

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

800 NORTH WASHINGTON STREET

CITY OF ALEXANDRIA, VIRGINIA

AREA TABULATIONS

TOTAL SITE AREA = 0.4536 AC 19,757 SF

TOTAL AREA OF TAX PARCELS = 0.4536 AC 19,757 SF

TOTAL EXISTING IMPERVIOUS AREA = 0.3547 AC 15,450 SF

TOTAL PROPOSED IMPERVIOUS AREA = 0.4067 AC 17,716 SF

TOTAL DISTURBED AREA = 0.6364 AC 27,722 SF

ENVIRONMENTAL SITE ASSESSMENT

1. THERE ARE NO RESOURCE PROTECTION AREAS (RPA'S), TIDAL WETLANDS, SHORES, TRIBUTARY STREAMS, FLOOD PLAINS, OR BUFFER AREAS FOR SHORES, WETLANDS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS OR HIGHLY ERODIBLE/PERMEABLE SOILS LOCATED ON THIS SITE. THERE ARE NO WETLAND PERMITS REQUIRED FOR THE DEVELOPMENT ON THIS PROPERTY.
2. THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, DIVISION OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASE TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY REGULATIONS.
3. ALL WELLS TO BE DEMOLISHED ON THIS PROJECT, INCLUDING MONITORING WELLS, MUST BE CLOSED IN ACCORDANCE WITH STATE WELL REGULATION. CONTACT THE ALEXANDRIA HEALTH DEPARTMENT AT 703-746-4866.
4. THERE ARE NO KNOWN CONTAMINATED AREAS, CONTAMINATED SOILS OR ENVIRONMENTAL ISSUES ASSOCIATED WITH THIS SITE.
5. THIS PROJECT IS LOCATED WITHIN 1000' OF A FORMER SANITARY LANDFILL.

ENVIRONMENTAL PERMITS NOTES

ALL REQUIRED PERMITS FROM VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY, ENVIRONMENTAL PROTECTION AGENCY, ARMY CORPS OF ENGINEERS, VIRGINIA MARINE RESOURCES MUST BE IN PLACE FOR ALL PROJECT CONSTRUCTION AND MITIGATION WORK PRIOR TO RELEASE OF THE FINAL SITE PLAN.

THIS PROJECT PROPOSES CONSTRUCTION ACTIVITIES THAT DISTURB AN AREA LESS THAN 1 ACRE, THEREFORE A VPDES PERMIT IS NOT REQUIRED.

ARCHAEOLOGY NOTES

CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIMES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

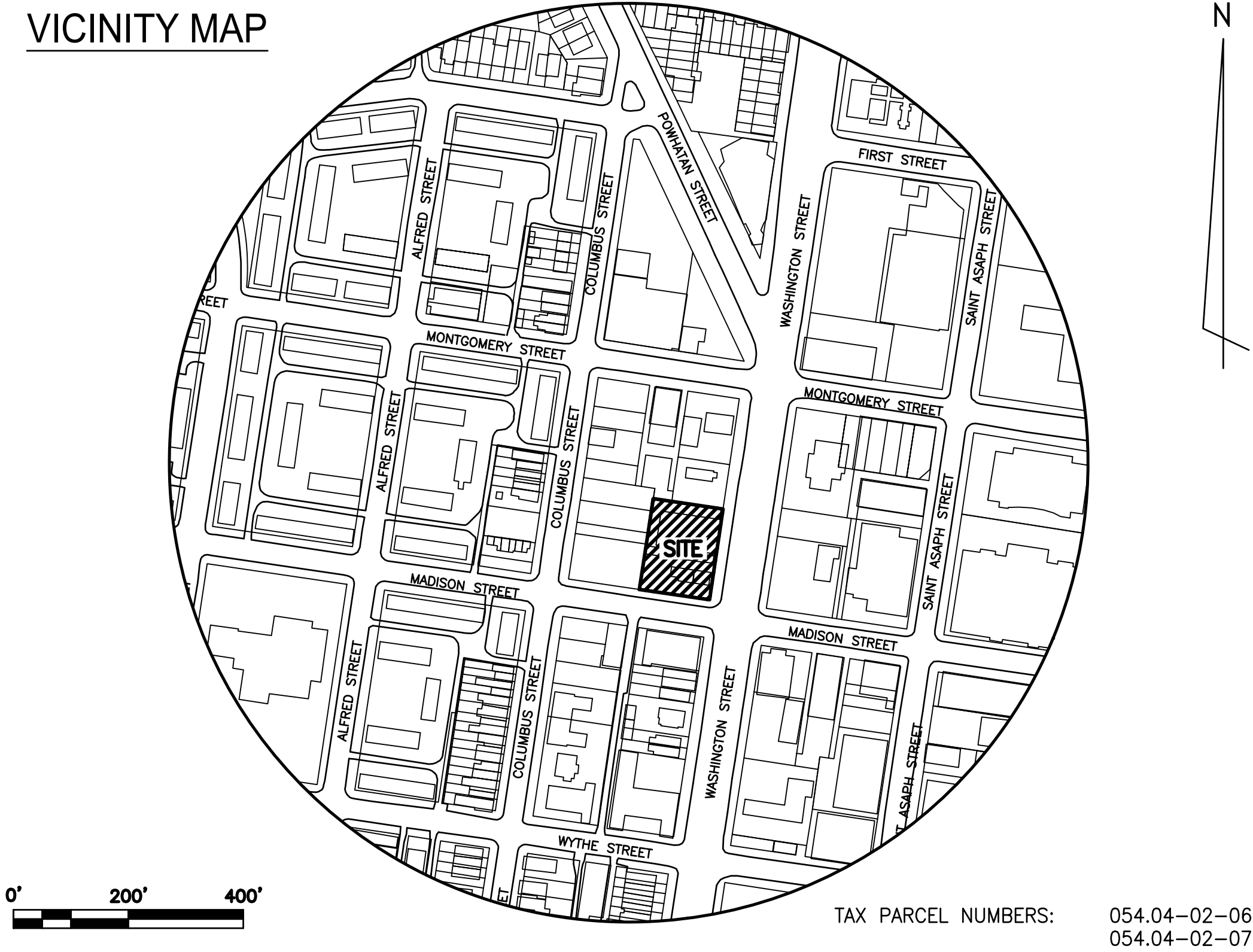
THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

GENERAL NOTES

1. PRIOR TO THE APPLICATION FOR NEW CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL SUBMIT A BUILDING PERMIT FOR A CHANGE OF USE. DRAWINGS PREPARED BY A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER SHALL ACCOMPANY THE PERMIT APPLICATION. THE PLANS SHALL SHOW PROPOSED CONDITIONS AND PROVIDE DATA BY THE DESIGN PROFESSIONAL WHICH DETAILS HOW THE PROPOSED USE WILL COMPLY WITH THE CURRENT EDITION OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE FOR THE NEW USE IN THE AREA OF STRUCTURAL STRENGTH, MEANS OF EGRESS, PASSIVE AND ACTIVE FIRE PROTECTION, HEATING AND VENTILATING SYSTEMS, HANDICAPPED ACCESSIBILITY AND PLUMBING FACILITIES.
2. NEW CONSTRUCTION MUST COMPLY WITH THE CURRENT EDITION OF THE UNIFORM STATEWIDE BUILDING CODE (USBC).
3. BEFORE A BUILDING PERMIT CAN BE ISSUED ON ANY PROPOSED FUTURE ALTERATIONS, A CERTIFICATION IS REQUIRED FROM THE OWNER OR OWNER'S AGENT THAT THE BUILDING HAS BEEN INSPECTED BY A LICENSED ASBESTOS INSPECTOR FOR THE PRESENCE OF ASBESTOS.
4. A CERTIFICATE OF OCCUPANCY SHALL BE OBTAINED PRIOR TO ANY OCCUPANCY OF THE BUILDING OR PORTION THEREOF.
5. REQUIRED EXITS, PARKING, AND ACCESSIBILITY WITHIN THE BUILDING FOR PERSONS WITH DISABILITIES MUST COMPLY WITH USBC CHAPTER 11. HANDICAPPED ACCESSIBLE BATHROOMS SHALL ALSO BE PROVIDED.
6. TOILET FACILITIES FOR PERSONS WITH DISABILITIES: LARGER, DETAILED, DIMENSIONED DRAWINGS ARE REQUIRED TO CLARIFY SPACE LAYOUT AND MOUNTING HEIGHTS OF AFFECTED ACCESSORIES. INFORMATION ON DOOR HARDWARE FOR THE TOILET STALL IS REQUIRED (USBC 1109.2.2).
7. IF APPLICABLE, ENCLOSED PARKING GARAGES MUST BE VENTILATED IN ACCORDANCE WITH USBC 406.4.2. THE REQUIRED MECHANICAL VENTILATION RATE FOR AIR IS 0.75 CFM PER SQUARE FOOT OF THE FLOOR AREA (USBC 2801.1). IN AREAS WHERE MOTOR VEHICLES OPERATE FOR A PERIOD OF TIME EXCEEDING 10 SECONDS, THE VENTILATION RETURN AIR MUST BE EXHAUSTED. AN EXHAUST SYSTEM MUST BE PROVIDED TO CONNECT DIRECTLY TO THE MOTOR VEHICLE EXHAUST (USBC 2801.1).
8. ELECTRICAL WIRING METHODS AND OTHER ELECTRICAL REQUIREMENTS MUST COMPLY WITH NFPA 70, 2008.
9. IF APPLICABLE, THE PUBLIC PARKING GARAGE FLOOR MUST COMPLY WITH USBC 406.2.6 AND DRAIN THROUGH OIL SEPARATORS OR TRAPS TO AVOID ACCUMULATION OF EXPLOSIVE VAPORS IN BUILDING DRAINS OR SEWERS AS PROVIDED FOR IN THE PLUMBING CODE (USBC 2901). THIS PARKING GARAGE IS CLASSIFIED AS AN S-2, GROUP 2, PUBLIC GARAGE.
10. THIS PROJECT IS LOCATED IN A COMBINED SEWER AREA.
11. THIS SITE DOES NOT CONTAIN ANY AREAS PREVIOUSLY MAPPED AS MARINE CLAYS.

VICINITY MAP



PROJECT DESCRIPTION NARRATIVE

THE APPLICANT REQUESTS A DEVELOPMENT SPECIAL USE PERMIT WITH SITE PLAN (DSUP) TO PERMIT REDEVELOPMENT OF THE SITE. THE PROPERTY CURRENT CONSISTS OF A 2-STORY MOTEL AND 3-STORY TOWNHOUSE. THIS PROJECT PROPOSES RELOCATING THE EXISTING TOWNHOUSE ONSITE, DEMOLITION OF THE EXISTING MOTEL, CONSTRUCTION OF A 5-STORY HOTEL BUILDING WITH UNDERGROUND PARKING, AND IMPROVED STREETScape/OPEN SPACE. SITE ACCESS WILL BE PROVIDED BY A ONE-WAY ENTRANCE AT THE NORTHEAST CORNER OF THE SITE ON NORTH WASHINGTON STREET AND EXIT AT THE SOUTHWEST CORNER ALONG MADISON STREET.

REQUESTED APPLICATIONS AND MODIFICATIONS:

THIS DEVELOPMENT IS REQUESTING A:

- DEVELOPMENT SPECIAL USE PERMIT WITH SITE PLAN TO INCREASE THE FLOOR AREA RATIO TO 2.5 PER SECTION 4-606(B)
- SPECIAL USE PERMIT FOR A HOTEL PER SECTION 4-603(N)
- SPECIAL USE PERMIT FOR A PARKING REDUCTION FOR PARKING AND LOADING SPACES, AS WELL AS THE USE OF TANDEM SPACES
- TRANSPORTATION MANAGEMENT PLAN FOR TIER ONE USE UNDER SECTION 11-704
- ADMINISTRATIVE SPECIAL USE PERMIT FOR VALET PARKING
- MODIFICATION FOR THE ZONE TRANSITION LINE SETBACK FOR A PORTION OF THE WEST SIDE YARD OF THE PROPERTY
- REDUCTION IN THE TREE CANOPY COVER REQUIREMENT

OWNER/DEVELOPER

OWNER:
SHAKTI, LLC
808 N. WASHINGTON STREET
ALEXANDRIA, VA 22314
INSTRUMENT #010017181

DEVELOPER:
SHAKTI, LLC
808 N. WASHINGTON STREET
ALEXANDRIA, VA 22314
(703) 548-3500
CONTACT: NEIL PATEL

ARCHITECT:
RUST ORLING ARCHITECTS
1215 CAMERON STREET
ALEXANDRIA, VA 22314
(703) 836-3205
CONTACT: SCOTT FLEMING

PLAN PREPARED BY:
R.C. FIELDS & ASSOCIATES, INC.
730 S. WASHINGTON STREET
ALEXANDRIA, VA 22314
(703) 549-6422
CONTACT: ANDREA SPRUCH

ATTORNEY:
HART, CALLEY, GIBBS & KARP, P.C.
307 N. WASHINGTON STREET
ALEXANDRIA, VA 22314
(703) 836-5757
CONTACT: MARY CATHERINE GIBBS

LANDSCAPE ARCHITECTURE:
STUDIO 39 LANDSCAPE ARCHITECTURE, P.C.
6416 GROVEDALE DRIVE, SUITE 100-A
ALEXANDRIA, VA 22310
(703) 719-6500 X106
CONTACT: DAN DOVE

ZONING TABULATIONS

1. ZONE OF SITE: CD-X (COMMERCIAL DOWNTOWN (OLD TOWN NORTH))
2. USE: EXISTING MOTEL PROPOSED HOTEL
3. LOT AREA: 19,757 SF (0.4536 AC) MINIMUM LOT AREA: N/A
4. NUMBER OF DWELLING UNITS (ROOMS): N/A
5. NUMBER OF HOTEL ROOMS: EXISTING 26 PROPOSED 98
6. UNITS PER ACRE: ALLOWED N/A PROPOSED N/A
7. FLOOR AREA: GROSS: 53,345 SF
GARAGE: 16,052 SF
NET: 49,370 SF
8. FLOOR AREA RATIO: EXISTING: 0.75
ALLOWED: 2.50
PROPOSED: 2.50
9. OPEN SPACE: REQUIRED: N/A
PROPOSED:
GROUND LEVEL: 1,250 SF (6.33%)
ABOVE GRADE: 500 SF (2.53%)
TOTAL: 1,750 SF (8.86%)
10. AVERAGE FINISHED GRADE: 43.18
11. HEIGHT: PERMITTED 50' PROPOSED 50'
12. YARDS: REQUIRED:
SIDE (NORTH): N/A
SIDE (WEST): 50' (PER SECTION 7-900)
FRONT (EAST): N/A
FRONT (SOUTH): N/A
PROPOSED:
SIDE (NORTH): 0.5'
SIDE (WEST): 13.2'
FRONT (EAST): 0.7'
FRONT (SOUTH): 4.9'
13. FRONTAGE: REQUIRED: N/A
PROPOSED:
N WASHINGTON ST: 160.1'
MADISON ST: 123.4'

- * 14. PARKING: REQUIRED:
0.7 SPACES/ROOM = 0.7 x 98 = 68.6 OR 69 SPACES

PROVIDED:
STANDARD SIZE PARKING: 17 SPACES (GARAGE)
2 SPACES (SURFACE, ON-SITE)
STANDARD SIZE VALET PARKING: 14 SPACES (GARAGE)
COMPACT SIZE PARKING: 11 SPACES (GARAGE)
ACCESSIBLE SIZE PARKING: 2 SPACES (GARAGE)
1 SPACES (SURFACE, ON-SITE)
TOTAL PARKING: 47 SPACES

PARKING RATIO PROPOSED:
0.48 SPACES/ROOM = 0.48 x 98 = 47.0 OR 47 SPACES

- * 15. LOADING SPACES: REQUIRED 3 PROPOSED 1
16. TRIP GENERATION: EXISTING 169 VPD PROPOSED 504 VPD (PER ITE STANDARDS)
EXISTING AM PEAK: 14 AVTE PROPOSED AM PEAK: 55 AVTE (PER ITE STANDARDS)
EXISTING PM PEAK: 24 AVTE PROPOSED PM PEAK: 55 AVTE (PER ITE STANDARDS)

* SEE REQUESTED APPLICATIONS/MODIFICATIONS FOR DETAILED INFORMATION (THIS SHEET)

BUILDING CODE ANALYSIS:

USE GROUP:	S-2 (GARAGE), R-1 (1ST-5TH FLOORS)
TYPE OF CONSTRUCTION:	IA (GARAGE & 1ST FLOOR), IIB (2ND-5TH FLOORS), IIIB (TOWNHOUSE)
NUMBER OF STORIES:	5
FLOOR AREA (GROSS):	53,345 SF
FLOOR AREA (NET):	49,370 SF
BUILDING FOOT PRINT AREA:	9,755 SF
BUILDING HEIGHT:	50 FT
FIRE SUPPRESSION/DETECTION:	FULLY SPRINKLERED

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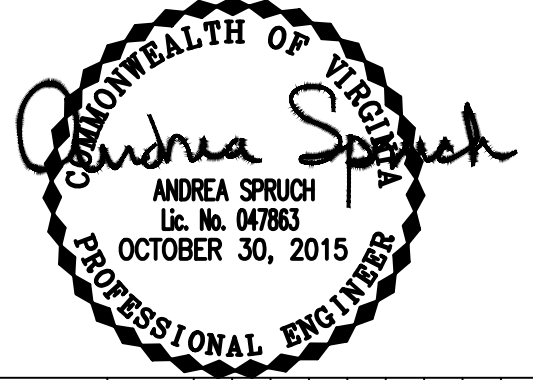
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RCF **Fields & Associates, Inc.**

ENGINEERING • LAND SURVEYING • PLANNING
730 S. Washington Street
Alexandria, Virginia 22314
(703) 549-9422

PROJ. MANAGER: ANDREA SPRUCH
EMAIL: ASPRUCH@RCFASOC.COM

SCALE: AS NOTED DATE: AUGUST 2015 DRAWN: AB REV:



REVISION APPROVED BY		DATE	
NO.	DESCRIPTION	REV. BY	APPROVED

PRELIMINARY DEVELOPMENT
SPECIAL USE PERMIT
800 NORTH
WASHINGTON STREET
CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: COVER SHEET

APPROVED
SPECIAL USE PERMIT NO. 2015-0004

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

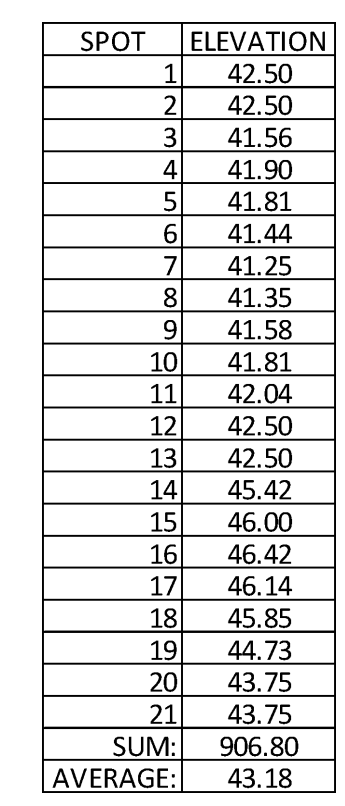
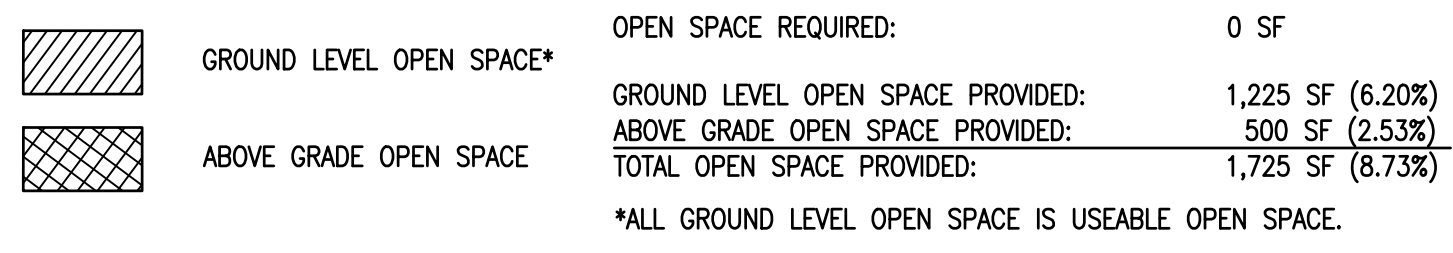
SITE PLAN NO.

DIRECTOR DATE

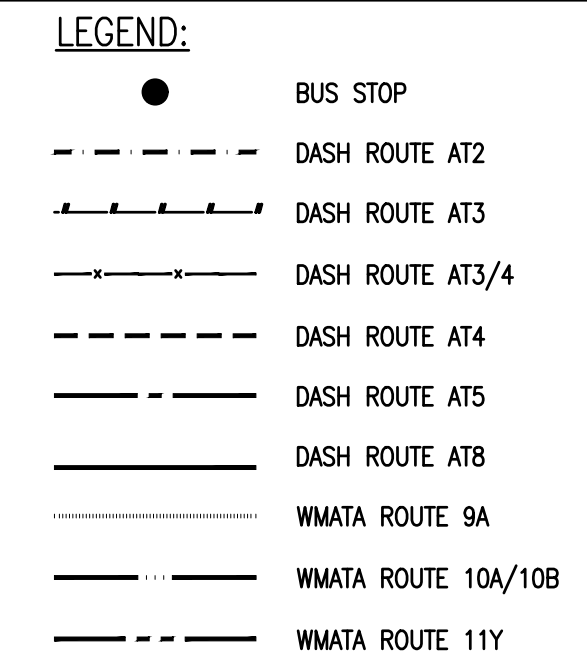
CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. DATE



<p>#735 N. COLUMBUS STREET 735 N. COLUMBUS STREET ALEXANDRIA, VA 22314 TM #054.04-08-01 ZONE: RB USE: CHURCHES/RELIGIOUS DB. 801, PG. 513</p>	<p>#805 N. COLUMBUS STREET 320 S. WASHINGTON STREET ALEXANDRIA, VA 22314 TM #054.04-02-08 ZONE: RB USE: CHURCHES/RELIG. DB. 1031, PG. 213</p>	<p>#809 N. COLUMBUS STREET 320 S. WASHINGTON STREET ALEXANDRIA, VA 22314 TM #054.04-02-09 ZONE: RB USE: CHURCHES/RELIGIOUS DB. 1031, PG. 211</p>	<p>#811 N. COLUMBUS STREET 320 S. WASHINGTON STREET ALEXANDRIA, VA 22314 TM #054.04-02-10 ZONE: RB USE: CHURCHES/RELIGIOUS DB. 1438, PG. 1818</p>
<p>#823 N. COLUMBUS STREET 320 S. WASHINGTON STREET ALEXANDRIA, VA 22314 TM #054.04-02-02 ZONE: RB USE: CHURCHES/RELIGIOUS DB. 1438, PG. 1818</p>	<p>#827 N. COLUMBUS STREET 827 N. COLUMBUS STREET ALEXANDRIA, VA 22314 TM #054.04-02-01 ZONE: RB USE: DETACHED HOUSE INSTR. #050021533</p>	<p>#898 N. COLUMBUS STREET N/V/ RAFAT OR SHAISTA MAHMOOD 700 N. WASHINGTON STREET ALEXANDRIA, VA 22314 TM #054.04-02-03 ZONE: CDX USE: VACANT LAND COMM. INSTR. #000023752</p>	<p>#828 N. WASHINGTON STREET 700 N. WASHINGTON STREET ALEXANDRIA, VA 22314 TM #054.04-02-04 ZONE: CDX USE: RESTAURANT/FAST FOOD INSTR. #0070003676</p>
<p>#801 N. WASHINGTON STREET 68 BUSH AVENUE GREENWICH, CT 06830 TM #054.04-02-14 ZONE: CDX USE: REPAIR SERVICES DB. 1130, PG. 1371</p>	<p>#801 N. WASHINGTON STREET 727 N. WASHINGTON STREET ALEXANDRIA, VA 22314 TM #054.04-09-01 ZONE: CDX USE: OFFICE BUILDINGS INSTR. #030004208</p>	<p>#801 N. WASHINGTON STREET 732 S. WASHINGTON STREET ALEXANDRIA, VA 22314 TM #054.04-08-04 ZONE: CDX USE: OFFICE BUILDINGS INSTR. #050010199</p>	<p>#710 MADISON STREET 732 S. WASHINGTON STREET ALEXANDRIA, VA 22314 TM #054.04-08-03, ZONE: RB USE: SUB-PARCEL INSTR. #050010199</p>



APPROVED	
SPECIAL USE PERMIT NO. <u>2015-0004</u>	
DEPARTMENT OF PLANNING & ZONING	
_____ DIRECTOR	_____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
_____ CHAIRMAN, PLANNING COMMISSION	
_____ DATE RECORDED	
_____ INSTRUMENT NO.	_____ DEED BOOK NO.
_____ DATE	

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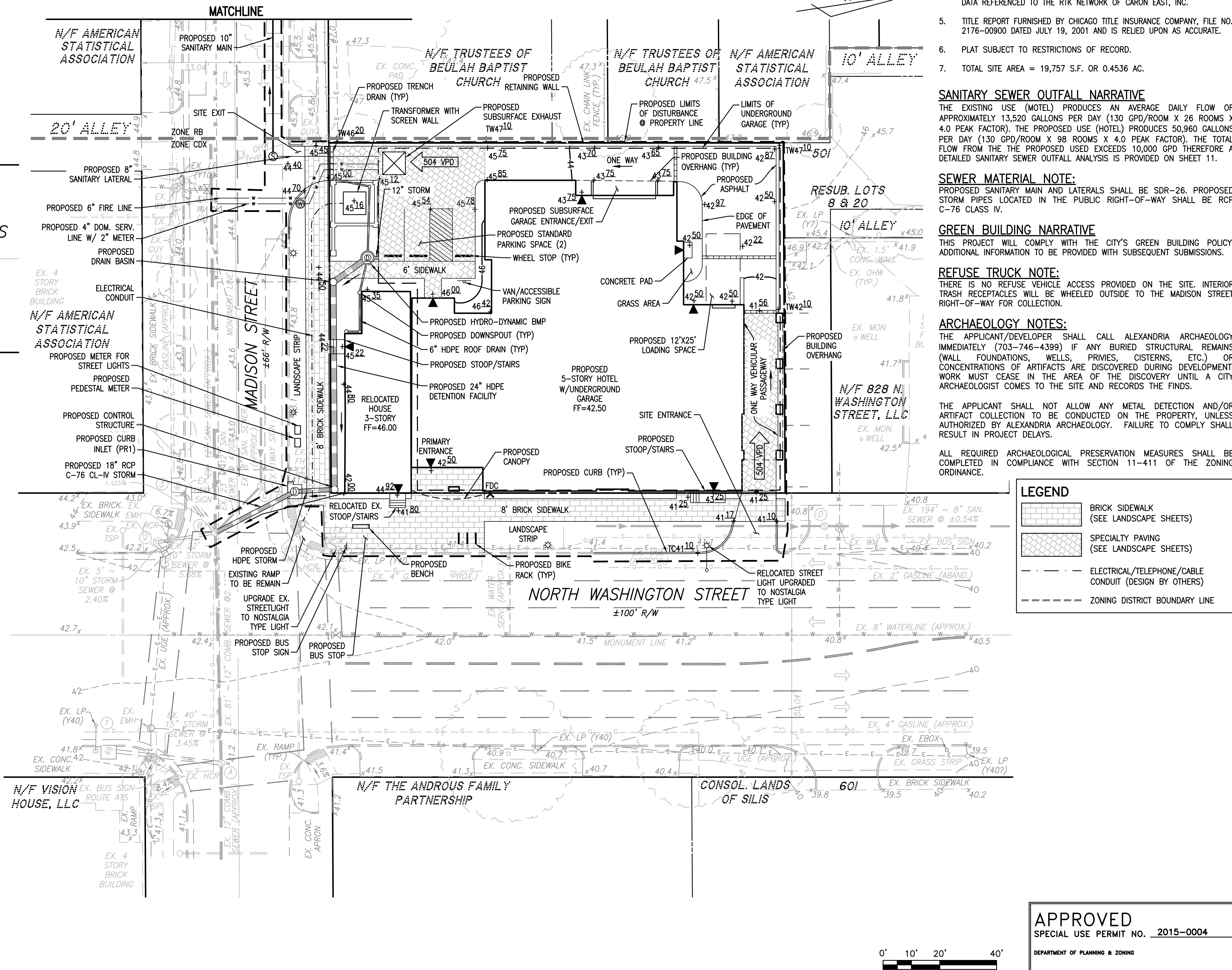
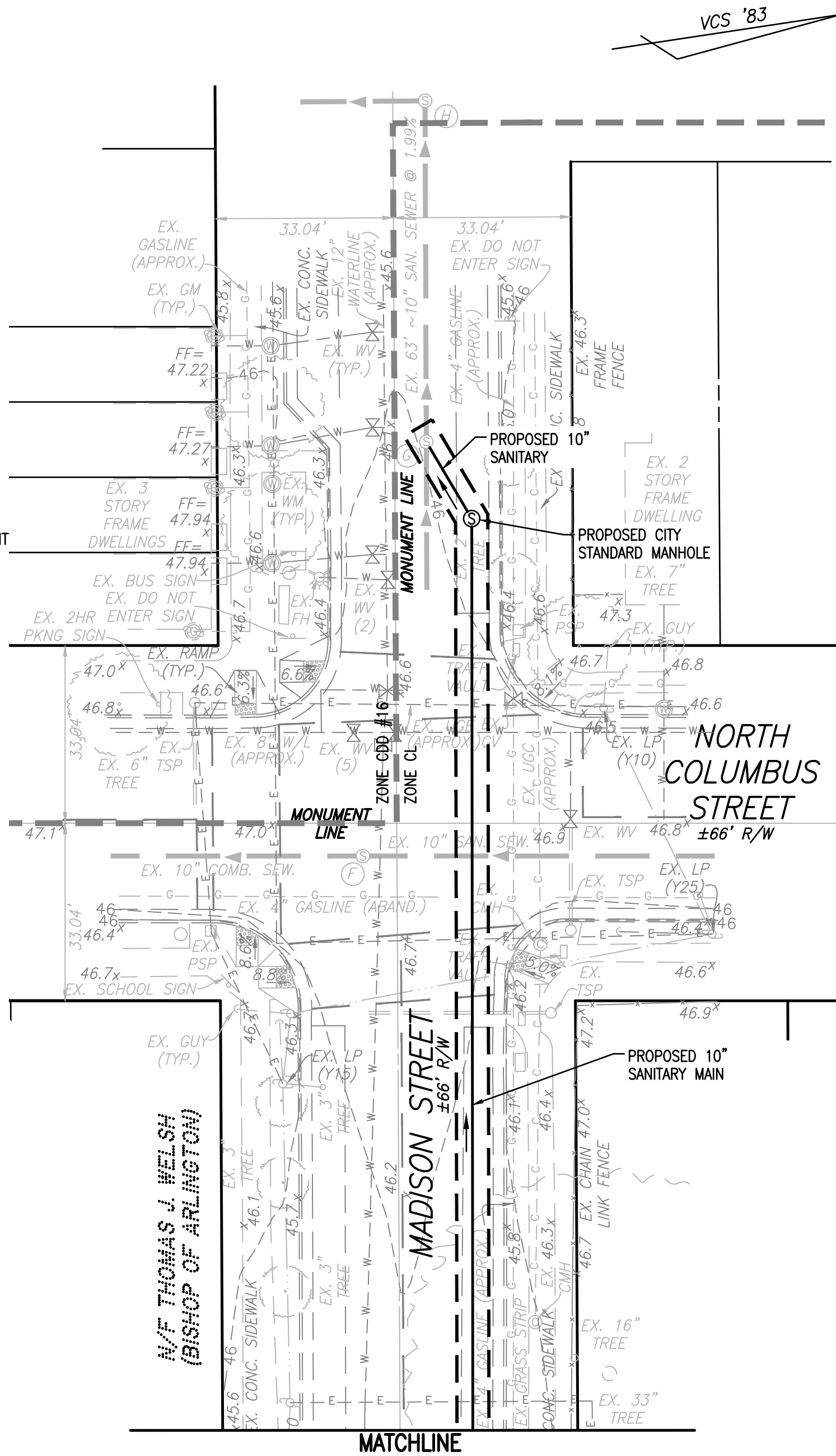
EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-352-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO ANY EXCAVATION. ANY DISRUPTION OF SAME WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF CITY OF ALEXANDRIA, VIRGINIA. © 2013 R.C. FIELDS & ASSOCIATES, INC.

DATE	REVISION
CHECKED:	ACS
DESIGN:	AWB
SCALE:	AS NOTED
DATE:	AUGUST 2015
SHEET	2 OF 12
FILE:	15-13

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Wed, Oct 28 2015 - 4:49:17pm



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GENERAL NOTES:

1. TAX MAP: #054.04-02-06 & 054.04-02-07
2. ZONE: CDX
3. USE: HOTEL
4. OWNER: SHAKTI, LLC
808 NORTH WASHINGTON STREET
ALEXANDRIA, VA 22314
4. TOPOGRAPHIC SURVEY WAS RUN BY THIS FIRM. VERTICAL DATUM USED = NAVD '88 MONUMENT = CITY OF ALEXANDRIA GPS 43. ELEVATION = 45.57'

HORIZONTAL LOCATIONS AND CO-ORDINATES SHOWN HEREON ARE ON THE VIRGINIA CO-ORDINATE SYSTEM (VCS) 1983 NORTH ZONE, PER FIELD GPS DATA REFERENCED TO THE RTK NETWORK OF CARON EST, INC.
5. TITLE REPORT FURNISHED BY CHICAGO TITLE INSURANCE COMPANY, FILE NO. 2176-00900 DATED JULY 19, 2001 AND IS RELIED UPON AS ACCURATE.
6. PLAT SUBJECT TO RESTRICTIONS OF RECORD.
7. TOTAL SITE AREA = 19,757 S.F. OR 0.4536 AC.

SANITARY SEWER OUTFALL NARRATIVE

THE EXISTING USE (MOTEL) PRODUCES AN AVERAGE DAILY FLOW OF APPROXIMATELY 13,520 GALLONS PER DAY ($130 \text{ GPD/ROOM} \times 26 \text{ ROOMS} \times 4.0 \text{ PEAK FACTOR}$). THE PROPOSED USE (HOTEL) PRODUCES 50,960 GALLONS PER DAY ($130 \text{ GPD/ROOM} \times 98 \text{ ROOMS} \times 4.0 \text{ PEAK FACTOR}$). THE TOTAL FLOW FROM THE PROPOSED USE EXCEEDS 10,000 GPD THEREFORE A DETAILED SANITARY SEWER OUTFALL ANALYSIS IS PROVIDED ON SHEET 11.

SEWER MATERIAL NOTE:

PROPOSED SANITARY MAIN AND LATERALS SHALL BE SDR-26. PROPOSED STORM PIPES LOCATED IN THE PUBLIC RIGHT-OF-WAY SHALL BE RCP C-76 CLASS IV.

GREEN BUILDING NARRATIVE

THIS PROJECT WILL COMPLY WITH THE CITY'S GREEN BUILDING POLICY
ADDITIONAL INFORMATION TO BE PROVIDED WITH SUBSEQUENT SUBMISSIONS.

REFUSE TRUCK NOTE:

THERE IS NO REFUSE VEHICLE ACCESS PROVIDED ON THE SITE. INTERIOR TRASH RECEPTACLES WILL BE WHEELED OUTSIDE TO THE MADISON STREET RIGHT-OF-WAY FOR COLLECTION.





ARCHAEOLOGY NOTES:

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT WORK. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

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ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

LEGEND

-  BRICK SIDEWALK
(SEE LANDSCAPE SHEETS)
-  SPECIALTY PAVING
(SEE LANDSCAPE SHEETS)
-  ELECTRICAL/TELEPHONE/CABLE
CONDUIT (DESIGN BY OTHERS)
-  ZONING DISTRICT BOUNDARY LINE

APPROVED

SPECIAL USE PERMIT NO. 2015-0004

DEPARTMENT OF PLANNING & ZONING

DIRECTOR

DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

— 4 —

[illegible]


DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____

McFalls
& ASSOCIATES, INC.

ENGINEERING • LAND SURVEYING • PLANNING

www.mcfassoc.com
730 S. Washington Street
Alexandria, Virginia 22314
(703) 549-6422



PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
800 NORTH WASHINGTON STREET
CITY OF ALEXANDRIA, VIRGINIA

PRELIMINARY SITE PLAN

DATE	REVISION

CHECKED: ACS

DESIGN: AWB

SCALE: 1" = 20'

DATE AUGUST 2015

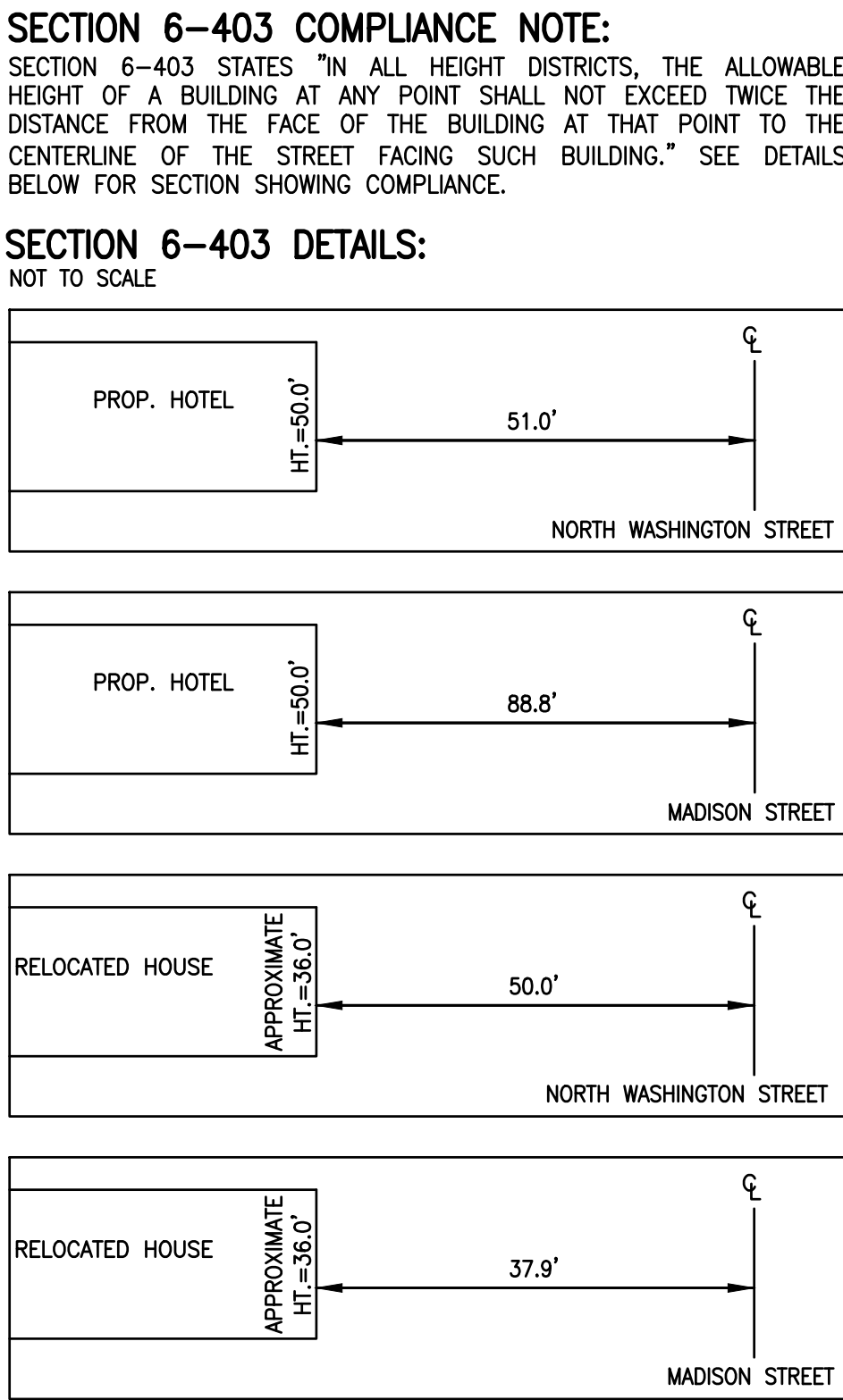
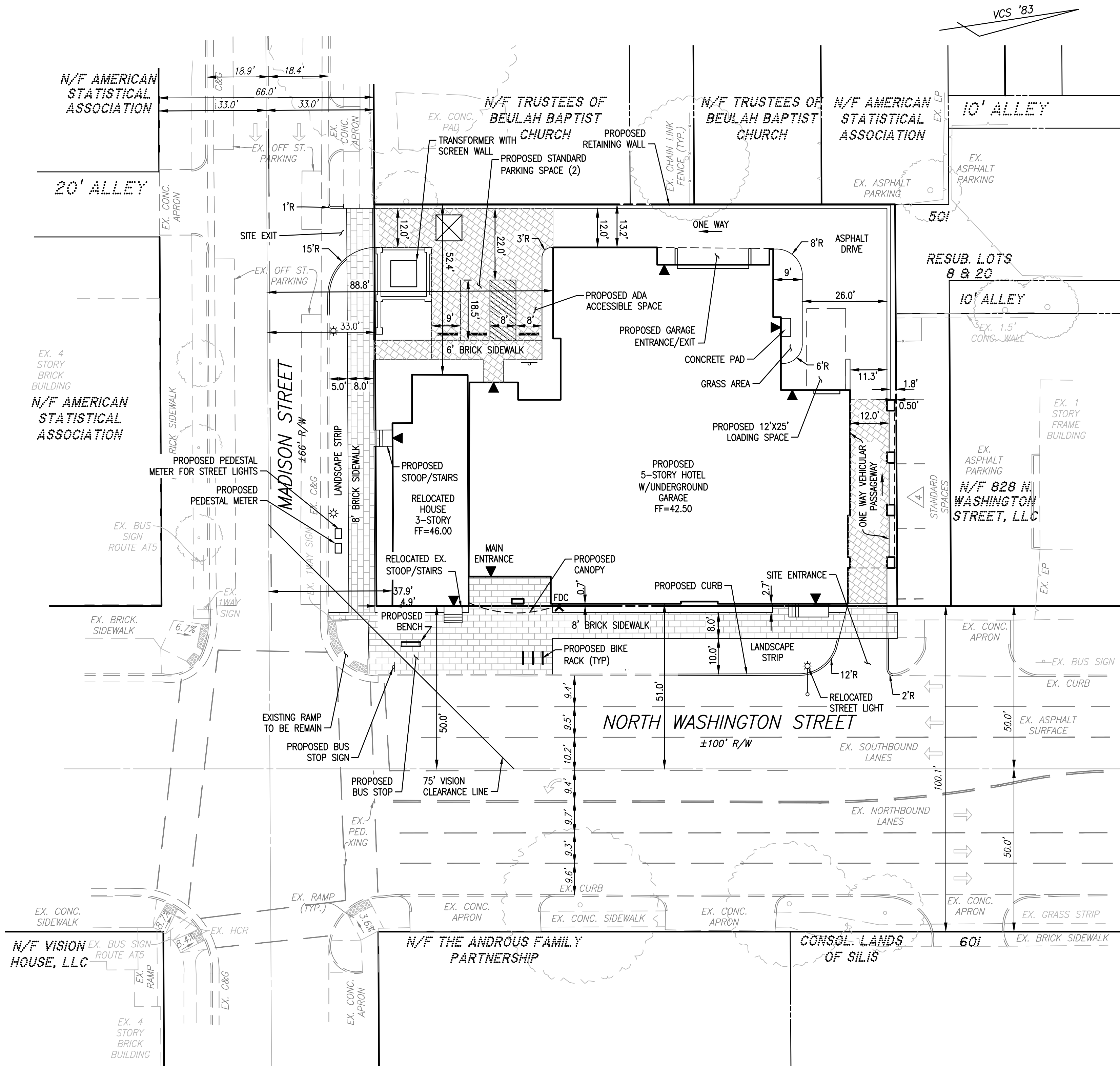
DATE: AUGUST 2019

SHEET 4 OF 12

FILE: 15-13

TEXT LEGEND:
°= DEGREES
'= MINUTES (OR FEET)
"= SECONDS (OR INCHES)
%= PERCENT
#= NUMBER
@= AT
lbs.= POUNDS
A= ARC
AC.= ACRE
ADA = AMERICANS W/ DISABILITIES ACT
APPROX=APPROXIMATE
BC=BOTTOM OF CURB
BF= BASEMENT FLOOR
BLDG.= BUILDING
BM= BENCHMARK
BOL.= BOLLARD
CATV= CABLE UTILITY
CL= CLASS
CLEAR= CLEARANCE
CLF= CHAIN LINK FENCE
CMP = CORRUGATED METAL PIPE
C.I.= CURB INLET
C.O.= CLEAN OUT
CONC.= CONCRETE
C&G= CURB & GUTTER
DB= DEED BOOK
DIP= DUCTILE IRON PIPE
DOM= DOMESTIC
DSP= DEVELOPMENT SITE PLAN
DSUP= DEVELOPMENT SPECIAL USE PERMIT
DU= DWELLING UNIT
E= EAST
EDOX= ELECTRICAL BOX
ESMT.= EASEMENT
EP= EDGE OF PAVEMENT
EVE= EMERGENCY VEHICLE EASEMENT
EX=EXISTING
FDC= FIRE DEPT. CONNECTION
FF= FINISH FLOOR
FH= FIRE HYDRANT
FT.= FEET
GL = GROUND LIGHT
G/V= GAS VALVE
G/M= GAS METER
G.I.= GRATE INLET
H.C.= HEADER CURB
HCR= HANDICAP RAMP
HDPC= HANDICAP
HDPE= HIGH DENSITY POLYETHYLENE
HPS= HIGH PRESSURE SODIUM
ICV= IRRIGATION CONTROL VALVE
IPF= IRON PIPE FOUND
INV.= INVERT
INSTR.= INSTRUMENT
L= LUMENS
LOC.= LOCATION
LP= LIGHT POLE
MAX.= MAXIMUM
MH= MANHOLE
MIN.= MINIMUM
MPH= MILES PER HOUR
MW= MONITORING WELL
N= NORTH
OHW= OVERHEAD WIRE
PN = PANEL
PG= PAGE
PP= POWER POLE
PROP= PROPOSED
PVC= POLYVINYL CHLORIDE
R= RADIUS
RCP= RE-ENFORCED CONCRETE PIPE
RELOC. = RELOCATED
RET.= RETAINING
RESID.= RESIDENTIAL
R/W= RIGHT-OF-WAY
S= SOUTH
SAN.= SANITARY SEWER
S.F.= SQUARE FEET
SQ.FT.= SQUARE FEET
STM.= STORM SEWER
STR.= STRUCTURE
SUB= SUBDIVISION PLAN
TBR = TO BE REMOVED
TBS = TO BE SAVED
T.M.= TAX MAP
TMH= TELEPHONE MANHOLE
TC= TOP OF CURB
TOW = TOP OF WALL
TRAF.SIG.= TRAFFIC SIGNAL
TYP= TYPICAL
UGE= UNDERGROUND ELECTRIC
UP= UTILITY POLE
VCS= VIRGINIA COORDINATE SYSTEM
VPD= VEHICLES PER DAY
W= WATT
W= WEST
W.S.E.= WATER SURFACE ELEVATION
WV= WATER VALVE
WM= WATER METER
W.W.= WINDOW WELL

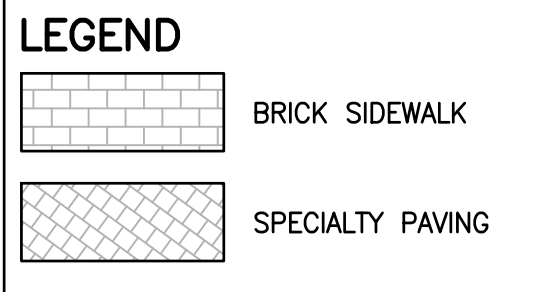
CIVIL LEGEND:		
ITEM	EXISTING	PROPOSED
CURB & GUTTER		
CONC. WALK		
FIRE HYDRANT		
STRUCTURES		
WATER MAINS		
GAS MAINS		
TELEPHONE LINES		
STORM SEWER		
SANITARY SEWER		
PAVING		
FENCES		
POWER LINES		
SPOT ELEVATIONS	+124.5	+124.5
CONTOURS	---124---	---124---
BUILDING ENTRANCES		
UTILITY POLE		
LIGHT POLE		
LIMITS OF DISTURBANCE		



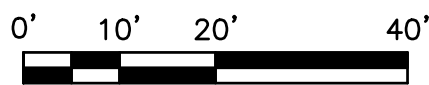
ARCHAEOLOGY NOTES:
THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.



SEE LANDSCAPE SHEETS FOR DETAILS



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ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF CITY OF ALEXANDRIA, VIRGINIA

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APPROVED
SPECIAL USE PERMIT NO. 2015-0004

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

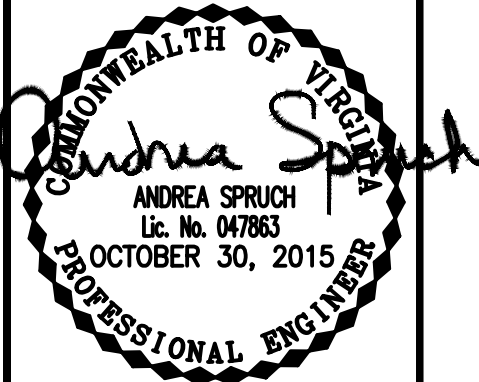
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CITY OF ALEXANDRIA, VIRGINIA

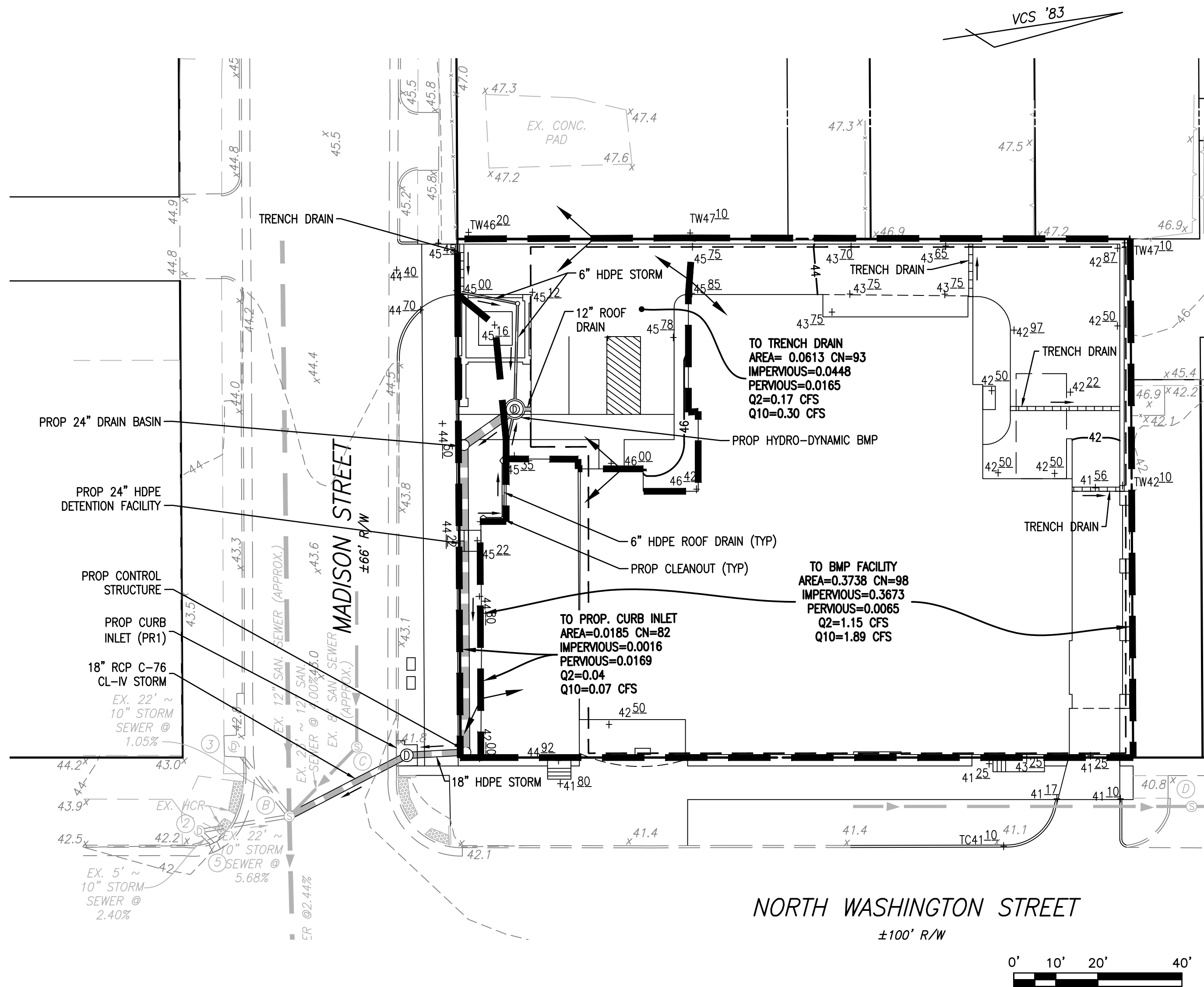
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SCALE: 1" = 20'
DATE: AUGUST 2015
SHEET 5 OF 12
FILE: 15-13

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SITE DIMENSION PLAN



WATER QUALITY/QUANTITY COMPLIANCE NARRATIVE:

THE 0.45 ACRE SITE IS LOCATED IN THE POTOMAC RIVER WATERSHED. IN EXISTING CONDITIONS, THE SITE CONSISTS OF A TOWNHOUSE AND MOTEL WITH ASSOCIATED SURFACE PARKING. THE MAJORITY OF THE SITE SHEET FLOWS SOUTHEAST AND IS COLLECTED IN AN EXISTING UNDERGROUND STORM SEWER SYSTEM LOCATED AT THE INTERSECTION OF NORTH WASHINGTON STREET AND MADISON STREET.

THE REDEVELOPMENT OF THE PROPERTY PROPOSES RELOCATING THE EXISTING TOWNHOUSE ONSITE, A 5-STORY HOTEL WITH UNDERGROUND PARKING, AND IMPROVED STREETScape. IN PROPOSED CONDITIONS, RUNOFF FROM THE MAJORITY OF THE SITE WILL BE COLLECTED IN AN ONSITE STORM SEWER SYSTEM. THE PROPOSED SYSTEM CONSISTS OF AN UNDERGROUND BMP FACILITY AND A DETENTION PIPE WITH CONTROL STRUCTURE. DRAINAGE WILL THEN BE CONVEYED TO A PROPOSED CURB INLET ALONG THE MADISON STREET FRONTAGE THAT OUTFALLS TO THE EXISTING STORM SYSTEM LOCATED AT THE INTERSECTION OF NORTH WASHINGTON STREET AND MADISON STREET AS IN EXISTING CONDITIONS.

OVERALL IMPERVIOUS AREA WILL INCREASE WITH THE PROPOSED DEVELOPMENT (SEE STORMWATER RUNOFF COMPUTATIONS, THIS SHEET). THEREFORE AN ONSITE DETENTION SYSTEM IS PROPOSED TO MITIGATE THE INCREASE OF RUNOFF. COMPUTATIONS WILL BE PROVIDED WITH THE FINAL SITE PLAN DEMONSTRATING A 10% DECREASE IN THE PEAK FLOW RATE FOR THE 10-YEAR, 24-HOUR STORM FROM PRE-DEVELOPMENT CONDITIONS.

A BEST MANAGEMENT PRACTICE (BMP) FACILITY IS PROPOSED TO TREAT THE MAJORITY OF RUNOFF FROM PROPOSED IMPERVIOUS AREAS OF THE SITE. PER COORDINATION WITH CITY STAFF, DUE TO THE INCIDENTAL AMOUNT OF IMPERVIOUS AREA NOT TREATED ONSITE (APPROXIMATELY 70 SQUARE FEET), A CONTRIBUTION TO THE ALEXANDRIA WATER QUALITY IMPROVEMENT FUND IS NOT REQUIRED.

COMPLIANCE NARRATIVES AND COMPUTATIONS PER CITY CODE SECTION 13-109E ARE PROVIDED ON SHEET 7.

STORMWATER RUNOFF COMPUTATIONS:

VIRGINIA RUNOFF REDUCTION METHOD
(PER TR-20, TYPE II, 24-HOUR STORM COMPUTER USING HYDROCAD SOFTWARE)

I. PROJECT AREA = 19,757 SQ.FT. OR 0.4536 ACRES

EXISTING IMPERVIOUS AREA = 15,450 SQ.FT. OR 0.3547 ACRES
PROPOSED IMPERVIOUS AREA = 18,021 SQ.FT. OR 0.4137 ACRES

II. WEIGHTED "CN" FACTOR CALCULATION

CN PRE-DEVELOPMENT = $(80 \times 0.0989 + 98 \times 0.3547) \div 0.4536 = 94$
CN POST-DEVELOPMENT = $(80 \times 0.0399 + 98 \times 0.4137) \div 0.4536 = 96$

III. PRE-DEVELOPMENT PEAK DISCHARGES: ($T_c = 5$ MINS.)

PEAK Q2 PRE-DEVELOPMENT = 1.30 cfs
PEAK Q10 PRE-DEVELOPMENT = 2.22 cfs

IV. POST-DEVELOPMENT PEAK DISCHARGES ($T_c = 5$ MINS.)

PEAK Q2 POST-DEVELOPMENT = 1.35 cfs
PEAK Q10 POST-DEVELOPMENT = 2.26 cfs

Q2 INCREASE = 0.05 CFS
Q10 INCREASE = 0.04 CFS

V. DETENTION VOLUME
ESTIMATED INCREASE IN RUNOFF, THEREFORE DETENTION IS REQUIRED.

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DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED	DATE
INSTRUMENT NO.	
DEED BOOK NO.	DATE

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CITY OF ALEXANDRIA, VIRGINIA

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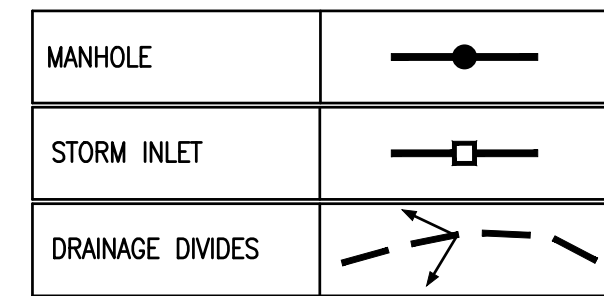
SCALE: 1" = 20'
DATE: AUGUST 2015

SHEET 6 OF 12
FILE: 15-13

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COMMONWEALTH OF VIRGINIA
ANDREA SPRUCH
Lic. No. 047863
OCTOBER 30, 2015
PROFESSIONAL ENGINEER

STORMWATER MANAGEMENT PLAN



PER THE LIMITS OF ANALYSIS AS OUTLINED BY CITY ZONING ORDINANCE SECTION 13-109F(2)(d)(i) AND DUE TO THE PROPOSED REDUCTION TO THE PEAK FLOW RUNOFF RATE OF THE 10-YEAR, 24-HOUR STORM, IT IS THE PROFESSIONAL OPINION OF THIS FIRM THAT THE PROPOSED IMPROVEMENTS ASSOCIATED WITH THIS PROJECT DOES NOT AGGRAVATE ANY EXISTING DOWNSTREAM CAPACITY CONDITIONS.

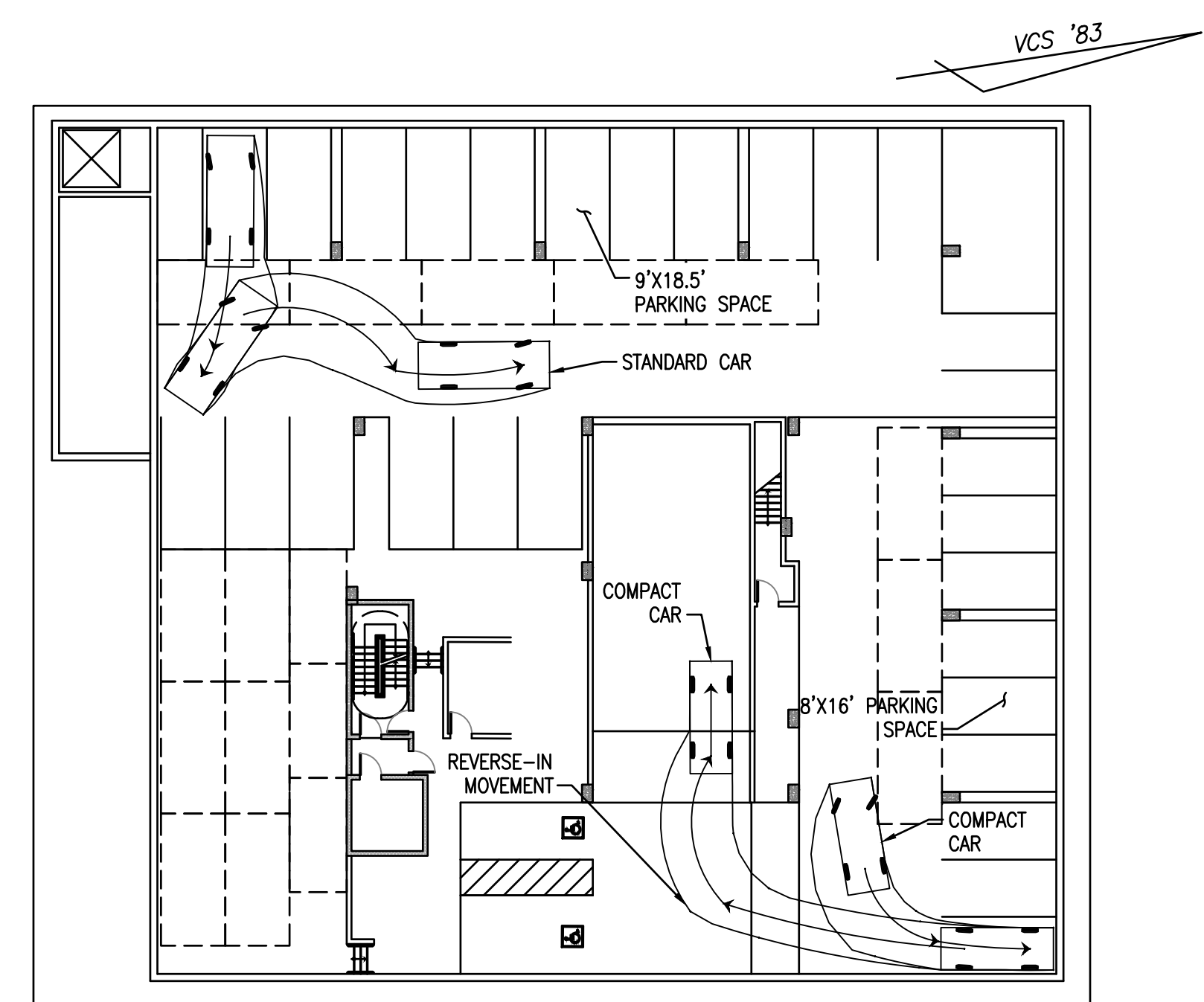
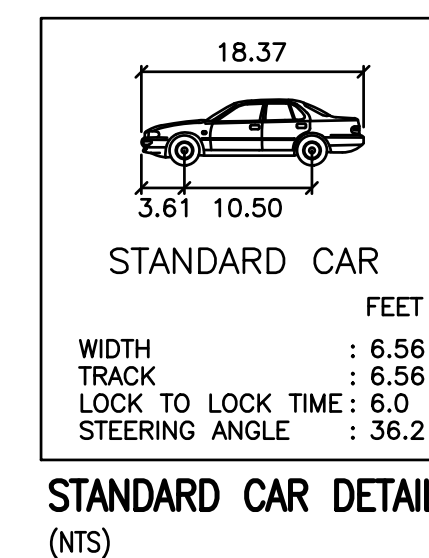
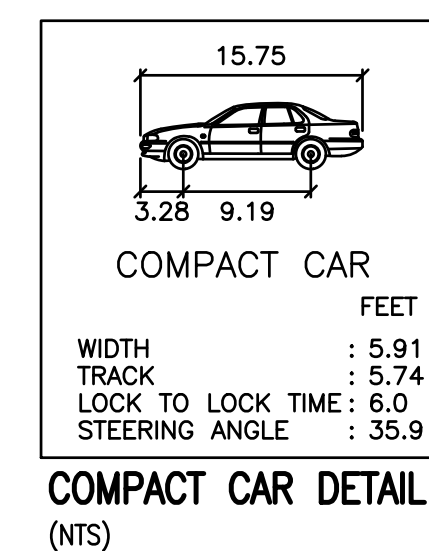
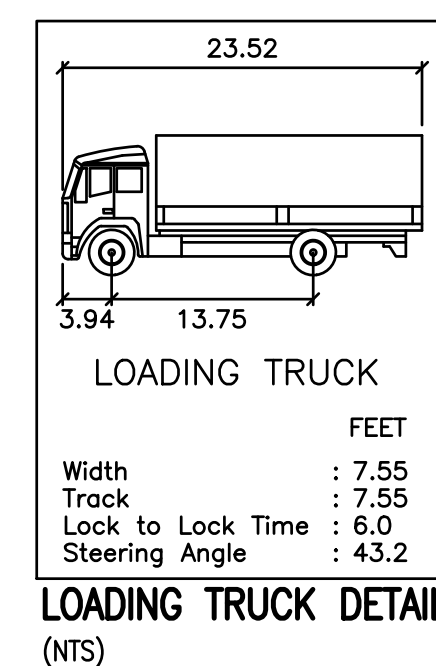
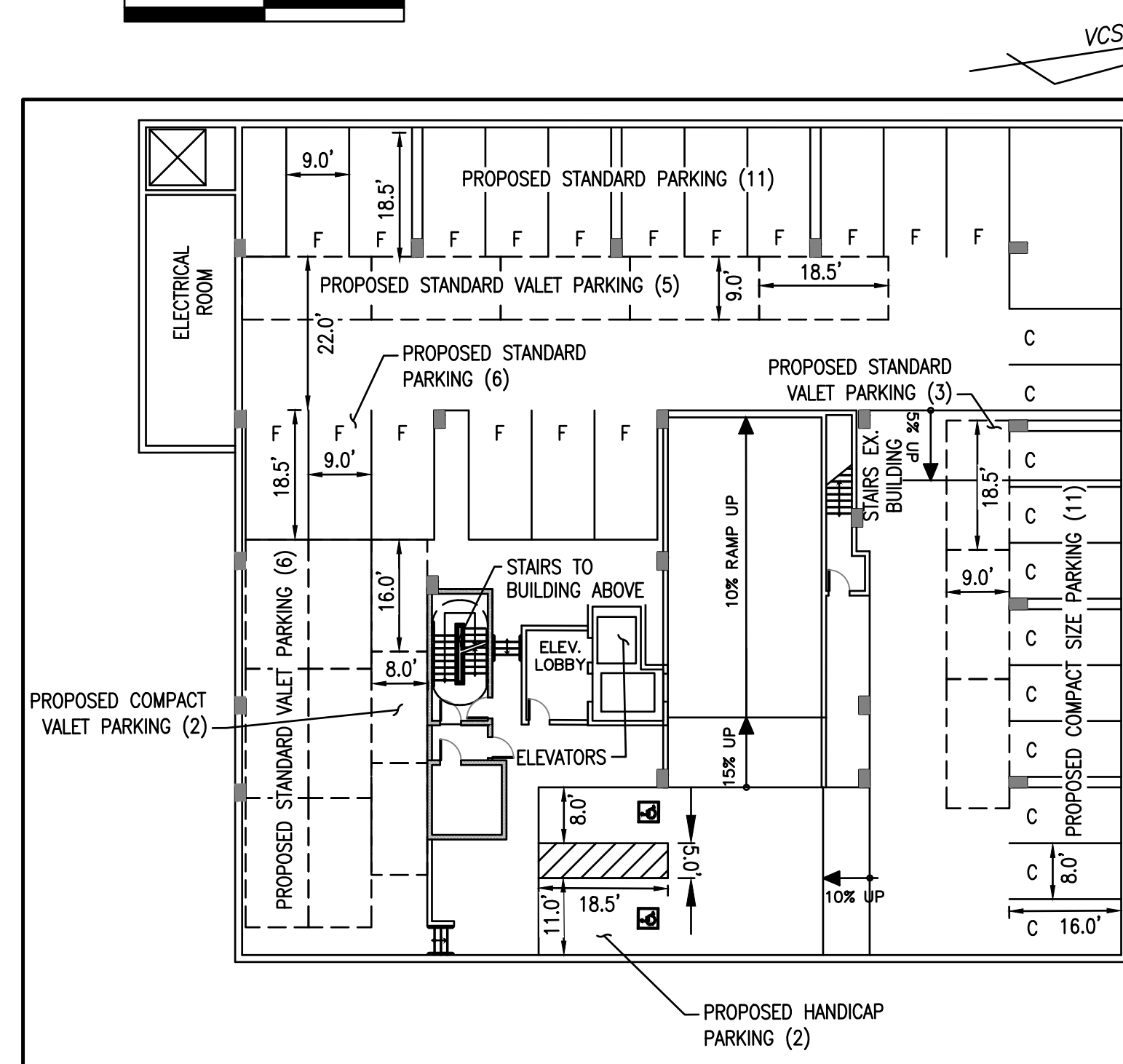
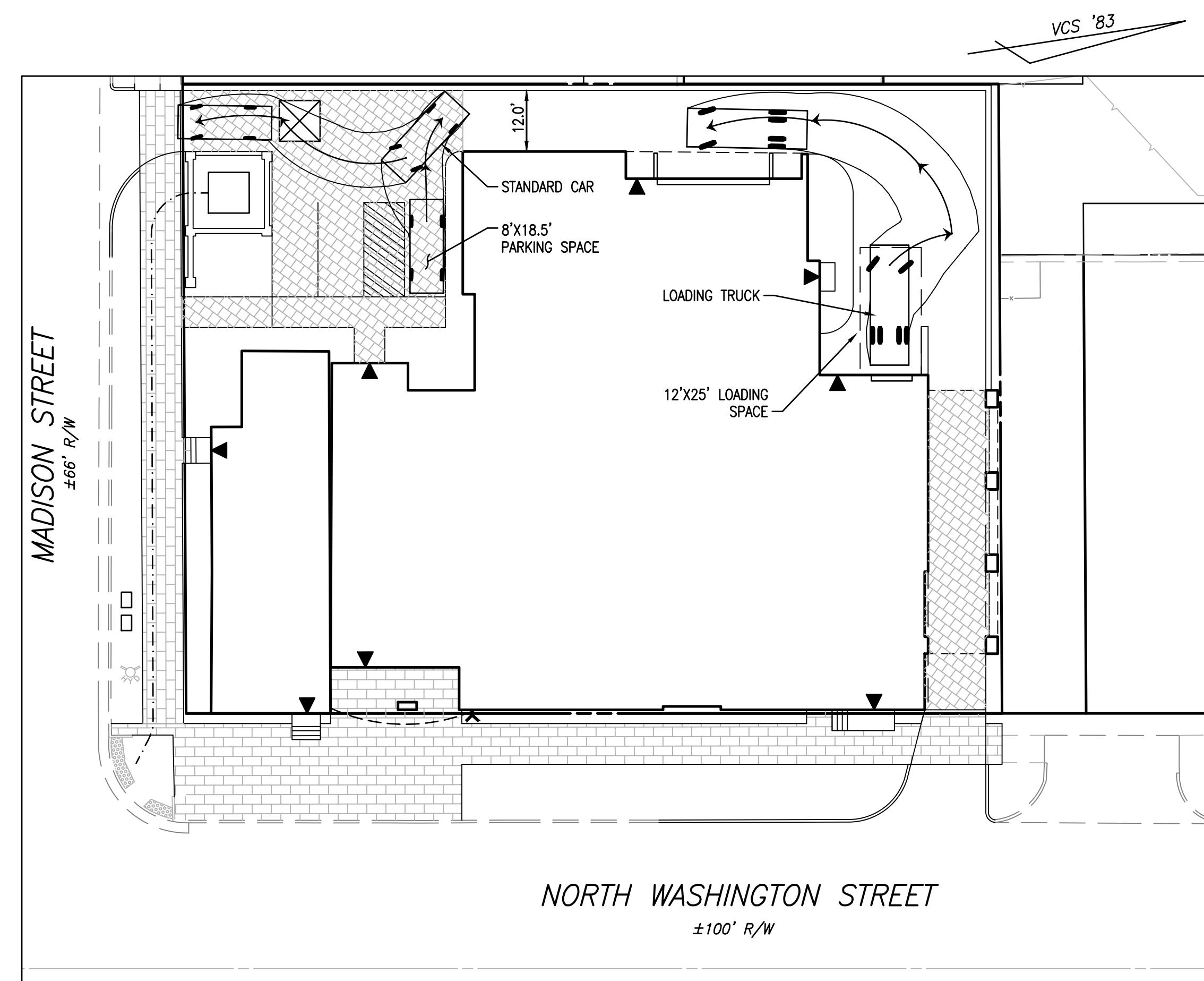
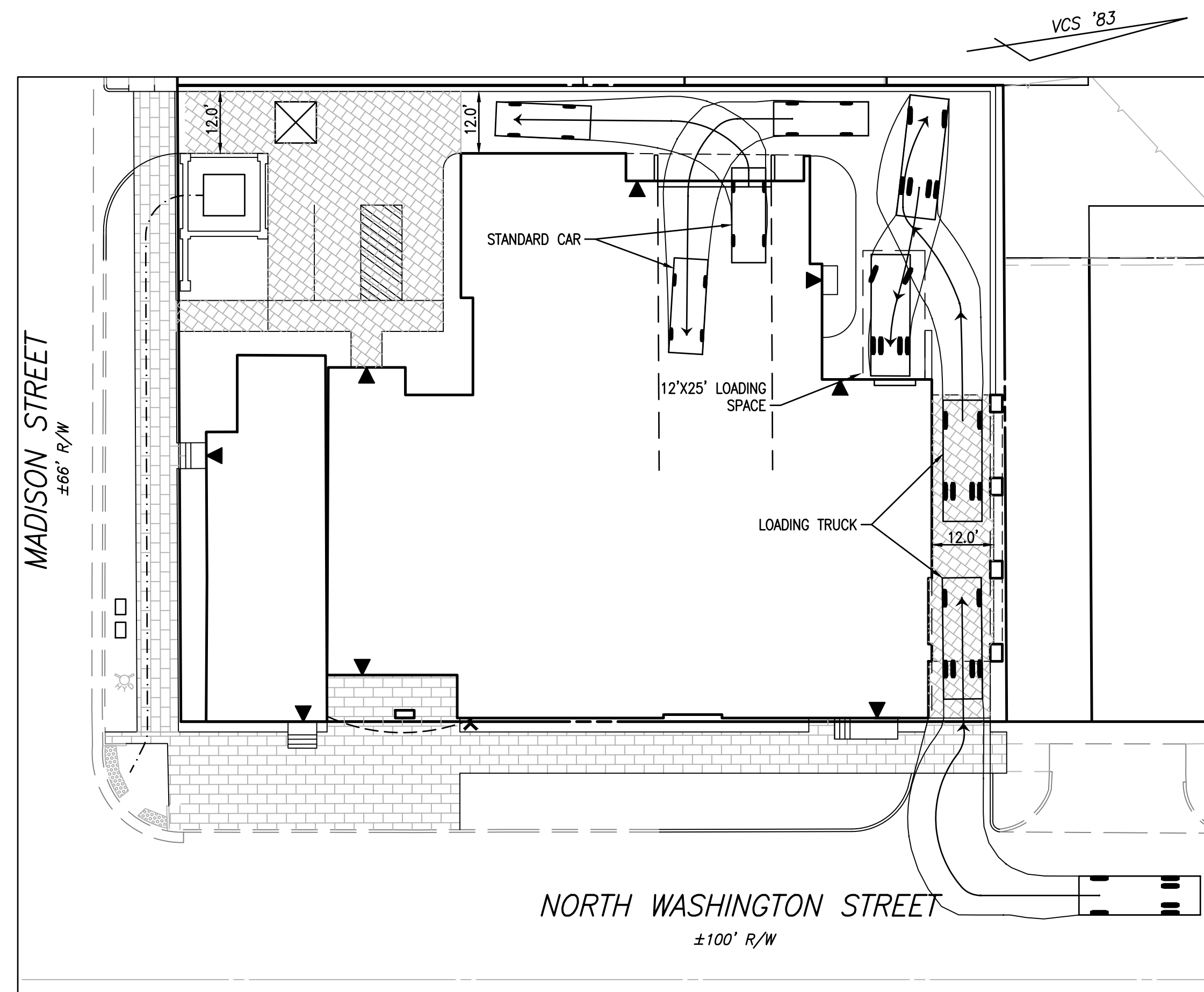
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SHEET 8 OF 12
FILE: 15-13

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DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION

DATE

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DATE	REVISION
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ESIGN: AWB

SCALE: 1" = 20'

DATE: AUGUST 2015

SHEET 9 OF 12

FILE: 15-13

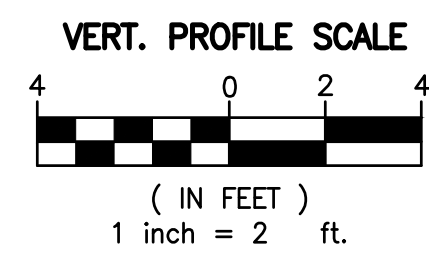
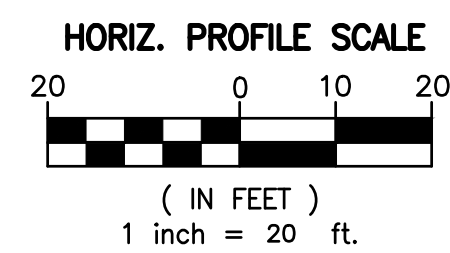
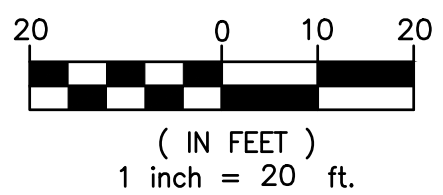
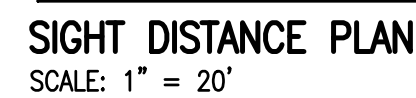
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TURNING MOVEMENTS & GARAGE PLAN



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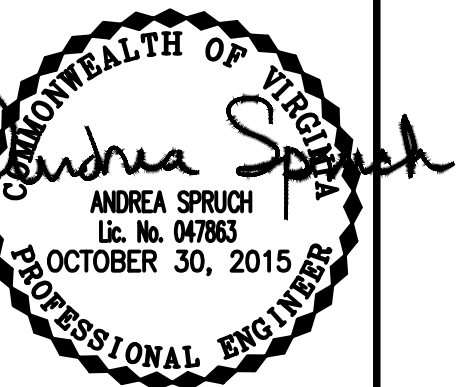
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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
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_____ DIRECTOR	_____ DATE
_____ CHAIRMAN, PLANNING COMMISSION	_____ DATE
DATE RECEIVED _____	
_____ INSTRUMENT NO.	_____ DEED BOOK NO.
	_____ DATE

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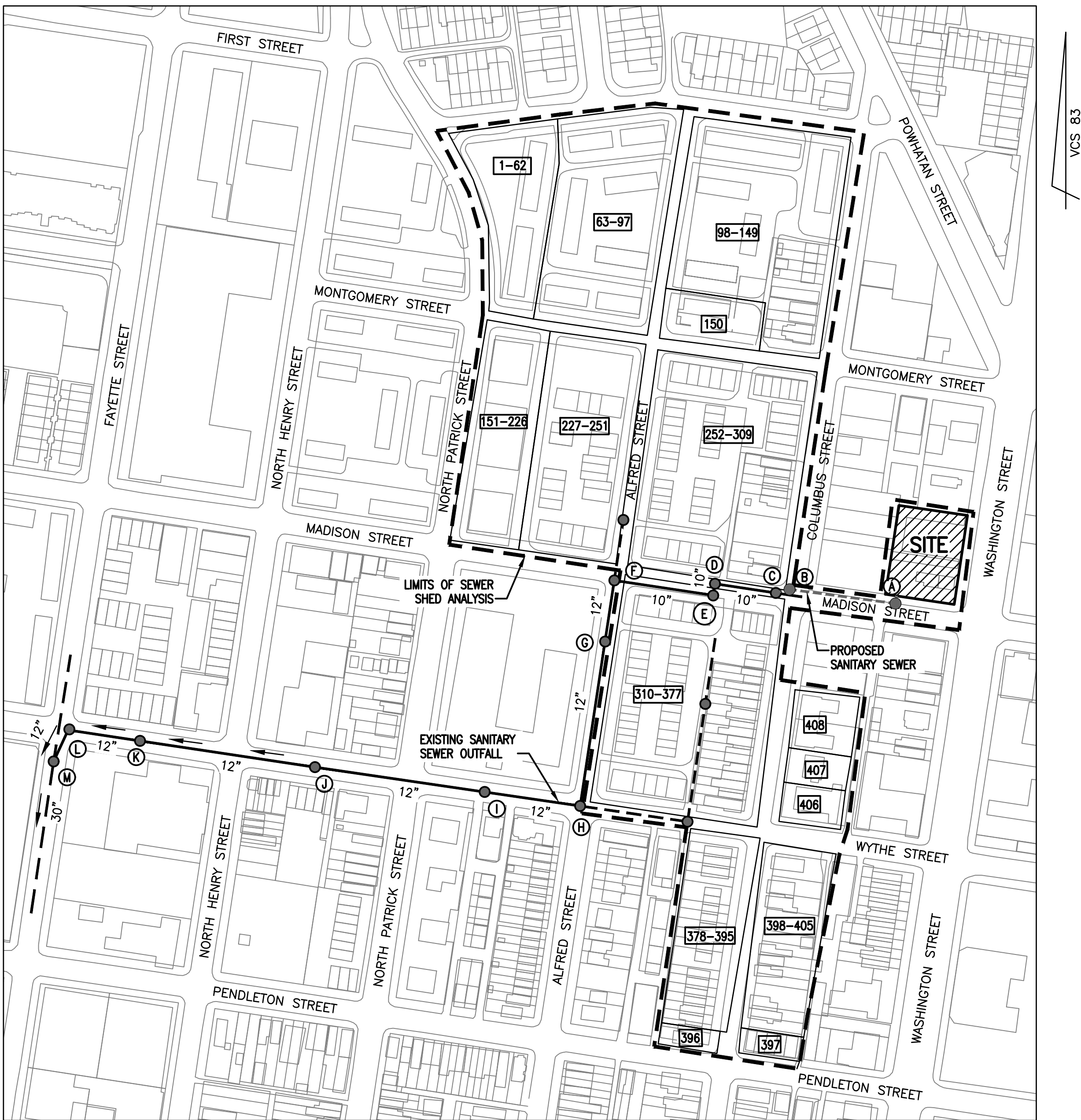


SIGHT DISTANCE PLAN AND PROFILE

B/LD #	USE	DESIGN FLOW	UNIT	SIZE	GAL/DAY	GAL/HR	CFS	PEAK CFS (x4)	FLOWS TO
SITE	Hotel	130	EA.	98	12,740	531	0.0197	0.0789	A
1-62	Multi-Family/ Condos	300	EA.	62	18,600	775	0.0288	0.1151	F
63-97	Single Family/ TH	350	EA.	35	12,250	510	0.0190	0.0758	F
98-149	Single Family/ TH	350	EA.	52	18,200	758	0.0282	0.1126	D
150	Office/Comm.	200	SF	4,009	802	33	0.0012	0.0050	D
151-226	Multi-Family/ Condos	300	EA.	76	22,800	950	0.0353	0.1411	F
227-251	Single Family/ TH	350	EA.	25	8,750	365	0.0135	0.0542	F
252-309	Single Family/ TH	350	EA.	58	20,300	846	0.0314	0.1256	D
310-377	Single Family/ TH	350	EA.	67	23,450	977	0.0363	0.1451	G
378-395	Single Family/ TH	350	EA.	18	6,300	263	0.0097	0.0390	H
396	Office/Comm.	200	SF	3,118	624	26	0.0010	0.0039	H
397	Office/Comm.	200	SF	3,720	744	31	0.0012	0.0046	H
398-405	Single Family/ TH	350	EA.	8	2,800	117	0.0043	0.0173	H
406	Office/Comm.	200	SF	7,440	1,488	62	0.0023	0.0092	H
407	Single Family/ TH	350	EA.	1	350	15	0.0005	0.0022	H
408	Office/Comm.	200	SF	4,756	951	40	0.0015	0.0059	H
				TOTAL	138,409	5,767	0.2142	0.9355	

STRUCTURE		FACILITY ID		INCREMENTAL "Q" (CFS)	ACCUMULATED "Q" (CFS)	PIPE DIAMETER (IN)	SLOPE (%)	MATERIAL	"n"	MAXIMUM "Q" (CFS)	MAXIMUM VELOCITY (FPS)	LENGTH OF RUN (FT)	UPPER INVERT	LOWER INVERT	FALL (FT)	NORMAL VELOCITY (FPS)	NORMAL DEPTH	RIM ELEV (LOWER NODE)	FLOW AREA (SF)	WETTED PERIMETER (FT)	HYDRAULIC RADIUS	RIM ELEV
FROM	TO	FROM	TO																			
A	B	PROPOSED	-	0.0789	0.079	10	1.50%	PVC	0.010	3.64	6.42	220.42	42.09	38.78	3.31	2.62	0.09	44.4	0.03	0.54	0.5400	44.4
B	C	PROPOSED	-	0.0000	0.079	10	1.50%	PVC	0.010	3.64	6.42	16.65	38.68	38.43	0.25	2.62	0.09	46.25	0.03	0.54	0.5400	46.25
C	D	005617SSMH	007722SSMH	0.0000	0.079	10	1.99%	PVC	0.010	4.19	7.38	63.43	38.33	37.07	1.26	4.70	0.06	46.18	0.0400	0.6300	0.0700	43.18
D	E	007722SSMH	007723SSMH	0.2433	0.322	10	3.67%	PVC	0.010	5.70	10.03	23.70	33.09	32.22	0.87	4.24	0.12	45.04	0.0500	0.6500	0.0700	45.04
E	F	007723SSMH	007724SSMH	0.0000	0.322	10	0.55%	PVC	0.010	2.20	3.87	175.90	32.19	31.23	0.96	2.43	0.17	44.66	0.0800	0.7900	0.1000	44.66
F	G	007724SSMH	007726SSMH	0.3862	0.708	12	0.41%	PVC	0.010	3.10	3.80	99.50	31.17	30.76	0.41	3.11	0.33	43.31	0.2300	1.2300	0.1900	43.31
G	H	007726SSMH	007727SSMH	0.1451	0.853	12	0.54%	PVC	0.010	3.56	4.35	300.50	30.64	29.01	1.63	3.61	0.34	42.80	0.2400	1.2500	0.1900	42.8
H	I	007727SSMH	007732SSMH	0.0821	0.936	12	0.59%	PVC	0.010	3.73	4.56	188.50	28.52	27.50	1.12	3.83	0.35	42.53	0.2400	1.2700	0.1900	42.53
I	J	007732SSMH	007733SSMH	0.0000	0.936	12	0.34%	PVC	0.010	2.81	3.44	301.90	27.60	26.48	1.02	3.13	0.40	43.38	0.3000	1.3800	0.2200	43.38
J	K	007733SSMH	007734SSMH	0.0000	0.936	12	0.54%	PVC	0.010	3.56	4.35	295.70	26.38	24.78	1.60	3.71	0.36	45.98	0.2500	1.2800	0.2000	45.98
K	L	007734SSMH	007735SSMH	0.0000	0.936	12	0.40%	PVC	0.010	3.06	3.75	146.90	24.68	24.09	0.59	3.34	0.39	43.53	0.2800	1.3500	0.2100	43.53
L	M	007735SSMH	007638SSMH	0.0000	0.936	12	0.34%	PVC	0.010	2.81	3.44	56.11	23.99	23.80	0.19	3.13	0.40	42.34	0.3000	1.3800	0.2200	42.34

PROPOSED SANITARY MAIN NOTE: COMPUTATIONS PROVIDED FOR PROPOSED SANITARY MAIN SYSTEM FROM STRUCTURES A TO C ARE PRELIMINARY AND MAY BE REVISED WITH THE FINAL SITE PLAN SUBMISSION.



BASE MAP PROVIDED BY CITY OF
ALEXANDRIA GIS
APPROX. SCALE: 1" = 150'

THE AVERAGE DAY AND PEAK HOUR WASTEWATER DISCHARGE FLOW CALCULATIONS WERE COMPUTED USING THE METHOD PROVIDED BY THE CITY OF ALEXANDRIA IN MEMORANDUM TO INDUSTRY NO. 06-14. THE PROPOSED USE FOR THIS PROJECT WILL BE A 98 ROOM HOTEL. THE AVERAGE DAILY FLOW IS DESCRIBED BELOW:

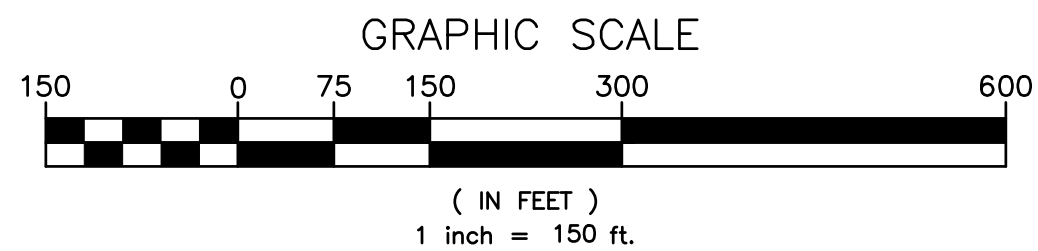
$$\text{HOTEL } \frac{130 \text{ GPD}}{\text{UNIT}} \times 98 \text{ UNITS} = 12,740 \text{ GPD OR } 0.0197 \text{ CFS}$$

$$12,090 \text{ GPD} \times 4 = 50,960 \text{ GPD}$$
$$0.0197 \text{ CFS} \times 4 = 0.0789 \text{ CFS}$$

TOTAL PEAK FLOW = 50,960 GPD OR 0.0789 CFS

THIS PROJECT IS ANTICIPATED TO GENERATE AN EXCESS OF 10,000 GPD IN SANITARY WASTE OUTFLOW. A FLOW OF APPROXIMATELY 12,740 GPD IS EXPECTED FOR THIS DEVELOPMENT RESULTING IN A PEAK FLOW OF 50,960 GPD. THEREFORE, THE PROJECT IS SUBJECT TO A SANITARY SEWER OUTFALL ANALYSIS WHICH IS PROVIDED ON THIS SHEET.

THIS PROJECT PROPOSES A 0" SANITARY SEWER SYSTEM THAT CONNECTS TO EXISTING SANITARY MANHOLE C LOCATED WEST OF THE SITE IN MADISON STREET. THE PROPOSED INFRASTRUCTURE WILL BE MAINTAINED BY THE CITY OF ALEXANDRIA. THE EXISTING SANITARY INFRASTRUCTURE FROM EXISTING MANHOLE C TO EXISTING MANHOLE M IS A CITY OF ALEXANDRIA MAINTAINED SANITARY SEWER. THE SANITARY SEWER FLOWS SOUTHWEST TOWARDS FAYETTE STREET FOR APPROXIMATELY 2000' WHERE IT JOINS A 30" SANITARY TRUNK SEWER LOCATED IN THE FAYETTE STREET RIGHT-OF-WAY.



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EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF CITY OF ALEXANDRIA, VIRGINIA © 2015 B.C. FIELDS & ASSOCIATES, INC.

(A) SANITARY SEWER MANHOLE

1 NUMBER OF BUILDING OR USE OUTLINED IN THE FLOW GENERATION ANALYSIS

SPECIAL USE PERMIT NO. 2015-0004

DEPARTMENT OF PLANNING & ZONING

DIRECTOR

SITE PLAN NO.

DIRECTOR

CHAIRMAN, PLANNING COMMISSION

INSTRUMENT NO.

BOOK NO.

D

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
800 NORTH WASHINGTON STREET
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION
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CHECKED: ACS

DESIGN: AWB

SCALE: 1" = 150'

DATE: AUGUST 2015


SHEET 11 OF 12

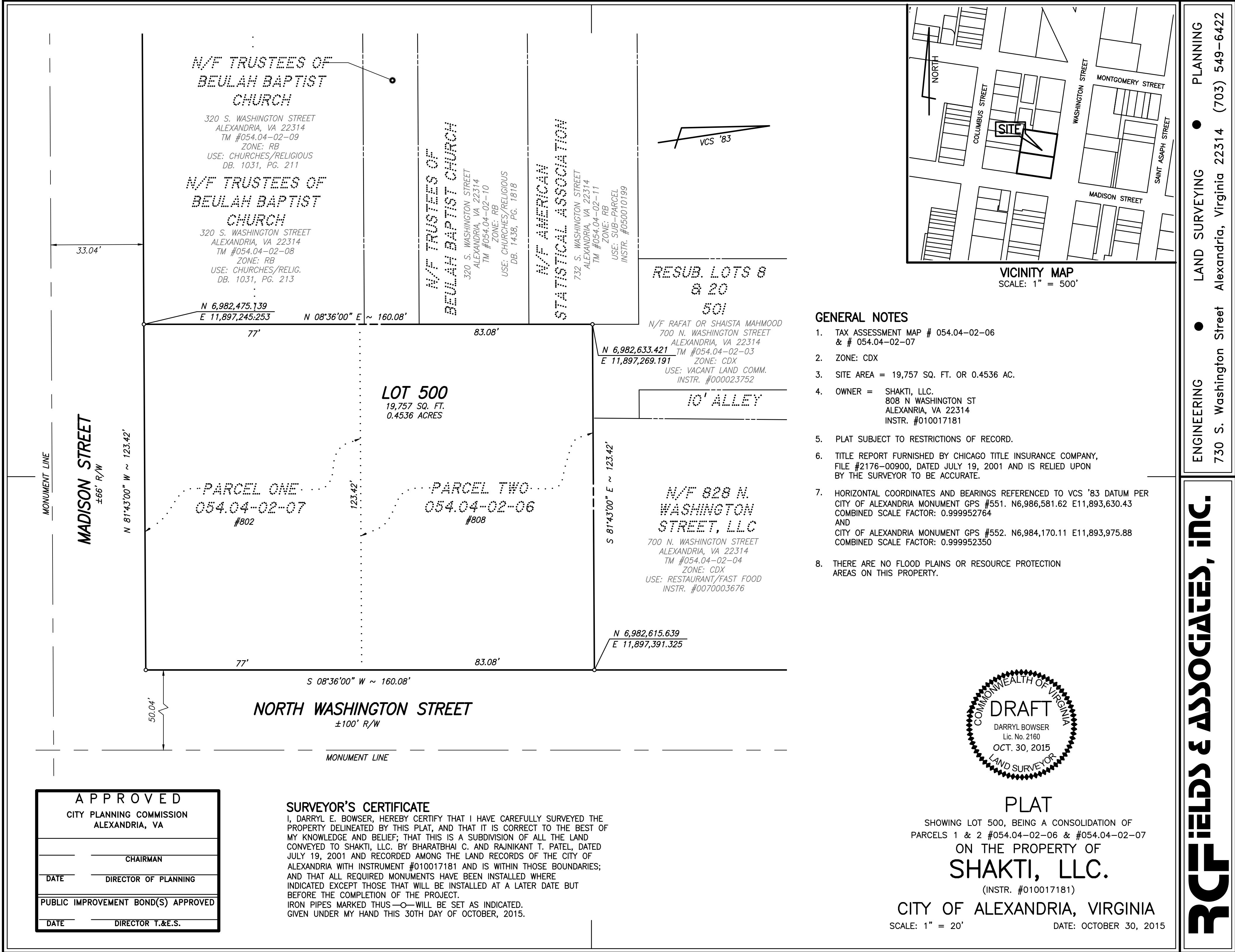
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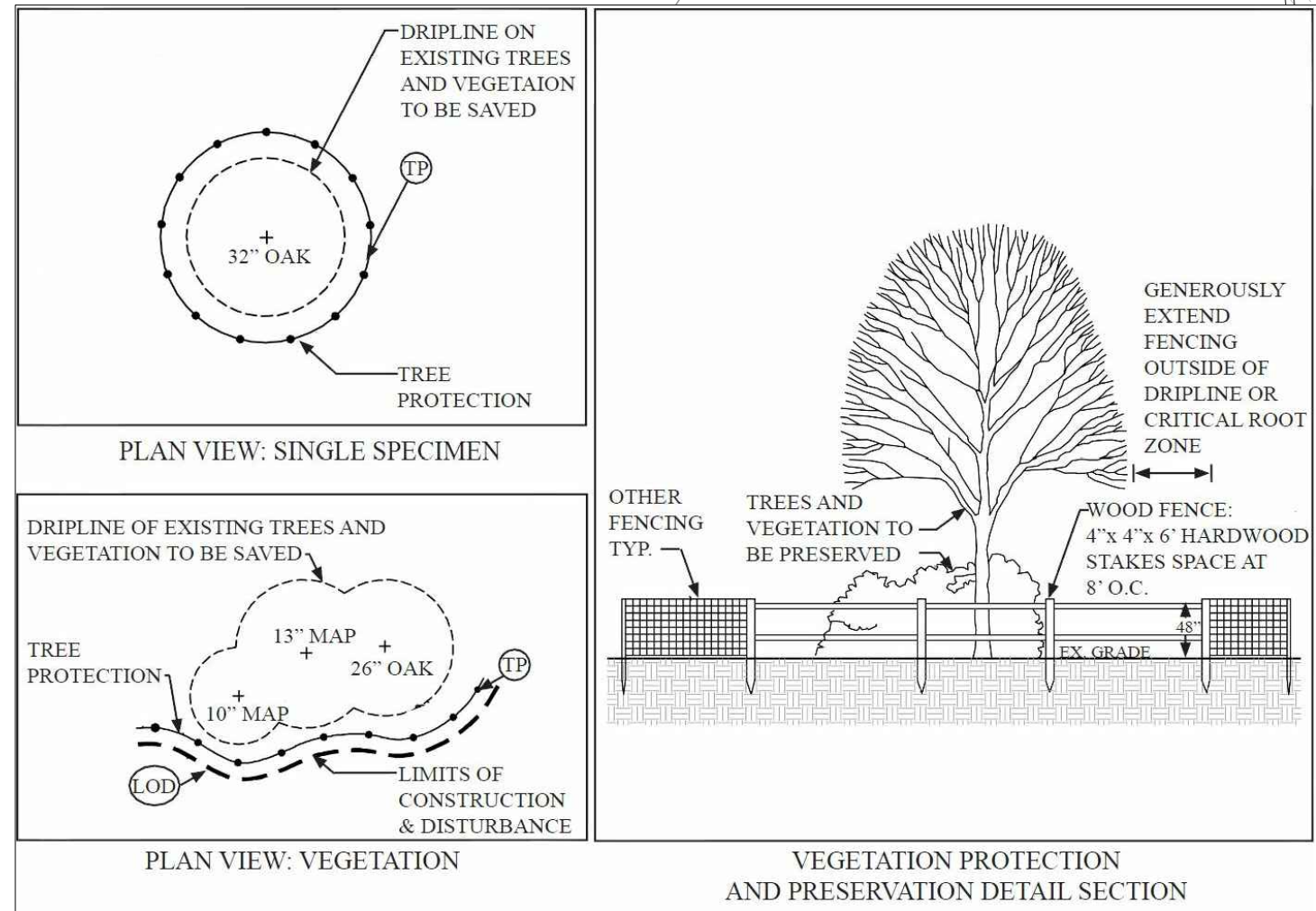
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Alexandria, Virginia 22314
www.rcfassoci.com
(703) 549-6422



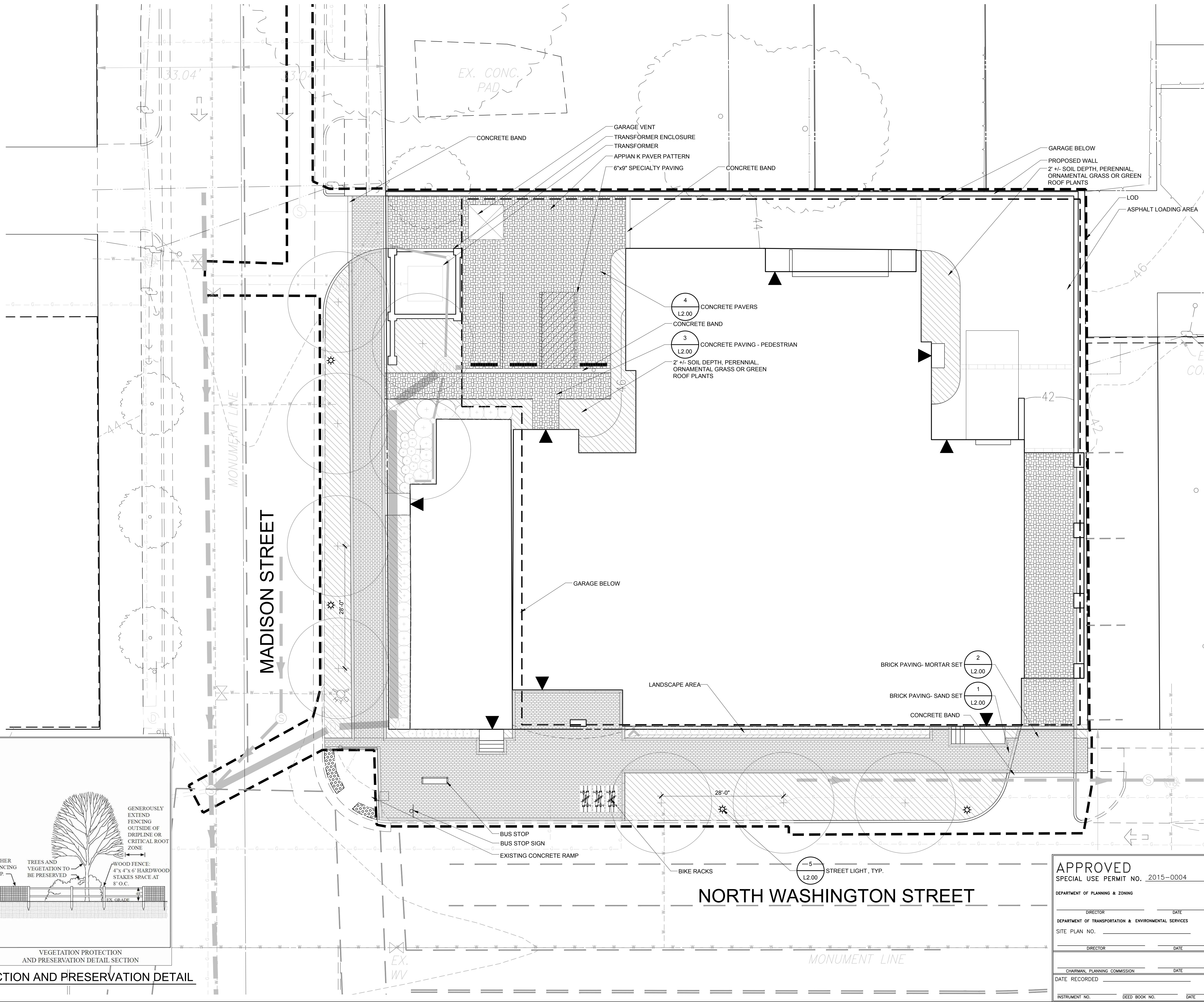


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VEGETATION PROTECTION AND PRESERVATION DETAIL

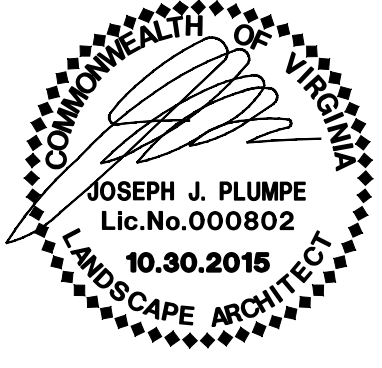


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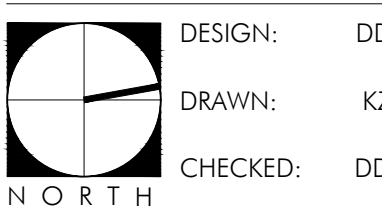
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REVISIONS:

OVERALL PLAN



SCALE: 1"=10'-0"

PROJECT NO: 15048

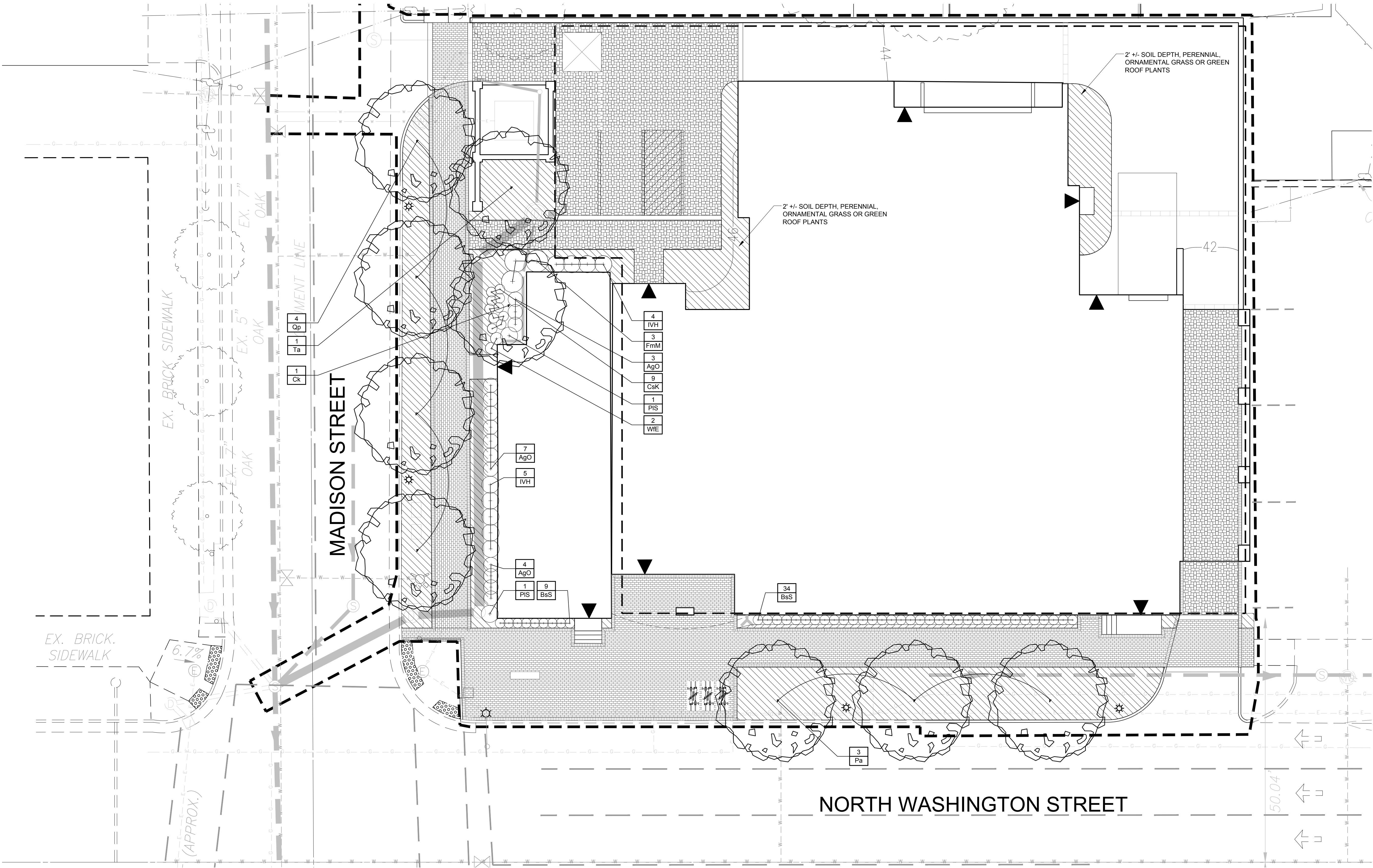
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APPROVED SPECIAL USE PERMIT NO. 2015-0004	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED	DATE
INSTRUMENT NO.	DEED BOOK NO.
DATE	

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PLANT SCHEDULE SITE								CANOPY	
TREES	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	SPREAD	REMARKS	EACH SF	SUB TOTAL SF
Ck	1	Cladrastis kentukea	American Yellowwood	10'-12'	3" - 3 1/2"		B&B, full uniform crown, symmetrical branching, full specimen	750 SF	750 SF
Pa	3	Platanus x acerifolia	London Plane Tree	14'-16'	3" - 3 1/2"		B&B, full uniform crown, symmetrical branching, full specimen	NA	NA
Op	4	Quercus phellos	Willow Oak	14'-16'	3" - 3 1/2"		B&B, full uniform crown, symmetrical branching, full specimen	NA	NA
Ta	1	Tilia americana	American Linden	14'-16'	3" - 3 1/2"		B&B, full uniform crown, symmetrical branching, full specimen	1,250 SF	1,250 SF
								1,250 SF	1,250 SF
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	SIZE	SPACING	REMARKS	
AgO	14	Abelia x grandiflora 'Rose Creek'	Rose Creek Abelia	12'-15"	18"-24"	#2 cont.	3' o.c.	healthy vigorous, well-rooted & established in container	2 SF 28 SF
BsS	43	Buxus suffruticosa	Boxwood	24"-30"	24"-30"				2 SF 86 SF
CsK	10	Cornus sericea 'Kelsey'	Kelsey Dogwood	18"-24"	18"-24"	#3 cont.	2' o.c.	full specimen, healthy, vigorous, well-rooted and established	2 SF 20 SF
FmM	3	Fothergilla major 'Mount Airy'	Mount Airy Fothergilla	48"-60"	36" - 48"		4' o.c.		2 SF 6 SF
IVH	9	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetspire	18"-24"	30"-36"	#3 cont.	4' o.c.	healthy vigorous, well-rooted & established in container	2 SF 18 SF
PIS	2	Prunus laurocerasus 'Schipkaensis'	Schipka Laurel	24"-30"	18"-24"	B&B	4' o.c.	healthy vigorous, well-rooted & established	2 SF 4 SF
WIE	2	Weigela florida 'Elvera' TM	Weigela	12'-15"	24"-30"		2.5' o.c.		2 SF 4 SF
								TOTAL	2,166 SF

GROSS SITE AREA-	19,757 SF (0.45 ACRES)
25% CROWN COVERAGE REQUIRED-	4,939 SF
TREE CANOPY PROVIDED-	2,000 SF
SHRUB CANOPY PROVIDED-	166 SF
TOTAL CANOPY PROVIDED-	2,166 SF
PERCENTAGE OF TREE CANOPY PROVIDED-	11%
STREET TREE CANOPY (NOT INCLUDED)	8,750 SF

* NOTE: ALL EXISTING TREES TO BE REMOVED

APPROVED
SPECIAL USE PERMIT NO. 2015-0004

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

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DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____

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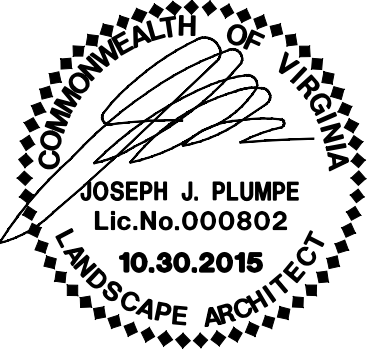
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REVISIONS:

LANDSCAPE PLAN

NORTH

SCALE: 1"=10'-0"

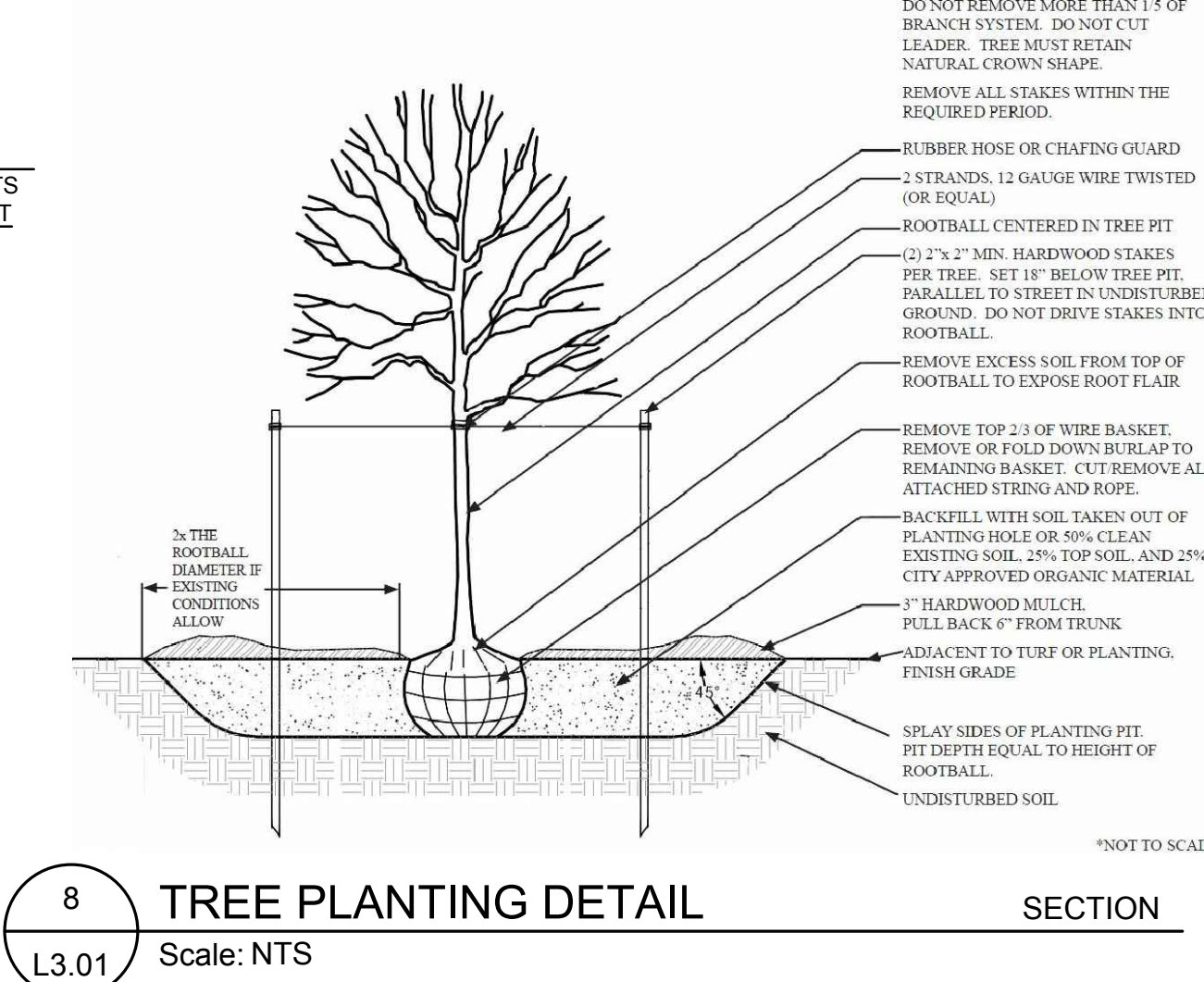
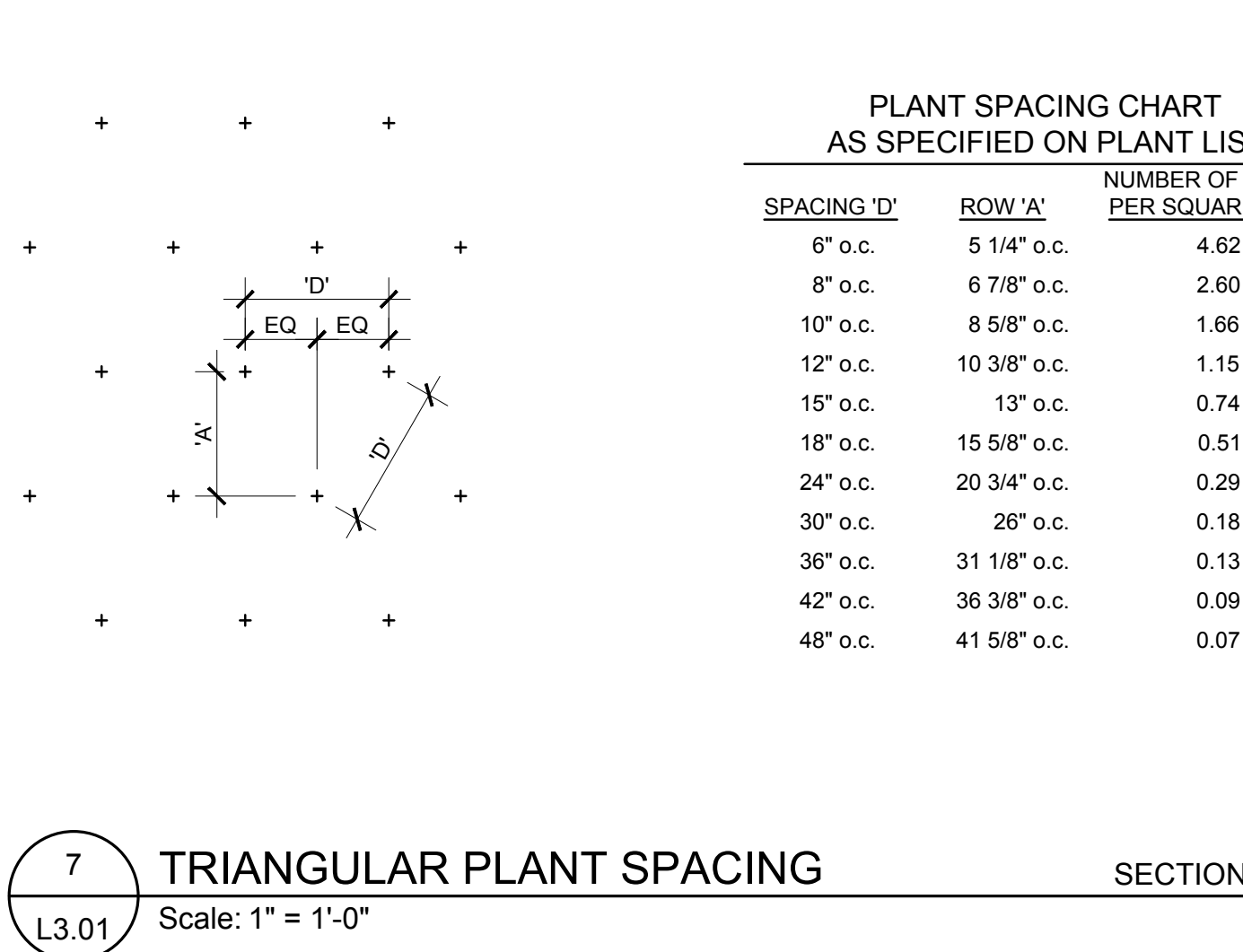
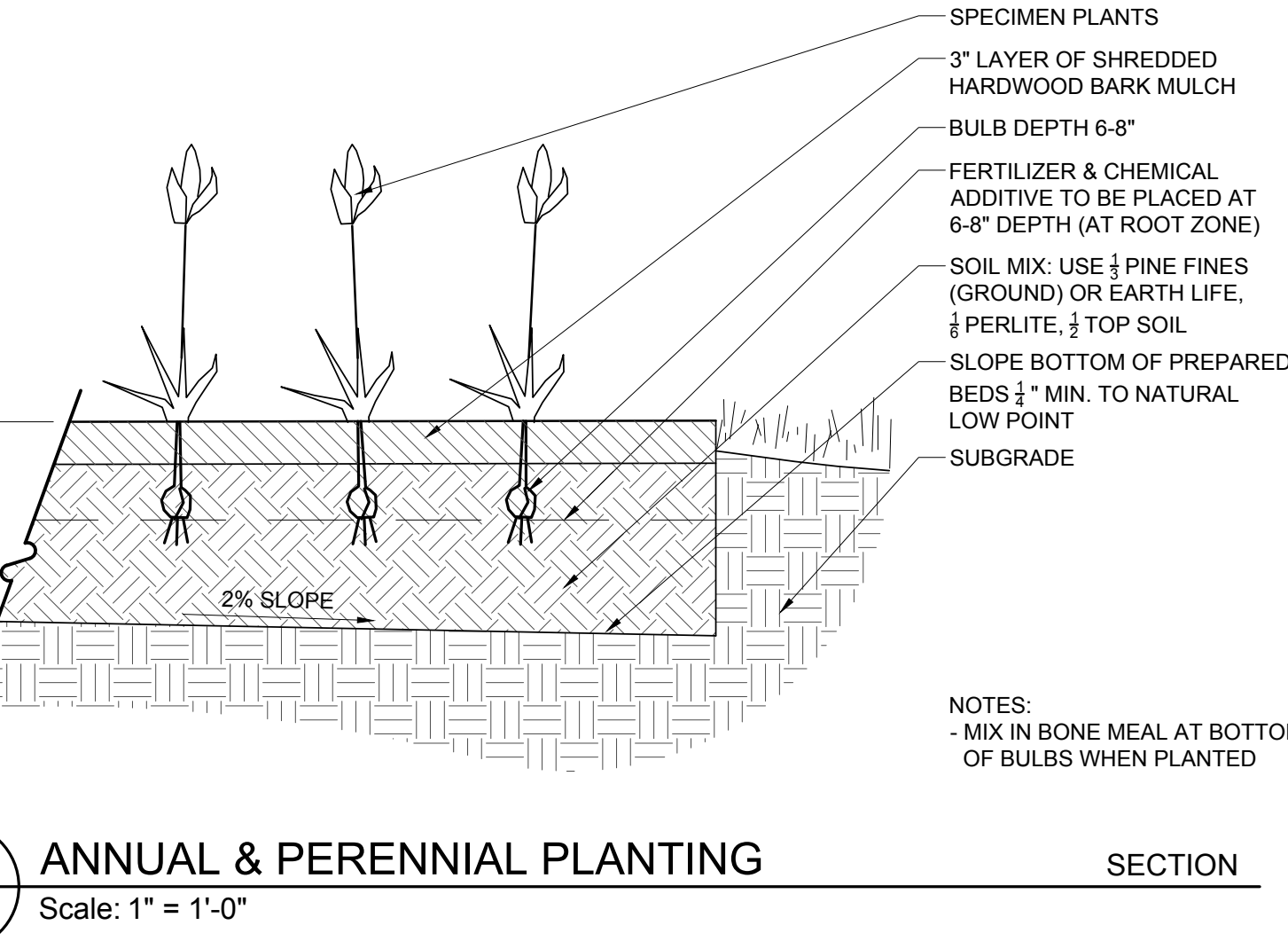
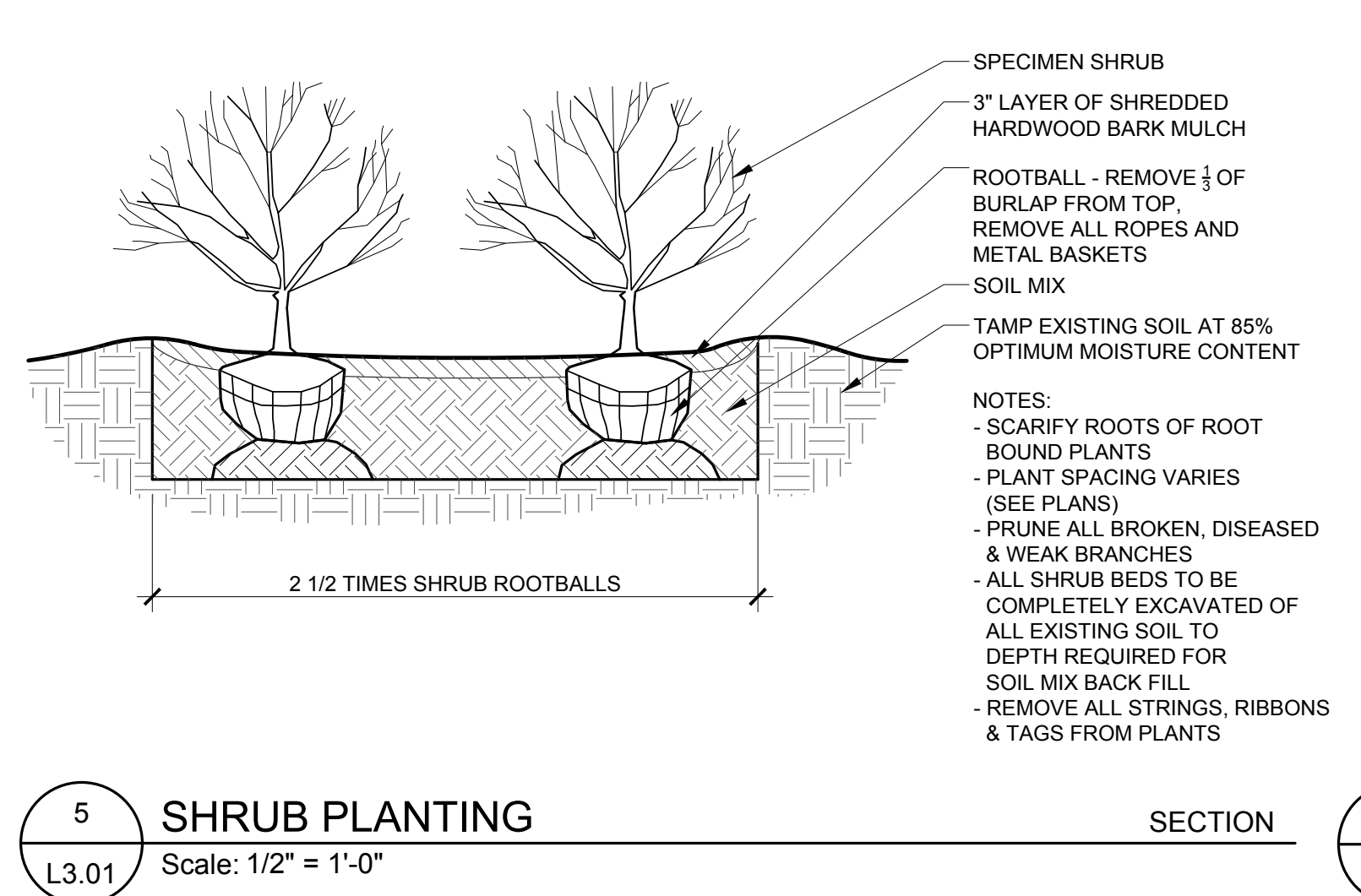
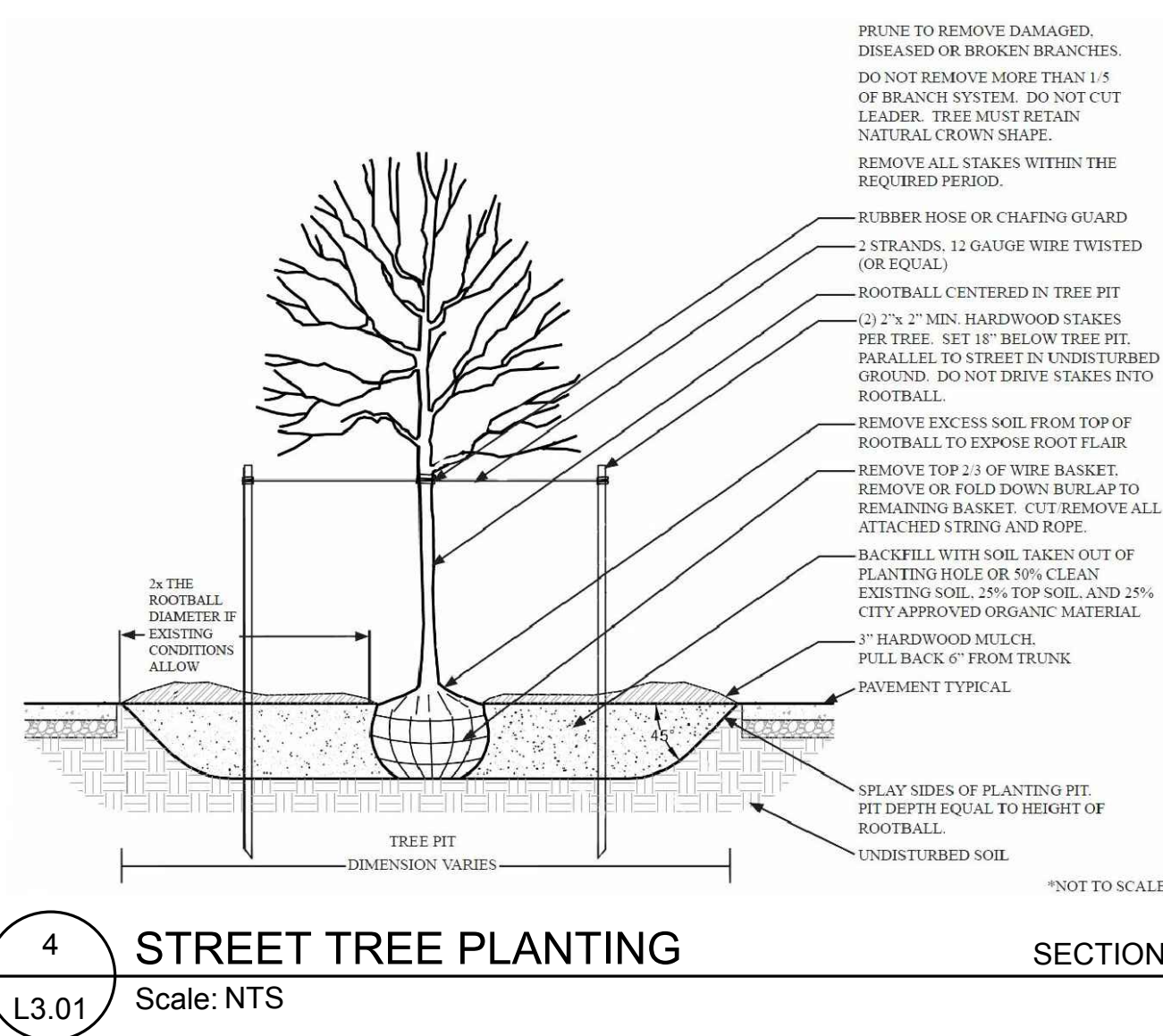
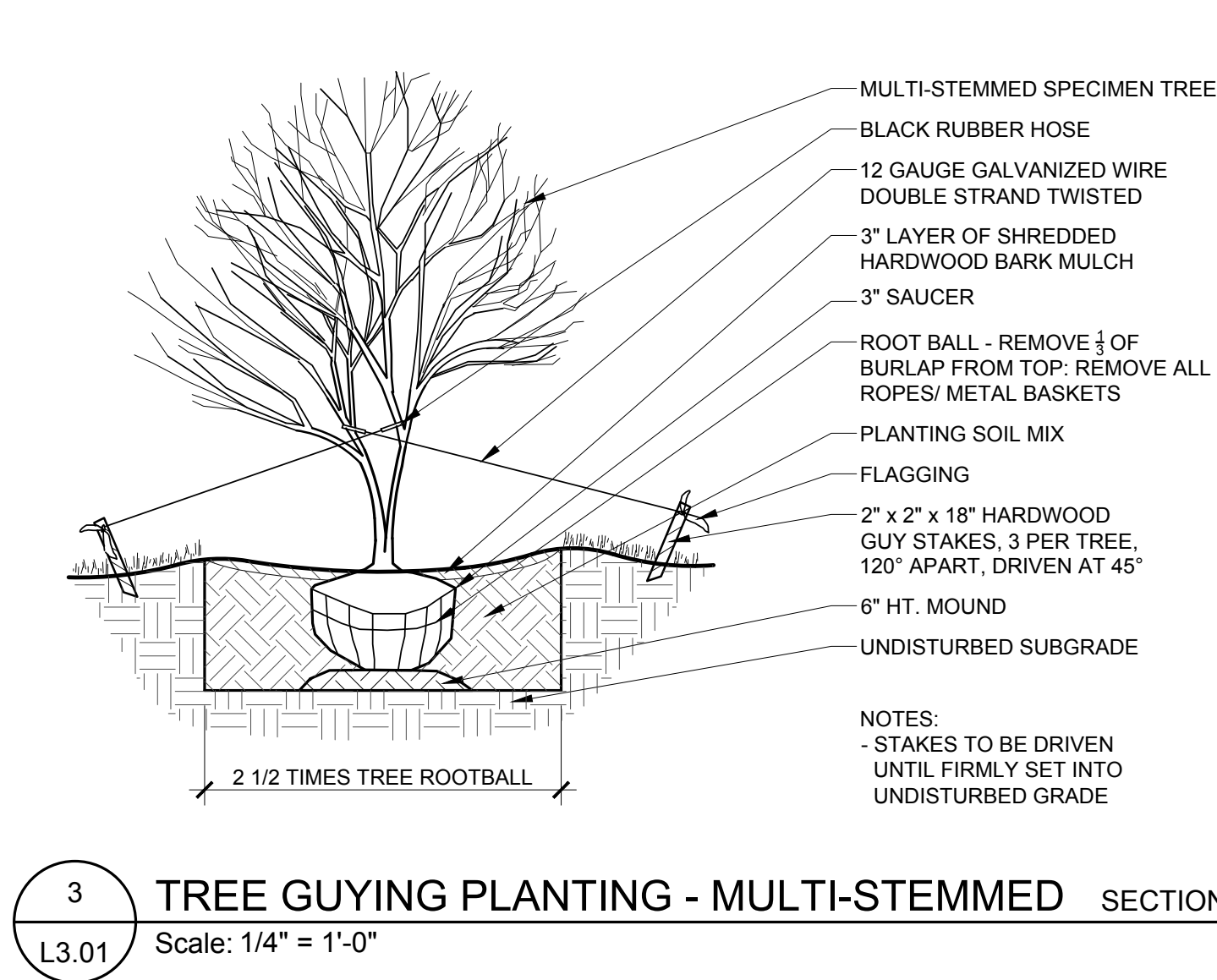
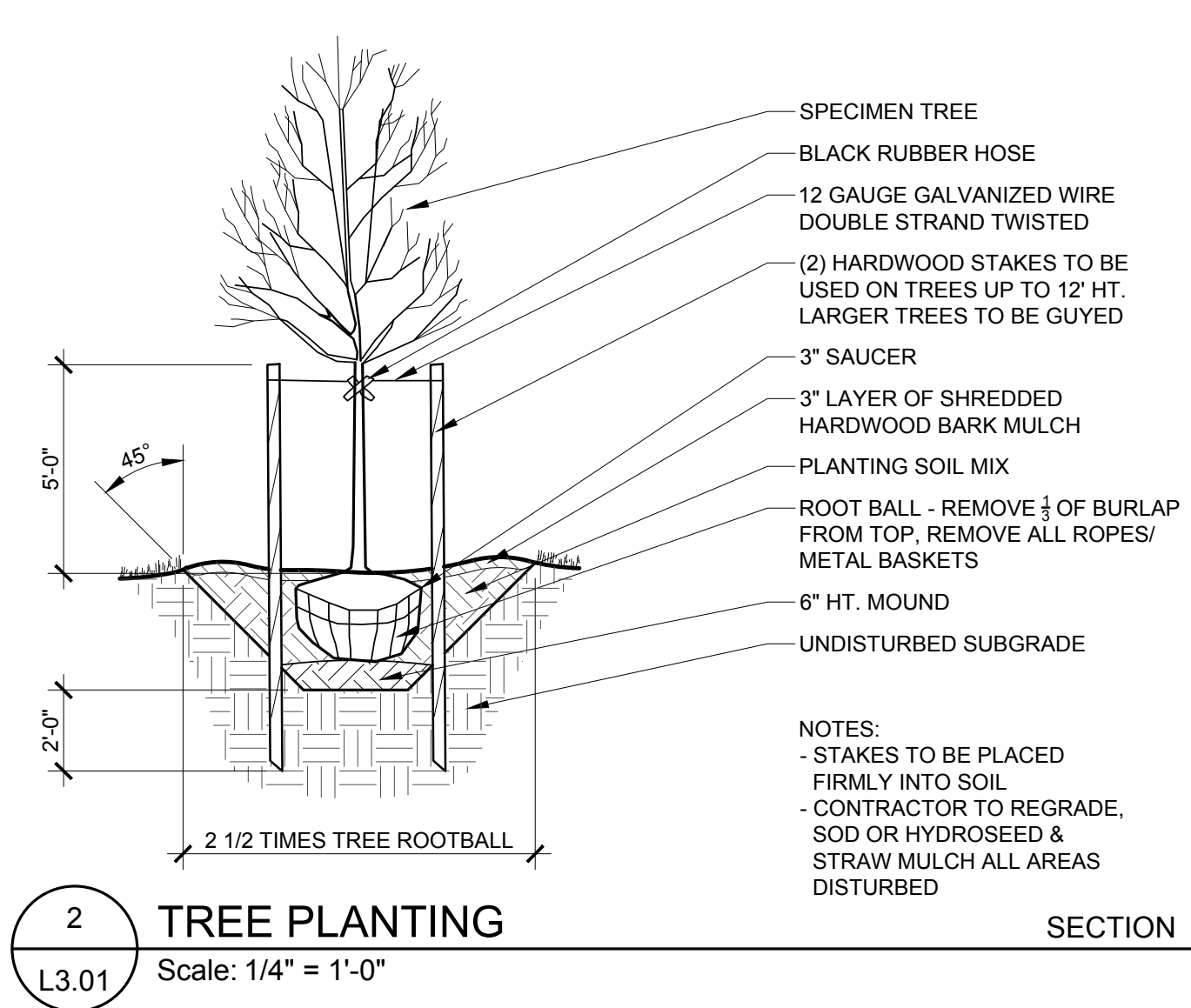
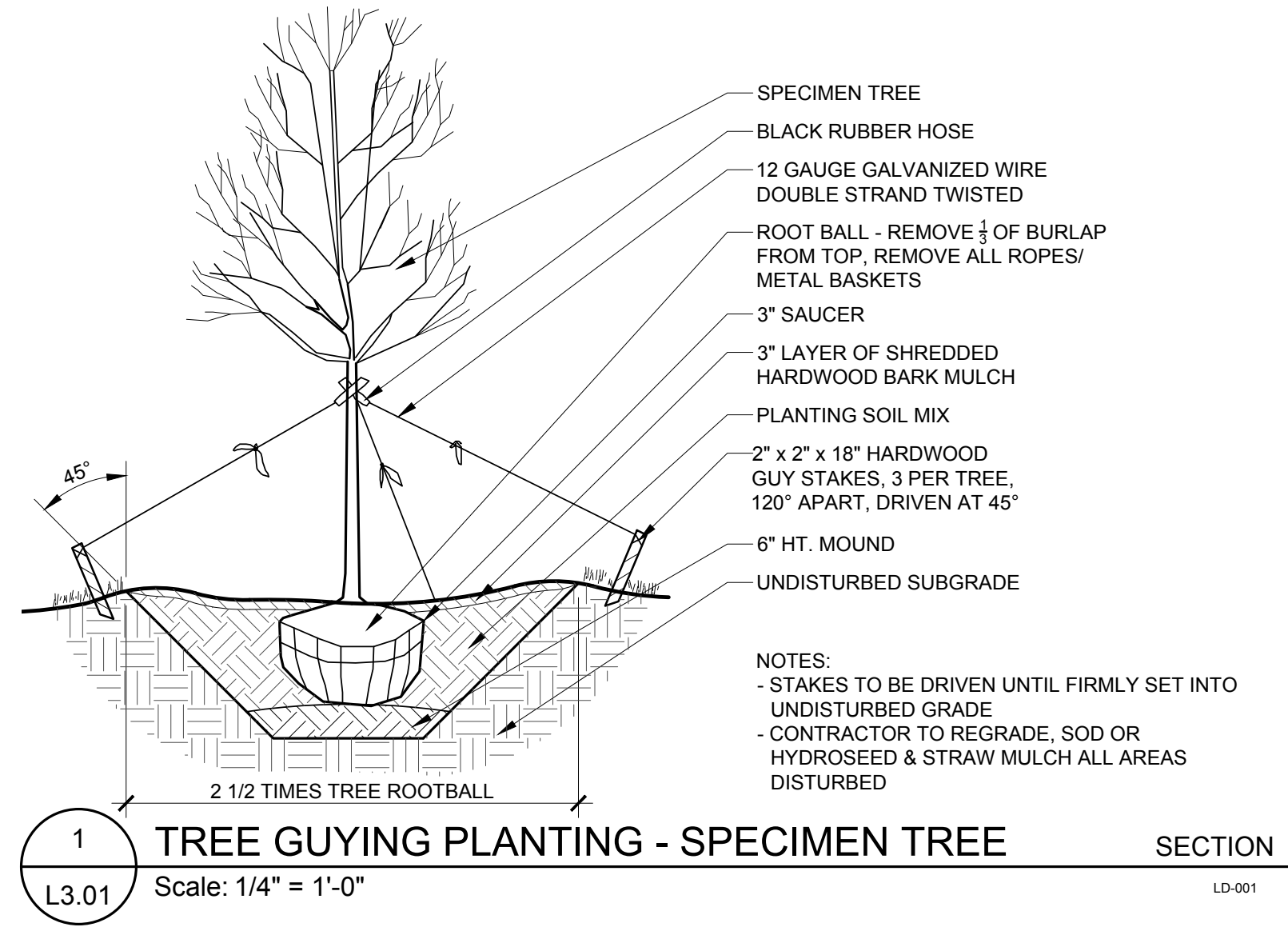
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PROJECT NO: 15048
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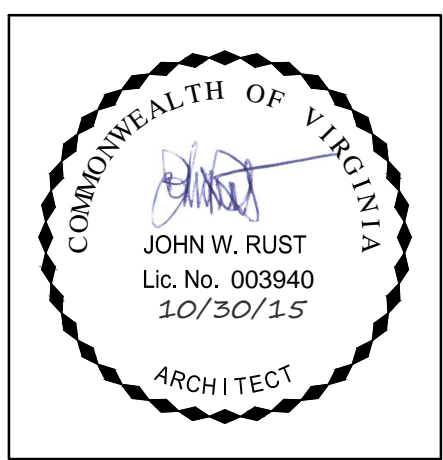


PLANTING NOTES:

1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNERS' REPRESENTATIVE PRIOR TO INSTALLATION.
3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS, WELL-DEVELOPED DENSELY FOLIATED BRANCHES, AND VIGOROUS ROOT SYSTEMS; AND BE FREE FROM DEFECTS AND INJURIES.
4. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO GROWTH OF PLANT MATERIAL.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES, SHRUBS, GROUNDCOVER AND PERENNIALS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
6. PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY IF/WHEN PRACTICAL. IN THE EVENT THAT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE-DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD SHALL BE REJECTED, UNLESS OWNER AND CONTRACTOR PROVIDE OTHERWISE BY WRITTEN AGREEMENT.
7. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF ROOT BALL SHALL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF ANSI Z60 "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
8. ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK-FILLING PROCESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
9. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FORM THE BOTTOM OF THE BALL ONLY.
10. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOP SOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH "WILT-PRUF" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
11. NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
12. SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT A NORMAL OR NATURAL RELATIONSHIP TO THE GROUND IF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE THE PLANT IN THE CENTER OF THE PIT.
13. ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (2" CALIPER AND GREATER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES SHALL NOT BE CUT BACK. LONG SIDES BRANCHES SHALL BE SHORTENED.
14. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE THE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
15. TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. ALL TREES 6" AND GREATER IN CALIPER SHALL BE GUYED. SMALLER TREES SHALL BE STAKED. GUYING WIRES AND STAKES SHALL BE INSTALLED AS INDICATED. THE LANDSCAPE CONTRACTOR SHALL REMOVE STAKING, GUYING AND TREE WRAP AT THE END OF ONE YEAR MAINTENANCE AND GUARANTEE PERIOD.
16. ALL PLANTING BEDS SHALL BE MULCHED WITH 3" LAYER OF MULCH.
17. NEW PLANTING AREAS AND SOD SHALL BE ADEQUATELY WATERED TO ESTABLISH THE PROPOSED PLANTS AND LAWN.
18. ALL PLANTS SHOWN ON THE APPROVED LANDSCAPE PLAN SHALL BE INSTALLED, INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE. THE LANDSCAPE ARCHITECT SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD. TREES, SHRUBS, VINES AND GROUNDCOVER AS REQUIRED BY OR ASSOCIATED WITH A SUBDIVISION OR SITE PLAN APPROVED BY THE PLANNING AUTHORITIES SHALL BE INSTALLED DURING THE FOLLOWING PLANTING SEASONS: LAWNS: 03/15 TO 06/15 AND 09/15 TO 12/01. THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH PLANTING THESE TREES IN THIS SEASON: ACER RUBRUM, POPULUS SPP., BETULA SPP., PRUNUS SPP., CARPINUS SPP., PYRUS SPP., CRATEGEUS SPP., QUERCUS SPP., KOELREUTERIA PANICULATA, SALIX SPP., LIQUIDAMBAR SYRACIFLUA, TILIA TOMENTOSA, LIRIODENDRON, TULIPIFERA, ZELKOVA, PLATANUS, ACERIFOLIA; ANY PLANTING INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL REQUIRE THE REMOVAL OF THE PLANTING IN QUESTION. THIS REQUIREMENT DOES NOT APPLY TO SEEDING OR SODDING OR PLANTINGS SPECIFICALLY FOR SOIL STABILIZATION PURPOSES. PLANTINGS ASSOCIATED WITH ANY LOT GIVEN A CERTIFICATE OF OCCUPANCY OUTSIDE THESE PERIODS SHALL BE PROVIDED DURING THE PREVIOUS OR NEXT APPROPRIATE SEASON.
19. ALL DISTURBED AREAS SHALL BE TREATED WITH 4" TOP SOIL SODDED OR SEEDDED AS NOTED IN ACCORDANCE WITH PERMANENT STABILIZATION METHODS INDICATED ON SOIL EROSION AND SEDIMENT CONTROL SHEET.

20. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL PLANT MAINTENANCE, INCLUDING SHRUBS AND GROUNDCOVER, AND SHALL MAINTAIN AREA IN A WEED AND DEBRIS FREE CONDITION THROUGHOUT THE ONE-YEAR GUARANTEE PERIOD, UNLESS OTHERWISE SPECIFIED.
21. CONTRACTOR SHALL LAYOUT AND CLEARLY STAKE ALL PROPOSED IMPROVEMENTS INCLUDED ON THIS PLAN.
22. CONTRACTOR TO VERIFY PLANT LIST TOTALS WITH QUANTITIES SHOWN ON PLAN. LANDSCAPE ARCHITECT SHALL BE ALERTED BY CONTRACTOR OF ANY DISCREPANCIES PRIOR TO FINAL BID NEGOTIATION. UNIT PRICES FOR ALL MATERIAL SHALL BE SUPPLIED TO THE OWNER AT BIDDING TIME.
23. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. OWNER SHALL RECEIVE TAG FROM EACH PLANT SPECIES AND A LIST OF PLANT SUPPLIERS. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL MEET THE NORMAL REQUIREMENTS FOR THE VARIETY PER THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN). PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
24. SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE JUDGED. FAILURE TO MEET MINIMUM SIZE ON ANY PLANT WILL RESULT IN REJECTION OF THAT PLANT.
25. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED, FREE OF DISEASE, INSECT EGGS, AND LARVAE, AND SHALL HAVE ADEQUATE ROOT SYSTEMS.
26. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
27. GROUPS OF SHRUBS SHALL BE PLACED IN A CONTINUOUS MULCH BED WITH SMOOTH CONTINUOUS LINES. ALL MULCHED BED EDGES SHALL BE CURVILINEAR IN SHAPE FOLLOWING THE CONTOUR OF THE PLANT MASS. TREES LOCATED WITHIN FOUR FEET OF SHRUB BEDS SHALL SHARE SAME MULCH BED.
28. TREES SHALL BE LOCATED A MINIMUM OF 3' - 4' FROM WALLS AND WALKS WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN ACTUAL SIZE OF AREA AND PLANS, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE OWNER OR LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS.
29. TREE STAKING AND GUYING SHALL BE DONE PER DETAILS. CONTRACTOR SHALL ENSURE THAT TREES REMAIN VERTICAL AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.
30. CROWN OF ROOT BALL SHALL BE HIGHER (AFTER SETTLING) THAN ADJACENT SOIL.
31. TAGS AND TWINE ARE TO BE REMOVED AND BURLAP IS TO BE ROLLED BACK ONE-THIRD ON ALL B&B PLANT MATERIAL. REMOVE BURLAP IF IT IS NON-BIODEGRADABLE. FOR STREET TREES TAGS, TWINE, CORD, BURLAP AND WIRE BASKET TO BE CUT 12" DOWN SIDE OF ROOT BALL AND REMOVED FROM PROJECT SITE.
32. SHRUBS AND GROUND COVERS SHALL BE TRIANGULARLY SPACED AT SPACING SHOWN ON PLANTING PLANS.
33. SHADE TREES: HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT BALL TO THE TOP OF MATURE GROWTH. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "Y" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION. SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE HEIGHT OF THE TOP OF THE PLANT. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH.
34. ALL SUBSTITUTIONS OF PLANT MATERIAL ARE TO BE REQUESTED IN WRITING TO THE LANDSCAPE ARCHITECT AND APPROVED BY THE OWNER. IF CONTRACTOR FAILS TO SUBMIT A WRITTEN REQUEST, IT WILL RESULT IN LIABILITY TO THE CONTRACTOR.
35. ALL CONTRACTORS SHALL BE REQUIRED TO COMPLETELY REMOVE ALL TRASH, DEBRIS AND EXCESS MATERIALS FROM THE WORK AREA AND THE PROPERTY, ESPECIALLY AT ALL CURB, GUTTERS AND SIDEWALKS DAILY DURING INSTALLATION.
36. DEAD PLANTS ARE TO BE REMOVED FROM THE JOB BY THE CONTRACTOR WEEKLY. CONTRACTOR SHALL MAINTAIN AN UPDATED, COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED FROM THE JOB SITE. A COPY OF THE LIST IS TO BE SUBMITTED TO THE OWNER AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.
37. TOPSOIL REQUIRED FOR SOIL MIXES AND SPECIAL SEEDING AREAS SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR. CONTRACTOR MUST LOAD, HAUL, MIX, AND SPREAD ALL TOPSOIL AND OTHER SOIL ADDITIVES ARE REQUIRED.
38. CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE IMPROVEMENTS, INCLUDING SEEDING, FOR ONE FULL YEAR AS REQUIRED BY THE SPECIFICATIONS. CONTRACTOR MUST CONTACT THE OWNER AT LEAST TEN WORKING DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTION(S). CONTRACTOR MUST REPLACE ALL DEAD OR UNACCEPTABLE PLANTS DURING THE FOLLOWING RECOMMENDED PLANTING SEASON.
39. THE SPECIFICATIONS FOR ALL WORK INCLUDED IN THIS CONTRACT SHALL BE LANDSCAPE SPECIFICATIONS GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREA, CURRENT EDITION, UNLESS OTHERWISE NOTED ON THESE PLANS.

APPROVED SPECIAL USE PERMIT NO. 2015-0004	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
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CHAIRMAN, PLANNING COMMISSION	
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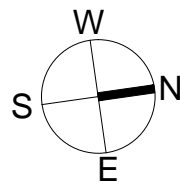
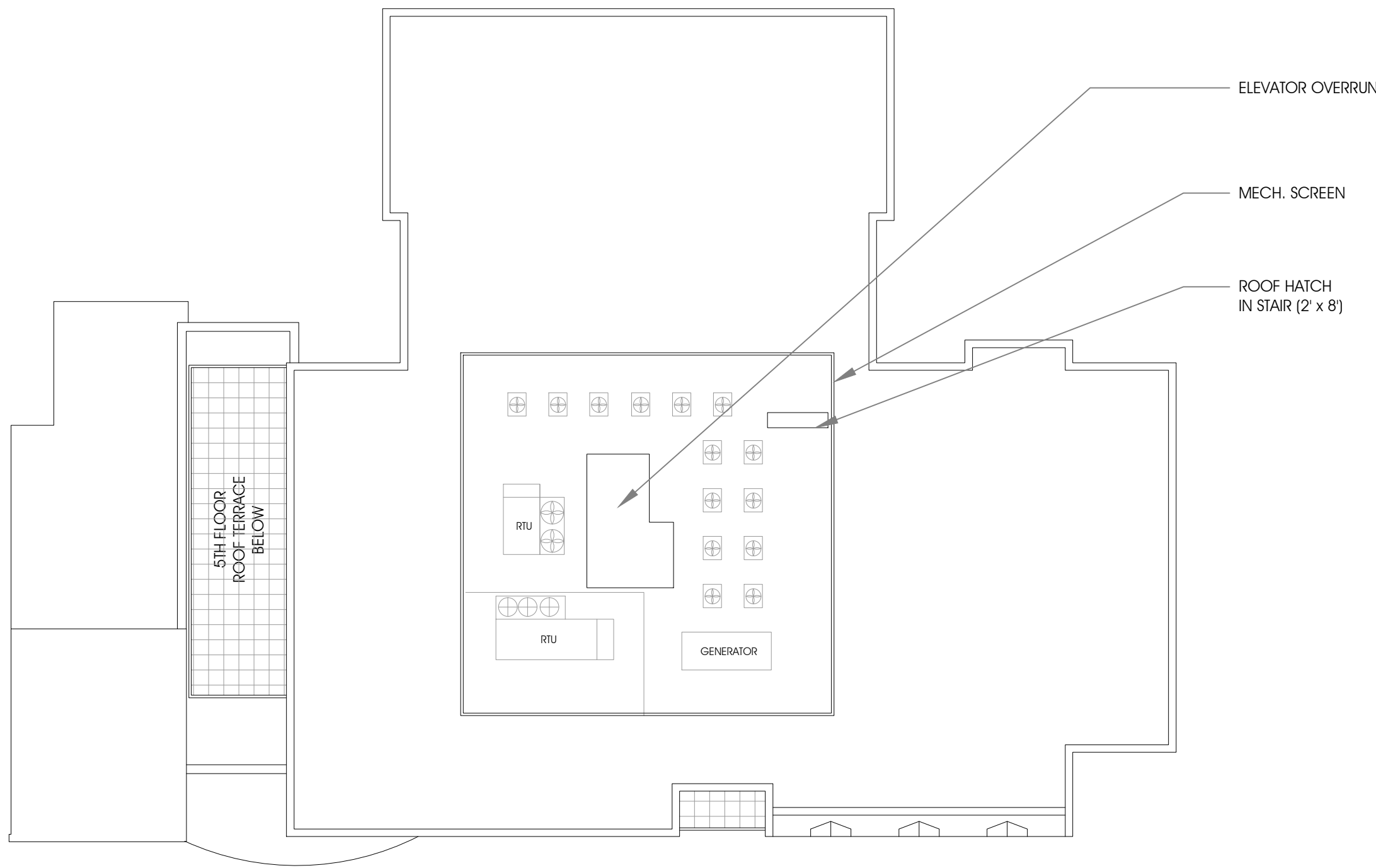
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PRELIMINARY
SITE PLAN
10.30.15

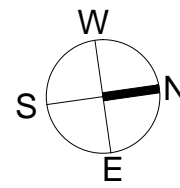
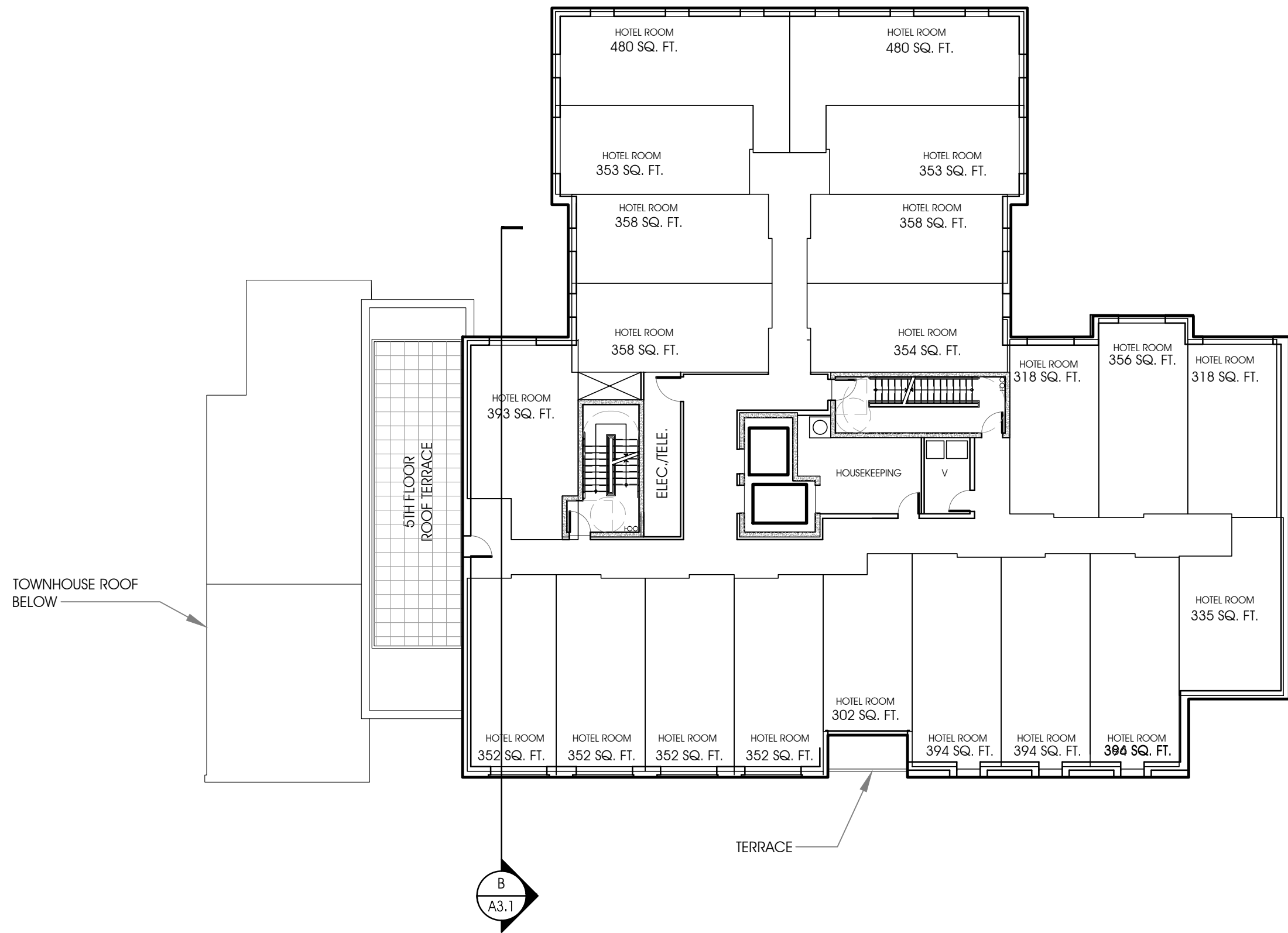
PROPOSED FLOOR
PLANS

SHEET NO.

A1.3

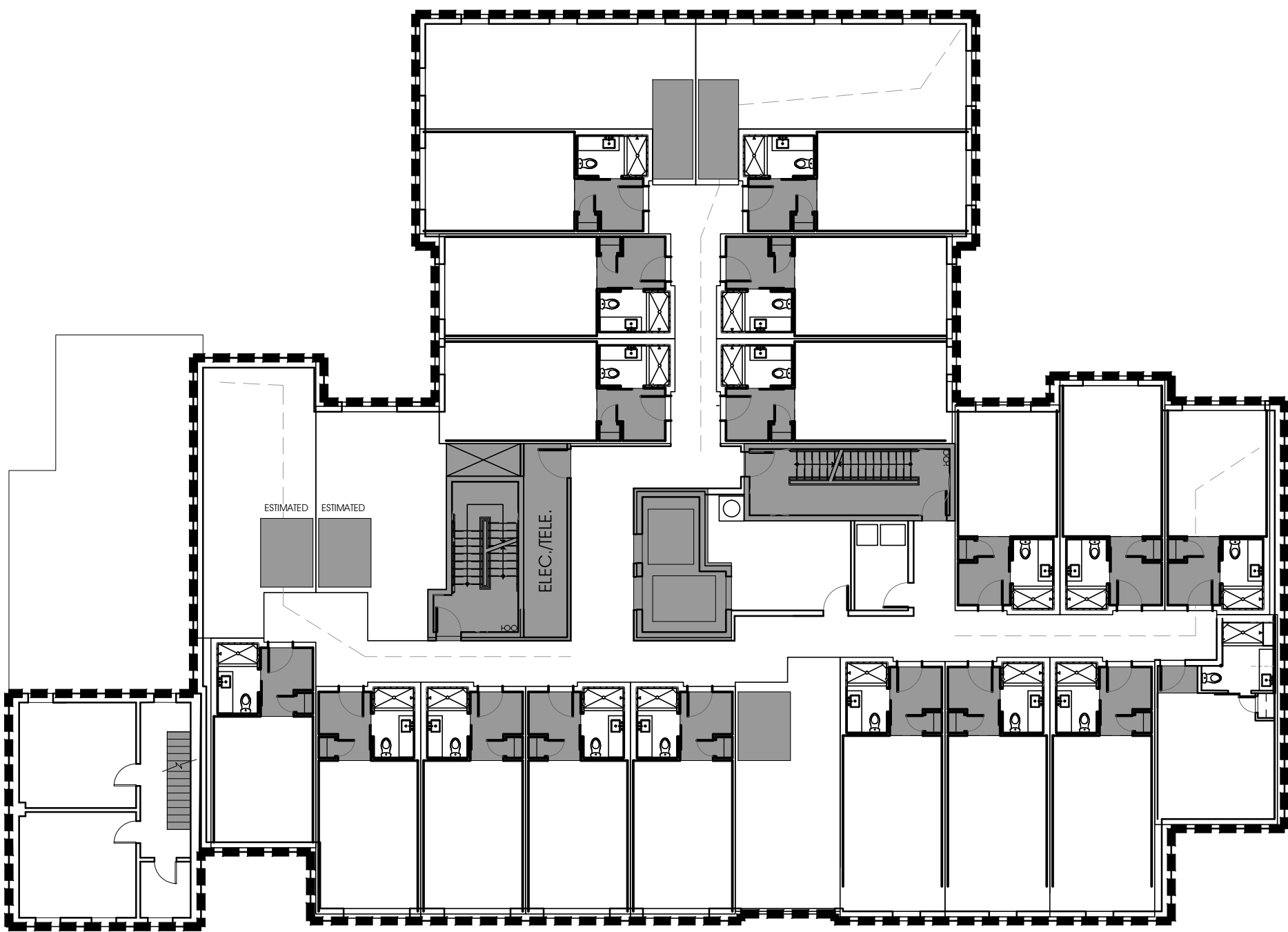


PROPOSED ROOF PLAN
1/16" = 1'-0"



PROPOSED FIFTH FLOOR PLAN
1/16" = 1'-0"

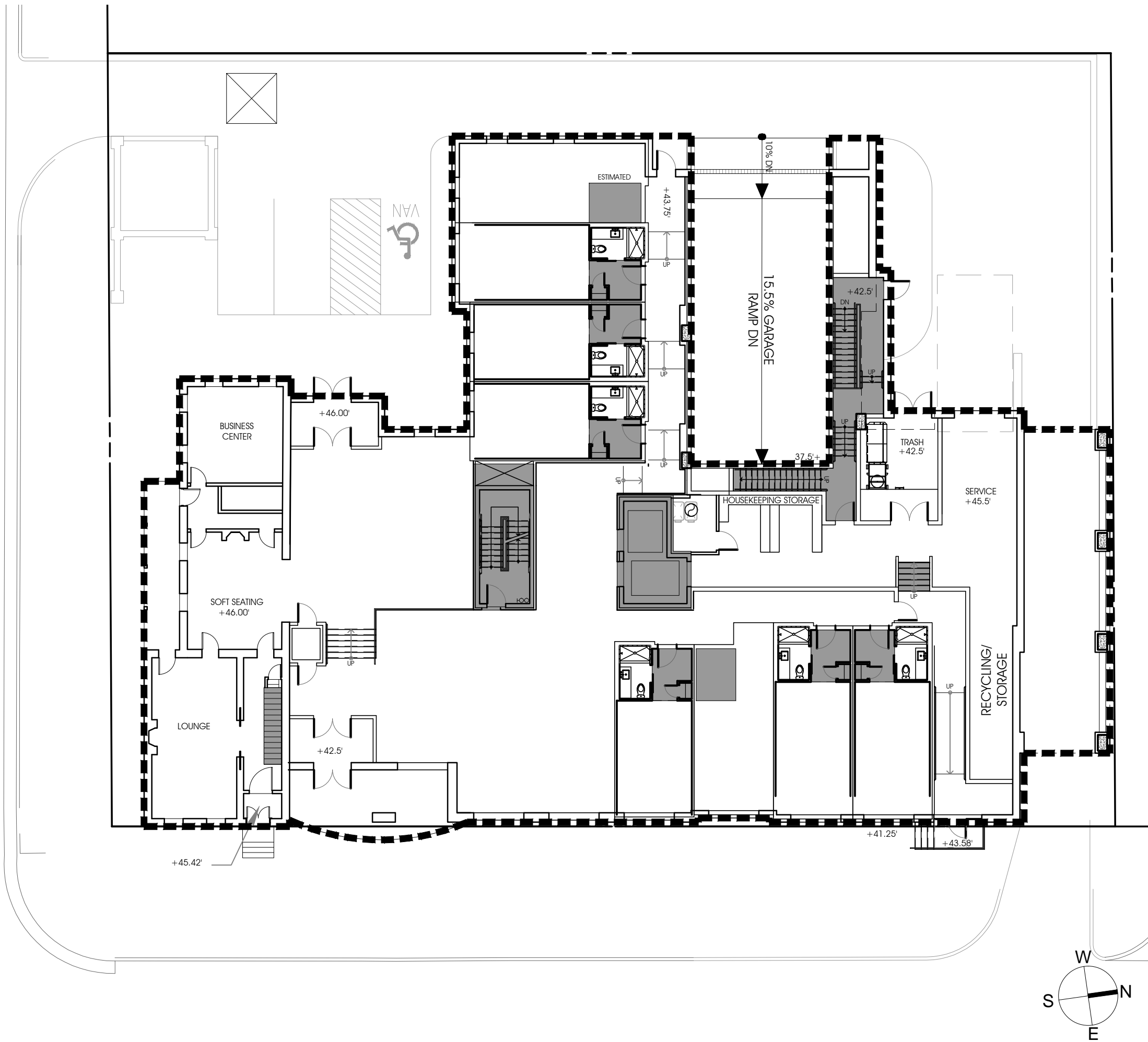
APPROVED	
SPECIAL USE PERMIT NO. 2015 - 0004	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION _____ DATE _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	PAGE NO. _____



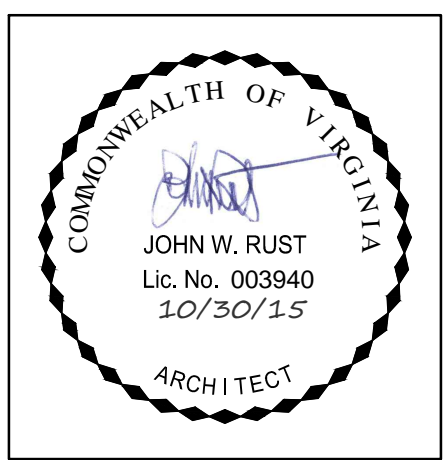
FAR CALCULATIONS				
ROOMS	ROOM TYPE	NUMBER OF ROOMS	AREA DEDUCTED	TOTAL
	TYP. DBL QUEEN	70	52	3,640
	TYP. KING	14	52	728
	OTHER KING	3	15.9	48
	END UNIT KING	8	58	464
	SUITE	3	0	0
TOTAL ROOM DEDUCTIONS				4,880
CORE DEDUCTIONS (FLOORS 2-5)				3,200
CORE DEDUCTIONS (GROUND FLOOR)				776
GROSS FLOOR AREA				57,140
TOTAL DEDUCTIONS				8,856
AVAILABLE DEDUCTIONS AS % OF GROSS FLOOR AREA				15.50%
PROPOSED DEDUCTIONS (SEE COVER SHEET)				13.60%

PLAN LEGEND	
	GROSS FLOOR AREA
	AREAS DEDUCTED FROM GROSS FLOOR AREA TO DETERMINE FAR: <ul style="list-style-type: none">• STAIRWAYS• MECHANICAL SPACES/ELEVATOR SHAFTS/VERTICAL CHASES• CEILING HEIGHT BELOW 7'-6"

B TYP. FLOOR PLAN
FOR ILLUSTRATIVE PURPOSES ONLY
1/16" = 1'-0"



A GROUND FLOOR PLAN
FOR ILLUSTRATIVE PURPOSES ONLY
1/16" = 1'-0"



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Washington
Street

802 & 808 North
Washington Street
Alexandria, VA

14.074

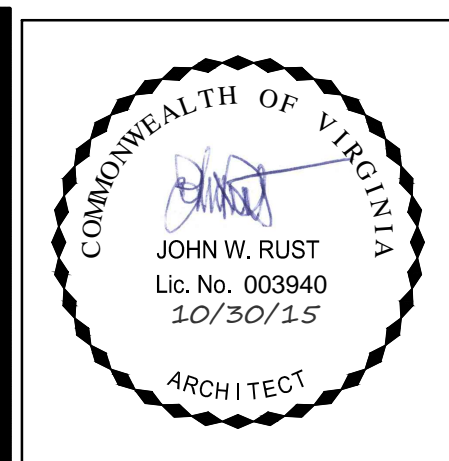
REVISIONS	
DATE	DESCRIPTION

PRELIMINARY
SITE PLAN
10.30.15

FAR DIAGRAMS

SHEET NO.
A1.4

APPROVED SPECIAL USE PERMIT NO. 2015 - 0004 DEPARTMENT OF PLANNING & ZONING	
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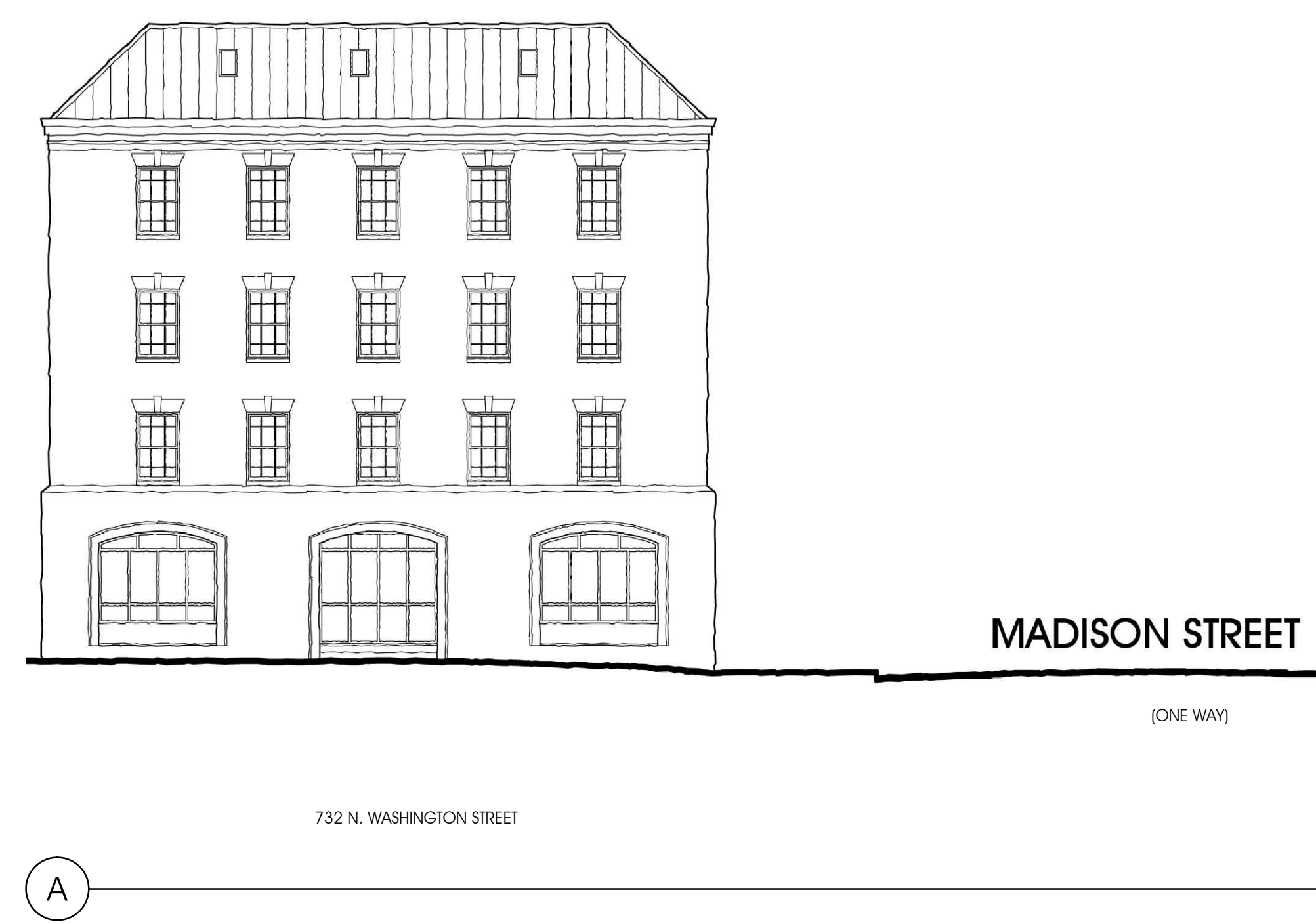
REVISIONS	
DATE	DESCRIPTION
5/27/15	REVISED

PRELIMINARY
SITE PLAN
10.30.15

EXTERIOR
ELEVATIONS

SHEET NO.

A2.1



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B

PROPOSED NORTH ELEVATION
3/32" = 1'-0"



A

PROPOSED WEST ELEVATION
3/32" = 1'-0"



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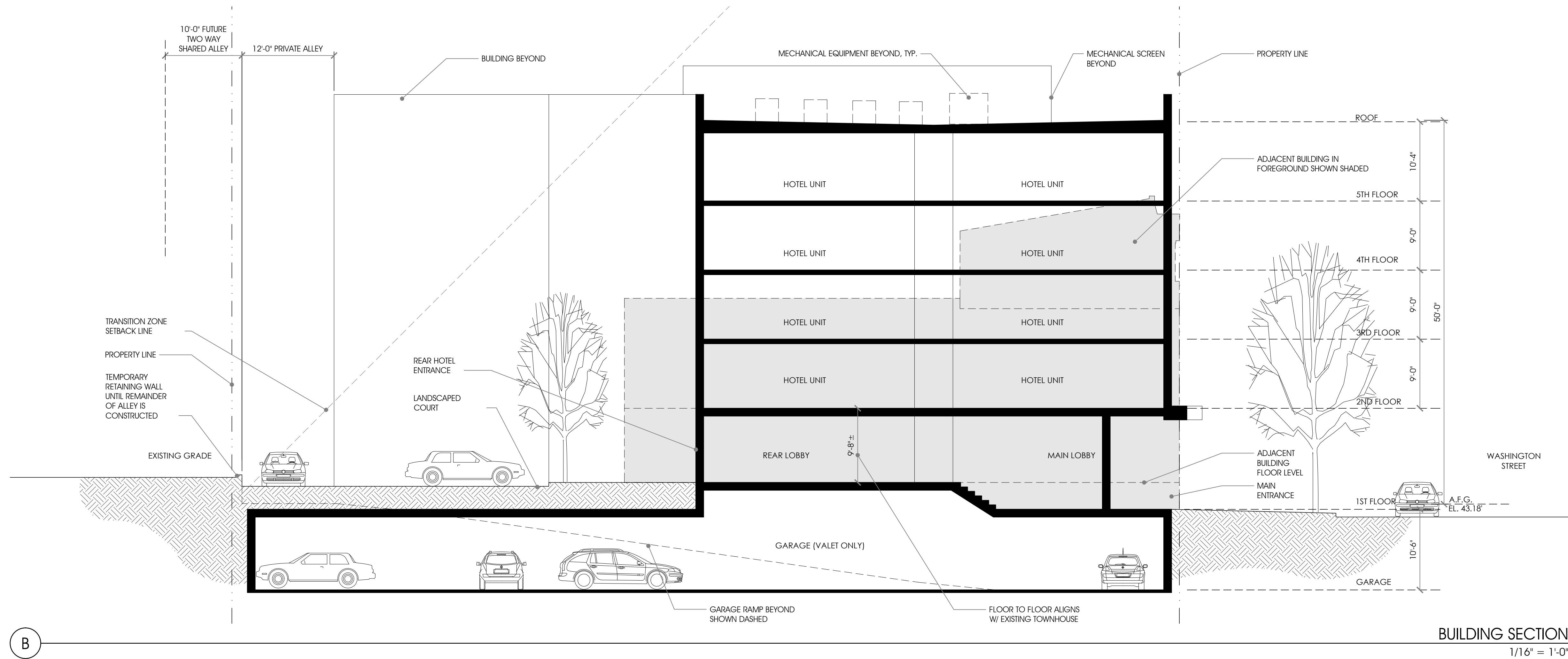
REVISIONS	
DATE	DESCRIPTION
5/27/15	REVISED

PRELIMINARY
SITE PLAN
10.30.15

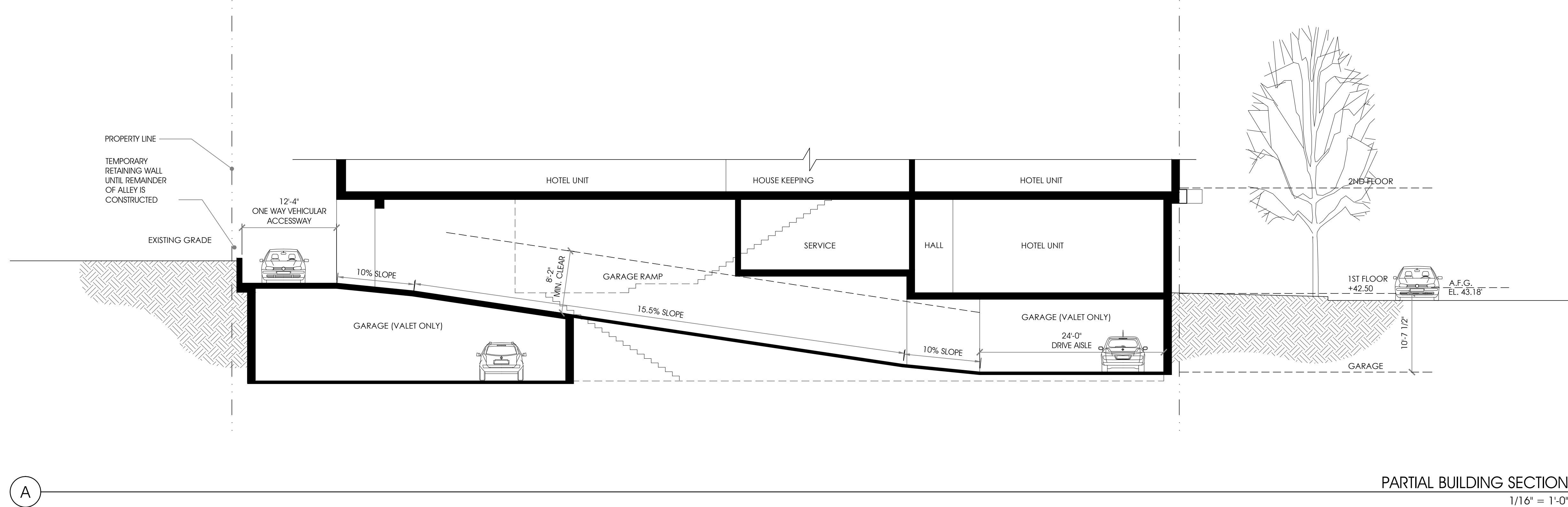
EXTERIOR
ELEVATIONS

SHEET NO.
A2.2

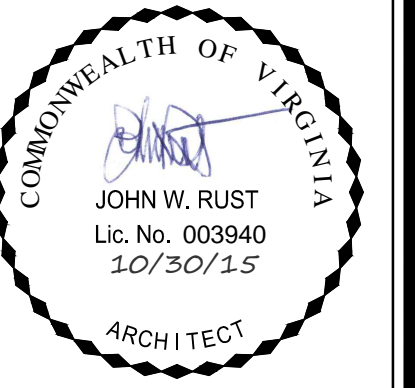
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B



A



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REVISIONS	
DATE	DESCRIPTION

PRELIMINARY
SITE PLAN
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PROPOSED SITE
PLAN, GARAGE
FLOOR PLAN, AND
STATISTICS

SHEET NO.

A3.1

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DATE	
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INSTRUMENT NO.	DEED BOOK NO. PAGE NO.



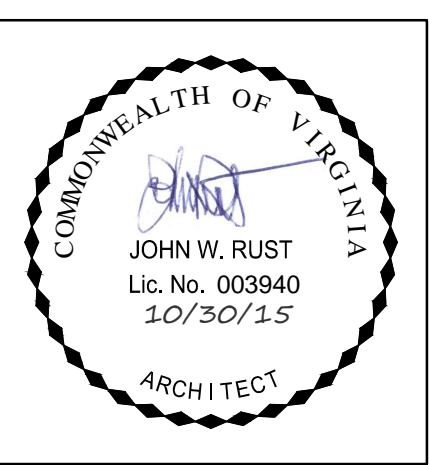
VIEW FROM SOUTH
N.T.S



VIEW FROM NORTH
N.T.S



AERIAL VIEW
N.T.S



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DATE	DESCRIPTION

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MASSING MODEL

SHEET NO.
A4.1

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INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____