

ADDRESS OF PROJECT: 401 - 415 Wolfe Street, Alexandria, Virginia 22314TAX MAP AND PARCEL: 074.04 - 05 - 18, 19 & 20 ZONING: RMAPPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)☒ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*Name: Gregory W. and Candy C. FazakerleyAddress: 2597 Halfway RoadCity: The Plains State: VA Zip: 20198Phone: 202.669.1212 E-mail: gwfazakerley@icloud.comAuthorized Agent *(if applicable)*: ☒ Attorney ☐ Architect ☐ \_\_\_\_\_Name: Duncan W. Blair, Esq. Phone: 703.836.1000E-mail: dblair@landcarroll.com

Legal Property Owner:

Name: See Attached

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☒ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☒ No Is there a homeowner's association for this property?
- ☐ Yes ☒ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

JAN 19 2016

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☒ NEW CONSTRUCTION  
☒ EXTERIOR ALTERATION: *Please check all that apply.*
- |                                      |   |   |                                   |
|--------------------------------------|---|---|-----------------------------------|
| <input type="checkbox"/> awning      | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment             | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors       | <input type="checkbox"/> windows                    | <input type="checkbox"/> siding                     | <input type="checkbox"/> shed     |
| <input type="checkbox"/> lighting    | <input type="checkbox"/> pergola/trellis            | <input type="checkbox"/> painting unpainted masonry |                                   |
| <input type="checkbox"/> other _____ |   |   |                                   |
- ☐ ADDITION  
☒ DEMOLITION/ENCAPSULATION  
☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached)*

Application to construct a new residence on the property known as 401 through 413 Wolfe Street, which was previously a part of the property owned and used by the owner of 415 Wolfe Street. The purchase of the subject property requires a new interior brick property line wall to be constructed, and that a non-historic covered walkway be partially removed from the existing 415 Wolfe Street house to the dependency now located on the subject property for the new residence. In addition, non-historic garden walls will need to be either demolished, partially demolished, (some cases temporarily), and also gates reconfigured appropriately. This application encompasses a Permit to Demolish and Certificate of Appropriateness, organized in to two parts: 1) Garden walls, covered walkways, and gates; 2) the New Residence at 401 Wolfe Street.

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☒ Survey plat showing the extent of the proposed demolition/encapsulation.  
☐ ☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.  
☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.  
☐ ☒ Description of the reason for demolition/encapsulation.  
☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ <sup>N/A</sup> Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ <sup>N/A</sup> Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_
- ☐ ☒ Square feet of existing signs to remain: \_\_\_\_\_
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- ☒ ☐ <sup>N/A</sup> Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☒ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items.*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: 

Printed Name: Duncan W. Blair, Esq.

Date: January 19, 2016

**Revised February 16, 2016**

BAR – OHAD Application  
401 – 415 Wolfe Street; Fazakerley  
January 19, 2016

**LEGAL PROPERTY OWNER INFORMATION**

**401 – 403 Wolfe Street**

Gregory W. Fazakerley, Trustee of the Gregory W. Fazakerley Revocable Trust (50%)  
2597 Halfway Road  
The Plains, VA 20198  
[gwfazakerley@icloud.com](mailto:gwfazakerley@icloud.com)  
202.669.1212

Candy C. Fazakerley, Trustee of the Candy C. Fazakerley Revocable Trust (50%)  
2597 Halfway Road  
The Plains, VA 20198  
[ccfazakerley@icloud.com](mailto:ccfazakerley@icloud.com)  
202.744.8165

**415 Wolfe Street**

Douglas Turner  
Grace Marie Turner  
415 Wolfe Street  
Alexandria, VA 22314  
[gracemarie@galen.org](mailto:gracemarie@galen.org)  
703.402.2884

DUKE STREET

FACE OF CURB

CITY NORTH

SKETCH SHOWING BLOCK STUDY  
FOR #415 WOLFE STREET  
SCALE 1"=30'

South Royal Street		
Address #	Street name	Setback From Prop. Line Approx.
404	Duke Street	29.5
303	South Royal Street	42.1
305	South Royal Street	41.6
307	South Royal Street	0.0
309	South Royal Street	0.0
311	South Royal Street	7.7
313	South Royal Street	7.2
315	South Royal Street	6.6
317	South Royal Street	20.1
AVERAGE =		17.2

29.5'

42.1'

41.6'

#307  
ON LINE  
#309

7.7'

7.2'

6.6'

20.1'

FACE OF  
CURB

SOUTH ROYAL STREET

MONUMENT LINE

100.0'

#415 WOLFE  
STREET

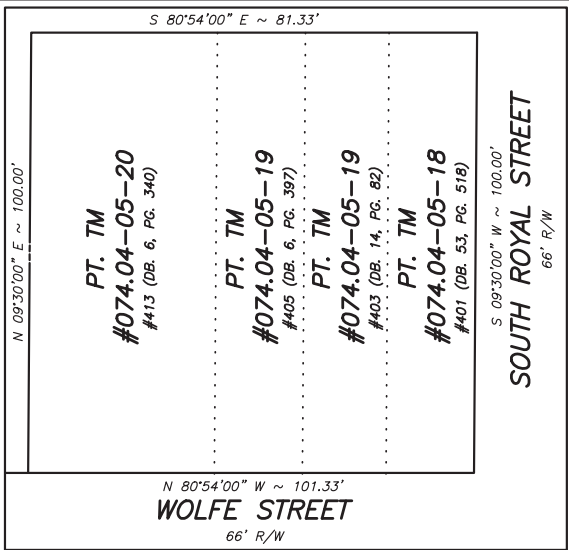
VISION  
CLEARANCE  
LINE

WOLFE STREET

MONUMENT LINE

100.0'





PARCEL DETAIL  
SCALE: 1" = 20'

GRADING NOTES TO CONTRACTOR:

1. SITE WORK CONTRACTOR TO FIELD CHECK FINAL GRADING TO ENSURE THE DEVELOPMENT IS GRADED IN ACCORDANCE WITH THE APPROVED SITE DEVELOPMENT/GRADING PLAN.
2. CONTRACTOR TO ENSURE POSITIVE DRAINAGE ACROSS ALL SURFACES TO PRECLUDE THE PONDING OF WATER, EITHER IN YARDS OR ON PAVED SURFACES. THIS DOES NOT APPLY TO PONDING ASSOCIATED WITH STORMWATER MANAGEMENT FACILITIES.
3. A SMOOTH GRADE SHALL BE MAINTAINED ACROSS ALL PAVEMENT SURFACES TO PRECLUDE THE FORMING OF FALSE GUTTERS AND / OR THE PONDING OF ANY WATER IN THE ROADWAY. FINISHED PAVING SURFACES SHALL BE FLUSH WITH ABUTTING SURFACES AT THE SAME ELEVATION (i.e. GUTTERS, SIDEWALKS, APRONS, ETC.).
4. THE SUB-BASE OF ALL PARKING AREAS AND TRAVEL LANES ON SITE SHALL BE PROOF ROLLED PRIOR TO THE PLACEMENT OF ANY PAVING MATERIALS TO IDENTIFY ANY AREAS OF INADEQUATE OR STRUCTURALLY UNSATISFACTORY MATERIAL THAT MUST BE UNDERCUT.
5. ANY PROPOSED STRUCTURAL FILL MATERIALS MUST HAVE APPROVAL OF THE PROJECT GEOTECHNICAL CONSULTANT PRIOR TO PLACEMENT AND COMPACTION. FILL MATERIALS SHALL BE COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERS SPECIFICATIONS AND UNDER HIS/HER GUIDANCE.

LEGEND

LIMITS OF CLEARING AND GRADING	---
PROPOSED DOWNSPOUT LOCATIONS	○
DRAINAGE PATH	→
EXISTING GRADE	64.3
PROPOSED GRADE	63.4
TO BE REMOVED	T.B.R.
TO BE SAVED	T.B.S.

KEY DESCRIPTIONS VIRGINIA  
UNIFORM CODING SYSTEM

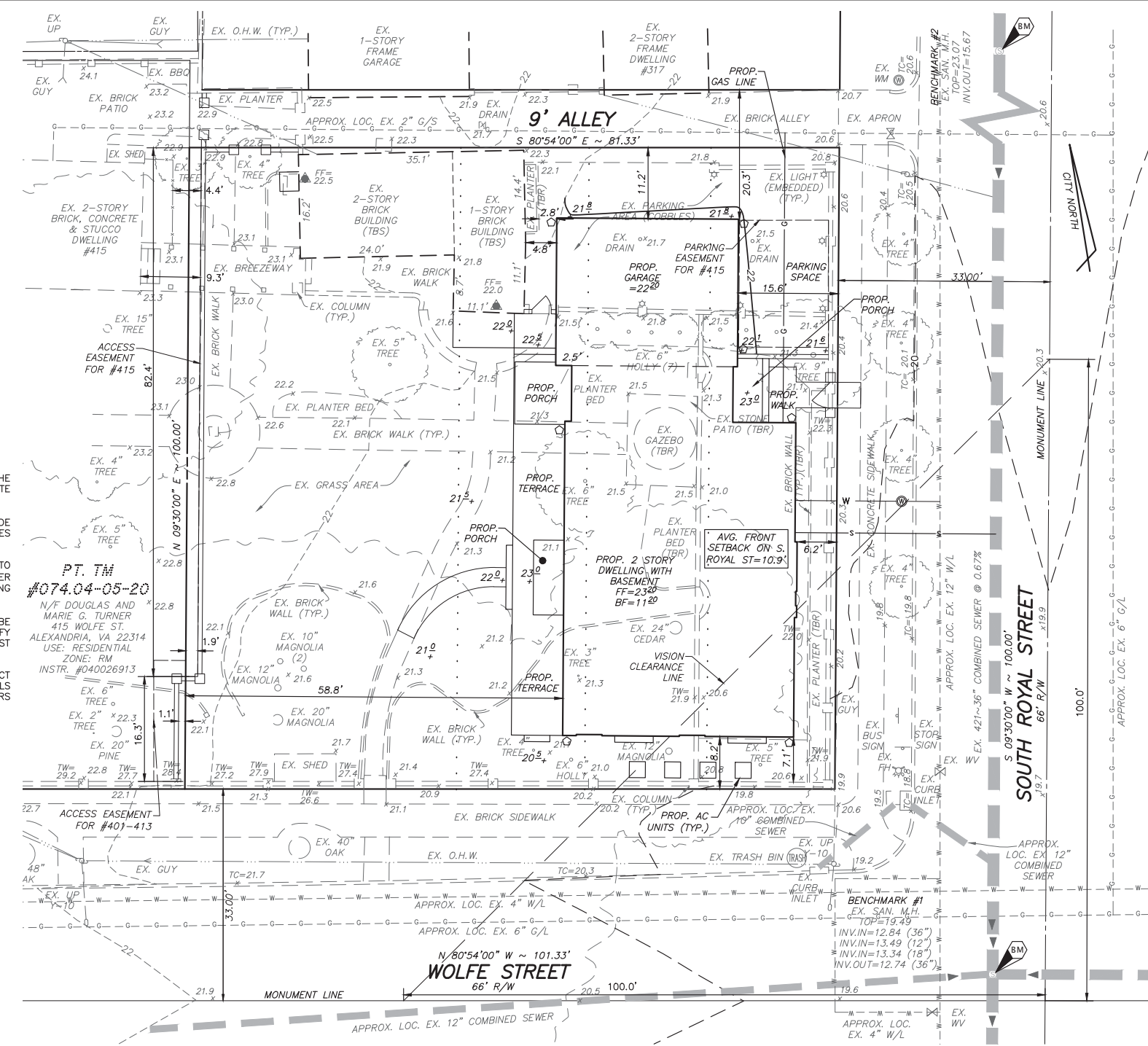
ⓈF	—SF—SF—SF—	SILT FENCE STD. & SPEC. 3.05
ⓈP	—TP—TP—TP—TP—	TREE PROTECTION STD. & SPEC. 3.38
ⓈS	ⓈS	PERMANENT SEEDING STD. & SPEC. 3.32
ⓈE	ⓈE	CONSTRUCTION ENTRANCE STD. & SPEC. 3.02

LEGEND

ITEM	EXISTING	PROPOSED
CURB & GUTTER	=====	=====
CONC. WALK	-----WALK-----	-----WALK-----
FIRE HYDRANT	○	○
STRUCTURES	=====	=====
WATER MAINS	---W---W---W---	---W---W---W---
GAS MAINS	---G---G---G---	---G---G---G---
TELEPHONE LINES	---T---T---T---	---T---T---T---
STORM SEWER	=====	=====
SANITARY SEWER	-----	-----
PAVING	=====	=====
FENCES	---X---X---X---	---X---X---X---
POWER LINES	=====	=====
SPOT ELEVATIONS	+124.5	+124.5
CONTOURS	-----124-----	-----124-----
BUILDING ENTRANCES	▽	▽
LIMITS OF DISTURBANCE	-----	-----

TEXT LEGEND

* = DEGREES ' = MINUTES (OR FEET) " = SECONDS (OR INCHES) % = PERCENT SQ = SQUARE FEET # = NUMBER AT = AT lbs. = POUNDS ARC = ARC ADA = AMERICANS W/ DISABILITIES ACT = ACT BF = BASEMENT FLOOR BLDG. = BUILDING BOL. = BOLLARD CATV = CABLE UTILITY CL = CLASS CLR = CLEARANCE CMP = CORRUGATED METAL PIPE C.I. = CURB INLET C.O. = CLEAN OUT C&G = CURB & GUTTER DSP = DEVELOPMENT SITE PLAN DU = DWELLING UNIT E = EAST FDC = FIRE DEPT. CONNECTION	FF = FINISH FLOOR FH = FIRE HYDRANT FL = FEET GL = GROUND LIGHT G/V = GAS VALVE G/M = GAS METER G.I. = GRATE INLET H.C. = HEADER CURB HDGP = HANDICAP HDPE = HIGH DENSITY POLYETHYLENE HPS = HIGH PRESSURE SODIUM IPF = IRON PIPE FOUND INV.=INVERT L = LUMENS LOC.= LOCATION LP = LIGHT POLE MAX.= MAXIMUM MH = MANHOLE MIN.= MINIMUM MPH= MILES PER HOUR MW= MONITORING WELL N= NORTH OHW= OVERHEAD WIRE PN = PANEL W/M= WATER METER PVC= POLYVINYL CHLORIDE	R= RADIUS RCP= RE-ENFORCED CONCRETE PIPE RELOC. = RELOCATED RET.= RETAINING RESID.= RESIDENTIAL R/W= RIGHT-OF-WAY S= SOUTH SAN.= SANITARY SEWER S.F.=SQUARE FEET SQ.FT.= SQUARE FEET STM.= STORM SEWER STR.= STRUCTURE SUB= SUBDIVISION PLAN TBR = TO BE REMOVED TBS = TO BE SAVED T.O.A.= TOP OF CURB TOW = TOP OF WALL TRAF.SIG.=TRAFFIC SIGNAL TYP.= TYPICAL VCS= VIRGINIA COORDINATE SYSTEM W= WATT W= WEST W.S.E.= WATER SURFACE ELEVATION W/V= WATER VALVE W/M= WATER METER W.W.= WINDOW WELL
--	---	--



PLANTING SCHEDULE

LEGEND	QUAN.	BOTANICAL NAME	COMMON NAME	CULTVAR(S)	COVER EACH	COVER TOTAL	SIZE AND COMMENTS
ⓈQ	1	QUERCUS ACCUTISSIMA	SAWTOOTH OAK	-	750 SQ.FT.	750 SQ.FT.	2" CALIPER

TOTAL COVER PLANTED ON-SITE: 750 SQ.FT.

SETBACK REQUIREMENTS FOR DWELLING

BUILDING SIDE	AVERAGE GRADE	BUILDING HEIGHT	ZONING SETBACK	SETBACK REQUIRED	SETBACK PROVIDED
FRONT-(WEST WYATT AVE)	N/A	N/A	N/A	MATCH EX.	14.5'
REAR	49.0 (EX)	24.8'	1:1, MIN. 7'	24.8'	26.4'
SIDE-(WEST)	49.4 (EX)	21.2'	1:3, MIN. 7'	7.1'	9.1'
SIDE-(EAST)	48.5 (EX)	22.1'	1:3, MIN. 7'	7.4'	12.7'

EXISTING CONDITIONS SURVEY NOTES:

1. UTILITY INFORMATION, AS SHOWN ON THIS PLAN, IS TAKEN FROM THE RECORDS AND/OR FIELD SURVEY COMPLETED AND CANNOT BE GUARANTEED. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.
2. LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR/ENGINEER SHOULD DIG TEST PITS BY HAND AT ALL UTILITY CROSSINGS TO VERIFY EXACT LOCATION.

PROJECT NARRATIVE:

THIS PROJECT PROPOSES A 2-STORY DWELLING WITH A BASEMENT, FRONT PORCH, TERRACE, AND PARKING AREA. THIS 0.2326 AC SITE IS LOCATED IN THE RM ZONE AND IS SERVED BY PUBLIC SEWER AND WATER. NO RESOURCE PROTECTION AREAS (RPA) OR FLOODPLAINS ARE ON THIS SITE.

GENERAL NOTES:

1. TAX MAP: #074.04-05-18, #074.04-05-19, #074.04-05-20
2. ZONE: RM  
SETBACKS: F = MATCH EXISTING SETBACK (EXISTING LANDSCAPE WALL)  
S = 5 FEET MINIMUM  
R = 1:2 BUILDING HEIGHT, 16 FEET MINIMUM  
(SEE SETBACK REQUIREMENT TABLE THIS SHEET)
3. TOTAL SITE AREA = 10,133 S.F. OR 0.2326 AC.
4. IMPERVIOUS AREA CALCULATIONS:  
EXISTING IMPERVIOUS AREA: 3,460 S.F. OR 0.0794 AC  
EXISTING IMPERVIOUS AREA (T.B.R.): XXXX S.F. OR X.XXX AC  
PROPOSED IMPERVIOUS AREA: XXXX S.F. OR X.XXX AC  
TOTAL IMPERVIOUS AREA: XXXX S.F. OR X.XXX AC  
PERCENT IMPERVIOUS AREA: 40.5%
5. TOTAL DISTURBED AREA = 4,429 S.F. OR 0.1017 AC
6. ALL CONSTRUCTION VEHICLES SHALL LEAVE THE SITE VIA THE CONSTRUCTION ENTRANCE SHOWN ON THIS SHEET. WATER PROVIDED BY THE CONTRACTOR WILL BE USED TO CLEAN ALL VEHICLES PRIOR TO ENTERING THE PUBLIC RIGHT-OF-WAY. A SETTLING BASIN TO BE USED FOR WASH WATER SHALL BE INSTALLED IF THE INSPECTOR DEEMS IT NECESSARY.
7. THE PROPOSED DWELLING SHALL UTILIZE A PROPOSED DOMESTIC WATER SERVICE AND SANITARY LATERAL AS SHOWN ON THIS PLAN. BASED ON AVAILABLE INFORMATION, THE BASEMENT WILL NOT BE SEWERED BY GRAVITY.
8. FOR CLARITY PURPOSES, SILT FENCE, TREE PROTECTION FENCE, AND THE PROPOSED LIMITS OF DISTURBANCE ARE SHOWN SEPARATELY ON THIS PLAN. IN THE FIELD, TREE PROTECTION AND SILT FENCE WILL BE PLACED ALONG THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN.
9. TREE PROTECTION TO BE PROVIDED WHERE SILT FENCE IS NOT ADEQUATE. PROTECTION WILL BE INSTALLED AS CLOSE AS POSSIBLE TO THE DRIP LINE OF THE TREES TO BE SAVED. CONSULT INSPECTOR AT BEGINNING OF CONSTRUCTION. TREE PROTECTION FENCING MUST BE ESTABLISHED AND APPROVED BY THE CITY ARBORIST BEFORE ANY CLEARING OR CONSTRUCTION CAN BE STARTED.
10. ALL TREES ARE TO BE SAVED UNLESS OTHERWISE NOTED.

ARCHAEOLOGY NOTES:

THE APPLICANT/CONTRACTOR SHALL CALL ALEXANDRIA ARCHAEOLOGY (703-746-4399) TWO WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT AN INSPECTION OR MONITORING SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED.

THE APPLICANT/CONTRACTOR SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS. ALEXANDRIA ARCHAEOLOGY WILL RESPOND AS QUICKLY AS POSSIBLE TO REPORTS OF FINDS SO AS NOT TO DELAY THE PROJECT.

THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

FURTHERMORE, ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

LIMITS OF DISTURBANCE:

THE LIMITS OF DISTURBANCE AS SHOWN ON THIS PLAN ARE THE ULTIMATE LIMITS FOR THE PROJECT. THE CONTRACTOR MUST APPLY SEPARATELY TO THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES (T&ES) FOR ANY WORK, INCLUDING THE PLACEMENT OF CONSTRUCTION FENCING, WITHIN THE PUBLIC RIGHT OF WAY. THE CITY WILL NOT ALLOW INCLUSION OF ANY PORTION OF THE PUBLIC RIGHT OF WAY, INCLUDING SIDEWALKS, INTO THE PROJECT AREA FOR THE PROJECT DURATION. WORK AND ASSOCIATED CLOSURES IN THE PUBLIC RIGHT-OF-WAY WILL BE PERMITTED SEPARATELY ON AN AS NEEDED BASIS BY T&ES.

TOPOGRAPHY NOTE:

THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF DARRYL E. BOWSER, LS FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON 14 OCTOBER 2015; AND THIS PLAT, MAP OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

CROWN COVER CALCULATIONS

TOTAL SITE AREA	10,133 SQ. FT.
REQUIRED CROWN COVER (25%)	2,533 SQ. FT.
EXISTING CROWN COVER	3,225 SQ. FT.
REMOVED CROWN COVER	2,171 SQ. FT.
CROWN COVER TO BE PLANTED	1,500 SQ. FT.
CROWN COVER PROVIDED	2,554 SQ. FT. OR 25.2%

PLAN NUMBER \_\_\_\_\_

APPROVED DATE \_\_\_\_\_

Director of Transportation and Environmental Services

DRAFT

GRADING PLAN  
THE PROPERTIES LOCATED ON  
**WOLFE STREET**  
CITY OF ALEXANDRIA, VIRGINIA  
(D.B. 118, PG. 86, DB. 118, PG 44 & DB. 77, PG. 315)



SOUTH ROYAL STREET ELEVATION- AFTER

- 1 Windows and Faux window on center replaced by in-filled window and archway located in center of where landing may have been located.
- 2 Entry porch columns replaced with 6" post with chinoiserie pattern between post.
- 3 Granite watertable eliminated at garage.
- 4 Garage windows reduce in scale and height.
- 5 Garage stone lintels replaced with brick jack arches.
- 6 Eave window changed from oval to round to maintain a hierarchy in main house and as a nod to the round windows in the existing dependencies.
- 7 Overall height of garage building lowered 1'-0".
- 8 Modillions removed from cornice of garage, overall entablature simplified and overhang of garage roof reduced



SOUTH ROYAL STREET ELEVATION- BEFORE

## SOUTH ROYAL STREET ELEVATION

401~415 WOLFE STREET

OLD TOWN ALEXANDRIA, VIRGINIA

  
FRANCK & LOHSEN  
ARCHITECTS

*Ownership and use of documents, drawings and specification, as instruments of professional service, are and shall remain the property of the Architect.  
These documents are not to be used in whole or in part, for any project or purpose whatsoever, without the prior specific written authorization of Franck & Lohsen, Architects, Inc.*

Sheet  
Scale: Not to Scale  
Date issued : Feb 19, 2016





GARDEN ELEVATION - AFTER



GARDEN ELEVATION - BEFORE

- 1 Column changed from square to round and entasis added.
- 2 Entry porch columns replaced with 6" post with chinoiserie pattern between post.
- 3 Granite watertable eliminated at garage.
- 4 Garage windows reduce in scale and height.
- 5 Garage stone lintels replaced with brick jack arches.
- 6 Eave window changed from oval to round to maintain a hierarchy in main house and as a nod to the round windows in the existing dependencies.
- 7 Overall height of garage building lowered 1'-0".
- 8 Modillions removed from cornice of garage, overall entablature simplified and overhang of garage roof reduced.
- 9 Roof on hyphen and adjacent porches significantly lowered.



FRANCK & LOHSEN  
ARCHITECTS

## GARDEN ELEVATION

401~415 WOLFE STREET  
OLD TOWN ALEXANDRIA, VIRGINIA

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Sheet

Scale:

Date issued :

Not to Scale

Feb 19, 2016



- 1 Dormers on garage simplified to reinforce hierarchy with mainhouse
- 2 Entry porch columns replaced with 6" post with chinoiserie pattern between post.
- 3 Granite watertable eliminated at garage.
- 4 Garage door adjusted to add vertical pieces between each of 3 pairs of doors.
- 5 Stone lintel over door replaced with wood entablature.
- 6 Overall height of garage building lowered 1'-0".

ALLEY ELEVATION - AFTER



ALLEY ELEVATION - BEFORE



BEFORE



AFTER

## SOUTH ROYAL STREET CENTER BAY

401~415 WOLFE STREET

OLD TOWN ALEXANDRIA, VIRGINIA



BEFORE



AFTER

## SOUTH ROYAL STREET ENTRY PORCH COLUMNS

401~415 WOLFE STREET

OLD TOWN ALEXANDRIA, VIRGINIA

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FRANCK & LOHSEN  
ARCHITECTS

Sheet

Scale:

Date issued :

#2

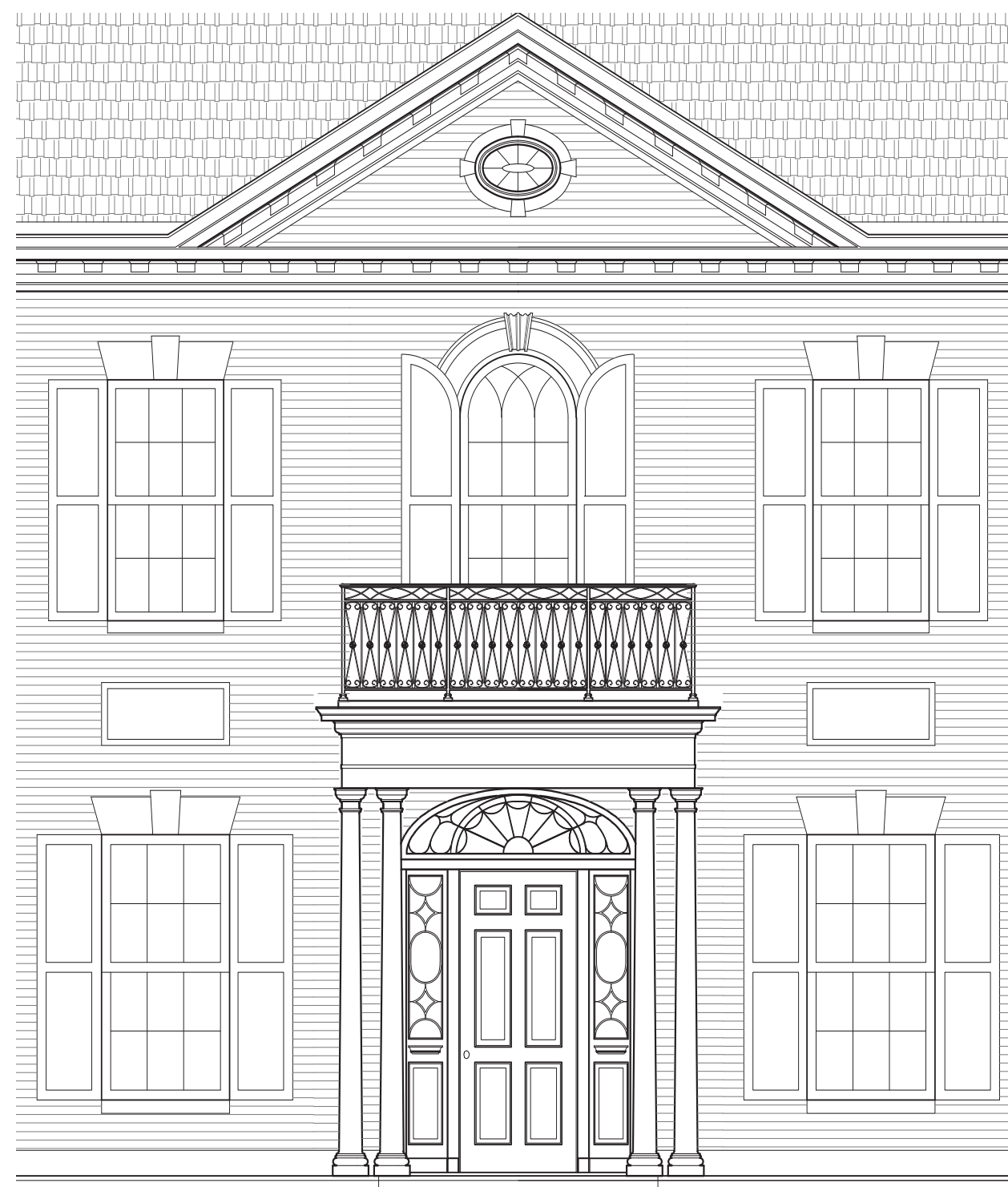
Not to Scale

Feb 19,2016





BEFORE



AFTER

## GARDEN ENTRY PORCH COLUMNS

401~415 WOLFE STREET

OLD TOWN ALEXANDRIA, VIRGINIA

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## GARAGE HEIGHT

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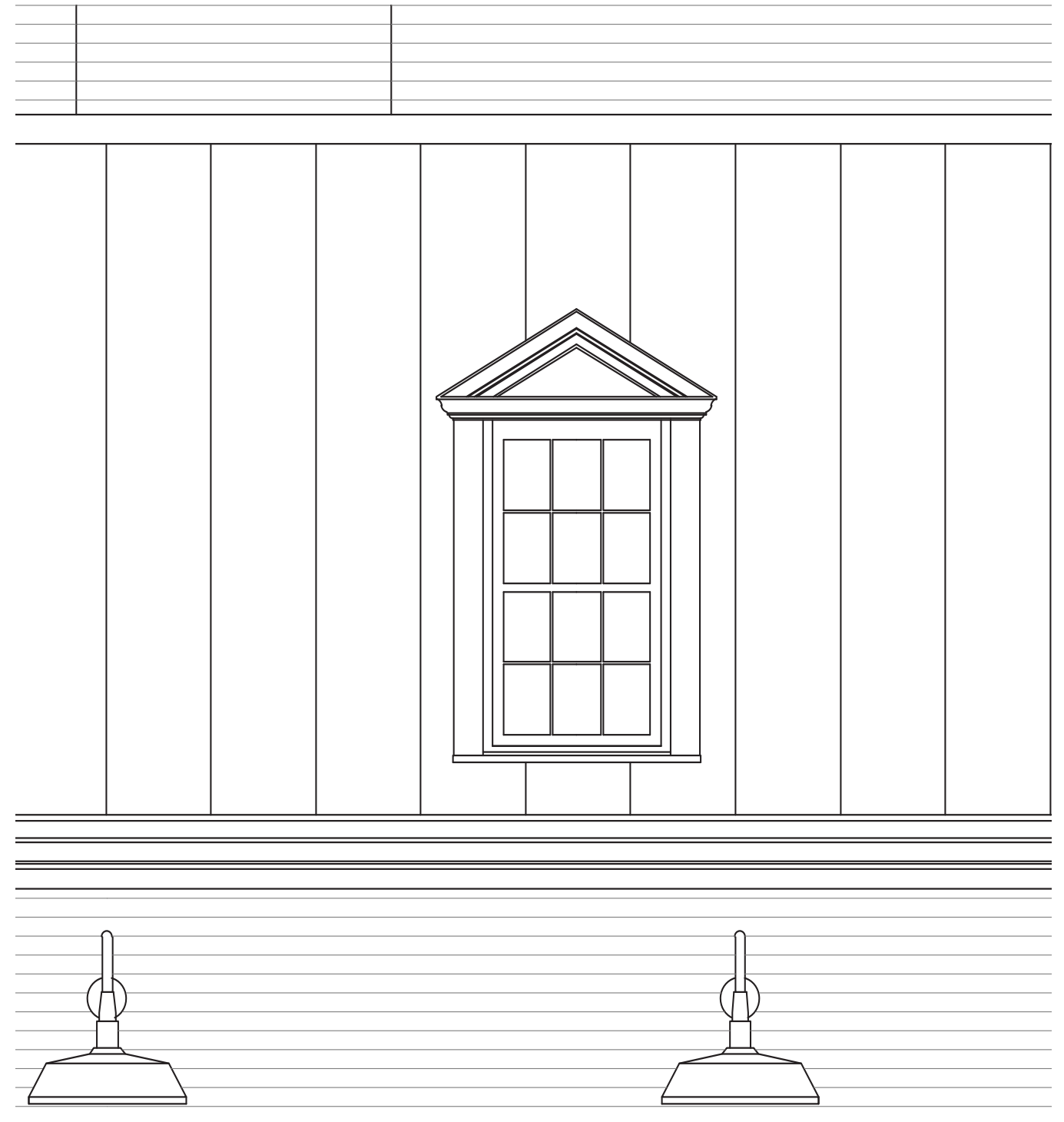
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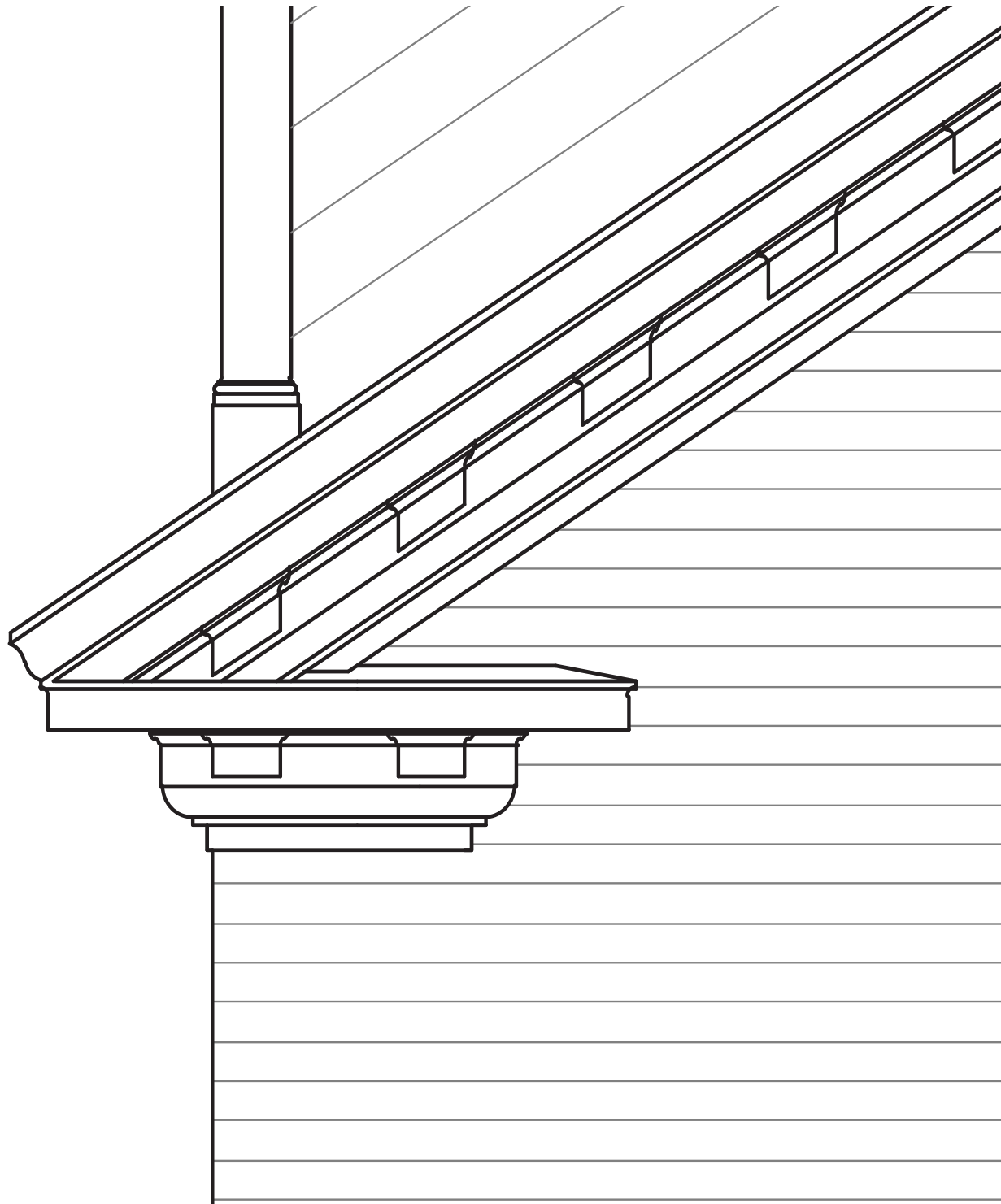


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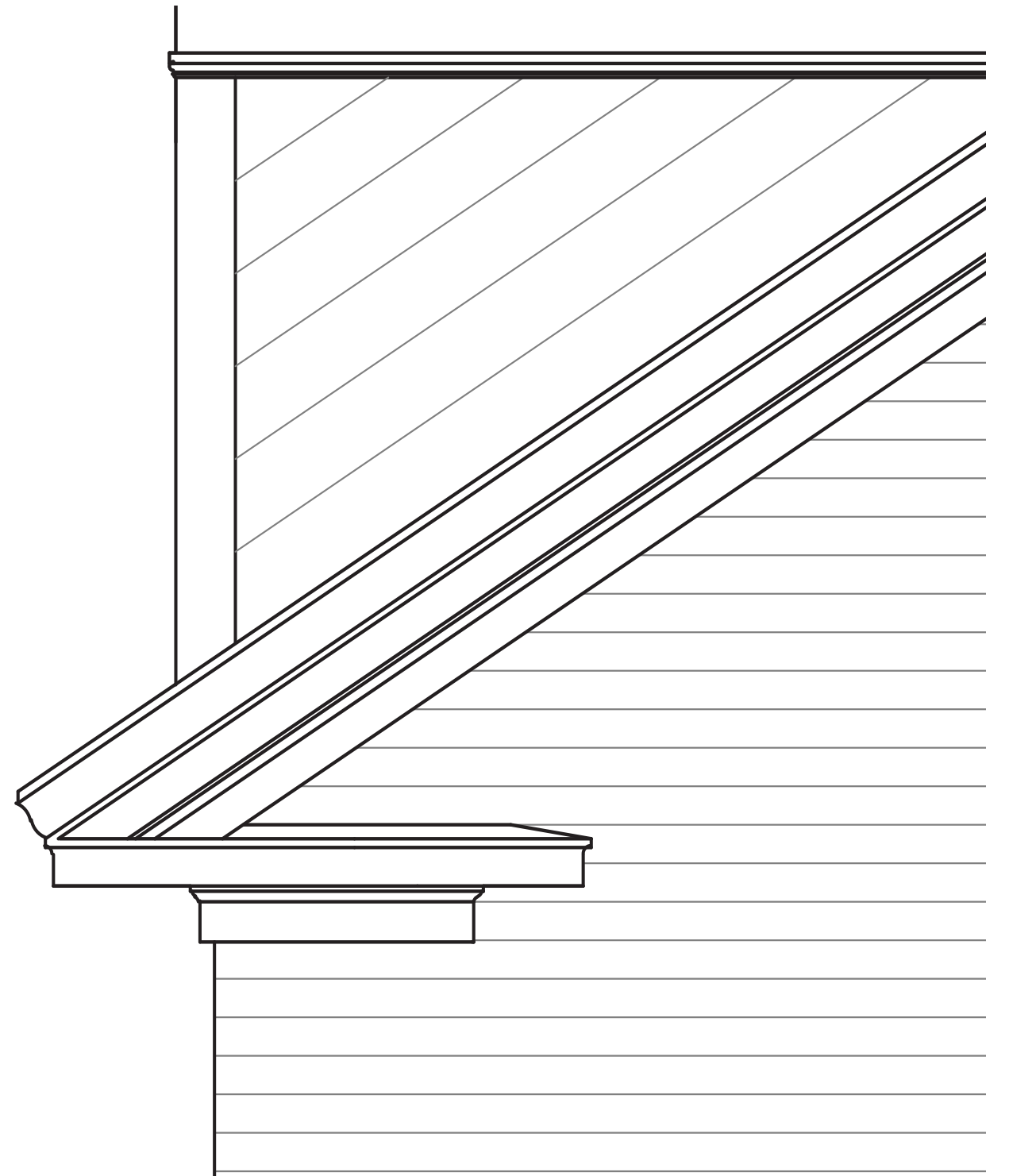
## GARAGE DORMERS

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## GARAGE MODILLIONS AND OVER HANG

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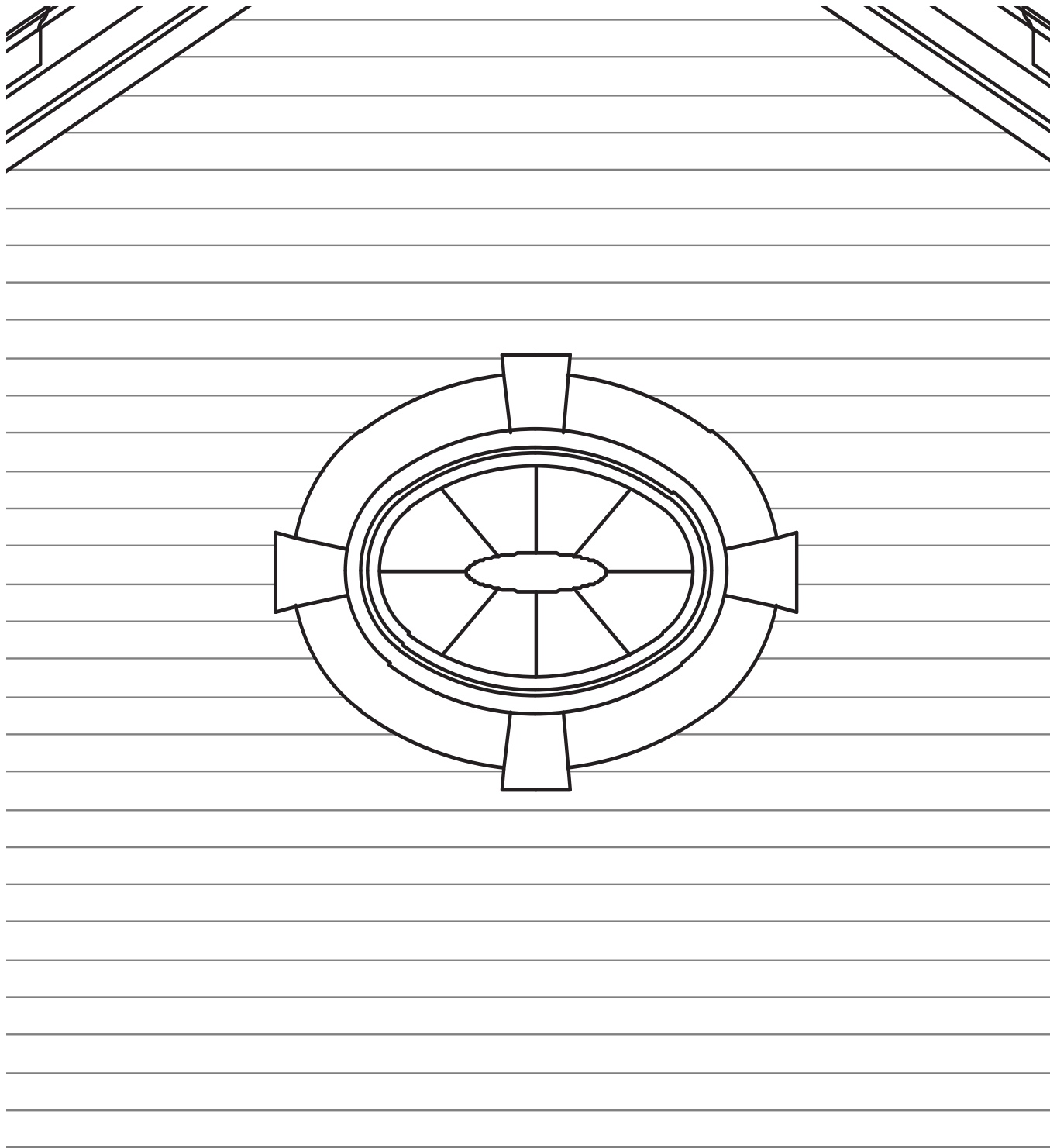
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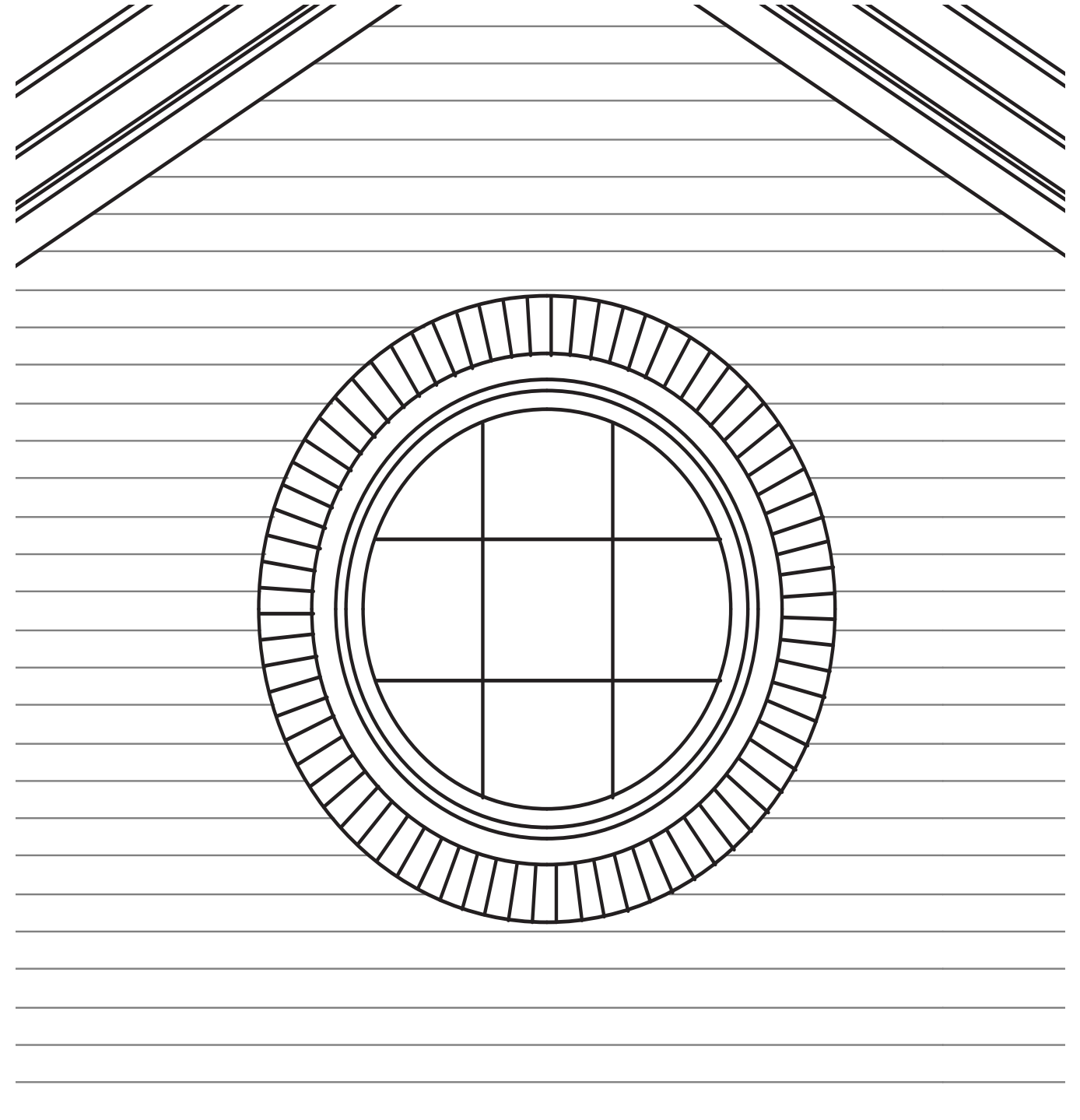
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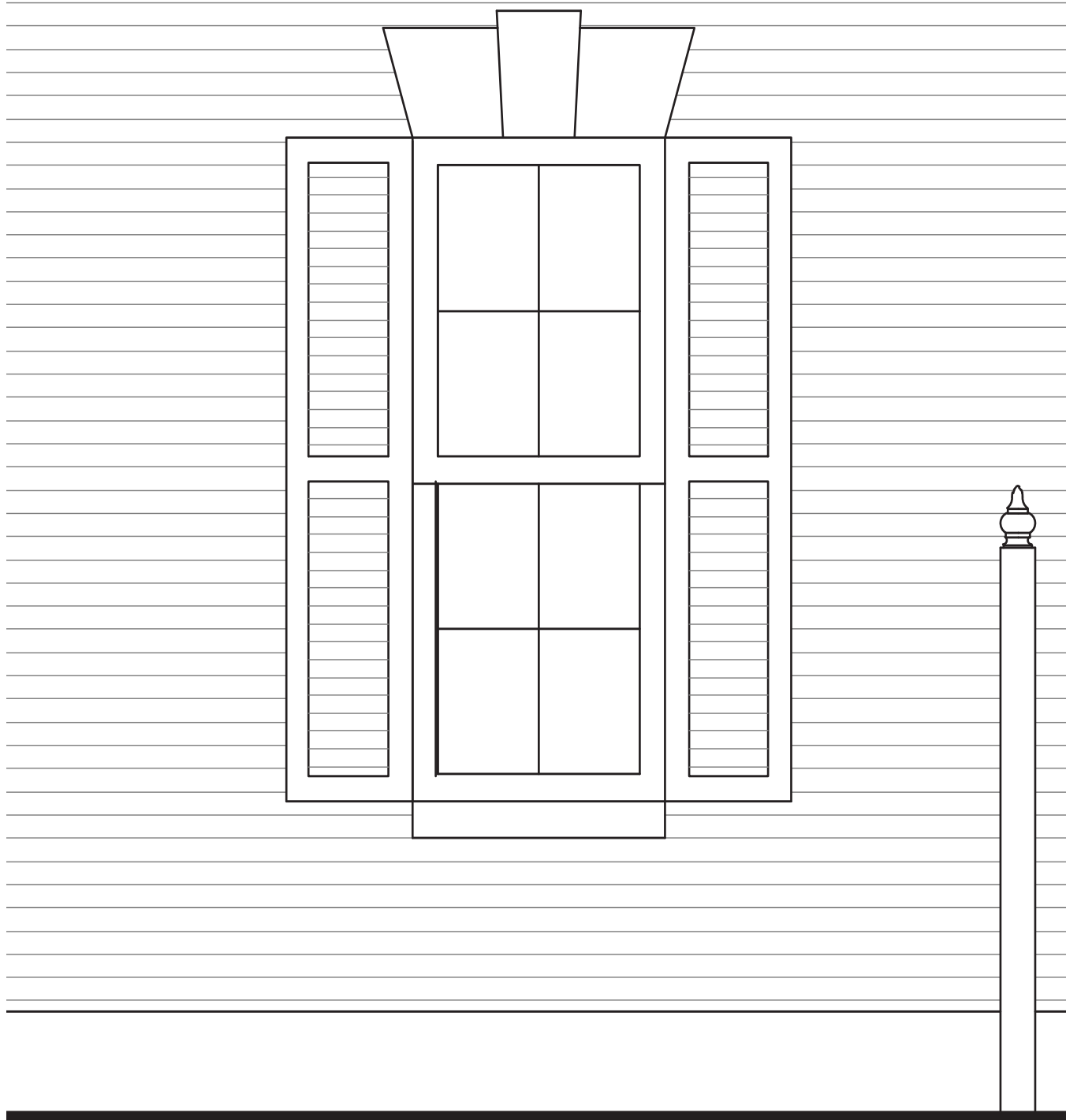


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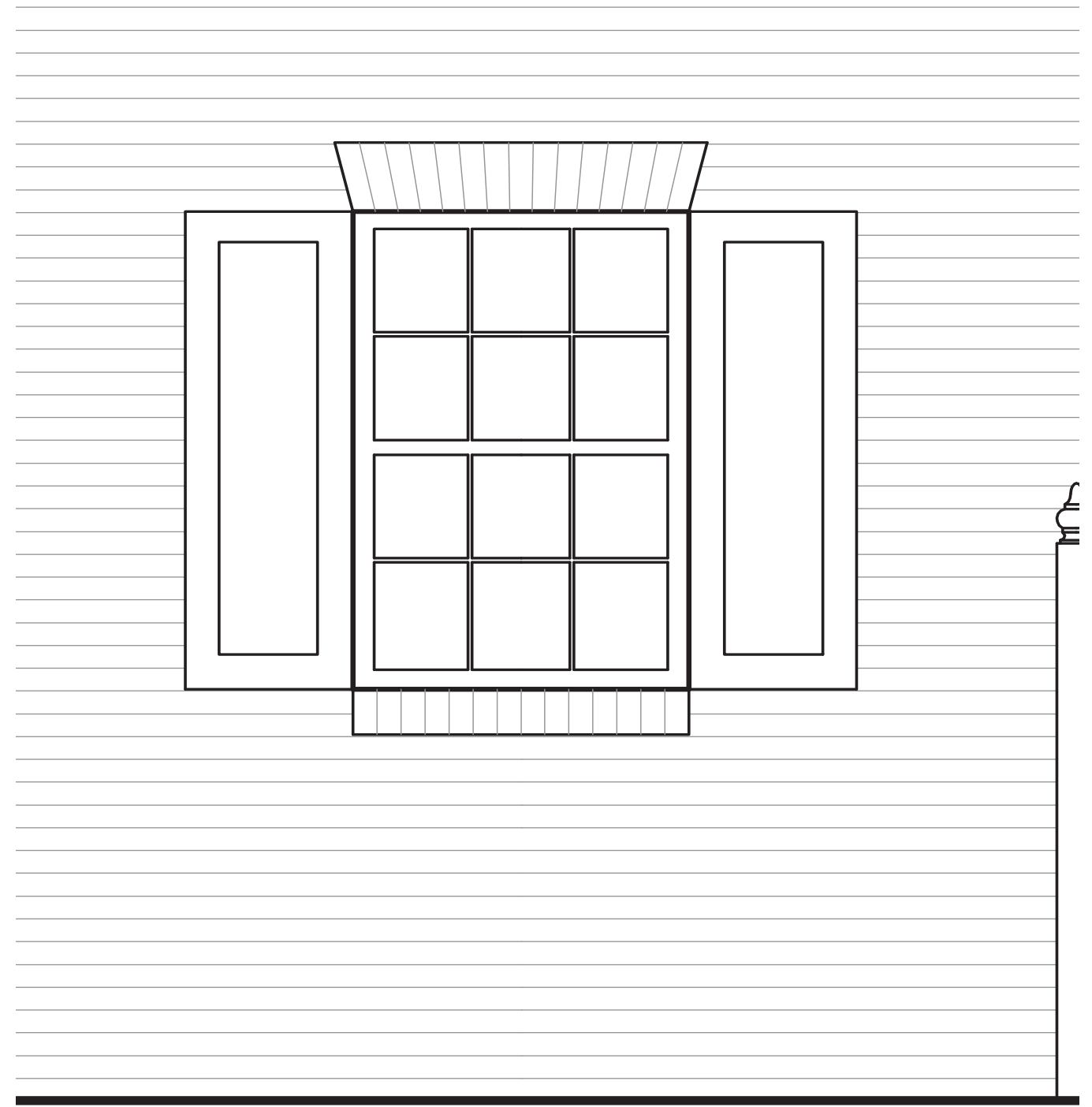
## EAVE WINDOWS GARAGE

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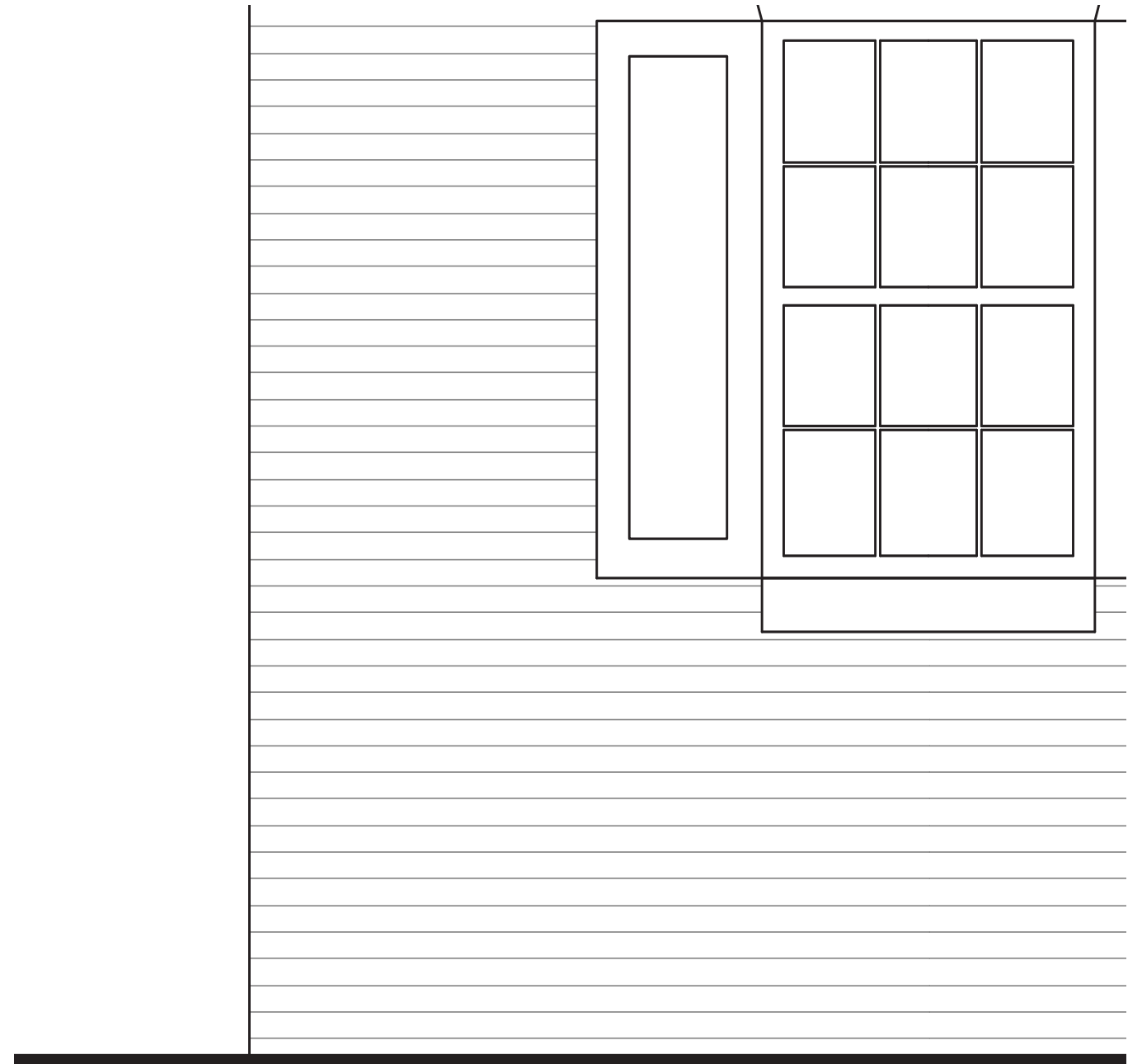
## GARAGE WINDOWS

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# WATER TABLE

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