- BRICK WALK
- CONCRETE RUBBLE
- CONCRETE BULKHEAD AND WALK
- LANDSCAPE BOULDERS

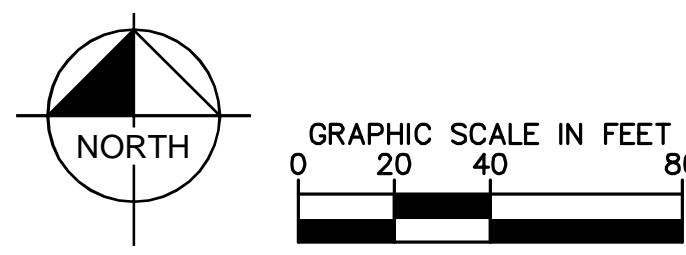
- MANHOLE
- OHE
- SAN
- OVERHEAD WIRE
- SANITARY/SFM
- STORM
- RPA

BENCHMARK INFORMATION

BENCHMARK 1 (BM1)
NORTHING: 6977591.91
EASTING: 11898611.26
ELEV: 8.79
DESC: CENTER OF EXISTING STORM MANHOLE

BENCHMARK 2 (BM2)
NORTHING: 6977192.33
EASTING: 11898522.18
ELEV: 10.85
DESC: CENTER OF EXISTING STORM MANHOLE

BENCHMARK 3 (BM3)
NORTHING: 6976988.25
EASTING: 11898527.28
ELEV: 9.88
DESC: CENTER OF EXISTING STORM MANHOLE



Application Materials
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500A S. Union St
4/5/2016



BID DOCUMENT

CITY OF ALEXANDRIA, VIRGINIA

DEPARTMENT OF PROJECT IMPLEMENTATION

301 KING STREET

ALEXANDRIA, VIRGINIA 22314

REVISIONS

DATE	BY	DESCRIPTION

ALEXANDRIA PROJECT NO.: 14-101

DATE OF PLAN ISSUANCE: 05.19.16

CONSULTANT PROJECT ID:

DESIGNED BY: K/VH DATE:

DRAWN BY: ATR DATE:

CHECKED BY: MA DATE: 05.17.16

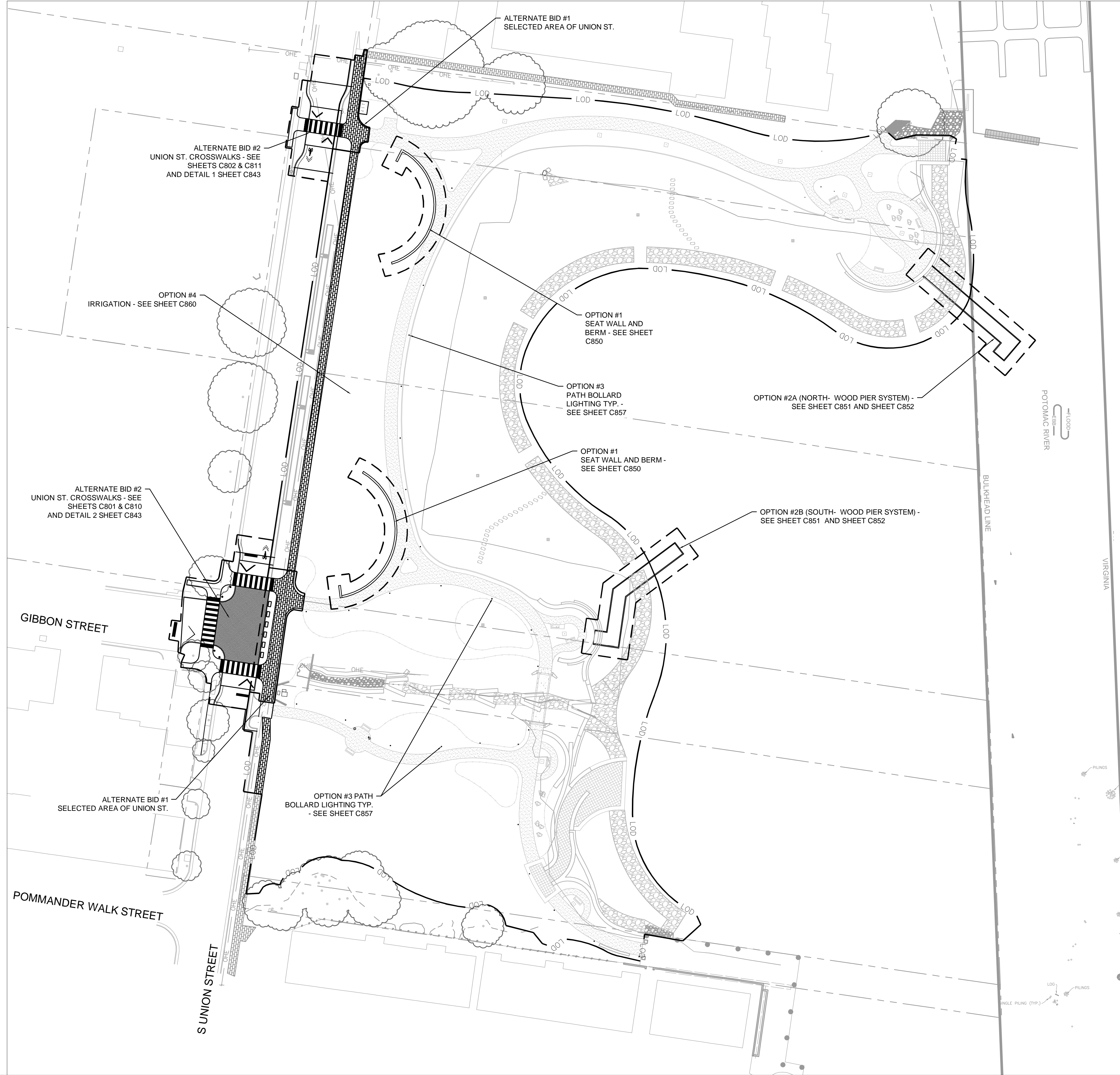
APPROVED BY: DATE:

WINDMILL HILL PARK SHORELINE REHABILITATION

EXISTING CONDITIONS

SHEET

C100



LEGEND

OVERHEAD LIGHT

LIGHT BOLLARD

TRASHCAN

WATER FOUNTAIN

BENCH

BIRD HOUSE

BIKE RACK

STEPPING STONES

LANDSCAPE BOULDERS

ELECTRICAL BOX

UTILITY POLE

STONE DUST PATH

RIP-RAP

LOD

LIMITS OF DISTURBANCE

BID ALTERNATE AND OPTIONS		
#	ITEM	DESCRIPTION
ALT. #1	* SELECTED AREA OF UNION STREET CURB AND GUTTER, RAMP AND SIDEWALK	SELECTED AREA OF UNION ST. CURB AND GUTTER, ADA RAMPS, AND BRICK SIDEWALK
ALT. #2	* UNION STREET CROSSWALKS	RAISED INTERSECTION AT UNION ST. & GIBBON ST., RAISED MIDBLOCK CROSSING ON UNION ST., CURB AND BRICK SIDEWALK
OPT. #1	SEAT WALLS AND BERMS	18" BRICK SEAT WALLS WITH BERMED SEATING AREAS
OPT. #2A	PIER (NORTH) - WOOD SYSTEM	WOOD PIER (90°)
OPT. #2B	PIER (SOUTH) - WOOD SYSTEM	WOOD PIER - ANGLED (100°)
OPT. #3	LIGHTING	PATH BOLLARD LIGHTING (EXCLUDING NORTHERN PATH AND SEATING AREA LIGHTING)
OPT. #4	IRRIGATION	IRRIGATION THROUGHOUT SITE
* ALTERNATE BID #1 OR #2 MUST BE SELECTED IN COMBINATION WITH THE BASE BID FOR PROJECT TO BE COMPLETED.		

- NOTES
1.

ALTERNATE BID #1 OR #2 MUST BE SELECTED IN COMBINATION WITH THE BASE BID FOR PROJECT TO BE COMPLETED. SEE SHEET C006 FOR ALTERNATE BID #1 AND #2 COMPARISON.
2.

THIS PLAN SET, PRIOR TO SHEET C800, REPRESENTS THE BASE BID WITH ALTERNATE BID #1 BEING SELECTED.
3.

SEE SHEETS AFTER C800 FOR OPTIONAL BID ITEMS #1 - #4.

Application Materials
BAR2016-00114
500A S. Union St
4/5/2016

KNOW WHAT'S BELOW.
CALL BEFORE YOU DIG.
DIAL 811 IN VIRGINIA OR
1-800-552-7001

NORTH

GRAPHIC SCALE IN FEET
0 20 40 80

WINDMILL HILL PARK SHORELINE REHABILITATION

ALTERNATE BID AND
OPTIONAL BID SITE
PLAN

SHEET
C800

CITY OF ALEXANDRIA, VIRGINIA
DEPARTMENT OF PROJECT IMPLEMENTATION
301 KING STREET
ALEXANDRIA, VIRGINIA 22314

REVISIONS

BY	DESCRIPTION

ALEXANDRIA PROJECT NO.: 14-101

DATE OF PLAN ISSUANCE: 05.19.16

CONSULTANT PROJECT ID.:

DESIGNED BY: K/VH DATE:

DRAWN BY: ATR DATE:

CHECKED BY: MA DATE: 05.17.16

APPROVED BY: DATE:

BID DOCUMENT

24

City of Alexandria, Virginia

Windmill Hill Park

Concept Plan: Implementation Recommendations



Work Completed to Date



1. Relocated the basketball court to allow for completion of sidewalk on the north side of Gibbon Street.
2. Completed the sidewalk on the north side of Gibbon Street between Lee Street and Union Street so it runs to Union Street.
3. Relocated the volleyball court.
4. Removed the asphalt parking lot on the east side of Union Street along Gibbon Street extended and cleaned and seeded that area.

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Work Completed to Date

(continued)



5. Removed the gates on the east side of Union Street at the Gibbon Street extended area.
6. Reseeded the area between Union Street and the basin and provided additional plantings.
7. Removed the curb cuts on the east side of Union Street at the Gibbon Street extended area.
8. Restored the area immediately north of the current dog area (stream outflow area) by trimming overgrowth, removing dead/decayed trees, and planting new materials.
9. Renovated the Wilkes Street Tunnel



Current Bulkhead Condition



- An engineering consultant (RK&K) inspected the bulkhead in March 2012
- Findings indicated that the concrete bulkhead remains in “critical” condition.
- Recommendations stated that the bulkhead be removed and replaced in the near future. In the meantime a fence should be placed around the perimeter of the structure.
- The City is proposing a fence option (similar to image shown right) that is aesthetically pleasing and will ensure safety along the bulkhead. Construction of the fence will require a BAR Certificate of Appropriateness.



UPDATE: FENCE INSTALLED 2013

Future/Outstanding Work



Plan Item:

- Addition of family-oriented equipment and furniture where approved

UPDATE: SITE FURNISHINGS INSTALLED 2014

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Future/Outstanding Work



Plan Item:

- Installation of interpretive signs at top of wall parallel to Lee Street



Plan Item:

- Installation of new wayfinding signage to meet city standard



Existing sign



New standard wayfinding sign

UPDATE: WAYFINDING SIGNAGE INSTALLED 2014

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Future/Outstanding Work



Plan Item:

- Complete the construction of the existing dog exercise area by adding a barrier such as fencing and/or landscaping.

UPDATE: TO BE DETERMINED

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Future/Outstanding Work



Plan Item:

- Renovate the playground.

UPDATE: PLANNED FOR FY 2017/2018



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Future/Outstanding Work



Plan Item:

- Install a speed table at the corner of Gibbon and Union Street and Install crosswalks, if deemed feasible, as a mid-block crossing on Union Street.

Response:

- The Union Street Corridor Study, currently underway, addresses traffic calming needs along the Union Street, including the areas adjacent to Windmill Hill Park. The Study is expected to be complete in Fall 2012.

UPDATE: SCHEDULED TO BE COMPLETED DURING THE CONSTRUCTION OF THE LIVING SHORELINE PROJECT

Future/Outstanding Work



Plan Item

- Installation of a 6 foot width brick walk at the top of the wall (west end) and along the perimeter (south end).

Response

- The existing stone walk at the top of the wall and the concrete walk along the south end of the site are in good condition and were recently renovated



UPDATE: NO ADDITIONAL IMPROVEMENTS SCHEDULED

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Currently Underway with Existing CFMP Funds



Plan Item

- Renovate Basketball Court

Response

- Already scheduled for FY12 Court CFMP funding

UPDATE: COMPLETE



Plan Item

- Replace Park Fencing around perimeter west of Union Street

Response

- Already scheduled for FY12 Park CFMP funding

UPDATE: COMPLETE



Projects incorporated or in conjunction with the Bulkhead Repair



- **Installation of a formalized gentle slope kayak launch.**
- **Re-design the Open Space:** The plan proposes a passive use lawn framed by a cluster of small trees adjacent to Union Street and special paving leading to water's edge. It also proposes the creation of an informal seating/gathering area with low benches in the old parking lot area. This space should reflect a nautical theme and natural materials. No cost estimate for this work exists currently.
- **Provide natural resource enhancements, including:**
 - Enhance the tidal area with native wetland and emergent wetland plantings.
 - Enhance the drainage way under Union Street to the river adjacent to the dog exercise area with natural plantings.
 - Construct an interpretive boardwalk through the wetland area.
 - Considerations for an interpretive trail from Jones Point Park to Windmill Hill Park.
 - Natural resources improvements need coordination with eventual bulkhead improvements. Cost estimates for this work does not currently exist.
- **Completion of shoreline elements in the master plan not related to the seawall/bulkhead structure.**

This includes mater planning of natural shoreline elements south of the drainage channel adjacent to Ford's Landing and at the northern project line adjacent to Harborside.

BAR Case # BAR2016-00114

ADDRESS OF PROJECT: 500A S Union Street Alexandria, VA 22314

TAX MAP AND PARCEL: 081.01-03-04

ZONING: WPR

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: City of Alexandria - Department of Project Implementation

Address: 301 King Street, Room 3200

City: Alexandria State: VA Zip: 22314

Phone: 703-746-4054 E-mail: mittchell.bernstein@alexandriava.gov

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☒ Department of Project Implementation

Name: Mitchell Bernstein, Acting Director

Phone: 703-746-4054

E-mail: mittchell.bernstein@alexandriava.gov

Legal Property Owner:

Name: City of Alexandria

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☒ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--|--|---|-----------------------------------|
| <input type="checkbox"/> awning | <input checked="" type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input checked="" type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☐ ADDITION
- ☐ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Please refer to Attachment 1.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- ☐ N/A
- ☒ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☒ Description of the reason for demolition/encapsulation.
- ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- N/A
- ☒ ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☒ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☒ Existing elevations must be scaled and include dimensions.
- ☐ ☒ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A
- ☐ ☒ Linear feet of building: Front: _____ Secondary front (if corner lot): _____
- ☐ ☒ Square feet of existing signs to remain: _____
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- N/A
- ☒ ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☐ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: Mitchell Bernstein, Acting Director

Date: 4.4.2016



NOTICE OF PUBLIC HEARING BOARD OF ARCHITECTURAL REVIEW

Application Materials
BAR2016-00114
500A S. Union St
4/5/2016

Dear Property Owner:

You are hereby notified of the following public hearing to be held on the issue described below by the Board of Architectural Review (**check one**):

- ☒ Old and Historic Alexandria District
☐ 100 Year Old Building (Heard before the Old and Historic Alexandria District)
☐ Parker-Gray Historic District

BOARD OF ARCHITECTURAL REVIEW MEETING DATE: May 4, 2016
7:30 P.M., City Hall
301 King Street
City Council Chambers, 2nd Floor
Alexandria, Virginia 22314

ISSUE DESCRIPTION: Improvements and site furnishings related to the Windmill Hill Park living shoreline project located at 500A S Union Street Alexandria, VA 22314.

Park improvements include: site lighting, pedestrian piers, seat walls and entry features, and site furnishings (standard products per the Park Facilities Standards Manual).

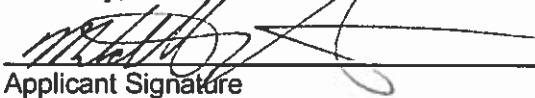
PROPERTY ADDRESS: 500A S Union Street Alexandria, VA 22314

TAX ASSESSMENT MAP NUMBER: 081.01-03-04

As a citizen and party of interest, you are invited to attend these meetings and express your views concerning the above issue. If you have any questions regarding the request, you can reach me at 703-746-4054 and (e-mail optional).

mitchell.bernstein@alexandriava.gov

Sincerely,


Applicant Signature

Mitchell Bernstein, Acting Director
Applicant Printed Name

*Date Mailed: 4.4.2016

***Applicant to mail this notice to adjoining and abutting property owners at least ten but no more than thirty days prior to the hearing.**

NOTE: Applicant to return this copy at least five days prior to the hearing to: Department of Planning and Zoning, 301 King Street, Room 2100.

DESCRIPTION OF PROPOSED WORK:

This project consists of the complete replacement of the existing bulkhead at Windmill Hill Park with a living shoreline, stream restoration at the Gibbon Street stormwater outfall, Union Street improvements, and the provision of additional park amenities and improvements. Existing conditions are documented in the site photos and on the Existing Conditions Plan (C100) for reference.

Park amenities subject to review and approval by the Board of Architectural review include:

1. BASE PLAN
 - a. Pedestrian bridge
 - b. Pedestrian pier – North pier, timber construction
2. PLAN OPTIONS AND ALTERNATES
 - a. Brick-faced seat walls with a stone cap
 - b. Brick entry features including entry piers and walls
 - c. Raised pedestrian crossing and raised intersection
 - d. Pedestrian pier alternates –
 - i. North pier, concrete decking, metal railing (alternate to timber base)
 - ii. South pier, timber construction
 - iii. South pier, concrete decking, metal railing (alternate to timber)

City Standard site furnishings* previously approved by the BAR which will also be included in the project:

1. Pole-mounted lighting- City standard pole and luminaire shall be used in the interim until Common Element light fixtures along the waterfront are adopted. It is intended that a Common Element light fixture will replace the interim fixtures.
2. Standard bollard (Parks Facilities Manual - with LED lighting)
3. Standard bike rack loops (Parks Facilities Manual)
4. Standard park bench (Parks Facilities Manual)
5. Standard trash receptacles (Parks Facilities Manual)

*Manufacturer specifications have not been included in the submittal for these City Standards previously approved for use by the BAR.

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Application Materials

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500A S. Union St

4/5/2016

Windmill Hill - Adjacent Parcel Owners for Legal Notice

OWNER NAME (ATTN)	17018 RIVERVIEW	DIVISION	CITY, STATE, ZIP	LEGAL	FORM STREET ADDRESS	PED
CHORLANDER TH CLUSTER HOUSING ATTN MARGARET SUTANA	87 HANCOCK STREET	ALEXANDRIA	VA 22314	PAGE 6 SEC 2 FORDS LANDING	66 FRANKLIN ST	081 02-03-112
BELVIS FRANKLIN (HAROLD) OR	170 GIBSON ST	ALEXANDRIA	VA 223143836	LOT 815 COMMANDER H WALK	170 GIBSON ST	081 01-02-22
ROTT JAMES F OR MARTYN H	118 GIBSON ST	ALEXANDRIA	VA 223143836	LOT 814 COMMANDER H WALK	118 GIBSON ST	081 01-02-46
BIRD JO LYNN OR	116 GIBSON ST	ALEXANDRIA	VA 22314	LOT 813 COMMANDER H WALK	116 GIBSON ST	081 01-02-37
HAMILTON NICOLE OR ROBERT B	114 GIBSON ST	ALEXANDRIA	VA 223143836	LOT 812 COMMANDER WALK	114 GIBSON ST	081 01-02-47
HALL ET CHRISTOPHER J	112 GIBSON ST	ALEXANDRIA	VA 223143836	LOT 811 COMMANDER H WALK	112 GIBSON ST	081 01-02-48
CLUMPHOS KATHLEEN M	110 GIBSON ST	ALEXANDRIA	VA 223143836	LOT 810 COMMANDER WALK	110 GIBSON ST	081 01-02-49
WEIRICK JAMES WILLIAM OR STEPHAN E.	108 GIBSON ST	ALEXANDRIA	VA 22314	LOT 809 COMMANDER H WALK	108 GIBSON ST	081 01-02-41
RAMSEY JOHN B JR OR MARTY LU	106 GIBSON ST	ALEXANDRIA	VA 223143836	LOT 808 COMMANDER WALK	106 GIBSON ST	081 01-02-42
BREACH BRYNOLD L TR	4800 FLEMING AVE APT 857	ALEXANDRIA	VA 223116084	LOT 807 CORNER LEE A GIBSON ST	201 GIBSON ST	081 01-01-20
BROOKS HENRY S TR	122 GIBSON ST	ALEXANDRIA	VA 223143836	LOT 816 COMMANDER H WALK	122 GIBSON ST	081 01-02-21
MOSKOWITZ LUCAS R OR BARRA ELIZABETH	104 GIBSON STREET	ALEXANDRIA	VA 22314	LOT 807 COMMANDER H WALK	104 GIBSON STREET	081 01-02-43
POURICATHELINE A OR RUBEN R	102 GIBSON ST	ALEXANDRIA	VA 223143836	LOT 806 COMMANDER H WALK	102 GIBSON ST	081 01-02-44
BOTTIGNONE JOHN A OR CAROL E J	100 GIBSON ST	ALEXANDRIA	VA 223143836	LOT 805 COMMANDER H WALK	100 GIBSON ST	081 01-02-45
BAHNER ERIC R	26 KETTER LN	ALEXANDRIA	VA 22314	LOT 77 SEC 2 FORDS LANDING	26 KETTER LN	081 01-04-18
BAXTER MARTIN E B	27 KETTER LN	ALEXANDRIA	VA 22314	LOT 71 SEC 2 FORDS LANDING	27 KETTER LN	081 01-04-18
SMITH DAVID B	29 KETTER LANE	ALEXANDRIA	VA 22314	LOT 70 SEC 2 FORDS LANDING	29 KETTER LANE	081 01-04-17
HAMILTON KATHLEEN	23 KETTER LN	ALEXANDRIA	VA 22314	LOT 69 SEC 2 FORDS LANDING	23 KETTER LN	081 01-04-16
CAMPBELL	21 KETTER AVE	MEDIAN	VA 22101	LOT 68 SEC 2 FORDS LANDING	21 KETTER LA	081 01-04-15
MCCARTHERY CATHY M	1827 ON LEVUE AVE APT 304	BURKINGHAM	OR 980103620	LOT 67 SEC 2 FORDS LANDING	18 KETTER LA	081 01-04-14
REINKE DARYL D OR JEANNE A	17 KETTER LN	ALEXANDRIA	VA 22314	LOT 66 SEC 2 FORDS LANDING	17 KETTER LA	081 01-04-13
CLAUDIS JUDITH	15 KETTER LN	ALEXANDRIA	VA 22314	LOT 65 SEC 2 FORDS LANDING	15 KETTER LA	081 01-04-12
OLIVA JOSEPH OR JUDITH D	13 KETTER LN	ALEXANDRIA	VA 22314	LOT 64 SEC 2 FORDS LANDING	13 KETTER LA	081 01-04-11
ROCHNER JUDITH	9 KETTER LN	ALEXANDRIA	VA 22314	LOT 63 SEC 2 FORDS LANDING	9 KETTER LA	081 01-04-10
BRANTLEY JILL ELIZABETH	7 KETTER LN	ALEXANDRIA	VA 22314	LOT 62 SEC 2 FORDS LANDING	7 KETTER LA	081 01-04-09
REINKE JOSEPH J JR	5 KETTER LN	ALEXANDRIA	VA 22314	LOT 61 SEC 2 FORDS LANDING	5 KETTER LA	081 01-04-08
ROCHNER DAVID W	1 KETTER LA	ALEXANDRIA	VA 22314	LOT 60 SEC 2 FORDS LANDING	1 KETTER LA	081 01-04-07

Application Materials

BAR2016-00114

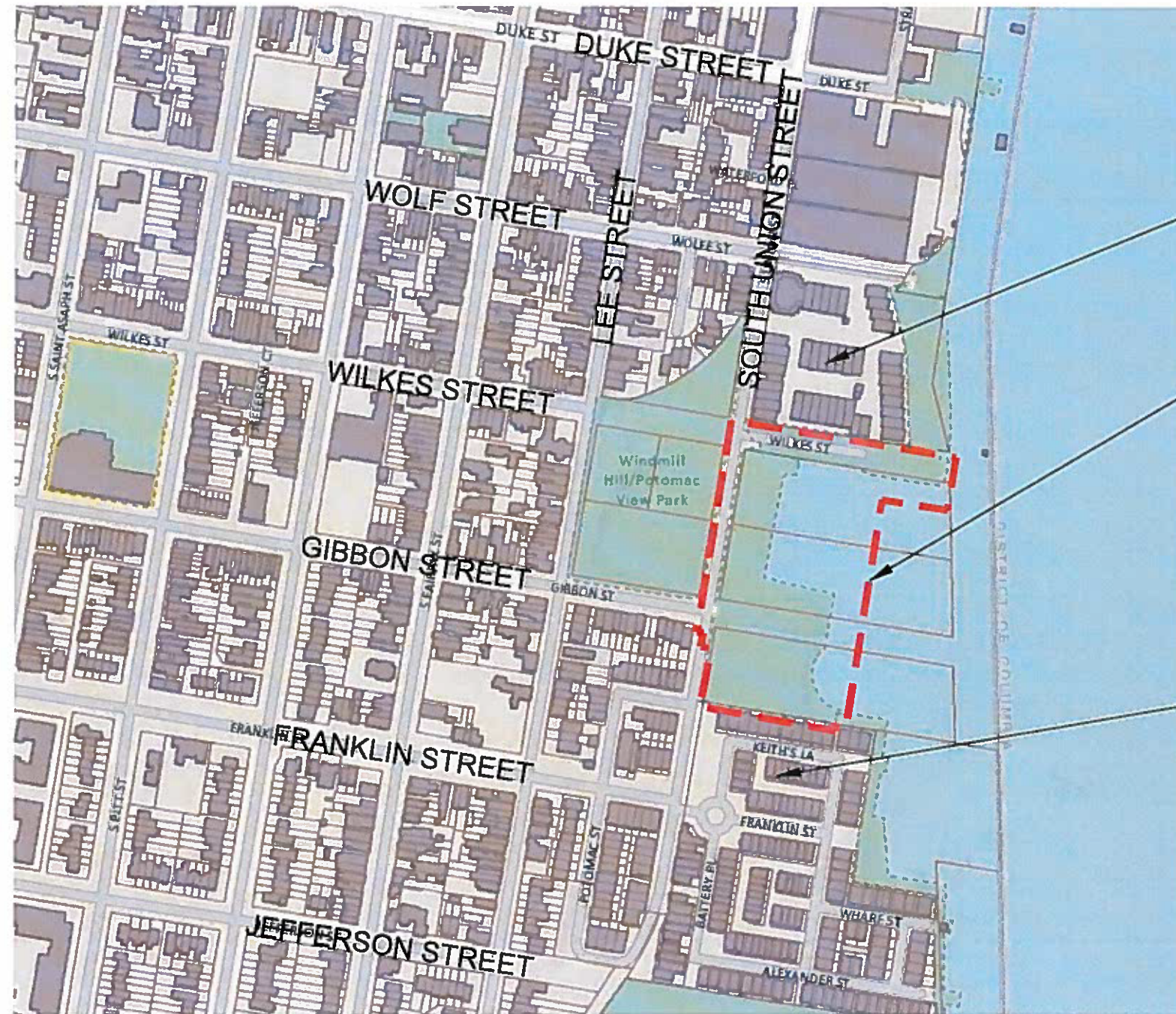
500A S. Union St

4/5/2016

Windmill Hill - Adjacent Parcel Owners for Legal Notice

OWNER NAME (ATTN)	LAND ADDRESS	CITY/STATE	ZIP	LOT	LOT AREA	DATE
BURRILL CATON M OR ELIZABETH C	511 S LEE ST	ALEXANDRIA	VA 22314-0817	LOT 511 S LEE ST	511 S LEE ST	08/01/01-20
MADDOX JUSTIN D OR LISA N	501 S LEE ST	ALEXANDRIA	VA 22314	LOT 501 S LEE ST	501 S LEE ST	08/01/02-19
MARION HARRY E OR	512 S LEE ST	ALEXANDRIA	VA 22314-0817	LOT 512-513 S LEE ST	512 S LEE ST	08/01/01-26
OLSON LEE CAROL S	518 S LEE ST	ALEXANDRIA	VA 22314	LOT W SIDE OF LEE WOOD CHURCH ST 517-519 S LEE ST	518 S LEE ST	08/01/01-27
NEHR SOPHIA D	527 S LEE ST	ALEXANDRIA	VA 22314	LOT 527 S LEE ST	527 S LEE ST	08/01/01-29
BUTTERS JULIA SUSAN TR	525 S LEE ST	ALEXANDRIA	VA 22314-0817	LOT 525 S LEE ST	525 S LEE ST	08/01/01-24
ALBRIGHT DAVID WILLIAM	435 S LEE ST	ALEXANDRIA	VA 22314-0819	LOT 435 S LEE ST	435 S LEE ST	07/01/02-27
WANE JOHN L OR SUE ANN A	433 S LEE ST	ALEXANDRIA	VA 22314-0817	LOT 433 S LEE ST	433 S LEE ST	07/01/02-29
ROBERTS CHRISTINE OR LYLE D	506 S LEE ST	ALEXANDRIA	VA 22314	LOT 506 S LEE ST	506 S LEE ST	08/01/01-30
COLLINS LISA D AND WARNE R MARK	ATTN NICOLAS PERDUE 201 N UNION ST STE 300	ALEXANDRIA	VA 22314-0817	LOT 990 PROPR CORPOR WHEELER LEE ST LOT 831 S LEE ST	905 S LEE ST	08/01/01-08
KAHADAOSH OR RUB	521 S LEE ST	ALEXANDRIA	VA 22314	LOT 521 S LEE ST	521 S LEE ST	08/01/01-21
PARRIS HILARY RICK O	524 S LEE ST	ALEXANDRIA	VA 22314-0817	LOT 524 S LEE ST	524 S LEE ST	08/01/01-28
HOWARD KARL M TR	523 S LEE ST	ALEXANDRIA	VA 22314-0817	LOT 523 SIDE OF LEE WOOD CHURCH ST 1200- 1800 S LEE ST FROM F P H CLIPPING 1845-27 SQ FT IN REAR OF LOT 5	523 S LEE ST	08/01/01-25
ALBRECHT WILLIAM H OR	529 S LEE ST	ALEXANDRIA	VA 22314-0817	LOT 529 S LEE ST	529 S LEE ST	08/01/01-22
AMBERSON VALERIE CLARK	299 S COURT LANE	ALEXANDRIA	VA 22304-2111	LOT 299 S LEE ST	299 S LEE ST	08/01/02-18
BLAIR EVAN C OR ANITA	500 S LEE ST	ALEXANDRIA	VA 22314-0820	LOT 501-1 POMMANER R WALK	500 S LEE ST	08/01/02-20
BROOKS BETH ANN L OR KIRAL	440 S LEE ST	ALEXANDRIA	VA 22314	LOT 440 S LEE ST	440 S LEE ST	07/01/02-24
MASTLBERG WALLER BERNARD JR TH	101 POMMANER R WALK ST	ALEXANDRIA	VA 22314-0844	LOT 101 POMMANER R WALK	101 POMMANER R WALK ST	08/01/02-48
JAMNOZ MICHAEL P OR LAURA MICHELE E	100 POMMANER R WALK ST	ALEXANDRIA	VA 22314-0844	LOT 100 POMMANER R WALK	100 POMMANER R WALK ST	08/01/02-43
JENNINGS CHRISTAL P OR MICHAEL V	10 POTOMAC CT	ALEXANDRIA	VA 22314-0821	LOT 1 POTOMAC COURT	10 POTOMAC CT	07/01/02-18
JEANNE JEANNE H	6 POTOMAC CT	ALEXANDRIA	VA 22314-0821	LOT 6 POTOMAC COURT	6 POTOMAC CT	07/01/02-23
BAVINS MARY F OR	6 POTOMAC CT	ALEXANDRIA	VA 22314-0821	LOT 2 POTOMAC COURT	6 POTOMAC CT	07/01/02-19
VERGARA DAVE W	6 POTOMAC CT	ALEXANDRIA	VA 22314-0821	LOT 3 POTOMAC COURT	6 POTOMAC CT	07/01/02-20
PELTON CECILE OR PELTON	7 POTOMAC CT	ALEXANDRIA	VA 22314-0821	LOT 4 POTOMAC COURT	7 POTOMAC CT	07/01/02-21
MORRE KEVIN F AND	8 POTOMAC CT	ALEXANDRIA	VA 22314-0821	LOT 4 POTOMAC COURT	8 POTOMAC CT	07/01/02-22
WINDMILL HILL CONDOMINIUM UNIT OWNERS ASSOCIATION C/O SENTRY MANAGEMENT INC.	500 S LEE ST	ALEXANDRIA	VA 22314	PAR A 500 S LEE ST 1100-40	400 S UNION ST	07/01/02-01
HURT ANN M	400 S LEE ST	ALEXANDRIA	VA 22314-0829	LOT 17-04 OLD CHURCH LOT	400 S UNION ST	07/01/02-28

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HARBORSIDE CONDOMINIUMS

AREA OF IMPACT AND
IMPROVEMENTS

FORDS LANDING TOWNHOMES

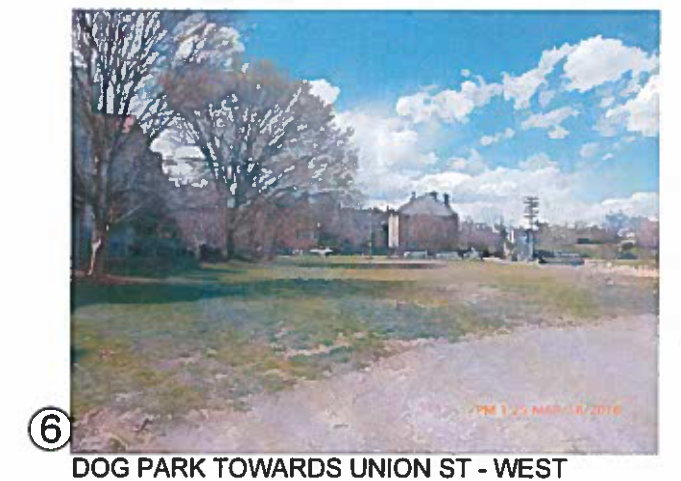
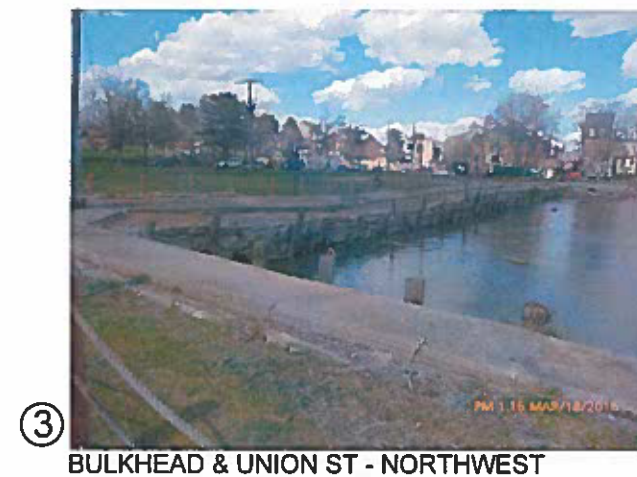
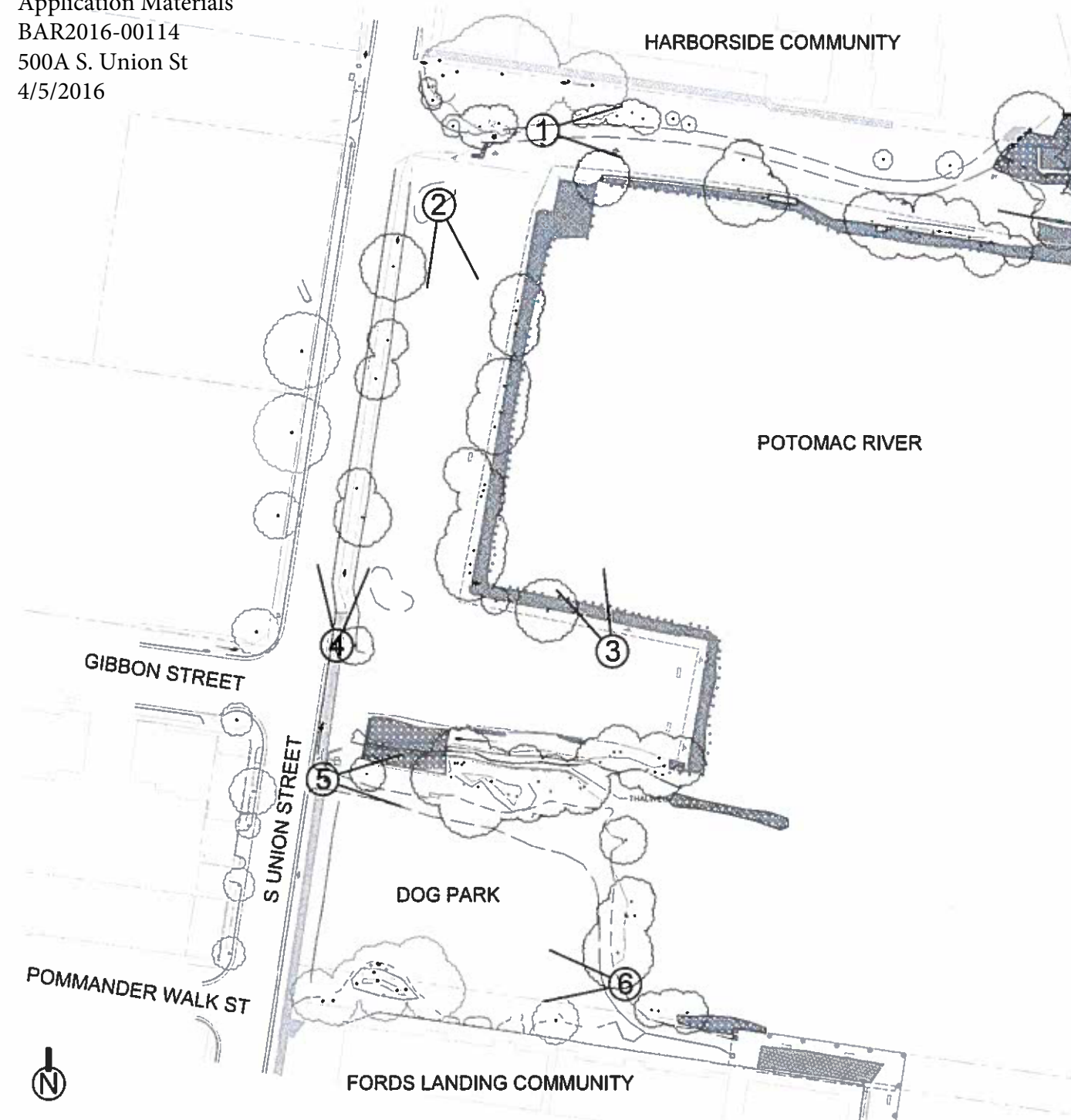
WINDMILL HILL - LOCATION MAP

Board of Architectural Review Package: Windmill Hill Park Shoreline Rehabilitation

Alexandria, VA April 4, 2016

City of Alexandria - Department of Project Implementation

Application Materials
 BAR2016-00114
 500A S. Union St
 4/5/2016



Windmill Hill Park Shoreline Rehabilitation

Alexandria, VA

City of Alexandria - Department of Project Implementation

EXISTING CONDITIONS
 SITE PHOTOS



BICYCLE PARKING



TRASH RECEPTACLES



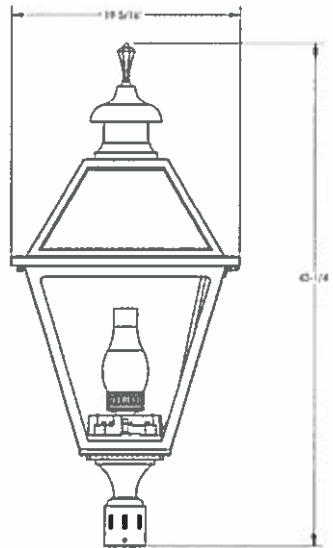
DRINKING FOUNTAIN



NEW REQUEST:



PEDESTRIAN PIER -RAILING EXAMPLE



POLE LIGHTS - ALONG NORTH PATH AND
IN SEATING AREAS

NEW REQUEST:



PEDESTRIAN BRIDGE



PEDESTRIAN BENCH

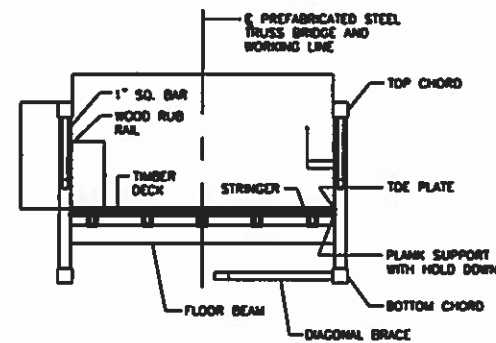
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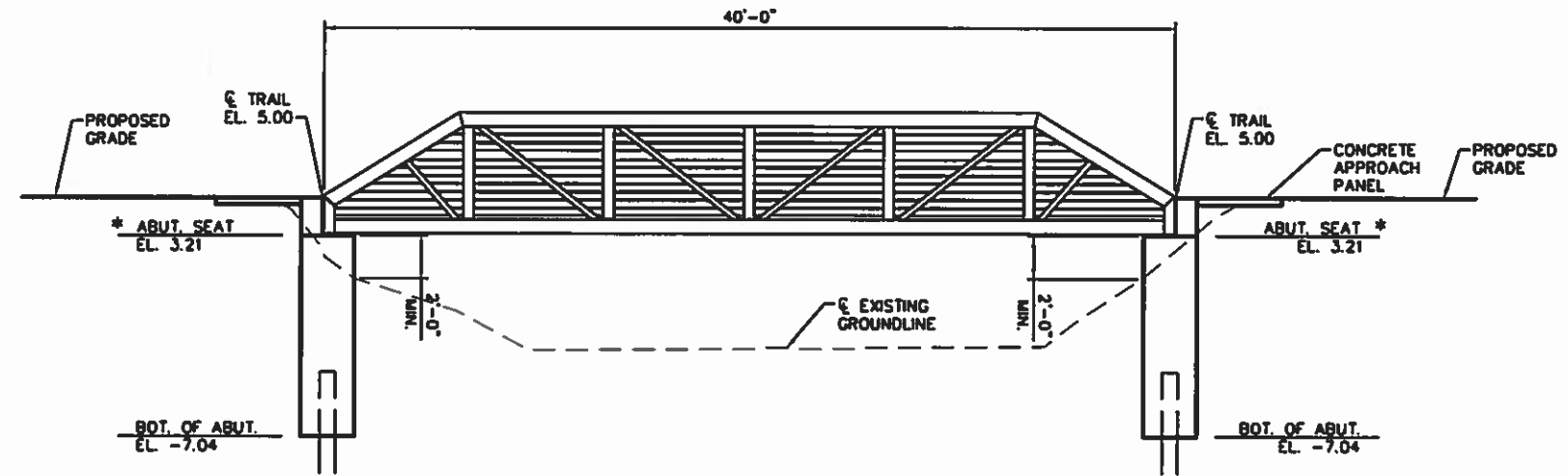
THE CITY STANDARD SITE FURNISHINGS ARE INCLUDED IN THE PARKS FACILITIES STANDARDS MANUAL AND HAVE BEEN PREVIOUSLY REVIEWED AND APPROVED BY THE BOARD OF ARCHITECTURAL REVIEW.

REFERENCE MAP
SITE FURNISHINGS

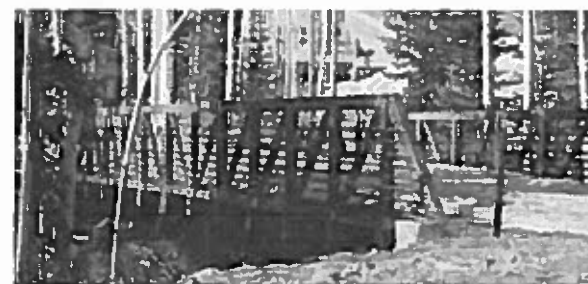
Application Materials
 BAR2016-00114
 500A S. Union St
 4/5/2016



SECTION



PROFILE



PEDESTRIAN BRIDGE - (PRE-MANUFACTURED)
 MAKE AND MODEL: TO BE DETERMINED
 IMAGES PROVIDED FOR AESTHETIC AND
 CHARACTER INTENT
 MATERIAL: STEEL OR APPROVED EQUAL

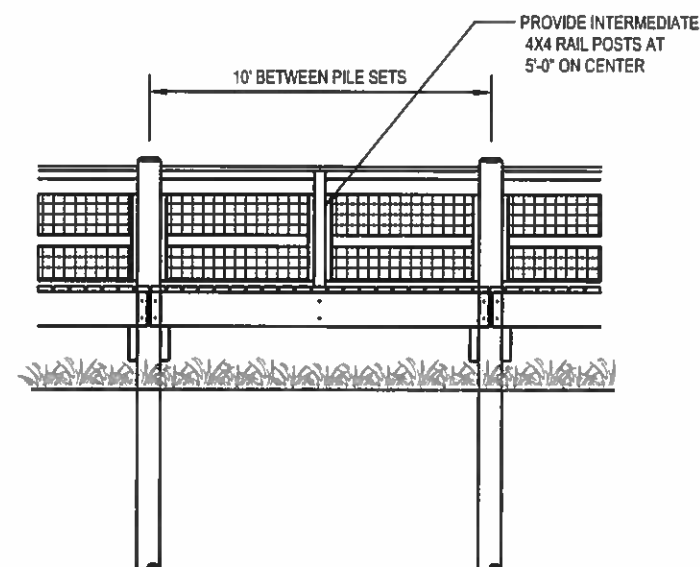
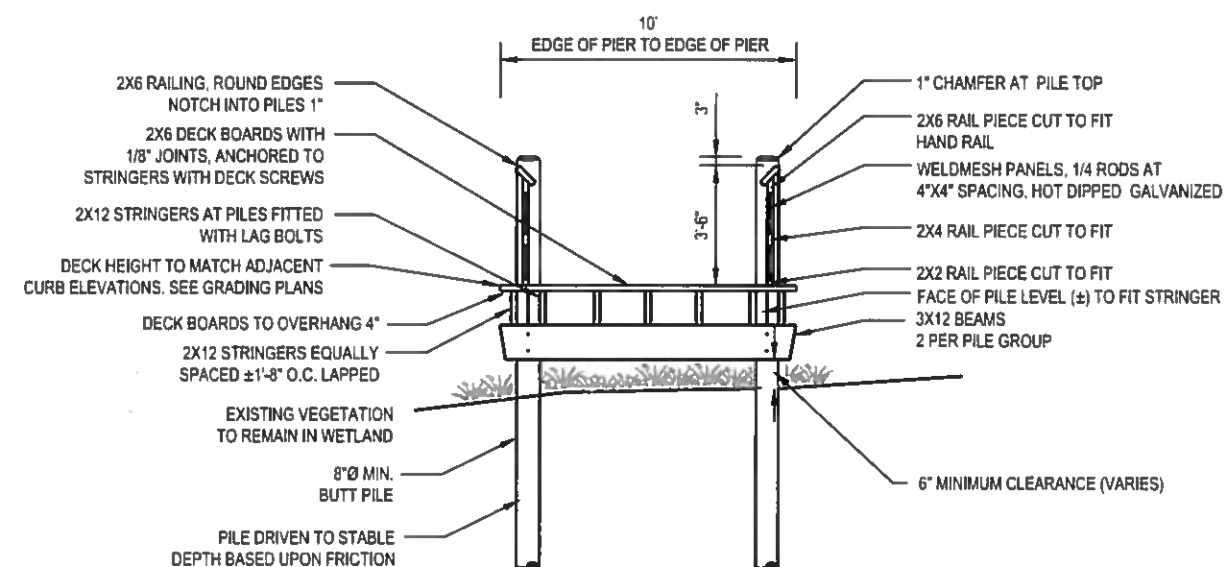
BRIDGE IS INTENDED TO BE SIMILAR TO EXISTING
 BRIDGES IN OTHER CITY PARKS (E.G. BEN
 BRENNAN PARK)

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City of Alexandria - Department of Project Implementation

PEDESTRIAN BRIDGE



NOTES:

1. LOCATE BOARDWALK ALIGNMENT PER PLANS. WORK SHALL BE CONTAINED WITHIN LIMITS OF DISTURBANCE NOTED ON THESE PLANS.
2. WOOD SHALL BE PRESSURE TREATED FOR MARINE USE. GALVANIZED NAILS, GALVANIZED BOLTS AND NUTS, AND COATED DECK SCREWS SHALL BE USED.
3. THERE SHALL BE NO GAPS GREATER THAN 4" IN RAILING.

1 PIER DECKING / RAILING
NTS



PEDESTRIAN PIER - RAILING EXAMPLE (SIMILAR)

PIER DECKING, RAILING, AND OVERALL AESTHETIC MAY BE SUBJECT TO THE WATERFRONT COMMON ELEMENTS IN THE FUTURE. THE PROPOSED DESIGN WILL SERVE IN THE INTERIM UNTIL THE COMMON ELEMENTS ARE ESTABLISHED AND FULLY ADOPTED.

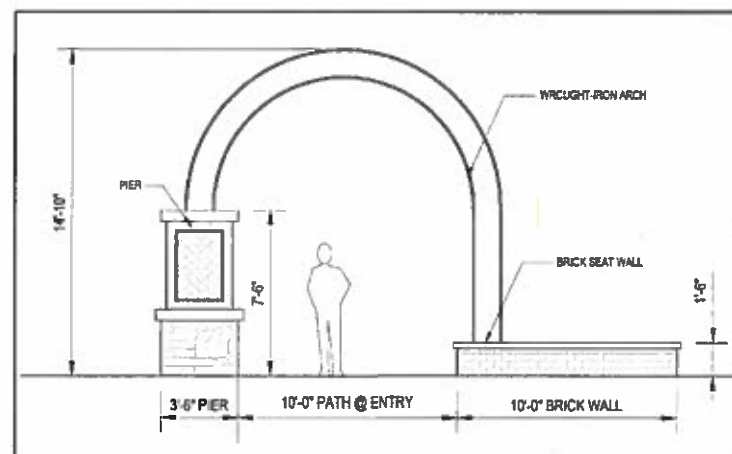
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PEDESTRIAN PIER



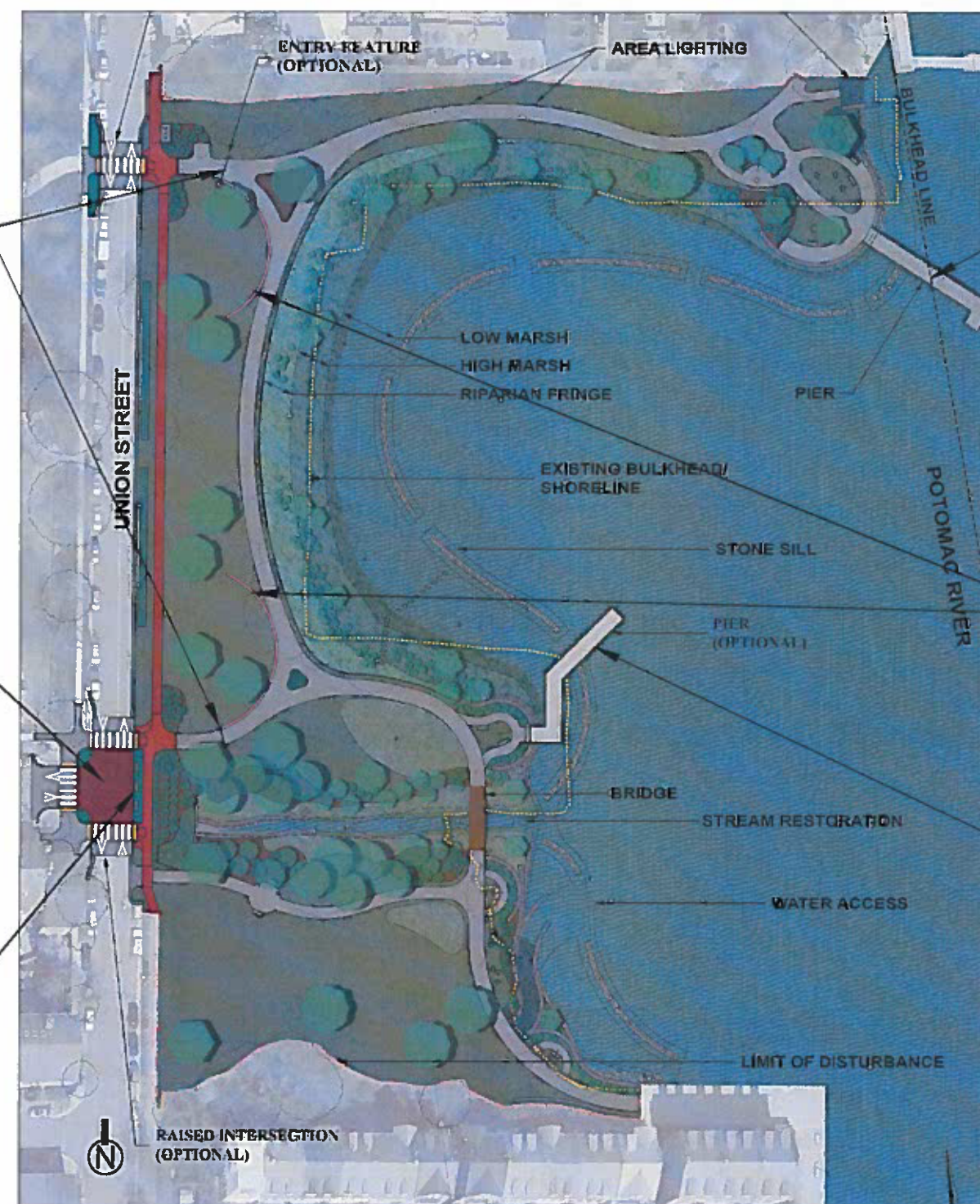
ENTRY FEATURE - ALT 3 AND SITE WALL - ALT 4



RAISED INTERSECTION



GRANITE MOUNTING BLOCK
(BASED ON COMMON ELEMENTS)



PEDESTRIAN PIER - WOOD OR CONCRETE DECK
CONCRETE DECK, METAL RAIL OPTION



BRICK SEAT WALL W/ STONE CAP



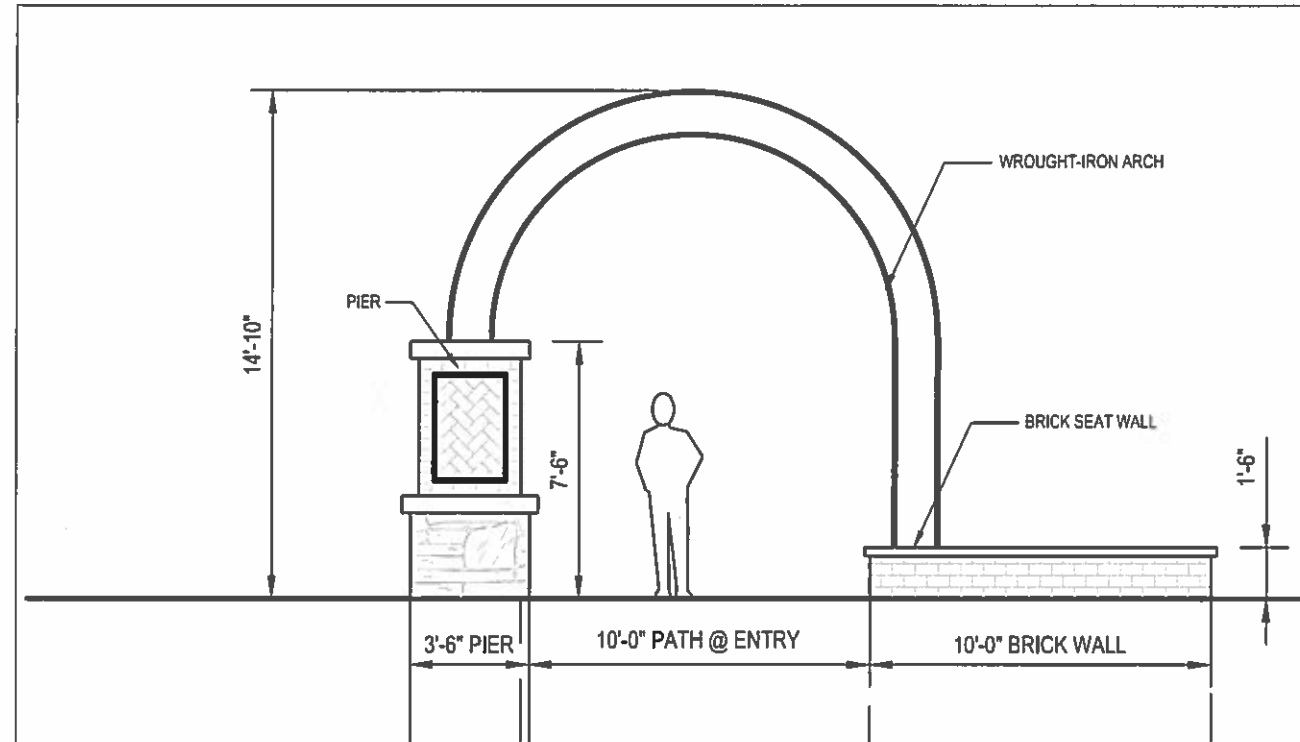
PEDESTRIAN PIER - WOOD OR CONCRETE DECK
WOOD OPTION - RAILING EXAMPLE (SIMILAR)

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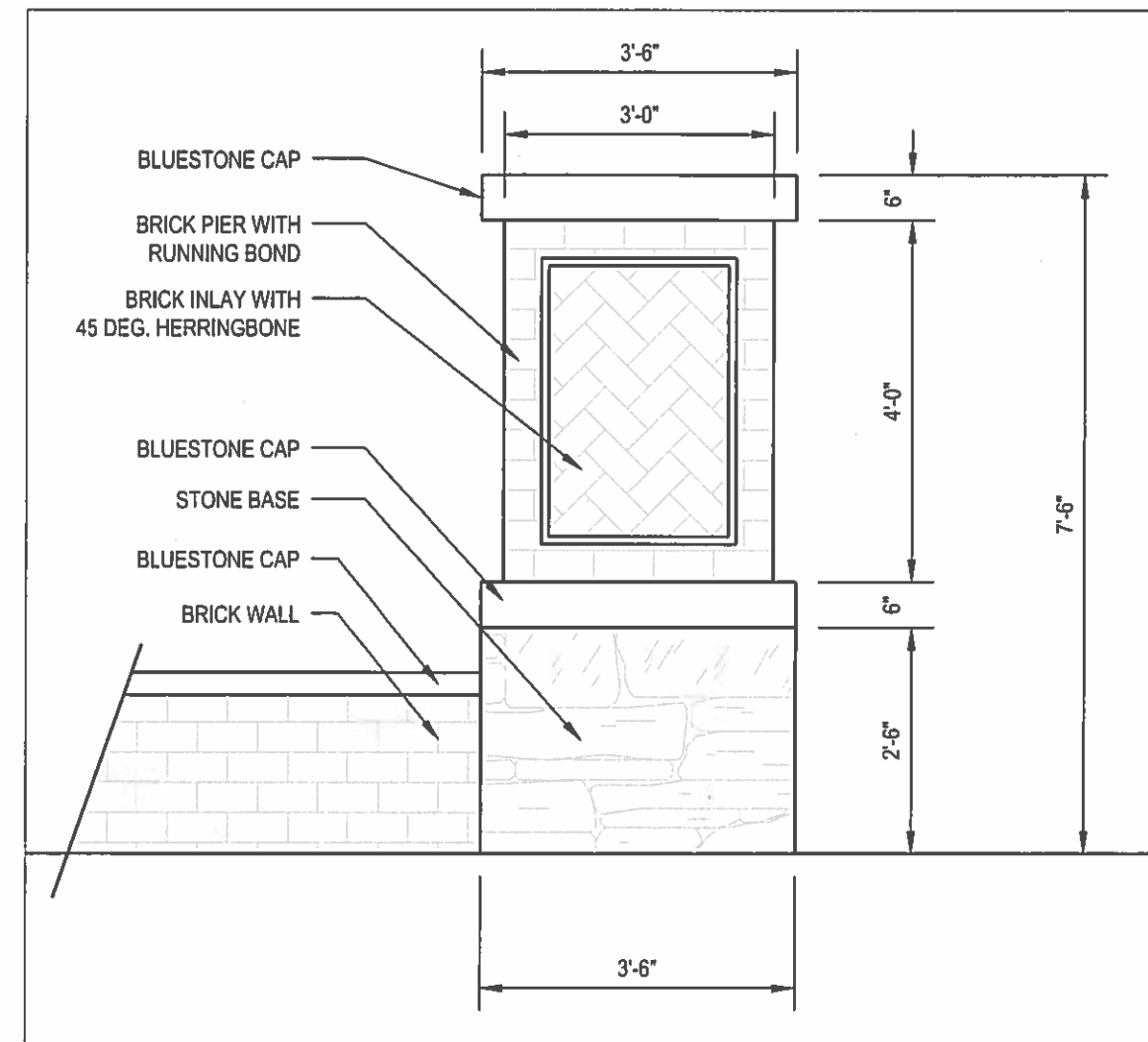
ALTERNATES:
REFERENCE MAP



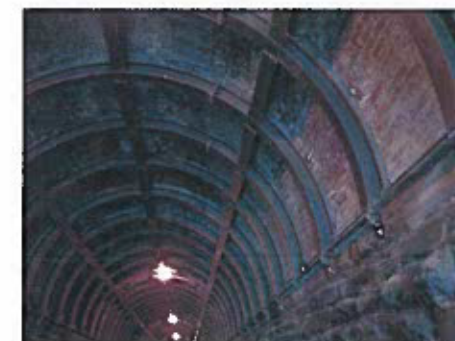
Pine Hall Brick - Rustic Village OZ Tumbled



To Match Wilkes St. Tunnel



(Images for aesthetic reference)



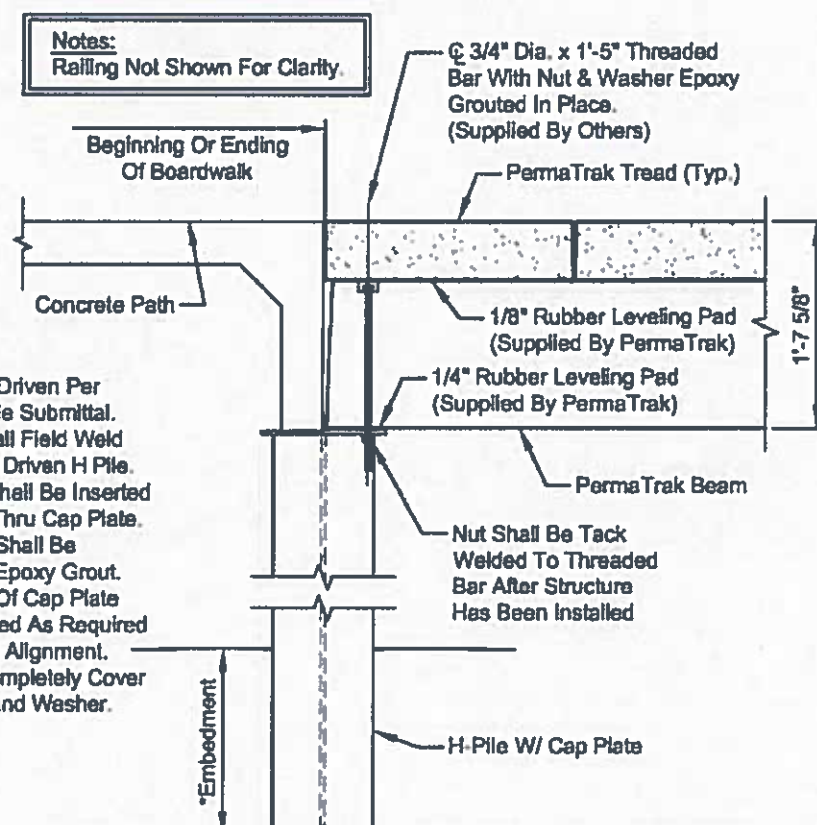
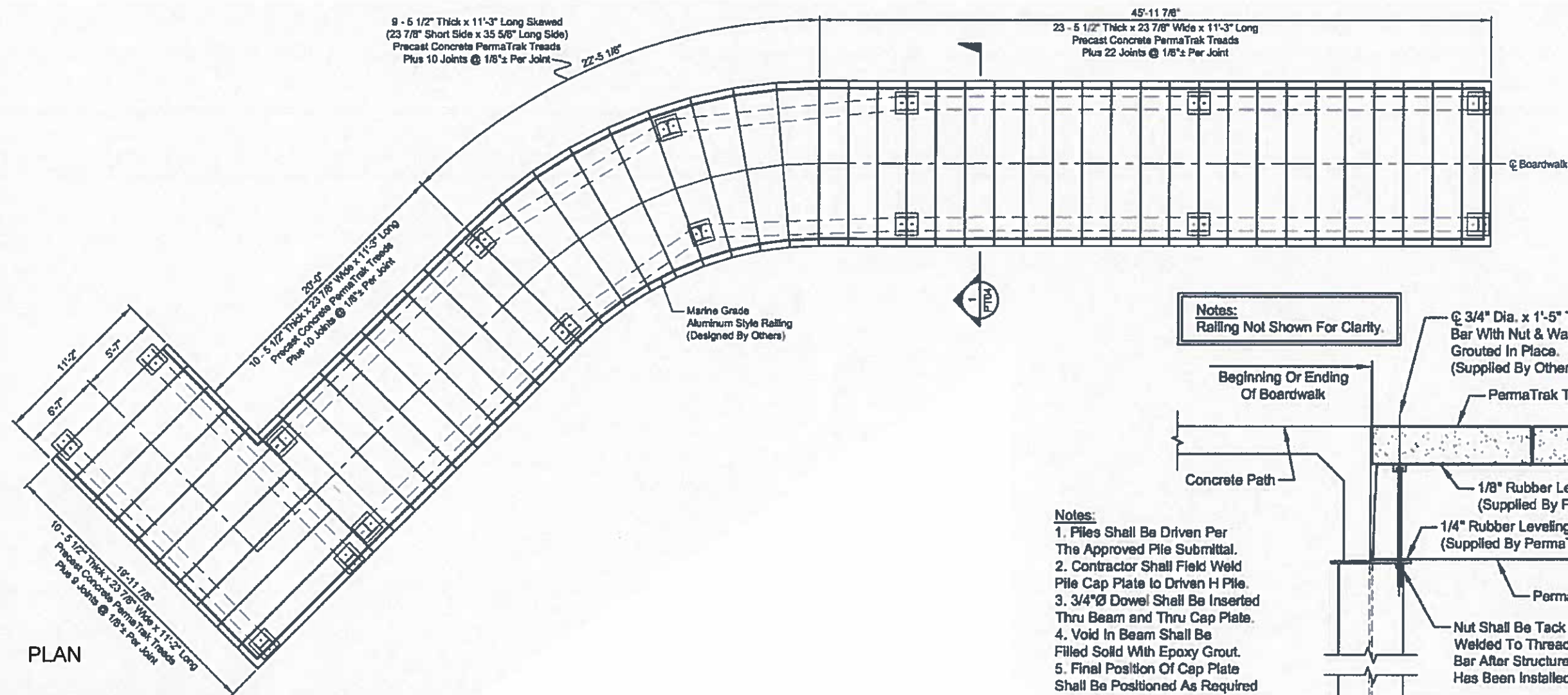
Windmill Hill Park Shoreline Rehabilitation

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City of Alexandria

ALTERNATES:
 ENTRY MONUMENT AND SEAT WALLS

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- Notes:**
1. Piles Shall Be Driven Per The Approved Pile Submittal.
 2. Contractor Shall Field Weld Pile Cap Plate to Driven H Pile.
 3. 3/4\"
 4. Void In Beam Shall Be Filled Solid With Epoxy Grout.
 5. Final Position Of Cap Plate Shall Be Positioned As Required For Proper Beam Alignment.
 6. Grout Shall Completely Cover The Dowel, Nut and Washer.

SECTION



Windmill Hill Park Shoreline Rehabilitation

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Alternate Bid Railing with Permatrak Concrete Decking and Metal Railings (Images for Reference Only)
Proposed design may be subject to the Waterfront Common Elements materials palette.

ALTERNATE:
PEDESTRIAN PIER

CITY STANDARDS



PARK BENCH -
VICTOR STANLEY MODEL CR-96 6 FOOT LENGTH
BLACK POWDER COAT FINISH



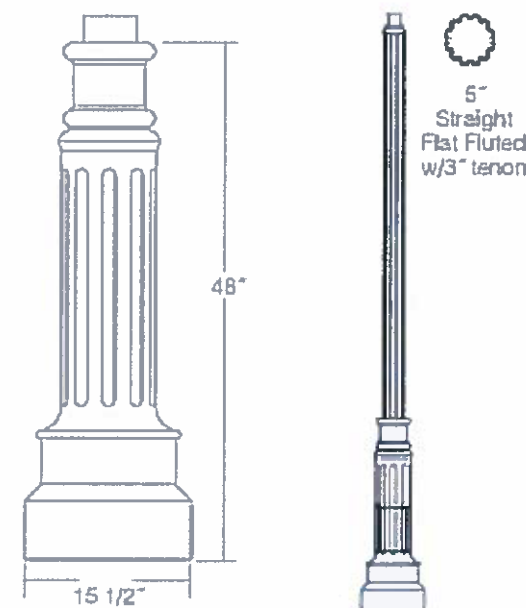
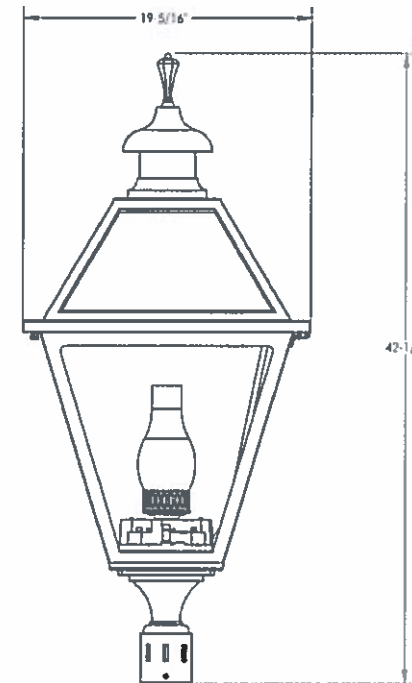
TRASH RECEPTACLE -
VICTOR STANLEY IRONSITES SERIES
MODEL SD-42 - 36 GAL
BLACK POWDER COAT FINISH



DRINKING FOUNTAIN -
MOST DEPENDABLE FOUNTAINS, INC
MODEL 440 (OR SIMILAR)
BLACK OR GREEN POWDER COAT FINISH



BICYCLE RACK -
VICTOR STANLEY CYCLE SENTRY
SERIES
MODEL BRWS-101
BLACK POWDER COAT FINISH



POLE LIGHTING - INTERIM CONDITION
FIXTURE: HADCO VX671-80 LED, CLEAR PANEL.
POLE MODEL: PHILIPS HADCO P4465 12' POLE,
BLACK WITH 5" TO 4" TAPERED SHAFT.
CITY TO INSTALL GADSBY POLE REPLACEMENT
MODEL LIGHTS AS INTERIM LIGHT POLE UNTIL
WATERFRONT COMMON ELEMENTS ARE
FINALIZED AND LIGHTING MASTER PLAN IS
COMPLETE.

NEW REQUESTS



PEDESTRIAN PIER - RAILING EXAMPLE (SIMILAR)



PEDESTRIAN BRIDGE

Windmill Hill Park Shoreline Rehabilitation

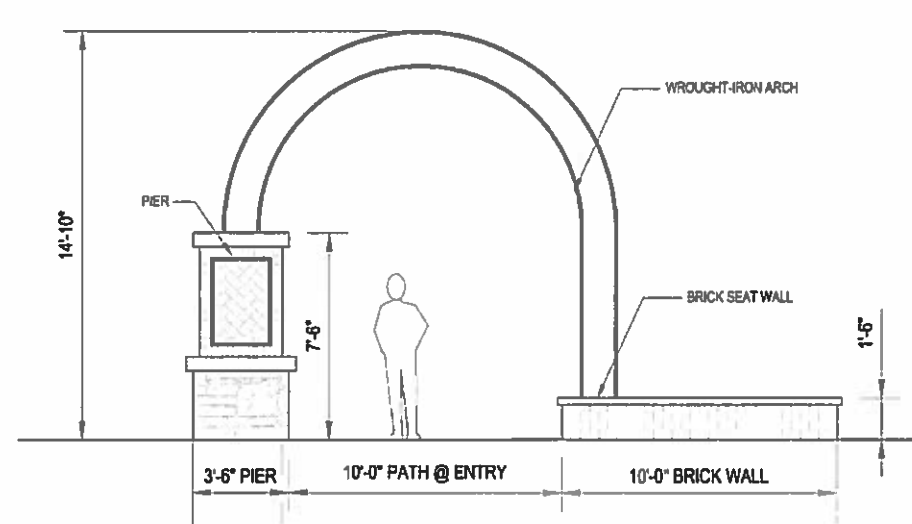
Alexandria, VA

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BASE CONDITION
REQUESTS TO BAR

NEW REQUESTS



ENTRY FEATURE - ALT 3 AND SITE WALL - ALT 4



RAISED INTERSECTION AND PEDESTRIAN CROSSING



GRANITE MOUNTING BLOCK (BASED ON COMMON ELEMENTS)



PEDESTRIAN PIER - ALTERNATE CONCRETE DECKING AND METAL RAILING OPTION (SIMILAR TO IMAGE EXAMPLES)



BRICK SEAT WALL W/ STONE CAP

Windmill Hill Park Shoreline Rehabilitation
Alexandria, VA

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**PLAN ALTERNATE
REQUESTS TO BAR**



LEGEND

- LIGHT
- TRASHCAN
- SIGN
- UTILITY POLE
- ELECTRICAL BOX
- BENCHMARK
- BENCH
- ROPE SAFETY FENCE
- MINOR CONTOUR
- MAJOR CONTOUR
- GRAVEL PATH
- RIP-RAP
- ALUMINUM GANG RAMP
- BRICK WALK
- CONCRETE RUBBLE
- CONCRETE BULKHEAD AND WALK
- LANDSCAPE BOULDERS
- OVERHEAD WIRE

BENCHMARK INFORMATION

BENCHMARK 1 (BM1)
 NORTHING: 6977591.91
 EASTING: 11898611.26
 ELEV: 8.70
 DESC: CENTER OF EXISTING STORM MANHOLE

BENCHMARK 2 (BM2)
 NORTHING: 6977192.33
 EASTING: 11898522.18
 ELEV: 10.85
 DESC: CENTER OF EXISTING STORM MANHOLE

BENCHMARK 3 (BM3)
 NORTHING: 6976988.25
 EASTING: 11898527.28
 ELEV: 9.88
 DESC: CENTER OF EXISTING STORM MANHOLE

GRAPHIC SCALE IN FEET
 0 20 40 80

NORTH

90% PLANS

CITY OF ALEXANDRIA, VIRGINIA
DEPARTMENT OF PROJECT IMPLEMENTATION
301 KING STREET
ALEXANDRIA, VIRGINIA 22313

DATE	BY	DESCRIPTION
09.02.15	KH-30%	
11.30.15	KH-60%	
02.02.16	KH-90%	

REVISIONS

ALEXANDRIA PROJECT NO. 14-01
DATE OF PLAN ISSUANCE: _____
CONSULTANT PROJECT ID: _____
DESIGNED BY: KKH/DATE: _____
DRAWN BY: ATR/DATE: _____
CHECKED BY: MA/DATE: 01.25.16
APPROVED BY: _____

EXISTING CONDITIONS

SHEET C100

Application Materials
 BAR2016-00114
 500A S. Union St
 4/5/2016

