

# 1101 North Washington Street

*DSUP#2014-0043*

*Restaurant SUP#2015-0096*

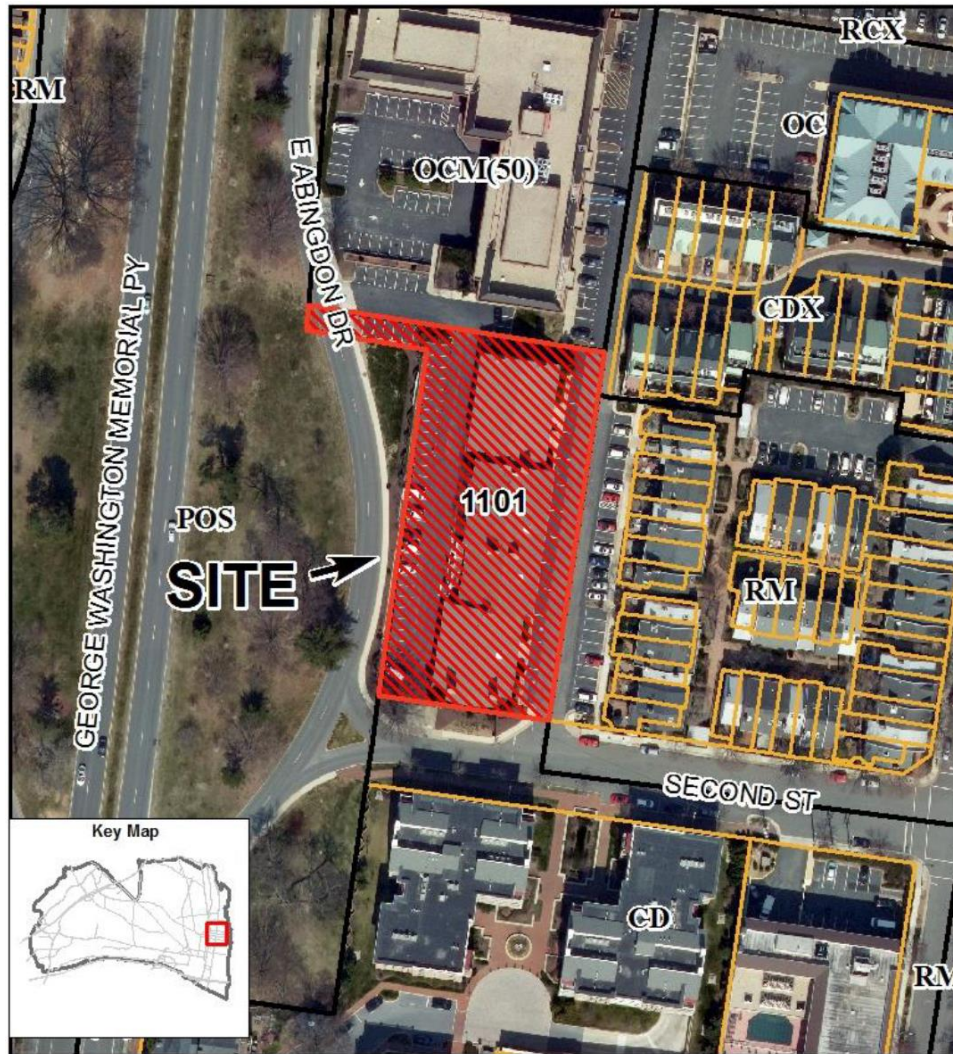
*TMP SUP#2015-0095*

City Council



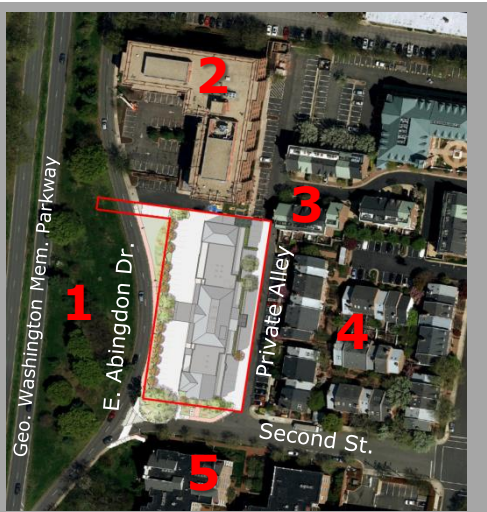
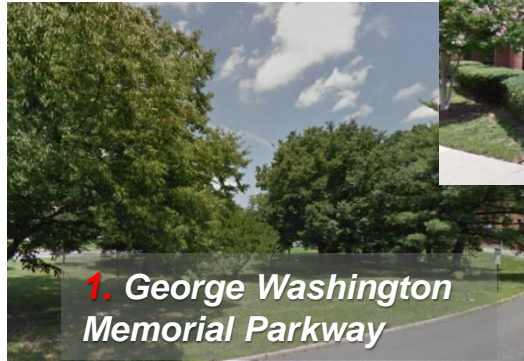
May 14, 2016

# Project Location





# Site Context





# Existing Conditions



Washington Street (West) Façade



Alley (East) Façade



# Project Description



## Summary

- Renovated and expanded hotel to four stories with a restaurant
- 95-room hotel, 60-seat restaurant
  - 20 seats can be utilized for a separate meeting area
- 62 parking spaces provided on-site
  - Remaining 13 required spaces provided off-site
- Enhanced streetscape and landscape on E. Abingdon Drive, Second Street and alley shared with Canal Way townhomes

# Building Design



*Washington Street (West) Elevation*



*Second Street (South) Elevation  
Restaurant Entrance*



*Alley (East) Elevation*



*North Elevation*



## **Consistency with the Washington Street Standards**

- The scale and mass is comparable to nearby building sites
- Massing is broken down through the use of setbacks along the building façade and the use of distinct building sections, varying roof heights and architectural details
- Colonial Revival architecture is appropriate for the site, and will be complementary to existing buildings on Washington Street

## **Consistency with the Old Town North Urban Design Guidelines**

- The proposed expansion will provide a presence that is appropriate to the scale and historical significance of the Parkway
- Site enhancements and architectural elements of the front façades will “provide visual interest”
- Landscaping, streetscapes and Second Street entrance help foster an “attractive pedestrian environment”
- The redevelopment includes repurposing an existing use, and will contribute to the mixed-use character of the neighborhood



# Special Use Permits

- Hotel use in the CD zone (included in the DSUP)
- Parking and loading reduction (included in the DSUP)
- Restaurant use in the CD zone
- Transportation Management Plan

## Modifications

- Reduction in zone transition line setback requirement
- Waiving of the landscape island/parking ratio





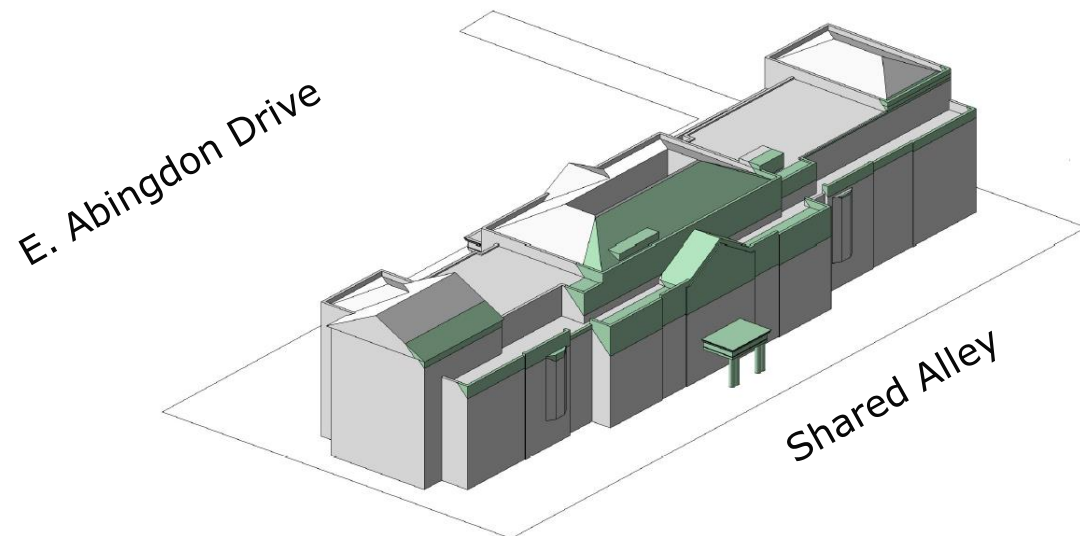
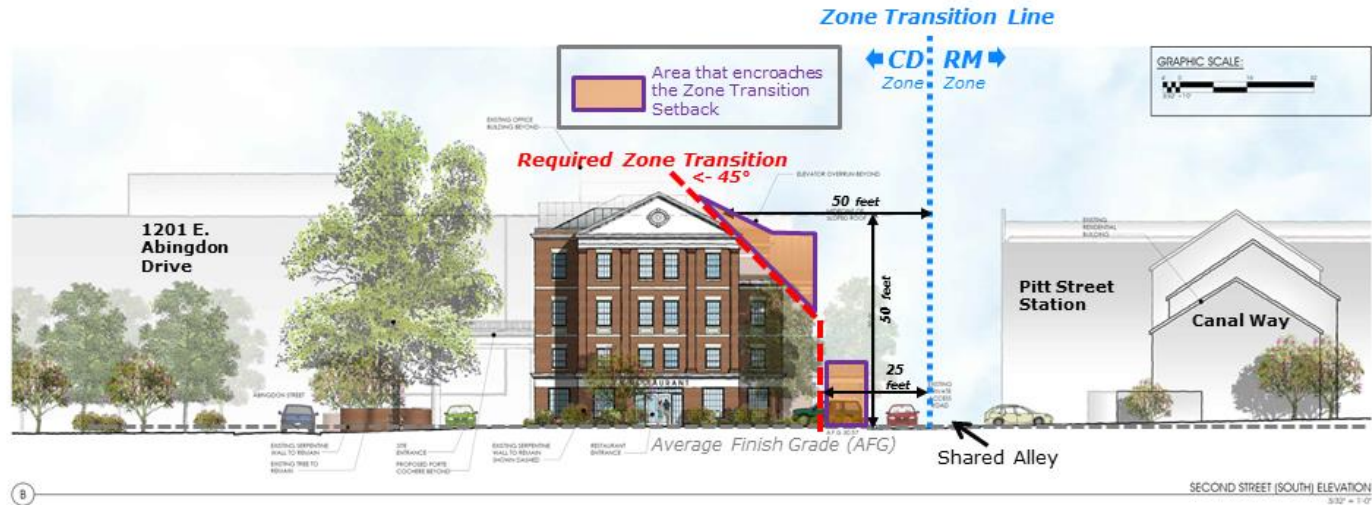
# Parking

1101 N Washington Street Parking	
<b>Required</b> (on-site)	75 spaces ( <i>0.7 spaces per hotel room + 1 space per 8 restaurant seats</i> )
<b>Proposed</b> (on-site)	62 spaces ( <i>0.65 spaces per hotel room</i> )
<b>Reduction</b>	13 spaces*
<i>*The 13 spaces will be provided off-site by applicant per condition of approval</i>	

Recently approved hotel parking ratios	
Towne Motel	0.5 spaces per hotel room
Robinson Terminal North Hotel	0.5 spaces per hotel room
Hilton Garden Inn (Prince Street Hotel)	0.4 spaces per hotel room
Hotel Indigo (Cummings Warehouse)	0.5 spaces per hotel room



# Zone Transition Setback





# Public Benefits

- Improved streetscape along E. Abingdon Drive, Second Street, and plantings in the GWMP Memorial Circle
- Colonial Revival architecture that enhances the Memorial Circle and gateway to City
- \$60K voluntary affordable housing contribution
- \$20K bikeshare contribution
- \$10K public art contribution
- LEED Silver (or equivalent) building design



# Community Outreach

<b>Public Meetings</b> (Held by Applicant at Old Colony Inn Meeting Room)	<b>Board of Architectural Review (BAR)</b>	<b>Urban Design Advisory Committee (UDAC)</b>
May 27, 2015	June 17, 2015	September 9, 2015
July 21, 2015	September 2, 2015	October 21, 2015
August 31, 2015	December 2, 2015	November 18, 2015
October 8, 2015		
November 2, 2015		





# Community Input

## **The site and building design have been changed due to community input, including:**

- The reduction of roof heights along the wings of the Washington Street façade, and along the eastern building face
- Retaining the current width of the shared alley with added landscaping and partial sidewalk along the east of the building
- The screening of the loading area at the north of the building

## **Staff has added conditions to mitigate impacts to the neighboring properties that:**

- Regulate the operating hours of the restaurant
- Limit the hours of open access for the southern and eastern building entrances
- Limit loading and delivery hours and location
- Prohibiting hotel and restaurant employees from parking on-street
- Control noise and glare onto adjacent properties

# Conclusion







# Building Design Iterations



BAR Concept I (May 2015)



BAR Concept II (August 2015)

# Building Design Iterations

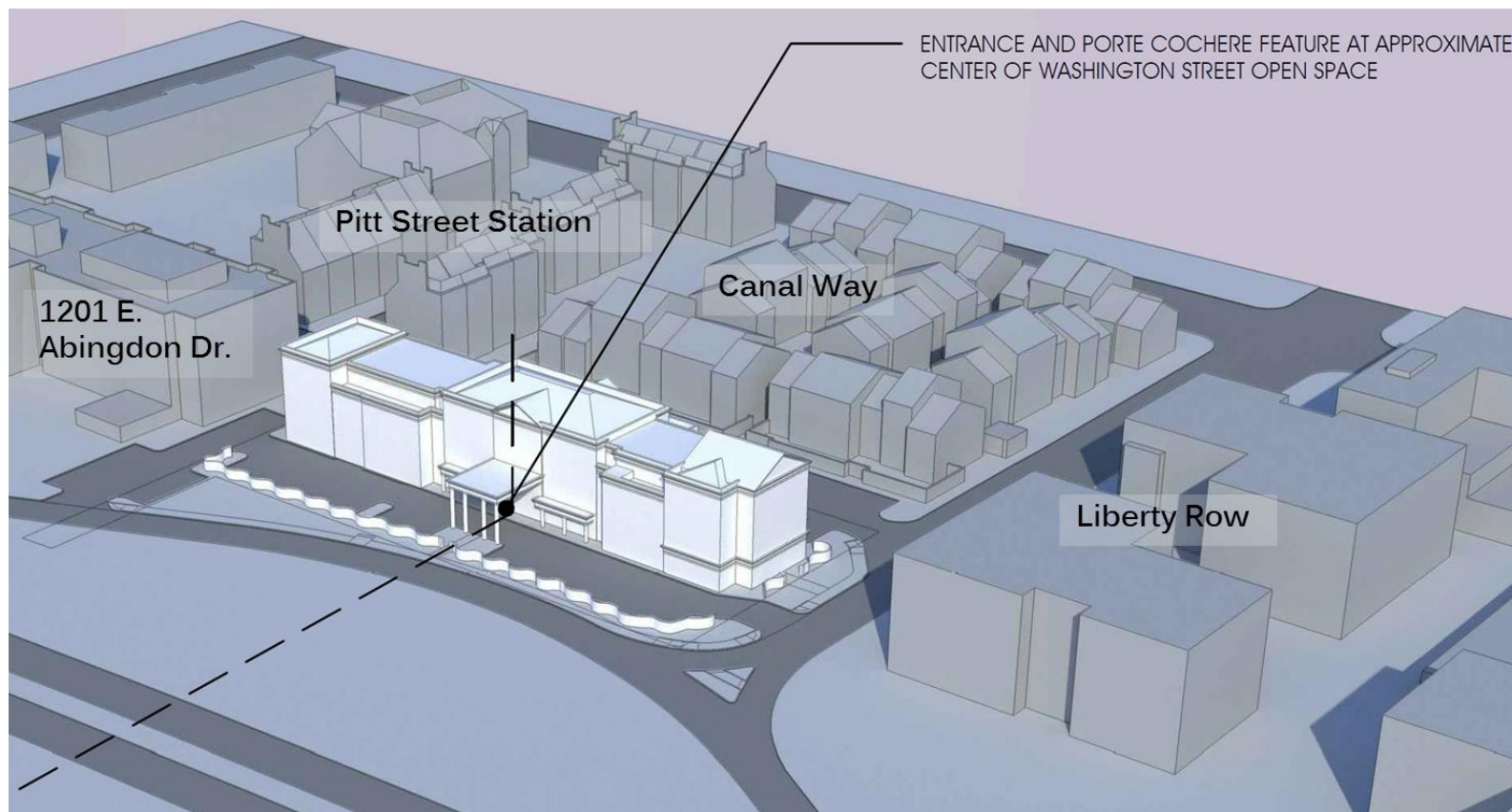


*BAR Concept III (September 2015)*



*BAR Concept III Alternate (November 2015)*







Scale: 1/16" = 1'-0"  
0 8' 16' 32'



# Residential Scenario

