

Docket Item # 1
BAR CASE # 2016-0040

BAR Meeting
March 16, 2016

ISSUE: Certificate of Appropriateness - Alterations

APPLICANT: Verizon Wireless

LOCATION: 700 South Washington Street

ZONE: CD/ Commercial

STAFF RECOMMENDATION

Staff recommends approval the Certificate of Appropriateness, as submitted.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR2015-00040



BACKGROUND

The applicant previously received a Certificate of Appropriateness to expand the existing penthouse screen and to install two “chimneys” on the east side of the roof to conceal wireless antennas (BAR2014-00399; 12/17/14.) Since the BAR approval, the design team restudied the site and determined that an expansive penthouse screen and multiple chimneys were not ultimately needed for the project’s programmatic needs. The current application retains the current footprint of the penthouse and proposes only one “chimney” on the east side of the roof.

I. ISSUE

The applicant is requesting a Certificate of Appropriateness to install telecommunications equipment on the penthouse of the subject building. The proposal includes:

- Replacement of portions of the existing standing seam metal mechanical screen (35 linear feet) on the north and south elevations of the penthouse level with Stealthcore – a radiofrequency transparent material. The renovated penthouse will house new equipment cabinets and wireless antennas.
- The installation of a single, “chimney” with two, cell antennas on the east side of the roof, offset 6’ - 8” from the south building wall and 11’ - 5” from the east building wall.

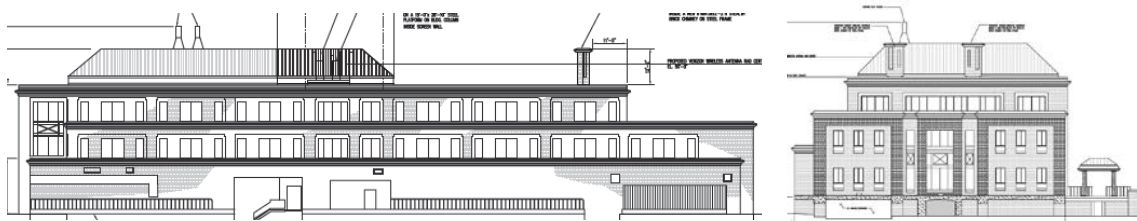


Figure 1: Previous BAR Approval 12/17/14

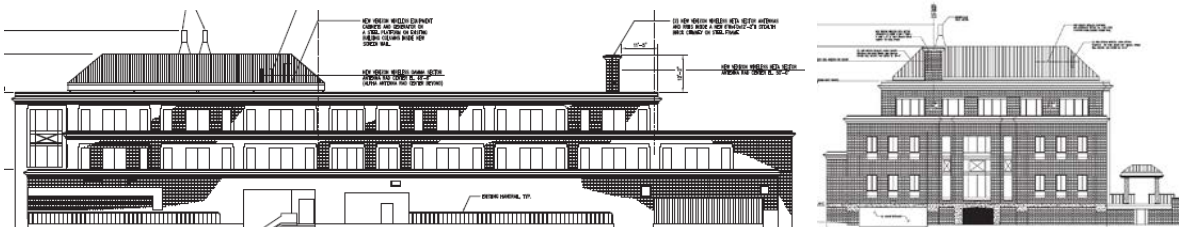


Figure 2: Current Application/Proposal

II. HISTORY

The three-story brick building located at 700 South Washington Street and 600 Franklin Street was constructed in **1987** (BAR Case #87-127, 11/4/87 and SIT 1987-00031). It is a mixed-use retail and office building with a postmodern architectural vocabulary. The building currently has a screened, rooftop penthouse over the western third of the building.

700 South Washington Street is located on the George Washington Memorial Parkway. Alterations to this contemporary building must not, therefore, adversely affect the memorial character of the Parkway or the historic setting, streetscape and environs of the historic district as a whole.

The building is flanked on the all sides by public streets and a public alley, so all elevations of this large building are visible from those right-of-ways.

Previous Approvals

The Board has approved a number of applications for this building. In 2014, the Board approved two “chimneys” on the east side of the roof to conceal wireless antennas (BAR Case #2014-00399, 12/17/14. Unbuilt) In 2011, BAR Staff administratively approved replacement awning signage for Chakra Café (BAR Case #2011-00146). In 2004, the Board approved signage and awnings for Balducci’s and Blue Point Grill (BAR Case # 2004-0260, 12/15/04). In 1994, the Board approved a canopy addition (BAR Case #94-56, 5/4/94). Signs for Sutton Place Gourmet were approved in 1989 and 1990 (BAR Case #89-5, 1/18/89; #89-177, 11/1/89; and #90-212, 11/7/90).

III. ANALYSIS

The *Design Guidelines* chapter on **Satellite Antennas** clearly states that antennas on a building they should be located on the “least visually prominent area of the structure”, should be “as small as possible...”, and if they are to be in a prominent visual location on the building “screening is required.”

In addition, the *Design Guidelines* also state that “The Board is particularly concerned with the maintenance and memorial character of the George Washington Memorial Parkway which passes through Alexandria as Washington Street. Therefore any “alterations or changes on Washington Street must be compatible with the memorial nature of the Parkway.”

The applicant’s design team is commended for their continued study and examination of alternative design schemes for the proposed telecommunication equipment. On December 17, 2014, the applicant previously received a Certificate of Appropriateness to expand the existing penthouse screen and to install two “chimneys” on the east side of the roof to conceal wireless antennas. During this meeting, although the BAR approved the Certificate of Appropriateness, they expressed concerns with the scale of the applicant’s design and its impact to the George Washington Memorial Parkway. After this public hearing, the applicant continued to work with their engineers and BAR staff on alternative design schemes. The current submittal is a new application, which is the result of this hard work.

The current application proposes to replace portions of the existing standing seam metal penthouse screen on the roof of the existing building with Stealthcore, molded and painted to match the existing standing seam screen. Stealthcore is a PVC composite material manufactured to maximize cellular frequency output. These Stealthcore panels will contain 1” high “seams” and be joined with lap (scarf) joint. The telecommunications mechanical equipment and cellular antennas will be housed behind these new screens.

The application also proposes to install a single “chimney” to house two, cellular antennas on the east side of the roof, offset 6’8” from the south building wall and 11’5” from the east building wall. The chimney will also be fabricated from the Stealthcore material. The base will contain a brick base and the top will replicate a cast concrete or stone chimney cap.

As shown below, the Stealthcore product can be molded and painted to blend with original building materials and the BAR’s policies generally permit high quality synthetic materials to be installed on recently constructed buildings in the historic districts. However, due to the composite nature of the product, staff recommends that it only be used in locations that are viewed at a distance, such as proposed in this application.



Figure 3. Photos of Stealthcore Samples and Existing Site Conditions

Staff finds that the proposed rooftop screening is substantially smaller than the previous application, is compatible with the existing architectural materials and requires minimal changes to the building. The proposed “chimney” will be mounted on the structure without any negative impacts to the existing building fabric so that it can easily be removed in the future if/when the cellular technology becomes obsolete. Staff believes that the design, as submitted, is a positive solution to a very challenging problem, will not negatively impact the George Washington Memorial Parkway, and is consistent with the BAR’s *Design Guidelines*. Staff recommends approval of the application, as submitted.

STAFF

Michele Oaks, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Development Comments

F-1 Approved; subject to BAR approval.

Zoning Comments

F-1 Zoning has no comments.

National Park Service

R-1 That the new screening should be matched in color, texture, profile, sheen, etc. to the existing.

Code Administration

No comments received.

Transportation and Environmental Services

No comments received.

Alexandria Archaeology

F-1 No comments.

V. ATTACHMENTS

1 – Supplemental Materials

2 – Application for BAR2016-0040; 700 South Washington Street



FORD'S LANDING PARK

700 S Washington Street
Alexandria, VA 22314
A1-Aerial View

ATTACHMENT #1



APPLICATION MATERIALS
BAR2016-00040
700 S WASHINGTON ST
2/22/2016



TEI
ELEGANT ENGINEERING INC.
2216 Commerce Road, Suite 1
Forest Hill, MD 21050
410-692-5816
www.tei-eng.com

0 Rockledge Drive, Suite 550
Bethesda, MD 20817
PHONE: (202)408-0960
FAX: (202)408-0961

verizon
FORD'S LANDING PARK
700 S WASHINGTON STREET
ALEXANDRIA, VA 22314

DESCRIPTION	DATE

ST REV.:

JUN 11 2015

DATE: AS NOTED

[illegible]

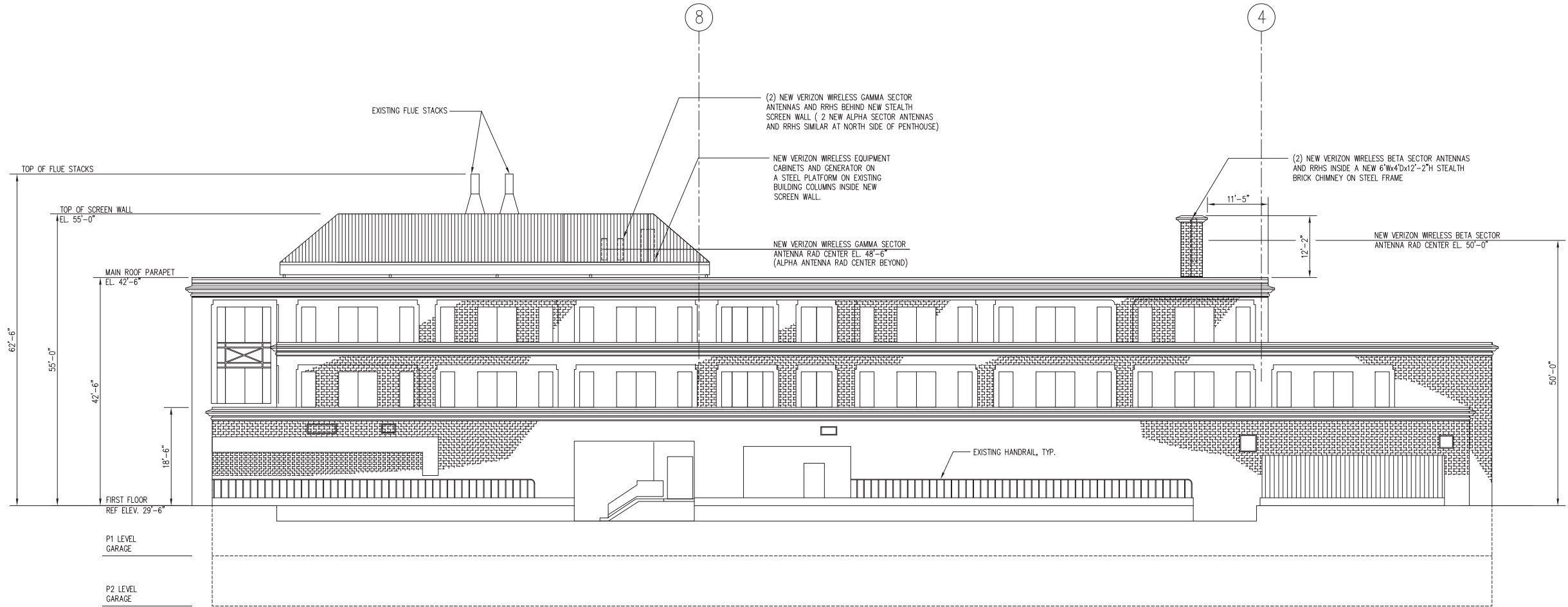
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1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	

[illegible]

EET:



NO.	DESCRIPTION	DATE



SOUTH BUILDING ELEVATION

SCALE: 3/32" = 1'-0"

1
A-2



TEI
ELEGANT ENGINEERING INC.
2216 Commerce Road, Suite 1
Forest Hill, MD 21050
410-692-5816
www.tei-eng.com

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PHONE: (202)408-0960
FAX: (202)408-0961

verizon
FORD'S LANDING PARK
700 S WASHINGTON STREET
ALEXANDRIA, VA 22314

PERMIT DWGS	01-28-16
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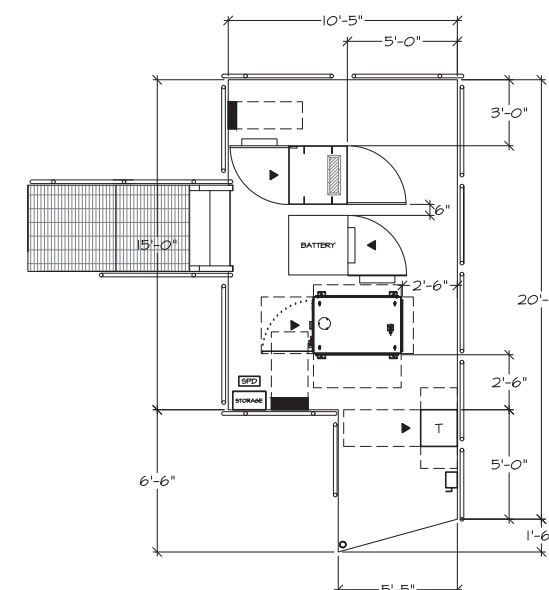
TE: JUNE 11, 2015

TABLE:

EET:



- (1) PROPOSED LOCATION OF ELEVATED VERIZON WIRELESS EQUIPMENT PLATFORM. REFER TO STRUCTURAL DRAWINGS FOR EXACT PLATFORM LOCATION AND CONSTRUCTION.
- (2) PROPOSED VERIZON WIRELESS ALPHA AND GAMMA SECTOR ANTENNAS MOUNTED BEHIND NEW SCREEN WALL. REFER TO STRUCTURAL DRAWINGS FOR ANTENNA MOUNTING DETAILS.
- (3) PROPOSED VERIZON WIRELESS BETA SECTOR ANTENNAS MOUNTED BEHIND STEALTH BRICK CHIMNEY SECURED TO NEW STEEL FRAMING ON BUILDING MAIN ROOF. REFER TO STRUCTURAL DRAWINGS FOR ANTENNA MOUNTING DETAILS.
- (4) ROUTE NEW ALPHA AND GAMMA ANTENNA SECTOR HYBRIFLEX CABLES FROM PROPOSED CHARLES CABINET ON VERIZON WIRELESS EQUIPMENT PLATFORM, SECURE HORIZONTALLY ACROSS ON NEW EXISTING STEEL FRAMING, AND TURN UP AT EACH ANTENNA SECTOR FOR FINAL CONNECTION TO RESPECTIVE RF EQUIPMENT. COORDINATE FINAL ROUTING WITH EXISTING CONDITIONS IN THE FIELD.
- (5) EXTEND NEW BETA ANTENNA SECTOR HYBRIFLEX CABLE FROM PROPOSED CHARLES CABINET ON VERIZON WIRELESS EQUIPMENT PLATFORM, TURN HORIZONTALLY ACROSS BUILDING MAIN ROOF, AND TURN UP AT BETA SECTOR RAYCAP MAIN DISTRIBUTION CENTRALLY LOCATED ON NEW STEEL FRAMING ADJACENT TO STEALTH BRICK CHIMNEY. COORDINATE FINAL ROUTING WITH EXISTING CONDITIONS IN THE FIELD.
- (6) VERIZON WIRELESS PROVIDED AND CONTRACTOR INSTALLED GPS ANTENNA (MODEL #GPS-TM5-HR26NMNSCLA) MOUNTED ON SCREEN WALL. REFER TO STRUCTURAL DRAWINGS FOR MOUNTING DETAILS. COORDINATE EXACT MOUNTING LOCATION WITH VERIZON WIRELESS REPRESENTATIVE IN THE FIELD.
- (7) PROPOSED LOCATION OF RAYCAP MAIN DISTRIBUTION BOX WITH SIX (6) OVP MOUNTED AT EACH ANTENNA SECTOR. REFER TO STRUCTURAL FOR MOUNTING DETAILS.
- (8) PROPOSED LOCATION OF REMOTE RADIO HEAD (TYP OF 12, 9 PROPOSED, 3 FUTURE).
- (9) EXTEND ONE (1) 6x12 HYBRIFLEX CABLE FROM EACH NEW RAYCAP MAIN DISTRIBUTION BOX AT EQUIPMENT PLATFORM (TYP OF 3) TO NEW MAIN DISTRIBUTION BOX MOUNTED AT EACH ANTENNA SECTOR (TYP OF 3). REFER TO DETAILS AND DIAGRAM, SHEET E-8.
- (10) EXTEND ONE (1) 1x1 HYBRIFLEX (¾") CABLE FROM EACH MAIN DISTRIBUTION BOX MOUNTED AT ANTENNA SECTOR TO EACH NEW REMOTE RADIO HEAD. NEW JUMPER CABLE SHOULD NOT EXCEED 30'-0" IN LENGTH. REFER TO HYBRIFLEX DETAILS, SHEET E-8.
- (11) GENERAL CONTRACTOR SHALL FURNISH AND TURN OVER TO THE VERIZON WIRELESS CELL TECH ON SITE, NOT INSTALL, THE FOLLOWING ITEMS:
 - A. ASENTIA PRODUCT #5550-6/32M/DC-4C4R-43 (555U UNIT WITH 6 EXPANSION SLOTS, 24V-48 VDC POWER INPUT, 2 ETHERNET PORTS, 2 SERIAL PORTS, 1 SENSOR PORT, (1) 4-CONTACT INPUTS & 4 LOW-CURRENT RELAY OUTPUTS CARD, AND (1) 4-PORT ETHERNET CARD).
 - B. ASENTRIA PRODUCT #5006-025 (INSTALLATION KITS, INCLUDES 35 FT. CABLE PAIR)
 - C. ASENTRIA PRODUCT #5002-005 (TERMINATION KIT, INCLUDES 35 FT. CABLE)CONTACT ASENTRIA REPRESENTATIVE CRAIG HARTZELL @ 404-354-8360 FOR ADDITIONAL INFORMATION.



② EQUIPMENT PLATFORM PLAN
SCALE: 1/4" = 1'-0"

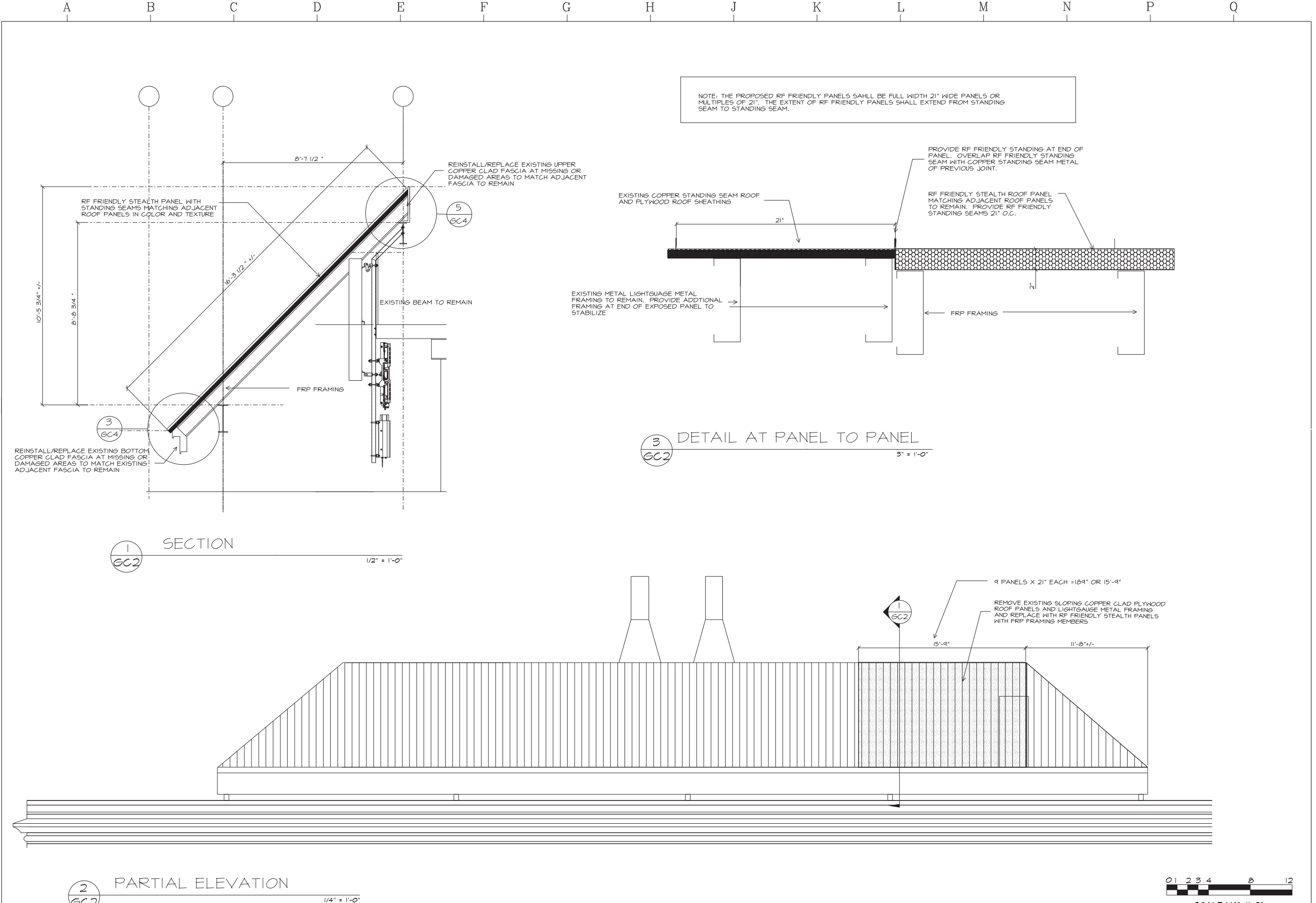
0 4 8 16 24
SCALE: 1/8" = 1'-0"

0 1 2 3 4 8 16
SCALE: 1/4" = 1'-0"

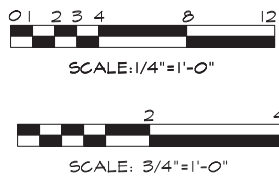
12

BAR2016-00040
700 S WASHINGTON ST
2/22/2016





APPLICATION MATERIALS
BAR2016-00040
700 S WASHINGTON ST
2/22/2016



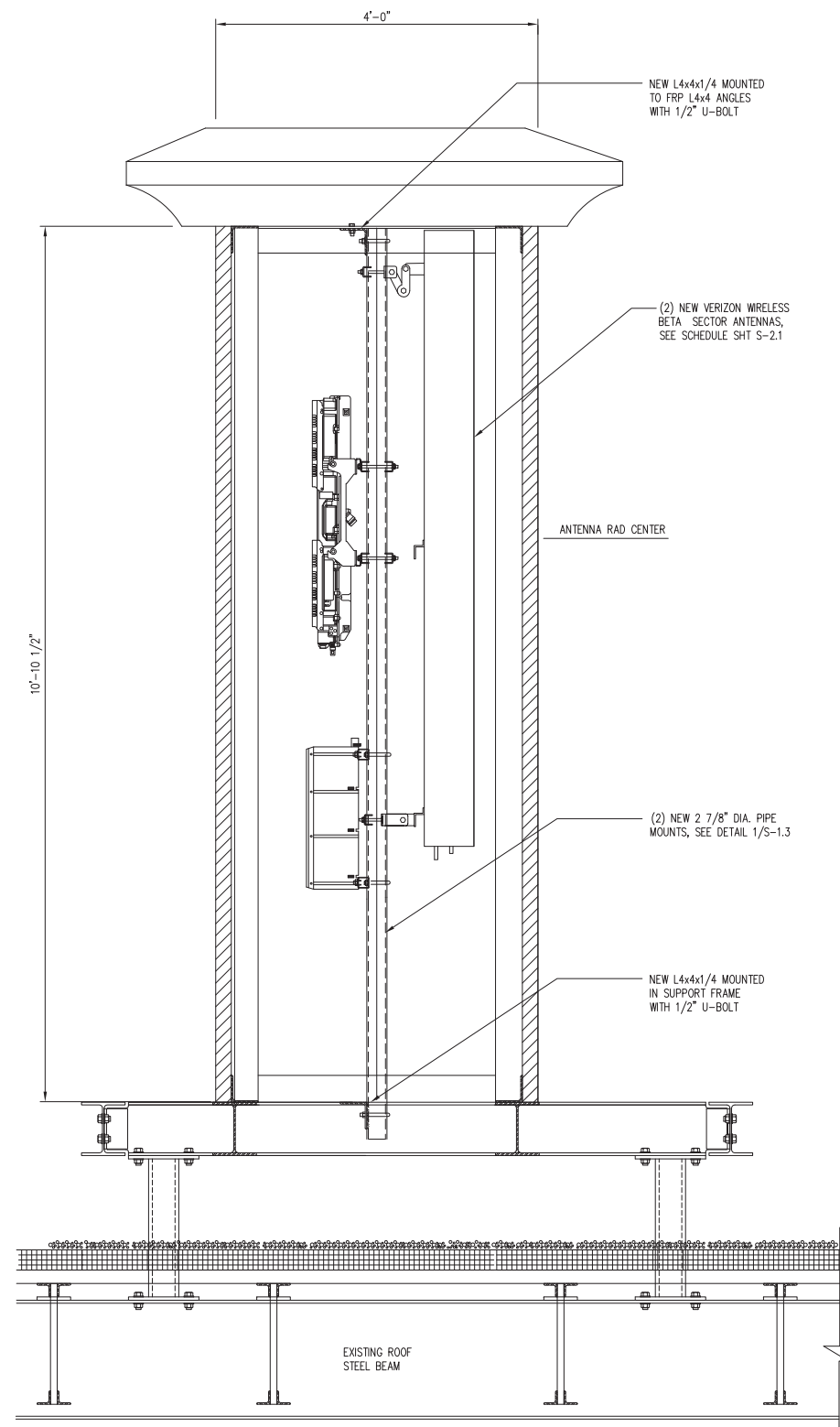
soma
ARCHITECTS
1221 King Street
Alexandria
Virginia 22314
Fax: 703.684.0940
703.683.8286

verizon
FORD'S LANDING PARK
700 SOUTH WASHINGTON STREET, ALEXANDRIA
CITY OF ALEXANDRIA, VIRGINIA, 22314

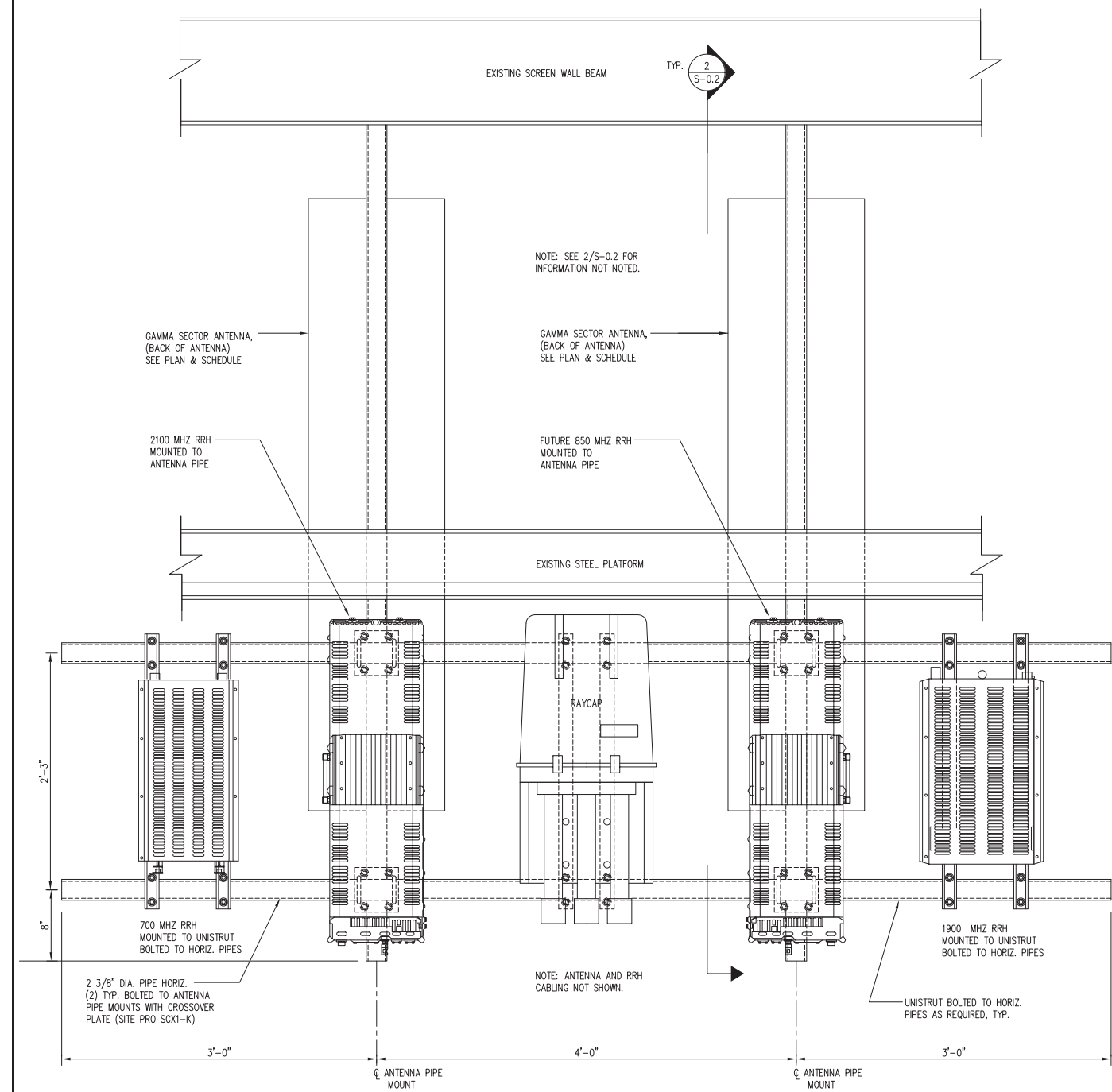
REVISIONS:		
NO.	DESCRIPTION	DATE

LAST REV.:
PROJECT NO: 215118
DATE:
SCALE: AS NOTED
TITLE:
MISCELLANEOUS
DETAILS

SHEET:

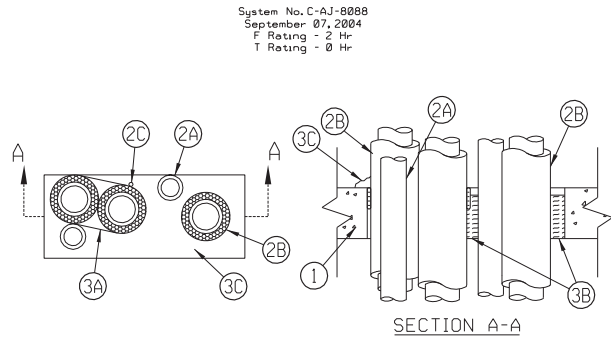


BETA SECTOR ANTENNA MOUNTING DETAIL



GAMMA SECTOR EQUIPMENT MOUNTING ELEVATION
SCALE: 1 1/2"=1'-0"

EXAMPLE OF A UL THROUGH FLOOR PENETRATION
OF A METAL PIPE THROUGH A CONCRETE FLOOR



1. Floor Assembly - minimum 4 1/2" thick concrete
Max area of opening is 144 sq in. with a max dimension of 18 in.

2. Through Penetrants - Metallic pipes, tubing or cable to be installed either concentrically or eccentrically within the firestop system. Penetrants to be rigidly supported on both sides of floor assembly. The following types and sizes of penetrants may be used.

- A. Metallic Pipes - Max five metallic pipes or tubing. The annular space between uninsulated penetrant and periphery of opening shall be min 0 in. (point contact) to max 2-3/4 in. The following types and sizes of metallic pipes or tubing may be used:
- A1. Copper Tubing - Nom 3 in. diam (or smaller) Type M (or heavier) copper tube.
 - A2. Copper Pipe - Nom 3 in. diam (or smaller) Regular (or heavier) copper pipe.
 - B. Tube Insulation - Plastics+ - Nom 1 in. thick acrylonitrile butadiene/polyvinyl chloride (AB/PVC) flexible foam furnished in the form of tubing. The tube insulation shall be installed on all tubing greater than nom 2 in. diam. The annular space between the insulated penetrating item and uninsulated metallic pipes, conduit or tubing shall be min 0 in. (point contact) to max 1-1/4 in. The annular space between the insulated penetrating item and the periphery of the opening shall be min 0 in. (point contact) to max 2-3/4 in.

See Plastics (QMF22) category in the Recognized Component Directory for names of manufacturers. Any Recognized Component tube insulation material meeting of the above specifications and having a UL 94 Flammability Classification of 94-5A may be used.

C. Cables - Max one 2/C No. 18 AWG (or smaller) thermostat wire spaced min 0 in. (point contact) from tube insulation or min 1/2 in. from other penetrants. The annular space between cable and periphery of opening is min 0 in. (point contact) to max 2-3/4 in. Cable to be rigidly supported on both sides of floor or wall assembly.

3. Firestop System - The details of the firestop system shall be as follows:

- A. Fill/Void or Cavity Materials* - Wrap Strip - Nom 1/8 in. thick intumescent material supplied in 2 in. wide strips. Min one layer of wrap strip wrapped around penetrants and pipe insulation and secured in place with steel wire or aluminum foil tape and recessed within the opening not more than 2 in. above the bottom of the floor. Wrap strip required around insulated penetrants which may be tightly bundled together. Wrap strip also required to be installed around insulated penetrants when installed less than 1/2 in. from uninsulated tubes or cables. In such cases where insulated penetrant is at point contact with uninsulated tubes or cables, wrap strip to be wedged between insulation and uninsulated tube or cable by compressing insulation. Wrap strip not required around insulated tubes installed 1/2 in. or greater from other penetrants.

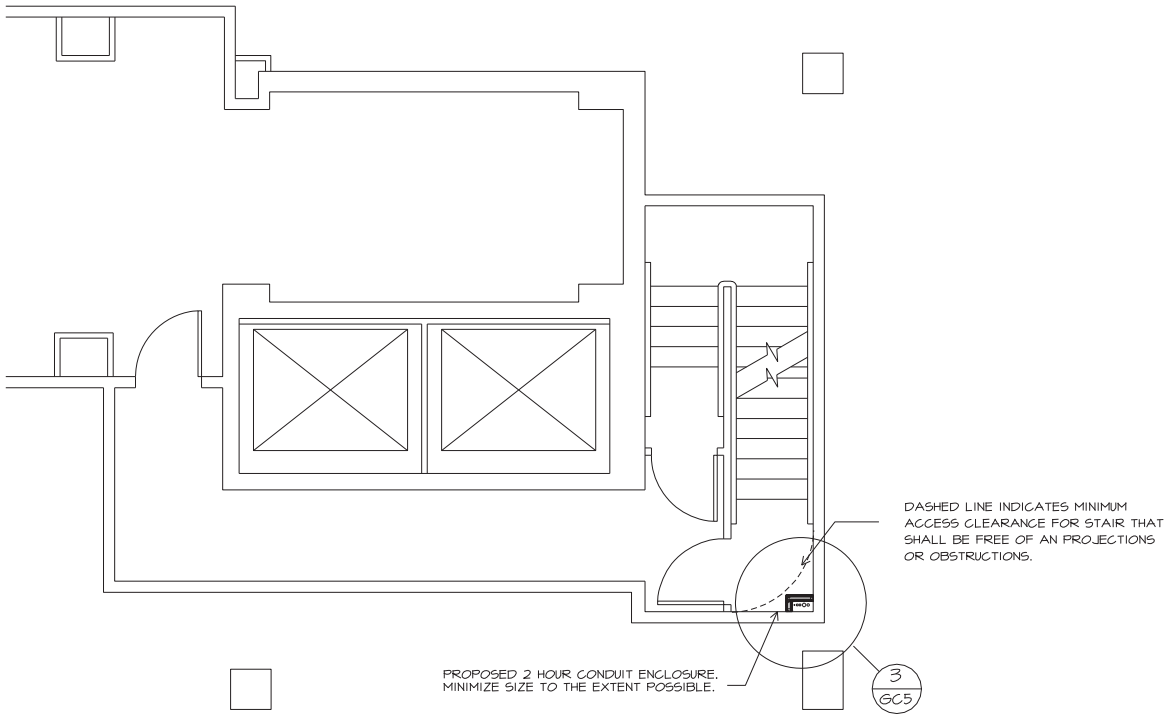
3M COMPANY- Ultra 65

- B. Packing Material - Min 3 in. thickness of min 4 pcf mineral wool batt insulation firmly packed into opening as a permanent form. Packing material to be recessed from top surface of floor to accommodate the required thickness of fill material.

C. Fill/Void or Cavity Materials* - Caulk, Sealant or Putty - Min 1/2 in. thickness of fill material applied within the annulus, flush with top surface of floor. Min 1/2 in. diam bead of fill material applied to the penetrant/concrete interface at the point contact location on the top surface of floor.

3M COMPANY- MP+ Stix putty, CP 25WB+ caulk or FB-3000 WT sealant.

*Bearing the UL Classification Marking
+Bearing the UL Recognized Component Marking

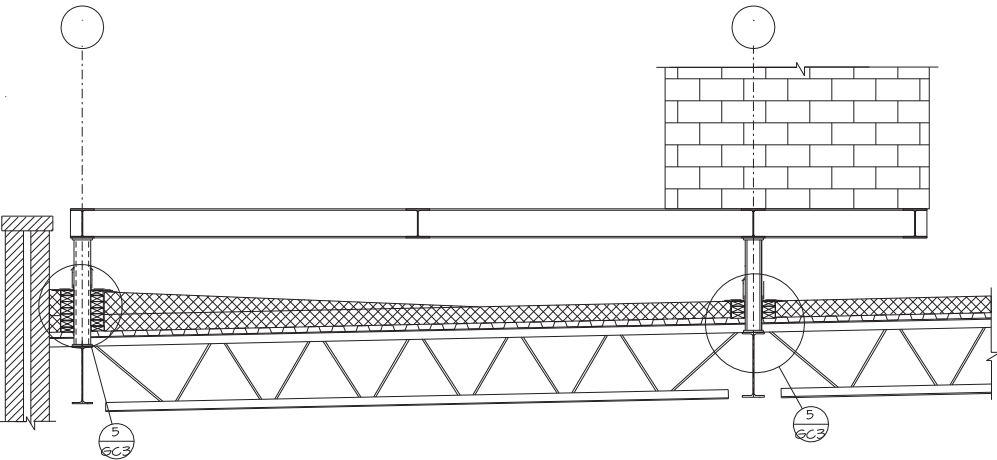


1
GC6

PARTIAL PLAN AT 1ST FLOOR

1/4" = 1'-0"

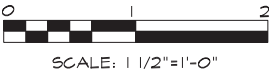
SHAFT WALL ENCLOSURE FOR CONDUITS AND CABLES
OCCURS FROM 1ST FLOOR LEVEL TO ROOF LEVEL



2
GC6

SECTION AT CHIMNEY SUPPORT

1/2" = 1'-0"



APPLICATION MATERIALS
BAR2016-00040
700 S WASHINGTON ST
2/22/2016



soma
ARCHITECTS
1221 King Street
Alexandria
Virginia 22314
Fax: 703.684.0940
703.683.8236

verizon
FORD'S LANDING PARK
700 SOUTH WASHINGTON STREET, ALEXANDRIA, 22314
CITY OF ALEXANDRIA, VIRGINIA, 22314

REVISIONS:

NO.	DESCRIPTION	DATE

LAST REV.:

PROJECT NO: 215118

DATE:

SCALE: AS NOTED

TITLE:

MISCELLANEOUS
DETAILS

SHEET:

BAR Case # 2016-00040

ADDRESS OF PROJECT: 700 S. WASHINGTON ST
 TAX MAP AND PARCEL: 080.02-08-05 ZONING: CD

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
 (Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
 CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
 (Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☒ Business (Please provide business name & contact person)

Name: Verizon WirelessAddress: 9305 Gering Lane Suite MCity: Columbia State: MD Zip: 21046Phone: 202-447-1732 E-mail: asudama@sceeng.com

Authorized Agent (if applicable): ☐ Attorney ☐ Architect ☒ Representative

Name: Arun Sudama.Phone: 202-447-1732E-mail: asudama@sceeng.com

Legal Property Owner:

Name: 700 S. Washington Street LLC - ASB Capital Mgmt LLCAddress: 7501 Wisconsin Ave. Suite 1300.City: Bethesda. State: MD Zip: 20814

Phone: _____ E-mail: _____

- ☐ Yes ☐ No Is there an historic preservation easement on this property?
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☐ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: Please check all that apply

- ☒ NEW CONSTRUCTION
- ☐ EXTERIOR ALTERATION: Please check all that apply.
- | | | | |
|---|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input checked="" type="checkbox"/> other | RE-APPROVAL OF PREVIOUS APPROVED PLANS. | | |
- ☐ ADDITION
- ☐ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: Please describe the proposed work in detail (Additional pages may be attached).

Verizon Wireless proposed work is the installation of an un-manned telecom facility on the roof of 700. South Washington Street. BAR approval was issued December 2014 (2014-00399) w/ the condition the "The extension of the rooftop mechanical equipment screening must match existing color texture and sheen." The extension must be below and integrated into the building design." Verizon worked to address staff recommendations. The current re-design has elements that integrate the Verizon into the overall building design. The original BAR approval expired 12/17/2015

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☐ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☐ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☐ I, the applicant, or an authorized representative will be present at the public hearing.
- ☐ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: *Arun Sudama*

Printed Name: Arun Sudama

Date: *2/16/2016*