

BAR Case # 2016-00040

ADDRESS OF PROJECT: 700 S. WASHINGTON ST
TAX MAP AND PARCEL: 080.02-08-05 ZONING: CD

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☒ Business (Please provide business name & contact person)

Name: Verizon Wireless

Address: 9305 Gering Lane Suite M

City: Columbia State: MD Zip: 21046

Phone: 202-447-1732 E-mail: asudama@sceeng.com

Authorized Agent (if applicable): ☐ Attorney ☐ Architect ☒ Representative

Name: Arun Sudama

Phone: 202-447-1732

E-mail: asudama@sceeng.com

Legal Property Owner:

Name: 700 S. Washington Street LLC - ASB Capital Mgmt LLC

Address: 7501 Wisconsin Ave. Suite 1300

City: Bethesda State: MD Zip: 20814

Phone: _____ E-mail: _____

- | | | |
|------------------------------|-----------------------------|--|
| <input type="checkbox"/> Yes | <input type="checkbox"/> No | Is there an historic preservation easement on this property? |
| <input type="checkbox"/> Yes | <input type="checkbox"/> No | If yes, has the easement holder agreed to the proposed alterations? |
| <input type="checkbox"/> Yes | <input type="checkbox"/> No | Is there a homeowner's association for this property? |
| <input type="checkbox"/> Yes | <input type="checkbox"/> No | If yes, has the homeowner's association approved the proposed alterations? |

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: Please check all that apply

- ☒ NEW CONSTRUCTION
- ☐ EXTERIOR ALTERATION: Please check all that apply.
- | | | | |
|---|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input checked="" type="checkbox"/> other | RE-APPROVAL OF PREVIOUS APPROVED PLANS. | | |
- ☐ ADDITION
- ☐ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: Please describe the proposed work in detail (Additional pages may be attached).

Verizon Wireless proposed work is the installation of an un-manned telecom facility on the roof of 700. South Washington Street. BAR approval was issued December 2014 (2014-00399) w/ the condition the "The extension of the rooftop mechanical equipment screening must match existing color texture and sheen." The extension must be below and integrated into the building design." Verizon worked to address staff recommendations. The current re-design has elements that integrate the Verizon into the overall building design. The original BAR approval expired 12/17/2015

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☐ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☐ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☐ I, the applicant, or an authorized representative will be present at the public hearing.
- ☐ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: *Arun Sudama*

Printed Name: Arun Sudama

Date: *2/16/2016*














FORD'S LANDING PARK

700 S Washington Street
Alexandria, VA 22314
A1-Aerial View



APPLICATION MATERIALS
BAR2016-00040
700 S WASHINGTON ST
2/22/2016



-  FOUND PROPERTY CORNER
-  BENCH MARKS
-  UTILITY POLE
-  GUY ANCHOR
-  SIGN
-  LIGHT POLE
-  TELEPHONE PEDESTAL
-  CULVERT
-  SANITARY MANHOLE
-  INDIVIDUAL TREE - DECIDUOUS
-  INDIVIDUAL TREE - CONIFER
-  BUSH

5

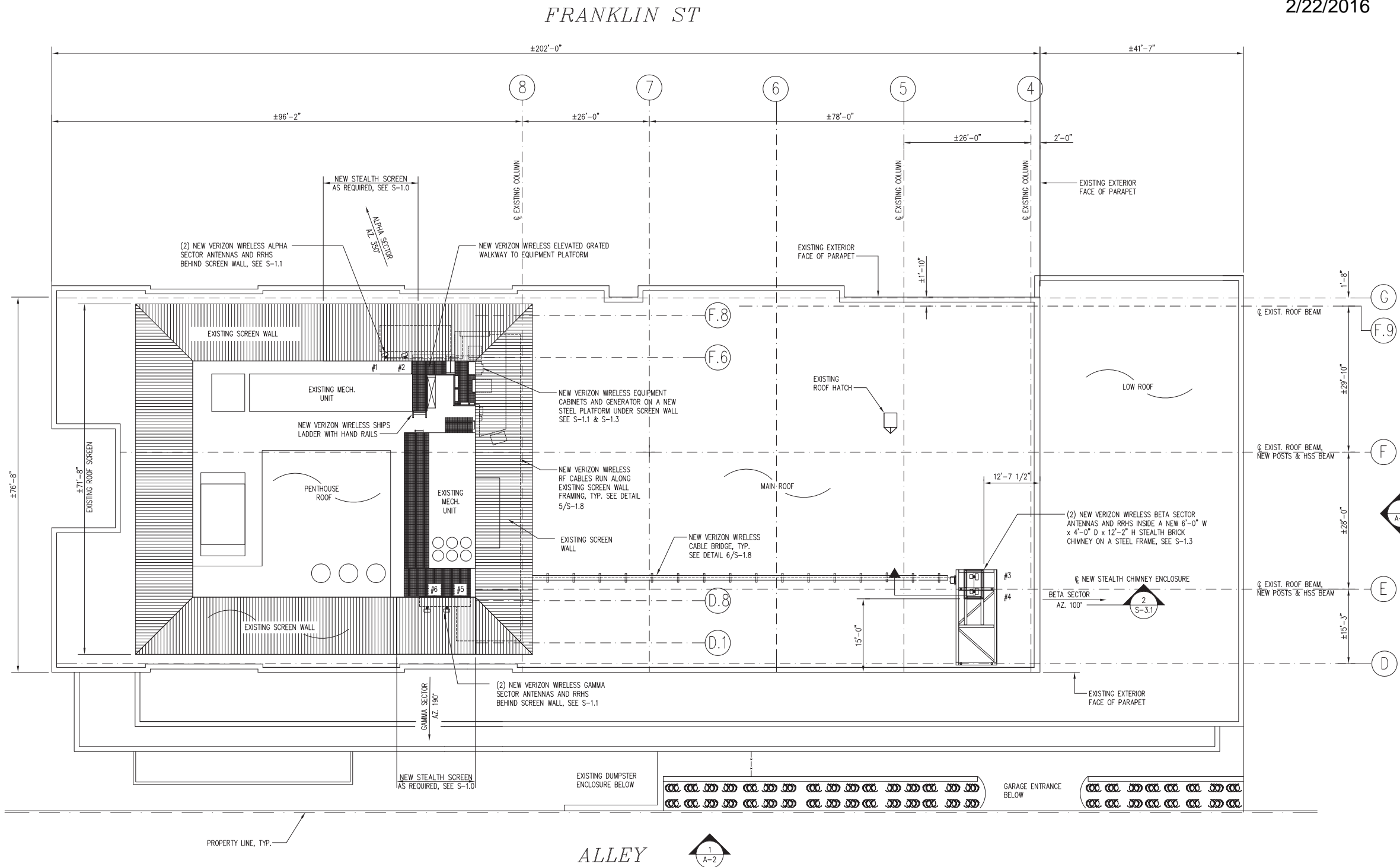
SUBMISSIONS/REVISIONS:		
NO.	DESCRIPTION	DATE

PERMIT DWGS 01-28-16

LAST REV.:
PROJECT NO: 1102.086
DATE: JUNE 11, 2015
SCALE: AS NOTED
TITLE:

ROOF PLAN

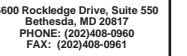
SHEET:



ROOF PLAN
SCALE: 1/32" = 1'-0"
1
A-1
TRUE NORTH



TEI
TELECENT ENGINEERING INC.
2216 Commerce Road, Suite 1
Forest Hill, MD 21050
410-692-5816
www.tei-eng.com

[illegible]

**SOUTH
BUILDING
ELEVATION**

1
A-2



TEI
ELEGANT ENGINEERING INC.
2216 Commerce Road, Suite 1
Forest Hill, MD 21050
410-692-5816
www.tei-eng.com

0 Rockledge Drive, Suite 550
Bethesda, MD 20817
PHONE: (202)408-0960
FAX: (202)408-0961

verizon
FORD'S LANDING PARK
700 S WASHINGTON STREET
ALEXANDRIA, VA 22314

PERMIT DWGS	01-28-16
-------------	----------

TE: JUNE 11, 2015

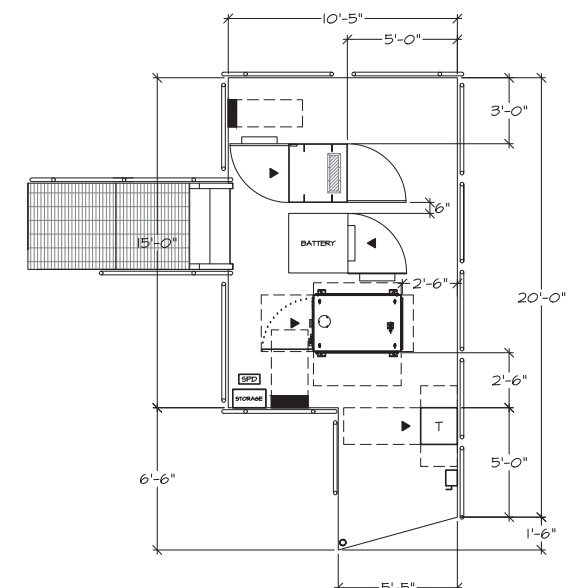
SALE:	AS NOTED
-------	----------

EAST BUILDING ELEVATION

EET:



- (1) PROPOSED LOCATION OF ELEVATED VERIZON WIRELESS EQUIPMENT PLATFORM. REFER TO STRUCTURAL DRAWINGS FOR EXACT PLATFORM LOCATION AND CONSTRUCTION.
- (2) PROPOSED VERIZON WIRELESS ALPHA AND GAMMA SECTOR ANTENNAS MOUNTED BEHIND NEW SCREEN WALL. REFER TO STRUCTURAL DRAWINGS FOR ANTENNA MOUNTING DETAILS.
- (3) PROPOSED VERIZON WIRELESS BETA SECTOR ANTENNAS MOUNTED BEHIND STEALTH BRICK CHIMNEY SECURED TO NEW STEEL FRAMING ON BUILDING MAIN ROOF. REFER TO STRUCTURAL DRAWINGS FOR ANTENNA MOUNTING DETAILS.
- (4) ROUTE NEW ALPHA AND GAMMA ANTENNA SECTOR HYBRIFLEX CABLES FROM PROPOSED CHARLES CABINET ON VERIZON WIRELESS EQUIPMENT PLATFORM, SECURE HORIZONTALLY ACROSS ON NEW EXISTING STEEL FRAMING, AND TURN UP AT EACH ANTENNA SECTOR FOR FINAL CONNECTION TO RESPECTIVE RF EQUIPMENT. COORDINATE FINAL ROUTING WITH EXISTING CONDITIONS IN THE FIELD.
- (5) EXTEND NEW BETA ANTENNA SECTOR HYBRIFLEX CABLE FROM PROPOSED CHARLES CABINET ON VERIZON WIRELESS EQUIPMENT PLATFORM, TURN HORIZONTALLY ACROSS BUILDING MAIN ROOF, AND TURN UP AT BETA SECTOR RAYCAP MAIN DISTRIBUTION CENTRALLY LOCATED ON NEW STEEL FRAMING ADJACENT TO STEALTH BRICK CHIMNEY. COORDINATE FINAL ROUTING WITH EXISTING CONDITIONS IN THE FIELD.
- (6) VERIZON WIRELESS PROVIDED AND CONTRACTOR INSTALLED GPS ANTENNA (MODEL #GPS-TM6-HR26NMSCLA) MOUNTED ON SCREEN WALL. REFER TO STRUCTURAL DRAWINGS FOR MOUNTING DETAILS. COORDINATE EXACT MOUNTING LOCATION WITH VERIZON WIRELESS REPRESENTATIVE IN THE FIELD.
- (7) PROPOSED LOCATION OF RAYCAP MAIN DISTRIBUTION BOX WITH SIX (6) OVP MOUNTED AT EACH ANTENNA SECTOR. REFER TO STRUCTURAL FOR MOUNTING DETAILS.
- (8) PROPOSED LOCATION OF REMOTE RADIO HEAD (TYP OF 12, 9 PROPOSED, 3 FUTURE).
- (9) EXTEND ONE (1) 6x12 HYBRIFLEX CABLE FROM EACH NEW RAYCAP MAIN DISTRIBUTION BOX AT EQUIPMENT PLATFORM (TYP OF 3) TO NEW MAIN DISTRIBUTION BOX MOUNTED AT EACH ANTENNA SECTOR (TYP OF 3). REFER TO DETAILS AND DIAGRAM, SHEET E-8.
- (10) EXTEND ONE (1) 1x1 HYBRIFLEX (¾") CABLE FROM EACH MAIN DISTRIBUTION BOX MOUNTED AT ANTENNA SECTOR TO EACH NEW REMOTE RADIO HEAD. NEW JUMPER CABLE SHOULD NOT EXCEED 30'-0" IN LENGTH. REFER TO HYBRIFLEX DETAILS, SHEET E-8.
- (11) GENERAL CONTRACTOR SHALL FURNISH AND TURN OVER TO THE VERIZON WIRELESS CELL TECH ON SITE, NOT INSTALL, THE FOLLOWING ITEMS:
 - A. ASENTRIA PRODUCT #5550-6/32M/DC-4C4R-43 (555U UNIT WITH 6 EXPANSION SLOTS, +24/-48 VDC POWER INPUT, 2 ETHERNET PORTS, 2 SERIAL PORTS, 1 SENSOR PORT, (1) 4-CONTACT INPUTS & 4 LOW-CURRENT RELAY OUTPUTS CABLE, ALPH (1) 4-CONTACT ETHERNET CABLE)
 - B. ASENTRIA PRODUCT #5006-025 (INSTALLATION KITS, 2000PS 35 FT. CABLE PAIR)
 - C. ASENTRIA PRODUCT #ESJ-TH50 (TEMPERATURE/HUMIDITY SENSOR, SOFT. CABLE)CONTACT ASENTRIA REPRESENTATIVE CRAIG HARTZELL ☎ 404-354-8460 FOR ADDITIONAL INFORMATION.



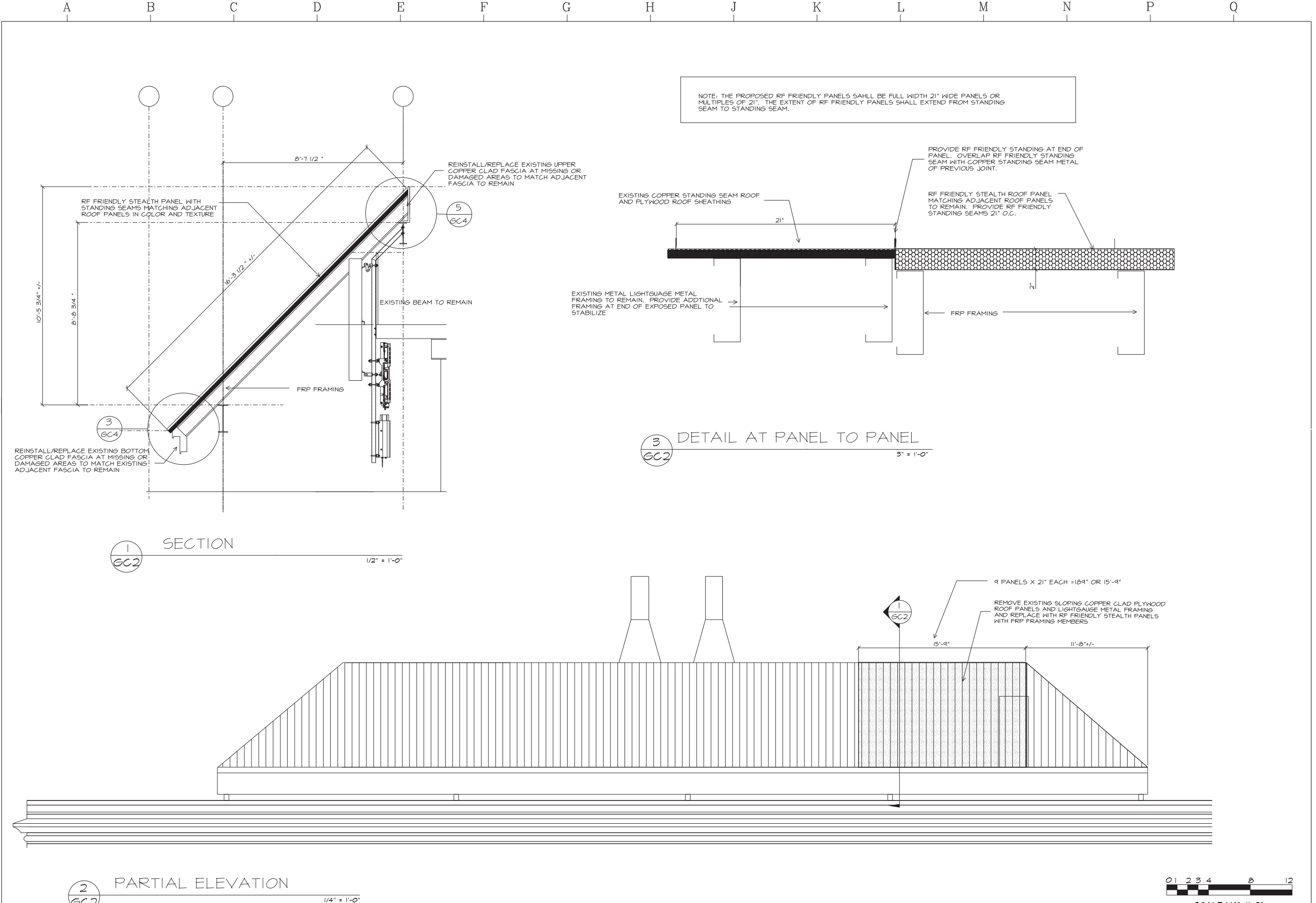
② EQUIPMENT PLATFORM PLAN 
SCALE: 1/4" = 1'-0"

Two number lines illustrating scale. The left number line has markings at 0, 4, 8, 16, and 24, with the scale $1/8" = 1'-0"$. The right number line has markings at 0, 1, 2, 3, 4, 8, and 12, with the scale $1/4" = 1'-0"$.

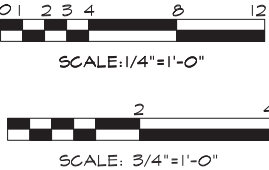
REVIEW SET 10/26/15 TE#13053W

BAR2016-00040
700 S WASHINGTON ST
2/22/2016





APPLICATION MATERIALS
BAR2016-00040
700 S WASHINGTON ST
2/22/2016



TEI
TELESCENT ENGINEERING INC.
2216 Commerce Road, Suite 1
Frost Hall, MD 21069
410-692-5816
www.tei-eng.com

soma
ARCHITECTS
1221 King Street
Alexandria
Virginia 22314
Fax: 703.684.0940
703.683.8236

verizon
FORD'S LANDING PARK
700 SOUTH WASHINGTON STREET, ALEXANDRIA
CITY OF ALEXANDRIA, VIRGINIA, 22314

REVISIONS:	
NO.	DESCRIPTION

LAST REV.:

PROJECT NO: 215118

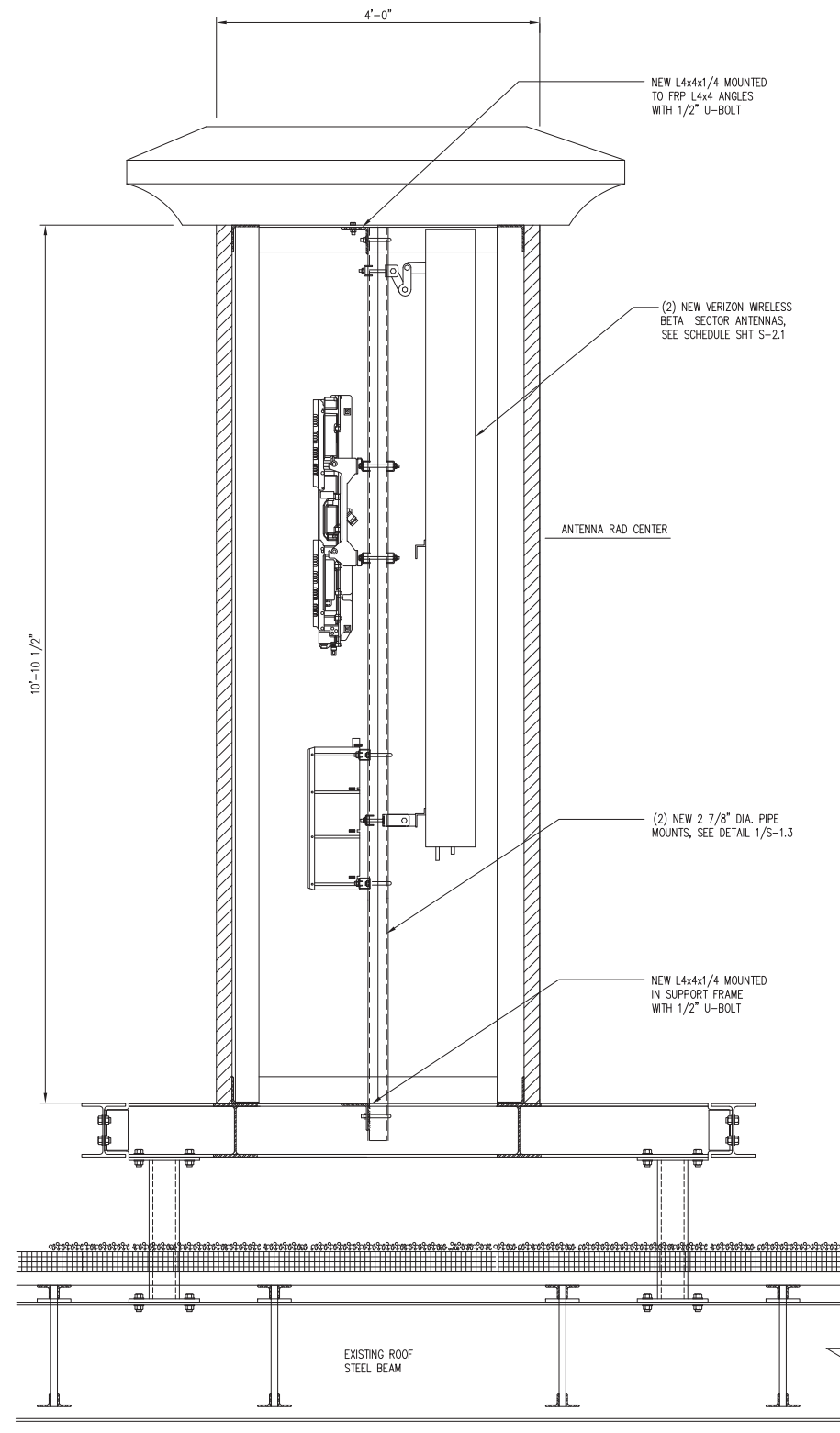
DATE:

SCALE: AS NOTED

TITLE:

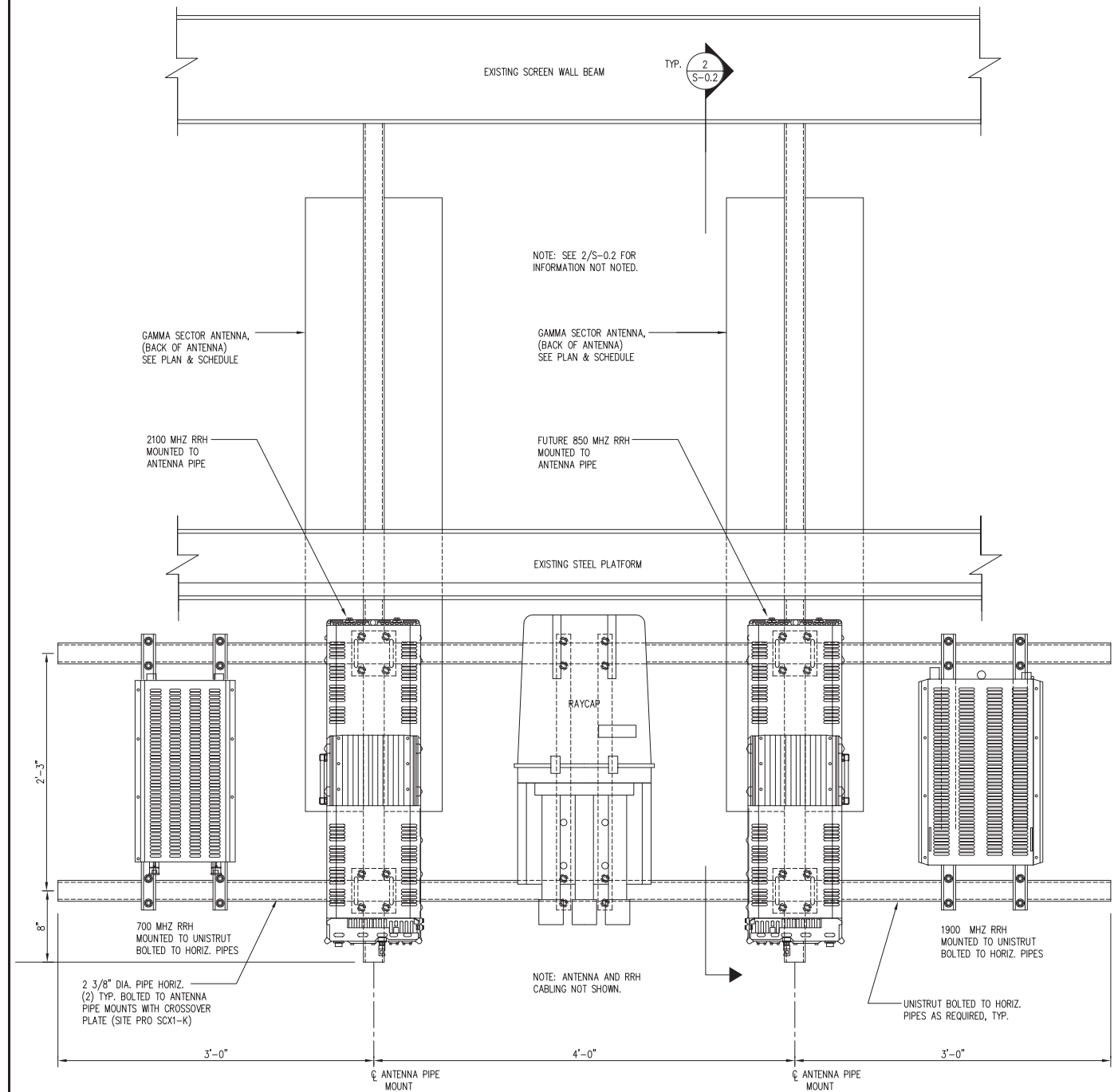
MISCELLANEOUS DETAILS

SHEET:



BETA SECTOR ANTENNA MOUNTING DETAIL
SCALE: 1 1/2"=1'-0"

1
S-2.3



GAMMA SECTOR EQUIPMENT MOUNTING ELEVATION
SCALE: 1 1/2"=1'-0"

2
S-2.3

APPLICATION MATERIALS
BAR2016-00040
700 S WASHINGTON ST
2/22/2016



verizon
FORD'S LANDING PARK
700 S WASHINGTON STREET
ALEXANDRIA, VA 22314

SUBMISSIONS/REVISIONS:
NO. DESCRIPTION DATE

PERMIT DWGS 01-28-16

LAST REV.:

PROJECT NO: 1102.086

DATE: JUNE 11, 2015

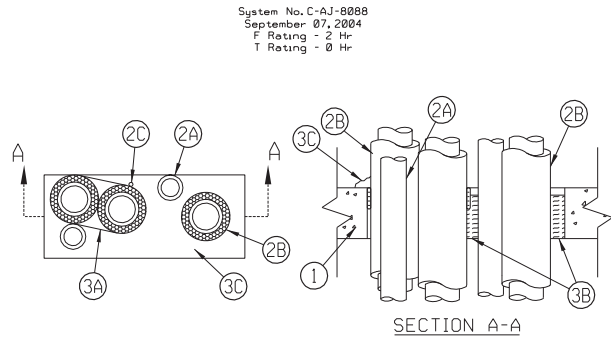
SCALE: AS NOTED

TITLE:

**BETA AND GAMMA
SECTOR ANTENNA
SUPPORT DETAILS**

SHEET:

EXAMPLE OF A UL THROUGH FLOOR PENETRATION
OF A METAL PIPE THROUGH A CONCRETE FLOOR



1. Floor Assembly - minimum 4 1/2" thick concrete
Max area of opening is 144 sq in. with a max dimension of 18 in.

2. Through Penetrants - Metallic pipes, tubing or cable to be installed either concentrically or eccentrically within the firestop system. Penetrants to be rigidly supported on both sides of floor assembly. The following types and sizes of penetrants may be used.

- A. Metallic Pipes - Max five metallic pipes or tubing. The annular space between uninsulated penetrant and periphery of opening shall be min 0 in. (point contact) to max 2-3/4 in. The following types and sizes of metallic pipes or tubing may be used:
- A1. Copper Tubing - Nom 3 in. diam (or smaller) Type M (or heavier) copper tube.
 - A2. Copper Pipe - Nom 3 in. diam (or smaller) Regular (or heavier) copper pipe.
 - B. Tube Insulation - Plastics+ - Nom 1 in. thick acrylonitrile butadiene/polyvinyl chloride (AB/PVC) flexible foam furnished in the form of tubing. The tube insulation shall be installed on all tubing greater than nom 2 in. diam. The annular space between the insulated penetrating item and uninsulated metallic pipes, conduit or tubing shall be min 0 in. (point contact) to max 1-1/4 in. The annular space between the insulated penetrating item and the periphery of the opening shall be min 0 in. (point contact) to max 2-3/4 in.

See Plastics (QMF22) category in the Recognized Component Directory for names of manufacturers. Any Recognized Component tube insulation material meeting of the above specifications and having a UL 94 Flammability Classification of 94-5A may be used.

C. Cables - Max one 2/C No. 18 AWG (or smaller) thermostat wire spaced min 0 in. (point contact) from tube insulation or min 1/2 in. from other penetrants. The annular space between cable and periphery of opening is min 0 in. (point contact) to max 2-3/4 in. Cable to be rigidly supported on both sides of floor or wall assembly.

3. Firestop System - The details of the firestop system shall be as follows:

- A. Fill/Void or Cavity Materials* - Wrap Strip - Nom 1/8 in. thick intumescent material supplied in 2 in. wide strips. Min one layer of wrap strip wrapped around penetrants and pipe insulation and secured in place with steel wire or aluminum foil tape and recessed within the opening not more than 2 in. above the bottom of the floor. Wrap strip required around insulated penetrants which may be tightly bundled together. Wrap strip also required to be installed around insulated penetrants when installed less than 1/2 in. from uninsulated tubes or cables. In such cases where insulated penetrant is at point contact with uninsulated tubes or cables, wrap strip to be wedged between insulation and uninsulated tube or cable by compressing insulation. Wrap strip not required around insulated tubes installed 1/2 in. or greater from other penetrants.

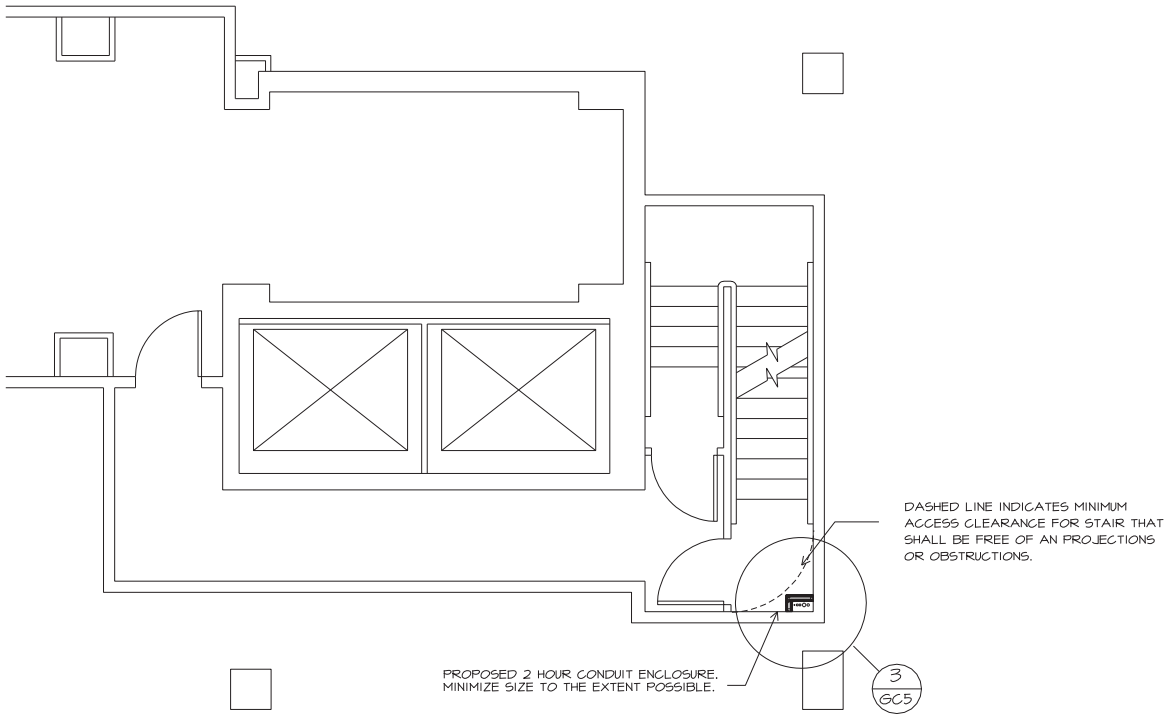
3M COMPANY- Ultra 65

- B. Packing Material - Min 3 in. thickness of min 4 pcf mineral wool batt insulation firmly packed into opening as a permanent form. Packing material to be recessed from top surface of floor to accommodate the required thickness of fill material.

C. Fill/Void or Cavity Materials* - Caulk, Sealant or Putty - Min 1/2 in. thickness of fill material applied within the annulus, flush with top surface of floor. Min 1/2 in. diam bead of fill material applied to the penetrant/concrete interface at the point contact location on the top surface of floor.

3M COMPANY- MP+ Stix putty, CP 25WB+ caulk or FB-3000 WT sealant.

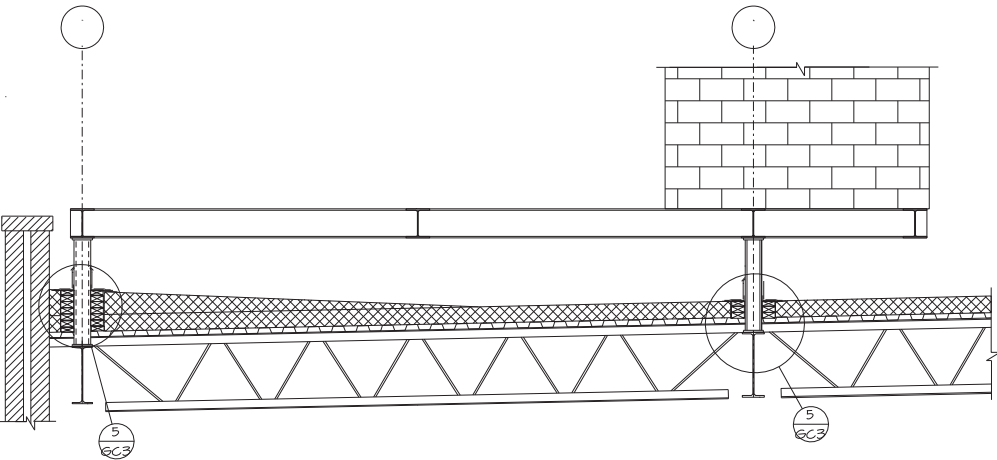
*Bearing the UL Classification Marking
+Bearing the UL Recognized Component Marking



1 PARTIAL PLAN AT 1ST FLOOR
GC6

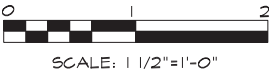
1/4" = 1'-0"

SHAFT WALL ENCLOSURE FOR CONDUITS AND CABLES
OCCURS FROM 1ST FLOOR LEVEL TO ROOF LEVEL



2 SECTION AT CHIMNEY SUPPORT
GC6

1/2" = 1'-0"



APPLICATION MATERIALS
BAR2016-00040
700 S WASHINGTON ST
2/22/2016



soma
ARCHITECTS
1221 King Street
Alexandria
Virginia 22314
Fax: 703.684.0940
703.683.8236

verizon
FORD'S LANDING PARK
700 SOUTH WASHINGTON STREET, ALEXANDRIA, 22314
CITY OF ALEXANDRIA, VIRGINIA, 22314

REVISIONS:		
NO.	DESCRIPTION	DATE

LAST REV.:
PROJECT NO: 215118
DATE:
SCALE: AS NOTED

TITLE:
MISCELLANEOUS
DETAILS

SHEET: