

BAR Meeting  
February 17, 2016

**ISSUE:** Permit to Demolish/Capsulate and Certificate of Appropriateness (new Constriction and alterations)

**APPLICANT:** Gregory and Candy Fazakerley (401-413 Wolfe Street)  
Douglas and Grace Marie Turner (415 Wolfe Street)

**LOCATION:** 401-415 Wolfe Street

**ZONE:** RM/Residential

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**STAFF RECOMMENDATION**

Staff recommends approval of the Permit to Demolish/Capsulate and Deferral of the Certificate of Appropriateness with the following conditions:

1. Restudy the architectural hierarchy of the specific building details listed in the Items for Restudy section of this report and return to the BAR for final approval.
2. Permit Alexandria Archaeology the opportunity to conduct small-scale archaeological testing on the 401 Wolfe St. lot and a portion of the 403 Wolfe St. lot prior to the initiation of the construction project. This would be at no cost to the applicant and would not entail any delays to the construction project. This would allow Alexandria Archaeology to collect information and record archaeological evidence about this particular spot in Alexandria. Please contact Garrett Fesler at 703.746.4399 or email [garrett.fesler@alexandriava.gov](mailto:garrett.fesler@alexandriava.gov)
3. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Demolition, Basement/Foundation plans, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
  - a. Contact Alexandria Archaeology (703-746-4399) two weeks prior to any ground disturbing activity (such as coring, grading, filling, vegetation removal, under-grounding utilities, pile driving, landscaping and other excavations as defined in Section 2-151 of The Zoning Ordinance) on this property. City archaeologists will provide on-site inspections to record significant finds.
  - b. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development.

Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

- c. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

## **GENERAL NOTES TO THE APPLICANT**

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR2016-00016 & BAR2016-00017



**Note:** *Staff coupled the reports for BAR #2016-0016 (Permit to Demolish/Capsulate) and BAR #2016-0017 (Certificate of Appropriateness) for clarity and brevity. This item requires a roll call vote.*

## **I. ISSUE**

The applicant is requesting approval of a Permit to Demolish/Capsulate and a Certificate of Appropriateness for a number of alterations and new construction at the properties formerly addressed as 401, 403, 405, 413 and 415 A & B Wolfe Street. The four lots on the eastern half of the property, 401-413 Wolfe, have recently been sold and a new house is proposed on that portion of the property. For the purposes of this report, the existing historic house will continue to be referenced as 415 Wolfe. The proposed new house will hereafter be referenced as 401 Wolfe.

### **Demolition/Capsulation**

#### *415 Wolfe Street*

The majority of the ca.1930 covered breezeway connecting the historic house at 415 Wolfe Street with the existing two-story carriage house will be demolished. The section of the breezeway closest to the door will be retained to provide a covered entrance to the house.

#### *401 Wolfe Street*

Some of the existing brick walls around the property will be demolished, while the one along South Royal Street will be temporarily dismantled and reconstructed.

- The majority of the existing brick wall on South Royal Street will be dismantled to allow for the construction of the new house. After the construction of the house, the majority of the wall will be reconstructed – using the existing bricks.
- The brick wall in the alley between the Royal Street wall and the parking area will be demolished to provide access to required parking.
- The low brick wall topped with fencing that separates the existing parking pad from the yard will be demolished.
- The brick wall with the iron gate at the end of the carriage house which currently provides access to 415 Wolfe Street will be demolished and new gates will be installed after the construction of the new house.

### **Alterations**

The existing property line that will divide the two large properties runs through the existing ca.1930 breezeway that now connects the historic house at 415 Wolfe Street to the historic outbuilding. The majority of this breezeway will be demolished, with the exception of one bay abutting the house at 415 Wolfe. The exposed gable end of the remaining bay will be finished to create a small, pedimented portico at this entrance. Aside from alterations to the garden walls noted above, no other work is proposed for 415 Wolfe. The historic carriage house wall will be

repaired where the breezeway roof was attached and this structure becomes an accessory building serving the property at 401 Wolfe.

The applicant also proposes to re-roof the carriage house and other outbuildings with zinc coated copper standing seam roofing.

### New Construction

The new Federal style brick house at 401 Wolfe Street will be two-and-a-half stores in height and five bays wide with a hipped slate roof and double flanking chimneys on each end with an attached garage. The house will contain roughly 4,750 square feet of living space. The footprint of the house will measure roughly 36' wide and 80' deep, and is set back 5' from the South Royal Street property line and 8.2' from Wolfe Street. The house will be 31'- 5" high, as measured to the mid-point of the roof.

The formal front entrance to the house will be centered on the west façade, facing the garden. There will be a second entrance off of the garden adjacent to the garage and another on South Royal Street. The attached one-and-a-half story garage will be accessed from the adjacent private alley, while a third surface parking space will be provided adjacent to the garage to the east. A one-story hyphen will connect the house with the garage.

### *West Elevation*

The main entry to the house is centered on the west elevation, with a six-panel wood door flanked by decorative sidelights and an elliptical fan light. A portico surrounds the door with triple Doric columns and a decorative metal balustrade above the cornice. The symmetrical five-bay elevation will have double-hung six-over-six wood windows under keystone stone lintels with flanking paneled wood shutters. The central bay will have an arched window on the first floor under a pediment with an oculus window. Recessed stone panels are centered between the first and second floors on all of the elevations of the house. The house will have a modillion wood cornice. The second entrance under a hipped roof portico will be located on the west elevation in the location of the hyphen, immediately adjacent to the garage. The portico will have triple columns and a six-panel door surrounded by a simple transom and sidelights. The west elevation of the garage will have four-over-four double hung windows with shutters on the first floor, and an oculus window on the gable end. The same modillion cornice on the house will also be on the garage.

### *East Elevation*

Like the front façade, this elevation is also symmetrical, but with two gable dormers with arched sash windows projecting from the hipped roof. The central projecting bay will have a shuttered window flanked by a four-over-four window with shutters. A third entrance to the house is also located at the hyphen facing South Royal Street. The portico will be supported by triple columns and have a hipped metal roof. The east garage elevation will have two double-hung windows with shutters on the first floor and an oculus window on the gable end.

### *North Elevation*

The most prominent feature of the north elevation will be the two-car garage, with carriage-style overhead garage doors. Two pedimented dormers matching the main house project from the side gable roof. The north elevation of the main block of the house will have two, second floor, four-over-four windows with flanking shutters. The two chimneys on this elevation will also be visible from South Royal Street.

#### *South Elevation*

The south elevation faces Wolfe Street and will be visible above the existing 6' masonry garden wall. The two prominent chimneys on this elevation will be visible, as will two double-hung windows with shutters and stone lintels on the second floor. The first floor will have false windows with closed shutters.

#### Materials

The following materials are proposed and samples will be provided for the Board's review at the hearing.

#### *Brick*

Main Block: Belden Brick Mod Belcrest 560 A  
Garage/Hyphen: Redland Brick #463 Old Mystic  
Interior property line wall: Belden Brick Mod Belcrest 760 A  
Royal Street wall: Wall to be demolished, brick saved and re-used

#### *Roofing*

Slate: Buckingham Slate  
Metal: Revere "Freedom Gray" zinc coated copper

#### *Windows*

Wood, simulated divided light with spacer bar

#### *Doors*

Wood, simulated divided lite with spacer bar

#### *Fencing*

Metal

#### *Lighting*

Garden Entry: French Quarter Light on Gooseneck by Bevolo  
Entry Gate: French Quarter Light on Column Mount by Bevolo  
Entry above Porch Ceiling: Ceiling Light by Bevolo  
Garage: French Quarter Light on Yoke by Bevolo

#### *Potential Paint Colors*

Front Door: Farrow & Ball "Stiff Key Blue"  
Cornice, Exterior Trim: Benjamin Moore "White Dove"

Shutters: Benjamin Moore “Ebony King”

### Site Improvements

The applicant proposes to install a new 6’ brick wall generally following the property line between 415 Wolfe Street and 401-413 Wolfe Street. The wall will jog slightly on the south end of the wall in order to tie it in with an existing brick pier.

After the construction of the new house, the applicant will use the brick salvaged from the dismantled wall on South Royal Street to reconstruct the wall. The portion closest to the alley will be a full 6’ in height like the existing fence, while the portion immediately in front of the house will have a low brick wall topped with a decorative metal fence. The total height of the wall will also be 6’.

## **II. HISTORY**

The residential structure at 415 Wolfe Street is a freestanding two-story brick flounder, center hall plan townhouse whose nucleus dates from ca. 1788, according to Ethelyn Cox in *Alexandria Street by Street*. The east wing and loggia were largely reworked by Ward Brown in ca. 1930. Brown was a prominent local architect classically trained in Paris at the Ecole des Beaus-Arts and was largely responsible for the 1930 proposal for the restoration of the 100 block of Prince Street that served as an early impetus for the renovation of private buildings in Old Town. He was the first appointed architect member of the Old & Historic Alexandria District Board of Architectural Review when it was established in 1946.

The owners of the house at 415 Wolfe Street formerly owned all six lots that occupy the large property at the corner of South Royal and Wolfe Streets (addressed 401-415) and will retain the two lots to the west. The four lots on the eastern half of the parcel were recently sold and will be consolidated to construct this new single family house. Two dwellings and commercial buildings formerly occupied these four lots during the late 19th to mid-20<sup>th</sup> century. By 1958, according to the Sanborn Fire Insurance Maps, all of the buildings were demolished, except the outbuildings and the land became part of the larger 415 Wolfe Street property. On May 13, 1970, a brick wall, likely the existing brick perimeter wall or portions of it, was approved by the Board.

Over the last 16 years, the Board has seen numerous proposals for projects at 415 Wolfe Street, including

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|----------------|---|
| March 2, 2005: | Approval of a Permit to Demolish and a Certificate of Appropriateness for an addition (BAR Case #2005-0022 & 0023).   |
| July 6, 2005:  | Approval of a Permit to Demolish and a Certificate of Appropriateness for the construction of a new porch on the east elevation and alterations to the house, and a brick wall (BAR Case #2005-0150& 0151). |
| June 7, 2006:  | Approval of a Certificate of Appropriateness for a new outbuilding (BAR Case #2006-0095).   |

- August 1, 2007: Approval of a Permit to Demolish to demolish a shed (BAR Case #2007-0116).
- September 5, 2007: Approval of a Certificate of Appropriateness for brick walls (BAR Case #2007-0117).
- June 17, 2009: Approval of a Certificate of Appropriateness for a garden structure (BAR Case #2009-0014).

The alley running behind the property, accessed off of Royal Street, is a **private** alley.

### **III. ANALYSIS**

#### **Permit to Demolish**

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

<b>Standard</b>	<b>Description of Standard</b>	<b>Standard Met?</b>
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic house?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate	No

	values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	
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In the opinion of Staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The majority of the brick walls that the applicant proposes to demolish or temporarily dismantle are not historic and date from the **mid-20<sup>th</sup> century or later**. While the majority of the **ca. 1930** breezeway designed by Ward Brown will be removed as part of the alterations to 415 Wolfe Street, a portion of the structure will remain to give an indication of what was there. The City is fortunate to have a number of Ward Brown properties which better reflect his architectural abilities than this breezeway and which are more accessible to the public. The areas proposed for demolition are relatively minimal in scope, located on a secondary elevation or are 20<sup>th</sup> century site features, do not remove any portion of the building containing character defining features of uncommon design, craftsmanship or historic merit, and do not compromise the integrity of the building as a whole.

#### New Construction

Although the BAR reviews dozens of addition and alteration cases each year, it is not often that the BAR reviews a new single-family detached house in the heart of the historic district. This house is being built on land many in the community assumed was a single large parcel or that it was protected by an open space easement. When that turned out not to be the case, several developers met with staff and proposed multiple large townhouses on these lots. Fortunately, the present application is to preserve the historic dwelling and a portion of its garden at 415 Wolfe and to construct a single, owner occupied residence with a generous garden at 401 Wolfe.

Several sections from the BAR's *Design Guidelines* chapter on New Residential Construction are referenced below to help explain some of the unusual architectural features of the proposal and why staff believes they are appropriate in this instance.

#### *Siting*

“New residential structures should be sited so that the front plane of the building is in line with the prevailing plane of the other residential buildings on the street.”

Because this house is on a corner lot, it has two front yards and dwellings in the RM zoning must be constructed to the front lot line. However, for general traffic safety purposes there is a 100' vision clearance triangle required at most intersections throughout the City. The proposed house falls within that area, which is common in Old Town. Because there is a four-way stop sign on almost every intersection in the historic districts, allowing drivers to easily see pedestrians and traffic, the zoning ordinance gives the BARs the ability to waive the vision clearance

requirement where to do so would be consistent with the historic character of the district. The BAR may then waive any applicable yard or setback requirement.

The proposed house is set back approximately 5' from South Royal Street and 8.2' from Wolfe Street. The majority of the houses on both Wolfe and Royal streets display a variety of setbacks. In this case, the applicant also wanted to soften the impact of the new house on the block-faces, to preserve the garden character of the setting behind the existing brick masonry garden walls, and to provide a significant open space buffer for the historic house. Staff supports the proposed modest setbacks for those reasons.

#### *Building Orientation*

“The front entrances to new residential buildings should be oriented to the primary street frontage.”

This provision of the 1993 *Design Guidelines* was specifically intended to discourage a trend in townhouse plans during the late 20<sup>th</sup> century where entrances were located down a narrow side yard so that the hallway function could be removed from the front room of a narrow townhouse, thus giving more space to furniture and avoiding a shotgun style plan and to discourage mews-style developments that turn their backs on to the street. While a side entry townhouse is a very efficient floor plan, it is not attractive in an urban street, as the front door is often the most architecturally significant feature of a facade.

However, in this case, the lot is large enough that the elaborate architectural entrance to the house is plainly visible through the garden from Wolfe Street and somewhat mirrors the condition of 401 Wolfe across the garden, creating a very interesting architectural dialogue between the two houses and the ability to have a much softer approach to the house through the garden. The gate in the garden wall essentially becomes the street entrance. Another historic example of a side garden entrance is 217 S Fairfax Street, where the gable end faces the street and the garden gate announces the entrance to the site.



**217 S Fairfax Street with a garden entrance**

The east elevation of the house, facing South Royal Street has significant architectural detailing and the 6' tall brick wall will be lowered to have a decorative metal fence on top so that the building is more visually interesting for the pedestrian. There is also a gate and entry door at the hyphen on this façade.

### *Roof*

“In general, the roof form should reflect the roof forms expressed along the block face. However, as a general rule, the gable end of a structure should not face the street...The founding act of the city in 1748 required ‘that no gable or end of such house to be on or next to the street...’”

The early ordinance was intended to control the flow of rainwater or snowfall in an urban condition where houses are adjoining or in close proximity to each other. With the ridge parallel to the street, water would flow to the owner’s rear yard or the street. Because this is a freestanding corner house and the flow of water is not a concern, the applicant initially proposed a side gable roof with a gable end facing Wolfe Street. However, the significant wall height and mass of this gable was out of scale with the small townhouses across Wolfe Street. The hipped roof form now proposed, similar to the roof at Carlyle House, is visually lower and sits much more comfortably on the site with the uniform cornice paying equal respect to both Wolfe and Royal streets.



**121 N Fairfax, Carlyle House hip roof**

### *Architectural Detailing*

“Architectural detailing such as cornices, lintels, arches, and chimneys should express the traditional quality and quantity of architectural detailing found on historic structures throughout the districts. Side and rear walls which face open areas should be designed with as much attention to detail as the primary façade.”

### *Style*

“No single architectural style is mandated. Designs should complement and reflect the architectural heritage of the City...While new residential buildings in the historic districts should not create an appearance with no historical basis, direct copying of buildings is discouraged.”

The style of this proposed five bay, center hall Federal style house, also called the Adam style in McAlester’s *Field Guide to American Houses* after the prolific 18<sup>th</sup> century Neoclassical British architects Robert and James Adam. While generally similar in form, the architectural details of the Federal style are somewhat lighter and more delicate than the proceeding Georgian style (named for the British kings George) and style of the buildings constructed in the period after the

Revolutionary war in the United States were named Federal to celebrate the independence of our new federation. Alexandria is known for its Federal style houses and these have been built here almost continuously since the late 18<sup>th</sup> century. The proposed house draws its architectural details from historic houses throughout the district, without directly copying any single house.

The main house is tied to a garage by a small hyphen. The proposed materials, brick with slate and standing seam roofs and stone lintels above the windows, are very high quality and all sides of the building are richly detailed. The elliptical fanlight and portico at the front entry, for instance, are very similar to the one at 711 Prince Street. The central pediment with its elliptical bull's eye window and the stone lintels with projecting keystones recall the Lee Boyhood Home at 607 Oronoco Street. The pilastered gable dormers are similar to those at 601 Duke and Gadsby's tavern or on several homes on Gentry Row. The stone panels between the first and second floor windows are typical of the Federal period and were used at Woodlawn Plantation. Precedent images of similar freestanding historic structures are shown below.



**607 Cameron Street**



**711 Prince Street**



**138 N Royal Street, Gadsby's Tavern**



**201 S Lee, Mayor Hooe House**



**601 Duke**



**607 Oronoco, Lee Boyhood Home, entry and gable window**



**711 Princess**



**220 N Washington Street, Lloyd House**



**Woodlawn Plantation**

### Items for Restudy

While staff supports the overall scale, mass and architectural character of the new dwelling, there are some minor elements that may benefit from restudy. These primarily have to do with the architectural hierarchy of the 1. House, 2. Outbuilding, and 3. Hyphen, in descending order.

#### *House*

As shown in the elevation drawings of the application, the house is well composed and balanced and successfully uses the materials and historic design elements of the Federal style, including the elliptical fanlight and sidelights at the front entry, a pediment and oval bull's eye window in the central pediment, keystone lintels, and a modillion cornice. The only element that is uncharacteristic of this style is the arrangement of the four slightly smaller windows squeezed into the central bay on the east side facing Royal Street, two of which are false windows with the shutters fixed closed. In a historic house, this would most likely have been a single tier of openings centered below the pediment and the window(s) would not have aligned horizontally with the fenestration on each side because it would have been located at the stair landing. These were often feature windows on the elevation. In this case, there is an elevator behind the wall on the interior which creates an asymmetrical condition on the facade. Staff challenges the architect to take advantage of this situation to create an architectural focal point on this prominent Royal Street elevation. Federal style buildings often had blind windows using patterned brick and stone details and that would, perhaps, work here as well.

#### *Outbuilding*

The same high style design details on the house are also repeated on the new garage outbuilding which during the period, and particularly in Alexandria, would have been much simpler in material and detail. Staff supports the overall building form and proposed use of the simpler metal roof on the garage but also suggests simplification of the dormer windows to eliminate the pilasters and arched top sash, removal of the modillions in the cornice, substitution of simpler rectangular gable vent windows for the bull's eye window, substitution of a brick jack arch for the stone lintels, use of a simple wood frieze for the garage door lintel rather than a jack arch form, and lowering the height of the garage roof slightly to reduce the large wall area above the garage door.

#### *Hyphen*

The term hyphen, when used to describe an architectural mass, is a neutral section of a building used to link two more prominent masses. It should be diminutive or deferential to the primary portions of the building and visually recede in scale and detail. In this case the hyphen is an appropriately smaller form with the lowest roof height of the three building forms but the east and west sides are being used as secondary entrances to the house. These entrances have a full entablature above three columns at each corner and, particularly on the garden side, visually compete with the main entry. Staff, therefore, suggests that the metal hip roofs be removed on both the east and west sides and replaced with a simple, low shed form above a simpler cornice. While the columns and doorway on the Royal Street side seem an appropriate way to announce this entry function, the columns and entablature on the garden side should be simplified and reflect its garden function.

While staff supports the overall design and, staff recommends that the specific details related to the hierarchy of the house and described above be restudied and brought back to the Board for approval. In addition, there are a few elements that require additional clarification, including the details of the balustrade above the front entrance and the design of the Wolfe Street garden entry gate.

**STAFF**

Stephanie Sample, Historic Preservation Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager

**IV. CITY DEPARTMENT COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F- finding

**Zoning**

Subject property is a corner lot zoned RM, residential. The property consists of four legal lots which permits the construction of a single-family dwelling and outbuildings. Staff has reviewed the proposed single-family dwelling with attached garage and surface parking. The following issues must be addressed before staff can determine zoning compliance.

- C-1 Show on site plan the four legal lots. Lots must be consolidated prior to submission of a building permit.
- C-2 Indicate vision clearance triangle at the intersection of Wolfe and South Royal. The existing wall (constructed in the 1970's according to BAR records) is located in the vision clearance triangle, but never received approval to be located in the vision clearance. The applicant must request a waiver of the vision clearance from the BAR to correct. (Portions of the proposed dwelling are likely located in the vision clearance as well.)
- C-3 The RM zone requires the front setback shall be the front property line or the average distance of existing buildings on the block. There is no majority on Wolfe Street, therefore the required front setback is the front lot line facing Wolfe Street. The majority of the houses on this block of South Royal Street are set back from the front lot line. The applicant must submit the average distance of the existing buildings from the front lot line on west side of the 300 block of South Royal Street to determine the required front setback. Because the applicants are requesting a waiver of vision clearance, if the proposed dwelling does not comply with front setbacks described above, the BAR may waive the setback requirements. The applicant must apply for waiver from BAR.
- C-4 Proposed HVAC units are not permitted to be located forward of the front building line facing Wolfe Street. The applicant must relocate the units to be located behind the front building lines.

- C-5 Confirm there is sufficient lot area for the existing house floor area and open space at 415 Wolfe if the four lots are removed from the total tract. Applicant must submit an FAR/Open Space calculation form for the property at 415 Wolfe Street.
- F-1 Proposed building height for the new house is 31 feet, below the allowed height of 35 feet or 45 feet if the ridge line of the roof parallels the street.

**Code Administration**

No Comments received.

**Transportation and Environmental Services**

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 An approved GRADING PLAN must be attached to the building permit application. City Code Section 8-1-22(d) requires that a grading plan be submitted to and approved by T&ES prior to the issuance of building permits for improvements involving:
- the construction of a new home;
  - construction of an addition to an existing home where either
  - the addition exceeds the area of the existing building footprint by 100% or more;
  - or, the construction of the addition results in less than 50% of the existing first floor exterior walls, in their entirety, remaining;
  - changes to existing grade elevation of 1-foot or greater;
  - changes to existing drainage patterns;
  - land disturbance of 2,500 square feet or greater.
- F-2 Questions regarding the processing of grading plans should be directed to the T&ES Site Plan Coordinator at (703) 746-4063. (T&ES)
- F-3 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:  
For a Public Alley - The applicant shall contact T&ES, Construction Management & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.  
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

### **Alexandria Archaeology**

- F-1 This property has the potential to yield significant archaeological resources dating to the 18<sup>th</sup> and 19<sup>th</sup> centuries. The possibility exists for the recovery of materials that could provide insight into the lives of Quakers and African Americans in Alexandria. The primary significance of the site stems from its association with John Butcher, a merchant and member of one of City's prominent Quaker families. The nucleus of the house at 415 Wolfe may date from at least the 1780s, and in 1783, the first Quaker meeting in Alexandria may have been held in John Butcher's residence on the property. In addition, the 1877 G.M. Hopkins Insurance Atlas indicates that there were at least three other residences on the current lot near the corner of Wolfe and S. Royal Streets. The corner property also served as a barbershop for Jimmy Redd, an African American businessman. Most of the changes to the subsurface of the lot appear that they will occur on the corner lot (401 and 403 Wolfe St.). Historic maps indicate that this portion of the property largely was vacant through the Civil War. Maps dating to the 1870s show a single structure on the lot. In this section of the property there is the potential for construction activities to uncover buried evidence of past activities.
- F-2 Alexandria Archaeology would like the opportunity to conduct small-scale archaeological testing on the 401 Wolfe St. lot and a portion of the 403 Wolfe St. lot prior to the initiation of the construction project. This would be at no cost to the applicant and would not entail any delays to the construction project. This would allow Alexandria Archaeology to collect information and record archaeological evidence about

this particular spot in Alexandria. Please contact Garrett Fesler at 703.746.4399 or email [garrett.fesler@alexandriava.gov](mailto:garrett.fesler@alexandriava.gov)

- R-1. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Demolition, Basement/Foundation plans, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
- d. Contact Alexandria Archaeology (703-746-4399) two weeks prior to any ground disturbing activity (such as coring, grading, filling, vegetation removal, undergrounding utilities, pile driving, landscaping and other excavations as defined in Section 2-151 of The Zoning Ordinance) on this property. City archaeologists will provide on-site inspections to record significant finds.
  - e. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
  - f. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

## **V. ATTACHMENTS**

*1 – Supporting Materials*

*2 – Application for BAR2016-0016 & BAR2016-0017 at 401-415 Wolfe Street*



## DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

### A. Property Information

A1. Street Address 401-415 Wolfe Street Zone RM zone (Sec. 3-1100)

A2. 10,131 SF x 1.50 = 15,196.5 SF  
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

### B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	0	Basement**	0
First Floor	667	Stairways**	0
Second Floor	388	Mechanical**	0
Third Floor	0	Other**	0
Porches/ Other	0	Total Exclusions	0
<b>Total Gross *</b>	<b>1,055</b>		

B1. Existing Gross Floor Area \*  
1,055 Sq. Ft.

B2. Allowable Floor Exclusions\*\*  
0 Sq. Ft.

B3. Existing Floor Area minus Exclusions  
1,055 Sq. Ft.  
(subtract B2 from B1)

### C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement	2,012	Basement**	1,984 [Ref.Sec.2-145(B)]
First Floor	2,653	Stairways**	0
Second Floor	1,784	Mechanical**	84-elevator[ref.2-145(B)]
Third Floor	0,211 - [attic square footage]	Other**	0
Porches/ Other	0,157 [porches only]	Total Exclusions	2,068
<b>Total Gross *</b>	<b>6,817</b>		

C1. Proposed Gross Floor Area \*  
6,817 Sq. Ft.

C2. Allowable Floor Exclusions\*\*  
2,068 Sq. Ft.

C3. Proposed Floor Area minus Exclusions  
4,749 Sq. Ft.  
(subtract C2 from C1)

### D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 5,804 Sq. Ft.

D2. Total Floor Area Allowed by Zone (A2) 15,196 Sq. Ft.

\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the zoning ordinance (Section2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

### F. Open Space Calculations

Existing Open Space	77.2% or 7,823
Required Open Space	Min. Req. 35% or 3,546
Proposed Open Space	45.3% or 4,584

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: [Signature] Date: 1/29/16



**FRANCK & LOHSEN**  
ARCHITECTS

APPLICATION MATERIALS  
BAR2016-00016/00017  
401-415 Wolfe St.  
1/19/2016

401-415 Wolfe Street  
Specified Materials List

Brick

Main House:	Belden Brick Mod Belcrest 560 A
Garage/Hyphen:	Redland Brick #463 Old Mystic
Interior property line wall:	Belden Brick Mod Belcrest 760 A
Royal Street wall:	Wall to be demolished, brick saved and re-used

*Mortar to be determined.*

Roofing

Slate:	Buckingham Slate
Metal:	Revere "Freedom Gray" zinc coated copper

Windows

Wood; Simulated divided lite with spacer bar; painted

Doors

Wood; Simulated divided lite with spacer bar; painted

Fencing

Metal

Lighting

Garden Entry:	French Quarter Light on Gooseneck by Bevolo
Entry Gate:	French Quarter Light on Column Mount by Bevolo
Entry above Porch Ceiling:	Ceiling Light by Bevolo
Garage:	French Quarter Light on Yoke by Bevolo

Paint Colors (Initial Selections)

Front Door:	Farrow & Ball "Stiff Key Blue"
Cornice, Exterior Trim:	Benjamin Moore "White Dove"
Shutters:	Benjamin Moore "Ebony King"

CONSTRUCTION OF A NEW DWELLING AT 401 THRU 415 WOLFE STREET

APPLICATION MATERIALS  
BAR2016-00016/00017  
401-415 Wolfe St.  
1/19/2016

This application is for a new residence to be constructed on the property known as 401 thru 413 Wolfe Street, which was previously a part of the property owned and used by the owner of 415 Wolfe Street.

The purchase of the subject property requires a new interior brick property line wall to be constructed, and that a non-historic covered walkway be partially removed from the existing 415 Wolfe Street house to the dependency now located on the subject property for the new residence. In addition, non-historic garden walls will need to be either demolished, partially demolished, (some cases temporarily), and also gates reconfigured appropriately.

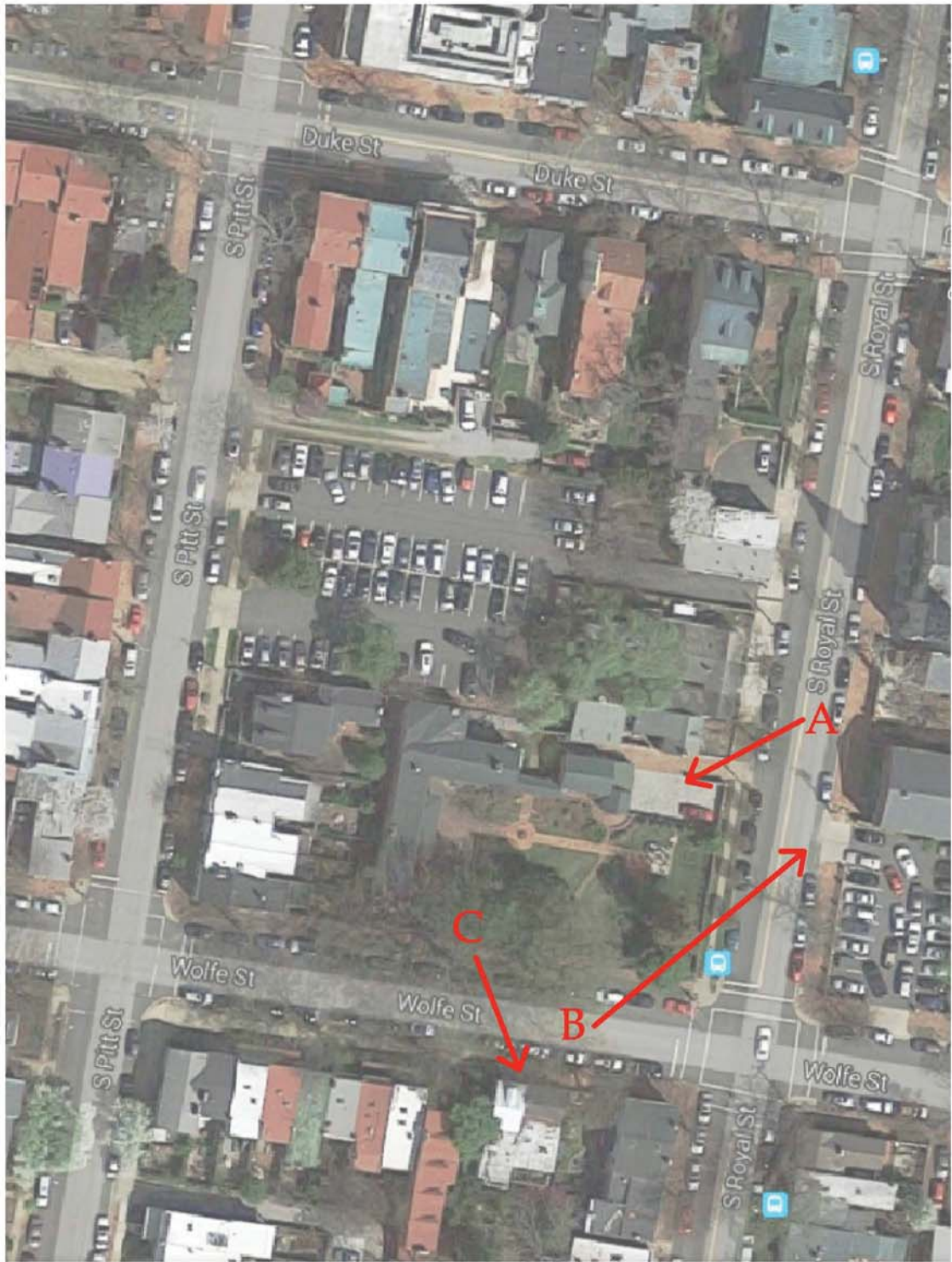
This application to the Board encompasses a Permit to Demolish and Certificate of Appropriateness, and is organized in the following two parts:

PART ONE: Garden walls, covered walkway, and gates

- EXHIBIT A: Temporary removal of South Royal Street wall to allow for construction access; Wall will be reconfigured as shown in the new construction drawings
- EXHIBIT B: Permanent removal of a portion of the South Royal Street wall, the alley wall, and the wall seprating the parking area from the garden
- EXHIBIT C: Temporary removal of the alley gate and wall/piers to reconfigure the shared alley access
- EXHIBIT D: Partial removal of the non-historic covered walkway and its repair to allow for separation of the properties

PART TWO: The New Residence at 401 Wolfe Street

- Plans and elevations depicting the construction of a new single family dwelling
- The reconstruction of the Royal Street garden wall using the original brick and incorporating an iron fence design
- Detail of garden elevation
- Alteration of the carriage house roof from the existing metal to zinc coated copper
- Construction of a new masonry garden wall on the interior of the site to separate the properties.



A



B



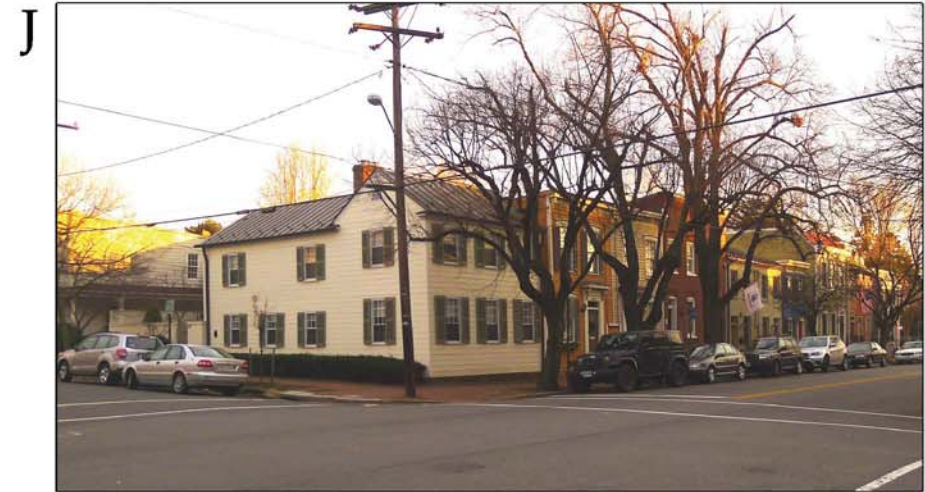
C



Context Photos

Permit to Demolish & Certificate of Appropriateness  
401-415 Wolfe Street  
OLD TOWN ALEXANDRIA, VIRGINIA

Sheet: Photos 1  
Drawing Scale:  
Date Issued: January 19, 2016



Context Photos

Permit to Demolish & Certificate of Appropriateness  
401-415 Wolfe Street  
OLD TOWN ALEXANDRIA, VIRGINIA

  
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SUITE 212~ WASHINGTON DC 20036  
Telephone (202) 223-9449 ~ Facsimile (202) 223-9484

Sheet: Photos 2  
Drawing Scale:  
Date Issued: January 19, 2016

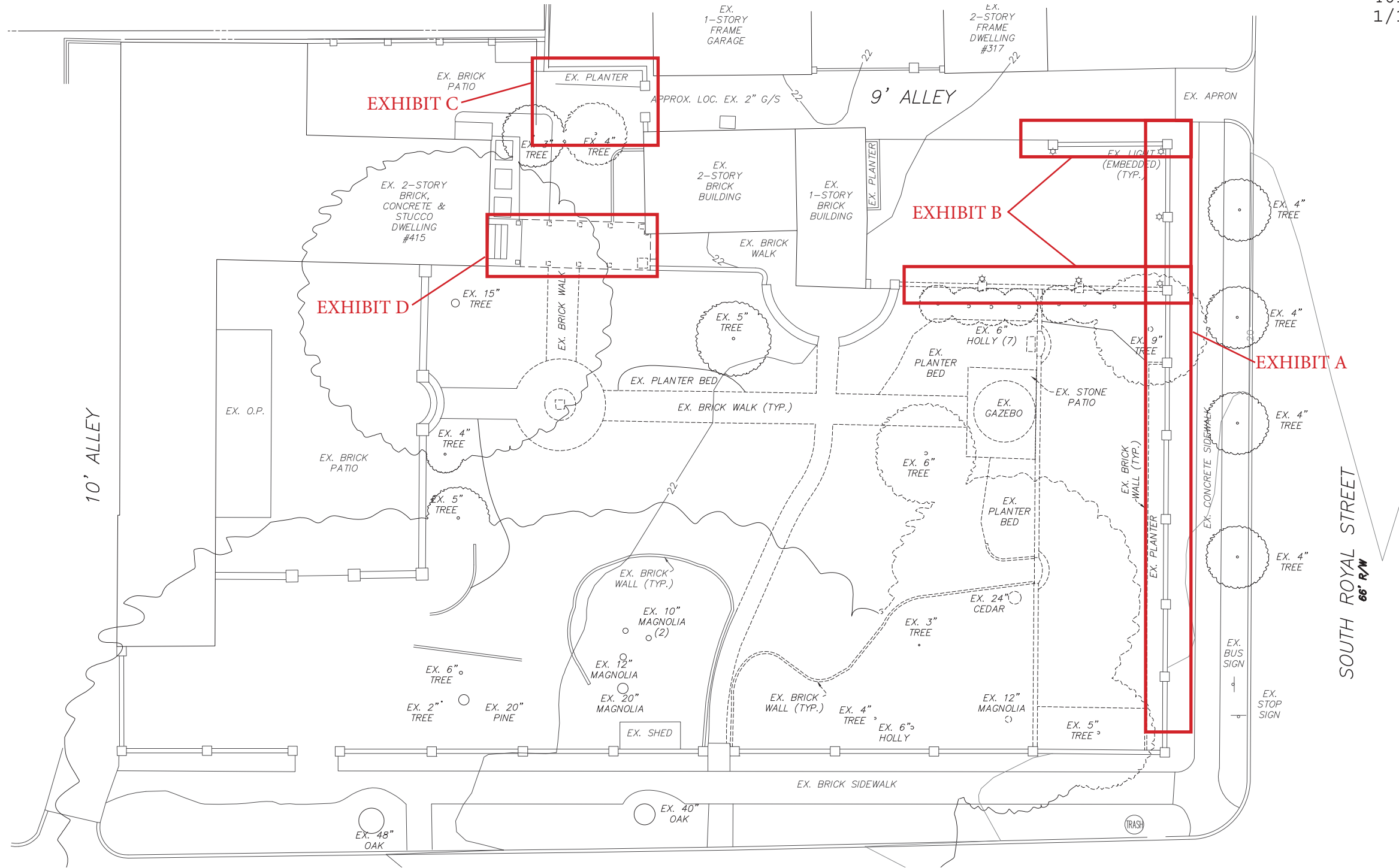


Exhibit Overview: Existing Condition Site Plan

Permit to Demolish  
401-415 Wolfe Street  
OLD TOWN ALEXANDRIA, VIRGINIA

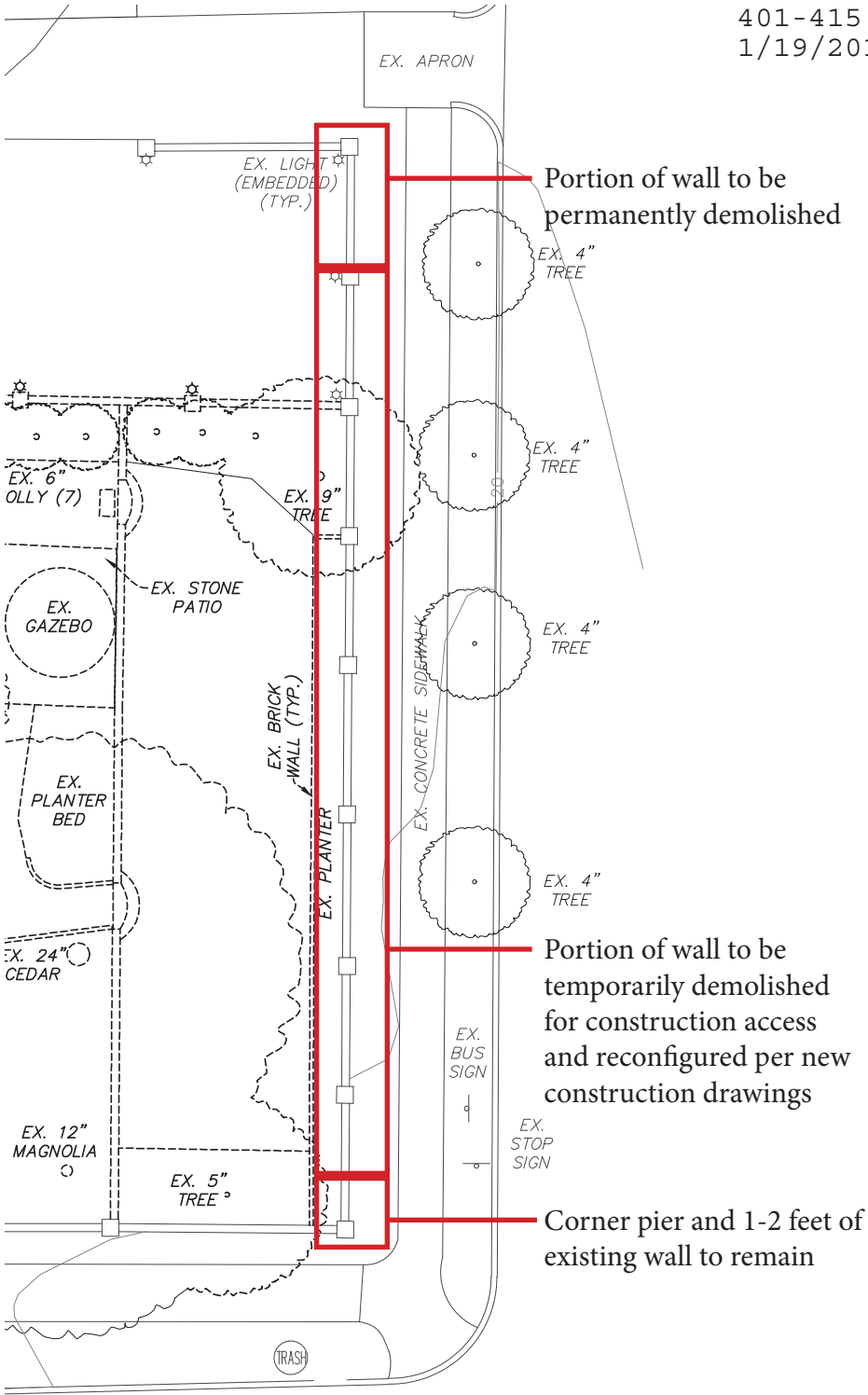
Sheet:  
Drawing Scale:  
Date Issued: January 19, 2016

The existing wall along South Royal Street will be temporarily removed in order to provide access to the construction site. The new wall on South Royal Street will be reconfigured per the new construction drawings on the following page.

APPLICATION MATERIALS  
BAR2016-00016/00017  
401-415 Wolfe St.  
1/19/2016



Portion of wall to be demolished



Portion of wall to be permanently demolished

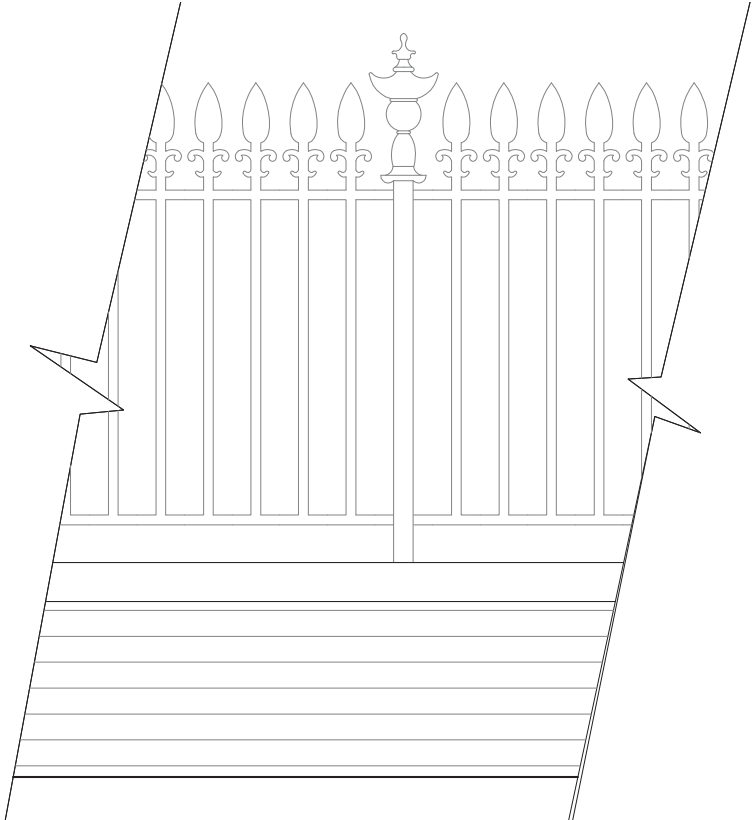
Portion of wall to be temporarily demolished for construction access and reconfigured per new construction drawings

Corner pier and 1-2 feet of existing wall to remain

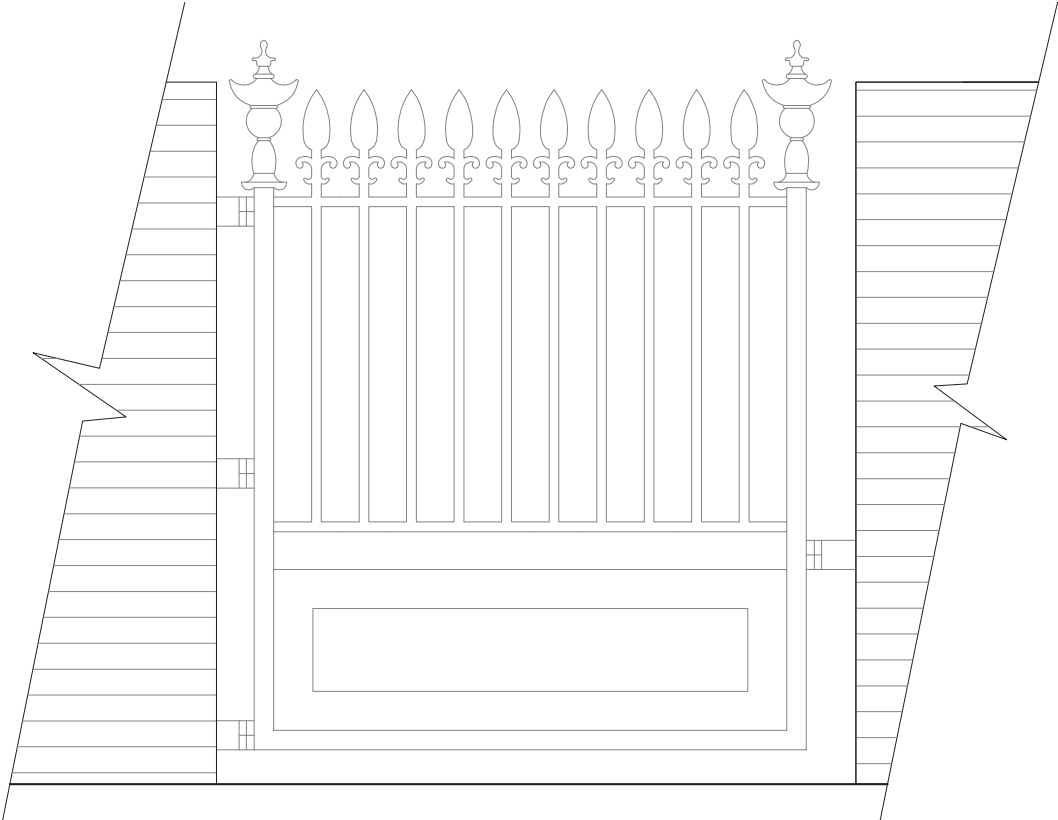
A new wall along South Royal Street will be constructed out of the original brick and new iron work will be incorporated to provide visual relief along the street.



SOUTH ROYAL STREET ELEVATION



IRONWORK DETAIL



GATE IRONWORK DETAIL

APPLICATION MATERIALS  
BAR2016-00016/00017  
401-415 Wolfe St.  
1/19/2016



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Exhibit A: Temporary Removal of South Royal Street Wall

Permit to Demolish  
401-415 Wolfe Street  
OLD TOWN ALEXANDRIA, VIRGINIA

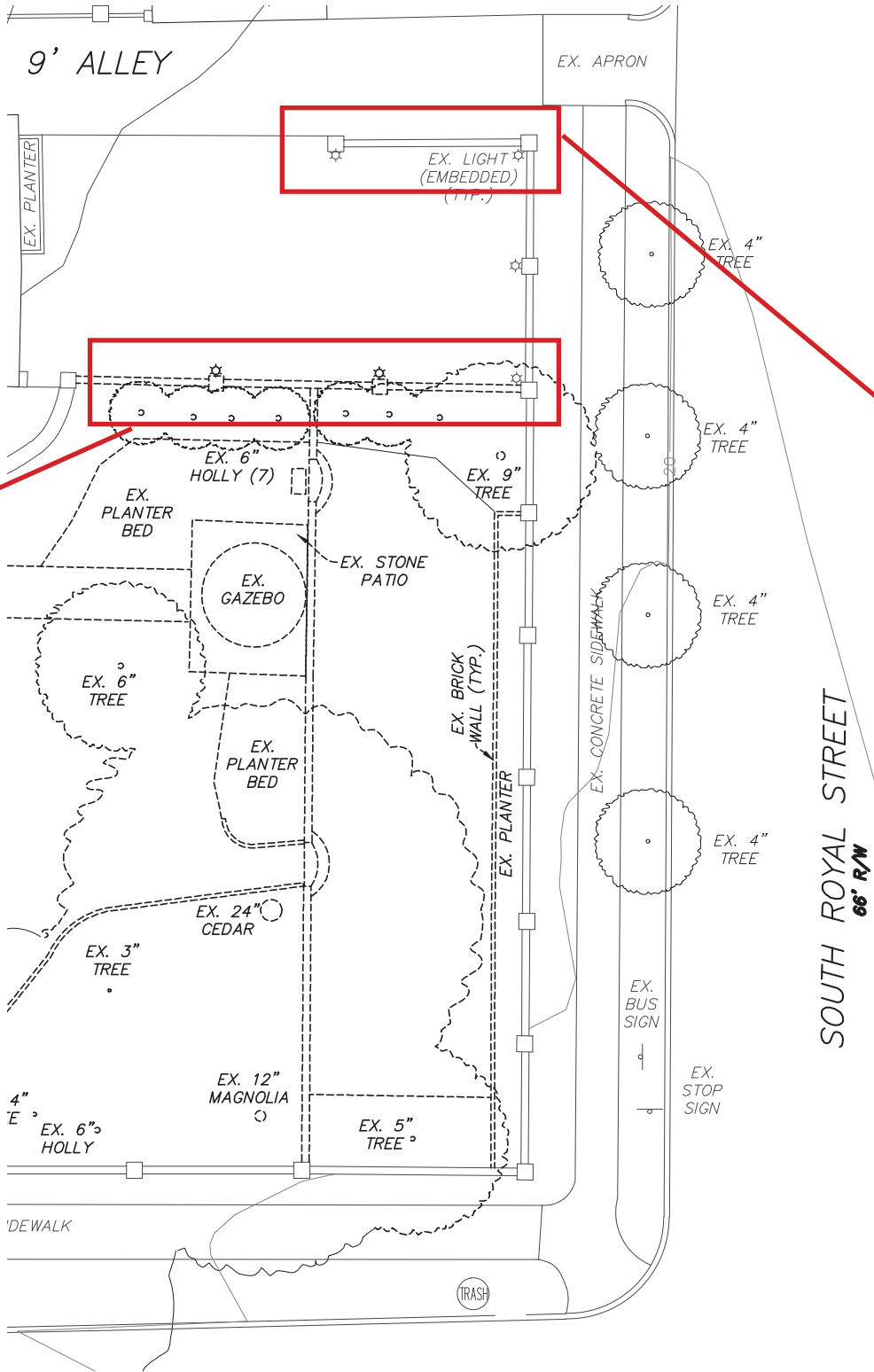
Sheet: Exhibit A-2  
Drawing Scale:  
Date Issued: January 19, 2016

The alley wall and the wall separating the parking spaces and garden will be permanently demolished as indicated below.

APPLICATION MATERIALS  
BAR2016-00016/00017  
401-415 Wolfe St.  
1/19/2016



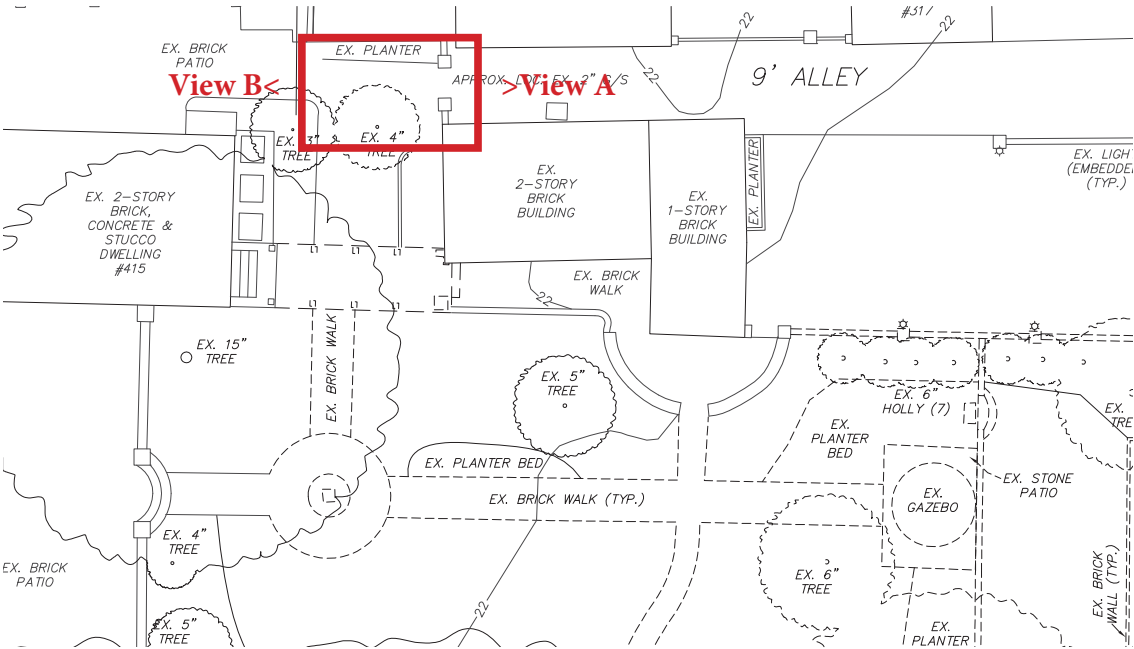
Existing wall separating parking spaces and garden to be demolished



Existing alley wall to be demolished

Temporary removal of the alley gate and wall/piers to accommodate an 8’ wide opening for a double door access gate.

The gate and wall will be replaced in the same location, opening to a small courtyard that will provide access to both properties through two new, separate gates.



VIEW A: FROM ROYAL STREET THROUGH ALLEY TO GATE

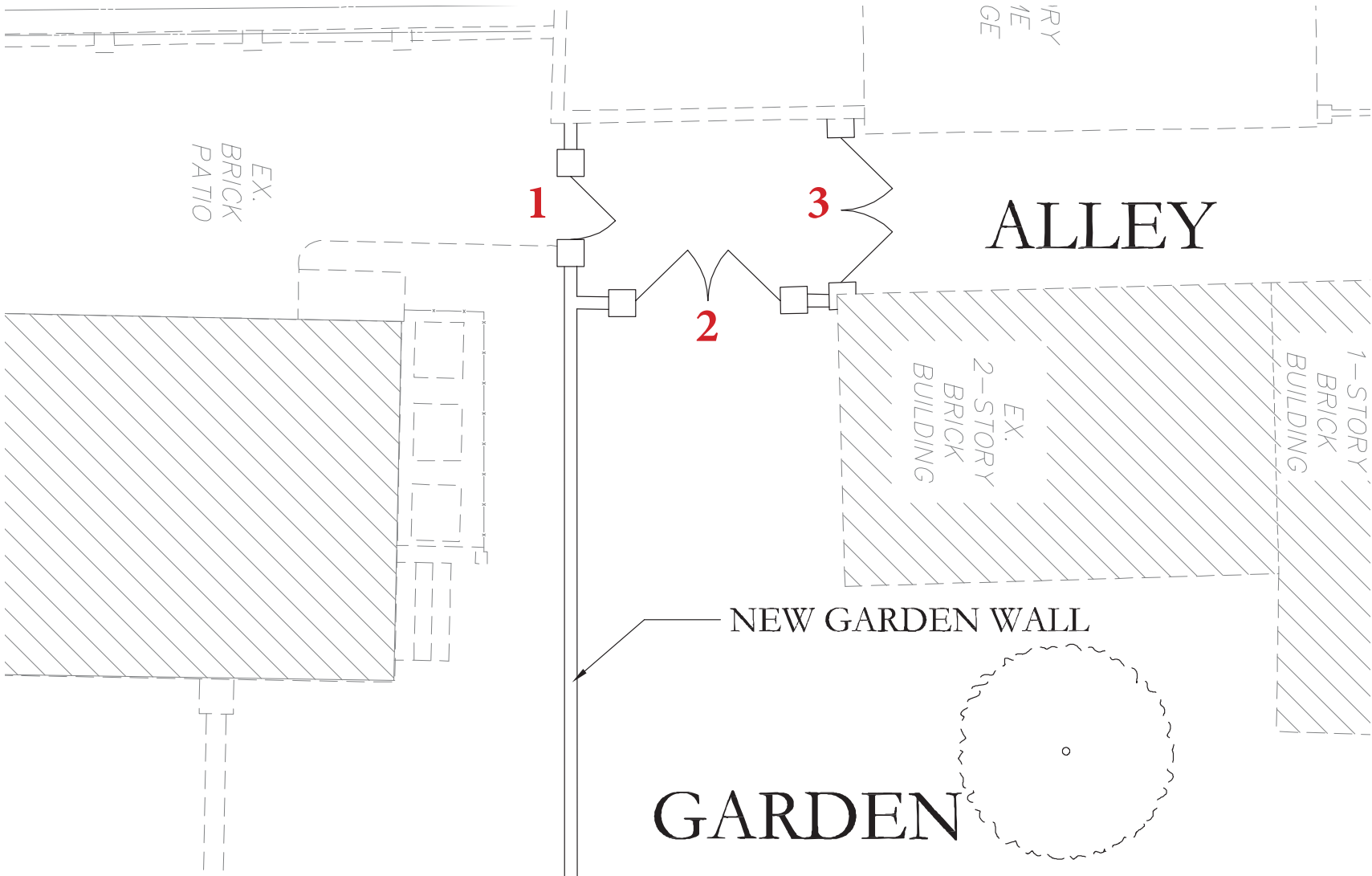


VIEW B: FROM COURTYARD TO GATE AND ALLEY BEYOND

Alley Access:

Opening 1 along new garden wall will have a new, permanent gate and piers, to match existing gate and piers as shown on previous page.

Openings 2 and 3 will have similar piers as opening 1, but the openings will be 8’ wide and have double door gates.



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Exhibit C: Gated Access Area

Permit to Demolish  
401-415 Wolfe Street  
OLD TOWN ALEXANDRIA, VIRGINIA

Sheet: Exhibit C-2  
Drawing Scale:  
Date Issued: January 19, 2016

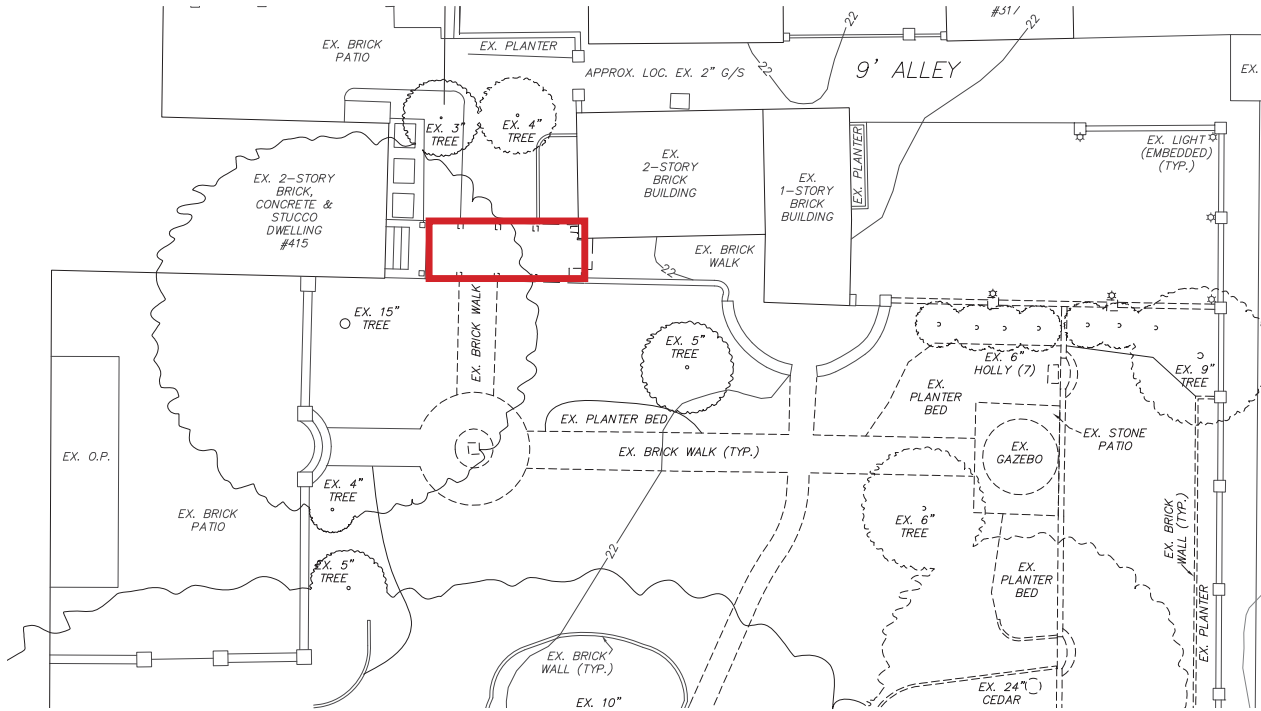
Partial removal of non-historic covered walkway will allow for separation of the properties, the construction of a new garden wall, and provide a canopy over the existing steps on the back of 415 Wolfe. The remaining portion of the canopy over the existing steps will retain the look of the existing structure.



Portion of canopy to be removed



Portion of canopy to remain



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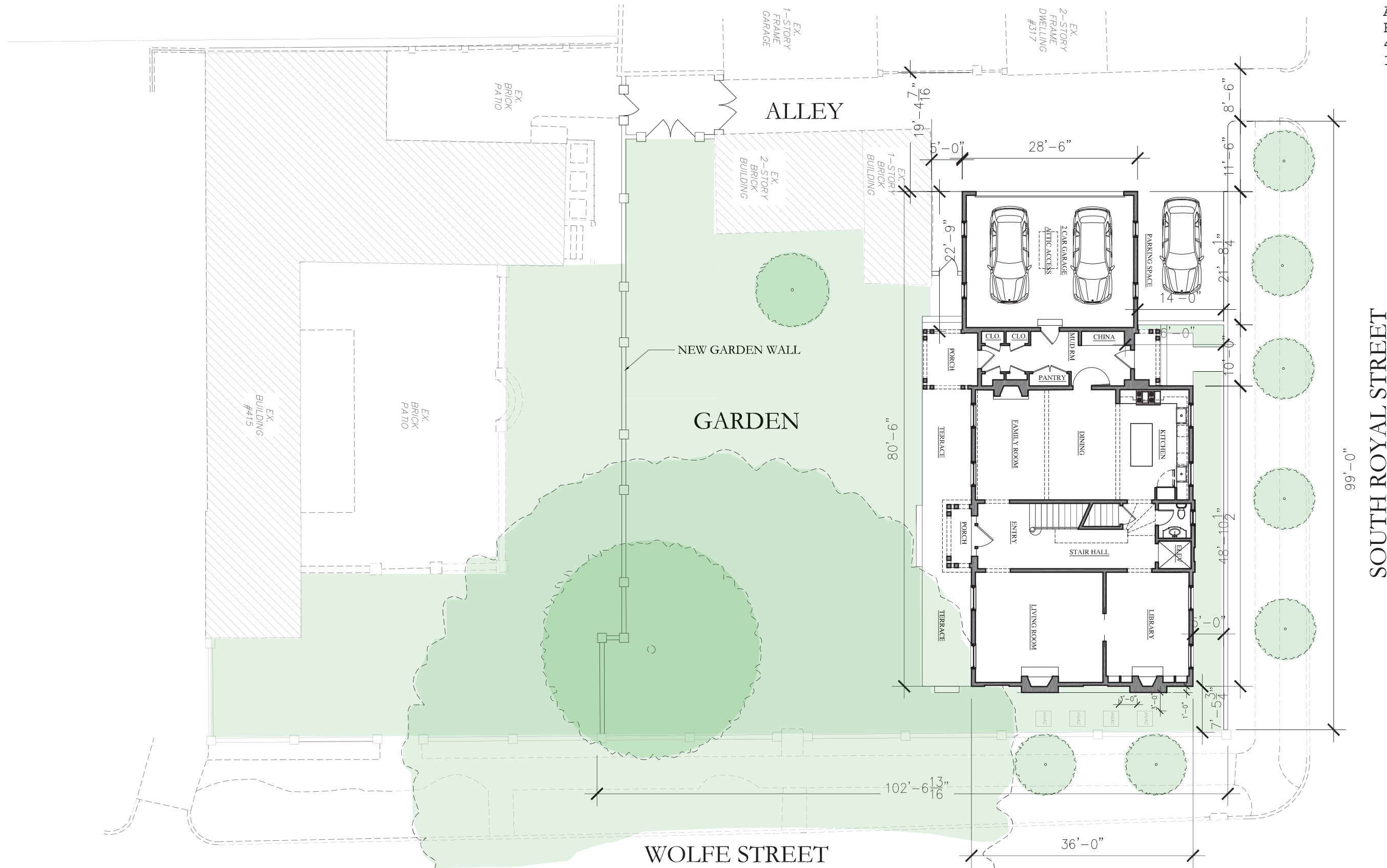
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Exhibit D: Partial Removal of Covered Walkway; and Alteration of the Remaining Stairs Canopy

APPLICATION MATERIALS  
BAR2016-00016/00017  
401-415 Wolfe St.  
1/19/2016

Permit to Demolish  
401-415 Wolfe Street  
OLD TOWN ALEXANDRIA, VIRGINIA

Sheet: Exhibit D-1  
Drawing Scale:  
Date Issued: January 19, 2016



SOUTH ROYAL STREET

WOLFE STREET

## Architectural Site Plan

# Certificate of Appropriateness 401-415 Wolfe Street OLD TOWN ALEXANDRIA, VIRGINIA

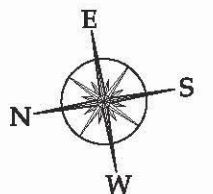
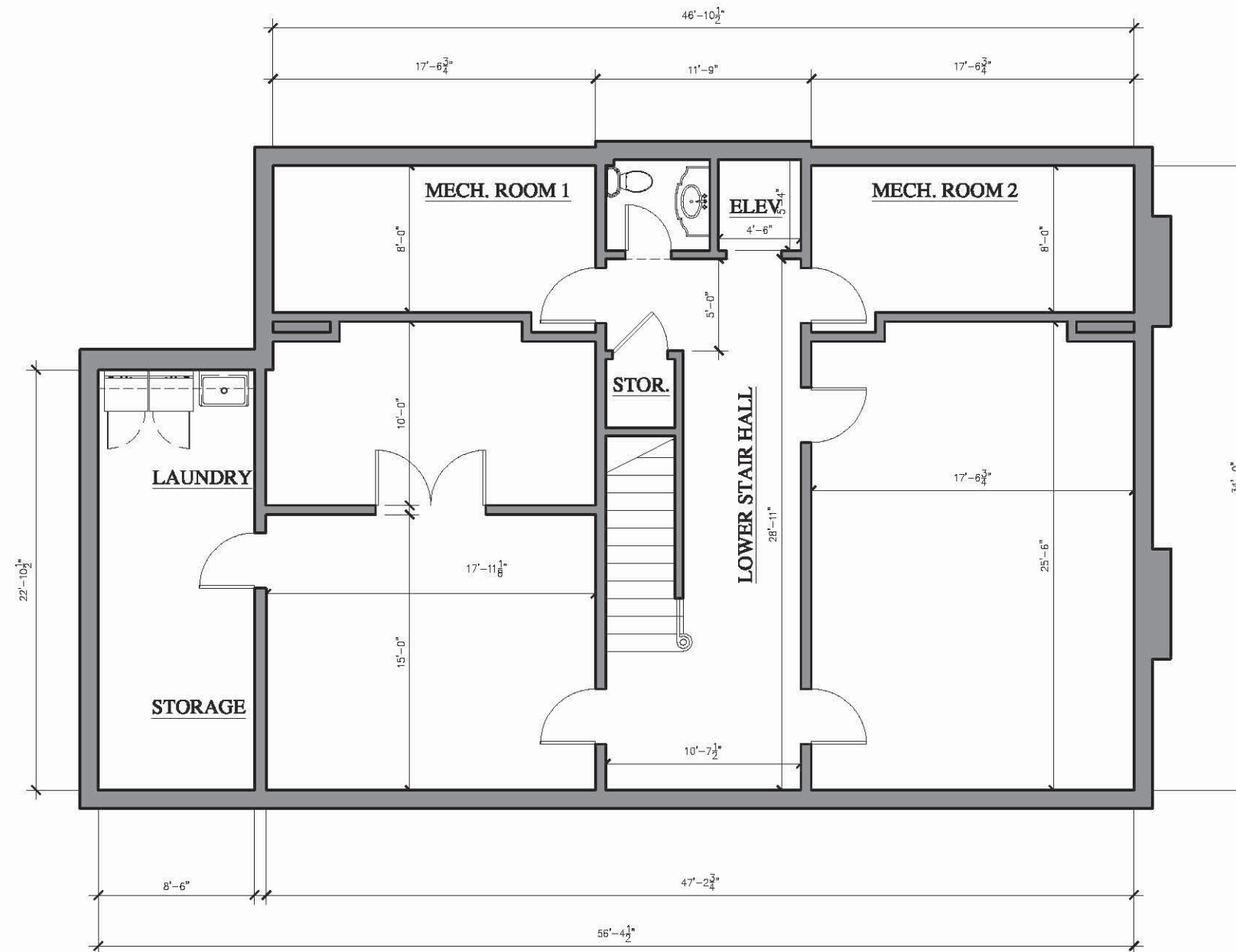
Sheet:  
 Drawing Scale:  
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APPLICATION MATERIALS  
BAR2016-00016/00017  
401-415 Wolfe St.  
1/19/2016



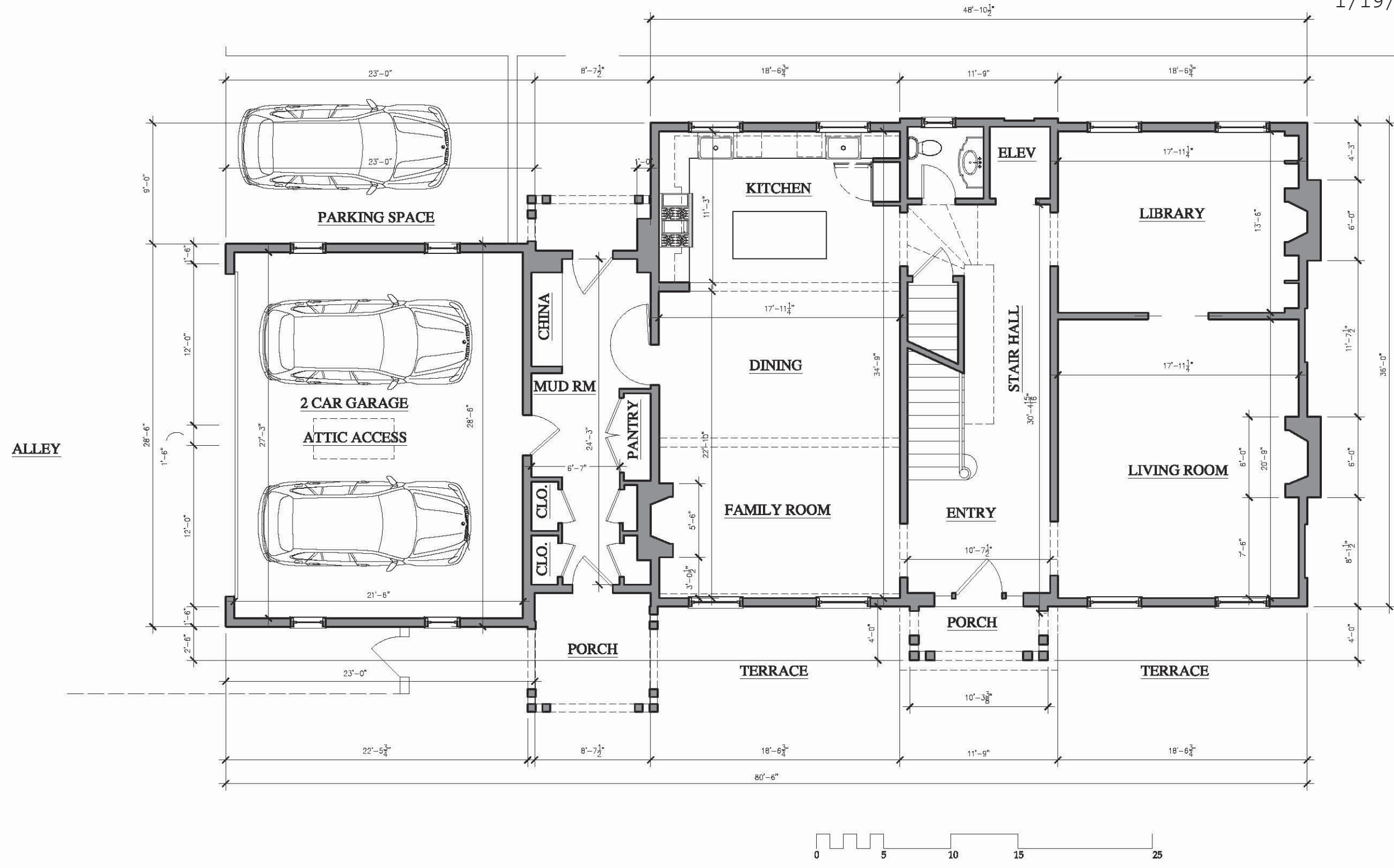
### Lower Level Plan

## Certificate of Appropriateness 401-415 Wolfe Street OLD TOWN ALEXANDRIA, VIRGINIA

  
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Sheet: A 2.0  
Drawing Scale: 1/8" = 1'-0"  
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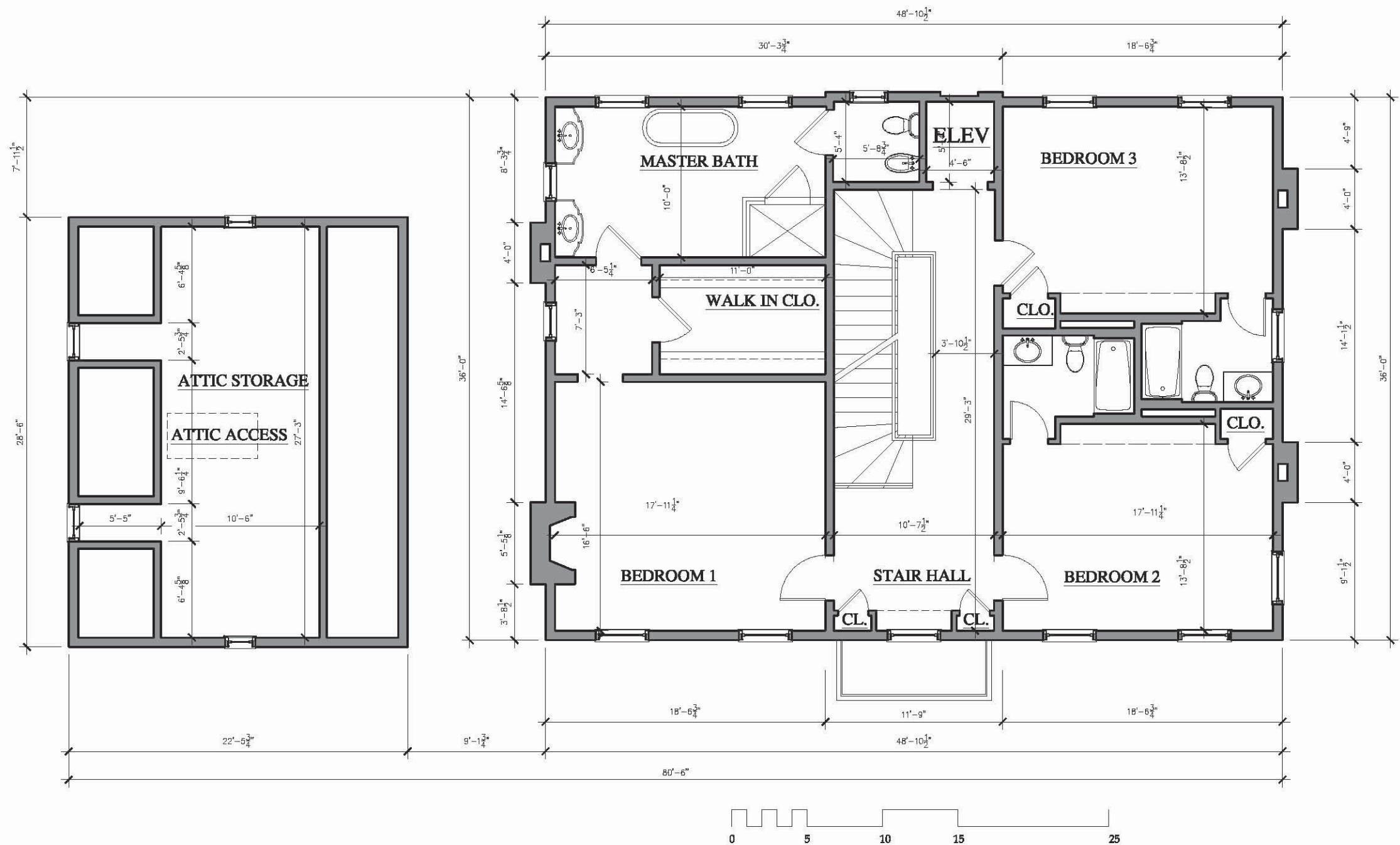
First Floor Plan

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**401-415 Wolfe Street**  
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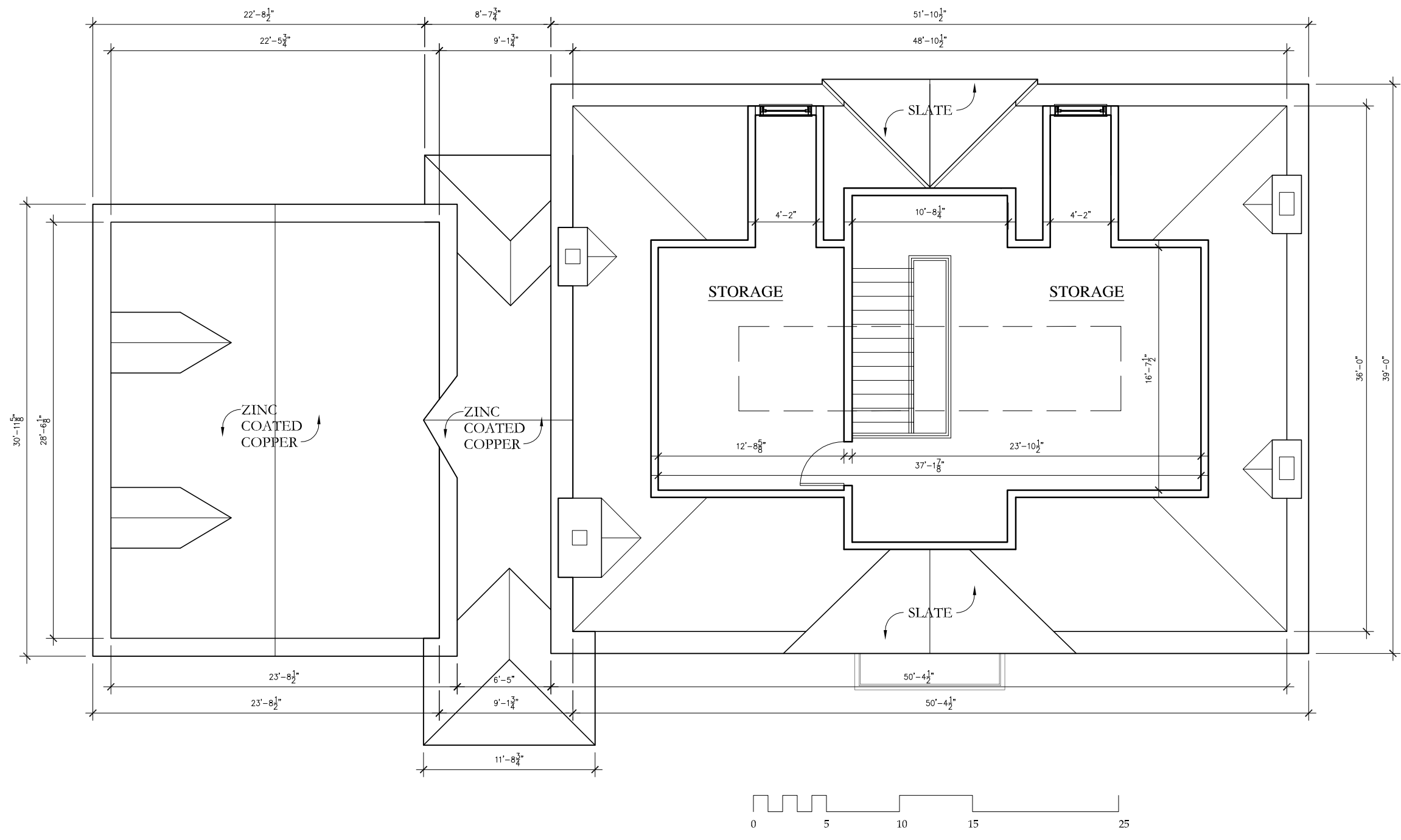
Second Floor Plan

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REVISED MATERIALS  
BAR2016-00016/00017  
401-415 Wolfe St.  
2/3/2016

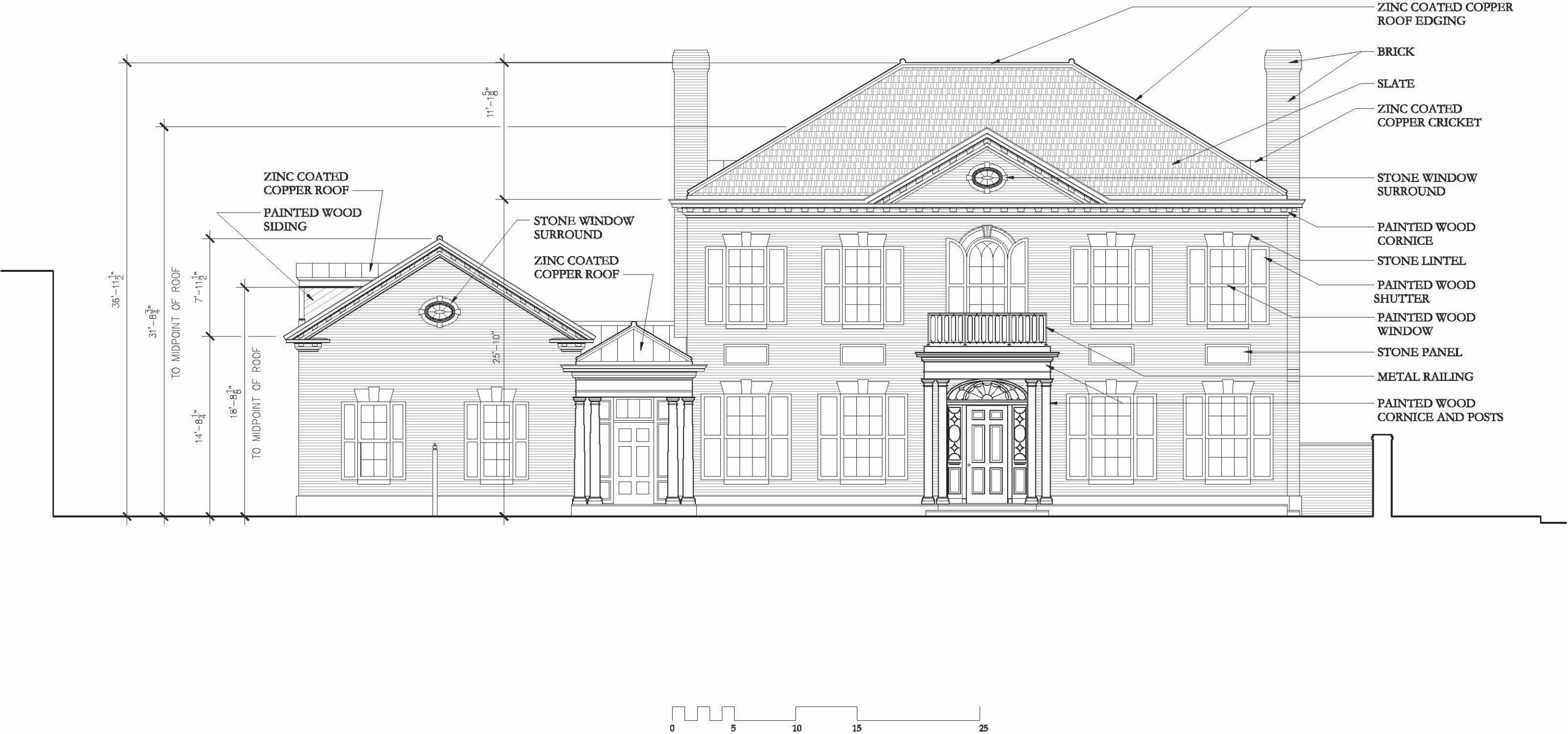


Third Floor Plan

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Garden (West) Elevation

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Sheet: A 3.1  
Drawing Scale: 1/8" = 1'-0"  
Date Issued: January 19, 2016

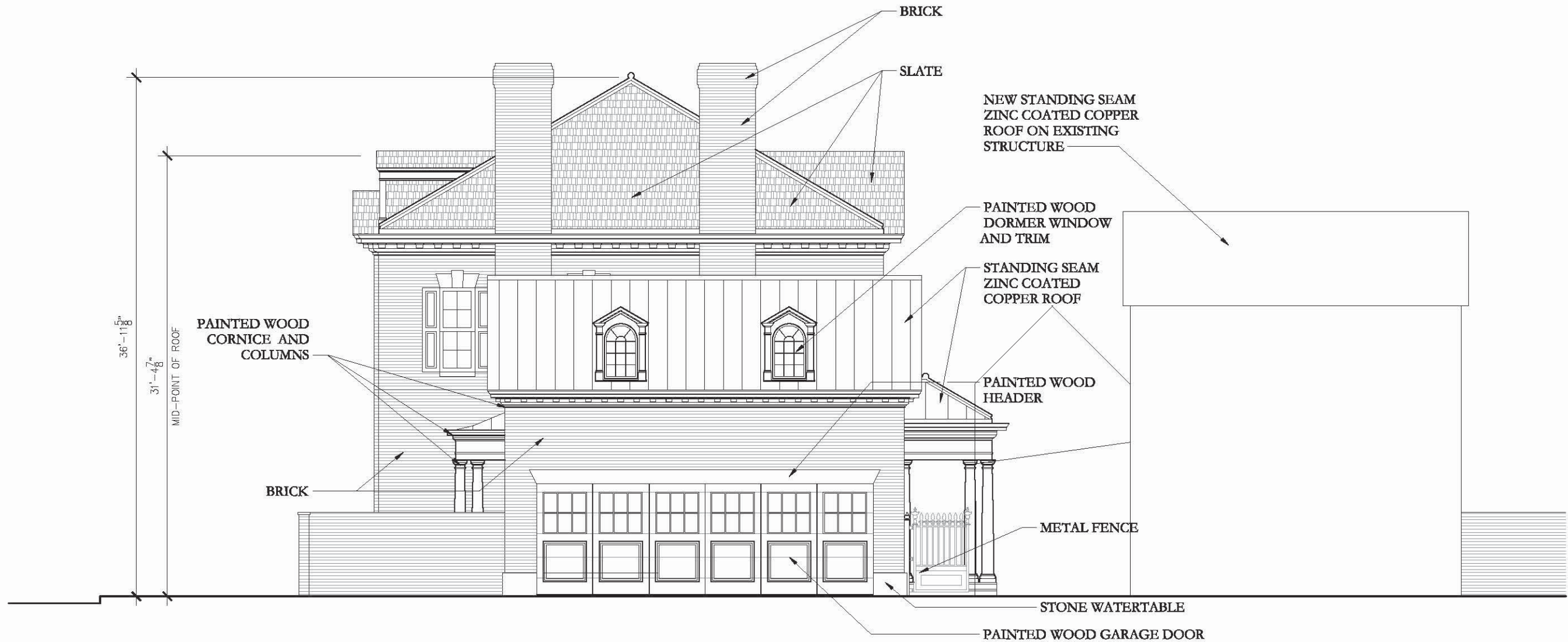


Wolfe Street (South) Elevation

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Sheet: A 3.2  
Drawing Scale: 1/8" = 1'-0"  
Date Issued: January 19, 2016



Alley (North) Elevation

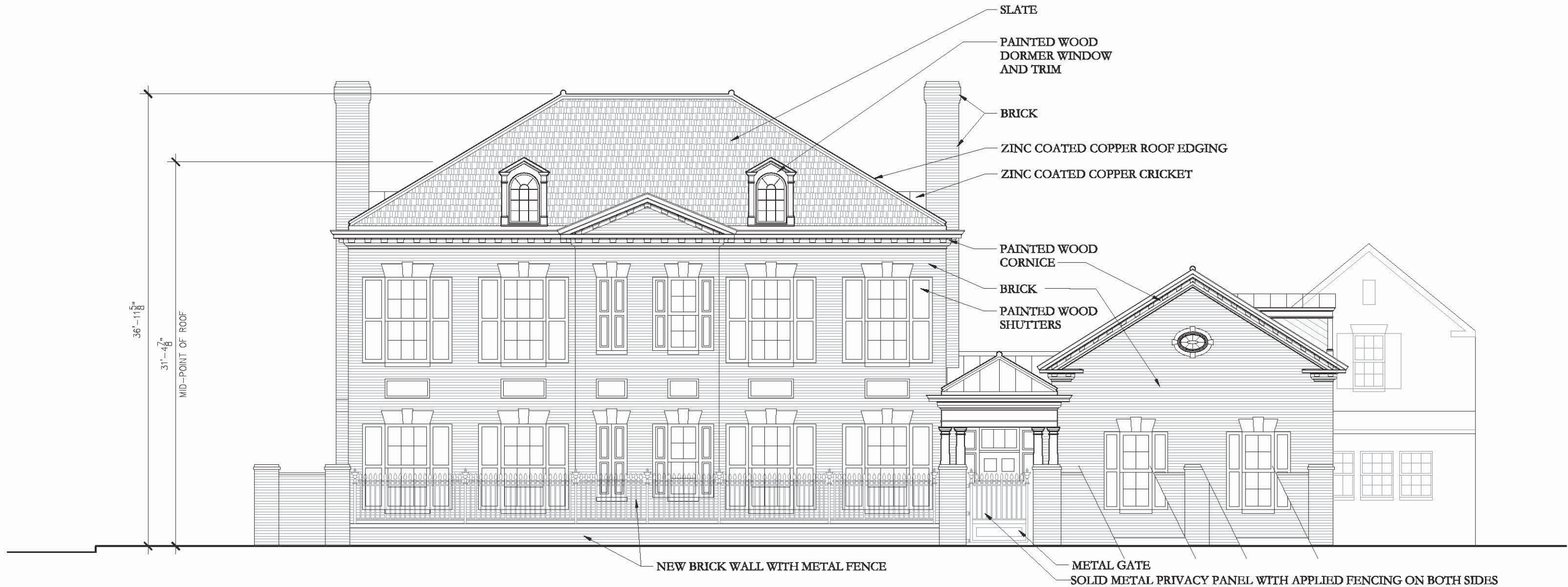
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Sheet: A 3.3  
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Date Issued: January 19, 2016

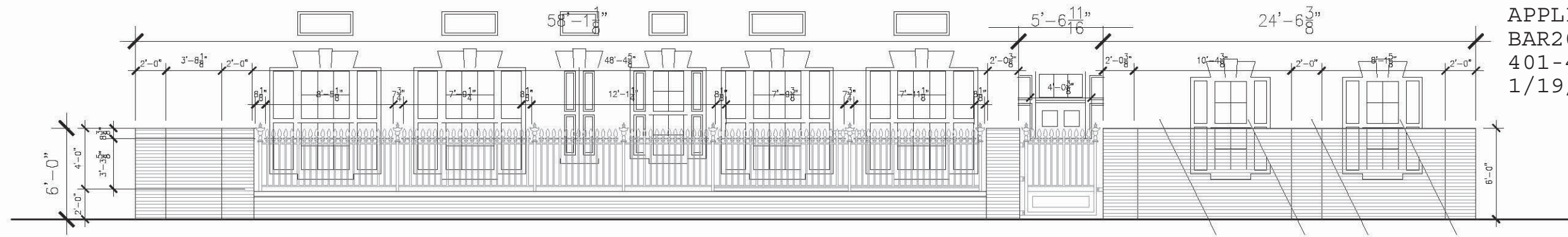


South Royal Street (East) Elevation

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401-415 Wolfe Street  
OLD TOWN ALEXANDRIA, VIRGINIA

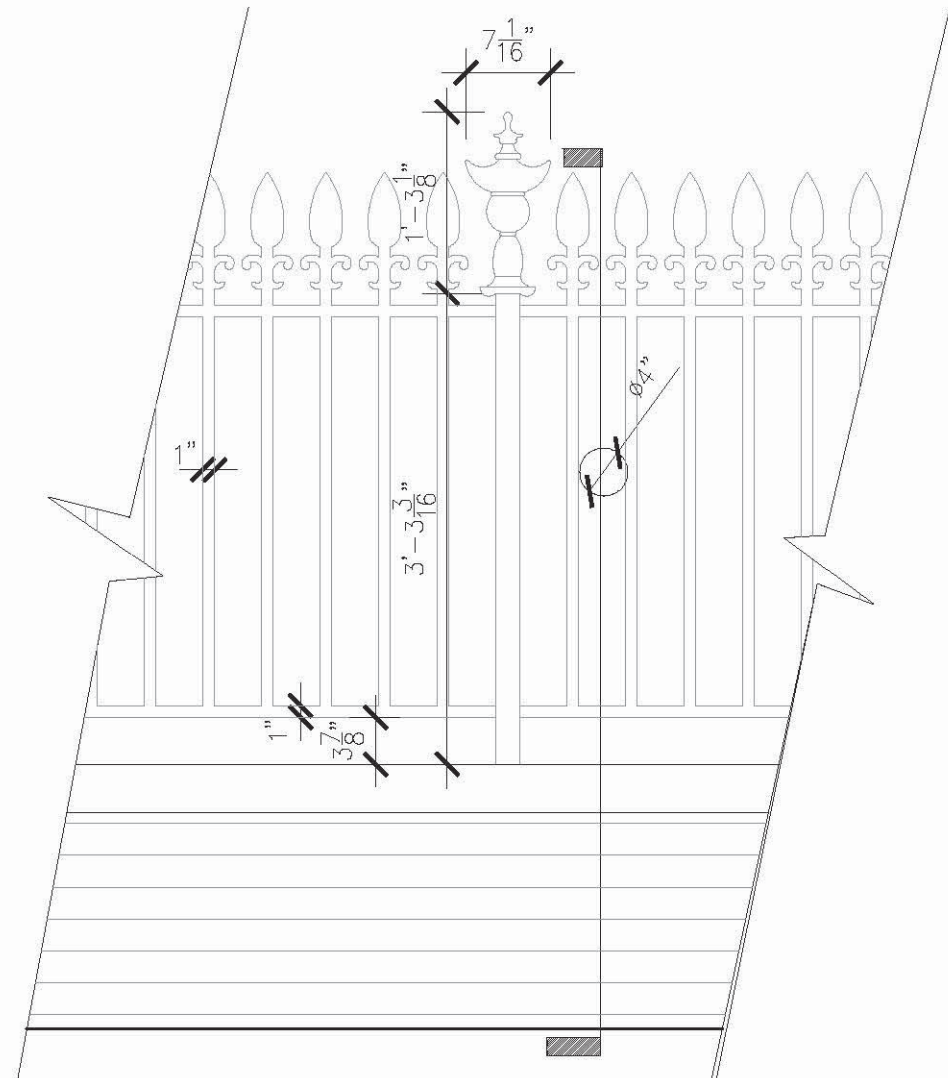
  
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Sheet: A 3.4  
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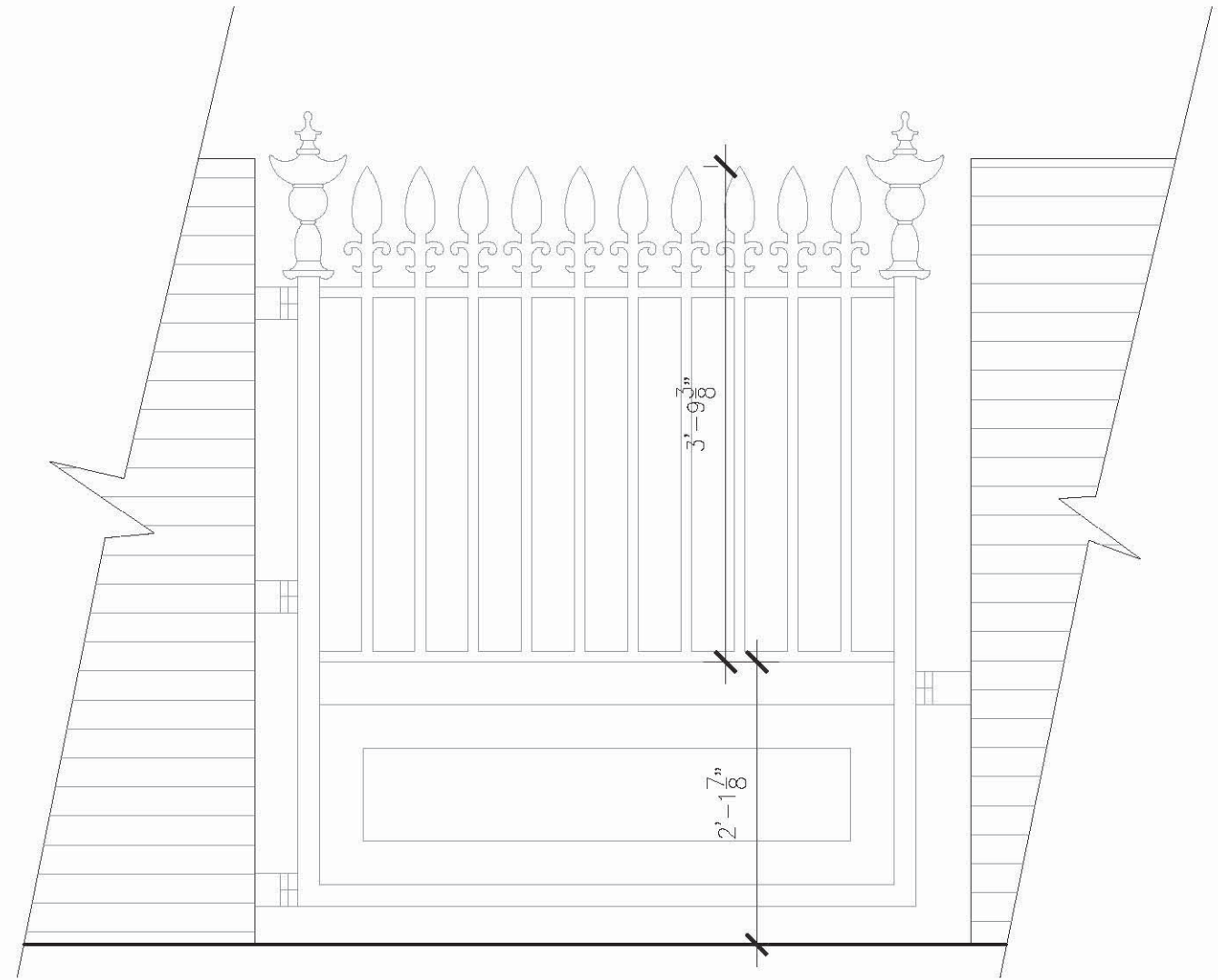


APPLICATION MATERIALS  
BAR2016-00016/00017  
401-415 Wolfe St.  
1/19/2016

2 ROYAL ST ELEVATION  
A6.1 1/8" = 1'-0"



1 DETAIL  
A6.1 3/4" = 1'-0"



3 DETAIL  
A6.1 3/4" = 1'-0"

### Wall and Railing Details

## Certificate of Appropriateness 401-415 Wolfe Street OLD TOWN ALEXANDRIA, VIRGINIA



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Sheet: A 6.1  
Drawing Scale: As Noted  
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Detail of Garden (West) Elevation

**Certificate of Appropriateness**  
**401-415 Wolfe Street**  
**OLD TOWN ALEXANDRIA, VIRGINIA**

Sheet: A 6.2  
Drawing Scale: 1/8" = 1'-0"  
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**Zinc Coated Copper Roof by Revere Copper Products, Inc.**

Freedom Gray is architectural sheet copper coated on both sides with Z-T Alloy (Revere Copper Product’s zinc-tin alloy and method of applying it to copper substrates). The satin finish reduces initial glare and reflectivity. Benefits include:

- Attractive
- Durable
- Reduced Staining
- Environmentally friendly

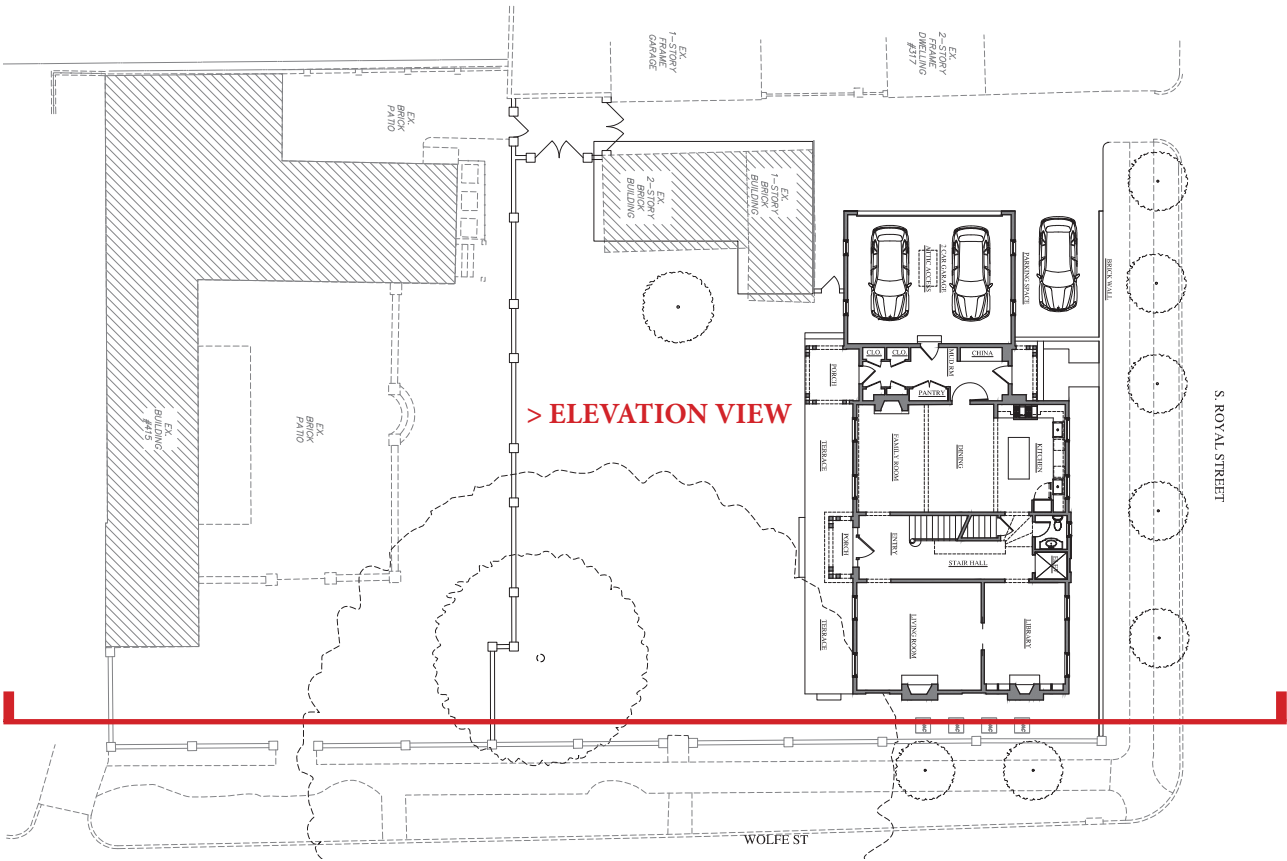


**Certificate of Appropriateness**  
**401-415 Wolfe Street**  
**OLD TOWN ALEXANDRIA, VIRGINIA**

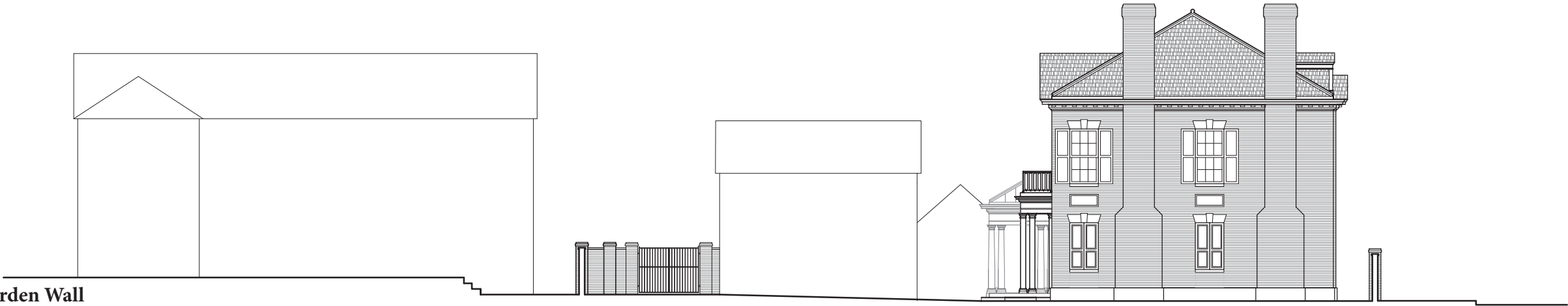
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Drawing Scale:  
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The new garden wall constructed to separate the properties will match the existing exterior brick wall running along Wolfe Street.



Elevation of New Garden Wall



Section through New Garden Wall

New Garden Wall Separating Properties

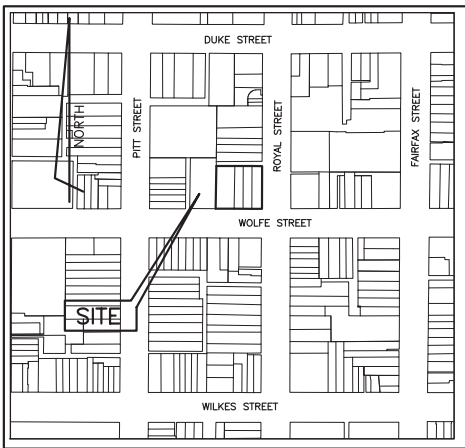
Certificate of Appropriateness  
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Drawing Scale:  
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APPLICATION MATERIALS  
BAR2016-00016/00017  
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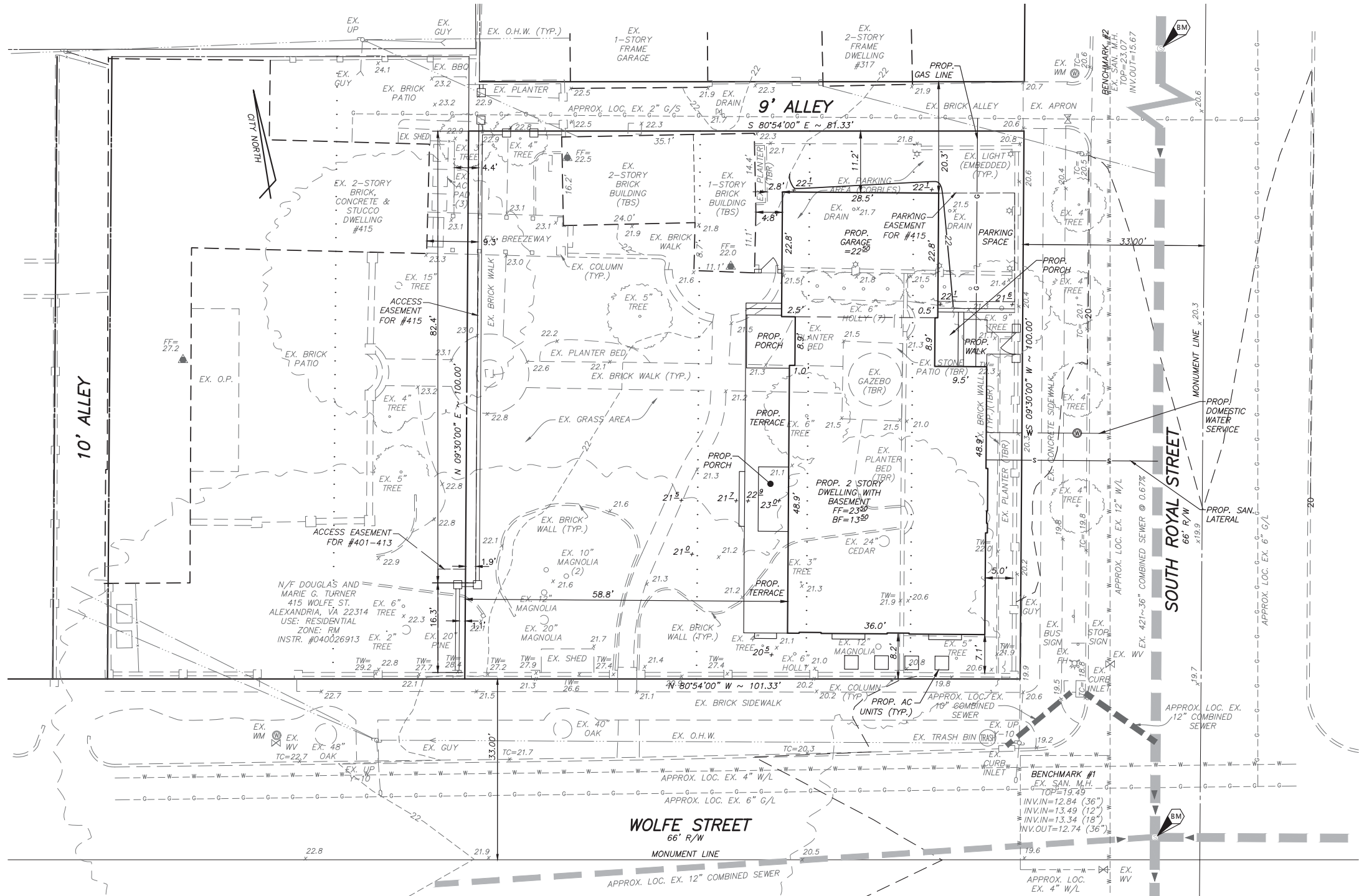
VICINITY MAP  
SCALE : 1" = 200'

GENERAL NOTES:

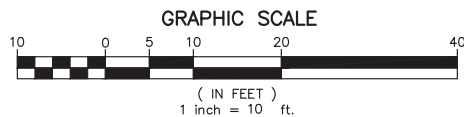
1. TAX MAP: #074.04-05-18, #074.04-05-19 & #074.04-05-20
2. ZONE: RM
3. OWNER: DOUGLAS OR GRACE MARIE TURNER  
415 WOLFE STREET  
ALEXANDRIA, VA 22314  
INSTR. # 040026913
4. TITLE REPORT NOT FURNISHED, THUS ALL EASEMENT MAY NOT BE SHOWN.
5. PLAT SUBJECT TO RESTRICTIONS OF RECORD.
6. TOTAL SITE AREA = 10,131 S.F. OR 0.2326 AC.  
PROPOSED BUILDING FOOTPRINT = 2,848 S.F. OR 0.0654 AC.  
EXISTING ACCESSORY STRUCTURE FOOTPRINT = 667 S.F. OR 0.0153 AC.  
PROPOSED TERRACE AREA = 322 S.F. OR 0.0074 AC.  
REMAINING SITE AREA = 6,294 S.F. OR 0.1445 AC.

LEGEND

EXISTING GRADE	64.3
PROPOSED GRADE	63.4
TO BE REMOVED	T.B.R.
TO BE SAVED	T.B.S.



APPLICATION MATERIALS  
BAR2016-00016/00017  
401-415 Wolfe St.  
1/19/2016



TOPOGRAPHY NOTE:

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DRAFT

GRADING PLAN  
THE PROPERTIES LOCATED ON  
**WOLFE STREET**  
CITY OF ALEXANDRIA, VIRGINIA  
(D.B. 118, PG. 86, DB. 118, PG 44 & DB. 77, PG. 315)

DATE REVISION

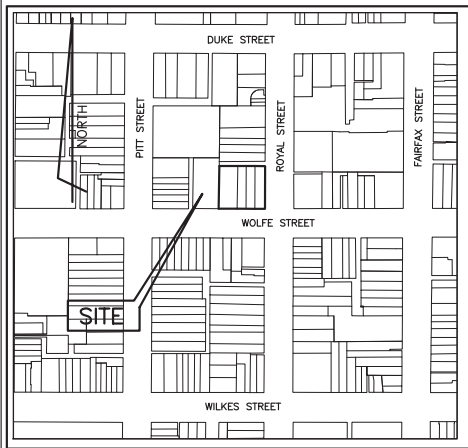
DESIGN:  
DRAWN: TJD

SCALE: 1" = 10'

DATE: JAN. 14, 2016

SHEET 1 OF 1

FILE: 15-163



VICINITY MAP  
SCALE : 1" = 200'

#### GENERAL NOTES:

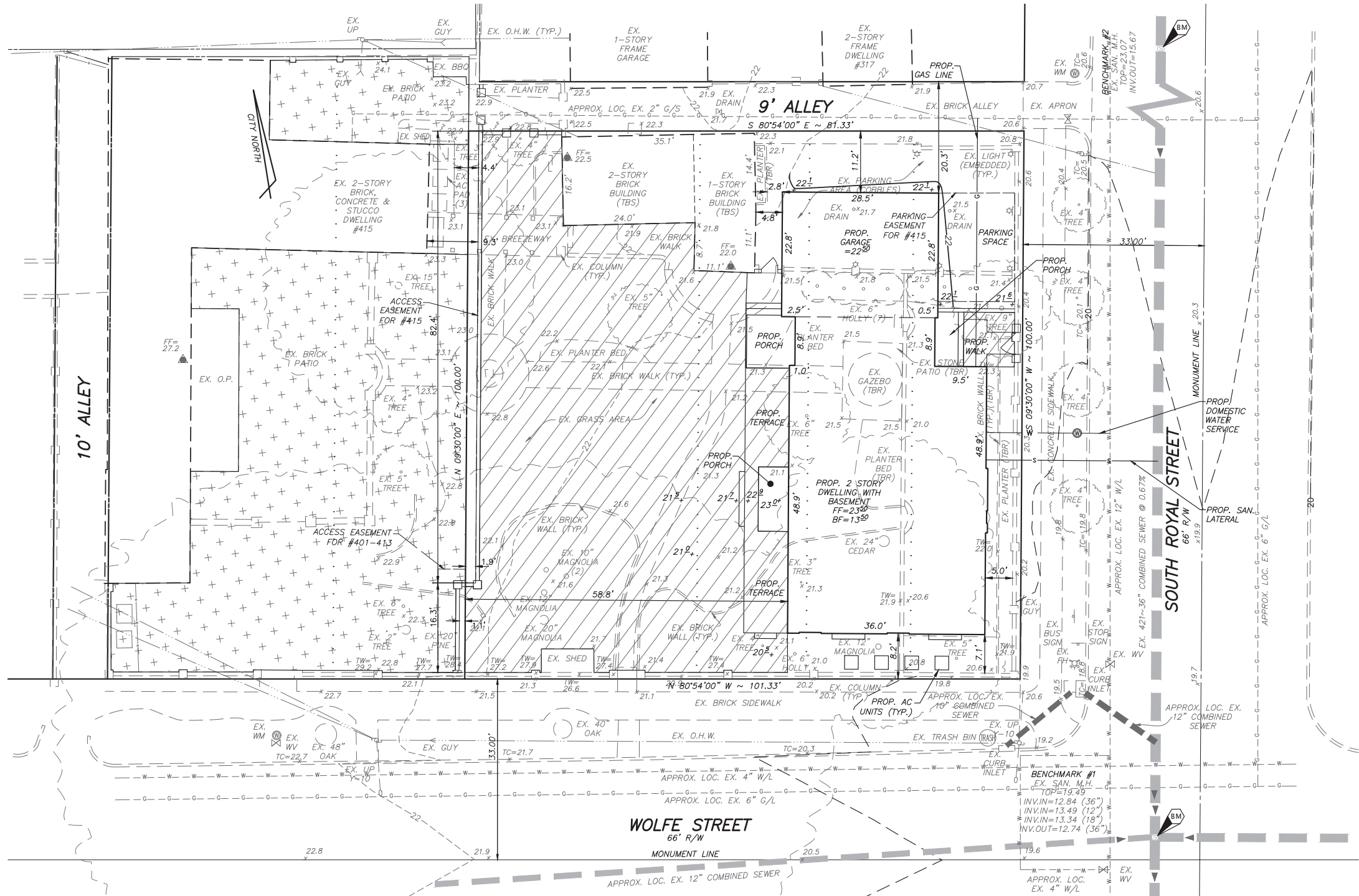
1. TAX MAP: #074.04-05-18, #074.04-05-19 & #074.04-05-20
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#### OPEN SPACE CALCULATIONS:

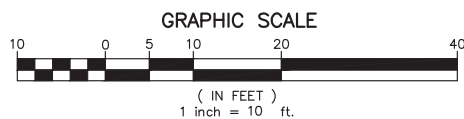
- TOTAL SITE AREA = 10,131 S.F. OR 0.2326 AC.  
OPEN SPACE AREA = 4,584 S.F. OR 0.1052 AC.  
PERCENT OPEN SPACE = 45.3%
- TOTAL SITE AREA = 7,402 S.F. OR 0.1699 AC.  
OPEN SPACE AREA = 4,324 S.F. OR 0.0993 AC.  
PERCENT OPEN SPACE = 58.4%

#### LEGEND

- |                |        |
|----------------|--------|
| EXISTING GRADE | 64.3   |
| PROPOSED GRADE | 63.4   |
| TO BE REMOVED  | T.B.R. |
| TO BE SAVED    | T.B.S. |



APPLICATION MATERIALS  
BAR2016-00016/00017  
401-415 Wolfe St.  
1/19/2016



#### TOPOGRAPHY NOTE:

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PROPOSED OPEN SPACE EXHIBIT  
THE PROPERTIES LOCATED ON

WOLFE STREET

(D.B. 118, PG. 86, DB. 118, PG 44 & DB. 77, PG. 315)  
CITY OF ALEXANDRIA, VIRGINIA

DATE REVISION

DESIGN:  
DRAWN: TJD

SCALE: 1" = 10'

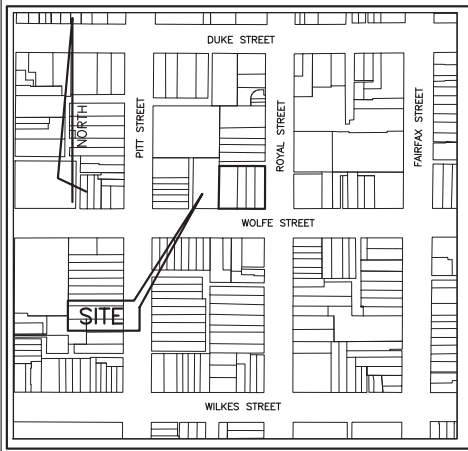
DATE: JAN. 14, 2016

SHEET 1 OF 1

FILE: 15-163

DRAFT

**R.C. FIELDS & ASSOCIATES, INC.**  
ENGINEERING • LAND SURVEYING • PLANNING  
730 S. Washington Street  
Alexandria, Virginia 22314  
(703) 549-6422  
www.rcfields.com



VICINITY MAP  
SCALE : 1" = 200'

#### GENERAL NOTES:

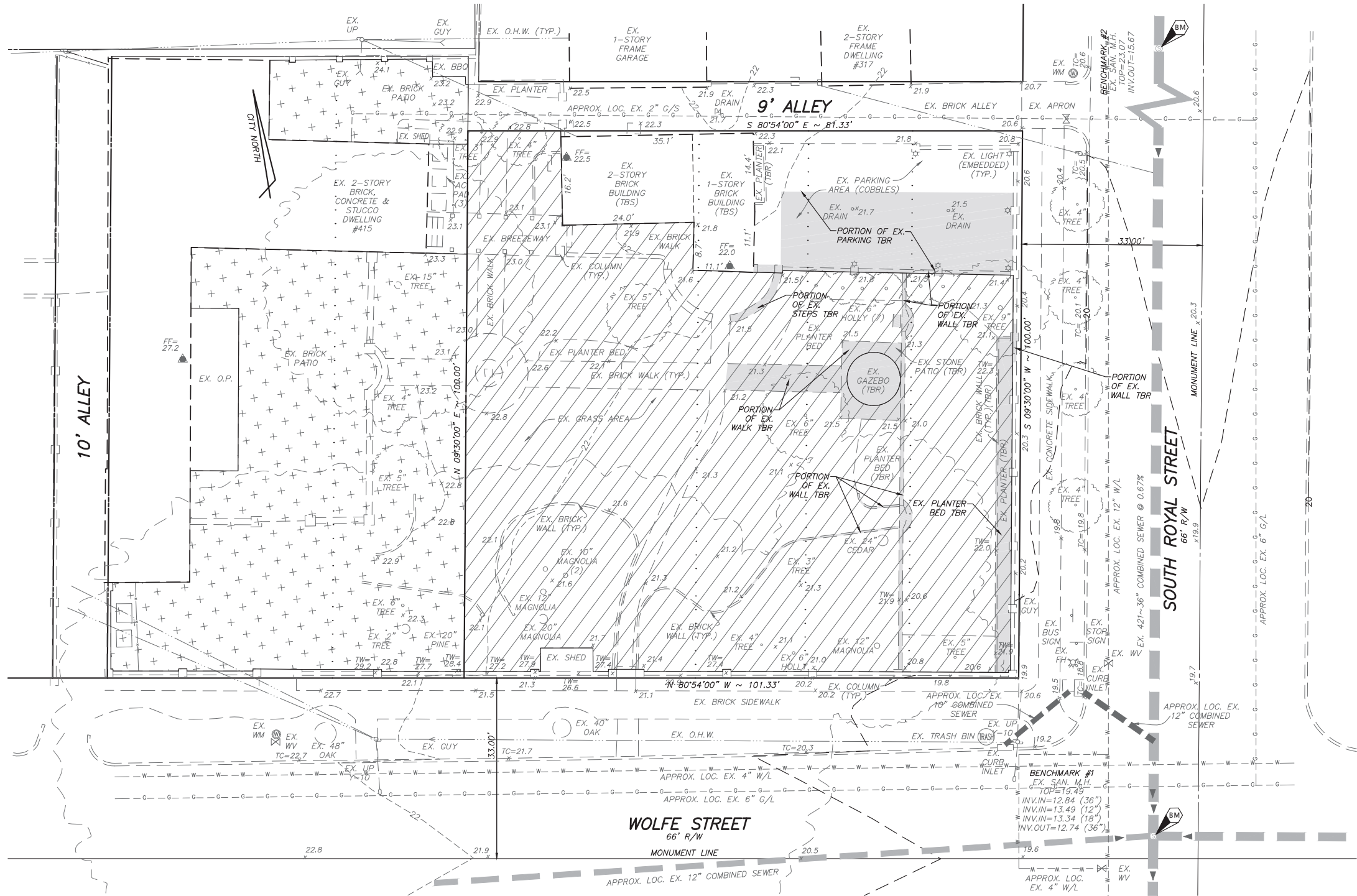
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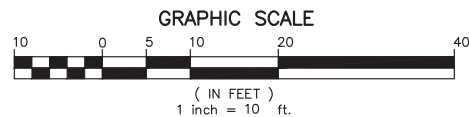
- TOTAL SITE AREA = 10,131 S.F. OR 0.2326 AC.  
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PERCENT OPEN SPACE = 77.2%
- TOTAL SITE AREA = 7,402 S.F. OR 0.1699 AC.  
OPEN SPACE AREA = 4,354 S.F. OR 0.1000 AC.  
PERCENT OPEN SPACE = 58.8%

#### LEGEND

- EXISTING IMPROVEMENT TO BE REMOVED
- EXISTING GRADE 64.3
- PROPOSED GRADE 63.4
- TO BE REMOVED T.B.R.
- TO BE SAVED T.B.S.



APPLICATION MATERIALS  
BAR2016-00016/00017  
401-415 Wolfe St.  
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EXISTING OPEN SPACE AND DEMOLITION EXHIBIT  
THE PROPERTIES LOCATED ON  
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CITY OF ALEXANDRIA, VIRGINIA  
(D.B. 118, PG. 86, DB. 118, PG 44 & DB. 77, PG. 315)

DATE REVISION

DESIGN:  
DRAWN: TJD

SCALE: 1" = 10'

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SHEET 1 OF 1

FILE: 15-163

DRAFT

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BAR Case # 2016-02016/0007ADDRESS OF PROJECT: 401 - 415 Wolfe Street, Alexandria, Virginia 22314TAX MAP AND PARCEL: 074.04 - 05 - 18, 19 & 20 ZONING: RMAPPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*Name: Gregory W. and Candy C. FazakerleyAddress: 2597 Halfway RoadCity: The Plains State: VA Zip: 20198Phone: 202.669.1212 E-mail: gwfazakerley@icloud.comAuthorized Agent *(if applicable)*: ☒ Attorney ☐ Architect ☐ \_\_\_\_\_Name: Duncan W. Blair, Esq. Phone: 703.836.1000E-mail: dblair@landcarroll.com

Legal Property Owner:

Name: See Attached

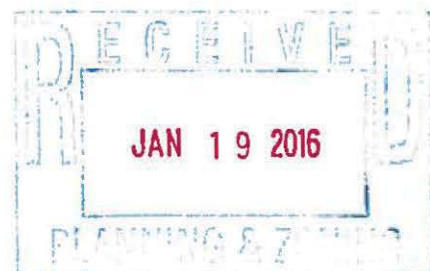
Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☒ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.



**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☒ NEW CONSTRUCTION  
☒ EXTERIOR ALTERATION: *Please check all that apply.*  
☐ awning ☐ fence, gate or garden wall ☐ HVAC equipment ☐ shutters  
☐ doors ☐ windows ☐ siding ☐ shed  
☐ lighting ☐ pergola/trellis ☐ painting unpainted masonry  
☐ other \_\_\_\_\_  
☐ ADDITION  
☒ DEMOLITION/ENCAPSULATION  
☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

Application to construct a new residence on the property known as 401 through 413 Wolfe Street, which was previously a part of the property owned and used by the owner of 415 Wolfe Street. The purchase of the subject property requires a new interior brick property line wall to be constructed, and that a non-historic covered walkway be partially removed from the existing 415 Wolfe Street house to the dependency now located on the subject property for the new residence. In addition, non-historic garden walls will need to be either demolished, partially demolished, (some cases temporarily), and also gates reconfigured appropriately. This application encompasses a Permit to Demolish and Certificate of Appropriateness, organized in to two parts: 1) Garden walls, covered walkways, and gates; 2) the New Residence at 401 Wolfe Street.

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- ☐ <sup>N/A</sup> ☒ Survey plat showing the extent of the proposed demolition/encapsulation.  
☐ ☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.  
☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.  
☐ ☒ Description of the reason for demolition/encapsulation.  
☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_
- ☐ ☒ Square feet of existing signs to remain: \_\_\_\_\_
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☒ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** Please read and check that you have read and understand the following items:

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: 

Printed Name: Duncan W. Blair, Esq.

Date: January 19, 2016

**BAR – OHAD Application**

**401 – 415 Wolfe Street; Fazakerley**

**January 19, 2016**

**LEGAL PROPERTY OWNER INFORMATION**

**401 – 403 Wolfe Street**

Gregory W. Fazakerley, Trustee of the Gregory W. Fazakerley Revocable Trust (50%)

2597 Halfway Road

The Plains, VA 20198

[gwfazakerley@icloud.com](mailto:gwfazakerley@icloud.com)

202.669.1212

Candy C. Fazakerley, Trustee of the Candy C. Fazakerley Revocable Trust (50%)

2597 Halfway Road

The Plains, VA 20198

[ccfazakerley@icloud.com](mailto:ccfazakerley@icloud.com)

202.744.8165

**415 Wolfe Street**

Douglas Turner

Grace Marie Turner

415 Wolfe Street

Alexandria, VA 22314

[gracemarie@galen.org](mailto:gracemarie@galen.org)

703.402.2884

# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Gregory W. Fazakerley	2597 Halfway Rd., The Plains, VA 20198	50%
2. Candy C. Fazakerley	2597 Halfway Rd., The Plains, VA 20198	50%
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 401 - 403 Wolfe Street, Alexandria, VA (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Gregory W. Fazakerley, Trustee of the Gregory W. Fazakerley Revocable Trust	See #1	50%
2. Candy C. Fazakerley, Trustee of the Candy C. Fazakerley Revocable Trust	See #1	50%
3.		

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Gregory W. Fazakerley, Trustee of the Gregory W. Fazakerley Revocable Trust	None	BAR - OHAD
2. Candy C. Fazakerley, Trustee of the Candy C. Fazakerley Revocable Trust	None	BAR - OHAD
3.		

**NOTE:** Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

January 19, 2016

Duncan W. Blair, Esq. (agent)

Date

Printed Name

Signature

## OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 415 Wolfe Street, Alexandria, VA (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Grace-Marie Turner	415 Wolfe St., Alexandria, VA	100%
2. Douglas Turner	415 Wolfe St., Alexandria, VA	100%
3.		

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Grace-Marie Turner	None	OHAD-BAR
2. Douglas Turner	None	OHAD-BAR
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

1-15-16  
Date

Grace-Marie Turner also for Douglas Turner  
Printed Name

*Grace Marie Turner and for Douglas Turner, his attorney in fact*  
Signature

**PROPERTY OWNER'S AUTHORIZATION**

As the property owner of 415 Wolfe Street, Alexandria, Virginia 22314, I hereby  
(Property Address) file Board of Architectural Review  
grant the applicant authorization to (BAR) applications for 415 Wolfe St. for use as  
(use)  
described in this application.

Name: Grace-Marie Turner also for Douglas TurnerPhone 703 402-2884(C)

Please Print

Address: 415 Wolfe St Alex VAEmail: gracemarie@galen.orgSignature: Grace Marie TurnerDate: Jan 15, 2016and for Douglas Turner, his ATTY in fact