



***Subdivision #2014-0014***  
***809 & 811 Vassar Road***

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<b>Application</b>	<b>General Data</b>	
<b>Request:</b> Public hearing and consideration of a request to re-subdivide two lots into three lots.	<b>Planning Commission Hearing:</b>	November 5, 2015
	<b>Approved Plat must be recorded by:</b>	May 1, 2017
<b>Address:</b> 809 & 811 Vassar Road	<b>Zone:</b>	R-8/Residential Single-family
<b>Applicant:</b> Stephen and Mary Hales	<b>Small Area Plan:</b>	Taylor Run

**Staff Recommendation:** APPROVAL subject to compliance with all applicable codes and ordinances and the recommended permit conditions found in Section III of this report.

**Staff Reviewers:** Alex Dambach, [alex.dambach@alexandriava.gov](mailto:alex.dambach@alexandriava.gov)

**PLANNING COMMISSION ACTION, NOVEMBER 5, 2015:** On a motion by Commissioner Wasowski, seconded by Commissioner Koenig, the Planning Commission **approved** the request subject to compliance with all applicable codes, ordinances, and staff recommendations. The motion carried on a vote of 6 to 1, with Vice Chairman Dunn voting against.

**Reason:** The majority of the Planning Commission agreed with the staff analysis, including the review process and the lot character analysis, and the finding that the lot character of the proposed lots are substantially the same as the lots in the area of comparison. Commissioners also acknowledged the many ways lot character can be evaluated and the qualitative nature of character assessment, and they acknowledged that the proposed lots are fully compliant with zoning requirements. Vice Chairman Dunn noted the Council had concluded the scope of subdivisions considered was too broad and then took the unusual step of returning the case to us for reconsideration. However, in the staff report on this reconsideration, the staff applied standards in again recommending approval whereas under staff standards initially applied in this case, and other standards recommending by staff and adopted by the PC in a July subdivision case, the conclusion would be that this subdivision would not recommend by staff nor approved by PC.

**Speakers:** Mary Catherine Gibbs, attorney for the applicant, expressed support for the request. She explained the legal issues of the subdivision request and provided diagrams, via PowerPoint, showing the way the proposed lots are similar in size, shape, and frontage with other lots in the

comparison area.

Sean Roth expressed support for the request. He stated that application meets the technical requirements of Zoning, and that the approval process should be predictable.

Tim Lloyd, Crown View Drive, expressed opposition to the request. He opposed the process used in this project's analysis. He spoke favorably of the process that had been used for a subdivision on Braddock Road.

Helen Lloyd, Crown View Drive, mentioned the transcript of the City Council Hearing and expressed opposition to the request. She opposed the methodology used in this analysis. She stated that the analysis was different from other analyses for other subdivisions.

Deanna Rhodside, 414 Crown View Drive, expressed opposition to the request. She stated that there should be a high bar for the analysis. She said the analysis that had been used for Braddock Road was the one that should be used.

Mark Leon, expressed opposition to the request. He said the median and mean should be more heavily used in the analytical process.

Rebecca Rust, 506 Crown View Drive, expressed opposition to the request. She said the process was different from the process used at the Braddock Road subdivision.

Kristen Ellis, purchaser of 814 Vassar Road, expressed support for the request. She said she is buying a house across the street and feels that the proposed lots are bigger than many lots in the neighborhood and are in character. She said she will be 'looking at the lots every day.'

Zorana Ilic, Crown View Drive, mentioned a document prepared by David Rust that analyses the lots and shows that some proposed lot dimensions deviate by more than ten percent from the lot dimensions of the comparable lots.

Mary Hales, applicant, expressed support for the request. She explained that the Braddock Road subdivision method had been used in the previous analysis, but that method was appealed to Council and remanded. She also mentioned an alternative plat she proposed that would have adjusted lot lines by a few inches to make the quantitative measures look better, but these adjustments would have required modifications to existing houses.

Jason Von Wagner, Cambridge Road, expressed support for the request. He stated that tedious City standards give the city its good quality of life. He further explained that he saw the charts and numbers from the analysis and found that the lots are in character.

Judy Miller, spoke in support of the request. She explained her work on helping develop the City's infill standards and explained how those standards have protected the City, and this application meets those standards. She said a denial would 'discriminate' against the applicant.

**PLANNING COMMISSION ACTION, OCTOBER 7, 2015:** Without objection, this request was deferred to the hearing of November 5, 2015.

**CITY COUNCIL ACTION, JUNE 13, 2015:** The Planning Commission's approval was appealed to the City Council by neighboring property owners. City Council heard the appeal on June 13, 2015, and by a 4-3 vote, this application was remanded back to the Planning Commission for reconsideration. The Commission's instructions from City Council are to re-review the subdivision on the basis of the comparable lots, but that the lots fronting on Vassar Place should not be included in the analysis of similarly situated lots and that similarly-situated lots should be those on streets that share similar characteristics with the street where the subject properties are located. Council also instructed the Commission that the area of comparison should be a smaller area that includes properties in closer proximity to the subject properties than the prior review had done.

**PLANNING COMMISSION ACTION, MAY 5, 2015:** On a motion by Commissioner Wasowski, seconded by Commissioner Koenig, the Planning Commission **approved** the request subject to compliance with all applicable codes, ordinances, and staff recommendations. The motion carried on a vote of 5 to 0, with Vice Chairman Dunn abstaining. Commissioner Lyle was absent.

**Reason:** The majority of the Planning Commission agreed with the staff analysis, including the lot character analysis and the recommendation of which properties were the most "similarly-situated lots." It also acknowledged that, consistent with a Virginia Supreme Court decision, the Commission could not consider the aesthetics or character of any dwelling that may be constructed on the lot in the future. The minority of the Planning Commission did not agree with the recommended set of "similarly-situated lots" and also believed that the lot width for proposed Lot 626 did not fall within the range of widths found at comparison lots.

**Speakers:** Helen Lloyd, Crown View Drive, expressed opposition to the request. She noted that her property is designated as a National Historic Landmark given that former President Gerald Ford once lived there. She expressed concern that future development of proposed Lot 626 would have a negative impact on the neighborhood character generally. She also stated that any new dwelling on proposed Lot 626 would negatively impact the value of, and view shed from, her property.

David Rust, Crown View Drive, opposed the request. He noted historic elements of the neighborhood and believed that the future new dwelling on proposed Lot 626 would loom over the neighborhood. He stated that the staff report lacked an analysis of the effect the proposal would have on property values in the area.

Zorana Ilic, Crown View Drive, expressed opposition to the request. She disagreed with the recommended "similarly-situated lots" to which the proposal was compared, and stated her concerns about stormwater management and potential damage to retaining walls in connection with a future new dwelling on proposed Lot 626.

Elliot Rhodeside, Crown View Drive, believed that the subdivision proposal would bring

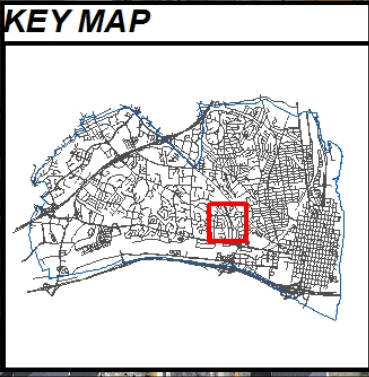
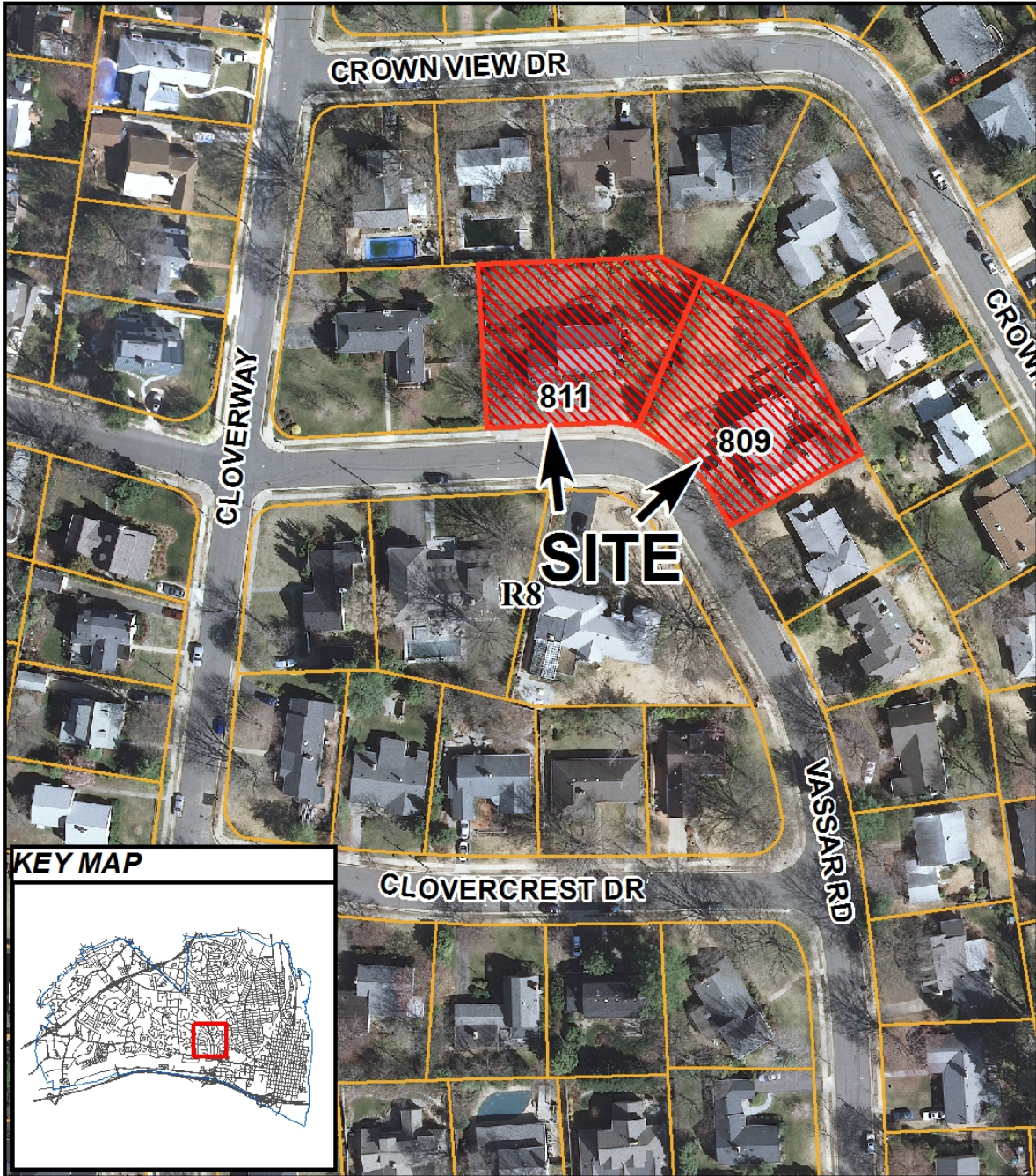
instability to a stable neighborhood. He stated that he disagreed with the staff report and answered questions from the Planning Commission.

Jason Van Wagner, Cambridge Road, stated his support for the request, particularly given the analysis in the staff report. He also noted the existence of other City regulations that would limit the size of any future dwelling.

Don Brady, Crown View Drive, expressed opposition to the request. He stated that a new house in this location would detract from the neighborhood generally, and specifically with regard to property values. He also noted aesthetic and stormwater-related concerns.

Mary Hales, applicant, expressed support for the proposal and referenced her May 4<sup>th</sup> letter to the Commission. She believed that the subdivision request would add value to the neighborhood and also noted her vested interest in maintaining property values given that she lives immediately next-door to proposed Lot 626. She also answered questions from the Planning Commission.

Mary Catherine Gibbs, attorney for the applicant, spoke in support of the request. She noted that the request under consideration was only for the subdivision and not future development of proposed Lot 626. She referenced several letters of support and stated her agreement with the lot character analysis in the staff report. She also answered several questions from the Planning Commission.



**SUB #2014-0014**  
**809 & 811 Vassar Road**



**I. DISCUSSION**

The applicants, Stephen and Mary Hales, request approval to re-subdivide two lots into three lots at 809 and 811 Vassar Road.

SITE DESCRIPTION

The subject site currently comprises two lots of record. The lot at **809 Vassar Road** has 99.97 feet of frontage on Vassar Road, an average lot depth of 115.8 feet and a total lot area of 16,409 square feet. It is improved with a two-story split-level style single-family dwelling. The lot at **811 Vassar Road** has 117.61 feet of frontage on Vassar Road, an average lot depth of 120.8 feet, and a total lot area of 17,316 square feet. It is developed with a two-story Colonial-style single-family dwelling.

The surrounding area is occupied primarily by other single-family dwellings. Bishop Ireton High School is also located a short distance to the south and Douglas MacArthur Elementary School is located a few blocks to the northwest.



**811 Vassar Rd Dwelling**



**809 Vassar Rd Dwelling**



**Area of Proposed Lot 626  
(Brand-New Lot between Dwellings)**

SITE / AREA BACKGROUND

The Clover subdivision began development in 1946 when Rozier Beech's company, RJ Beech, Inc., purchased most of the land that now makes up the neighborhood. This company developed Clover in phases over the period from 1947 until the mid-1960s, with the first part platted in March 1947. There are a total of 14 sections, each with separate plat filings. The last section was filed as a one lot plat in May 1973. The majority of the lots were created between 1947 and 1963. While the neighborhood was being developed, each section of the subdivision was platted and assigned lot numbers leaving un-platted sections in between until the neighborhood was fully developed.

**809 Vassar Road** was first created as a lot in 1959 as a part of Clover Subdivision Section 11, but it was a smaller lot with 10,350 square feet. It then abutted an un-platted area to its northwest. The dwelling on that lot was constructed during that period in 1960. The land to the northwest was platted in 1961, and some of it was added to the lot at 809 Vassar bringing its size up to 16,409 square feet. **811 Vassar Road** was created by this 1961 re-subdivision plat, which is entitled "Resubdivision Lot 25, Block 3 and Addition to Section 11 – Clover." That lot consisted of the entire remaining land that had been un-platted. That lot's dwelling was built in 1962. The two lots remain in the same configuration today. While staff considers the 1961 plat to be the "original subdivision" for purposes of this review, it is also relying on information from the other plats affecting these lots in its analysis.

REQUEST BACKGROUND

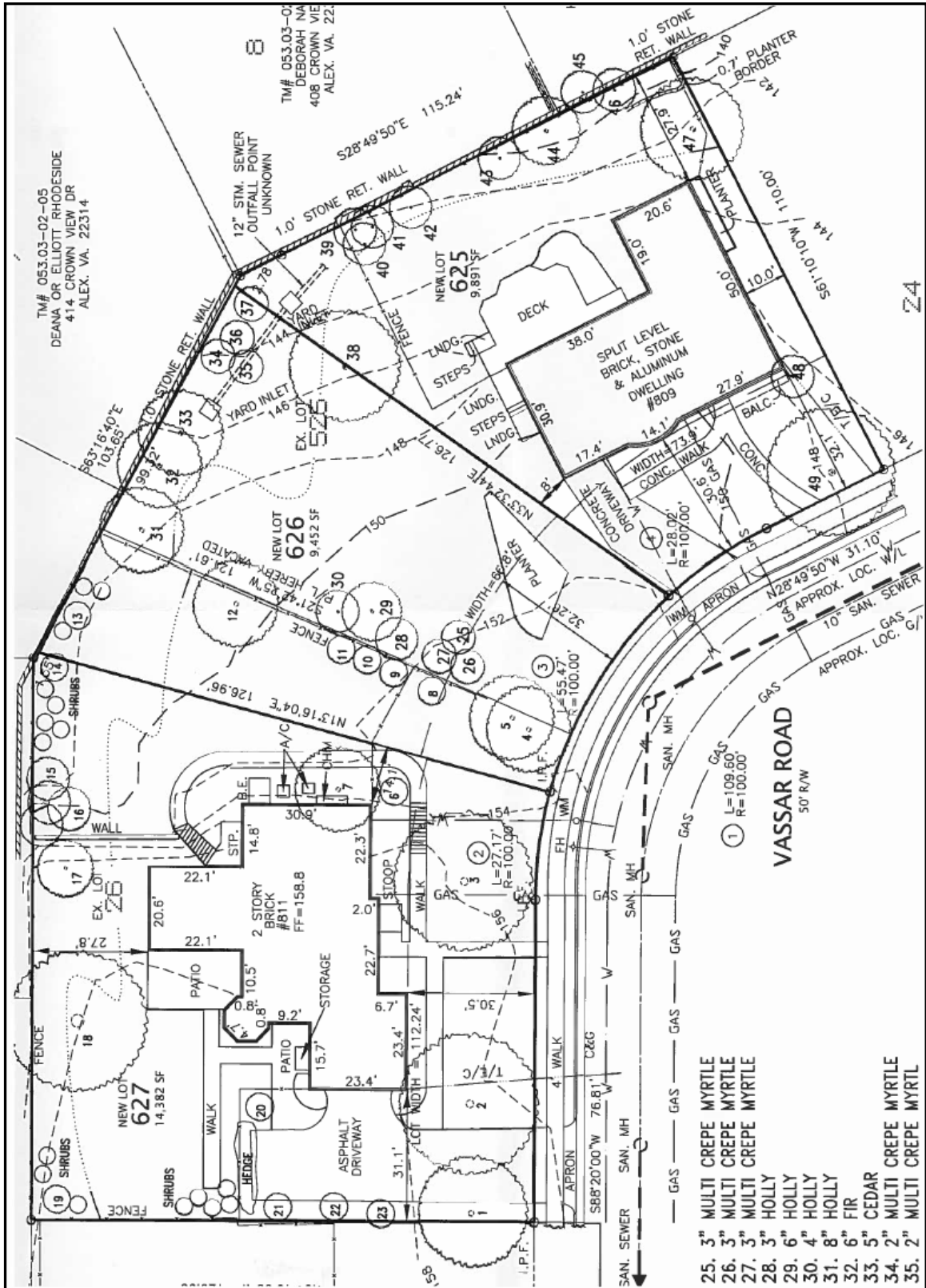
The Planning Commission approved this request on May 5, 2015, but that approval resulted in an appeal from neighboring property owners. City Council heard the appeal on June 13, 2015, and by a 4-3 vote, this application was remanded back to the Planning Commission for reconsideration. The Commission's instructions from City Council are to re-review the proposed subdivision considering comparable lots, on streets that share similar characteristics with the street where the subject properties are located and not including the lots fronting on Vassar Place that were included in the previous analysis. Council also instructed the Commission that the area of comparison should be a smaller area that includes properties in closer proximity to the subject properties than the prior review had. Subsequently, the applicant discussed the possibility of very small lot line adjustments in the proposed subdivision boundaries, but it was concluded that these adjustments would not affect the lot character analysis in a significant way, so the subdivision proposal remains the same as was previously reviewed by the Planning Commission and City Council.

PROPOSAL

The applicants propose to re-subdivide the two existing lots at 809 and 811 Vassar Road into three new lots as shown on Figure 1 on the following page. Proposed Lot 625, on which the dwelling at 809 Vassar would remain, would measure 9,891 square feet and have a lot frontage of 59.12 feet and a lot width of 73.9 feet. Proposed Lot 626, the proposed vacant lot between the existing dwellings, would measure 9,452 square feet. It would have a lot frontage of 55.47 feet and a lot width of 66.8 feet. Proposed Lot 627, on which the dwelling at 811 Vassar would

remain, would be the largest of the three lots at 14,382 square feet. It would have a lot frontage of 103.98 feet and a lot width of 112.24 feet.

Figure 1: Proposed Preliminary Subdivision Plat





ZONING / MASTER PLAN DESIGNATION

The property is located in the R-8 / Single-Family zone. As shown in Table 1 below, the proposal meets minimum lot size, frontage, and width requirements for the R-8 zone. The existing dwellings also would continue to meet minimum setback and FAR requirements for the R-8 zone. The property is located within the Taylor Run Small Area Plan Chapter of the Alexandria Master Plan, which designates the property for uses consistent with the R-8 zone.

**Table 1: Zoning Analysis**

	Minimum Required	Existing Lots		Proposed Lots		
		809 Vassar	811 Vassar	Lot 625	Lot 626	Lot 627
Lot Size	8,000 sq. ft.	16,409 sq. ft.	17,316 sq. ft.	9,891 sq. ft.	9,452 sq. ft.	14,382 sq. ft.
Lot Frontage	40 feet	99.97 feet	117.61 feet	59.12 feet	55.47 feet	103.98 feet
Lot Width	65 feet	121.5 feet	131.24 feet	73.9 feet	66.8 feet	112.24 feet
Side Yards	1:2 ratio, 8' min	54.5 feet	34.5 feet	8 feet		14.1 feet
		10 feet	31.1 feet	10 feet		31.1 feet
FAR	0.35	0.20	0.27	0.33		0.33

SUBDIVISION STANDARDS

Sections 11-1706 and 11-1709 of the Zoning Ordinance contain several technical subdivision requirements and Section 11-1710(D) stipulates a general requirement that all lots meet zone requirements. Section 11-1710(B) requires that every subdivided lot be “of substantially the same character as to suitability for residential use and structures, lot areas, orientation, street frontage, alignment to streets and restrictions as other land in the subdivision, particularly with respect to similarly situated lots within the adjoining portions of the original subdivision.” A provision requiring new lots to be consistent with the character of other nearby lots has existed in the Zoning Ordinance for many years and was strengthened in 2006 in the first of three “infill” text amendments.

Lot width is not mentioned in the Zoning Ordinance as a specific requirement. Staff evaluates lot width to provide information regarding neighborhood character.

Section 11-1710(B) further explains that the lots within a given subdivision proposal should be compared, for the purpose of determining neighborhood character, to those existing lots located

- within the original subdivision area, evidence of which may be shown by: (1)
- Subdivision plat documents, including amendments to the subdivision over time,

as well as the development that has occurred within the subdivision; and (2) land in the same general location and zone as the original subdivision with the same features so as to be essentially similar to the original subdivision area.

## **II. STAFF ANALYSIS**

Staff supports the requested subdivision. The proposal meets the technical subdivision requirements for the R-8 zone and the proposed lots are consistent with other similarly-situated lots in the area with regard to suitability for residential use, lot size, lot shape, and lot frontage.

Approval of subdivision plats is a ministerial, rather than discretionary, function of local government, and as such, approval should be granted if the applicant has complied with the requirements of the City's ordinance. However, the assessment of the subdivision standards requires some judgment to determine compliance.

The proposed lots meet all of the minimum standards for lot dimensions in the Zoning Ordinance, and they are thus suitable for residential use and structures. As discussed, the Ordinance also requires the proposed lots to be of "substantially the same character" as the existing lots in the neighborhood, defined as the original subdivision or surrounding subdivisions. This site is located at a relatively unusual curve in the street. There are two other lots at a major curve in the street in the rest of the study area. Determination that the lots meet the neighborhood character requires judgment to assess the relationship of the proposed lots to the relatively small number of lots also facing curved streets and to the rest of the neighborhood. Staff has researched the original subdivision as well as the surrounding subdivisions as described herein to assess the character of the neighborhood in relation to these lots. This neighborhood has many rectangular lots, but it also has many lots with a fairly wide range of lot sizes and shapes, especially in the immediate vicinity of the site. Staff has quantified several of the area's lot character defining features, and believes that an assessment of these qualities and quantities shows the proposed lots are of substantially the same character as the surrounding neighborhood as explained in detail below. Staff submits this analysis to the Planning Commission for its consideration.

### **Neighborhood Character – Area of Comparison and Analysis**

Staff extensively researched the history in the Clover subdivision development and closely considered the lots that constitute the area of comparison and especially the subset of lots that are most similarly-situated to the subject site. As mentioned earlier, the Clover subdivision has 14 sections. The site in question is in Section Eleven. The 1961 "Plat of Resubdivision Lot 25, Block 3 and Addition to Clover Section 11, Clover" which created the subject lots in their present configuration, is considered to be the "original subdivision" for the purposes of this review (see Figures 2 and 2.1 on the following page). However, this subdivision only includes the subject two properties, leaving no other lots to which the current proposal can be compared for the purposes of evaluating neighborhood character. The lot at 809 Vassar Road had been actually created prior to this plat, but in a smaller configuration, by the filing of the 1959 Clover Section 11 subdivision plat (see Figures 2.2 and 2.3 on page 11). This plat includes two additional properties to the south, which when combined with the 1961 plat produce a number of

lots for comparison (2 lots) that is also too small for a reasonable analysis of lot character. As a result, it is necessary for the area of comparison to be enlarged, pursuant to Section 11-1710(B)(2), to include additional “land in the same general location and zone as the original subdivision with the same features so as to be essentially similar to the original subdivision area” which requires an assessment as to which additional sections of the Clover subdivision should be included. Staff originally used all of Clover’s 14 sections for its earlier review, but the Commission’s decision based on that review was appealed. Following City Council instructions, staff created a smaller area for analysis by only adding sections that are in closer proximity to Section 11. The sections selected by staff for the area of comparison are Sections 1, 4, 6, 7, 8, 10, and 11, which are all proximate to the site in question (all but one of the selected sections shares a boundary with Section 11) and share many common characteristics with the proposed lots including frontage on the neighborhood’s two curved streets, Vassar Road and Crown View Place (Figure 3). This area of comparison includes 78 lots ranging in size from 7,770 to 19,735 square feet.

Community members have questioned the number of lots included in the area of comparison, suggesting that that the number of lots is unusually high. The number of lots depends very much on the specific case. In recent cases, the number of lots in the area of comparison have varied from as few as 15 (Lloyd’s Lane) to as many as 90 (Commonwealth Avenue). The areas of comparison for the West Braddock Road and Beverley Drive subdivisions were 29 and 28 respectively. While the area of comparison is important, the basis for evaluation is the selection of “similarly situated lots” within the area of comparison.

Figure 2: Original Subdivision

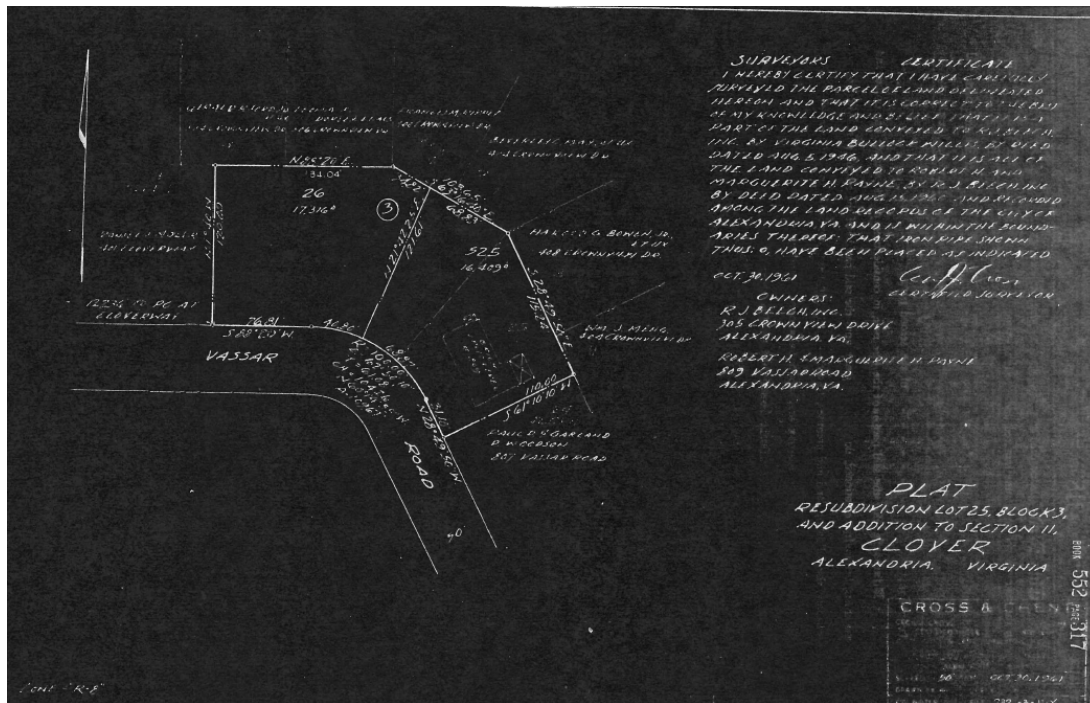


Figure 2.1: Original Subdivision (close up)

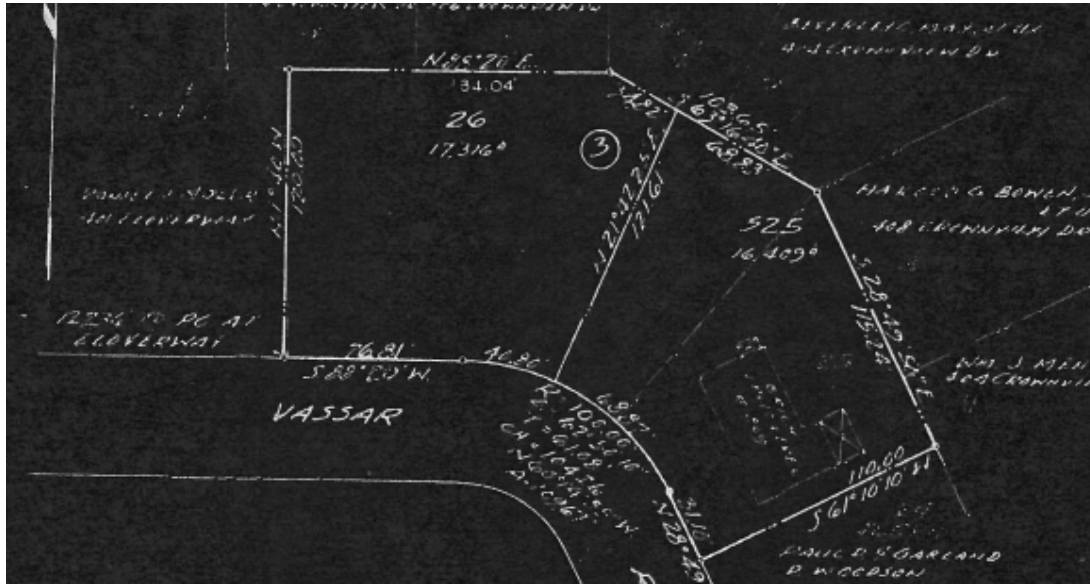


Figure 2.2: Section Plat 11, Clover

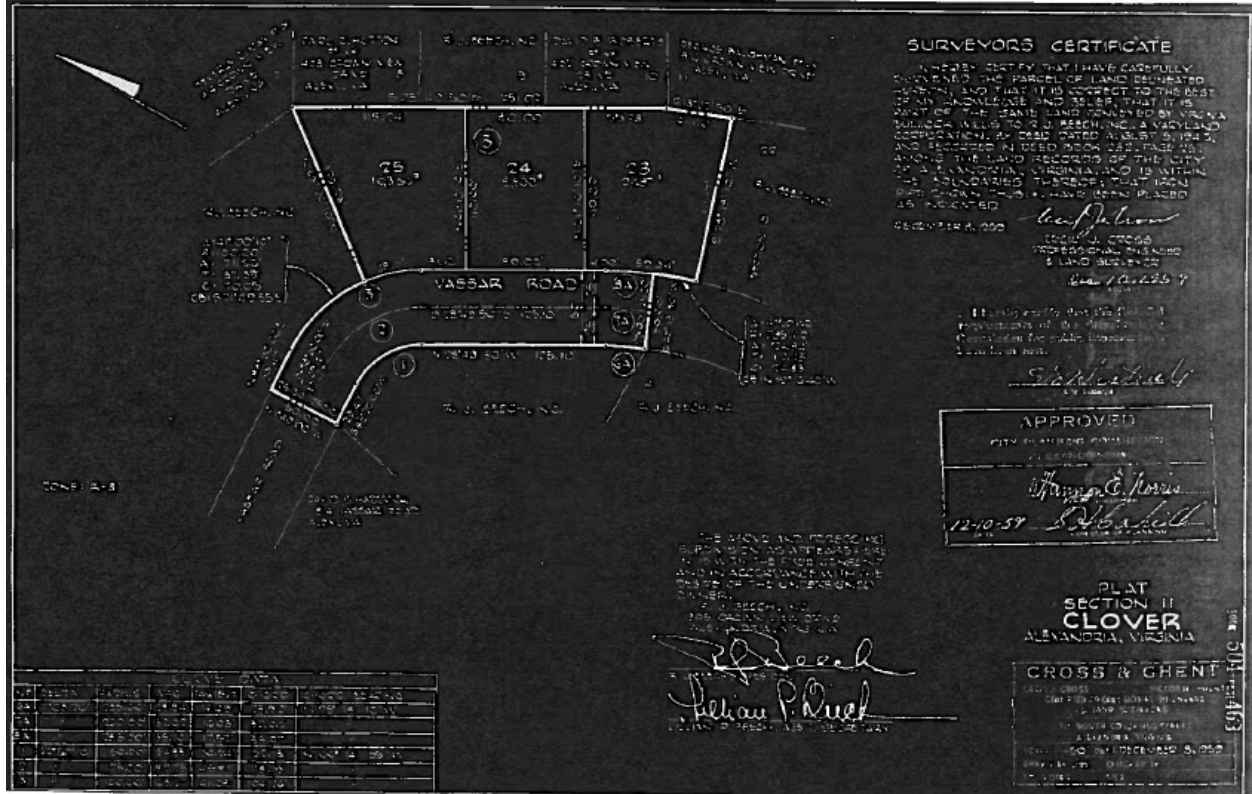
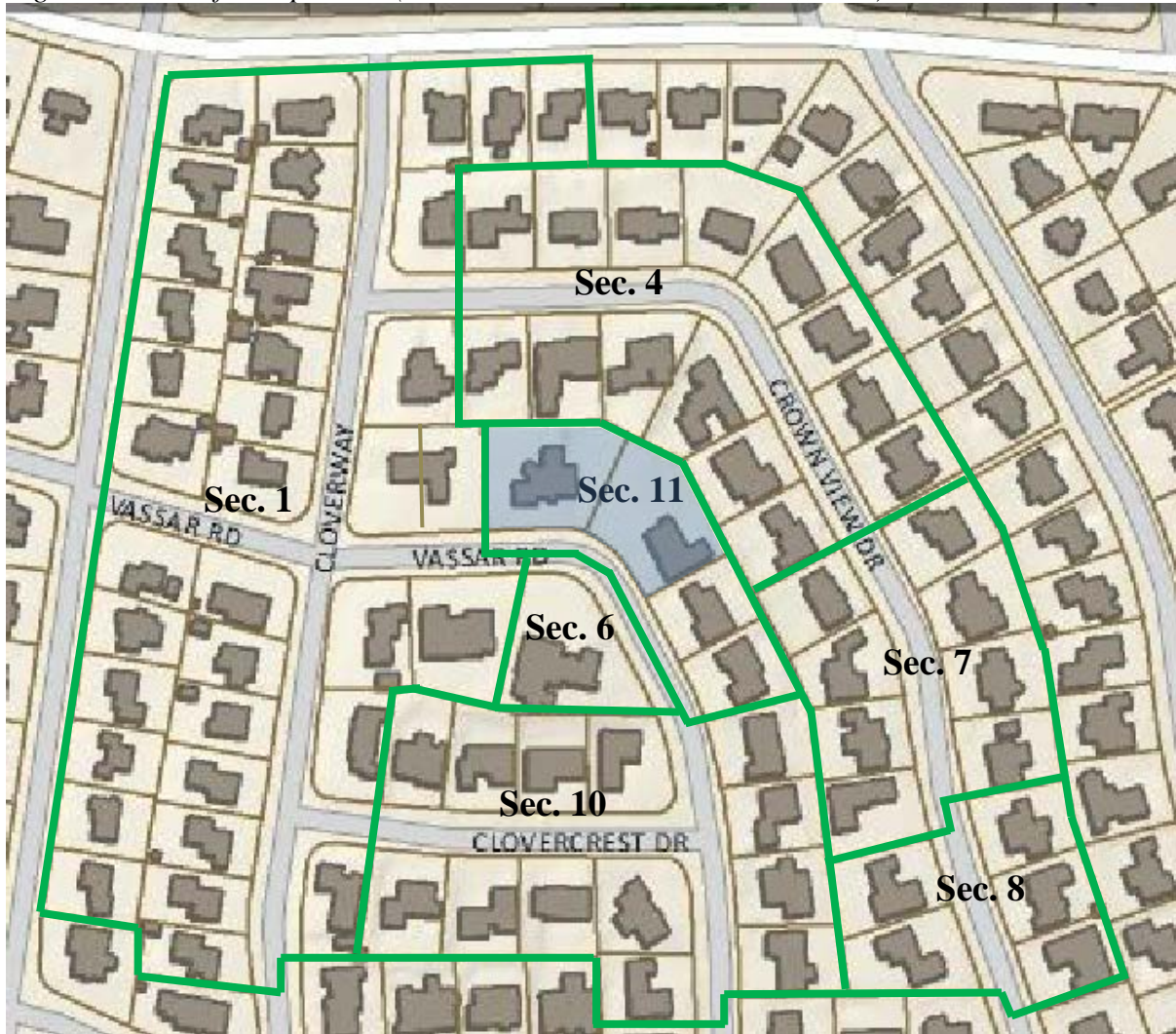


Figure 2.3: Section Plat 11, Clover (Close up)



Figure 3: Area of Comparison (Clover Sections 1, 4, 6, 7, 8, 10, & 11)



### Selection of Similarly Situated Lots

“Situating” means positioned or located.

Staff evaluated three options for selecting “similarly situated lots.” They are:

- Option 1: All of the interior lots within the area of comparison (65 lots)
- Option 2: Interior lots that have frontage only along the outside edge of Vassar and Crown View, the two similarly curved streets in the study area (25 lots)
- Option 3: Lots on the outside curve of Vassar and Crown View (2 lots). This option was requested by neighbors opposing the subdivision.

Staff is recommending Option 1 as the basis for analysis.

### Option 1: All Interior Lots

Interior lots are those that are not on corners. In previous subdivision cases, the principle of comparing corner lots to corner lots and interior lots to interior lots has been established. This evaluation considers all of the interior lots in the area of comparison to be “similarly situated” (see Figure 4). There are a number of irregular lots in the area of comparison that have wide front widths and narrow rear widths, which is the opposite configuration to the proposed lots. Inclusion of this variety of lot configurations within the selection of “similarly situated lots” reflects the fact that the neighborhood’s character includes some degree of variety in lot configuration.

Figure 4 shows the 65 similarly situated interior lots in the study area, outlined in black, and the existing lots on Crown View fronting at the sharp street curve outlined in blue (the proposed lots are outlined in green). The 65 lots range in size from 8,000 to 19,735 square feet. The majority of the lot sizes are within the range of 8,000 to 10,000 square feet.

Figure 4: Area of Comparison with Option 1 Similarly Situated Interior Lots (in black) with the Option 3 Crown View Lots (in blue) and the proposed lots (in green)

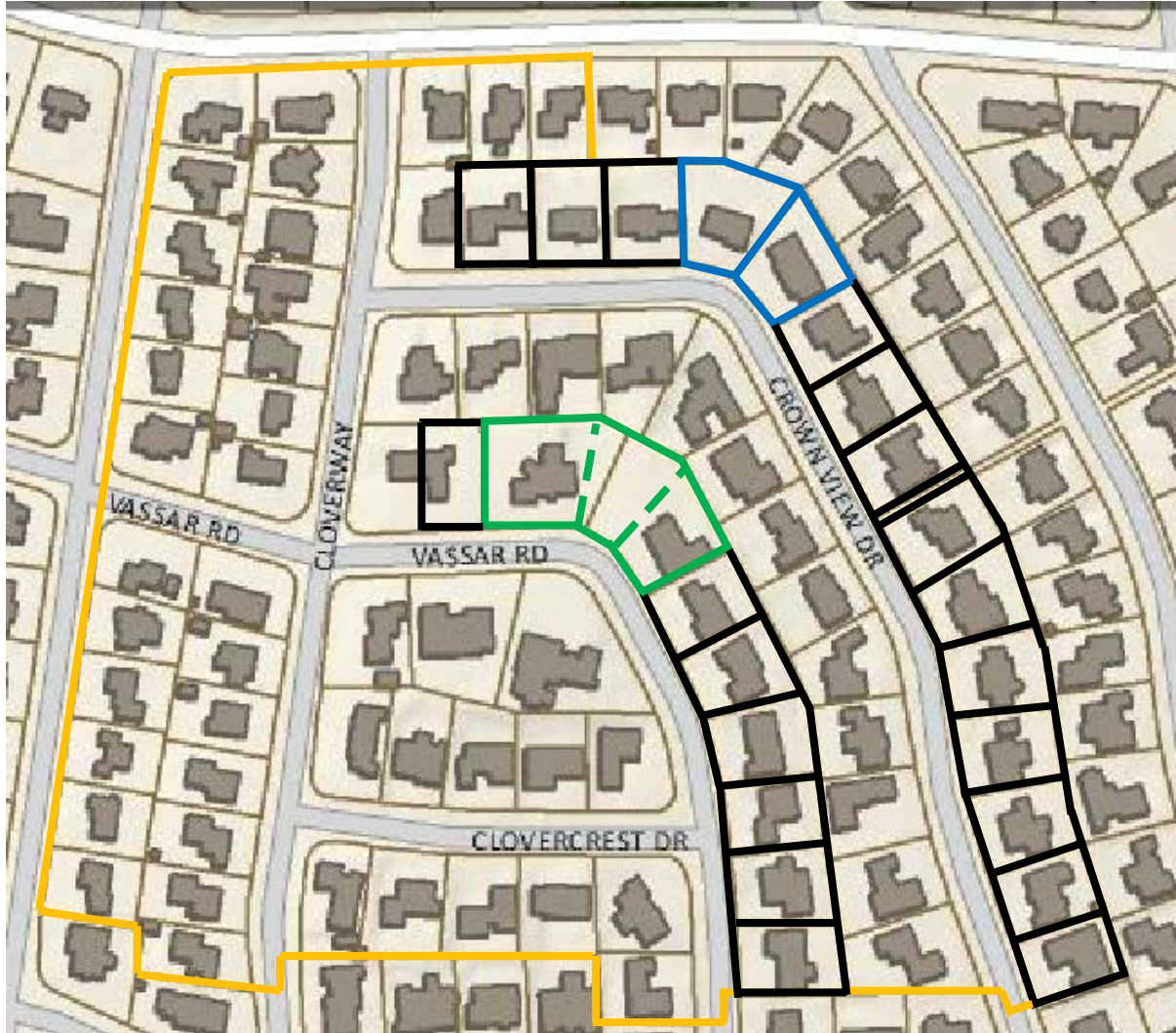


#### Option 2: Interior lots with Outside Edge Frontage

City Council instructions also stated that similarly-situated lots should be those on streets that share similar characteristics with the street where the subject properties are located, so staff also did a second analysis of interior lots that have frontage only along the outside edge of the two similarly curved streets in the study area: Crown View Drive and Vassar Place. In this analysis, there are 25 lots that have lot frontage along the outside edge of one of the curved streets as shown in Figure 4.1.



Figure 4.1: Area of Comparison with Option 2 Similarly Shaped Lots that front on the outside edge of the curve of Vassar Road and Crown View Drive (in black) with the Option 3 Crown View Lots (in blue) and the proposed lots (in green)



Option 3: Lots on the outside curve of Vassar and Crown View

Several community members requested that staff evaluate an option that includes only the two lots in the area of comparison that are most similar in *configuration* to the proposed lots. These are the lots at 415 and 501 Crown View Drive. These lots are outlined in blue in figures 4 and 4.1 above and are given particular attention in the evaluations under Options 1 and 2 above, but they are exclusively evaluated in Option 3. These two lots were among eight lots defined as ‘similarly situated’ in the original staff report presented to the Planning Commission on May 5, 2015. In the original staff report presented in May, similarly situated lots were defined as ‘pie-shaped.’ During the June 3, 2015 hearing, some Council members suggested that *more than two* lots should be evaluated in the comparison area, but noted that the comparison area should *include the two* lots being evaluated in Option 3.

When evaluating neighborhood character, staff looks at both the typical or predominant character of lots in the area of comparison, but will also look at similarly situated lots that have comparable features to those that are proposed, which may be unusual or atypical for the neighborhood as a whole. The community members who requested this analysis suggested that character-defining feature of this neighborhood is the larger properties on the curved sections of Vassar Road located at the top of one of the neighborhood's hills. These include two lots that measure 15,897 and 19,735, respectively. It also includes the property to the immediate west of the proposed lots at the corner of Clover Way and Vassar Road (401 Cloverway Drive), which is actually two lots under the same ownership with a dwelling straddling the common lot line. The interior lot of that pair measures 8,400 square feet, and the corner lot measures 9,239 square feet, and these lots could be individually developed if the existing dwelling were removed. Currently, that combined property has 17,639 square feet. These three properties are considerably larger than most of the lots in the Clover Neighborhood and in some cases are twice the size of many other neighborhood lots.

Community members also noted the importance of topography and suggested that the locations of the neighborhood at the highest elevations have more prominence in the lot character evaluation. Figure 5 shows the topography of the neighborhood. There are two areas at the highest elevation (150-160 feet). One is centered on Cloverway between Vassar and Clovercrest and includes the proposed lots, some large lots fronting on Vassar Road, and several smaller lots fronting on Cloverway Drive. The other is centered on Viewpoint Road, just to the south of the Clover neighborhood, and includes lots at the end of Vassar Place. The lots at 415 and 501 Crown View Drive are located down the hill at a lower grade than the proposed lots and have elevations ranging from 120 to around 135 feet.

Figure 5: Topography of the Clover Neighborhood. The highest areas are to the south and southwest of the proposed subdivision lots and at the southern end of Vassar Place.



### Comparison of Lots

The Zoning Ordinance includes a number of factors to consider when evaluating lot character: “Lots covered by a resubdivision shall be of substantially the same character as to suitability for residential use and structures, lot areas, orientation, street frontage, alignment to streets and

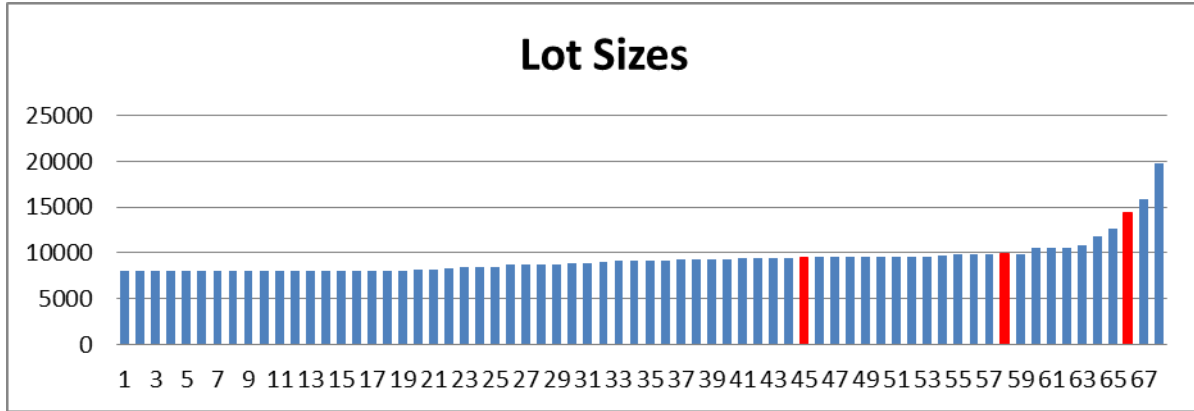
restrictions as other land within the subdivision, particularly with respect to similarly situated lots within the adjoining portions of the original subdivision.” Character defining features can be affected by area constraints such as, in this case, the sharp curve of the street, and those constraints should also be taken into consideration as part of a character analysis. In addition to the qualitative features that are important in evaluating the character, staff also evaluated three quantitative aspects of the proposed lots and the lots in the study area, based on lot standard measures in the Zoning Ordinance: area, width, and frontage. Section 11-1710(B) of the Zoning Ordinance does not include lot width in its list of evaluation criteria, but staff considers it an important indicator of suitability for residential use, and this measure provides useful information in considering proposed lot shape and configuration. A chart showing all of these lots is provided in the appendix.

### Lot Size

Proposed Lots 626, 625, and 627 would have sizes of 9,452, 9,891, and 14,352 square feet, respectively. Staff’s finding is that the proposed lots, in terms of size, are of substantially the same character as similarly situated lots.

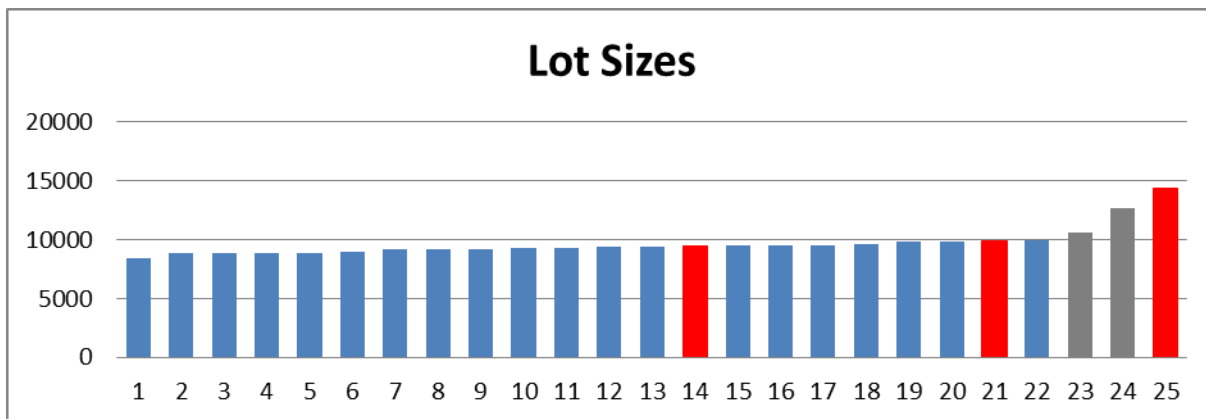
For Option 1, the mean lot size in the 65 similarly situated lots is 9,299 square feet, and the median is 9,155 square feet, meaning that all of the proposed lots are larger than the mean and median sizes for the interior lots of the study area and are well within the size range of typical lots in the study area (Figure 6).

Figure 6: Lot Size Distribution for the 65 similarly situated interior lots in Option 1 and the 3 proposed lots (proposed lots in red)



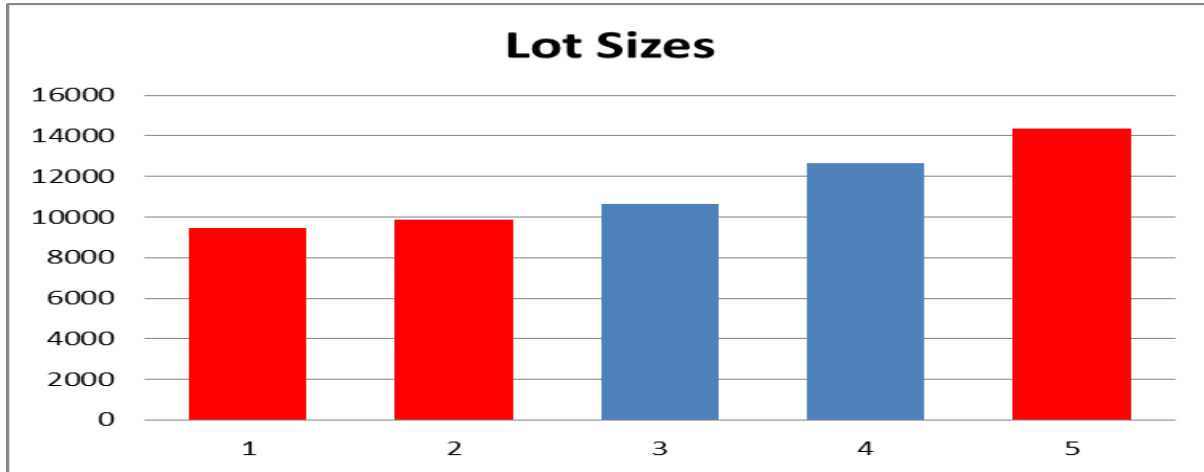
For Option 2, the mean lot size in the 25 lots that front along the outside edge of the curves of Crown View Drive and Vassar Road, excluding the two proposed lots, is 9,486 square feet, and the median is 9,378 square feet, meaning that all of the proposed lots are larger than the median size for the lots with similar street frontages to the ones that are proposed. The two Crown View Lots are shown in gray. These have 10,619 and 12,638 square feet, respectively, and they are among the largest lots in the study area, but they are also comparable in size to two of the proposed lots. The smallest of the proposed lots is very similar in size to the more typical lots in this comparison area (Figure 6.1).

Figure 6.1: Option 2: Lot Size Distribution of the 25 lots with similar street frontages and the 3 proposed lots (proposed lots in red and the two Crown View Lots in gray)



For Option 3, a comparison of the proposed three lots with the two Crown View Lots shows that the smallest of the proposed lots, with 9,452 square feet, would be 1,167 square feet, or 11 percent, smaller than the smaller of the Crown View Lots. (Figure 6.2)

Figure 6.2: Option 3: Lot Size Distribution of the Crown View Lots and the 3 proposed lots (proposed lots in red and the two Crown View Lots in blue)

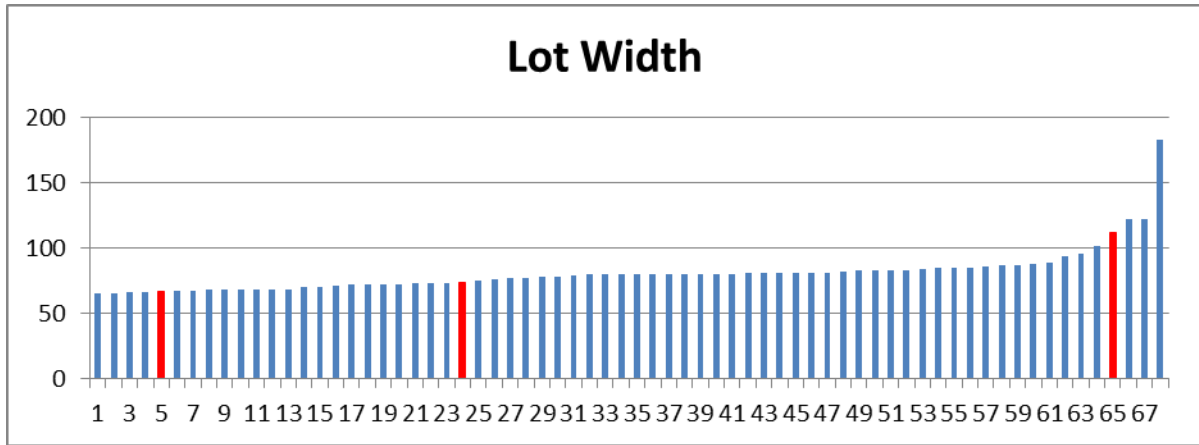


### Lot Width

Staff's finding is that the proposed lots, in terms of width, are of substantially the same character as similarly situated lots.

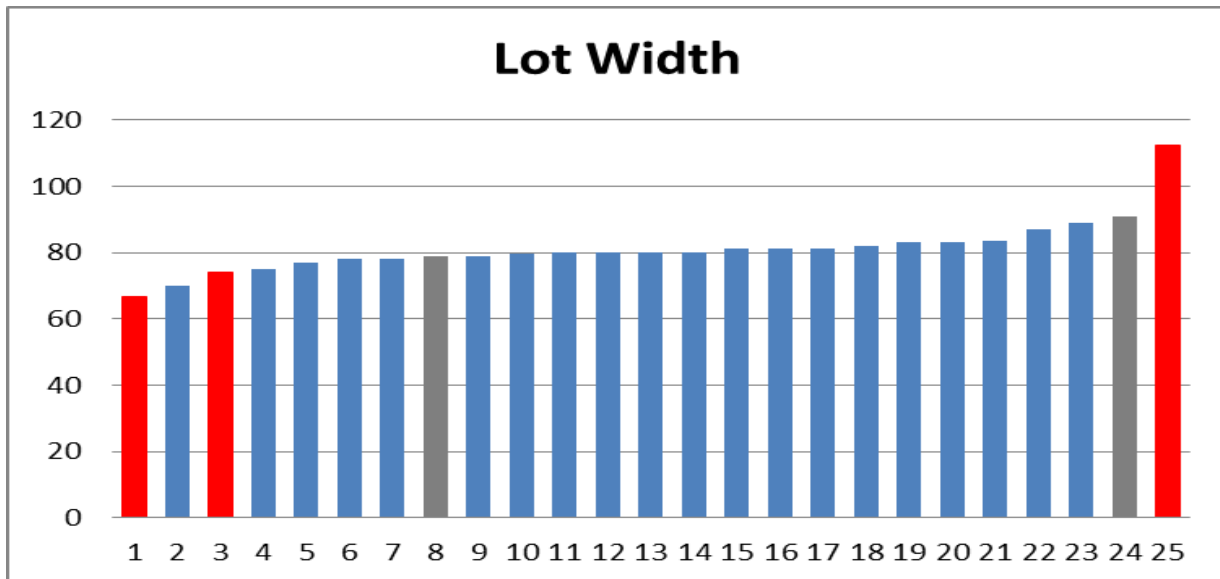
For Option 1, the lot widths for the 65 similarly situated interior lots range from 64.98 feet to 183 feet, with a mean of approximately 81 feet and a mean of approximately 80 feet. The majority of the lots are in the 65 to 85 foot range of width, as shown in the graph below (Figure 6). The proposed lots would have widths of 66.8 feet, 73.9 feet, and 112.24 feet, respectively, and the smallest lot width would be within the range of lot widths for interior lots in the study area, which would correspond with the general character of the neighborhood. This width would also be similar to the width of fourteen other lots in the area of comparison. It should be noted that lot widths are not measured at the midpoint of the lot's depth but are instead measured at the front building line, which is further forward in the lot. The consequence of this for pie-shaped lots on the outside curve of a street is that the "measured" lot width is much smaller than the average lot width. Nevertheless, staff finds that all three lots have measured widths that are acceptably within the range to be considered in character with the surrounding area and notes that their average width is greater than the measured width. As mentioned earlier, lot width is not specifically listed as a lot character measure in the Zoning Ordinance, so this measure is primarily to be used as information in evaluating the overall shape, size, and suitability of the proposed lots for residential use.

Figure 7: Option 1: Lot Width Distribution for the 65 similarly situated interior lots and the 3 proposed lots (proposed lots in red)



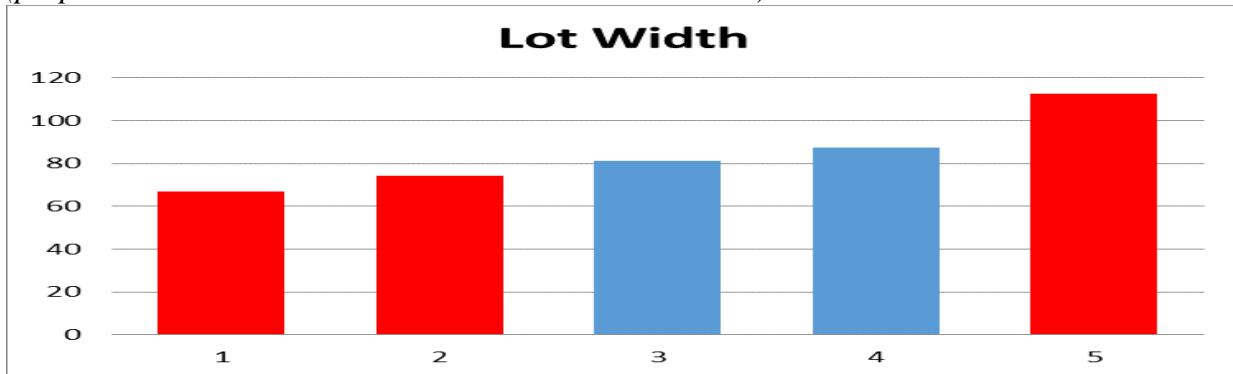
For Option 2, the mean measured lot width in the 25 lots that front along the outside edge of the curves of Crown View Drive and Vassar Road, excluding the two proposed lots, is 80.6 feet, and the median is 80.5 feet. The widths for proposed lots are 66.8 feet, 73.9 feet, and 112.24 feet, respectively. The largest of the proposed lots would actually be the widest lot in the area.

Figure 7.1: Option 2: Lot Width Distribution of the 25 lots with similar street frontages and the 3 proposed lots (proposed lots in red and the two lots at the sharpest area of the curve along Crown View Drive in gray)



For Option 3, the two Crown View Lots (Figure 6.1, shown in gray, and Figure 6.3) have measured widths of 79 feet and 91 feet, respectively, and the narrowest of the proposed lots is 66.8 feet wide. It would be 12.2 feet, or 15.4 percent, narrower than the smaller of the Crown View Lots and 24.2 feet, or 26.6 percent, narrower than the larger of the Crown View Lots. The widest of the proposed lots would be 112 feet wide, which would be 21 feet, or 23 percent, wider than the larger of the Crown View Lots.

*Figure 7.2: Option 3: Lot Width Distribution of the Crown View Lots and the 3 proposed lots (proposed lots in red and the two Crown View Lots in blue)*



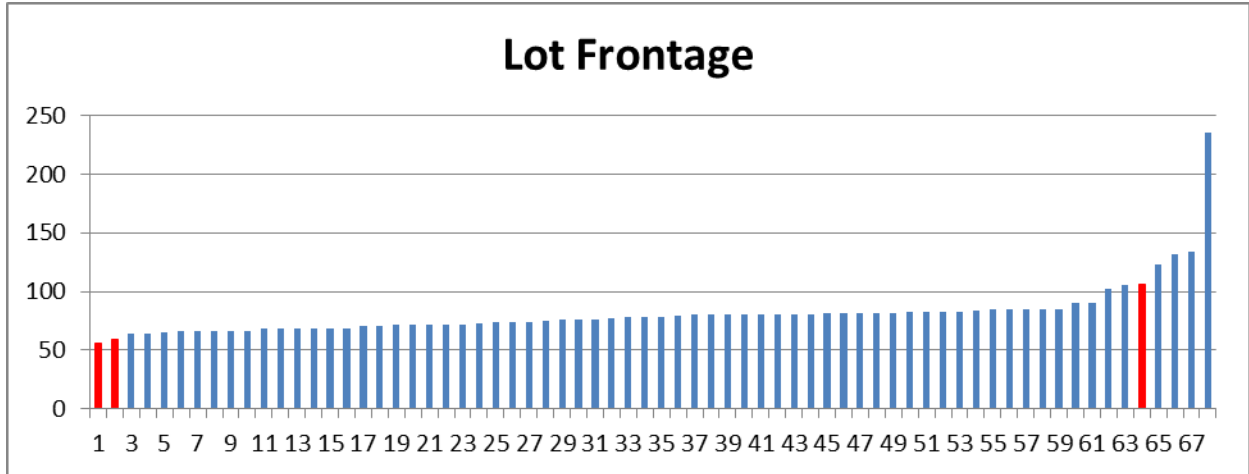
### Lot Frontage

Staff's finding is that two of the proposed lots would have smaller lot frontages than similarly situated lots. The proposed lot with the smallest lot frontage, at 55.47 feet, is more than 10 percent narrower than the narrowest existing lot the area of comparison, which is 63.58 feet. In staff's view, this alone is not sufficient to make the determination that this proposed lot is out of character with the neighborhood.

For Option 1, the lot frontages for the 65 similarly situated interior lots range from 63.58 feet to 235.97 feet, with a median of 78.53 feet and mean of 81.78 feet. The majority of the lots are in the 65 to 85 foot range of frontage, as shown in the graph below (Figure 7). The proposed lots would have frontages of 55.47 feet, 59.12 feet, and 103.98 feet, respectively, and the smallest proposed lot frontage would be 8.11 feet narrower than the range of lot widths for interior lots in the area of comparison. While this is more than ten percent narrower than the interior lot width range, this is largely because these lots, like the Crown View Lots, are positioned at a relatively sharp bend in their street. Section 11-1710 (I) of the Zoning Ordinance stipulates that, in general, side lot lines shall be at right angles to street lines. This configuration automatically ensures that lot frontages at curved streets will generally be narrower than the overall lot width and narrower than the typical, similarly sized rectangular lot found in most of the City.

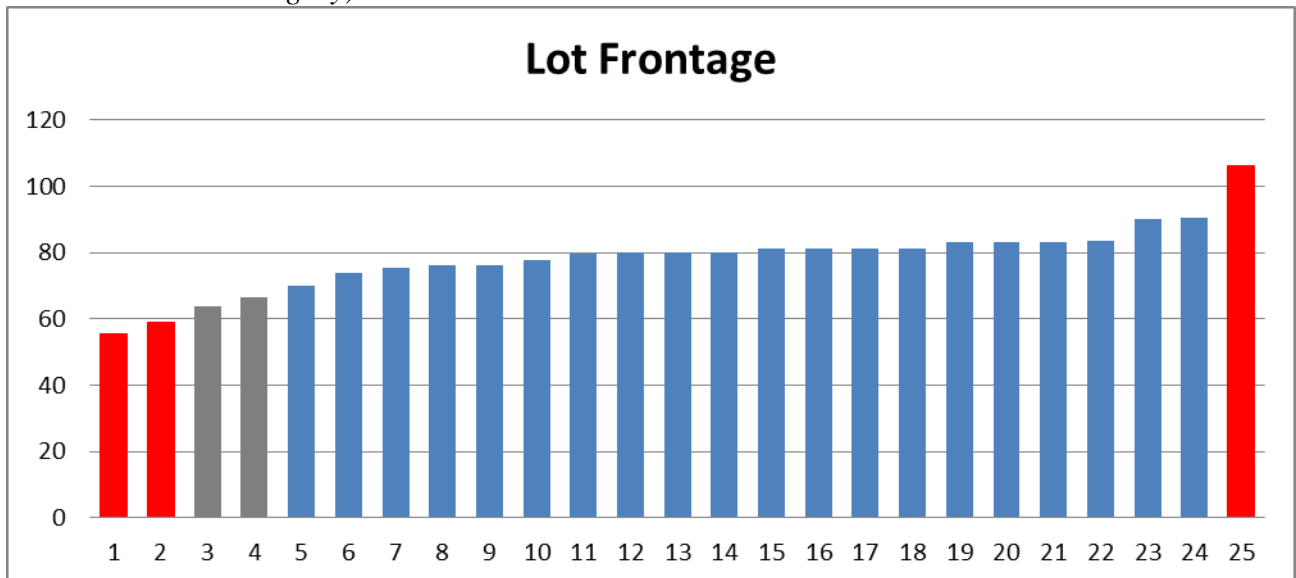


Figure 8: Option 1: Lot Frontage Distribution the 65 similarly situated interior lots and the 3 proposed lots (proposed lots in red)



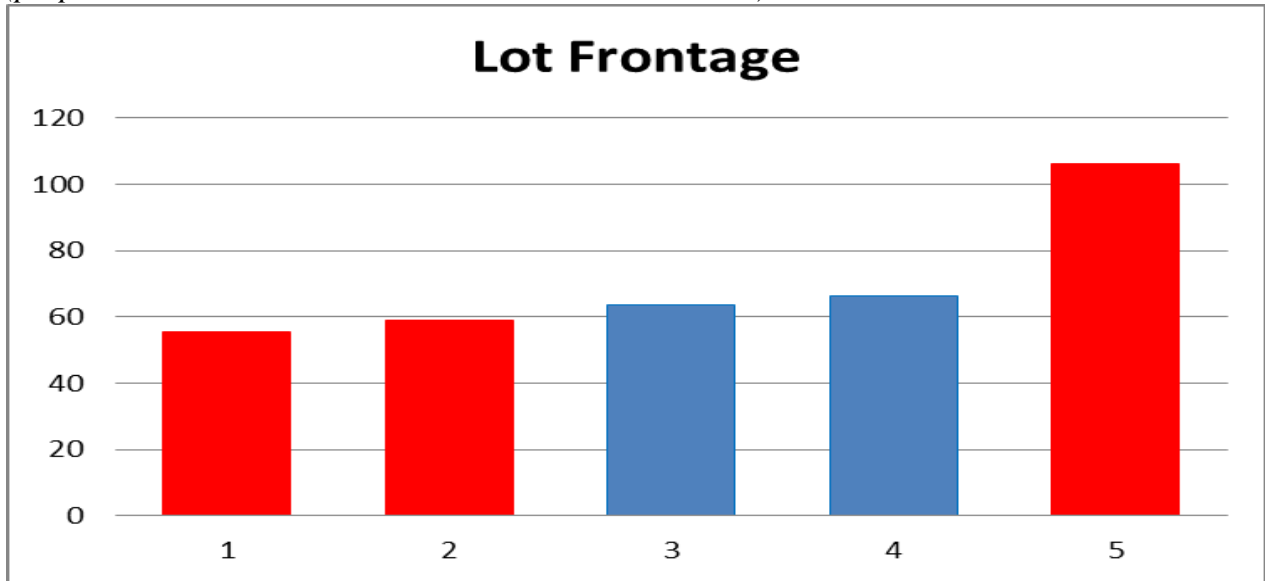
For Option 2, the mean lot frontage in the 25 lots that front along the outside edge of the curves of Crown View Drive and Vassar Road, excluding the two proposed lots, is 78.89 feet, and the median is 80 feet. The frontages of the proposed lots are 55.47 feet, 59.12 feet, and 103.98, respectively. Because of the curve of the street frontages of these proposed lots, two of the proposed lots have a narrower frontage than the range of comparable lots. The Crown View Lots are shown in gray (Figure 7.1). These have widths of 79 feet and 91 feet, respectively, and because they are among the largest lots in the study area, they have larger frontages relative to their street positioning. They, however, are close in frontage area to the narrowest of the proposed lots.

Figure 8.1: Lot Frontage Distribution of the 25 lots with similar street frontages and the 3 proposed lots (proposed lots in red and the two lots at the sharpest area of the curve along Crown View Drive in gray)



Option 3: The narrowest of the proposed lots, at 55.47 feet of frontage, would have 8.11 fewer feet of frontage, or 13 percent less frontage, than the smaller of the Crown View Lots. The smaller of the Crown View lots has a frontage of 63.58 feet and 12,638 square feet of area, so it is much larger than the typical lot in the area of comparison. Staff considers the deficiency of 8.11 feet in lot frontage as compared with the similarly situated lot at 501 Crown View Drive to be one that would not be easily perceived by the general public.

*Figure 8.2: Option 3: Lot Width Distribution of the Crown View Lots and the 3 proposed lots (proposed lots in red and the two Crown View Lots in blue)*



### Conclusion

In conclusion, staff finds that the requested subdivision is consistent with general subdivision regulations, the technical requirements of the R-8 zone, and is substantially consistent with the character of other similarly-situated lots in the area of comparison. While difficult to quantify, staff created a numerical presentation of the proposed lots' dimensions in relation to their neighbors. It finds that the proposed lot configurations are appropriate for their site and similar to their surroundings. Staff also proposes that if a dwelling is to be constructed on the proposed vacant lot, staff will ensure that neighboring residents are kept informed during the required grading plan process and given an opportunity to provide input. Subject to the conditions contained in Section III of this report, staff recommends approval of the subdivision request.

### III. RECOMMENDED CONDITIONS

Staff recommends **approval** subject to compliance with all applicable codes and ordinances and the following conditions:

1. The final subdivision plat shall comply with the requirements of Section 11-1700 of the Zoning Ordinance. (P&Z)

2. Prior to any construction on proposed lot 626, a grading plan is to be submitted and approved subject to the City's grading plan requirements.
3. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements. (T&ES)
4. Show the curb cut for the existing driveway at 809 Vassar Rd on the final plat. (T&ES)

STAFF: Alex Dambach, Division Chief, Department of Planning and Zoning

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Staff Note: This plat will expire 18 months from the date of approval (November 5, 2016) unless recorded sooner.

#### IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

##### Transportation & Environmental Services:

- F-1 The existing two subdivided lots will continue using the existing utility connections. (T&ES)
- F-2 The newly created lot shall have new utility connections and must pay sanitary sewer connection fee applicable at the time of final plan submission. (T&ES)
- R-1 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements. (T&ES)
- R-2 Show the curb cut for the existing driveway at 809 Vassar Rd on the final plat. (T&ES)
- C-1 The final subdivision plat shall comply with the provisions of Section 11-1709 of the City's Zoning Ordinance. (T&ES)
- C-2 Any future development/redevelopment on the subdivided lots shall provide adequate storm water outfall per the requirements of Article XI of Alexandria Zoning Ordinance. (T&ES)
- C-3 The development and redevelopment of the subdivided lots shall not adversely impact the storm water drainage or create a nuisance on the public and private properties. (Sec. 5-6-224) (T&ES)
- C-4 Any future development/redevelopment on the subdivided lots shall comply with the requirements of City of Alexandria Zoning Ordinance Article XIII and the applicable laws of the Commonwealth of Virginia at the time of submission of the first final plan for storm water management regarding water quality and quantity control. (T&ES)
- C-5 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)

##### Archaeology:

- F-1 This undertaking will cause no ground disturbance. No archaeological action is required.

##### Code Enforcement:

- F-1 No comments received

Health Department:

F-1 No comments

Parks and Recreation:

F-1 No comments

Police Department:

F-1 No comments

Appendix: Measurement of lots in Study Area

Number	Street	Section	Lot Size	Lot Frontage	Lot Width
306	Clover Way	1	8000	64.15	65
308	Clover Way	1	8000	66	65.78
305	Cambridge	1	8000	73.54	73.54
307	Cambridge	1	8000	73.54	73.54
311	Cambridge	1	8000	77.35	77.35
303	Cambridge	1	8001	72.76	72.76
310	Clover Way	1	8015	65.75	67
402	Clover Way	1	8024	68	68
404	Clover Way	1	8024	68	68
406	Clover Way	1	8024	68	68
408	Clover Way	1	8024	68	68
810	Janney's	1	8024	68	68
403	Cambridge	1	8053	71.9	71.9
405	Cambridge	1	8064	72	72
407	Cambridge	1	8064	72	72
409	Cambridge	1	8064	72	72
808	Janney's	1	8067	68	68
316	Crown View	7	8074	101.72	94
410	Clover Way	1	8080	75.71	75.71
304	Clover Way	1	8142	66	65.81
312	Clover Way	1	8207	65	67
309	Cambridge	1	8299	71.49	71.49
401	Clover Way	1	8400	70	70
308	Vassar	10	8400	80	80
302	Clover Way	1	8529	66	64.98
809	Clover Crest	10	8746	80	80
307	Crown View	8	8800	80	80
313	Vassar	10	8800	80	80
807	Vassar	11	8800	80	80
309	Crown View	8	8841	81.03	80
402	Crown View	7	8912	81.02	81.02
311	Vassar	10	8995	77.64	79
403	Crown View	4	9155	81	81
407	Crown View	4	9155	81	81
411	Crown View	4	9155	81	81
813	Clover Crest	10	9166	70.01	70.01

315	Vassar	10	9238	75.36	77
311	Crown View	8	9340	90	89
404	Crown View	4	9350	85	85
408	Crown View	4	9350	85	85
309	Vassar	10	9416	79.75	79.75
805	Vassar	11	9422	73.94	75
809.5	Vassar	11	9452	55.47	66.8
314	Crown View	7	9460	80.77	81
312	Crown View	7	9492	78.52	85
810	Clover Crest	10	9525	85	86
511	Crown View	4	9545	83	83
515	Crown View	4	9545	83	83
401	Crown View	7	9547	83.02	82
505	Crown View	4	9599	83.47	83.47
506	Crown View	4	9600	80	80
514	Crown View	4	9600	80	80
812	Clover Crest	10	9633	82.96	83
811	Clover Crest	10	9665	84.22	83
310	Crown View	8	9838	78.53	80
313	Crown View	7	9872	90.33	87
315	Crown View	7	9879	76	78
809	Vassar	11	9891	59.12	73.9
317	Crown View	7	9925	76	78
814	Clover Crest	10	10506	84.62	88
500	Crown View	4	10536	123.19	102
415	Crown View	4	10619	66.39	91
308	Crown View	8	10809	105.42	96
414	Crown View	4	11779	133.36	122
501	Crown View	4	12638	63.58	79
811	Vassar	11	14382	105.98	112.24
814	Vassar	1	15897	132	122
812	Vassar	6	19735	235.79	183

REVISED



APPLICATION

SUBDIVISION OF PROPERTY

SUB # 2014-0014

PROPERTY LOCATION: 811 Vassar + 809 Vassar, Alexandria 22314

TAX MAP REFERENCE: 052.03-02-19 #/052.03-02-18 ZONE: R8

APPLICANT:

Name: Mary + Steve Hales  
Address: 811 Vassar Road, Alexandria 22314

PROPERTY OWNER:

Name: Mary + Steve Hales  
Address: 811 Vassar Road, Alexandria 22314

SUBDIVISION DESCRIPTION Taking two lots (811 Vassar + 809 Vassar) + making three lots.

**THE UNDERSIGNED** hereby applies for Subdivision in accordance with the provisions of Section 11-700 of the Zoning Ordinance of the City of Alexandria, Virginia.

**THE UNDERSIGNED**, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301 (B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

**THE UNDERSIGNED** also attests that all of the information herein provided and specifically including all surveys, drawings, etc., required of the applicant are true, correct and accurate to the best of his/her knowledge and belief.

Mary + Steve Hales  
Print Name of Applicant or Agent  
811 Vassar Road  
Mailing/Street Address  
Alexandria, VA 22314  
City and State                      Zip Code

Mary Hales Steve Hales  
Signature  
703 370 2360 866 212 0034  
Telephone #                      Fax #  
steve@haleshomes.com  
Email address  
10/3/2014 (amendment to original application which went in 9/9/14)  
Date

DO NOT WRITE IN THIS SPACE - OFFICE USE ONLY  
Application Received: \_\_\_\_\_ Fee Paid and Date: \_\_\_\_\_  
ACTION - PLANNING COMMISSION: \_\_\_\_\_



Subdivision # 2014-0014

**ALL APPLICANTS MUST COMPLETE THIS FORM.**

Supplemental forms are required for child care facilities, restaurants, automobile oriented uses and freestanding signs requiring special use permit approval.

**1. The applicant is: (check one)**

the Owner  Contract Purchaser  Lessee or  Other: \_\_\_\_\_ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership in which case identify each owner of more than ten percent.

Steve and Mary Hales  
811 Vassar Rd, Alexandria VA 22314  
100% ownership of both lots as of 10/31/2014

If property owner or applicant is being represented by an authorized agent, such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

- Yes.** Provide proof of current City business license.  
 **No.** The agent shall obtain a business license prior to filing application, if required by the City Code.

**OWNERSHIP AND DISCLOSURE STATEMENT**

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
<sup>1</sup> Steve + Mary Hales	811 Vassar Rd	100 %
<sup>2</sup> Steve + Mary Hales	809 Vassar Rd	100 % as of 10/31/14
<sup>3</sup>		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 811 + 809 Vassar Rd (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
<sup>1</sup> Mary + Steve Hales	811 Vassar Rd	100 %
<sup>2</sup> Mary + Steve Hales	809 Vassar Rd	100 % as of 10/31/14
<sup>3</sup>		

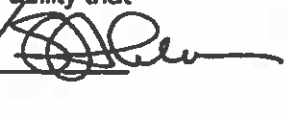
**3. Business or Financial Relationships.** Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity below and "None" in the corresponding fields)

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
<sup>1</sup> Mary Hales	none	no relationship to any aforementioned councils, commissions or boards
<sup>2</sup> Steve Hales	none	no relationship to any councils, commissions or boards
<sup>3</sup>		

**NOTE:** Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

10/3/2014      Mary + Steve Hales  
Date                      Printed Name

Mary Hales /   
Signature

**WAIVER OF RIGHT TO AUTOMATIC APPROVAL**

**SUBMITTED TO  
THE DEPARTMENT OF PLANNING AND ZONING  
CITY OF ALEXANDRIA, VIRGINIA**

**PROJECT NAME:** Proposed Subdivision of 811 & 809 Vassar Rd  
**PROJECT ADDRESS:** 811 and 809 Vassar Rd

**DESCRIPTION OF REQUEST:**  
Taking 811 & 809 Vassar Rd + turning those two  
properties into the three properties originally  
designed by the builder of the neighborhood.

**THE UNDERSIGNED** hereby waives the right to the 45 day automatic approval provision of Section 11-1708 (B)(2) of the Zoning Ordinance of the City of Alexandria, Virginia, for the application stated above.

Date: 10/3/2014

Applicant

Agent

Signature: Steve Hales / ~~Steve Hales~~ / 

Printed Name: Steve Hales / Steve Hales



**DEPARTMENT OF PLANNING AND ZONING  
FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS FOR  
SINGLE AND TWO-FAMILY RESIDENTIAL OUTSIDE HISTORIC DISTRICTS**

**A. Property Information**

A1. Street Address 809 VASSAR Zone R-8  
 A2. ~~9426~~ 9,891 x .35 = ~~3299.7~~ 3461.9  
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

**B. Existing Gross Floor Area**

Existing Gross Area *		Allowable Exclusions	
Basement	908	Basement**	908
First Floor	1030	Stairways**	148
Second Floor	1178	Mechanical**	
Third Floor	784	Porch/ Garage**	
* Porches/ Other/ATK	1277	Attic less than 6**	884
Total Gross *	5177	Total Exclusions	1940

B1. Existing Gross Floor Area \*  
5177 Sq. Ft.  
 B2. Allowable Floor Exclusions\*\*  
1940 Sq. Ft.  
 B3. Existing Floor Area minus  
 Exclusions 3237 Sq. Ft.  
 (subtract B2 from B1)

**C. Proposed Gross Floor Area (does not include existing area)**

Proposed Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Porch/ Garage**	
Porches/ Other		Attic less than 5**	
Total Gross *		Total Exclusions	

C1. Proposed Gross Floor Area \*  
 \_\_\_\_\_ Sq. Ft.  
 C2. Allowable Floor Exclusions\*\*  
 \_\_\_\_\_ Sq. Ft.  
 C3. Proposed Floor Area minus  
 Exclusions \_\_\_\_\_ Sq. Ft.  
 (subtract C2 from C1)

**D. Existing + Proposed Floor Area**

D1. Total Floor Area (add B3 and C3) 3237 Sq. Ft.  
 D2. Total Floor Area Allowed by Zone (A2) ~~3299.7~~ 3461.9 Sq. Ft.

\*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof on a lot, measured from exterior walls.

\*\*Refer to the zoning ordinance (Section 2-145(A)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas illustrated must be submitted for review. Sections may also be required for some exclusions.

**F. Open Space Calculations Required in RA & RB zones**

Existing Open Space	
Required Open Space	
Proposed Open Space	

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: [Signature] ReDoubting, Inc. Date: 2-6-15



**DEPARTMENT OF PLANNING AND ZONING  
FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS FOR  
SINGLE AND TWO-FAMILY RESIDENTIAL OUTSIDE HISTORIC DISTRICTS**

**A. Property Information**

A1. Street Address 811 VASSAR Zone R-8  
 A2. 14,382 x .35 = 5033.7  
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

**B. Existing Gross Floor Area**

Existing Gross Area *		Allowable Exclusions	
Basement	828	Basement**	828
First Floor	2592	Stairways**	105
Second Floor	1443	Mechanical**	
Third Floor / ATTIC	1443	Porch/ Garage**	
Porches/ Other		Attic less than 5***	670
<b>Total Gross *</b>	<b>6306</b>	<b>Total Exclusions</b>	<b>1603</b>

B1. Existing Gross Floor Area \*  
6306 Sq. Ft.  
 B2. Allowable Floor Exclusions\*\*  
1603 Sq. Ft.  
 B3. Existing Floor Area minus  
 Exclusions 4703 Sq. Ft.  
 (subtract B2 from B1)

**C. Proposed Gross Floor Area (does not include existing area)**

Proposed Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Porch/ Garage**	
Porches/ Other		Attic less than 5***	
<b>Total Gross *</b>		<b>Total Exclusions</b>	

C1. Proposed Gross Floor Area \*  
 \_\_\_\_\_ Sq. Ft.  
 C2. Allowable Floor Exclusions\*\*  
 \_\_\_\_\_ Sq. Ft.  
 C3. Proposed Floor Area minus  
 Exclusions \_\_\_\_\_ Sq. Ft.  
 (subtract C2 from C1)

**D. Existing + Proposed Floor Area**

D1. Total Floor Area (add B3 and C3) 4703 Sq. Ft.  
 D2. Total Floor Area Allowed by Zone (A2) 5033.7 Sq. Ft.

\*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof on a lot, measured from exterior walls.

\*\*Refer to the zoning ordinance (Section 2-145(A)) and consult with zoning staff for information regarding allowable exclusions. If taking exclusions other than basements, floor plans with excluded areas illustrated must be submitted for review. Sections may also be required for some exclusions.

**F. Open Space Calculations Required in RA & RB zones**

Existing Open Space	
Required Open Space	
Proposed Open Space	

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: [Signature] Redrafting, LLC Date: 2-6-15

**NOTES:**

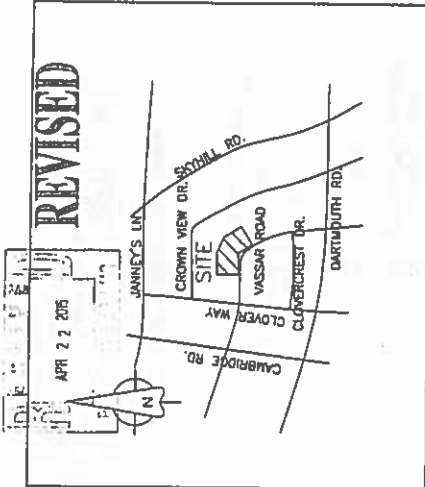
1. NO TITLE REPORT FURNISHED.
2. THE PROPERTY SHOWN HEREON IS LOCATED ON TAX MAP 052.03-02-16 & 19.
3. BOUNDARY INFORMATION SHOWN HEREON IS A COMPILATION OF DEEDS AND PLATS AND DOES NOT REPRESENT A CURRENT BOUNDARY SURVEY BY THIS FIRM.
4. THE PROPERTY SHOWN HEREON ARE ZONED R-8. MINIMUM LOT FRONTAGE = 40 FEET. MINIMUM LOT WIDTH = 65 FEET (INT.), 80 FEET (CORNER). MINIMUM LOT AREA ALLOWED = 8,000 SQUARE FEET.
5. THE SUBJECT PROPERTY APPEARS TO BE IN FLOOD ZONE "X" PER FEMA PANEL #55190037E & FEMA PANEL #5155190029E DATED JUNE 18, 2011. (USGS DATUM NAVD83)
6. CERTIFICATE OF TITLE: THE PROPERTY SHOWN HEREON IS NOW IN THE NAME OF STEPHEN OR MARY HALES, INSTR. #1100158659 (LOT 26) AND INSTR. #140015830 (LOT 525) AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.
7. PROPERTY CORNERS SHALL BE SET BY A LAND SURVEYOR LICENSED WITHIN THE COMMONWEALTH OF VIRGINIA.
8. THERE ARE NO KNOWN AREAS THAT CAN REASONABLY BE EXPECTED TO OR WHICH DO CONTAIN SOILS OR MATERIALS CONTAMINATED WITH, BUT NOT LIMITED TO HEAVY METALS, PETROLEUM PRODUCTS, PCB PESTICIDES, FLYASH, OR OTHER TOXIC OR HAZARDOUS MATERIALS ON THIS SITE.
9. THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS ON THIS SITE.
10. THIS SITE IS NOT KNOWN TO BE LOCATED WITHIN 1,000 FEET OF A FORMER SANITARY LANDFILL, DUMP, OR DISPOSAL AREA.
11. THIS SITE IS NOT KNOWN TO HAVE AREAS WITH THE POTENTIAL OF GENERATING COMBUSTIBLE GASES.
12. THERE ARE NO PROPOSED STREETS WITH THIS PLAT.
13. THIS SITE SHALL HONOR ALL NATURAL DRAINAGE DIVIDES AND SHALL SHEET FLOW TO THE PUBLIC RIGHT-OF-WAY TO THE REAR OF THE SITE. THERE IS STORM SEWER LOCATED ON-SITE WHICH OUTFALL POINT CANNOT BE DETERMINED.
14. NO TREES ARE PROPOSED TO BE REMOVED WITH THIS PLAT.
15. THIS SITE DOES NOT CONTAIN ANY RESOURCE PROTECTION AREAS (RPA'S) AS PER THE CITY OF ALEXANDRIA RESOURCE PROTECTION AREA MAP. THERE ARE NO KNOWN ON-SITE OR ADJACENT STREAMS OR RPA COMPONENTS THAT WOULD SUGGEST AN RPA EXTENDS ONTO THE SITE.
16. THERE IS NO EVIDENCE OF ANY GRAVE OR STRUCTURE MARKING A PLACE OF BURIAL ON THIS SITE.
17. THESE LOTS UTILIZE THE EXISTING SANITARY SEWER AND WATER LOCATED WITHIN THE VASSAR ROAD RIGHT-OF-WAY.

**AREA TABULATION**

EXISTING LOT AREA = 33,725 SF OR 0.7742 ACRES  
 MINIMUM LOT AREA REQUIRED (R-8) = 8,000 SF  
 EX. LOT 525 (#809) = 16,409 SF  
 EX. LOT 26 (#811) = 17,316 SF

NEW LOT 625	=	9,891 SF
NEW LOT 628	=	9,452 SF
NEW LOT 627	=	14,382 SF
<b>TOTAL</b>	=	<b>33,725 SF</b>

(THE SITE CURRENTLY CONTAINS TWO CONDOMINIUM UNITS NOT BEING TO ADD ONE ADDITIONAL BUILDING LOT FOR A TOTAL OF THREE LOTS)



VICINITY MAP  
1"=500'

**OWNER / APPLICANT**

STEPHEN OR MARY HALES  
 611 VASSAR ROAD  
 ALEXANDRIA VA 22314

<b>APPROVED</b> CITY PLANNING COMMISSION ALEXANDRIA, VA	
DATE	CHURMAN
DATE	DIRECTOR OF PLANNING
DATE	PUBLIC HEARING NOTICE APPROVED
DATE	DIRECTOR T.A.C.S.

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT I HAVE CAREFULLY SURVEYED THE PROPERTY DELINEATED BY THIS PLAT, AND THAT IS IT CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT THIS IS A SUBDIVISION OF PART (OR ALL) OF THE LAND COMVEYED BY MICHAEL G. OR SUSAN L. CRABILL TO STEPHEN AND MARY HALES BY DEED DATED 10/23/14 AND RECORDED AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA IN INSTR. #140015830 (LOT 525) & BY WILLIAM F. AND NANCY L. SMITH TO STEPHEN AND MARY HALES BY DEED DATED 09/16/11 AND RECORDED AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA IN INSTR. #1100158659 (LOT 26) AND IS WITHIN THOSE BOUNDARIES; AND THAT ALL REQUIRED MONUMENTS HAVE BEEN INSTALLED WHERE INDICATED; EXCEPT THOSE THAT MAY BE INSTALLED AT A LATER DATE BUT BEFORE COMPLETION OF THE PROJECT.



SHEET 1 OF 2  
 PRELIMINARY SUBDIVISION PLAT  
 LOTS 625, 626 & 627 OF THE RESUBDIVISION OF  
 LOTS 26 & 525 OF THE RESUBDIVISION OF  
 LOT 25, BLOCK 3  
 AND ADDITION TO SECTION 11  
 CLOVER

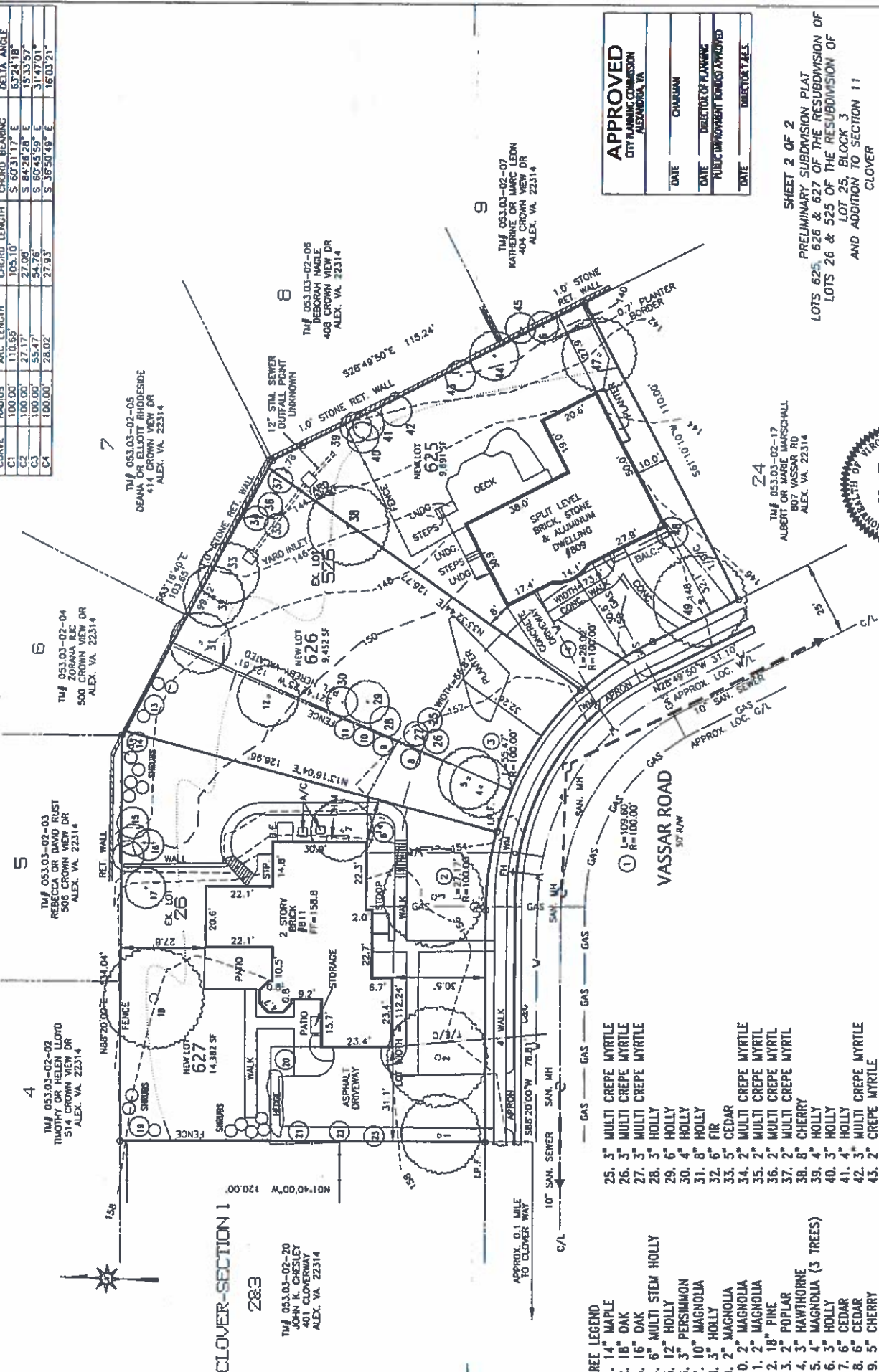
CITY OF ALEXANDRIA, VIRGINIA  
 SCALE: AS NOTED DATE: 04-06-15

ALEXANDRIA SURVEYS, LLC  
 1229 CARROLLVILLE ROAD #104, STAFFORD VA 22556  
 TEL. NO. 703-535-1313 FAX NO. 703-535-4166



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	100.00'	110.66'	105.10'	S 60°31'17" E	63°24'18"
C2	100.00'	27.17'	27.08'	S 84°28'28" E	15°33'57"
C3	100.00'	55.47'	54.76'	S 60°45'59" E	31°47'01"
C4	100.00'	28.02'	27.93'	S 36°50'49" E	16°03'21"

CLOVER-SECTION 4

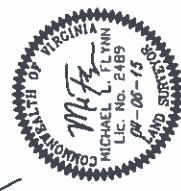


**APPROVED**  
CITY PLANNING COMMISSION  
ALEXANDRIA, VA

DATE \_\_\_\_\_ CHAIRMAN  
DATE \_\_\_\_\_ DIRECTOR OF PLANNING  
PUBLIC MEETING RECORD APPROVED  
DATE \_\_\_\_\_ DIRECTOR OF PLANNING

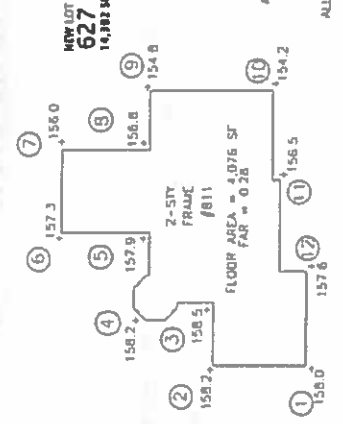
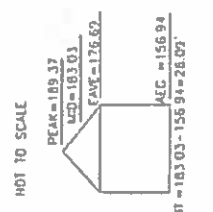
SHEET 2 OF 2  
PRELIMINARY SUBDIVISION PLAN  
LOTS 625, 626 & 627 OF THE RESUBDIVISION OF  
LOTS 26 & 525 OF BLOCK 3  
LOT 25, BLOCK 3  
AND ADDITION TO SECTION 11  
CLOVER

CITY OF ALEXANDRIA, VIRGINIA  
SCALE: 1" = 20'  
DATE: 04-06-15  
**ALEXANDRIA SURVEYS, LLC**  
1129 CARSONVILLE ROAD #109, STAFFORD VA, 22156  
TEL. NO. 703-616-1111 FAX NO. 703-616-4266

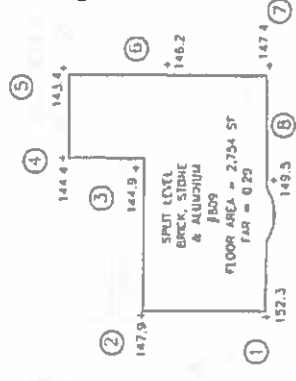
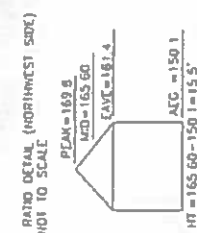


- TREE LEGEND**
- 1. 14" MAPLE
  - 2. 18" OAK
  - 3. 16" OAK
  - 4. 6" MULTI STEM HOLLY
  - 5. 12" HOLLY
  - 6. 3" PERSIMMON
  - 7. 10" MAGNOLIA
  - 8. 3" HOLLY
  - 9. 2" MAGNOLIA
  - 10. 2" MAGNOLIA
  - 11. 2" MAGNOLIA
  - 12. 18" PINE
  - 13. 2" POPLAR
  - 14. 3" HAWTHORNE
  - 15. 4" MAGNOLIA (3 TREES)
  - 16. 3" HOLLY
  - 17. 6" CEDAR
  - 18. 6" CEDAR
  - 19. 5" CHERRY
  - 20. 15" MAGNOLIA
  - 21. 2" MULTI CREPE MYRTLE
  - 22. 8" POPLAR
  - 23. 8" POPLAR
  - 24. 10" POPLAR
  - 25. 3" MULTI CREPE MYRTLE
  - 26. 3" MULTI CREPE MYRTLE
  - 27. 3" MULTI CREPE MYRTLE
  - 28. 3" HOLLY
  - 29. 6" HOLLY
  - 30. 4" HOLLY
  - 31. 8" HOLLY
  - 32. 6" FIR
  - 33. 5" CEDAR
  - 34. 2" MULTI CREPE MYRTLE
  - 35. 2" MULTI CREPE MYRTLE
  - 36. 2" MULTI CREPE MYRTLE
  - 37. 2" MULTI CREPE MYRTLE
  - 38. 8" CHERRY
  - 39. 4" HOLLY
  - 40. 3" HOLLY
  - 41. 4" HOLLY
  - 42. 3" MULTI CREPE MYRTLE
  - 43. 2" MULTI CREPE MYRTLE
  - 44. 8" HOLLY
  - 45. 6" ATLANTHUS
  - 46. 12" OAK
  - 47. 4" HOLLY
  - 48. 24" MAPLE

1	150.0
2	150.2
3	150.8
4	150.2
5	157.8
6	157.3
7	156.0
8	156.8
9	154.2
10	154.2
11	154.5
12	157.6
TOTAL	1,894.0
1,894.0 / 12	= 157.83
AVER. EX. GRADE	= 157.83



1	152.3
2	147.9
TOTAL	300.2
300.2 / 2	= 150.1
AVER. EX. GRADE	= 150.1



1	151.9
2	147.4
3	144.9
4	144.9
5	143.4
6	146.2
7	147.4
8	149.5
TOTAL	1,175.1
1,175.1 / 8	= 146.89
AVER. EX. GRADE	= 146.89

**APPROVED**  
 CITY PLANNING COMMISSION  
 ALEXANDRIA, VA

DATE: CHAIRMAN  
 DATE: DIRECTOR OF PLANNING  
 PUBLIC IMPROVEMENT BOARD APPROVED  
 DATE: DIRECTOR / A.E.S.

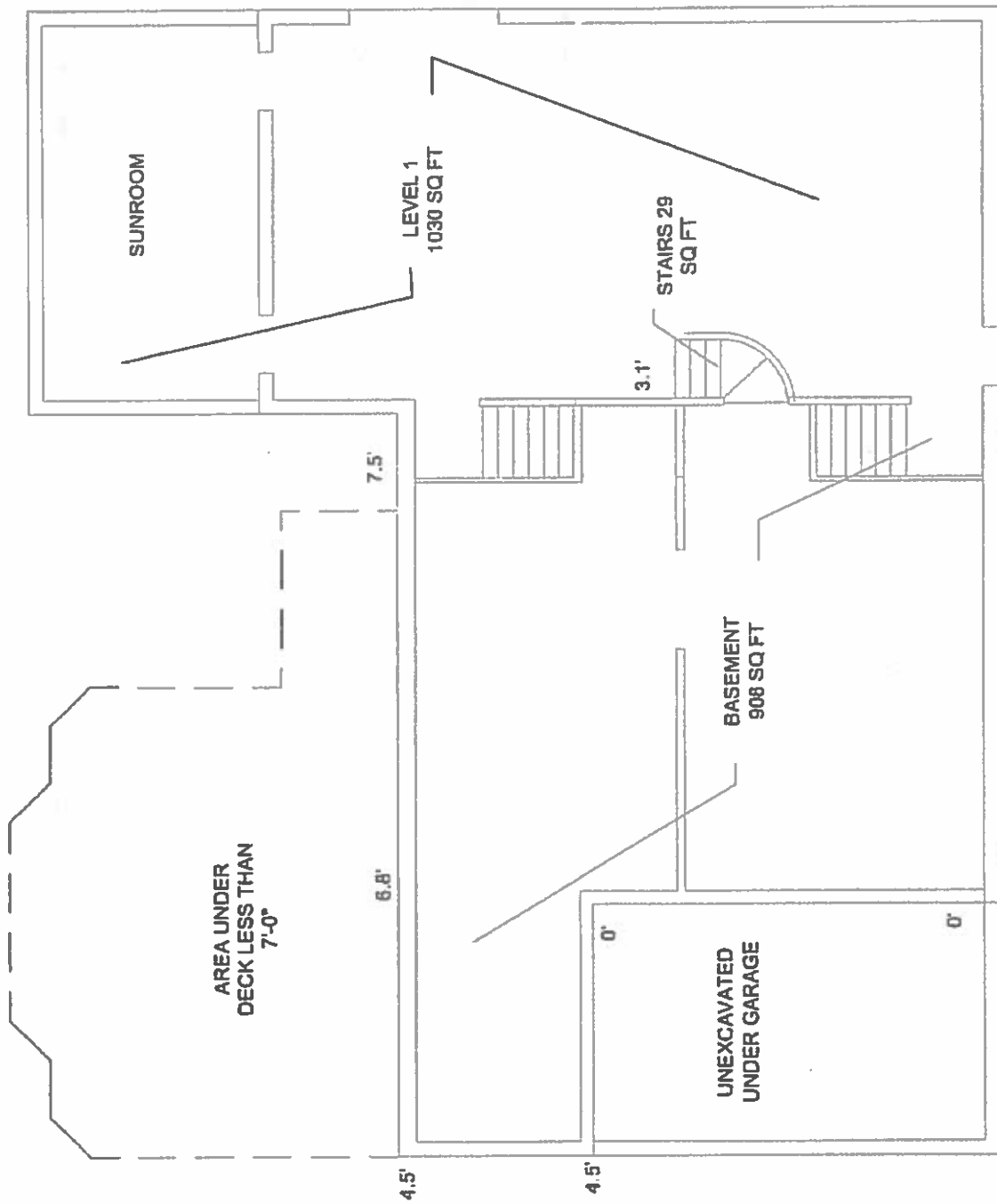
**SHEET 1 OF 1**  
 DWELLING DETAILS  
 LOTS 625, 626 & 627 OF THE RESUBDIVISION OF  
 LOTS 26 & 525 OF THE RESUBDIVISION OF  
 LOT 25, BLOCK J  
 4TH ADDITION TO SECTION 11  
 CLOVER

CITY OF ALEXANDRIA, VIRGINIA  
 DATE: 04-06-15

**ALEXANDRIA SURVEYS, LLC**  
 1179 CARROLLWOOD ROAD #104, STAFFORD VA 22155  
 TEL. NO. 703-695-1313 FAX NO. 703-695-0765



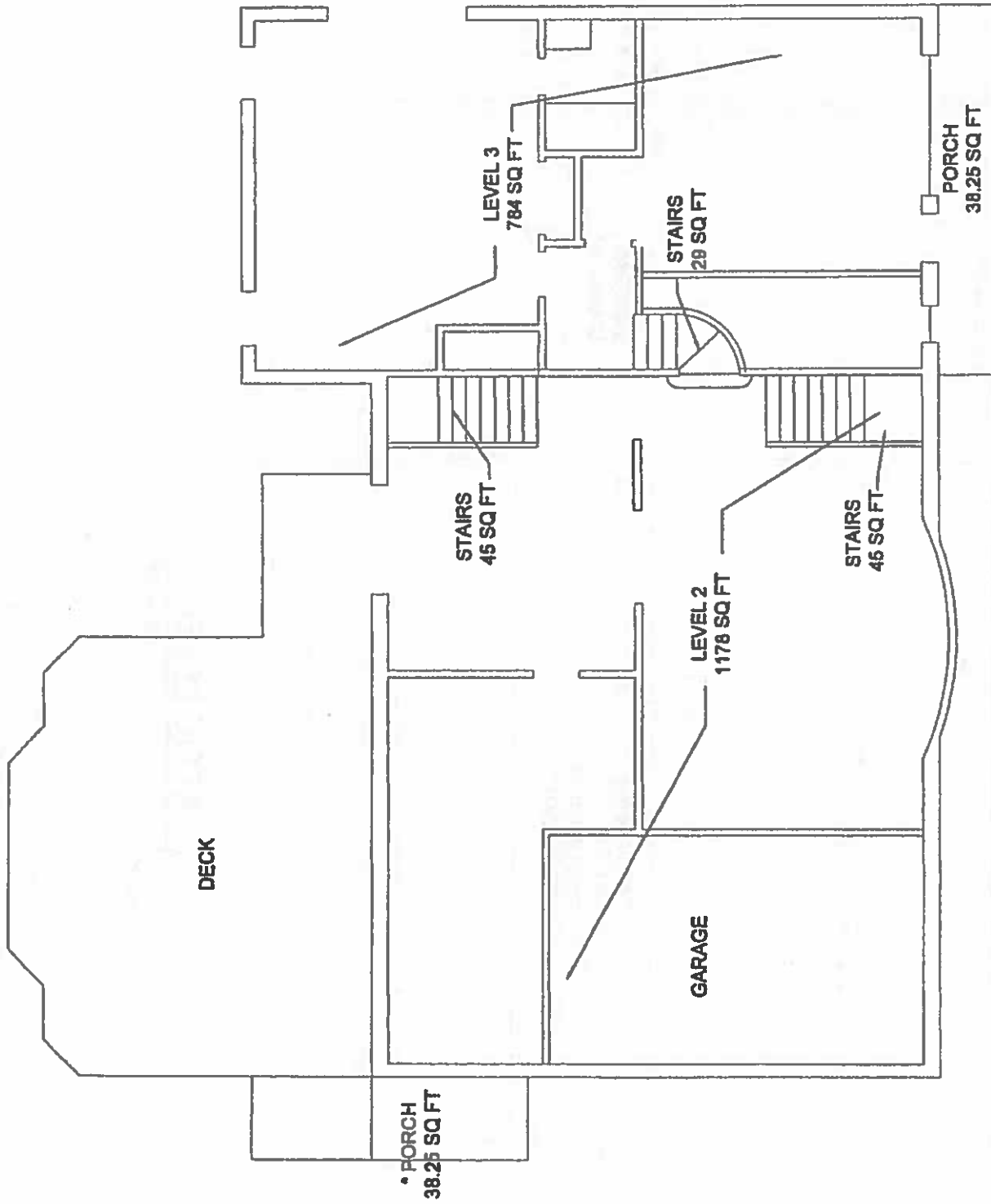




- 7.5'
- 6.8'
- 4.5'
- 4.5'
- 0.0'
- 0.0'
- 0.5'
- 3.1'
- 3.1'

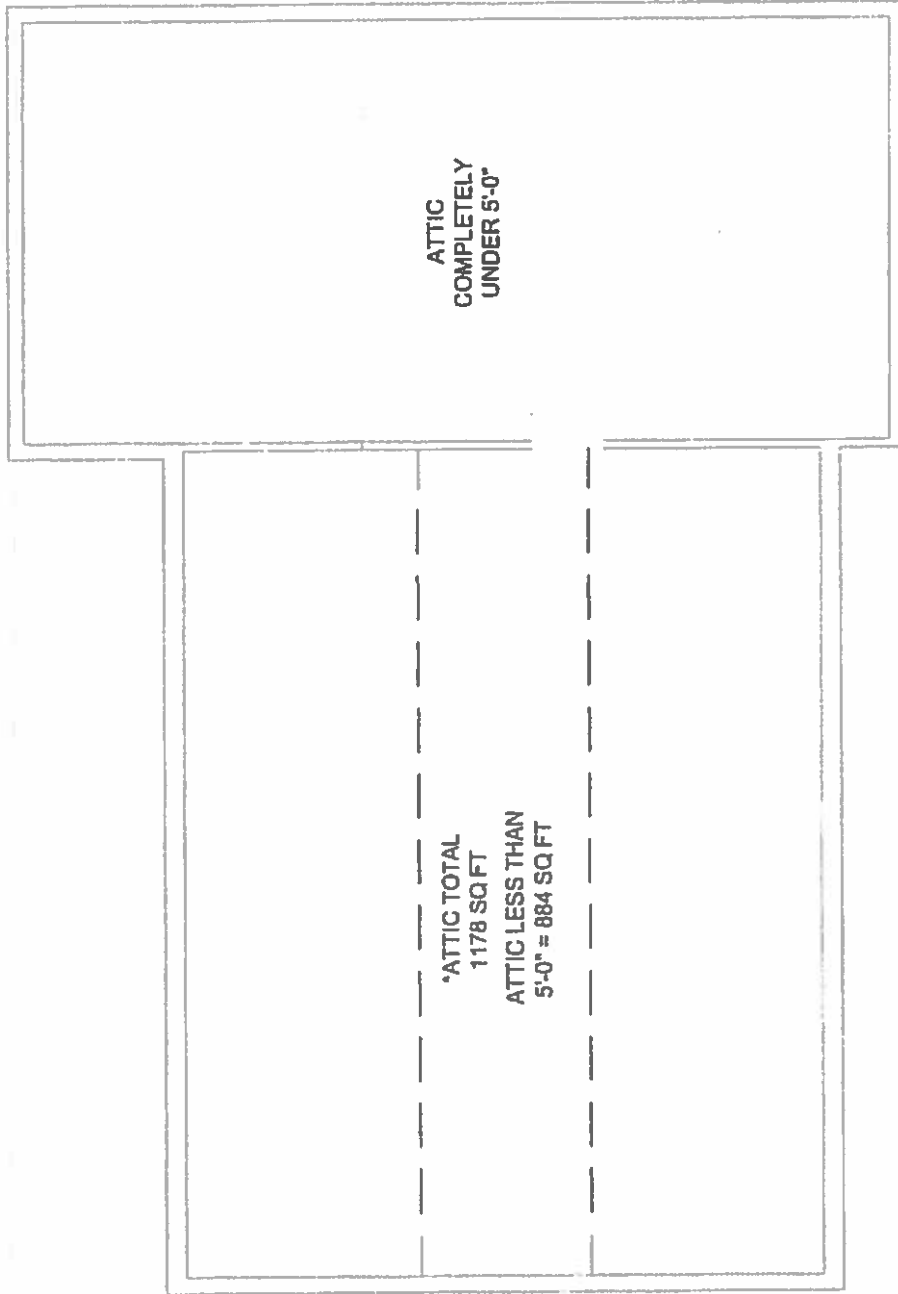
30.0' + 9 = 3.33'  
ABOVE GRADE

**BASEMENT / LEVEL 1**  
1/8" = 1'0"

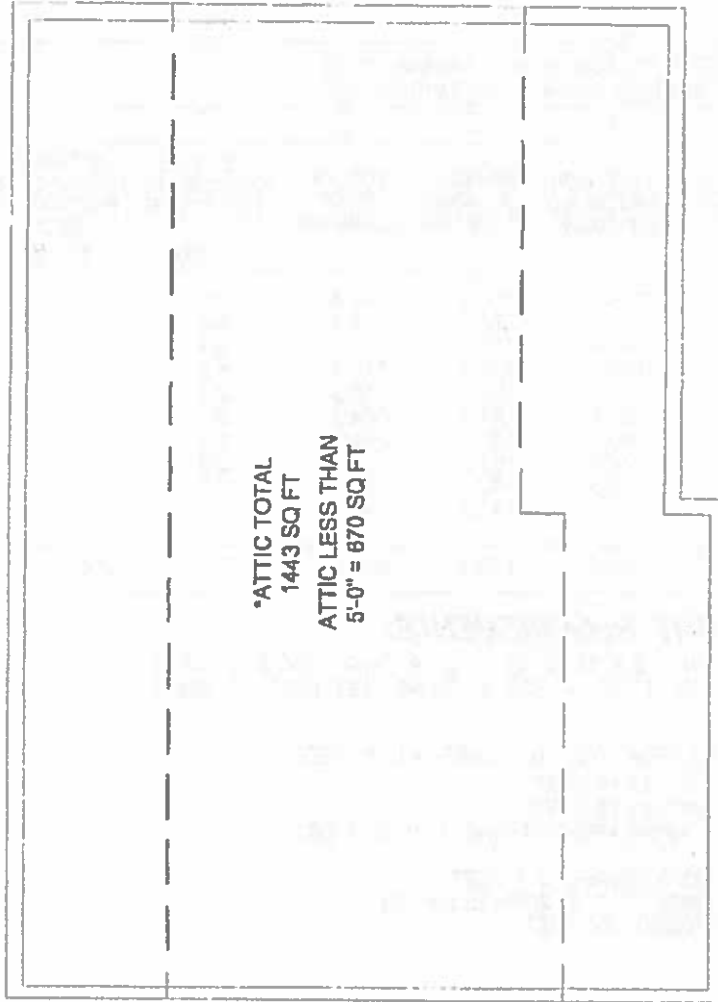


○ LEVEL 2 / LEVEL 3  
1/8" = 1'0"

809 Vassar



811 Vassar



○ ATTIC LEVEL

1/8" = 1'0"

**BLOCK STUDY** SUBJECT PROPERTY: 809 & 811 VASSAR ROAD  
 BLOCK DESCRIPTION: TBETWEEN CLOVERWAY DR AND DARTMOUTH RD

A	B	C	D	E	F	G	H	
ADDRESS	GROUND ELEVATION	1ST FLOOR THRESHOLD ELEVATION	BOTTOM OF ROOF ELEVATION	TOP OF ROOF ELEVATION	DISTANCE GROUND TO 1ST FLOOR (C-B)	DISTANCE GROUND TO BOTTOM OF ROOF (D-B)	DISTANCE GROUND TO TOP OF ROOF (E-B)	SETBACK FROM FACE OF CURB (FEET)
401 CLOVERWAY DR.	207.6	209.7	217.5	226.4	2.1			45.4
811 VASSAR RD	205.6	207.8	225.7	238.4	2.2			40.3
809 VASSAR RD	198.7	198.3	215.5	221.4	0.4			40.2
807 VASSAR RD	193.5	198.1	205.1	216.4	4.6			40.2
805 VASSAR RD	189.9	192.3	200.3	212.3	2.4			41.4
315 VASSAR RD	182.5	182.6	194.5	204.2	0.1			39.1
313 VASSAR RD	178.4	180.1	189.4	201.7	1.7			40.6
311 VASSAR RD	174.2	174.5	184.9	193.1	0.3			41.4
309 VASSAR RD	171.8	172.3	180.1	187.8	0.5			40.8
307 VASSAR RD	168.0	171.3	181.2	187.2	3.1			42.5
AVERAGE	187.0	188.7	199.4	208.9	1.7'	12.4'	21.9'	41.19'

**SETBACK & HEIGHT REQUIREMENTS:**

AVERAGE DWELLING HEIGHT:  $12.4 \text{ (AVG. G)} + 21.9 \text{ (AVG. H)} / 2 = 17.15'$   
 DWELLING HEIGHT ALLOWED:  $17.15 + 20\% = 20.58 \text{ FEET (USE 25 FEET)}$

AVERAGE FRONT SETBACK FROM FACE OF CURB: 41.19 FEET  
 FRONT SETBACK REQUIRED: 41.19 FEET  
 FRONT SETBACK PROPOSED: 41.19 FEET  
 (\*32.26' FROM PROPERTYLINE FOR NEW LOT)

AVERAGE BLOCK THRESHOLD HEIGHT: 1.7 FEET  
 THRESHOLD HEIGHT ALLOWED:  $1.7 + 20\% = 2.04 \text{ FEET}$   
 THRESHOLD HEIGHT PROPOSED: XX FEET

# FW: Thank you and request for follow up meeting

Alex Dambach

Wed 10/21/2015 8:12 PM

Inbox

To PlanComm <PlanComm@alexandriava.gov>;

📎 3 attachments (6 MB)

Geology Map and Key3.pdf; 307 Vassar Road\_Geotechnical Report.pdf; Vassar Road Slopes.pdf;

This e-mail and the attachments need to go in the packet for Vassar Road for the Planning Commission

Alex Dambach, AICP  
Division Chief – Land Use Services  
City of Alexandria  
301 King Street, Rm 2100  
Alexandria, VA 22314  
Office: 703-746-3829  
Mobile: 571-393-7339  
[alex.dambach@alexandriava.gov](mailto:alex.dambach@alexandriava.gov)  
[www.alexandriava.gov](http://www.alexandriava.gov)

---

**From:** Yon Lambert

**Sent:** Thursday, October 15, 2015 4:27 PM

**To:** don.brady06@comcast.net

**Cc:** Emily Baker; Karl Moritz; Lisa Jaatinen; plancomm@alexandriava.gov; Alex Dambach; Satya Singh; Gregg Fields; William King

**Subject:** Re: Thank you and request for follow up meeting

Dear Mr. Brady,

Thank you for meeting with my staff along with Karl Moritz and Alex Dambach with the Department of Planning and Zoning to discuss your concerns on drainage issues. I understand you are meeting with City Staff on Friday and in advance of that meeting, I wanted to follow up on three topics listed in your email which pertain to the Department of Transportation & Environmental Services.

**9. The City's Transportation and Environmental Services Department (T&ES) agreed to acquire a soil sample through a neutral third party.**

Staff has completed additional research on soils and geology map of the City of Alexandria (Attachment 1). As was discussed in the meeting, staff has obtained the geotechnical report from the Department of Code Administration for 307 Vassar Road that is currently under construction and is located in the general vicinity of the subject properties (Attachment 2). The geotechnical report referred to the geology map of Alexandria that shows the underlain soils in this general area to be Pleistocene-age Colluvium and fine-grained sediments from the Arell Formation. The geotechnical report describes the upper 1.5 ft. to about 3 ft. as topsoil and encountered below four strata to natural

origin. Stratum I included brown-red-gray, moist to saturated Clayey Gravel, Silty Gravel, and Clayey Sand with Boulders. Stratum II consisted of olive-yellow-brown-gray, moist Sandy Silt. Stratum III consisted of yellow-brown-gray-black, moist Silty Sand. Stratum IV consisted of red-yellow-brown-gray, moist Sandy Fat Clay. In one of the three Test Pit Locations static groundwater was encountered at a depth of 10'. For a detailed geotechnical and hydrogeologic analyses, please refer to the attached geotechnical report. Though geological formations are site specific, general inferences can be drawn about the type of soils that underlain the subject and neighboring properties located on Vassar Road and Crown View Drive. On the basis of my discussion with staff, I understand that staff had not agreed to acquire a soil sample or complete soil analysis or complete geotechnical and hydrogeological investigations through a neutral third party.

**10. The City's T&ES Department specifically agreed to measure in the field the gradient of the proposed new lot to get an accurate measurement.**

In accordance with the discussion in this meeting, staff has determined various slopes on the basis of the information available in GARI Maps that are reported below:

- Slope from 811 Vassar Road to 307 Vassar Road =  $(158-114) \times 100' / 1273' = 3.5\%$
- Slope from 811 Vassar Road to 809 Vassar Road (on the subject properties) =  $(158-142) \times 100' / 288' = 5.6\%$
- Slope from 811 Vassar Road to 311 Vassar Road =  $(158-122) \times 100' / 715' = 5\%$

The snapshots showing contour elevations and distances for these slopes are shown in Attachment 3 for your reference.

On the basis of the above analysis, staff concludes that the general slope of the subject and neighboring properties is in the range of 5% to 6%. Based on discussions with my staff, I understand that staff had not agreed to measure in the field the gradient of the new proposed new lot or to complete topographic survey of the subject property or neighboring properties.

**11. The City's T&ES Department agreed to find a more relevant soils map to assess the soil characteristics and erosion on the proposed new lot.**

T&ES staff completed additional investigation on soils and geology of Alexandria and provided more recent information. It is standard policy of the City of Alexandria not to accept the information provided in the generalized soils and geology maps for any construction in the city. For all new construction in the city, geotechnical and hydrogeological investigations must be completed prior to the issuance of a building permit, as is the case for 307 Vassar Road. Under certain requirements including but not limited to change in grade of more than 1' and storm water flow and direction, and disturbance of more than 2,500 square feet of land, a grading plan must be completed by a professional engineer or licensed surveyor and submitted to the Department of T&ES for approval prior to any land disturbance activities and issuance of a building permit.

Please also find attached the updated Soils Policy Manual that was provided to Dr. Singh by the Department of Code Administration.

If you have additional questions, please feel free to contact me or Dr. Singh, Civil Engineer IV, T&ES' Infrastructure/Right of Way Division, at 703.746.4062 or [satya.singh@alexandriava.gov](mailto:satya.singh@alexandriava.gov)

Sincerely,  
Yon

Yon Lambert, AICP







# Piedmont Geotechnical, Inc.

14735 Wrights Lane • Waterford, Virginia 20197-1601  
540-882-9350 • FAX 540-882-3629

June 22, 2013

Soil Tech, Inc.  
Attn: Mr. Jeff Sledjeski  
14630-F Flint Lee Road  
Chantilly, Virginia 20151-1517

Re: Subsurface Exploration and  
Geotechnical Engineering Review

~~307 Vassar Road~~

Alexandria, Virginia  
PGI No. 1539VA

BD2013-02738

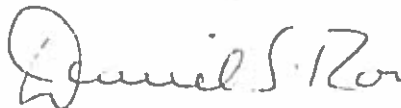
Dear Mr. Sledjeski:

Piedmont Geotechnical, Inc., has completed the authorized geotechnical engineering review for a proposed new residential structure. The work was performed in accordance with the City of Alexandria Soils Manual requirements. Our report describes the exploration methods employed, exhibits the data obtained, and presents our evaluation and recommendations. In summary, it is our judgement that the site is suitable for construction of the proposed residence using conventional spread footing foundations as described herein.

We have appreciated this opportunity to be of service to you, and look forward to providing additional services as required. Should you have any questions regarding the content of this report, please contact the undersigned.

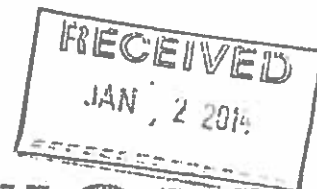
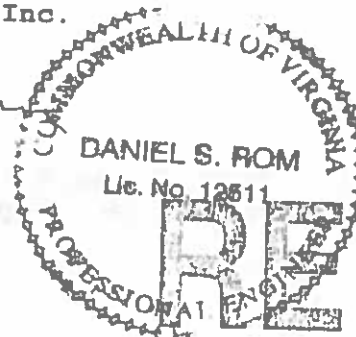
Sincerely,

Piedmont Geotechnical, Inc.



Daniel S. Rom, P.E.  
Vice President

DSR/jbp



# REVISION

Geotechnical and Geo-Environmental Consulting

Virginia, Maryland, District of Columbia, West Virginia, New Jersey,  
North Carolina, Pennsylvania, Delaware, US Virgin Islands

**SUBSURFACE EXPLORATION  
AND  
GEOTECHNICAL ENGINEERING EVALUATION**

**PROPOSED RESIDENCE  
307 VASSAR ROAD  
ALEXANDRIA, VIRGINIA**

**PREPARED FOR SOIL TECH, INC.**

**June 22, 2013  
PGI Project No. 1539VA**

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GENERAL SUBSURFACE CONDITIONS	2
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PROPOSED RESIDENCE  
307 VASSAR ROAD  
ALEXANDRIA, VIRGINIA  
PGI NO. 1539VA

PURPOSE AND SCOPE

This report presents our geotechnical engineering evaluation of the subsurface exploration program for a proposed residential structure. A limited evaluation of the site with respect to potential construction problems, along with construction monitoring recommendations is included. The monitoring is necessary both to confirm the subsurface conditions and to verify that the soils-related construction phases are performed properly.

PROPOSED CONSTRUCTION

Proposed for construction is a new single-family residence which will have a ground-supported basement floor slab at elevation 111.0. The site plan shows a structure with a square footprint.

The building will be wood-framed with siding or masonry veneer. Given the existing grades, about 5 feet of excavation is expected to be required. Maximum structural loads of 3 kips per lineal foot for walls and 30 kips maximum for columns are estimated. The existing concrete deck and pool in the rear will be retained. No unusual loading conditions or settlement-sensitive components were specified.

EXISTING SITE CONDITIONS

The site is currently occupied by a single-story brick-frame residence over a crawl space. The structure was built in 1964, according to county records. The area surrounding the property is residential.

According to the site plan, grades ranged in elevation from 120+ in the northwest to 110+ in the southeast. The site drainage is southeasterly. Details of the subsurface conditions encountered in the test pits are shown on the test pit logs located in the Appendix. The general subsurface conditions encountered and pertinent characteristics are described in the following sections.

307 Vassar Road  
Alexandria, Virginia  
June 22, 2013

1

Piedmont Geotechnical, Inc.  
14735 Wrights Lane  
Waterford, Virginia 20197

## FIELD EXPLORATION AND STUDY

In order to examine the nature of the subsurface conditions at the site, three test pits were excavated at the locations shown on the Test Pit Location Plan. Test locations were established by taping from identifiable surface features, and the test pit depths were controlled by subsurface conditions and the field test methods utilized. References to approximate elevations are based on the Test Pit Location Plan.

The test pits were made on June 11, 2013, utilizing a backhoe. The test pits were made to depths of 10 feet to 12 feet below existing grade levels. Soil sampling operations were conducted in accordance with ASTM Specification D-1452. At regular intervals, the soil consistency or relative density was tested in accordance with ASTM STP 399, *Dynamic Cone for Shallow In-Situ Penetration Testing* (Sowers and Hedges, 1966).

Samples of the subsurface soils were examined by the soil scientist and were visually classified in accordance with the Unified Soil Classification System and ASTM Specification D-2488. The estimated Unified symbols appear on the boring logs.

## LABORATORY TESTING

Laboratory testing included gradation analyses, Atterberg Limits, and natural moisture content of selected samples. The tests were performed to aid in the visual classification of the soil samples, to establish strength parameters for evaluation of allowable soil bearing, to estimate settlement characteristics for the soil.

## GENERAL SUBSURFACE CONDITIONS

Geologically, the site is within the Atlantic Coastal Plain Physiographic Province. The coastal plain deposits include layered and interbedded clay, silt, sand, and gravel. The Geologic Map of Alexandria shows the site to be underlain with Pleistocene-age Colluvium and fine-grained sediments from the Arell Formation.

307 Vassar Road  
Alexandria, Virginia  
June 22, 2013

2

Piedmont Geotechnical, Inc.  
14735 Wrights Lane  
Waterford, Virginia 20197

The uppermost 1.5 feet to 3 feet of soil consisted of topsoil and disturbed fill. The actual fill depth may vary across the site. Below the disturbed uppermost soils, the test pits encountered four strata of natural origin. The strata are briefly described below:

STRATUM I - included brown-red-gray, moist to saturated Clayey GRAVEL (GC), Silty GRAVEL (GM), and Clayey SAND with Boulders (SC). The relative density of Stratum I ranged from loose to dense based on ease of excavation and dynamic cone penetrometer (DCP) penetration resistance values ranging from 3 to 28 blows per increment. The stratum thickness ranged from 8 feet to 11+ feet, and was absent in TP-3. In TP-1, the uppermost soils appeared to have been disturbed.

STRATUM II - consisted of olive-yellow-brown-gray, moist Sandy SILT (ML). Stratum II was encountered between depths of 1.5 feet and 8 feet in TP-3 only. Based on penetration resistance values of 8 to 16 blows per increment, the Stratum II SILT was of a medium dense relative density.

STRATUM III - consisted of yellow-brown-gray-black, moist Silty SAND (SM). Stratum III was found in TP-3, from a depth of 8 feet to 10+ feet. Based on penetration test values of 6 to 12 blows per increment, Stratum III was of a medium dense relative density.

STRATUM IV - consisted of red-yellow-brown-gray, moist Sandy Fat CLAY (CH). Stratum IV was found in TP-2, from a depth of 8 feet to 12+ feet. Based on penetration resistance values of 8 to 16 blows per increment, the Stratum IV Fat CLAY was of a very stiff consistency.

Hydrostatic groundwater was encountered only in TP-1, at a depth of 10 feet. Seasonal influences such as precipitation, surface runoff, evaporation, and other factors will influence the groundwater level. In order to better define long-term water levels, it would be necessary to monitor conditions over an extended period of time.

307 Vassar Road  
Alexandria, Virginia  
June 22, 2013

3

Piedmont Geotechnical, Inc.  
14735 Wrights Lane  
Waterford, Virginia 20197

## RECOMMENDATIONS

The following recommendations are based on our understanding of the proposed construction, the data obtained from the test pits and laboratory tests, and our previous experience with similar subsurface conditions and projects. If there are any significant changes to the project characteristics, such as revised building geometry, structural loads, floor elevations, etc., we request that this office be advised so that the recommendations of this report can be re-evaluated.

### A. Site Preparation

Prior to the construction of foundations or floor slabs, or the placement of fill in any structural areas, all existing organic materials, topsoil, frozen or wet, excessively soft or loose soils, and other deleterious materials should be removed and wasted. Abandoned building elements and utilities should be thoroughly removed.

After the stripping operations have been completed, subgrades should be proofrolled utilizing a loaded dump truck or another pneumatic-tired vehicle of similar size and weight. The purpose of the proofrolling would be to provide surficial densification and to locate any isolated areas of soft or loose soils requiring improvement or replacement. Proofrolling should not be attempted during and following wet weather conditions or if shallow perched groundwater conditions are present.

Care should be exercised during the grading operations. Due to the nature of the soils, the traffic of heavy equipment will create pumping and a general deterioration of those soils. Therefore, the grading must be carried out during dry weather. This should minimize subgrade instability problems, although they may not be eliminated. If subgrade instability problems arise, the geotechnical engineer should be consulted for an evaluation. Over-excavated areas resulting from the removal of uncontrolled fill, organic matter, abandoned utilities, or otherwise unsuitable materials should be backfilled with properly compacted materials in accordance with the procedures which follow.



## B. Structural Fill Selection, Placement, and Compaction

All materials to be used as fill should be tested and approved by the geotechnical engineer prior to use. Natural soils within  $\pm 2$  percentage points of the optimum moisture content (ASTM D-698) may be used as structural fill provided that they are of classification ML or better (more granular), and have a liquid limit less than 40 and a plasticity index less than 15. Some of the on-site soil will fail to meet these criteria.

Structural fill should be placed in lifts which are 8 inches or less in loose thickness and should be compacted to at least 95 percent of the Standard Proctor maximum dry density (ASTM D-698). Adjustments to the natural moisture content of the soils will generally be required in order to obtain specified compaction levels. Should utility construction be performed after initial earthwork operations, the contractor should be responsible for achieving 95 percent compaction in all trench backfill. Fill should not be placed over frozen surfaces and should not contain frozen materials. During grading operations in winter months and periods of freezing weather, the contractor should remove and waste all frozen surfaces in the work area from cut and fill sections.

The fine-grained soils of the region are only marginally satisfactory for re-use as fill, and during favorable weather conditions only. Granular soils which are free of deleterious matter are generally satisfactory for re-use. Adjustments to the natural moisture content of proposed fill soils will generally be required in order to obtain the specified compaction levels. The local soils will not aerate satisfactorily in the late fall, winter, and early spring. Therefore, the soils cannot be reused easily as structural fill at those times of the year.

For proofrolling and fill compaction operations, fill limits should be extended at least ten feet beyond building exterior walls. A sufficient number of in-place density tests should be performed by an engineering technician to verify that the proper degree of compaction is being obtained on all fill soils. All

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Alexandria, Virginia  
June 22, 2013

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Waterford, Virginia 20197

lifts shall be tested, and a minimum of one test per 2500 square feet is recommended.

Care should be taken to protect exposed subgrade materials. When exposed soils become wet or soft, extensive use of high-quality granular fill (borrow) will be required.

Fill soils which are placed and compacted excessively dry of optimum moisture content can collapse on wetting. Silt soils and coarse-grained soils with silt and/or clay binder may be susceptible to such collapse. For this reason, the geotechnical engineer should confirm during construction that all fills are compacted with sufficient moisture such that conditions favorable to collapse are not created. The engineer should routinely review the soil compaction records and verify that Proctor test methods and correction factors on density tests, if used, are appropriate.

### C. Building Foundations

The building foundation recommendations which follow are based on the structural loads and floor elevation stated in this report. Given current and proposed grades, the soil conditions encountered, and the structural loads, we recommend that structural elements be supported on conventional spread footing foundations. The spread footings may bear on firm, natural soils, on new structural fill, or on a combination thereof. Provided that our recommendations are followed, footings can be proportioned for an allowable soil bearing pressure of 2500 psf.

For footings which bear on new structural fill, it is recommended that the fill extend laterally 9 inches for each 12 inches of fill depth below footing level. Minimum dimensions of 24 inches for square footings and 18 inches for continuous or rectangular footings should be used in foundation design to minimize the possibility of a local shear failure.

All foundation excavations should be observed by the geotechnical engineer or his representative prior to the placement of concrete. The purpose of the observation would be to verify that the exposed bearing materials are suitable for the design soil bearing pressure and that loose, wet, frozen, or compressible soils are not present. If Elastic SILT (MH) or Fat

CLAY (CH) soils are encountered in building foundation subgrades, footings must be constructed such that there is a minimum of four feet of cover.

Exterior footings and footings in unheated areas should be located at a depth of at least 30 inches below the outside final exterior grade to provide adequate frost cover protection. If the structure will be constructed during the winter, or if it will be subjected to freezing temperatures after footing construction, then subgrade protection must be provided during freezing periods.

Soils exposed at the bases of all satisfactory foundation excavations should be protected against any detrimental change in condition such as disturbance from rain or frost. Surface runoff should be drained away from the excavations without ponding.

#### **D. Ground-Supported Slabs**

The floor slab may be supported on structural fill soils or on naturally occurring soil, after proofrolling, provided all deleterious materials are first removed from below. Up to two feet of stripping will be required if Fat CLAY (CH) or Elastic SILT (MH) soils are encountered at the slab subgrade level.

A minimum of 4 inches of open-graded gravel (crushed gravel with maximum sizes of 3/4 inch to one inch) should be placed on the prepared building subgrade prior to floor slab construction. A suitable vapor barrier material should be installed over the gravel prior to placing the concrete floor.

Even when ground-slab construction is completed within the warm months of the year, exposure of the slab to freezing temperatures can result in frost heave damage. To reduce the likelihood of frost heave beneath installed ground-supported-slabs, we recommend that all footing excavations and unpoured diamond leaveouts within the slab area be pumped dry to minimize water flow into the subbase, and all joints in the slab or at the wall interfaces be sealed to minimize water surface flow into the subbase.

### **E. Below-Grade Walls**

All basement and other non-yielding walls subjected to lateral earth pressure should be designed to resist an equivalent fluid pressure (triangular) distribution using an equivalent fluid weight of 45 pounds/cu ft for SM soil types, or 60 pounds/cu ft for granular and non-plastic ML soil types, provided that the backfill is properly drained and meets the other requirements specified in this report.

If the wall backfill is not allowed to drain, then hydrostatic pressures must also be considered in the wall design. If the slope of the backfill behind the wall is steeper than 3-horizontal to 1-vertical, if the backfill behind the wall is to support structural loads, or if the material to be used as backfill does not meet the requirements specified in the paragraph below, then our office should be consulted for additional recommendations.

Backfill immediately behind below-grade walls must be clean, open-graded, granular material containing less than 8 percent passing the no. 200 sieve (0.074mm). Select off-site borrow will be required. In addition, the compaction behind such walls should be in the range of 85 to 90 percent of the Standard Proctor maximum density in accordance with ASTM D-698. Excessive compaction may cause damage to the walls. If there are any structural loads on the backfill, a higher degree of compaction may be needed, and our office should be contacted for recommendations.

Permanent drainage must be provided along below-grade walls. The drainage system components should include a 4-inch diameter perforated PVC underdrain installed in a matrix of clean gravel such as No. 57 stone, protected by a filter fabric material. If equipped with a sump pump, the system should be equipped with a marine-type battery for backup power in the event of power outage.

## F. Groundwater and Drainage

The extent of construction dewatering will depend on the depth of excavation and weather conditions. Given the coarse nature of the Stratum I soils, seasonal groundwater intrusion may occur in excavations. Also, the subgrade is highly susceptible to deterioration from water infiltration and construction traffic. For these reasons, the contractor must be prepared to provide construction dewatering. If groundwater or soft ground prevents fill placement by conventional means, open-graded coarse aggregate can be used to bridge affected areas. Monitoring of such operations will be essential. Furthermore, the removal of locally contaminated areas may be required, as evidenced by "pumping" during construction.

Adequate drainage should be provided at the site to minimize any increase in moisture content of the foundation soils. All pavements or parking areas should be sloped away from the structure to prevent ponding of water around the building. The site drainage should also be such that the runoff onto adjacent properties is controlled properly.

### REMARKS

This report has been prepared solely and exclusively to provide guidance to design professionals in developing plans and specifications. It has not been developed to meet the needs of others, such as contractors, and applications of this report for other than its intended purpose could result in substantial difficulties. The consulting engineer is not accountable for any problems which occur due to application of this report to other than its intended purpose. Additional recommendations can be provided as necessary.

These analyses and recommendations are, of necessity, based on the concepts made available to us at the time of the writing of this report and on-site conditions, surface and subsurface, that existed at the time the exploratory test pits were made. Further assumption has been made that the limited exploration, in relation both to the areal extent of the site and to depth, is representative of conditions across the site. If conditions are encountered at any other time which differ significantly

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from those reported herein, we request that we be notified immediately so our analyses and recommendations can be reviewed and revised as necessary. It is also recommended that we be given the opportunity to review the plans and specifications in order to comment on the interaction of soil conditions as described herein and the design requirements. This report, in its entirety, should be made available to design professionals and the test pit logs should not be separated from the report.

Our professional services have been performed, our findings obtained, and our recommendations prepared in accordance with generally accepted engineering principles and practices. This warranty is in lieu of all other warranties either implied or expressed.

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**APPENDIX**

1. Investigative Procedures
2. Test Pit Locations
3. Test Pit Logs
4. Laboratory Test Results

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## INVESTIGATIVE PROCEDURES

### TEST PITS

Soil exploration was conducted in accordance with local practice using a conventional backhoe. The test pits were excavated at locations selected by the geotechnical engineer. Grab samples were obtained by selecting representative soils and sealing them in air-tight jars.

Based on the appearance of the soil, the relative degree of difficulty of penetration with a backhoe, and ability of the trench sidewalls to maintain a vertical face, the capability of the soil to support structural loads was derived. The soil descriptions for each test pit are presented on the appended Test Pit Records.

### SOIL CLASSIFICATION

Soil classifications provide a general guide to the engineering properties of various soil types and enable the engineer to apply past experience to current problems. In our investigation, samples obtained during test pit operations are examined in our laboratory and visually classified by the geotechnical engineer in accordance with ASTM Specification D-2488. The soils are classified according to the AASHTO or Unified Classification System (ASTM D-2487). Each of these classification systems and the in-place physical soil properties provides an index for estimating the soil's behavior.

### ATTERBERG LIMITS

Portions from representative soil samples obtained during the test pit operations were selected for Atterberg Limits tests. The Atterberg Limits are indicative of the soil's plasticity characteristics. The soil's plasticity index (PI) is representative of this characteristic and is the difference between the liquid and plastic limits. The liquid limit is the moisture content at which the soil will flow as a heavy viscous fluid and is determined in accordance with ASTM D-4318. The plastic limit is the moisture content at which the soil begins to lose its plasticity and is also determined in accordance with ASTM Specification D-4318.

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## SOIL MOISTURE

The descriptive terminology for relative moisture content is based on ASTM D-2487. The relative moisture within a sample is estimated by the geotechnical engineer based on the following:

Dry soils require the addition of considerable moisture to attain optimum for compaction.

Moist soils are near the optimum moisture content.

Wet soils require drying to attain optimum moisture content.

Saturated (very wet) soils come from below the water table.

Relative moisture reported on the soil boring log is based on the condition of the sample shortly after sampling. Moisture content can vary considerably over a period of time in response to seasonal variations, earthwork operations, infiltration, etc.

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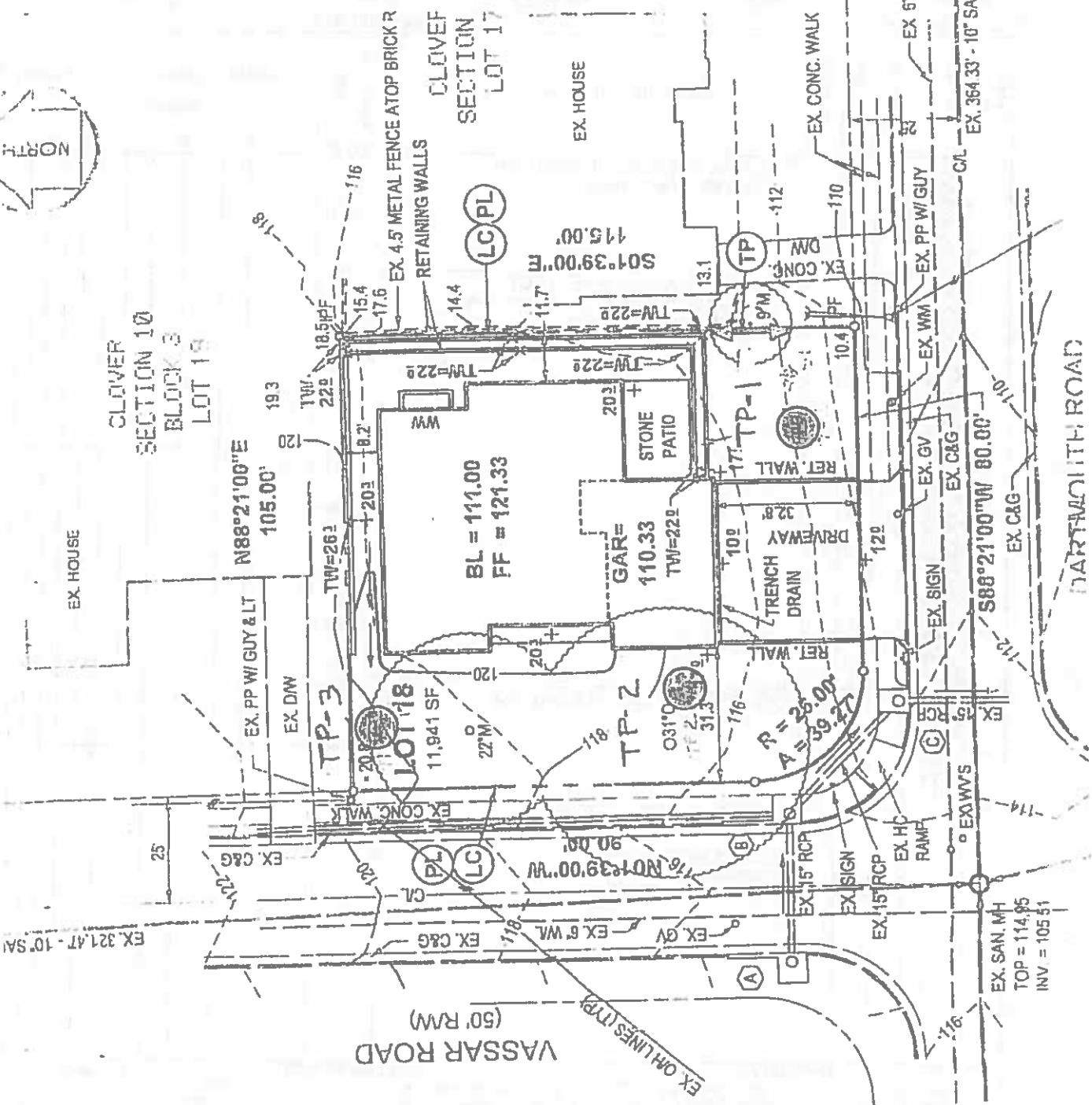
# TEST PIT LOCATIONS

307 Vassar Road

Alexandria, Virginia

1539VA-1

Scale: 1" = 30'



**SOIL TECH INC.**

Project 307 Vassar Road	<b>HOLE No. TP-1</b>
Location City of Alexandria, Virginia	Sheet 1 of 1
Location	
Azimuth _____	Angle from Horizontal <b>90</b>
Surface Elevation <b>114.0</b>	Station _____
Drilling Equipment <b>Backhoe</b>	Drilling Method <b>ASTM D1452</b>
Core Boxes _____	Samples _____
Overburden _____	Rock _____
Total Depth <b>11.0</b>	
Logged By <b>WFS</b>	Date Logged <b>6/11/13</b>

VERTICAL DEPTH	GRAPHIC LOG	SAMPLE NO	SAMPLER TYPE	ELEVATION (feet)	MATERIAL DESCRIPTION	STANDARD PENETRATION TEST DATA (blows/ft)						N VALUE	
						5	10	20	40	60	80		
1				114.0	FILL loose silty GRAVEL (GM), dark grayish brown, moist								
2				113									
3				112	FILL loose clayey GRAVEL (GC), yellowish brown, strong brown, red, light gray, moist to wet.								
4				111									
5				110									
6			1 DCP	3	109								
7				3	108								
8					107								
9					106								
10					105	silty GRAVEL loose, dark gray, gray, saturated. GM							
11					104								
				103	Boring terminated at 11.0 feet								
					<b>WATER LEVEL DATA</b> Encountered 10.0 feet Completion 10.0 feet								

<b>SAMPLER TYPE</b> SS - Split Spoon ST - Shelby Tube NX - Rock Core, 2-1/8" DCP Dynamic Cone NQ - Rock Core 1-7/8" - Penetrometer	<b>DRILLING METHOD</b> HSA - Hollow Stem Auger CFA - Continuous Flight Augers AB - Auger Boring TP - Test Pit RC - Rock Core	Hole No. <p style="text-align: center; font-size: 1.2em;"><b>TP-1</b></p>
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# SOIL TECH INC.

SOIL SCIENCE • GEOLOGY • ENVIRONMENTAL SCIENCE

Project 307 Vassar Road  
 Location City of Alexandria Virginia

**HOLE No. TP-2**  
 Sheet 1 of 1

Azimuth \_\_\_\_\_ Angle from Horizontal: 90 Surface Elevation 116.5 Station \_\_\_\_\_

Drilling Equipment Backhoe Drilling Method: ASTM D1452

Core Boxes \_\_\_\_\_ Samples \_\_\_\_\_ Overburden: \_\_\_\_\_ Rock \_\_\_\_\_ Total Depth 12.0

Logged By: WFS Date Logged 6/11/13

VERTICAL DEPT.	GRAPHIC LOG	SAMPLE NO	MATERIAL DESCRIPTION	ELEVATION (feet)	STANDARD PENETRATION TEST DATA (blows/ft)						N VALUE
					5	10	20	40	60	80	
1			FILL loose silty GRAVEL (GM) some organics, dark gray, grayish brown, moist	116.5							
2				116							
3					115						
4				clayey SAND some boulders dense, yellowish brown, light gray, moist	114						
5			1 DCP		113						
6					112						
7					111						
8				sandy fat CLAY very stiff, red, light yellowish brown, gray, moist	110						
9					109						
10			2 DCP		108						
11					107						
12				Boring terminated at 12.0 feet	106						
			WATER LEVEL DATA Encountered Dry Completion Dry	105							

SS - Split Spoon ST - Shelby Tube NQ - Rock Core, 1 7/8"	<b>SAMPLER TYPE</b> NX - Rock Core, 2-1/8" DCP - Dynamic Cone - Penetrometer	<b>DRILLING METHOD</b> HSA - Hollow Stem Auger CFA - Continuous Flight Augers AB - Auger Boring	TP - Test Pit RC - Rock Core	Hole No <b>TP-2</b>
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SOIL TECH INC.

Project 307 Vassar Road  
 Location City of Alexandria, Virginia

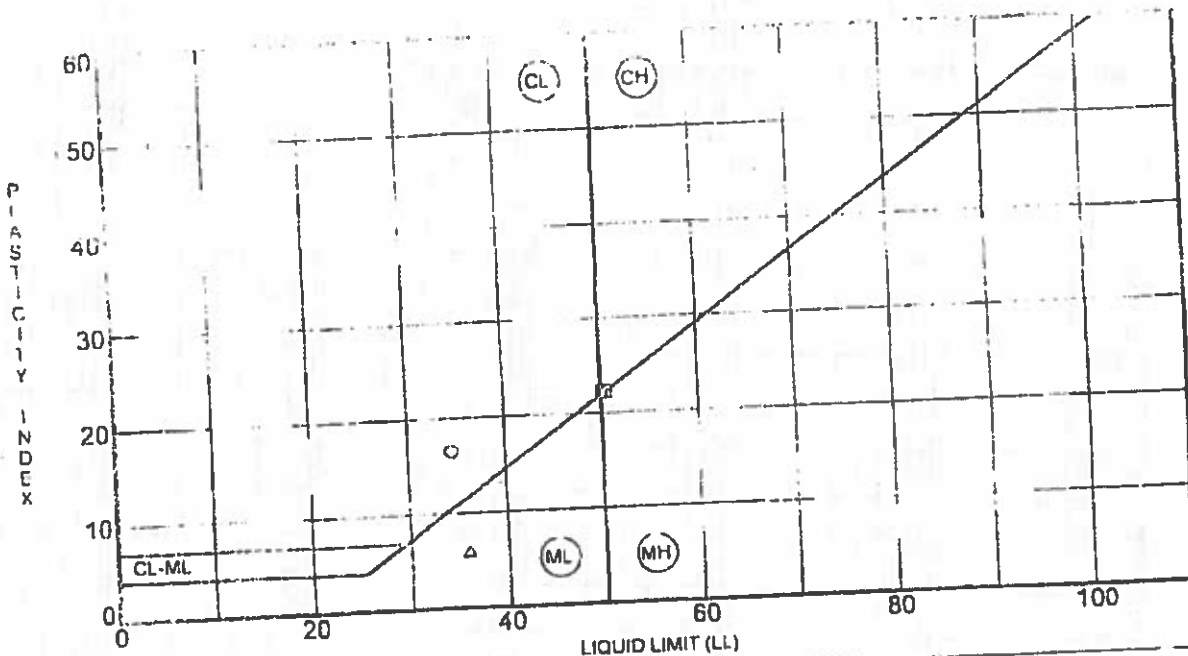
HOLE No. TP-3  
 Sheet 1 of 1

Location

Azimuth \_\_\_\_\_ Angle from Horizontal **90** Surface Elevation **119.0** Station \_\_\_\_\_  
 Drilling Equipment **Backhoe** Drilling Method **ASTM D1452**  
 Core Boxes: \_\_\_\_\_ Samples \_\_\_\_\_ Overburden \_\_\_\_\_ Rock \_\_\_\_\_ Total Depth **10.0**  
 Logged By **WFS** Date Logged **6/11/13**

VERTICAL DEPTH	GRAPHIC LOG	SAMPLE NO.	FLOW COUNTS	MATERIAL DESCRIPTION	ELEVATION (feet)	STANDARD PENETRATION TEST DATA (blows/ft)						N VALUE
						5	10	20	40	60	80	
1				TOPSOIL/mixed FILL	119.0							
2				sandy SILT medium dense, light olive gray, yellowish brown, strong brown, slightly moist.	118							
3					117							
4					116							
5					115							
6					114							
7					113							
8				1 DCP	112							
9				silty SAND medium dense, yellowish brown, strong brown, light olive gray, black, moist.	111							
10				2 DCP	110							
				Boring terminated at 10.0 feet	109							
				WATER LEVEL DATA Encountered Dry Completion Dry								

SAMPLER TYPE SS - Split Spoon ST - Shelby Tube NQ - Rock Core, 1-7/8"		NX - Rock Core, 2-1/8" DCP - Dynamic Cone - Penetrometer		DRILLING METHOD HSA - Hollow Stem Auger CFA - Continuous Flight Augers AB - Auger Boring		TP - Test Pit RC - Rock Core		Hole No. <b>TP-3</b>
--	--	--	--	---	--	---------------------------------	--	-------------------------

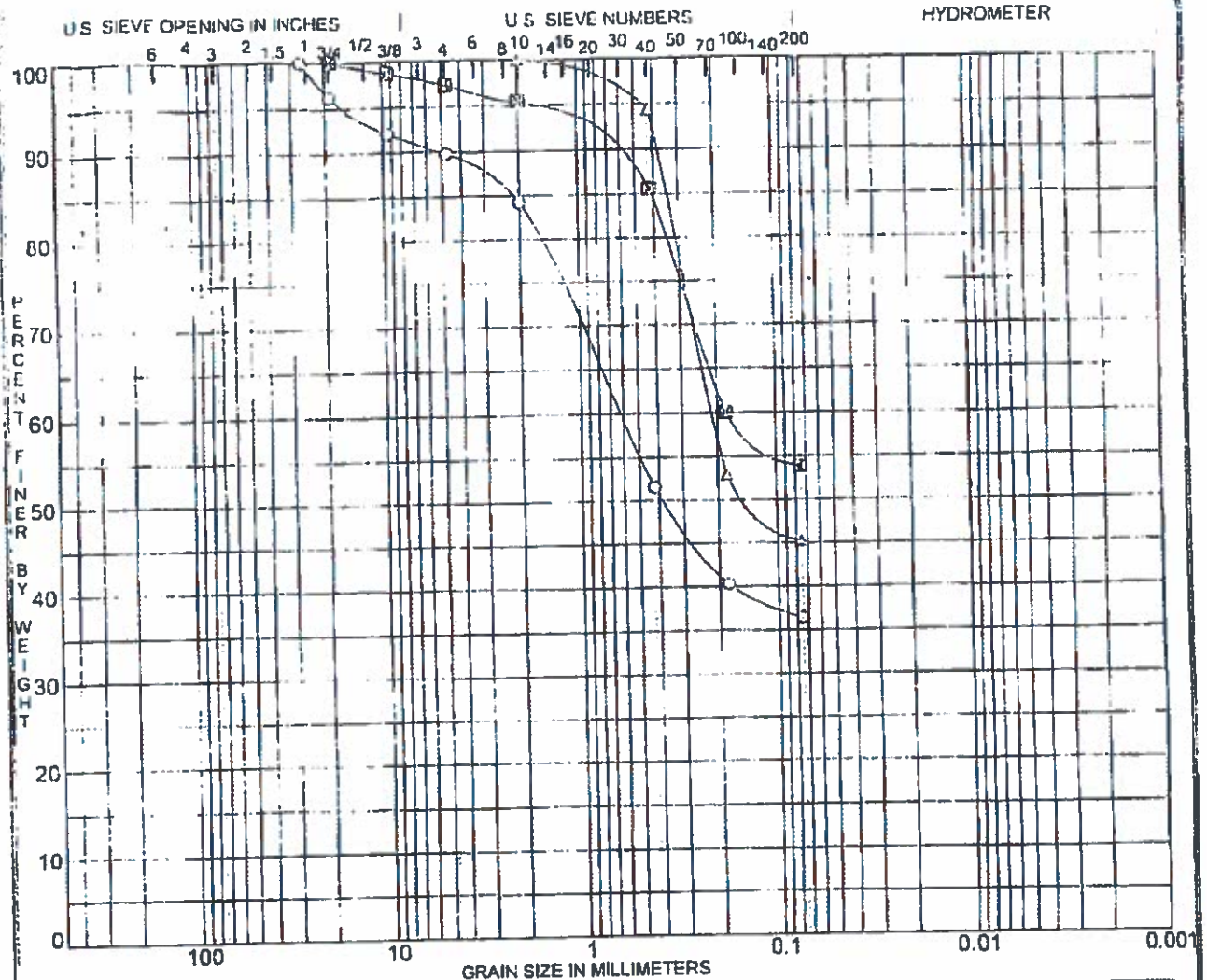


Specimen Identification	LL	PL	PI	Fines	Classification	
○ TP-2	6.0	35	18	17	36.4	CLAYEY SAND SC
○ TP-2	9.0	50	28	22	53.9	SANDY FAT CLAY CH
△ TP-3	4.0	36	30	6	45.2	SILTY SAND SM

PROJECT 307 Vassar Road - City of Alexandria, Virginia JOB NO. 13-11750  
 DATE 6/18/13

### ATTERBERG LIMITS' RESULTS

Soil Tech, Inc. Chantilly, VA 20151



COBBLES	GRAVEL		SAND			SILT OR CLAY
	coarse	fine	coarse	medium	fine	

Boring No	Depth (ft.)	Classification	MC%	LL	PL	PI	Cc	Cu
○ TP-2	6.0	CLAYEY SAND SC	17.0	35	18	17		
□ TP-2	9.0	SANDY FAT CLAY CH	27.9	50	28	22		
△ TP-3	4.0	SILTY SAND SM	26.1	36	30	6		

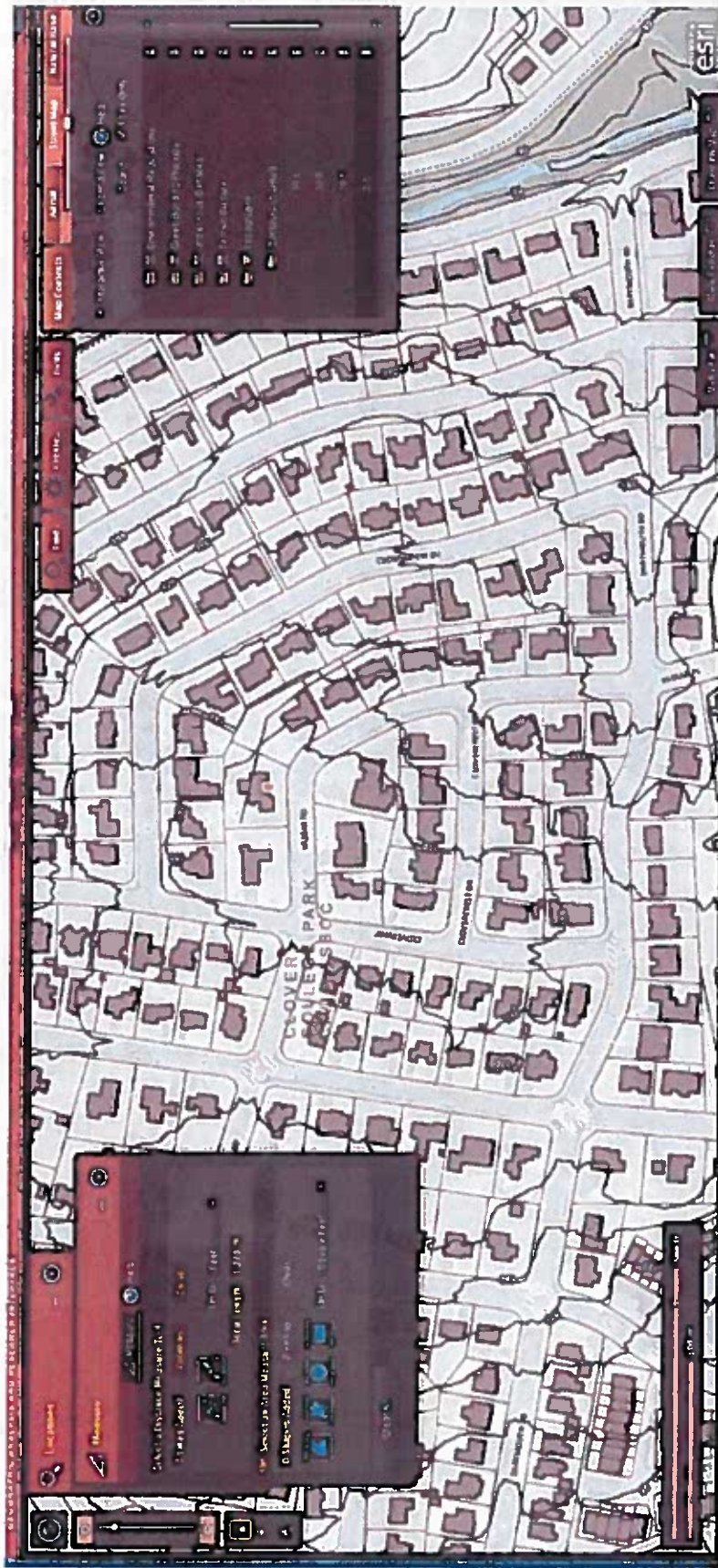
  

Boring No.	Depth (ft.)	D100	D60	D30	D10	%Gravel	%Sand	%Silt	%Clay
○ TP-2	6.0	26.70	0.63			10.2	53.3	36.4	
□ TP-2	9.0	18.80	0.18			2.7	43.4	53.9	
△ TP-3	4.0	2.00	0.21			0.0	54.8	45.2	

PROJECT 307 Vassar Road - City of Alexandria, Virginia JOB NO. 13-11750  
 DATE 6/18/13

**GRADATION CURVES**

Soil Tech, Inc. Chantilly, VA 20151



Slope from 811 Vassar Road to 307 Vassar Road =  $(158 - 114) \times 100' / 1273' = 3.5\%$





Slope from 811 Vassar Road to 809 Vassar Road = (158-142) x 100' / 288' = 5.6%



Slope from 811 Vassar Road to 311 Vassar Road =  $(158 - 122) \times 100' / 715' = 5\%$

## FW: Water Report related to proposed subdivision on Vassar Road

Alex Dambach

Wed 10/21/2015 8:09 PM

Inbox

To: PlanComm <PlanComm@alexandriava.gov>;

 1 attachment (369 KB)

Water Report\_809 and 811 Vassar Road Subdivision.pdf;

This attachment needs to go in the Vassar Road Packet for Planning Commissoin

Alex Dambach, AICP  
Division Chief – Land Use Services  
City of Alexandria  
301 King Street, Rm 2100  
Alexandria, VA 22314  
Office: 703-746-3829  
Mobile: 571-393-7339  
[alex.dambach@alexandriava.gov](mailto:alex.dambach@alexandriava.gov)  
[www.alexandriava.gov](http://www.alexandriava.gov)

---

**From:** Satya Singh  
**Sent:** Monday, September 28, 2015 12:04 PM  
**To:** Alex Dambach  
**Cc:** Kristen Walentisch; Yon Lambert; William Skrabak; Lisa Jaatinen; Karl Moritz; Jeffrey Farner  
**Subject:** RE: Water Report related to proposed subdivision on Vassar Road

Alex:

Please find attached the water report. Thanks.

---

**From:** Satya Singh  
**Sent:** Monday, September 28, 2015 9:00 AM  
**To:** Alex Dambach  
**Cc:** Kristen Walentisch; Yon Lambert; William Skrabak; Lisa Jaatinen; Karl Moritz; Jeffrey Farner  
**Subject:** RE: Water Report related to proposed subdivision on Vassar Road

Alex:

Please find attached the amended DRAFT presentation. Please provide your edits/comments before this can be formatted to match your presentation. Thanks.

---

**From:** Satya Singh  
**Sent:** Thursday, September 24, 2015 4:51 PM  
**To:** Alex Dambach  
**Cc:** Kristen Walentisch  
**Subject:** RE: Water Report related to proposed subdivision on Vassar Road

Alex:

Please find attached the presentation; however, I can provide the report tomorrow morning. Thanks.

---

**From:** Alex Dambach  
**Sent:** Thursday, September 24, 2015 3:37 PM  
**To:** Satya Singh  
**Cc:** Kristen Walentisch  
**Subject:** RE: Water Report related to proposed subdivision on Vassar Road

Dr. Singh. I need the final report today. The staff reports are going out tomorrow, and we need to get copies made today. Thanks.

Alex Dambach, AICP  
Division Chief – Land Use Services  
City of Alexandria  
301 King Street, Rm 2100  
Alexandria, VA 22314  
Office: 703-746-3829  
Mobile: 571-393-7339  
[alex.dambach@alexandriava.gov](mailto:alex.dambach@alexandriava.gov)  
[www.alexandriava.gov](http://www.alexandriava.gov)

---

**From:** Satya Singh  
**Sent:** Monday, July 27, 2015 12:48 PM  
**To:** don.brady06  
**Cc:** William Skrabak; Maurice Daly; Helen Lloyd; Philip Pugh; William King; Yon Lambert; Karl Moritz; Gregg Fields; Alex Dambach  
**Subject:** RE: Water Report related to proposed subdivision on Vassar Road

Dr. Brady:

Mr. Yon Lambert asked me to update you on our investigation of the storm sewer. The field investigation confirmed the availability of a storm sewer beginning at the back yard of 809 Vassar Road running through the back yards of houses located on Vassar Road up to 805 then crossing over through the side yard of 316 Crown View Dr. connecting to a storm sewer drop inlet structure located in the public right of way of Crown View Dr. and eventually draining to Taylor Run. There is a grate inlet located in the side yard of 316 Crown View Dr. that we saw when we walked through the yards of the homes located on Crown View Dr. along with the residents. A storm sewer structure located at the back yard of 805 Vassar Road is currently covered with dirt, stones, pebbles, boulders, and mulch, etc.

A complete report of the drainage investigation by Staff of the Departments of Transportation & Environmental

Services and Code Administration will be included in the Staff Report to be presented to the Planning Commission when this item goes for a hearing.

In the meantime, if you have any questions, please let me and/or Mr. Lambert know.

Satya (S.P.) Singh, Ph.D., P.E., LEED AP BD+C  
Civil Engineer IV  
(703) 746-4062

---

**From:** don.brady06 [mailto:don.brady06@comcast.net]  
**Sent:** Thursday, July 23, 2015 8:29 PM  
**To:** Yon Lambert  
**Cc:** Satya Singh; William Skrabak; Maurice Daly; Helen Lloyd  
**Subject:** Re: Water Report related to proposed subdivision on Vassar Road

Ok. Thanks.

Don Brady

----- Original message -----

**From:** Yon Lambert  
**Date:** 07/23/2015 7:13 PM (GMT-05:00)  
**To:** "don.brady06"  
**Cc:** Satya Singh ,William Skrabak ,Maurice Daly ,Helen Lloyd  
**Subject:** Re: Water Report related to proposed subdivision on Vassar Road

Thanks. We have been doing this. Dr. Singh contacted a number of residents today.

Sent from my iPhone

On Jul 23, 2015, at 7:12 PM, don.brady06 <don.brady06@comcast.net> wrote:

Mr. Lambert,  
Thanks for your note. Our understanding is that a team had already been through our yards on Crown View Drive a couple of weeks ago. Should I alert neighbors that engineering staff will be coming into our yards tomorrow?  
Don Brady

Don Brady

----- Original message -----

**From:** Yon Lambert  
**Date:** 07/23/2015 6:53 PM (GMT-05:00)  
**To:** Don Brady  
**Cc:** Satya Singh ,William Skrabak ,Maurice Daly  
**Subject:** RE: Water Report related to proposed subdivision on Vassar Road

Dear Mr. Brady,

Thank you for your email. Satya Singh from our engineering staff will be going out with a team from our Public Works Services group on Friday to investigate the culvert / storm sewer. Once the investigation is completed then we will be preparing a report, which Dr. Singh will share. If you have any questions, please feel free to contact me or Dr. Singh who is copied on this email.

Best,  
Yon

Yon Lambert, AICP  
Director  
Dept. of Transportation & Environmental Services  
City of Alexandria, Va.  
t. 703.746.4025  
m. 571.220.0842  
[www.alexandriava.gov](http://www.alexandriava.gov)

---

**From:** Don Brady [<mailto:don.brady06@comcast.net>]  
**Sent:** Thursday, July 23, 2015 12:52 PM  
**To:** Yon Lambert  
**Subject:** Re: Water Report related to proposed subdivision on Vassar Road

Mr. Lambert,  
Just checking in with you on how we are doing with the water report?  
Thank you very much,  
Don Brady

---

**From:** "Yon Lambert" <[Yon.Lambert@alexandriava.gov](mailto:Yon.Lambert@alexandriava.gov)>  
**To:** "Don Brady" <[don.brady06@comcast.net](mailto:don.brady06@comcast.net)>  
**Sent:** Thursday, July 16, 2015 6:31:34 PM  
**Subject:** RE: Water Report related to proposed subdivision on Vassar Road

Dear Mr. Brady,

Thank you for your email. I have shared your email with the lead Civil Engineer in T&ES that has been working on this project but he is out on vacation this week, returning Monday, July 20. As soon as he returns, we will follow up with you to provide the most current information and schedule a meeting at which we can review the reports and address any questions you may have. As I understand, staff from T&ES and Code Administration performed the requested site visit as I have seen some correspondence (including coordination with neighbors) but I would like to ensure we provide you with the most up-to-date information.

Thank you for your patience and we will be back in touch as soon as possible.

All the best,  
Yon

Yon Lambert, AICP  
Director  
Dept. of Transportation & Environmental Services  
City of Alexandria, Va.  
t. 703.746.4025  
m. 571.220.0842  
[www.alexandriava.gov](http://www.alexandriava.gov)

---

**From:** Don Brady [<mailto:don.brady06@comcast.net>]  
**Sent:** Thursday, July 16, 2015 8:07 AM  
**To:** Yon Lambert  
**Cc:** don brady06  
**Subject:** Water Report related to proposed subdivision on Vassar Road

Mr. Lambert,

My name is Don Brady. My wife and I live at 408 Crown View Drive and are opposed to the proposed subdivision on Vassar Road. At the City Council Meeting during which the City Council sent the proposal back to Planning Commission for reconsideration, City staff members were asked about storm water management and water quality concerns raised by neighbors adjacent to the proposed subdivision.

City staff in attendance at the meeting stated that they would visit the site the next day to investigate the water problems identified by citizens and visited the site soon after the hearing. We have heard nothing and have had no contact since the staff were on-site. We met with Karl Moritz and his staff on July 7th and were told that the water issues were the responsibility of the Transportation and Environmental Services Department.

The purpose of this email is to request a copy of the report that was promised at the City Council meeting and to request a meeting with you, our neighbors and relevant staff to review your findings/recommendations. We would like a copy of the report prior to the meeting so we can be informed when we sit down to discuss the report. In addition, we would also like to understand how your department works with the planning department on these kinds of subdivision proposals.

We are still unclear on the schedule for the reconsideration of the proposed subdivision and we believe that time is of the essence. We would like to schedule a meeting with you very soon, perhaps next week. If you would be so kind as to

provide us a copy of the report and some times you are available to meet with citizens, I can coordinate times that most of our neighbors will be able to participate.

My cell phone is 703-861-7709 and my office phones are 703-305-7695 or 703-305-7092. I can also be reached at this email. I thank you in advance for your consideration.

Donald J. Brady, Ph.D.



# City of Alexandria, Virginia

---

## MEMORANDUM

DATE: SEPTEMBER 28, 2015

TO: CHAIRMAN AND MEMBERS OF THE PLANNING COMMISSION

THROUGH: YON LAMBERT, AICP, DIRECTOR, DEPARTMENT OF  
TRANSPORTATION & ENVIRONMENTAL SERVICES

FROM: SATYA (S.P.) SINGH, Ph.D., P.E., LEED AP BD+C, CIVIL ENGINEER IV,  
T&ES *sp*

SUBJECT: 809 and 811 VASSAR ROAD SUBDIVISION – INVESTIGATION OF  
DRAINAGE ISSUES (SUBDIVISION #2014-0014)

---

This memo summarizes investigations by staff of the Departments of Transportation & Environmental Services (T&ES) and Code Administration (Code) in response to residents' concerns about drainage issues related to the subdivision of 809 & 811 Vassar Road.

During public hearings in May and June before the Planning Commission and City Council, speakers raised concerns regarding the existence of marine clay on and around the vicinity of the subject properties, steep slopes, surface and subsurface or groundwater drainage issues that had adversely impacted the drainage and retaining walls located on the back of the neighboring properties especially subsequent to an addition on 811 Vassar Road. (Because the addition did not trigger the completion of a Grading Plan, T&ES staff was not involved in the permitting of the construction of this addition.)

Based on these concerns, T&ES and Code staff investigated the drainage and retaining walls issues on two separate instances: June 22, 2015 and July 24, 2015. Staff provided an email response to residents on July 27, 2015 that noted preliminary findings and advised that a Memorandum would be contained in the staff report prior to the October Planning Commission hearing of this case. This Memorandum is intended to document the staff investigation.

On June 22, 2015, the staff completed the reconnaissance survey and preliminary investigation of the houses located on Crown View Dr. along with the residents and home owners who had previously expressed concerns with the subdivision application as well as the home owner and applicant. Staff completed an investigation of the storm sewer location through CCTV camera on July 24, 2015.

The attached map of the City of Alexandria Slope and Marine Clay (Attachment 1) demonstrates that the subject and neighboring properties are not located in marine clay and the slope is less than 10%, which is the minimum slope shown on this map. Per the Natural Resources Conservation Services (NRCS), United States Department of Agriculture (USDA), Generalized Alexandria Soils Map, the types of soils for the subject and neighboring properties are Leonardtown Silt Loam & Leonardtown Silt Loam (Attachment 2). The surface storm water runoff generated during precipitation events follows natural drainage divides and sheet flows where capacity is available. The field investigation completed through CCTV camera confirmed the availability of a 12" diameter Reinforced Concrete Pipe (RCP) storm sewer beginning at the back yard of 809 Vassar Road running through the back yards of houses located on Vassar Road up to 805 then crossing over through the side yard of 316 Crown View Drive connecting to a storm sewer drop inlet structure located in the public right of way of Crown View Drive and eventually draining to Taylor Run. The sewers are shown in Attachment 3. Additionally, there is a grate inlet located in the side yard of 316 Crown View Drive that was seen when the staff and the residents walked through the yards of the homes located on Crown View Drive. A storm sewer structure located at the back yard of 805 Vassar Road is currently covered with dirt, stones, pebbles, and mulch, etc. This storm sewer was not shown in the City's GIS map; however, will be included later as depicted in the attachment.

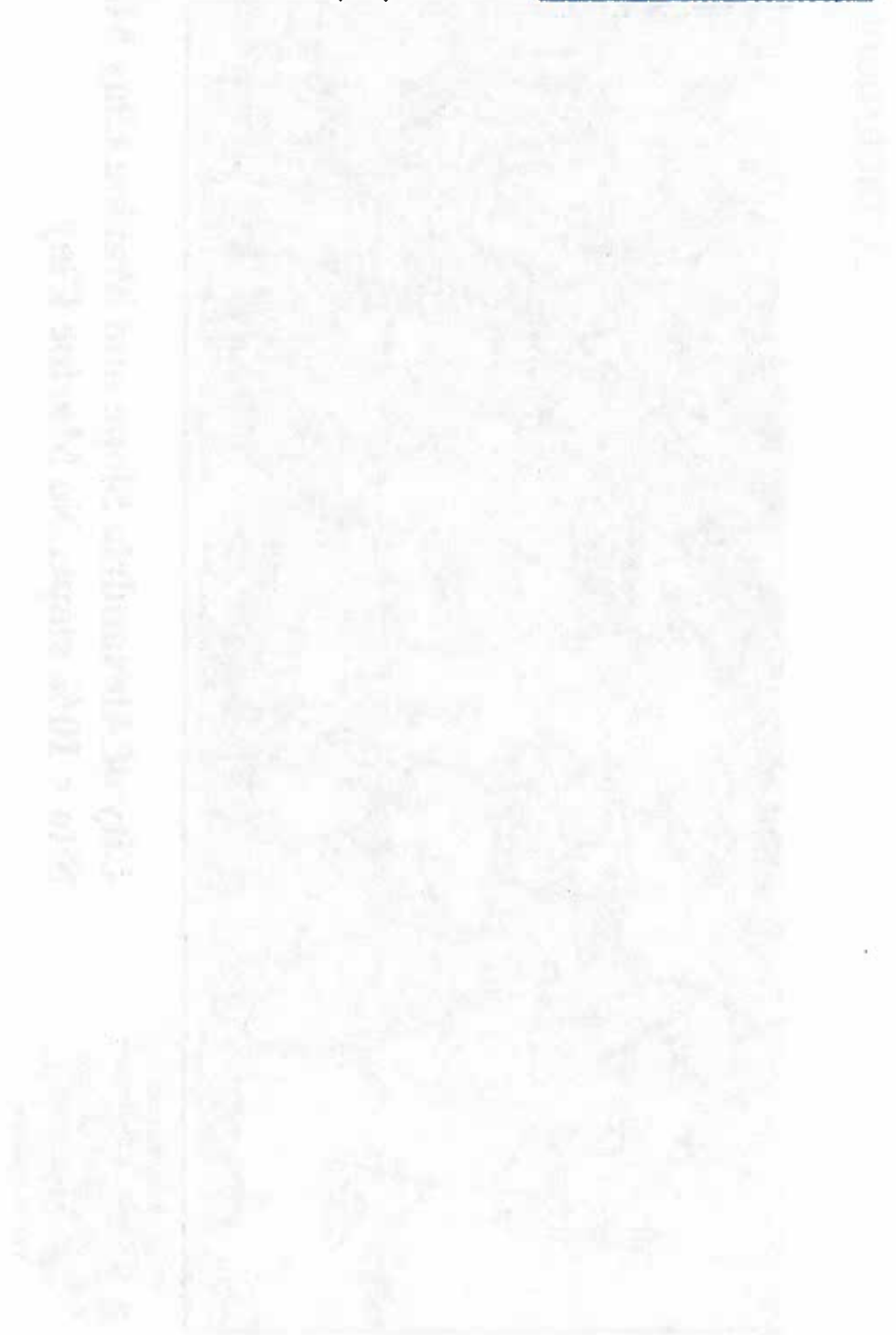
During the reconnaissance survey, staff observed that most of the houses located on Crown View Drive have subsurface/groundwater drains installed in the back of their houses to release subsurface/groundwater pressure on the retaining walls. Staff noted that retaining walls are installed on back and between the houses located on Crown View Drive. The retaining walls at the rear of these homes were observed to be in good to excellent conditions in consideration of the age of these walls. Moreover, staff noted the walls are similar in condition to the walls installed between the houses located on Crown View Drive.

Additionally, the reconnaissance survey was completed on June 22, 2015 and it was noted that it had rained 2.33 inches on June 20, 2015. However, there were no visible signs of standing water or dampness on all the houses surveyed. Staff finds this can be attributed to the installation of appropriately designed surface and subsurface/groundwater drainage systems.

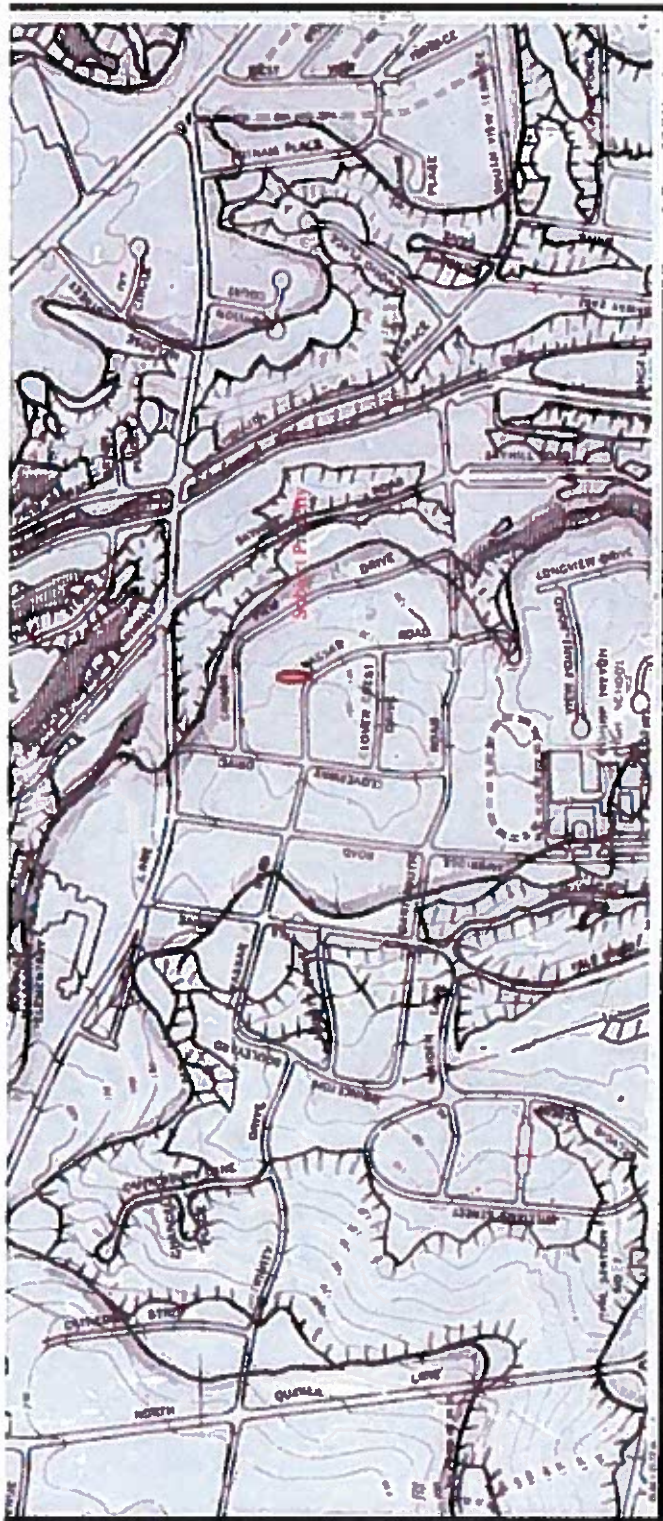
In the City of Alexandria (COA), all developments are subjected to the enforcement of storm water laws of the Commonwealth of Virginia and COA Article XIII, Environmental Management Ordinance governing water quality improvement through phosphorous removal and Water Quality Volume Default (WQVD) and quantity control through channel protection, flood protection, and Article XI Development Approvals and Procedures through storm water adequate outfall analysis. In consideration of the existing surface and subsurface/groundwater systems installed on the subject and neighboring properties, and the strict enforcement of the storm water management laws of the Commonwealth of Virginia and ordinances of the City of Alexandria, staff concludes that development of the proposed subdivided lot will not adversely impact the subject and/or neighboring properties including those properties located on Crown View Drive.

If you have any questions, please contact Satya (S.P.) Singh, Civil Engineer IV, Department of

Transportation and Environmental Services at (703) 746-4062 or [satya.singh@alexandriava.gov](mailto:satya.singh@alexandriava.gov).



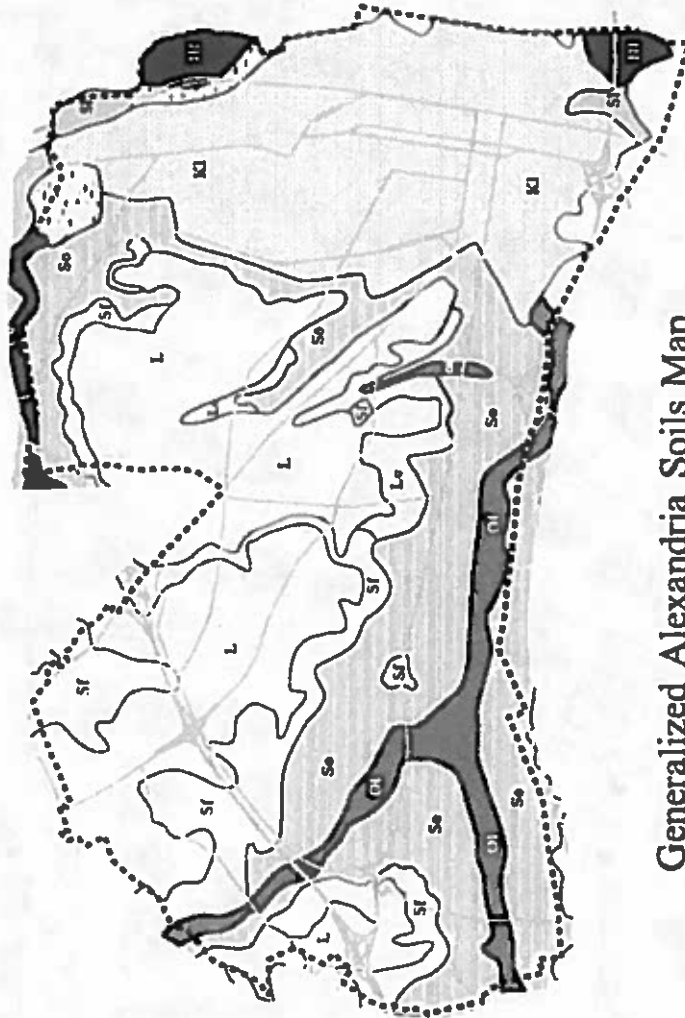
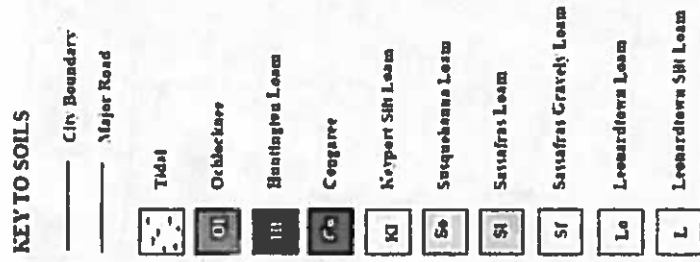
# Attachment 1



**City of Alexandria Slope and Marine Clay Map**  
**Site < 10% slope, No Marine Clay**

UNDER 10% SLOPE  
10% - 25% SLOPE  
OUTLINE OF  
MARINE CLAY AREAS  
OVER 25% SLOPE  
KEY TO SYMBOLS

# Attachment 2



**Generalized Alexandria Soils Map**

Source: Digitized by NVPDC from U.S. Department of Agriculture. Soil Survey of Fairfax and Alexandria Counties, Virginia. 1915.

Attachment 3



City of Alexandria Storm Sewer Map

# FW: Water Report related to proposed subdivision on Vassar Road

Alex Dambach

Wed 10/21/2015 8:08 PM

Inbox

To: PlanComm <PlanComm@alexandriava.gov>;

📎 1 attachment (279 KB)

PP201213Soil Evaluation1and2FamilyDwellingConstruction.pdf;

The attachment needs to go with the Vassar package for the Commission.

Alex Dambach, AICP  
Division Chief – Land Use Services  
City of Alexandria  
301 King Street, Rm 2100  
Alexandria, VA 22314  
Office: 703-746-3829  
Mobile: 571-393-7339  
[alex.dambach@alexandriava.gov](mailto:alex.dambach@alexandriava.gov)  
[www.alexandriava.gov](http://www.alexandriava.gov)

---

**From:** Satya Singh  
**Sent:** Wednesday, October 21, 2015 1:40 PM  
**To:** Alex Dambach  
**Subject:** FW: Water Report related to proposed subdivision on Vassar Road

Alex:

Please find attached the updated Soils Policy from Code Administration that was distributed at our last meeting. I will be submitting the DRAFT presentation COB today. Thanks.

---

**From:** William King  
**Sent:** Friday, October 16, 2015 9:58 AM  
**To:** Satya Singh; Yon Lambert  
**Cc:** Gregg Fields  
**Subject:** RE: Water Report related to proposed subdivision on Vassar Road

Just to clarify, that link in the e-mail is not the current soils policy. It is an old policy from 2000. Attached is the best document to use at this point.

Bill King, PE, CBO, MCP  
Assistant Director  
Alexandria Department of Code Administration

301 King Street, Room 4200  
Alexandria, VA 22314  
Ph: 703-746-4251  
E-Mail: [william.king@alexandriava.gov](mailto:william.king@alexandriava.gov)

*“One Team, One City – Our City”*

---

**From:** Satya Singh  
**Sent:** Friday, October 16, 2015 8:50 AM  
**To:** Yon Lambert  
**Cc:** Gregg Fields; William King  
**Subject:** RE: Water Report related to proposed subdivision on Vassar Road

Yon:

Yes, I will. I think Gregg and Bill know that something didn't go right on their end. I will also provide a copy of the new policy manual to Mr. Don Brady and his group today in the meeting, which Bill also be attending.

Thanks.

---

**From:** Yon Lambert  
**Sent:** Friday, October 16, 2015 8:41 AM  
**To:** Satya Singh  
**Subject:** RE: Water Report related to proposed subdivision on Vassar Road

Can you please clarify this for him today on my behalf? I attached Gregg's email from yesterday. Thanks.

---

**From:** Satya Singh  
**Sent:** Friday, October 16, 2015 8:36 AM  
**To:** Yon Lambert  
**Subject:** FW: Water Report related to proposed subdivision on Vassar Road

Yon:

I don't want to load you with e-mails but I just want to clarify to you the issue of Soils Policy Manual. The [link](#) that I sent to Mr. Don Brady on October 8, 2015 (attached in this email chain and repeated below for immediate reference)

<http://alexandriava.gov/uploadedFiles/fire/code/info/Alexandria%20Soil%20Policy.pdf>

for the City's web site is for the same material that is currently placed outside the Permit Center for distribution to the customers. In response to this, Bill King asked Bill Ertumen to send me a copy of the updated Soils Policy Manual and Bill Ertumen sent that document in WORD document. On seeing this document, I raised the following question to Bill King, that's not a part of this email chain:

“ Thanks, Bill; however, this document focusses on inspections and special inspections but doesn't discuss the requirements of geotechnical investigations or soils report for new construction or substantial addition, and the methods of dealing with 'trouble soils', if encountered as the superseded document did. Where are these requirements and guidelines listed?



Thanks."

In response to this query, Bill sent the attached document in .pdf file, that was attached for onwards submission to Don Brady by you. I don't know what is Gregg's question or concern.

Thanks.

---

**From:** William King  
**Sent:** Tuesday, October 13, 2015 3:35 PM  
**To:** Bill Ertumen; Satya Singh  
**Cc:** Pete Mensinger; Lei Fei  
**Subject:** RE: Water Report related to proposed subdivision on Vassar Road

Here is the policy in .pdf form which is how it should be forward to the customer if it is to be sent to them.

Bill King, PE, CBO, MCP  
Assistant Director  
Alexandria Department of Code Administration  
301 King Street, Room 4200  
Alexandria, VA 22314  
Ph: 703-746-4251  
E-Mail: [william.king@alexandriava.gov](mailto:william.king@alexandriava.gov)

*"One Team, One City – Our City"*

---

**From:** Bill Ertumen  
**Sent:** Tuesday, October 13, 2015 1:39 PM  
**To:** Satya Singh  
**Cc:** William King; Bill Ertumen; Pete Mensinger; Lei Fei  
**Subject:** RE: Water Report related to proposed subdivision on Vassar Road

Satya,

Please see attached policy. This is the latest copy we have.  
Thanks.

Bill Ertumen, P.E.  
Building Plans Examiner III  
Department of Code Administration  
301 King Street, Suite 4200  
Alexandria, Virginia 22314

Direct: 703.746.4191  
Main: 703.746.4200  
FAX: 703.549.4226  
[Bill.Ertumen@alexandriava.gov](mailto:Bill.Ertumen@alexandriava.gov)  
Website: [Alexandriava.gov/code](http://Alexandriava.gov/code)

---

**From:** Satya Singh  
**Sent:** Tuesday, October 13, 2015 1:08 PM  
**To:** William King; Pete Mensinger; Bill Ertumen  
**Cc:** James Hunt  
**Subject:** RE: Water Report related to proposed subdivision on Vassar Road

Bill:

The citizens group told us that a house was recently built in this neighborhood. Can you please provide soils information for that house? Thanks.

---

**From:** William King  
**Sent:** Tuesday, October 13, 2015 11:41 AM  
**To:** Satya Singh; Pete Mensinger; Bill Ertumen  
**Cc:** James Hunt  
**Subject:** RE: Water Report related to proposed subdivision on Vassar Road

Pete and Bill,

Can you follow-up to provide Dr. Singh with a copy of our current soils policy as I believe the one he forwarded has been superseded.

Thanks,

Bill King, PE, CBO, MCP  
Assistant Director  
Alexandria Department of Code Administration  
301 King Street, Room 4200  
Alexandria, VA 22314  
Ph: 703-746-4251  
E-Mail: [william.king@alexandriava.gov](mailto:william.king@alexandriava.gov)

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---

**From:** Satya Singh  
**Sent:** Thursday, October 08, 2015 5:50 PM  
**To:** don.brady06  
**Cc:** William Skrabak; Helen Lloyd; Philip Pugh; William King; Yon Lambert; Karl Moritz; Gregg Fields; Alex Dambach; Lisa Jaatinen  
**Subject:** RE: Water Report related to proposed subdivision on Vassar Road

Please find below the link for Alexandria Soils Policy and Soils Policy Manual:

<http://alexandriava.gov/uploadedFiles/fire/code/info/Alexandria%20Soil%20Policy.pdf>

Satya (S.P.) Singh, Ph.D., P.E., LEED AP BD+C  
Civil Engineer IV  
(703) 746-4062

---

**From:** Satya Singh

**Sent:** Monday, July 27, 2015 12:48 PM

**To:** 'don.brady06'

**Cc:** William Skrabak; Maurice Daly; Helen Lloyd; Philip Pugh; William King; Yon Lambert; Karl Moritz; Gregg Fields; Alex Dambach

**Subject:** RE: Water Report related to proposed subdivision on Vassar Road

Dr. Brady:

Mr. Yon Lambert asked me to update you on our investigation of the storm sewer. The field investigation confirmed the availability of a storm sewer beginning at the back yard of 809 Vassar Road running through the back yards of houses located on Vassar Road up to 805 then crossing over through the side yard of 316 Crown View Dr. connecting to a storm sewer drop inlet structure located in the public right of way of Crown View Dr. and eventually draining to Taylor Run. There is a grate inlet located in the side yard of 316 Crown View Dr. that we saw when we walked through the yards of the homes located on Crown View Dr. along with the residents. A storm sewer structure located at the back yard of 805 Vassar Road is currently covered with dirt, stones, pebbles, boulders, and mulch, etc.

A complete report of the drainage investigation by Staff of the Departments of Transportation & Environmental Services and Code Administration will be included in the Staff Report to be presented to the Planning Commission when this item goes for a hearing.

In the meantime, if you have any questions, please let me and/or Mr. Lambert know.

Satya (S.P.) Singh, Ph.D., P.E., LEED AP BD+C  
Civil Engineer IV  
(703) 746-4062

---

**From:** don.brady06 [<mailto:don.brady06@comcast.net>]

**Sent:** Thursday, July 23, 2015 8:29 PM

**To:** Yon Lambert

**Cc:** Satya Singh; William Skrabak; Maurice Daly; Helen Lloyd

**Subject:** Re: Water Report related to proposed subdivision on Vassar Road

Ok. Thanks.

Don Brady

----- Original message -----

From: Yon Lambert

Date:07/23/2015 7:13 PM (GMT-05:00)

To: "don.brady06"

Cc: Satya Singh ,William Skrabak ,Maurice Daly ,Helen Lloyd

Subject: Re: Water Report related to proposed subdivision on Vassar Road

Thanks. We have been doing this. Dr. Singh contacted a number of residents today.

Sent from my iPhone

On Jul 23, 2015, at 7:12 PM, don.brady06 <[don.brady06@comcast.net](mailto:don.brady06@comcast.net)> wrote:

Mr. Lambert,

Thanks for your note. Our understanding is that a team had already been through our yards on Crown View Drive a couple of weeks ago. Should I alert neighbors that engineering staff will be coming into our yards tomorrow?

Don Brady

Don Brady

----- Original message -----

From: Yon Lambert

Date:07/23/2015 6:53 PM (GMT-05:00)

To: Don Brady

Cc: Satya Singh ,William Skrabak ,Maurice Daly

Subject: RE: Water Report related to proposed subdivision on Vassar Road

Dear Mr. Brady,

Thank you for your email. Satya Singh from our engineering staff will be going out with a team from our Public Works Services group on Friday to investigate the culvert / storm sewer. Once the investigation is completed then we will be preparing a report, which Dr. Singh will share.

If you have any questions, please feel free to contact me or Dr. Singh who is copied on this email.

Best,

Yon

Yon Lambert, AICP

Director

Dept. of Transportation & Environmental Services

City of Alexandria, Va.

t. 703.746.4025

m. 571.220.0842

[www.alexandriava.gov](http://www.alexandriava.gov)

---

**From:** Don Brady [<mailto:don.brady06@comcast.net>]

**Sent:** Thursday, July 23, 2015 12:52 PM

**To:** Yon Lambert

**Subject:** Re: Water Report related to proposed subdivision on Vassar Road

Mr. Lambert,

Just checking in with you on how we are doing with the water report?

Thank you very much,  
Don Brady

---

**From:** "Yon Lambert" <[Yon.Lambert@alexandriava.gov](mailto:Yon.Lambert@alexandriava.gov)>  
**To:** "Don Brady" <[don.brady06@comcast.net](mailto:don.brady06@comcast.net)>  
**Sent:** Thursday, July 16, 2015 6:31:34 PM  
**Subject:** RE: Water Report related to proposed subdivision on Vassar Road

Dear Mr. Brady,

Thank you for your email. I have shared your email with the lead Civil Engineer in T&ES that has been working on this project but he is out on vacation this week, returning Monday, July 20. As soon as he returns, we will follow up with you to provide the most current information and schedule a meeting at which we can review the reports and address any questions you may have. As I understand, staff from T&ES and Code Administration performed the requested site visit as I have seen some correspondence (including coordination with neighbors) but I would like to ensure we provide you with the most up-to-date information.

Thank you for your patience and we will be back in touch as soon as possible.

All the best,  
Yon

Yon Lambert, AICP  
Director  
Dept. of Transportation & Environmental Services  
City of Alexandria, Va.  
t. 703.746.4025  
m. 571.220.0842  
[www.alexandriava.gov](http://www.alexandriava.gov)

---

**From:** Don Brady [<mailto:don.brady06@comcast.net>]  
**Sent:** Thursday, July 16, 2015 8:07 AM  
**To:** Yon Lambert  
**Cc:** don brady06  
**Subject:** Water Report related to proposed subdivision on Vassar Road

Mr. Lambert,

My name is Don Brady. My wife and I live at 408 Crown View Drive and are opposed to the proposed subdivision on Vassar Road. At the City Council Meeting during which the City Council sent the proposal back to Planning Commission for reconsideration, City staff members were asked about storm water management and water quality concerns raised by neighbors adjacent to the proposed subdivision.

City staff in attendance at the meeting stated that they would visit the site the next day to investigate the water problems identified by citizens and visited the site soon after the hearing. We have heard nothing and have had no contact since the staff were on-site. We met with Karl Moritz and his staff on July 7th and were told that the water issues were the responsibility of the Transportation and Environmental Services Department.

The purpose of this email is to request a copy of the report that was promised at the City Council meeting and to request a meeting with you, our neighbors and relevant staff to review your findings/recommendations. We would like a copy of the report prior to the meeting so we can be informed when we sit down to discuss the report. In addition, we would also like to understand how your department works with the planning department on these kinds of subdivision proposals.

We are still unclear on the schedule for the reconsideration of the proposed subdivision and we believe that time is of the essence. We would like to schedule a meeting with you very soon, perhaps next week. If you would be so kind as to provide us a copy of the report and some times you are available to meet with citizens, I can coordinate times that most of our neighbors will be able to participate.

My cell phone is 703-861-7709 and my office phones are 703-305-7695 or 703-305-7092. I can also be reached at this email. I thank you in advance for your consideration.

Donald J. Brady, Ph.D.



**DEPARTMENT OF CODE ADMINISTRATION**

John D. Catlett  
Director

301 King Street  
Room-4200  
Alexandria, Virginia 22314

Phone (703) 746-4200  
Fax (703) 549-4589  
alexandriava.gov

**PP # 2012 – 13**

**DATE: JANUARY 1, 2013**

**TO: CODE ADMINISTRATION CUSTOMERS AND STAFF**

**FROM: JOHN CATLETT, DIRECTOR**

**SUBJECT: SOIL EVALUATION, 1 & 2 FAMILY DWELLING CONSTRUCTION**

---

This policy is intended to provide guidance for determining the general soils suitability for 1 & 2 family dwelling construction.

**New Dwellings**

Prior to permit issuance, new dwellings shall have a soil suitability report - signed and sealed by a Commonwealth of Virginia licensed design professional.

Soil suitability report – or geotechnical exploration report - shall follow accepted methods, guidelines and practices set forth by ASTM, ASCE, AASHTO, AEG, etc. Site exploration bore logs shall be included detailing USCS soil classification and physical properties, including any potential problems discovered (expansive ‘marine clay’ soils, plastic soils, contaminated soils, wetlands, expansive soils, high water table, buried debris, uncontrolled fill, low bearing capacity, slope instability, etc.). The report shall include recommended foundation designs and if problem soils encountered, recommended soil remediation.

The licensed design professional or his/her agent shall inspect the foundation in-situ soil prior to placement. The inspection shall verify soil load-bearing capacity based on the soil suitability report and verify the foundation will bear on natural in-situ soils or on properly controlled and certified structural fill. Furthermore, the licensed design professional or his/her agent shall evaluate backfill soil/material suitability.

The plans examiner shall attach a copy of the report to the approved field plan set and upload the report into the permit case. The building inspector shall confirm all required soils and foundation inspections are performed as required by the Virginia Residential Code and the soil suitability report.

The building official may waive the soil suitability report requirements based on justification, such as a recent soil report from adjacent lots or previous reports from the same lot. When the report requirement is waived, the plans examiner shall document the waiver within the permit case and on the approved plan sets.

## **Additions to Existing Dwellings**

Prior to permit issuance, two options are available for additions to existing dwellings:

1. Submit a soil suitability report - signed and sealed by a Commonwealth of Virginia licensed design professional as outlined within "New Dwellings" requirements.
2. The building foundation shall be designed per the Virginia Residential Code's (VRC) minimum presumptive soil load-bearing capacity – 1,500 pounds per square-foot. A licensed design professional or his/her agent shall inspect the foundation in-situ soil prior to footing placement. The inspection shall verify soil load-bearing capacity based on the soil suitability report or VRC's minimum presumptive soil load-bearing capacity – 1,500 pounds per square-foot. Furthermore, the licensed design professional or his/her agent shall verify the foundation will bear on natural in-situ soils or on properly controlled and certified structural fill and evaluate backfill soil/material suitability.

## **Adding Additional Stories (Loads) to Existing Foundations ("Pop-Up" additions)**

Prior to permit issuance, an evaluation report - signed and sealed by a Commonwealth of Virginia licensed design professional - is required to verify the existing foundation and supporting in-situ soils are adequate to transfer the added "pop-up" addition loads.

## **Decks and Porch (any size) and Accessory Structures (Sheds/Detached Garages) greater than 200ft<sup>2</sup>**

No requirements prior to permit issuance. During the foundation inspections, the building inspector shall determine if problem soils are present and if so, necessary remediation.

## **Retaining Walls**

- Retaining walls supporting less 2 feet of unbalanced fill do not require a building permit.
- Prior to permit issuance, retaining walls supporting between two feet and five feet of unbalanced fill have three options: either comply with Code Administration's "Retaining Wall Detail Package" or; base the foundation design per the Virginia Residential Code's minimum presumptive soil load-bearing capacity – 1,500 pounds per square-foot or the pool foundation shall be or; submit a soil suitability report - signed and sealed by a Commonwealth of Virginia licensed design professional as outlined within "New Dwellings" requirements above.
- Prior to permit issuance, retaining walls supporting more than five feet of unbalanced fill shall submit a soil suitability report - signed and sealed by a Commonwealth of Virginia licensed design professional as outlined within "New Dwellings" requirements above.

In addition, a licensed design professional or his/her agent shall inspect the foundation in-situ soil prior to placement. The inspection shall verify soil load-bearing capacity based on the soil suitability report or VRC's minimum presumptive soil load-bearing capacity – 1,500 pounds per square-foot. Furthermore, the licensed design professional or his/her agent shall verify the foundation will bear on natural in-situ soils or on properly controlled and certified structural fill and evaluate backfill soil/material suitability.



## **In-Ground Swimming Pool**

Prior to permit issuance, two options are available for in-ground swimming pools:

1. Submit a soil suitability report - signed and sealed by a Commonwealth of Virginia licensed design professional as outlined within "New Dwellings" requirements.
2. The building foundation shall be designed per the Virginia Residential Code's minimum presumptive soil load-bearing capacity - 1,500 pounds per square-foot. A licensed design professional or his/her agent shall inspect the foundation in-situ soil prior to placement. The inspection shall verify soil load-bearing capacity based on the soil suitability report or VRC's minimum presumptive soil load-bearing capacity - 1,500 pounds per square-foot. Furthermore, the licensed design professional or his/her agent shall verify the foundation will bear on natural in-situ soils or on properly controlled and certified structural fill and evaluate backfill soil/material suitability.

## **Foundation Drainage Systems**

No requirements prior to permit issuance. During the foundation drainage inspection, the building inspector shall determine if problem soils are present and if so, necessary remediation. Foundation drainage shall be installed in accordance with the Virginia Residential Code.

## **Foundation Repairs**

Prior to permit issuance, foundation repairs - bowed or bulged foundation walls or slabs, wall or slab displacement cracks, underpinning, foundation drain installation and/or backfill replacement, pilings, helical piers, cement or chemical grouting, slope stabilization, etc. - shall have a soil suitability report - signed and sealed by a Commonwealth of Virginia licensed design professional as outlined within "New Dwellings" requirements. The report shall include probable cause of damage and repair recommendations.

A licensed design professional or his/her agent shall inspect the foundation in-situ soil prior to placement. The inspection shall verify soil load-bearing capacity based on the soil suitability report and confirm fluid pressure design is appropriate as necessary. Furthermore, the licensed design professional or his/her agent shall verify the foundation will bear on natural in-situ soils or on properly controlled and certified structural fill and evaluate backfill soil/material suitability.

## **Structural Slab**

Prior to permit issuance, two options are available for structural slabs:

1. Submit a soil suitability report - signed and sealed by a Commonwealth of Virginia licensed design professional as outlined within "New Dwellings" requirements.
2. The building foundation shall be designed per the Virginia Residential Code's minimum presumptive soil load-bearing capacity - 1,500 pounds per square-foot. A licensed design professional or his/her agent shall inspect the foundation in-situ soil prior to placement. The inspection shall verify soil load-bearing capacity based on the soil suitability report or VRC's minimum presumptive soil load-bearing capacity - 1,500 pounds per square-foot. Furthermore, the licensed design professional or his/her agent shall verify the foundation will bear on natural in-situ soils or on properly controlled and certified structural fill and evaluate backfill soil/material suitability.

# FW: Information on Vassar Road

Alex Dambach

Wed 10/21/2015 8:14 PM

Inbox

To: PlanComm <PlanComm@alexandriava.gov>;

This e-mail needs to go in the Vassar Road packet for the Planning Commission

Alex Dambach, AICP  
Division Chief – Land Use Services  
City of Alexandria  
301 King Street, Rm 2100  
Alexandria, VA 22314  
Office: 703-746-3829  
Mobile: 571-393-7339  
[alex.dambach@alexandriava.gov](mailto:alex.dambach@alexandriava.gov)  
[www.alexandriava.gov](http://www.alexandriava.gov)

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**From:** George Byrne  
**Sent:** Thursday, October 08, 2015 11:54 AM  
**To:** Alex Dambach  
**Cc:** Bryan Page  
**Subject:** RE: Information on Vassar Road

Good morning Alex:

The broad question posed to me was whether I believed a single residential lot subdivision would disturb the more recent years' upward dynamic of value for Clover and College Park.

I have observed much evidence, new construction of rear and side additions and second stories on existing one story improved properties, which broadly indicate a positive value trend for these neighborhoods at present. Since the filing of the Vassar Road lot subdivision proposal, I have not recognized any noticeable effects on subsequent sale prices continuing during 2015. This is a broad observation and it presumes that all buyers were fully aware of the subdivision filing, which may well not be true. However, the positive value trending is broadly observed over most all of the R-5 and R-8 zoned single-family parcels in SAP 14 and Central Alexandria as well. This broad positive value trending is believed to have its basis in larger and stronger market influences than events in individual neighborhoods. In other words, the larger market forces controlling value trends, even on and in individual neighborhoods, are so broad and well established over recent years, that it is doubtful that a small event such as a normal subdivision will have a measurable influence on its continuity.

I hope this is sufficient an answer to your question. If you have other questions regarding local market observations, let me know.

George L Byrne

Senior Real Estate Appraiser  
Office of Real Estate Assessments  
City of Alexandria, Virginia  
(703) 746-4153  
[George.byrne@alexandriava.gov](mailto:George.byrne@alexandriava.gov)

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**From:** Alex Dambach  
**Sent:** Thursday, October 08, 2015 10:05 AM  
**To:** Bryan Page  
**Cc:** George Byrne  
**Subject:** Information on Vassar Road

Bryan. Hi. I am trying to get some information for the Vassar Road project. I heard through the grapevine that George Byrne in your office would be a good person for me to speak with. Would it be possible for me to speak with him today? Thanks.

Alex Dambach, AICP  
Division Chief – Land Use Services  
City of Alexandria  
301 King Street, Rm 2100  
Alexandria, VA 22314  
Office: 703-746-3829  
Mobile: 571-393-7339  
[alex.dambach@alexandriava.gov](mailto:alex.dambach@alexandriava.gov)  
[www.alexandriava.gov](http://www.alexandriava.gov)

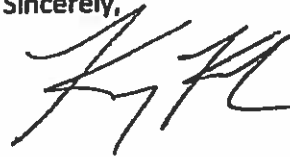
To: City of Alexandria Planning Commission

Subject: Support of 809/811 Vassar Road Subdivision

To Whom It May Concern:

As neighbors of the Hales, we would like to lend our support to the proposed subdivision of 809 and 811 Vassar. The proposed subdivision easily meets the standards for subdivision in R-8 zoning. We believe it is also in keeping with the character of the neighborhood (including lot size, frontage, square footage, orientation, etc). We hope you will approve their request.

Sincerely,



Name: Kenny Lesley Kalkan  
Date: 3/15/15  
Address: 805 VASSAR Rd.  
Alexandria, VA 22304

To: City of Alexandria Planning Commission

Subject: Support of 809/811 Vassar Road Subdivision

To Whom It May Concern:

As neighbors of the Hales, we would like to lend our support to the proposed subdivision of 809 and 811 Vassar. The proposed subdivision easily meets the standards for subdivision in R-8 zoning. We believe it is also in keeping with the character of the neighborhood (including lot size, frontage, square footage, orientation, etc). We hope you will approve their request.

Sincerely,



Name: MICHAEL F. CANNON  
Date: 3/17/15  
Address: 501 CROWN VIEW DR.  
ALEXANDRIA, VA 22314

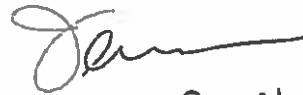
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Sincerely,



Name: Jennifer Abbruzzese

Date: 3/16/15

Address: 515 Crown View Dr.  
Alexandria, VA 22314

To: City of Alexandria Planning Commission

Subject: Support of 809/811 Vassar Road Subdivision

To Whom It May Concern:

As neighbors of the Hales, we would like to lend our support to the proposed subdivision of 809 and 811 Vassar. The proposed subdivision easily meets the standards for subdivision in R-8 zoning. We believe it is also in keeping with the character of the neighborhood (including lot size, frontage, square footage, orientation, etc). We hope you will approve their request.

Sincerely,



Name: Thomas P. Walczykewski  
Date: 3/16/15  
Address: 405 Chaseway Dr  
Alexandria, VA 22314

To: City of Alexandria Planning Commission

Subject: Support of 809/811 Vassar Road Subdivision

To Whom It May Concern:

As neighbors of the Hales, we would like to lend our support to the proposed subdivision of 809 and 811 Vassar. The proposed subdivision easily meets the standards for subdivision in R-8 zoning. We believe it is also in keeping with the character of the neighborhood (including lot size, frontage, square footage, orientation, etc). We hope you will approve their request.

Sincerely,

*Deyster Van Wagner*

Name: Deyster Van Wagner  
Date: 3/16/15  
Address: 307 Cambridge Rd  
Alex, VA



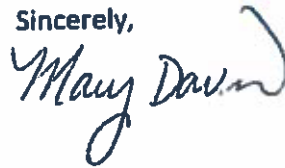
To: City of Alexandria Planning Commission

Subject: Support of 809/811 Vassar Road Subdivision

To Whom It May Concern:

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Sincerely,



Name: Mary + Michael Davis

Date: 3/16/15

Address: 309 Cambridge Rd  
Alexandria, VA 22314

Date: March 16, 2015

To: City of Alexandria Planning Commission

Subject: Support for 809/811 Vassar Road Subdivision

To whom it may concern:

As a neighbor of the Hales, I would like to lend my support to the proposed subdivision of 809 and 811 Vassar. The proposed subdivision easily meets the standards for subdivision in R-8 zoning. I believe it is also in keeping with the character of the neighborhood (including lot size, frontage, square footage, orientation, etc). I encourage you to approve their request.

Sincerely,



Name: Brooksany Barrowes

Address: 201 Ellsworth Street  
Alexandria VA, 22314

To: City of Alexandria Planning Commission

Subject: Support of 809/811 Vassar Road Subdivision

To Whom It May Concern:

As neighbors of the Hales, we would like to lend our support to the proposed subdivision of 809 and 811 Vassar. The proposed subdivision easily meets the standards for subdivision in R-8 zoning. We believe it is also in keeping with the character of the neighborhood (including lot size, frontage, square footage, orientation, etc). We hope you will approve their request.

Sincerely,



Name: JOCELYN PARKS

Date: 03/16/15

Address: 1255 DARTMOUTH CT

ALEXANDRIA, VA 22314

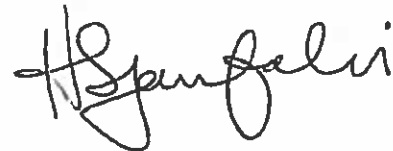
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Subject: Support of 809/811 Vassar Road Subdivision

To Whom It May Concern:

As neighbors of the Hales, we would like to lend our support to the proposed subdivision of 809 and 811 Vassar. The proposed subdivision easily meets the standards for subdivision in R-8 zoning. We believe it is also in keeping with the character of the neighborhood (including lot size, frontage, square footage, orientation, etc). We hope you will approve their request.

Sincerely,



Name: Hollie Samostali  
Date: March 16, 2015  
Address: 1213 Quaker Hill Dr  
Alexandria VA 22314

To: City of Alexandria Planning Commission

Subject: Support of 809/811 Vassar Road Subdivision

To Whom It May Concern:

As neighbors of the Hales, we would like to lend our support to the proposed subdivision of 809 and 811 Vassar. The proposed subdivision easily meets the standards for subdivision in R-8 zoning. We believe it is also in keeping with the character of the neighborhood (including lot size, frontage, square footage, orientation, etc). We hope you will approve their request.

Sincerely,



Name:

Kristin Ellis

Date:

3-16-2015

Address:

1277 Quaker Hill Dr.  
Alexandria, VA 22314

April 27, 2015

City of Alexandria  
Department of Planning and Zoning  
301 King Street, Room 2100  
Alexandria, VA 22314

Re: Subdivision 2014-0014  
809 and 811 Vassar Road  
Applicants Stephen and Mary Hales

Dear Members of the Planning Board:

We are writing to respectfully express our disagreement with the proposed subdivision of 809 and 811 Vassar Road. We are residents of the Clover neighborhood, many of us owners of properties adjacent to Mr. and Mrs. Hales' two lots. Since we learned of the proposal two weeks ago, some of us have spent hours meeting together, walking the lots with Mr. Hales, and pondering what this decision might mean to our neighborhood.

Zoning Ordinance #4652, Section 11-1710B states, "No lot shall be re-subdivided in a manner as to detract from the value of adjacent property." In this letter we hope to show that subdividing the lots will not only detract from the value of the properties adjacent to those of the Hales, but will also negatively impact the historic, aesthetic, environmental, and financial value of the properties in Clover.

The Clover neighborhood is over 60 years old. President Gerald Ford and his wife were the original owners of 514 Crown View Drive (a property adjacent to the Hales' home), which was built in 1955. The Ford connection is a point of pride in the neighborhood; 514 Crown View has a historic plaque, and surrounding houses still have old-fashioned alarm lights over their garage doors which the Secret Service installed during the transition period when Ford was President but had not yet moved into the White House. Homes in Clover have been owned by generals, admirals, authors, and other noted figures. The neighborhood is stable; to our knowledge, no subdivision has ever taken place since it was originally laid out in the 1950s. Indeed, this neighborhood would be a good candidate for Historic designation by the City of Alexandria.

The five lots at the top of Vassar Road – 401 Cloverway Drive (which faces Vassar), and 809, 811, 812, and 814 Vassar – are some of the largest and most beautiful in all of Clover. They are located together at the highest topographic point in the neighborhood. They average 0.4 acres each and are laid out with spacious homes. They have the highest property values. One could say that the top of Vassar Road is the "crown jewel" of Clover. The Hales' plan would reduce the size of two of

those big, beautiful lots to the neighborhood "average." The large homes on both lots would be strangely proportioned in their suddenly-smaller, reshaped yards. That would be a sad comedown for this admired part of the neighborhood.

No homeowner wants to be robbed of open area views and sunlight. The site of the proposed new lot has been defined by large, open landscaped areas for these 60 years, and all of us had every reason to believe it would stay that way, because the neighborhood was clearly subdivided and no parcels have ever been re-subdivided. This is part of what we paid for to live in our particular homes. Homeowners on Crown View Drive who live downhill from the lots in question planned their back yard landscaping, as well as their patios and back windows, around this open space. Now we are told that the space may be re-subdivided and a home of at least two stories will likely be built upon it. It is reasonable to surmise that property values will be negatively affected by the loss of beautiful views and sunlight. Some of us will have to put in trees and other costly landscaping features to hide the "new" view of the back of a two-story home. There will be a loss of privacy as well as a feeling of being squeezed in. It is unfair to those of us who have lived here peacefully for years to suddenly have to deal with this inconvenience and these losses.

We have significant concerns related to the management of water runoff from any future structure built on the new lot. The proposed new lot is about ten feet higher than the adjacent lots on Crown View Drive. Runoff from the higher lots on Vassar Road has already created many issues with Crown View Drive property owners over the years, resulting in wet backyards, flooded basements, and foundation repairs. This is a natural result of the impervious clay soil of the neighborhood coupled with the sloping nature of the lots. The existing open space between 809 and 811 Vassar has provided a natural means of absorbing a significant amount of water. Any new structure on the proposed lot will take much of this absorptive ground away. The water coming off the roof of a future structure has to go somewhere. Unfortunately, that somewhere will be the backyards and foundations and retaining walls of several property owners on Crown View Drive. This will create a constant water management problem for these owners. The price of the consequences will fall to homeowners on Crown View Drive in the way of increased maintenance costs, landscape impacts, and decreased property values. In addition, we are concerned about the potential impacts any new construction might have on the 12" storm water line on the northeast side of new lot 625.

While Clover is a beautiful community with an interesting history, its future is clearly fragile. The houses and many of the trees are 60 years old. Many owners – some of whom are original to the neighborhood – are growing older and will either "age in place" (which will require some remodeling of their homes) or have to move out of the neighborhood altogether, making way for younger families. Homes will need renovation and repair. Older trees will need to be monitored and eventually replaced with new trees. Infrastructure will wear out and need to be updated, or new infrastructure will need to be installed to keep up with technological demands.

If changes are made thoughtfully, with a deep appreciation of the neighborhood's original beautiful, tasteful design, Clover can continue to thrive for generations to come. However, disruptive actions like re-subdividing lots and building homes where none have existed before can set a precedent that will tip the balance and set neighbor against neighbor. Just because a property owner "can" do something does not mean it is in the best interest of the neighborhood as a whole.

We respectfully request that you vote to NOT APPROVE the re-subdivision of 809 and 811 Vassar Road and keep the neighborhood in its present state. Thank you for your consideration.

Ade M Helen Lloyd

514 CROWN VIEW DRIVE  
ARLINGTON VA 22314

Tim Lloyd TIM LLOYD

514 CROWN VIEW DRIVE

David Rust DAVID RUST

Rebecca Rust Rebecca Rust

103 751-1620  
506 Crown View Drive

Deana Rhodeside Deana Rhodeside 414 Crown View Drive

Paul

415 Crown View Drive



Forman (Zorana LLC)

500 Crown View Dr.

Lauren Roberts  
+ JANE SANDUS

807 Clovercrest Dr.

C. Wayne Summers

407 Crown View Dr.

Marie Summers

407 Crown View Dr.

Deborah G. Nagle Deborah Nagle  
Donald J. Brady D. Brady

408 Crown View Dr.

Douglas Eric's

407 Cloverway Dr.

C/Rebell

407 Cloverway Dr.

Adele, Matt

316 Crown View

Gail + W.J. Workless

313 Crown View Dr

Adele and John Augustine

315 Crown View Drive

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Ann and Glenn Spitzer

314 Crown View Dr.

Melinda Mount

312 Crown View Dr.

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We respectfully request that you vote to NOT APPROVE the re-subdivision of 809 and 811 Vassar Road and keep the neighborhood in its present state. Thank you for your consideration.

Citra Dawson  
505 Crown View Dr.

Deborah Dawson  
505 Crown View Dr

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May 4, 2015

City of Alexandria  
Department of Planning and Zoning  
301 King Street, Room 2100  
Alexandria, VA 22314

Re: Subdivision 2014-0014  
811 and 809 Vassar Road

Dear Planning Commission Members and City Staff,

This letter is in response to the letter dated April 27, 2015 sent to you by some concerned neighbors of the Clover/College Park neighborhood. We respect their right to raise concerns about the proposed subdivision, but want to address some of the points that are made in the letter.

The prevailing argument contained in the letter is that the proposed subdivision will have a negative impact on surrounding properties, by "detracting from the value of adjacent property." They use the possibility of a future structure as well as characteristics of that structure (height, depth, etc.) to underpin their argument. We believe that the case *Seymour vs. City of Alexandria* clearly demonstrates that any characteristics of a future structure on the lot cannot be considered in the subdivision request.\*\* The court ruled that "the City could not consider the anticipated improvements on Seymour's proposed lots when considering Seymour's resubdivision application." In that case, the City itself conceded that, "[t]he division of land into lots is a purely legal construct that, by itself, can have no effect on the value of anything."

Even if the Seymour case is ignored and a future structure is considered, saying there will be a negative impact does not make it true. In fact, it could easily be argued that the subdivision will increase property values. A new home on the lot will likely sell for 1.2 to \$1.4 million (as evidenced by the recent sales of 315 Vassar for \$1.225 Million and 1110 Trinity for \$1.395 Million), and would be another improvement, in a long line of teardowns and renovations that have enhanced the quality of housing stock in Clover/College Park. These additions to the neighborhood are "raising all the boats" by increasing property values across the board. This can be observed by looking at increased property tax assessments by all residents of Clover/College Park. These are objective facts that support approval of the subdivision.

The neighbors' letter mentions the lack of subdivisions in Clover/College Park. This is untrue. In 2011, the City Staff and Planning Commission approved the subdivision of 400 Princeton Blvd (which becomes Vassar Rd as it turns the corner), which created 402 Princeton Blvd. 402 Princeton Blvd is exactly 8 lots away from 811 Vassar Rd. That subdivision has not caused property values to decline. In fact, values in the entire neighborhood have increased since 2011.

Another neighbor concern is the change in lot sizes as a result of the subdivision. The properties at 811 and 809 are indeed larger than most of the lots in the neighborhood. The proposed lot for 627 will be

14,382 Square Feet, or exactly one third of an acre – still much larger than nearly all other lots in the neighborhood. Lot 626 and 625 will be 9453 SF and 9891 SF respectively, both of which are larger than every other lot on that side of the street, with the exception of the last one, which is a corner lot. The City Staff Report addresses the issue of lot size and describes in detail why these lots fit in with the character of the neighborhood.

Storm water runoff is also mentioned as a concern. The City Staff Report clearly states that any future development would have to include a storm water management plan to handle water flow from the property. We are committed to meeting our responsibilities in this area, at the appropriate time. That time has not arrived, as we have no immediate plans to build on the property.

As property owners, we are seeking no relief from the City. We are not asking for variances of any kind or for special exceptions to rules and regulations. The facts are clear: R-8 zoning, by definition, requires a minimum lot size of 8000 Sq. Ft. We meet this threshold. The zoning also requires a minimum frontage of 40 feet, 65 feet at the building line, and 8 foot setbacks off the property line. We meet these thresholds. Finally, City Staff has determined that the lots are in character with the neighborhood.

The future of Clover/College Park is bright. It is vibrant. Change is all around and it is fantastic. Improvements are being made to properties all over, enhancing neighborhood aesthetics and increasing property values. I hope that you will confirm the City Staff's recommendation and approve the proposed subdivision.

Sincerely,



Stephen and Mary Hales  
811 Vassar Road  
Alexandria, VA 22314

**\*\*Notes from Seymour vs. City of Alexandria**

Pursuant to section 9.24 of the City Charter, sections 11-1701 and 11-1710(B) of the Ordinance involve the division of land and do not concern building and zoning specifications. The trial court properly distinguished zoning and subdivision regulations based on the power authorized under the City's Charter. Fogarty, the Director of the Department of Planning and Zoning, correctly advised the Planning Commission that "the term 'lot' in Subsection 11-1710(B) [sic] refers to really the use of the land, and not so much the design of the structures that are built on the property." Accordingly, we hold that Judge Kemler correctly ruled that the City could not consider the anticipated improvements on Seymour's proposed lots when considering Seymour's resubdivision application. See also Board of Supervisors v. Countryside Inv. Co., 258 Va. 497, 504-05, 522 S.E.2d 610, 613-14 (1999) (holding that the local government could not deny a subdivision based on zoning considerations).

Section 11-1710(B) prohibits the approval of a subdivision that will "detract from the value of adjacent property." The City conceded in an interrogatory answer that "[t]he division of land into lots is a purely legal construct that, by itself, can have no effect on the value of anything." Therefore, the Planning Commission erred in denying Seymour's resubdivision application on the basis that, as the City explained in answering an Interrogatory, "the Commission was not satisfied that the lots, as improved, would be compatible with the value of the adjacent lots."

James Hurysz  
2863 South Abingdon Street  
Arlington VA 22206

Mary Hynes  
Chair,  
Arlington County Board  
2100 Clarendon Boulevard, Suite 300  
Arlington VA 22201

Emma Violand-Sanchez  
Chair,  
Arlington School Board  
1426 North Quincy Street  
Arlington VA 22201

Dear Mrs. Hynes and Ms. Violand-Sanchez:

As you are aware, I and my neighbors are concerned about future deterioration of quality of life in the neighborhoods around Abingdon School.

As you may also be aware, a site plan has been filed with the City of Alexandria for the redevelopment of a large parcel (Alexandria Gateway) at the intersection of King and Beauregard Streets. This will be a large mixed-use redevelopment - office, supermarket, commercial and residential. The site plans will be going to the Alexandria Planning Commission and Alexandria City Council for approval in November.

Please note the following data from the site plans:

Total Parking Required – 1190 Spaces  
Total Parking to be Provided – 808 Spaces  
Total Bicycle Parking – 232 Spaces  
Total Vehicle Trips Generated Per Day – 10,959

Total Residential Units – 352  
Total Retail and Grocery Area – 115,803 Sq Ft  
Total Office Area – 94,374 Sq Ft

The site plans submitted to the City of Alexandria include no active open space on-site. There is one small park (about 2/3 acre) located in the City of Alexandria close to the site.

The nearest active open space, active recreation space, sports facilities, trails, community centers, to the Alexandria Gateway site are located across King Street in Arlington County (e.g., Wakefield High School, Barcroft Sports Center, Water Reed Trail, Fairlington Villages, South Fairlington Community Center).

*It is one thing for the County Board and School Board to repurpose public infrastructure in Arlington for various purposes, like new schools. It's quite another for an adjacent jurisdiction to make Arlington a de facto public infrastructure provider.*

September 29, 2015

# FW: Vassar Road Subdivision - Water Report

Alex Dambach

Wed 10/21/2015 8:29 PM

Inbox

To: PlanComm <PlanComm@alexandriava.gov>;

 1 attachment (691 KB)

Water Report for Lots Affected by Vassar Road Subdivison.pdf

This e-mail and attachment need to go in the Vassar Road packet for the Planning Commission.

Alex Dambach, AICP  
Division Chief – Land Use Services  
City of Alexandria  
301 King Street, Rm 2100  
Alexandria, VA 22314  
Office: 703-746-3829  
Mobile: 571-393-7339  
[alex.dambach@alexandriava.gov](mailto:alex.dambach@alexandriava.gov)  
[www.alexandriava.gov](http://www.alexandriava.gov)

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**From:** Helen Lloyd [mailto:[henalloyd@yahoo.com](mailto:henalloyd@yahoo.com)]

**Sent:** Monday, June 22, 2015 12:01 PM

**To:** Philip Pugh

**Cc:** Gregg Fields; William Skrabak; Satya Singh; James Hunt; Alex Dambach; Tim Lawmaster; Charles Cooper

**Subject:** Vassar Road Subdivision - Water Report

Attached is a summary of the water issues experienced by neighbors of the proposed subdivision on Vassar Road. We look forward to seeing these issues represented in the report carried out by City staff.

Thanks,

Helen Lloyd  
703-244-2041



## **Water Issues: Information to be included in the City Report into Water Issues Regarding the Proposed Subdivision on Vassar Road**

**Clover is built on marine clay and as such naturally has drainage issues whenever a new structure is built. Currently the area of the proposed new lot on Vassar Road, several feet above Crown View Drive, is covered in vegetation so when it rains water infiltrates into the ground. Once you remove this vegetation water issues arise, as has been evidenced multiple times in the past along Crown View Drive. Additionally, this is an area of underground springs.**

### **514 Crown View Drive:**

- 2009-2010: Top retaining wall on right side of yard collapsed. Wood retaining fence installed to replace it.
- May 2009: Pool removed by professional licensed company. Yard was graded at the same time so that water drained to the right of the house and into a runoff in the front yard. No water issues concerning the yard itself since.
- Lower retaining wall continues to see damage which increases year on year - crumbling brickwork, leaning forwards.
- Upper retaining wall leans forwards at a dramatic angle. This is the wall that is closest to the Hales house and has seen a marked difference in the angle of its slope since the Hales put the addition on 811 Vassar Road directly behind.

### **506 Crown View Drive:**

- Retaining wall crumbling in places.
- Permanent damp patch on lawn a few feet away from the base of the pond – clearly visible. This permanent patch of water is not from the pond, but more likely from an underground spring, which was redirected when the addition was constructed at 811.

### **500 Crown View Drive:**

- The slope from the lots on the hill on Vassar Road begins to get much steeper at this point. The slope from the front building line of the proposed new lot is 10 feet higher than the rear of the lot. At the rear of the proposed new lot, the slope begins to become a steep drop off.
- There is a cement retaining wall that is around five feet tall that is crumbling and is clearly being compromised by water issues and the weight of water against it.

#### 414 Crown View Drive:

- The slope from the lots on the hill on Vassar Road is appears to be close to its steepest point at the junction with 414 Crown View Drive. The retaining wall is close to 10 feet high at this point.
- This retaining wall is stone unlike the others which are mainly brick. It contains the water as it flows into the vegetated soil of the proposed new lot above.
- French drain installed in yard 20 years ago to contain runoff after rain storms.
- Crown View drive residents witnessed a “torrent of muddy water” coming over the side of the rear retaining wall during construction on a lot on Vassar Road to the rear of this property (information from Craig Hudson). After this incident, the influential owner of 414 Crown View Drive, B.C. May, put pressure on Rozier Beech to get the problem fixed. The storm drain which was built on the property on Vassar Road above was seen as the immediate solution.

#### 408 Crown View Drive:

- The slope from the lots on the hill on Vassar Road is again close to its steepest point at the junction with 408 crown View Drive. The retaining wall is close to 8 feet high at this point.
- This retaining wall is stone unlike the others which are mainly brick. It contains the water as it flows into the vegetated soil of the proposed new lot

#### 407 Crown View Drive:

- For the past five years since they moved in the residents feel like they are fighting a losing battle with water in our basement. With heavy and/or consistent rain we can end up with anywhere from a trace to inches of water on the floor of our finished basement. Either this situation is deteriorating or the heavy rains have become more frequent (or some combination of the two), but things have definitely become much worse over the last year. The essential problem: when the ground water pressure is high enough, water is being pushed up between our basement slab and the foundation wall at the NW corner of our house. This happens after most significant rain events, and drainage to the sump pump is not always enough to deal with this water. We recently had a Foundation / Water Management specialist come out to inspect and are facing the prospect of spending thousands to solve this water issue.
- After heavy rains the downhill half of this backyard is often flooded by several inches of water for a couple of days. It shows just how much more water flows over this property than can be absorbed by it.

#### **404 Crown View Drive:**

- Deposits of damp mud seeping through the grout in the retaining wall. The grout in the stone wall crumbles. This property has also evidence of mineral deposits weeping through the grout (white and more pronounced) than the rest of the wall.
- Persistent dampness in back right corner of the lot, which abuts 809 Vassar for about a third of the yard. A beautiful Japanese black pine fell over after extreme runoff during one of the big storms related to a hurricane (believe it was 2009). Has been braced it and fill dirt added to keep it alive.
- The soil in our yard below 807 also remains damp, although weep holes are visible in the wall.
- Has experienced a basement flood on one occasion; seemingly through the basement floor drain backing up with groundwater.
- The residents are aware of neighbors who struggled with flooding from the underground stream.

#### **316 Crown View Drive:**

- This house has had a lot of water problems in the past few years. They have noted that their sump pump has been pumping out 20,000 gallons of water a day from runoff higher up the hill.
- The run off was so severe that it eroded the front yard completely away. The City had to come and install drainage to reroute the water and build back the eroded soil in the front yard.
- This property is directly behind new construction on Vassar Road.
- Pipes come down from Vassar Road, probably through this property through to the storm drain on Taylor Run. The pipes come down and through to the storm drain probably along the property line between 317 and 401 Crown View Drive.

#### **314 Crown View Drive:**

The residents of this property, who have owned this property for 37 years, testified about known water issues before City Council on 6/13/15. They have known of 4 water drainage situations, two in the past 5 years when new construction was going on behind Crown View Drive properties. They said they are not aware whether this was caused by the pipes that run through their back yard.

#### **317 Crown View Drive and 401 Crown View Drive:**

Information about water and drainage issues on these properties comes from:

- Landscape Architect Craig Hudson, who grew up at 501 Crown View. He worked for Nancy and Bill Smith at 811 and various owners at 809. He was aware of attempts to prevent runoff by the Smiths as well as the Paynes and subsequent owners of 809 Vassar. He can be contacted on 703-683-4137 or at [rchudson@verizon.net](mailto:rchudson@verizon.net).

Pipes come down and through to the storm drain probably along the property line between 317 and 401 Crown view Drive. The property directly opposite them is 316 which has a history of water issues.

According to Mr. Hudson the storm drain leads from there and probably empties into Taylor Run. He thinks an easement should probably be visible on the map between 317 Crown View and 401 Crown View Drive from which it would be possible to determine the location of the storm drain that goes to Taylor Run. This is probably down the lot line in between Vassar and Crown View.

#### **317 Crown View Drive:**

- Ongoing problems with water collecting in the driveway

#### **308 Crown View Drive:**

- Problems with standing water after rain to the right of the driveway and on the sidewalk

#### **809 Vassar Road:**

Information about water and drainage issues on this property comes from:

- Landscape Architect **Craig Hudson**. He can be contacted on 703-683-4137 or at [rchudson@verizon.net](mailto:rchudson@verizon.net).

According to Craig Hudson, drainage issues at 811/809 Vassar Road have been a longstanding concern of previous owners and he maintains that anyone who ever lived or owned 809 would have known about them.

Towards the rear of the proposed new lot is an industrial-sized storm drain with two drainage inlets.

Mr. Hudson maintains that the storm drain at the back of the proposed subdivided lot was installed between 1962-1964 after "a torrent of muddy water gushed down over the hill behind the house of Beverly C. May at 414 Crown View Drive and flowed into the yard." Beverly C. May owned the AB & W bus line between Arlington, Alexandria and D.C. and was extremely influential. Mr. Hudson believes that this event occurred while 809 and 811 were under construction.

Note #13 on the report by the Hales's surveyor states that "there is a storm sewer on site which **outfall** point cannot be determined."

Drainage issues also prompted the Paynes when they lived at 809 Vassar Road to install brick edging down the length of their property in order to keep water from the Smith's (811 Vassar Road) away from their house and to funnel it towards the storm drain. This is also the reason for the brick edging visible to this day around the large flower beds in that area.

### **811 Vassar Road:**

Information about water and drainage issues on this property comes from:

- Nancy and Bill Smith at Goodwin House who were the original owners of 811 from 1962 until they sold it to the Hales a couple of years ago. They can be contacted on 703-370-1808.
- Landscape Architect Craig Hudson. He can be contacted on 703-683-4137 or at [rchudson@verizon.net](mailto:rchudson@verizon.net).

According to the surveyor's plat, the Hales' addition extends about eight feet beyond the original patio at 811 Vassar Road that was approximately 15 feet wide. The original patio was impermeable. It was made of flagstone and probably set on a concrete pad and built long ago. There is, however, no way of knowing if the Hales dug down beneath it and down into the drainage field when they built their addition. To the best of our knowledge they did nothing to prevent runoff when they built their addition other than install gutters.

Bill Smith, the original owner of 811 Vassar Road, built an elaborate and permeable brick walk on his property and towards the storm drain at the rear of the proposed new lot. It was about 4 feet wide and 45 feet long and extended from the back of his yard to approximately the spot labeled #13 on the surveyor's plat of the proposed subdivision to the corner at the rear of 500 Crown View Drive.

For some reason, it does NOT appear on the plat (perhaps the Hales, not knowing why it was there, removed it). According to Mr. Hudson, it looked like an ordinary brick walkway. However, it is important because it indicates a long awareness of a water runoff problem.

According to Mr. Hudson, "it was expressly designed to funnel runoff water from Bill's (Smith at 811 Vassar Road) yard to the storm drain at the rear of what is the new lot."

Drainage issues also prompted the Paynes when they lived at 809 Vassar Road to install brick edging down the length of their property in order to keep water from the Smith's (811 Vassar Road) away from their house and to funnel it towards the storm drain. This is also the reason for the brick edging visible to this day around the flower beds in that area.

These may have been stop-gap solutions, but they worked well for years until the lots saw new construction in the past couple of years.

### **307 Vassar Road:**

- Water accumulation in the garage after new construction

### **Underground Springs:**

The area of Clover is known for underground springs.

- Historic maps have shown this
- The permanent wet patch on the lawn at 506 is probably the result of an underground spring being redirected, according to national water experts who live in our neighborhood
- One underground spring comes out on Janneys Lane. This was so marked that a fountain was built around it and is still there today at 810 Janneys lane

These two aerial images from 1938 show the existence of underground springs in the Clover. The road at the top of the map is Janneys Lane. In the second image, Cambridge Road is visible linking through to Duke Street. Just below Janneys Lane, the spring is visible in the form of an oval. This is currently the approximate location for 511 Crown View Drive, directly down the hill from 811 Vassar Road. The spring comes out into a fountain at 810 Janneys Lane, almost directly behind 511 Crown View Drive. To the far right of the aerial is Taylor Run.



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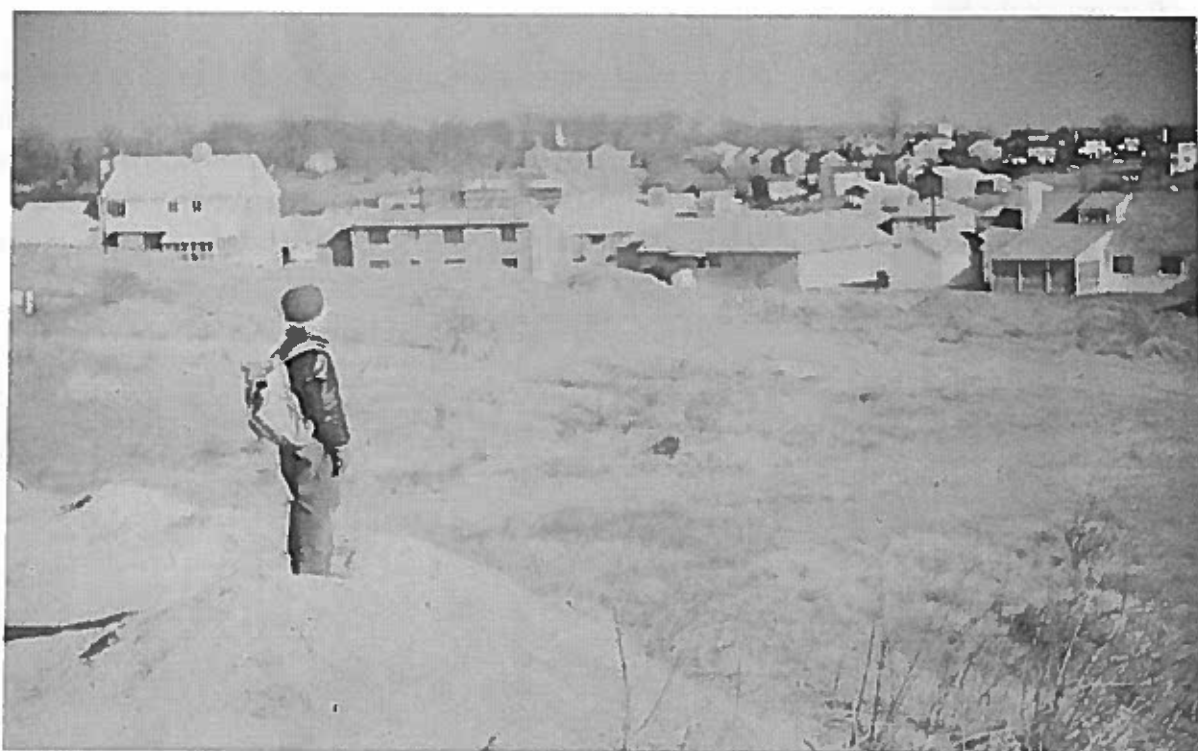


Image of the spring marker at 810 Janneys Lane.



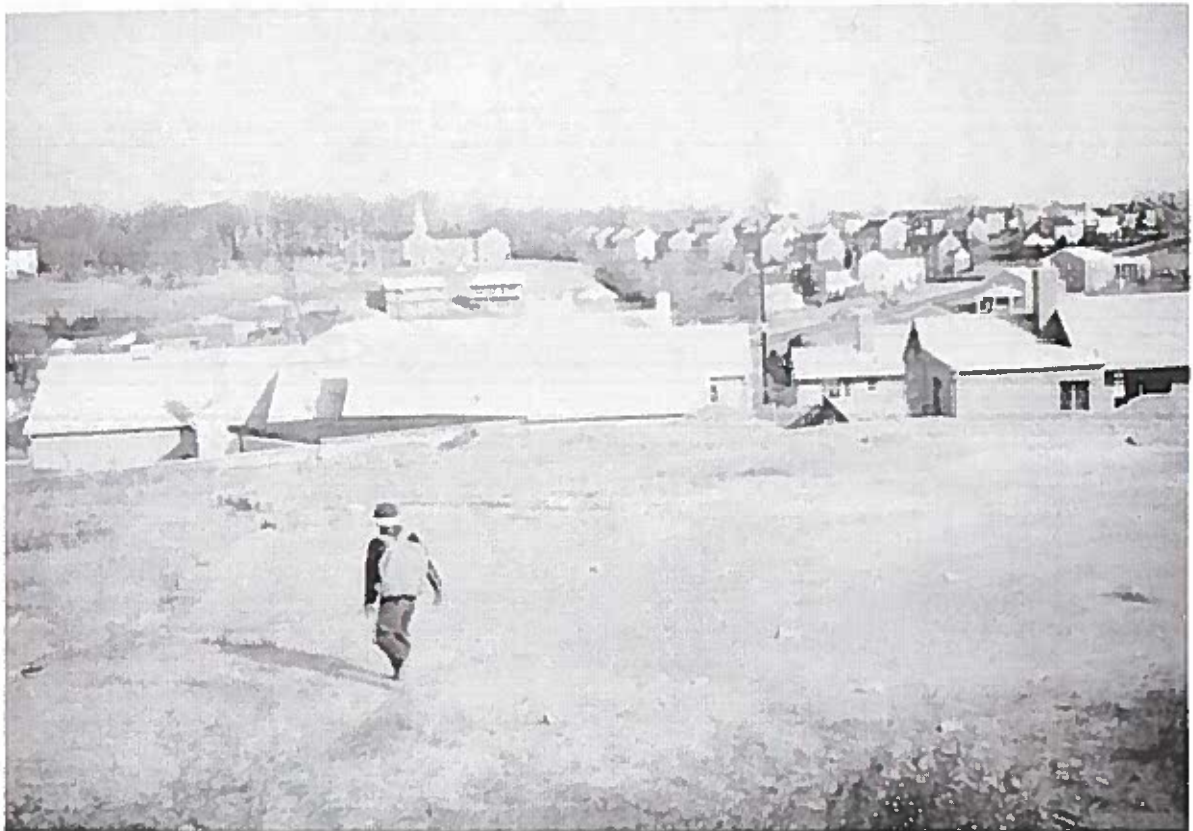
- As part of Clover's oral histories, an interview was conducted with a John Keating Hines (contact details: Orange Va., 540-972-9241) who grew up on Longview Drive, directly behind Vassar Place. He went to MacArthur Elementary School when it first opened in 1945. He is on record saying that he had to cross a creek which ran down Dartmouth before it was paved, past the white rambler, and down past where the Skyhill Apartments are now located.





**Gradient of the Hill:**

The two images below, taken in 1958, show the steep grade of the slope from the top of the hill at 811 Vassar Road towards Crown view Drive. The houses in the picture at the bottom of the slope are from 404 to 314 Crown View Drive. These are taken from the proposed new lot. There is a 10 ft difference between the grade at the top of the proposed new lot and the bottom. Then there is a significant drop into the rear yards of the lots on Crown View Drive. This varies from a few feet to a maximum drop of 10 ft.



# FW: Documentation regarding Beech in Clover

Alex Dambach

Wed 10/21/2015 8:11 PM

Inbox

To PlanComm <PlanComm@alexandriava.gov>;

 1 attachment (820 KB)

RJ Beech in Clover.docx;

This e-mail and the attachment needs to go in the Vassar Road packet for Planning Commission

Alex Dambach, AICP  
Division Chief – Land Use Services  
City of Alexandria  
301 King Street, Rm 2100  
Alexandria, VA 22314  
Office: 703-746-3829  
Mobile: 571-393-7339  
[alex.dambach@alexandriava.gov](mailto:alex.dambach@alexandriava.gov)  
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**From:** Helen Lloyd [mailto:henalloyd@yahoo.com]

**Sent:** Friday, October 16, 2015 6:50 AM

**To:** Alex Dambach; Karl Moritz

**Cc:** don.brady06; Elliot Rhodeside; Zorana ILIC; Rust Family; Deana Rhodeside; Deborah Nagle; Katherine Leon; Patsy Rogers; David Rust; Lance Spencer; Laura Plaze

**Subject:** Documentation regarding Beech in Clover

Alex, Karl,

Please see the attached documentation/research as requested in last week's meeting with neighbors. Details showing the small number of comparables used in other subdivisions will be coming shortly. A couple of us will see you at 10 a.m. today.

Thanks.

Helen

### **Rozier J. Beech (1900-1985)**

On August 5, 1946, Virginia Bullock-Willis, owner of the Woodleigh estate on Duke Street Extended, sold 48 acres to Rozier J. Beech, a Maryland developer who relocated to Alexandria.

The first Alexandria homes that Beech built were on the east side of Cambridge Road. Beginning in 1947, he worked his way towards Janney's Lane, completing the first cluster of homes in November 1948. Initially, he lived at 700 Janney's Lane in a pre-existing house that no longer stands. He retained it as a business office but resided from 1950 to 1954 in a home he built at 904 Janney's Lane in 1948. Martha Kerr, who has lived in the neighborhood since 1952, recalls a brief period when he also lived at 409 Cambridge, conducting business from a first floor guest room behind the kitchen. To this day, the front gates of this bright yellow house sport telltale clover cutouts. According to former neighbor, Nancy Smith, his play on the meaning of "being in Clover" was intentional because people told him that once he sold his houses he would be "in clover." "

Cloverway Drive and 10 houses on Janney's Lane developed between 1948 and 1950, came next; then Skyhill, mostly built between 1950 and 1953 and Crown View Drive, beginning in 1955.

In 1956, Beech moved to the turreted house he built for himself, his mother and sister at 812 Vassar Road on what was then the largest property in Clover. (In a preview of a tactic he would come to repeat, he created his large lot by combining smaller parcels, in this instance, Lot 1, Block 3 and Lot 2, Block 6, Section 1 of Clover. He had reserved the land at the top of the hill for himself, two years earlier. According to Martha Kerr, he also created the large property around the corner at 401 Cloverway by combining lots.) Beech spent 17 years at 812 Vassar where he socialized with neighbors and raised prize-winning orchids in an attached greenhouse. He sold the property to William S. Bannister and his wife, Patience on January 26, 1973 (Alexandria Deed Book 752:456), retired and moved to Boca Raton, Florida.

According to an oral history from Nancy Smith and her husband, local historian William F. Smith (now at Goodwin House), Beech insisted that the houses built at 811 and 809 Vassar, sit to the left and right sides of their large lots so that he could retain the view of the Potomac River from his own property directly opposite.

Indeed he touted the view as an asset to Clover when he sold property on Cambridge. In another newspaper advertisement for 307 Cambridge Road he wrote, "The view over the hills starts every day off right." Nancy Smith, an avid gardener who enhanced her 811 Vassar Road property with choice shrubs, trees and plantings greatly admired by Beech, has said that he was very particular about who bought the lots opposite his own house and vetted both the Smiths and their next door neighbors, Robert H. Payne and his wife, Marguerite, before selling to them. He wanted to ensure that the quality of his own immediate neighborhood and the view from his house were in keeping with his standards. His intent became even more apparent when he built the split - level now located at 809 Vassar and re-subdivided the three existing parcels into two decidedly more expansive ones.

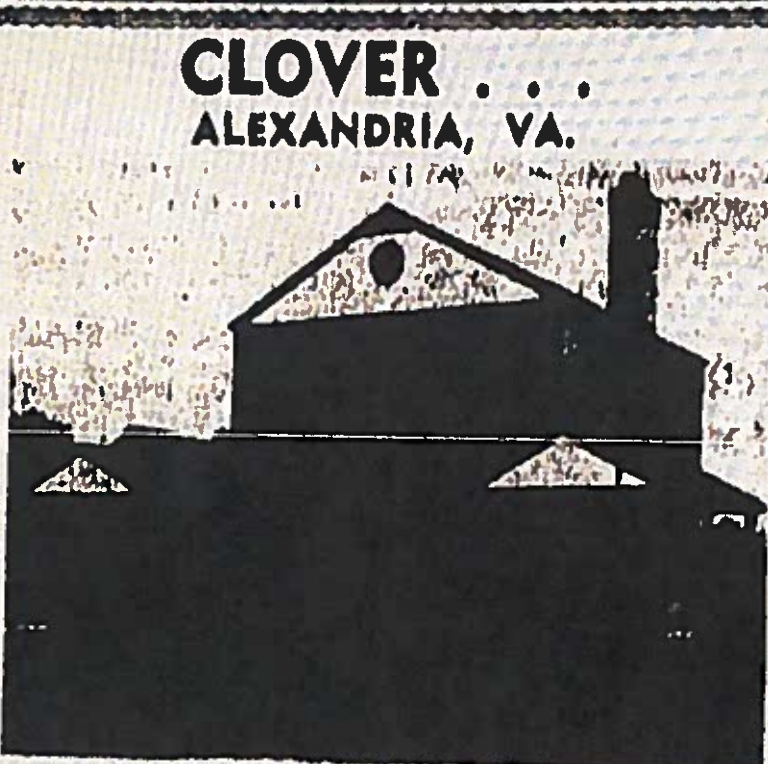
Beech originally created Lots 25, 24 and 23 opposite his house at the end of 1959. (Alexandria DB 504:461.) City land records show that the Paynes originally bought Lot 25 on August 15, 1960 (Alexandria DB 518:214) but changed their minds less than a year and a half later when they decided to buy the new split- level on Lot 23, instead. To give them more land than originally platted, Beech re-

subdivided Lot 25 Block 3 and Addition to Section 11 Clover. Lot 23 became Lot 525 and former Lot 25 became Lot 26. He was able to enlarge both new lots by eliminating the old Lot 24 and splitting the land between them. (Alexandria DB 544:345, November 20, 1961.) The Smiths purchased Lot 26 the following spring and built their own house with input from Beech. (Alexandria DB 552:315, April 25, 1962.)

The reconfiguration of the properties was to be permanent. According to Kerr, the center lot was too small to accommodate a third house in a part of the neighborhood where it was clear that "people wanted more land around them." The purchase agreement for Lot 525 included the proviso that "said grantees (the Paynes) shall have quiet enjoyment of said property free from the claims of all persons whomsoever" and future sales contained similar language. The Crabills' sale to the Hales in 2014 states that the conveyance of Lot 525 was made "subject to the covenants, easements, conditions, restrictions and rights of way of record."

## CLOVER . . .

### ALEXANDRIA, VA.



**P.M.**  
Nice corner lot in  
just a short walk  
that it looks like  
screened porch,  
ory, 3 twin size  
floors, built-in  
value.  
right to land  
Cotton Drive.

**nc.**

EMerson 4450

**307 CAMBRIDGE RD.**

Bay window dining room; four-exposure porch; safe stairway has two landings;  
room for table in kitchen; first floor lavatory; sliding wardrobe doors; \$23,000.  
The view out over the hills starts every day off right. One of first well yarded  
group being completed. Some are of half level design, one has four  
bedrooms, some have first floor bedroom and bath.  
All have complete General Electric Kitchens including disposal and dish-  
washers.

**Come see us—and live in Clover**

Cross 11th St. At Mt. cutting right, on post peninsula, bear left on Shirley  
Highway, go to right, circling left at lot 26000, follow South-Fairlington  
down up hill eight-tenths mile to end of road. Circle to right at bus station  
to quarter mile, drive six-tenths mile to Jockey's Lane, left one-half mile  
to Complete Road.

**R. J. BEECH, INC.**

**Dis**  
**Open T**  
There are  
Pre-war  
Location:  
schools an  
Display ho  
Room, Ma  
We invite  
of our 20

**"ROLL  
ME"**  
Drive out  
wooden bridge  
over Leland  
Over Connor  
St. to South  
over also.

**Realtor**  
1106 York

Beech continued to build. After completing Cloverway, Skyhill and Crown View Drive, he added West Taylor Run Parkway, Vassar Road, Vassar Place, Clovercrest and Dartmouth Road. He built the last homes in Clover in 1965 and 1966 at 255 Cambridge Road, 2008 and 3012 Dartmouth Road, respectively. According to Kerr and others, 3012 Dartmouth Road was originally the location of a Woodleigh estate barn in which Beech stored his building equipment.

Beech laid Clover out around the shape of his own hill, using a curvilinear pattern of streets that were beginning to replace the grid pattern in the 1940s. Vassar Place was laid out in the 1960s, once cul-de-sacs had become an established feature in urban planning.

In 1958, Beech built a large brick ranch house at 301 Crown View Drive at the intersection of Crown View and Dartmouth. The developer of the Chauncey Heights Apartments (now Skyhill) had waged a well-documented fight to extend Dartmouth through to West Taylor Run but Clover's civic association protested en masse. City Council proceeded to vote the road down and Beech built the house to protect the subdivision from unwanted incursions in perpetuity.

# FW: Thank you and history notes for Clover

Alex Dambach

Wed 10/21/2015 8:28 PM

Inbox

To: PlanComm <PlanComm@alexandriava.gov>;

1 attachment (3 MB)

General History of Clover - final.pdf,

This e-mail and attachment need to go in the Vassar Road packet for the Planning Commission.

Alex Dambach, AICP  
Division Chief – Land Use Services  
City of Alexandria  
301 King Street, Rm 2100  
Alexandria, VA 22314  
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[alex.dambach@alexandriava.gov](mailto:alex.dambach@alexandriava.gov)  
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**From:** Helen Lloyd [mailto:henalloyd@yahoo.com]  
**Sent:** Wednesday, July 08, 2015 12:59 PM  
**To:** Ann Horowitz; Alex Dambach; Karl Moritz  
**Subject:** Thank you and history notes for Clover

Karl, Alex, Ann,

Thank you all for your time yesterday and for listening to our concerns so patiently. We look forward to working with you further in the future as we look to resolve the issues around the proposed Vassar Road subdivision.

I am attaching the history documents for Clover as promised. I was wrong about the stipulation for historic consideration being in the code for subdivisions. It is in fact in the zoning code.

§ 15.2-2283. Purpose of zoning ordinances.

Zoning ordinances shall be for the general purpose of promoting the health, safety or general welfare of the public and of further accomplishing the objectives of § 15.2-2200. To these ends, such ordinances shall be designed to give reasonable consideration to each of the following purposes, where applicable: ..... (v) to protect against destruction of or encroachment upon historic areas;

However, this may be an indicator, given the history of the neighborhood and the National Park Service

10/23/2015

FW: Thank you and history notes for Clover - PlanComm

interest in 514 Crown View Drive and the neighborhood, that the zoning may be incorrect for this area. If, as the Virginia Code stipulates, the purpose of zoning is to protect against destruction of or encroachment upon historic areas, then surely the zoning for this area needs review. In our meeting with Historic Alexandria this morning John Sprinkle called 514 Crown View Drive "the most important historic house in Alexandria." He said he lectures on its value compared to Graceland and always concludes that the Ford house is of far more historic importance yet has been comparatively neglected.

Please feel free to call me on the number below or contact me on this email at any point in the next few weeks you have an updates or questions for us. Our neighborhood really appreciates being able to work with you to resolve this.

Thanks,

Helen  
703-244-2041



# History of Clover



*The original gates from the 1948 house of Rozier J. Beech, Clover's original developer*

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## EARLY HISTORY OF CLOVER

- Relevant to:
- *Crown View Drive*
  - *Vassar Road*
  - *Clovercrest Drive*
- *Dartmouth Road*
  - *Cloverway Drive*
  - *Cambridge Road*

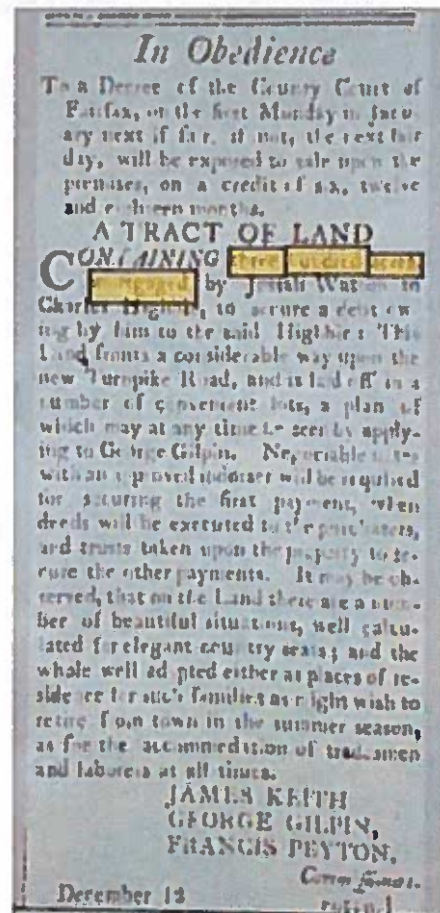
The earliest records of Clover show that the area was originally known as Stump Hill. It was part of the original royal land patent for 627 acres granted to John Carr and John Simpson in 1678, which became known as the Carr Simpson tract. Of the 627 acres, 300 acres made up Stump Hill, 48 acres of which later became known as Clover.

By the late 1790s, Josiah Watson owned Stump Hill. He was a tobacco agent and merchant who also owned a large farm south of Little River Turnpike known as Bush Hill. In 1790, however, he filed for bankruptcy and was forced to sell his 300-acre Stump Hill tract to appease creditors. The property, which ran from present day Seminary Ridge to Taylor Run and was bound by Duke and Janneys Lane, was divided up into 49 lots and auctioned off primarily to the wealthy of Old Town, Alexandria.<sup>1</sup>

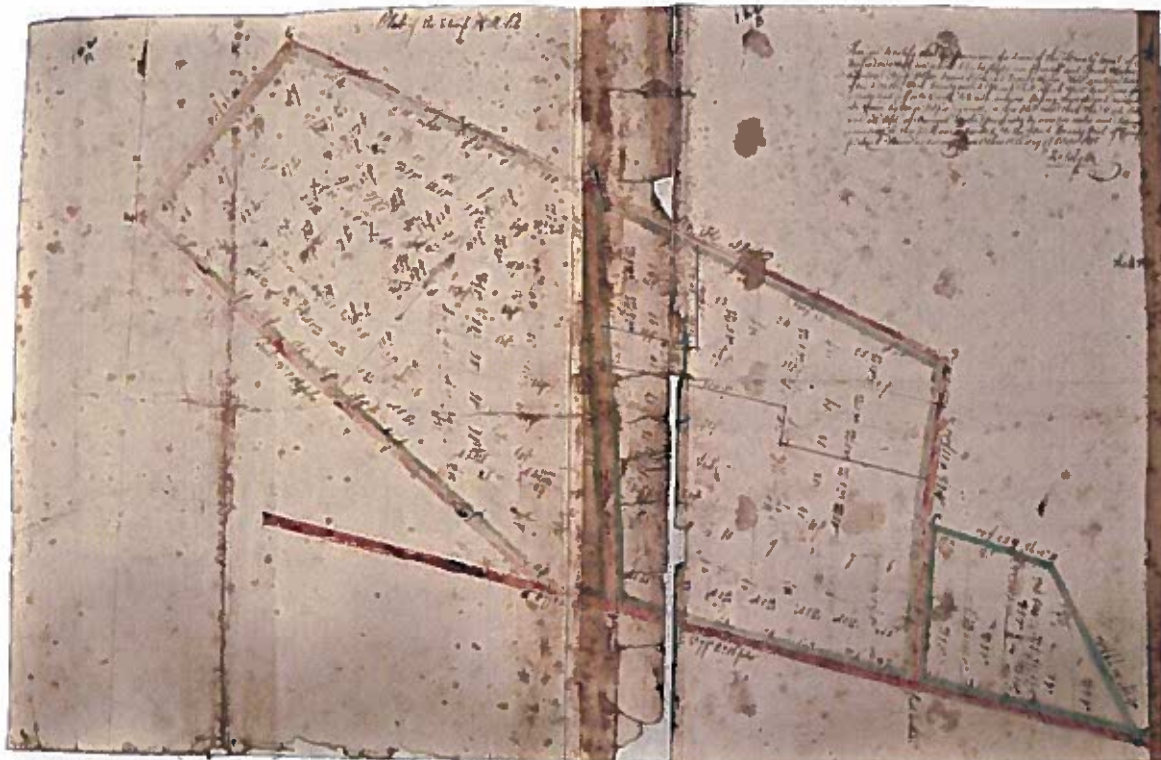
The image to the right is a newspaper clip from December 28, 1803 documenting the sale of Stump Hill following the bankruptcy of Josiah Watson.

In 1798, at the time the map below was drawn, Clover was little more than expansive fields interspersed with woods, overlooking the Potomac River just off Little River Turnpike (now Duke Street). The two main roads on the 1798 map show First Avenue (now Cambridge Road) and Second Avenue (now Quaker Lane). Old Seminary Road is known today as Janneys Lane.

From the 1790s onwards, Old Town residents seeking refuge from summer heat and yellow fever, bought their country lots on old Stump Hill. Soon farms, orchards and summer homes dotted fields off Quaker Lane, Cambridge Road, and present day Longview Drive.



<sup>1</sup> The original 1798 Stump Hill Map signed by city commissioner, Francis Peyton, is in Fairfax County Deed Book S-2: 122-3.



*Original 1798 plat of Stump Hill tract*

One of those who bought land in Stump Hill around this time was Hugh Smith (1769-1856), a prominent British china and stoneware merchant. Smith, who owned a pottery as well as a thriving china shop, began with 13 acres in 1804 and over the years added more than 70 more, including part of the 48 that became Clover.

In 1819, Smith purchased Lot 2 of the Stump Hill tract, which included a modest red brick summer house. The lot had originally been purchased in 1804 by Bryan Hampson (1757-1834), a prosperous grocer who built the house. Smith kept the house for himself but almost immediately sold four of the five acres surrounding it to his neighbor, Anthony Charles Cazenove with the stipulation that Cazenove not plant trees or build any structure to block the river view.



*Hugh Smith, 1805 (image courtesy of Special Collections, Barrett Branch, Alexandria City Public Library)*

## History of Clover (continued)



*The original early 19<sup>th</sup> century lock and key in the house Bryan Hampson sold to Hugh Smith in 1819 (photo courtesy of Jefferson Nesmith)*

**Anthony Charles Cazenove (1775-1852)**, Smith's neighbor, was a Swiss émigré and the local agent for the DuPont family's gunpowder interests. He built a substantial house and farm on Lot 1 of the Stump Hill tract and called it "Summer Hill." He gifted his home and 26 acres to Louis Albert Cazenove, his son, heir and business partner. Carydale Towers East replaced the house and its celebrated rose and boxwood gardens.

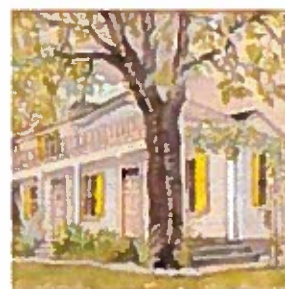


*Anthony Charles Cazenove, 1806 miniature by David Boudon; 1969.0158*



*Cazenove's house, "Summer Hill"*

**Wilmer Dent Corse (1826-1896)**, who was a wealthy banker and brother of Montgomery Corse, a highly decorated Confederate Army General, bought 67 acres of Hugh Smith's property in 1852 and built a cottage called "Four Winds" on what is now Nob Hill Court, southwest of Vassar Place. The house burned down in the mid-1960s.



*"Four Winds," built by Wilmer Corse, courtesy Susan McElhinney*

George K. Witmer (1822-1901), an Old Town dry goods merchant, bought all but 10 acres of Corse's property in 1851 and built the house that would later be known as Woodley/Woodleigh.

According to a Civil War era map, Woodley/Woodleigh had an enormous orchard that was described in an advertisement in the Alexandria Gazette. It stood north of the house and extended past Clovercrest Drive.

During the Civil War, the Federal Government seized the house and sold it to William Silvey, a New Jersey real estate speculator. Silvey purchased the property for \$180 in 1864 and sold it back to Witmer for \$480 when the war was over – making a \$300 profit in a single year. Witmer's mansion played a major role during the occupation.<sup>2</sup>

Advertisement in the Alexandria Gazette, November 25, 1851 for the sale

**AUCTION SALES.**

BY GEORGE WHITE—AUCTIONEER.

**SUMMER HILL FARM**, near the first mile stone, and adjoining the lands of A. C. Cazenove esq., on the Little River Turnpike. It contains **80 to 90 ACRES**, and has on it two **BRICK DWELLINGS**, and a **Brick Barn**. Mr. Padgett, at the toll gate, will show the place to any one wishing to examine it.

**HUGH SMITH,**

For terms, apply to  
**JAMES P. SMITH,** Alexandria.

If not sold at private sale, the above will be offered immediately after the sale of property advertised to take place at Cutts's tavern, on **Saturday, December 13th, at 12 o'clock, A.** A plat of the **farm** can be seen by applying to George White. Terms at sale.

nov 25—cols [Nat. Int. & Fairfax News, 31]

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**FOR SALE.**—On Friday, 25th November, at West End, Cutts's Tavern, **SIX YOUNG STEERS**, about 3 years old, **FOURTEEN**

Oct 25—cols

Alexandria, Va.

**DWELLING AND SIXTY ACRES OF LAND FOR SALE**— will sell my place adjoining the property of William C. Corse, Esq., (**SUMMER HILL**) one and half miles from Alexandria, and near the Theological Seminary. The **HOUSE** is new, built of the best lumber, double weather-boarded. Large and comfortable, and convenient to the main building are all the necessary out-buildings. The land is good, and has on it about **2,000 choice Fruit Trees**. There is a well of excellent water near the house, and a Cistern in the kitchen. I will sell the house and one or two acres of land, if desired, or the whole tract. Terms easy. Apply to

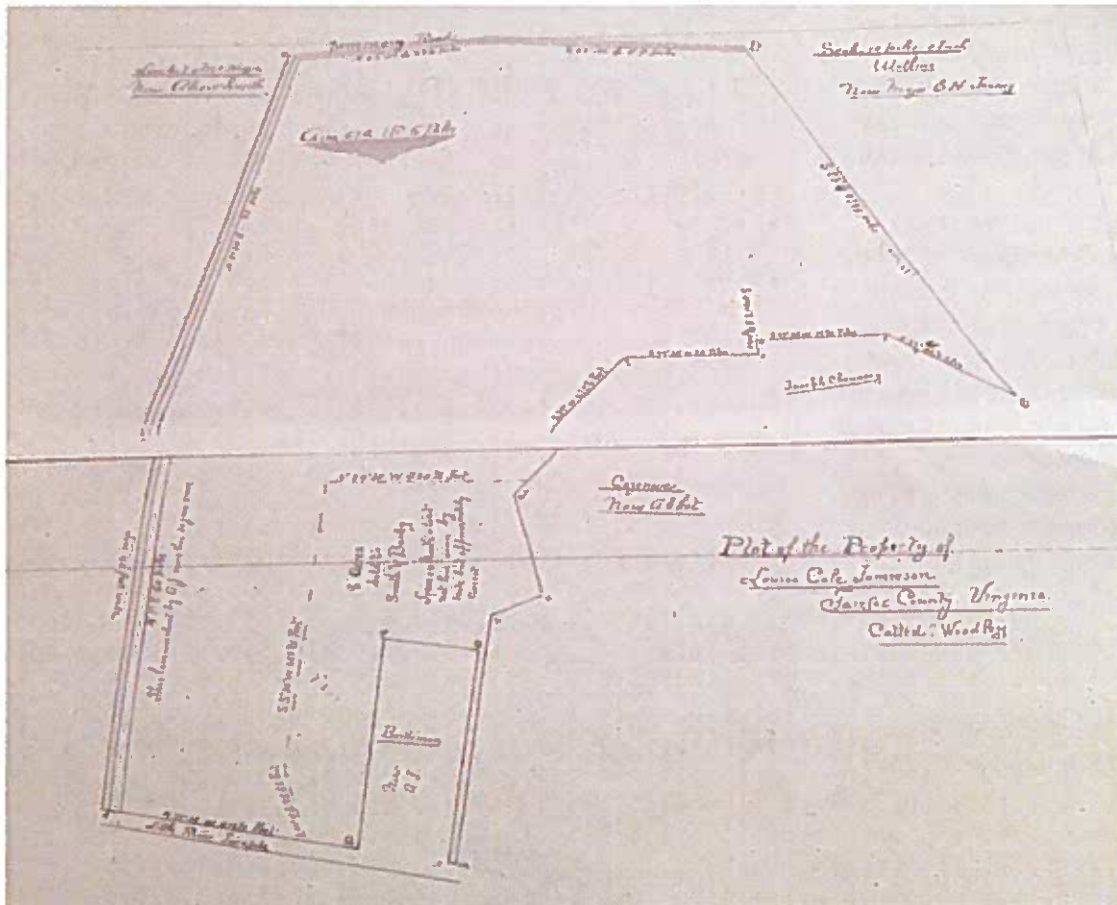
sep 29—cols **GEO. K. WITMER**

Witmer's sale advertised in the Alexandria Gazette, October 25, 1860

<sup>2</sup> Major William Silvey's purchase of Witmer's property was reported in the Virginia State Journal, Vol. 2, #706, July 9, 1864. The deed of sale recording Witmer's purchase from Silvey and his wife, Eliza, is recorded in Fairfax County Deed Book F4:142-4

## History of Clover (continued)

**Andrew Jamieson (1825-1901)** was the city's customs collector, a banker, gentleman farmer and namesake of his grandfather, a baker of biscuits favored by Queen Victoria. He owned property on both sides of Duke Street. He bought Witmer's house and land in 1866 and was the one to bestow the name "Woodley". It was named after an estate in the family's native Scotland.



*Original plat of Andrew Jamieson's land acquisition in 1866<sup>3</sup>*

Over time, Hugh Smith expanded his original properties all the way to Janneys Lane and beyond, and Stump Hill became the more mellifluous sounding "Summer Hill."

Over the next century until the 1940s Smith's extensive holdings were divided and subdivided again and again until they became what is known today as Clover.

<sup>3</sup> The plat appears in the 1910 deed by which Rebecca and James M. Rixey sold Woodley and its remaining 60.99 acres to Anna Mary Garrow Bullock.

## CLOVER DURING THE CIVIL WAR

- Relevant to:
- 811 Vassar Road
  - 814 Clovercrest Drive
  - 809 Vassar Road
  - Top of the hill in Clover (811, 809, 812 Vassar Road)
  - 401 Cloverway Drive

The railroad that ran along Little River Turnpike (Duke Street) was a key supply route to the battle grounds of the Civil War. To protect the turnpike and the railroad to its immediate south, two batteries were established in 1863, on the grounds of G.K.Witmer's seized property - one on the site of the current Bishop Ireton High School and the other towards the rear of the Alexandria Commons shopping mall. They were part of a greater system of defense built by the Union troops around Washington. These two batteries were on a line between the two forts; Fort Ellsworth, on Shooters Hill behind the Masonic Temple, and Fort Williams, to the rear of the house at 212 Quaker Lane.

Vestiges of these batteries were still conspicuous nearly four decades later when an October 9, 1902 article in the Evening Star noted "some of the old works...visible from the highways, the rifle pits that connected them with fort Williams to the westward being particularly prominent in the open hillside north of the Telegraph Road. The remains of one of the lunettes at Mr. Andrew Jameson's [sic] house one mile and three-quarters from the Huff's bridge [sic] is particularly prominent."

Camps tracked from the Fort Williams area all along the railroad. These were up on the brow of the hill, on higher ground behind the batteries. Soldiers that camped in this area would have had association with the forts and Episcopal seminary in the area. The Seminary was used as a large Union field hospital in the Civil war and played a key role in dealing with soldiers wounded on the battlefield.

Clover was used as a transitional camp throughout the war. There was an open camp area behind the battery at Bishop Ireton that at times probably spread all the way to the Seminary. The soldiers occupied the high ground in line with the forts, so the camps follow the inside curve of the defensive ring around Washington.

About one half of the Army of the Potomac, roughly 35,000 men, moved through Alexandria between August 23 and 29 1862 on their way to join General Pope's Army of Virginia at the battlefields of Manassas and Chantilly. At least 10,000 more coming from the other points also moved through the city that same week. With this number of soldiers it is inevitable that there would have been tented camps on the former Stump Hill within the defense lines and protection by the batteries and forts.<sup>4</sup>

**Fort Ellsworth.**

This fort was named in honor of Col. Ephraim Elmer Ellsworth of the New York Fire Zouaves, who was killed in the Marshall House, Alexandria, May 24, 1861, while removing a conference flag that floated over that building. This fort occupies a commanding position on Shooter's Hill, in West Alexandria, between the Telegraph road and Leesburg pike, three quarters of a mile west of Huff's run, Fairfax reservoir, which supplies Alexandria with water, now occupies a part of the hill. The fort is six and a half miles from the Capitol and stands 100 feet above the level of the Potomac. Some of the old works are visible from the highways, the rifle pits that connected them with Fort Williams to the westward being particularly prominent in the open hillside north of the Telegraph road. The remains of one of the lunettes at Mr. Andrew Jameson's house one mile and three-quarters from the Huff's bridge is particularly prominent. This was one of the first forts planned in Virginia, work having been begun on it about daylight on the morning that Ellsworth's command entered Alexandria on the morning of May 24, 1861. Capt. H. G. Wright, who afterward became a general officer of distinction in the army, was the engineer who planned and superintended the early works on the fort. The works were mostly constructed by the Fire Zouaves and the 17th New York Infantry, the latter command garrisoning it at the time McClellan organized the Army of the Potomac in August, 1861. It was also occupied at different times by different detachments of Col. Tyler's Connecticut Regiment, the 2d Battalion New York Artillery, Battery D, 2d United States Artillery, and Col. Lansing's 17th United States Infantry. The armament of the fort consisted of twenty-four guns, as follows: Two 20-pounder and two 10-pounder Parrott rifles, twelve 3-inch sea-coast howitzers, four 24-pounder sea-coast howitzers, four 24-pounder siege guns, one 24-pounder field howitzer and three 6-pounder guns. The fort was amply provided with magazines and bomb

October 9, 1902 article in the Evening Star

<sup>4</sup> Alexandria, Virginia 1861-1886, William B. Hurd, pages 16-19

## History of Clover (continued)

Between 1962 and the 1990s multiple Civil War era artifacts were dug up in the yard of 811 Vassar Road by archeologist Dr. Leith Smith, a former resident of Alexandria and now the staff archeologist for the Maine Historic Commission.<sup>5</sup> He also excavated the yards of other properties at the top of the hill in Clover including 809 Vassar Road.

Dr. Smith found Civil War bullets and a button at 811 Vassar Road. Next door at 401 Cloverway Drive, he found the scabbard of a bayonet. At 814 Clovercrest Drive just off Vassar Road, Smith found wine bottle glass, ceramics, minié balls and buttons, all dating to the Civil War.

"There were individual camps and regiments all over the place but a lot of the buttons in Clover were New York troops identified by their buttons that said 'Excelsior'," Smith said.



*Civil War artifacts found at 811 Vassar Road or at the top of the hill, in the vicinity of 809 Vassar Road and 401 Cloverway Drive*

During the Civil War, the Federal Government seized Woodley/Woodleigh and auctioned it off along with other nearby estates including General Samuel Cooper's "Cameron" and Arthur Herbert's "Muckcross", which Major William Silvey also purchased. Just before the war, George Witmer had advertised the sale of his "large and comfortable," new house and orchard in the October 4, 1860 edition of The Alexandria Gazette.

<sup>5</sup> Smith can be contacted at [Leithsmith@maine.gov](mailto:Leithsmith@maine.gov)



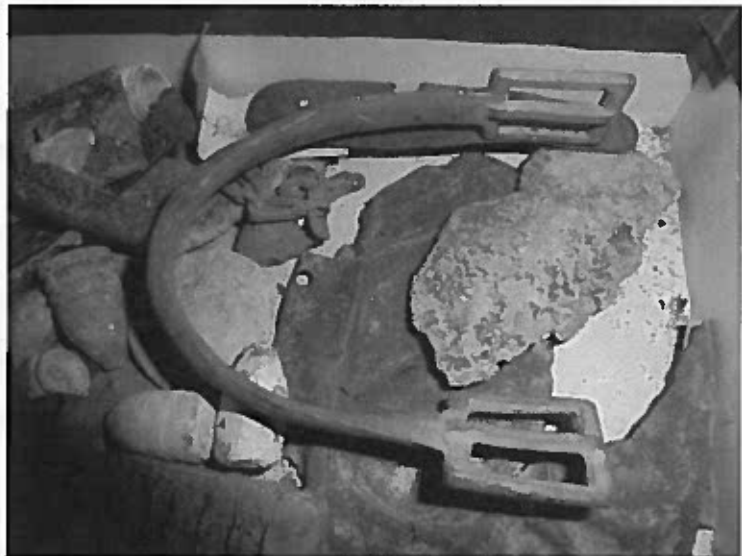
Brigadier General Daniel Sickles, the head of the union Army's Excelsior Brigade occupied Witmer's Woodley/Woodley mansion during the Civil War.

According to the diary of Anne S. Frobel, Stump Hill, including the area at the top of the hill at present day Vassar Road, was teeming with Union soldiers and their equipment. As a confederate sympathizer, Frobel would have had to apply to General Sickles for a pass into Alexandria. In October 1862 he would have just returned from the Peninsula Campaign.

Frobel's diary entry for October 3, 1862<sup>6</sup>, reads:

- "We were obliged to go to Gen. Sickles' headquarters for a pass to town. He has fixed himself up in Mr. Witmer's house on the hill above the Turnpike road. And such a looking place they have made of it. The yard and the top of the hill and the beautiful fine old oak grove filled with tents and soldiers knee deep in dust. They have trampled every spire of grass and broken down and scattered about all the beautiful ornamental lattice work in the yard.... a pass was given us from a tent in the yard."

The batteries alongside Block House No.2 and other outlying forts including Fort Williams were dismantled between June and September 1865. The surrounding area was left entirely denuded of trees and houses in the area that had been used as hospital facilities for the Union soldiers were left badly in need of repair.<sup>7</sup>



*Civil War artifacts found at 811 Vassar Road or at the top of the hill in the vicinity of 811 Vassar Road*

<sup>6</sup> The Civil War Diary of Anne S. Frobel of Wilton Hill in Virginia, October 3, 1862, p.108 (The transcription of the original diary was published in paperback form in 1992 by Fort Ward)

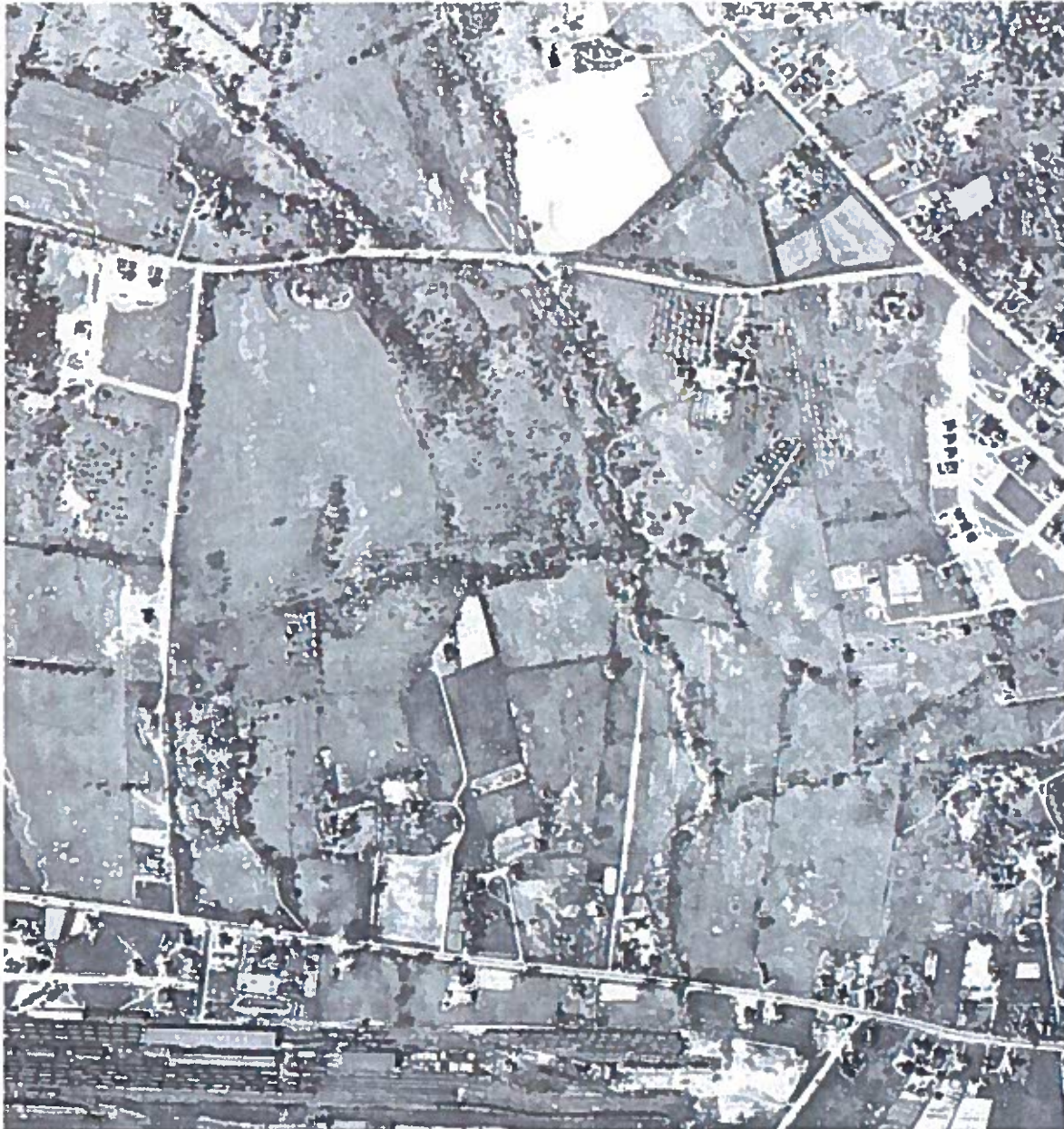
<sup>7</sup> Mr. Lincoln's Forts: A Guide to the Civil War Defenses of Washington, Benjamin Franklin Cooling III and Walton H. Owen II, p.72-73

Report summary by Shirley Scalley<sup>3</sup> Alexandria, Virginia 1861-1886, William B. Hurd, p. 204 Alexandria, Virginia 1861-1886, William B. Hurd, p. 215. A Seaport Saga: Portrait of Old Alexandria, Virginia, William Francis Smith and T. Michael Miller, p.88. Credit for information for this part of the history of Clover goes in equal part to Leith Smith, Ph.D, Maine Historic Commission and Wally Owen, Assistant Museum Director of Fort Ward.

## CLOVER IN 1937

- Relevant to:
- *Crown View Drive*
  - *Vassar Road*
  - *Clovercrest Drive*
  - *Dartmouth Road*
  - *Cloverway Drive*
  - *Cambridge Road*

Below is an aerial image of the area in 1937, when it was still part of the Woodleigh estate.<sup>8</sup>



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<sup>8</sup> Courtesy of Amy Bertsch, Office of Historic Alexandria

Janneys Lane runs horizontally across the top of the picture with King Street angling off on the right; Duke Street (formerly Little River Turnpike) runs across the bottom and Cambridge Road runs vertically linking Janneys Lane and Duke Street.

At the top left, on the south side of Janneys Lane, two of the earliest houses in College Park – 1000 and 1002 Janneys Lane - are visible. Across the road from them is the driveway to the 19th century farmhouse that still anchors the Walleston subdivision.

To the right of Cambridge Road, the white oval is the spring commemorated in the niche in the stone wall at 810 Janneys Lane; to its right, running down to Duke Street is Taylor Run. To the immediate right of Taylor Run, are the orchard and driveways to two houses built by Judge Robinson Moncure and in the far right corner, south of the wishbone created by the intersection of Janneys Lane and King Street, is the white frame house once owned by inventor Eli Janney, a Confederate veteran who served on the staff of General Robert E. Lee.

At the intersection of Cambridge Road and Duke Street, the original farm owned by David Watkins in the 19th century and George M. Cragg in the 1930s, is visible.

The clump of trees on the east side of Cambridge is where "Woodleigh" stood - a 20 room antebellum mansion razed when Bishop Ireton High school was eventually built. Buried in the trees, it is just possible to make out Woodleigh's roof and portico and to see the unpaved road that led to it from Duke. To its immediate right at the end of the driveway with the sharp left turn is the antebellum house, "Four Winds," (on present day Nob Hill Court) which burned down c. 1965.

Virginia Bullock-Willis, an Alabama belle with family ties to many of Virginia's First Families, including George Washington<sup>9</sup> and the author of children's books, originally called her homestead, "Woodley" but later changed it to "Woodleigh."<sup>10</sup>

The house was originally built around 1859 by Old Town merchant, G. K. Witmer, and once boasted an orchard of "2,000 choice fruit trees." "Woodley," was a gift from her mother, who purchased it from a former Mosby's Raider, James Morehead Rixey in 1910.

Rixey and his wife, Rebecca, got the land and house from the heir of biscuit-maker turned banker, Andrew Jamieson. The deed of sale stipulated that 180 square feet be reserved for the public's use of a spring on Janneys Lane. To this day, the spring is commemorated by an alcove in the stone wall at 810 Janneys. Dated Easter 1906, it says "Praise God from Whom All Blessings Flow" and bears Col. Rixey's initials.<sup>11</sup>

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<sup>9</sup> Auburn University Library records describe Bullock-Willis (1878-1965), the widow of George Bullock Willis, as a "poet, author, artist and world traveler." Fluent in French, she held a graduate degree from George Washington University, served as an interpreter for the French Embassy and was an accomplished equestrienne. According to her obituary in *The Tuscaloosa News*, she wintered in Alexandria, dividing her time between Woodleigh and family cotton plantations in Alabama and Mississippi.

<sup>10</sup> See Alexandria Deed Book, 232: 25, August 5, 1946, for Bullock-Willis's deed of sale of 48.4247 acres to "R.J. Beech, Inc., a Maryland Corp. qualified to do business in the State of Virginia."

<sup>11</sup> See Fairfax County Deed Book Q-3: 493-6.



*Niche in the wall at 810 Janneys Lane*

## CLOVER FROM 1946-1955

- Relevant to:
- 301 Crown View Drive
  - 812 Vassar Road
  - 809 Vassar Road
  - Beech's View
  - 811 Vassar Road

In 1946, Bullock-Willis, owner of the Woodleigh estate, sold 48 acres to Rozier J. Beech, a Maryland builder who had relocated to Alexandria. In 1953, she sold 11 acres and her 20-room antebellum house to Bishop Peter Ireton of the Catholic Diocese of Virginia. Bishop Ireton High School was built ten years later.<sup>12</sup> The house, which was demolished after vandals destroyed it sat at the top of what is now the semi-circular driveway facing Cambridge Road.<sup>13</sup>

Three years before Virginia Bullock-Willis sold her land to Beech, construction began on Douglas MacArthur Elementary School. World War II drew thousands of workers to Northern Virginia to work in

<sup>12</sup> Witmer advertised the sale of his "large and comfortable," new house and orchard in the October 4, 1860 edition of The Alexandria Gazette.

<sup>13</sup> See Alexandria Deed Book 355: 264-5, April 17, 1953, for Bishop Ireton's purchase of the house and 11 acres. A February 28, 1956 article in The Washington Post described the vacant main house on the 'old Woodleigh estate' as a rambling white frame building that had been vandalized.

## History of Clover (continued)

New Deal agencies, defense plants and the military. The Public Works Agency of the federal government funded and supervised construction of housing and schools for workers near other defense sites. MacArthur School, known briefly as the Chinquapin School during its construction, was built for children of government employees and for children living in the area around Janneys Lane. It became part of the city school system the year after Beech bought Clover and was where neighborhood children went to school.



*The original Douglas MacArthur Elementary School in 1943*

The first homes that Beech built were on the east side of Cambridge Road in 1948. Initially, he lived at 409 Cambridge Road, now a bright yellow house with telltale clover cutouts in its front gates. According to former neighbor, Nancy Smith, his play on the meaning of "being in Clover" was intentional.

Cloverway, which was developed between 1948 and 1950 came next, then Skyhill, built between 1950 to 1953, and then, Crown View Drive, starting in 1955.

In 1956, Beech moved to 812 Vassar Road where he lived with his mother and sister and raised prize-winning orchids. According to oral histories, he insisted that the houses built at 811 and 809 Vassar Road sit to the right and left side of their large lots so that he could retain the view of the Potomac from his own property directly opposite. This has become known as Beech's View.



*Beech's house at 812 Vassar Road under construction in 1956, showing "Beech's View" - the view he deliberately created for himself down to the Potomac River (courtesy Helen Baughman)*

## History of Clover (continued)

Beech continued to build, completing Crown View, Dartmouth, Clovercrest and the rest of Vassar Road and later Vassar Place, in the 1960s. Clients loved that he allowed customization.

He laid Clover out around the shape of the hill, using a curvilinear pattern of streets that were beginning to replace the grid pattern in the 1940s<sup>14</sup>. Vassar Place was laid out in the 1960s, once cul-de-sacs had become an established feature in urban planning.

Perhaps Beech's crowning achievement was to build the white brick ranch house at the foot of Dartmouth at 301 Crown View Drive, preventing the developer of the Chauncey Heights Apartments from extending Dartmouth through to West Taylor Run. A 1958 article in The Washington Post quotes James Garnett, who led 150 members of the Clover Civic Association in a protest of the proposed street, as saying "the traffic would blight an already established residential area."

Alexandria City Council rejected the proposal for the access road and with the help of Beech ensured that the threat was permanently averted.

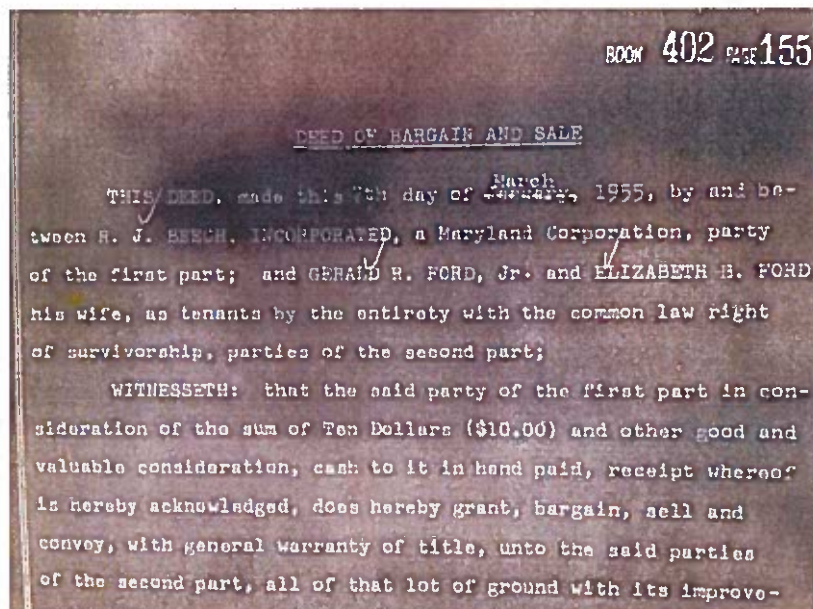
## The Ford Era (1953-1974)

Relevant to:

- 514 Crown View Drive
- 405 Cloverway Drive
- 515 Crown View Drive
- 811 Vassar Road
- 407 Cloverway Drive

On March 7, 1955, Betty and Gerald Ford bought the lot at 514 Crown View Drive for a token ten dollars from Rozier J. Beech and simultaneously signed an agreement with him to build a house on it at a cost of \$34,000.

*Deed of sale of land to  
Gerald and Betty Ford,  
March 7, 1955*



<sup>14</sup> [https://people.hofstra.edu/geotrans/eng/ch6en/conc6en/street\\_network\\_types.html](https://people.hofstra.edu/geotrans/eng/ch6en/conc6en/street_network_types.html)

## History of Clover (continued)

The family had been living in Parkfairfax. After her husband had survived three terms as a Congressman for Michigan she "put her foot down". "If you're going to run for Congress again, you've got to buy, rent or build a house, that's all there is to it," she said she told her husband.

"There was a tract of land in Alexandria, Virginia, which was going to be turned into a residential development. We bought a lot on a street called Crown View Drive. The sidewalks were still being put down," Betty Ford said.

Theirs was only the second house on the block but Betty Ford especially liked this area because it was near Douglas MacArthur Elementary school, one of the best in Alexandria and Immanuel Church-on-the-Hill where the family attended Sunday worship. The family was friendly with Harriet and Wendell Thorne who lived opposite at 515 Crown View Drive - the first house built on the street.

Beech was hired to do the Ford's construction. Viktors Purins, an architect from the Fords' home town Grand Rapids, Michigan, was brought in to help design the four bedroom brick house. Jack Stiles, a friend from Grand Rapids also had some input into the design.



*The Fords' house under construction in 1955 (National Park Service photo)*

The kitchen cabinets and hardware were brought in from Grand Rapids and the kitchen and dining areas were designed in the Michigan style with knotty pine cabinets and around the walls. When removed in 2009, several of these panels had crystallized cocoons behind them, suggesting they had been installed in the late spring.

The family room, off the kitchen at the back of the house also had knotty pine walls. Attached to the back wall was a gramophone record case, with a lid that lifted up so records could be put on the turntable and played. Mrs. Ford loved dancing and was "known to have kept her husband up at night to practice a tango". The family room also occasionally doubled as Gerald Ford's study. He was photographed working on official business in a chair there after he became president.

## History of Clover (continued)

"One day, I'd put on a record I loved, Fred Waring's group singing 'Get Out on Your knees and Pray' and I was down on my knees literally scrubbing the family-TV room floor in time to the music," Betty Ford said.

As the house was built at the height of the Cold War, the Fords pondered the idea of installing a bomb shelter in the basement. Instead they created a large recreation room with coat hooks for raincoats, a laundry room with laundry chute and a walk-in pantry.<sup>15</sup> When their third son, Steve, became a teenager they added a locked cabinet for his shotgun.

Their daughter, Susan Ford Bales said she was frequently hung by her feet down the laundry chute in a game her brothers called the "truth test". When she was older she and her brothers used to write the phone numbers of her boyfriends and their girlfriends on the walls of the laundry room so that they could remember them.



*The basement of 514 Crown View Drive with the Fords' four children pictured*

No matter where he was during the week, Gerald Ford made it a rule to fly back and spend Sunday with his family, going to church and sitting down for a brunch of sausage and bacon, waffles with strawberries and sour cream and then a dinner of roast beef.

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<sup>15</sup> The laundry room and walk-in pantry remain today





*Gerald Ford washing dishes at the kitchen sink, as was his habit after meals*



*Ford in the kitchen at 514 Crown View Drive*



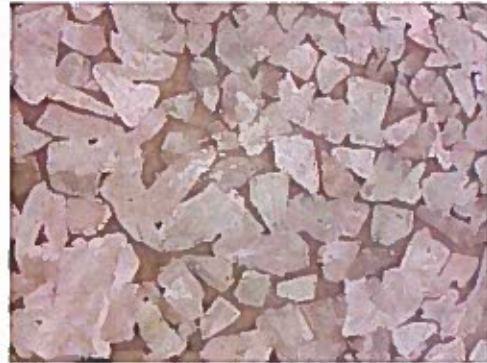
*Gerald Ford, Susan, (the Fords' daughter), Steve (the Ford's third son), Jack (the Ford's second son) and Betty Ford in the kitchen at Crown View Drive*

Betty Ford struggled with landscaping the marine clay in her yard. She prepared the soil for her own garden by sifting every bit of it through a screen to cull the crab grass, at the same time afraid that if she killed it off completely she would have nothing but brown lawn left. She became a committed member of Yates' Garden Club which met regularly at houses around Clover.

## History of Clover (continued)

The Fords struggled with the increased mortgage burden of \$138.60 a month plus taxes, and Mrs. Ford found herself suffering pangs of jealousy because her husband's \$15,000 salary meant she could no longer afford the exotic holidays her friends were still going on. While they were happy to be in a house of their own, the costs and upkeep of Crown View Drive were, in comparison to Parkfairfax, high. When her stepfather died and left her some money she knew the inheritance was intended to pay off the debts on the house. Instead they chose to go to Europe. By November 4, 1965, they had managed to pay off their mortgage.

Betty Ford installed sand colored carpet and rose drapes throughout the house. The rest of the color scheme in the main part of the house was blue, green and white. Gerald Ford had a favorite blue leather lounge chair and hassock that moved with him to the White House.



*The Ford's original kitchen floor at 514 Crown View Drive – in turquoise and white*



*In the family living room, 1967*

The Ford family had a television in the master bedroom and another in the recreation room and multiple phone lines throughout the house. After her husband became President, Betty Ford used the desk she had set up for her social engagements in the master bedroom from which to run the White House events. The master bedroom also had a full length mirror and a rack that ran the whole length of the bedroom on which she hung her clothes. At one point this rack collapsed from the weight of them. Inside her closet was a built-in shoe rack. In the center of the room, the Fords had twin beds which swung out from a double headboard.

## History of Clover (continued)

Mike and Jack, the eldest boys shared the large bedroom. Steve had the small room next to his parent's and Susan had the bedroom at the end of the hall, originally intended for guests. At the time Gerald Ford became president, this was decorated in a red, white and blue daisy print from the 1968 Republican convention. By the time she was in her late teens, Susan Ford was fed up with sharing a bathroom with her brothers so when the Secret Service made changes to the house in late 1973, her parents had a half bath added for her room.

In 1961, when Susan was five years old and able to swim, the Fords added a heated swimming pool at a cost of \$7,500. They had deliberately bought the plot of land on Crown View Drive so that it was big enough to put in the 40ft by 20ft pool that Gerald Ford desired.

It was sixteen feet deep, with steps at the shallow end on the right side of the house and a diving board on the left side. The top foot of the pool was tiled with fish-shaped tiles in two shades of blue.



*Tiles from the pool*

"It was very pretty; we'd transformed the backyard into a patio and swimming pool area, plus my garden and it was completely enclosed by antique brick walls covered with shrubbery, which made it private. But it tempted children to all kind of mad games. The first time Jerry and I came home from the Greenbrier, Susan was in bandages. She'd fallen into the pool and cut her chin. The next time, the children were fine but the sitter was gone. 'Where's Lee (Mason)?' I said. 'Down at the emergency room,' said Mike airily," Betty Ford wrote in her autobiography.

The pool was primarily designed to satisfy Gerald Ford's passion for swimming. He swam in the pool daily before dawn regardless of the weather.



*President Ford in the pool at 514 Crown View Drive*

The Fords would celebrate the Fourth of July with the rest of the Clover neighborhood at Harold Hernlys' antebellum farmhouse on the north side of Janneys Lane. Prior to Gerald Ford's election as minority leader of the House of Representatives, the Fords also found time to host Chowder and Marching

## History of Clover (continued)

Society parties - a society founded in 1949 by 15 Republican Congressmen opposed to monthly bonuses for war veterans of which President Richard Nixon was a member.

Gerald Ford also took his sons on visits to the House and the Senate. Two passes written out in 1960 for his eldest son, Mike, one for the House of Representatives signed by Gerald Ford and one for the Senate signed by Everett Dirksen, were found behind the kitchen cabinets.



*Passes for the House and Senate found behind the kitchen cabinets*

Gerald Ford was at home in Crown View Drive when President Richard Nixon telephoned him to tell him formally that he was Nixon's choice for the Vice Presidency when Spiro Agnew resigned. Betty Ford was in the kitchen "rustling up steaks for dinner" when the secure phone rang on the night of October 12, 1973. Susan answered the phone and President Nixon asked her to put both her mother and father on the phone.



*President Ford in the family room/TV room that he also used as a study at the back of 514 Crown View Drive.*

*The book cases at the rear of this photo are still there today.*

Hours after he became Vice President, the Secret Service moved in and over the next month installed a command post in the garage of the house. They bricked up the entrance to the garage and installed a bay window as an observation point, replaced a side window with a door so they could come and go and

put in a half bath, closet, sink, stove and fridge. They soundproofed the new command post and installed fire, smoke and radiation detection systems which were connected to a control console in the command post. They also put in bullet-resistant windows and alarmed one window in the master bedroom, installed high-intensity lighting for emergencies and built two temporary guard booths at each corner of the backyard, each with electricity, heat and phone lines. Some of the secure telephone wires they installed to connect the house directly to the White House are still in the loft at 514 Crown view Drive today. At the same time work was done to the brick sidewalk, steps and front stoop. All of this work was paid for by Congress.

The driveway was reinforced to take the Vice Presidential Lincoln – work the Fords were required to pay for. The façade of the house remains the same today as does the command post window added by the secret service to overlook the reinforced driveway (pictured below).



*Standing on the newly reinforced driveway in front of the completed renovations*

On Saturday July 27, 1974, as Watergate was breaking, Vice President Ford stood on his front stoop to field questions after the House Judiciary Committee voted to adopt the first article of impeachment against President Nixon. The Associated Press photograph of Ford, carried in newspapers such as the Washington Star-News and the Birmingham News, helped soften the image of a government removed from the average person. From his front yard in Clover the Vice President “maintained that his belief in the President’s innocence (was) as strong as ever”.

In the pre-resignation turmoil on the afternoon of Thursday, August 8, Marjorie Rogers from 315 Cambridge Road spent the afternoon with Betty Ford fielding telephone queries, marshaling the children and lining up clothes for them for the next few days.

At 9 p.m. that night the Ford family turned on the television in their pine paneled family room. Steve (18) and Susan (17) lay on the floor at their parents’ feet to hear President Richard Nixon resign.

"And so, for the second time in less than a year, this little-known family living an all-American existence in its unpretentious house was swept along by the tide of history, the Ladies Home Journal reported.

The press quickly gathered outside 514 Crown View Drive in a tight semi-circle around a microphone stand on the sidewalk. TV lights were snapped on, illuminating the fine drizzle that fell almost unnoticed.



*President Ford's first speech as President (center with microphones in front of him)*

A few minutes later Gerald Ford stepped out of his front door and gave the first press conference of his presidency in front of 130 million American TV viewers and countless millions around the world.

"For Alexandria, it was the first (day) of many in the global spotlight, as neighborhood pride and unprecedented suspense provided a backdrop for the most melodramatic making of a president in our history...Suddenly he was bounding down the steps, flanked by his Secret Service protectors. A swell of applause and the first cries of 'Mr. President!' greeted Gerald Ford as he leaned over a battery of microphones and sought to reassure a troubled nation," the Journal said.

As the new President headed back indoors he was hugged by six-year-old Anne Abbruzzese from 515 Crown View Drive directly across the street. The warm, homely picture of Anne Abbruzzese made virtually every newspaper's front page the next day.

At 7 a.m. the following morning, the day of his inauguration, Gerald Ford was photographed in his pajamas as he went out of his front door to pick up The Washington Post.

"The President of the United States, in baby blue pajamas, appears on his doorstep looking for the morning paper, then goes back inside to fix his orange juice and English muffin," Mrs. Ford remembered one newspaper later reporting.

A couple of hours before the inauguration Betty Ford answered the front door to Anne Abbruzzese's father, Peter, who had been invited to the inauguration and had a question about it. Betty Ford still had a cup of coffee in her hand. Her daughter, Susan, Anne Abbruzzese's favorite babysitter, was still in her dressing gown and nightshirt and had bare feet.

The picture, taken by an Associated Press photographer, appeared in newspapers across the country the following day. The Washington Post used the picture to point out that the new first family still had time for their neighbors, while the New York Daily News described them as the "folks next door".



*The Fords answer the door to neighbor Peter Abbruzzese on the morning of the inauguration*

Gerald Ford came out onto his lawn and signed autographs before heading to the White House to take his oath of office.



## History of Clover (continued)

Shortly after 7 p.m. the President and his family returned home to Crown View Drive. The White House was still occupied by President Nixon and his staff, and would be for the next ten days, so the Ford family had nowhere else to go.

"The news people were out in the street when his car turned into our driveway, and all our neighbors were there too, cheering.....and everybody from Crown View Drive was in our kitchen eating ham and salad and lasagna and wishing us well and toasting the new President," said Betty Ford.

Gerald Ford rolled up his sleeves and poured the Champagne for neighbors as well as close friends including Melvin Laird and his wife. Laird, Secretary of Defense under Nixon was also a former Republican Congressman from Wisconsin.

That evening when everyone had gone the family watched the Inaugural Address on the eleven o'clock news on the television in the master bedroom. The television they usually watched in the family room downstairs was broken so they all sat on the double bed instead.

Hundreds of reporters and photographers camped out on the sidewalk for the best part of the next two weeks. Police roped off Crown View Drive at the junction with Cloverway Drive and the street saw a wave of secret service cars and high ranking Republicans come and go. For the next ten days 514 Crown View Drive became what was known as "The Alexandria White House", until President Nixon finally vacated the residency and they were able to move in.

"It rained constantly those first few days and there was just no place to go. Then the Abbruzzeses opened their home to us. The 'john' was always open, and they even let the TV crews plug their equipment into their electrical outlets," said Susan Peterson from CBS News

At 7 a.m. Peter Abbruzzese unlocked the garage before getting his breakfast. Louise Abbruzzese kept a large coffee pot going in the garage and often brought the journalists doughnuts. On the day of the inauguration, Peter Abbruzzese brought out several pitchers of martinis and on another day he passed out cans of beer. In return the press stayed off the lawn and picked up its cigarette butts and litter at the end of the day.

In gratitude, the reporters installed a plaque on the couple's garage pronouncing it President Ford's first press room.

*Betty Ford outside Crown View Drive during the ten days it was "The Alexandria White House"*



That photo of Betty Ford  
Mrs. Ford came out in time to appease photographers hounding right during last week's inauguration events.





*The press used 515 Crown View Drive as a base during the first ten days of the Ford presidency*

Betty Ford sent a farewell note to Louise and Peter Abbruzzese on September 3, 1974 saying that her departure came with “mixed emotions of sadness and anticipation.” She thanked them for the kindnesses they had shown the family over the years.

The Ford family kept the house at 514 Crown View Drive until they moved out of the White House. On January 13, 1977, eight days before President Jimmy Carter’s inauguration, President Ford wrote to the next owner, Moussa Moaadel: “I am happy to hear that you will soon be the new owner of our Alexandria home...Betty, the children, and I had many wonderful years in that home.”

The Fords received so many offers for their house that the bidding went way above the asking price. Rumors began to circulate that Gerald Ford was a real Republican after all and was in it to get rich. In the end, the Fords decided that the only fair way to sell the property was to sell it at its appraised value of \$137,000. Mr. Moaadel, an Iranian-born real estate agent, had been the first to bid at that price. Betty Ford did not want to leave.

“For me, leaving the White House wasn’t nearly so much of a wrench as leaving our house in Alexandria. After we decided we weren’t going to move back and put the house up for sale, I never went over there again. I didn’t want to. We had built the place, the children had grown up there, all of our neighbors were friends. We’d been to so many block parties and Fourth of July celebrations, we’d planted gardens and put in trees, and I knew if I saw it again it would upset me,” she said.

Historians now see the house as representing both the economic and social circumstances of the Fords’ lives over a nineteen-year period as they worked towards becoming, and then became, the first family. The design not only demonstrates their family values, the modesty of the house itself helped change the way the presidency was viewed in America. In the wake of the Watergate scandal, it grounded the Presidency for ordinary Americans and brought it down to something that many could relate to. It was

## History of Clover (continued)

declared a National Historic Landmark on December 17, 1985 (one of 2,500) and is now on a trail of historic sites to see around Alexandria.<sup>16</sup>

In the 1980s, the house was designated as the chosen site for President Ford's National Park. The National Park Service designates one location per president as a National Park in their honor. The only reason it did not become a publicly recognized national park was because President Ford wrote a letter to the National Parks Service expressing his fears that the fabric of the neighborhood would be permanently altered as a result.

For more details:

<http://www.clovercollegepark.com/history>

Link to National Historic Landmark Documentation

<http://pdfhost.focus.nps.gov/docs/NHLS/Text/85003048>

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<sup>16</sup> Information for this article has been taken from newspaper clips in the early 1970s, documents in the City Archives, The National Park Service's National Register of Historic Places, Interviews with Susan Ford, Betty Ford (through Susan Ford), Peter and Louise Abbruzzese, *The Times of My Life* by Betty Ford and *A Time to Heal* by Gerald Ford.

# FW: Neighborhood Concerns with Planning Department Transparency

Alex Dambach

Wed 10/21/2015 8:20 PM

Inbox

To: PlanComm <PlanComm@alexandriava.gov>;

This email needs to go with the Vassar package for the Commission.

Alex Dambach, AICP  
Division Chief – Land Use Services  
City of Alexandria  
301 King Street, Rm 2100  
Alexandria, VA 22314  
Office: 703-746-3829  
Mobile: 571-393-7339  
[alex.dambach@alexandriava.gov](mailto:alex.dambach@alexandriava.gov)  
[www.alexandriava.gov](http://www.alexandriava.gov)

---

**From:** don.brady06 [mailto:don.brady06@comcast.net]

**Sent:** Tuesday, September 29, 2015 7:51 PM

**To:** Alex Dambach; [ilic.zorana@gmail.com](mailto:ilic.zorana@gmail.com); [dnagle82@gmail.com](mailto:dnagle82@gmail.com); [elliotr@rhodeside-harwell.com](mailto:elliotr@rhodeside-harwell.com); [Katherine@fsirenovations.com](mailto:Katherine@fsirenovations.com); [deanar@rhodeside-harwell.com](mailto:deanar@rhodeside-harwell.com); [patsyrogersinva@gmail.com](mailto:patsyrogersinva@gmail.com); [henalloyd@yahoo.com](mailto:henalloyd@yahoo.com); [drjlrust@gmail.com](mailto:drjlrust@gmail.com)

**Cc:** James Banks; Joanna Anderson; Karl Moritz; Jeffrey Farner; Yon Lambert; Dave Brown; H Stewart Dunn; Mindy Lyle; Maria Wasowski; Mary Lyman; Nathan Macek; Stephen Koenig; Emily Baker

**Subject:** RE: Neighborhood Concerns with Planning Department Transparency

Thank you Alex, much appreciated.

Sent on the new Sprint network with my Galaxy Tab 3

----- Original message -----

From: Alex Dambach <[alex.dambach@alexandriava.gov](mailto:alex.dambach@alexandriava.gov)>

Date: 09/29/2015 5:36 PM (GMT-05:00)

To: Don Brady <[don.brady06@comcast.net](mailto:don.brady06@comcast.net)>, [ilic.zorana@gmail.com](mailto:ilic.zorana@gmail.com), [dnagle82@gmail.com](mailto:dnagle82@gmail.com), [elliotr@rhodeside-harwell.com](mailto:elliotr@rhodeside-harwell.com), [Katherine@fsirenovations.com](mailto:Katherine@fsirenovations.com), [deanar@rhodeside-harwell.com](mailto:deanar@rhodeside-harwell.com), [patsyrogersinva@gmail.com](mailto:patsyrogersinva@gmail.com), [henalloyd@yahoo.com](mailto:henalloyd@yahoo.com), [drjlrust@gmail.com](mailto:drjlrust@gmail.com), [patsyrogersinva@gmail.com](mailto:patsyrogersinva@gmail.com)

Cc: James Banks <[James.Banks@alexandriava.gov](mailto:James.Banks@alexandriava.gov)>, Joanna Anderson

<[Joanna.Anderson@alexandriava.gov](mailto:Joanna.Anderson@alexandriava.gov)>, Karl Moritz <[Karl.Moritz@alexandriava.gov](mailto:Karl.Moritz@alexandriava.gov)>, Jeffrey Farner

<[Jeffrey.Farner@alexandriava.gov](mailto:Jeffrey.Farner@alexandriava.gov)>, Yon Lambert <[Yon.Lambert@alexandriava.gov](mailto:Yon.Lambert@alexandriava.gov)>, Dave Brown, H

Stewart Dunn, Mindy Lyle, Maria Wasowski, Mary Lyman, Nathan Macek, Stephen Koenig, Emily Baker  
<[Emily.Baker@alexandriava.gov](mailto:Emily.Baker@alexandriava.gov)>

Subject: RE: Neighborhood Concerns with Planning Department Transparency

I want to inform all of you that the subdivision hearing for 809-811 Vassar Road will be postponed from October 6 to November 5 this year. We just received the applicant's written agreement to this postponement. We hope this postponement will allow additional opportunity for more discussion on this application and allow for additional input from the community. I do hope we would be able to meet soon to discuss this project.

Thank you.

Alex Dambach, AICP  
Division Chief – Land Use Services  
City of Alexandria  
301 King Street, Rm 2100  
Alexandria, VA 22314  
Office: 703-746-3829  
Mobile: 571-393-7339  
[alex.dambach@alexandriava.gov](mailto:alex.dambach@alexandriava.gov)  
[www.alexandriava.gov](http://www.alexandriava.gov)

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**From:** Emily Baker

**Sent:** Monday, September 28, 2015 1:19 PM

**To:** Don Brady

**Cc:** City Council; City Council Aides; James Banks; Joanna Anderson; Karl Moritz; Jeffrey Farner; Alex Dambach; Yon Lambert; Dave Brown, H Stewart Dunn, Mindy Lyle, Maria Wasowski, Mary Lyman, Nathan Macek, Stephen Koenig; [ilic.zorana@gmail.com](mailto:ilic.zorana@gmail.com); [dnagle82@gmail.com](mailto:dnagle82@gmail.com); [elliotr@rhodeside-harwell.com](mailto:elliotr@rhodeside-harwell.com); [katherine@fsirenovations.com](mailto:katherine@fsirenovations.com); [deanar@rhodeside-harwell.com](mailto:deanar@rhodeside-harwell.com); [patsyrogersinva@gmail.com](mailto:patsyrogersinva@gmail.com); [henalloyd@yahoo.com](mailto:henalloyd@yahoo.com); [drjlrust@gmail.com](mailto:drjlrust@gmail.com); [patsyrogersinva@gmail.com](mailto:patsyrogersinva@gmail.com)

**Subject:** RE: Neighborhood Concerns with Planning Department Transparency

Mr. Brady,

First, let me apologize on behalf of the City staff for the error that occurred on Friday. Staff had every intent of posting the new staff report for the October Planning Commission hearing, but inadvertently posted the original staff report from last spring. I can assure you that there was no intent to misrepresent the information. Alex Dambach spoke with Helen Lloyd on Thursday, informed her of the staff recommendation and told her that the new report would be posted the next day. Unfortunately that did not happen.

Staff has posted the correct staff report today on the website, along with the stormwater summary from the Transportation & Environmental Services Department. Planning & Zoning staff is looking into the question you raised about the "line tool", I hope to have a response to you soon on that.

I would like to clarify that City staff did not release the correct staff report to the applicant either, but also directed the applicant's attorney to the website (with the incorrect report). So we have provided everyone with equally incorrect information!

I am sensitive to your concern about the amount of time provided to the community to review and analyze the staff recommendation. We are therefore working with the applicant and the City Attorney to explore a later date for the hearing that complies with all legal requirements about process and public notice. I will notify you of our progress on that but wanted to reach out to you today and share with you that the correct information is available.

In addition, Alex Dambach will be reaching out to you and your neighbors to set up a time (at your interest and convenience) to meet and discuss the staff analysis and answer any questions you may have about the staff report to assist with your review. I have attempted to copy all of the cc's from your previous emails, please forward to anyone I may have missed. I apologize again for the confusion.

Emily A. Baker  
Deputy City Manager  
City of Alexandria, Virginia  
703.746.4300  
[www.alexandriava.gov](http://www.alexandriava.gov)

---

**From:** Don Brady [<mailto:don.brady06@comcast.net>]  
**Sent:** Monday, September 28, 2015 8:35 AM  
**To:** Emily Baker  
**Cc:** don brady06  
**Subject:** Fwd: Neighborhood Concerns with Planning Department Transparency

Ms. Baker,

Please scroll down for the text of the letter that is being hand delivered to you today. In looking at my schedule today I see I will be in a place where accessing personal email and cell phone will not be possible from 11:30 until 5:30. I apologize for my inaccessibility but will be very happy to talk with you after 5:30.

Just to reaffirm, we have not received a copy of a report on this matter.

- The planning commission web site still has the May 5th report-which was posted after the Council sent the matter back to Planning Commission. its misleading to have the old report posted all summer without noting that a new one is expected.
- Yesterday, we were sent a link from Alex that opens the October 8th Planning Commission agenda.
- Water report promised at Planning Commission and City Council Meeting has not been provided to citizens.
- The line tool, which is one way citizens can meaningfully participate in our neighborhood planning process, has not, despite repeated assurances from staff going back to last Spring, been fixed so that citizens can use it.
- We presume that the developer has met multiple times with staff. Citizens, despite assurances that we would be "worked with" have been excluded.
- Given these serious process fouls and failure of staff to follow thru on promises to citizens, we believe the only acceptable course is to have the staff withdraw the new, phantom report and move the item at least to the November agenda.

Thank you again for your attention to this matter.

---

**From:** "Don Brady" <[don.brady06@comcast.net](mailto:don.brady06@comcast.net)>

<https://outlook.office.com/owa/PlanComm@alexandriava.gov/#viewmodel=ReadMessageItem&ItemID=AAMkAGU4MDAyN2ZILTQ3ZGMINGVmY1hZTM1L...> 3/5

**To:** "William euille" <[William.euille@alexandriava.gov](mailto:William.euille@alexandriava.gov)>, "allison silverberg" <[allison.silverberg@alexandriava.gov](mailto:allison.silverberg@alexandriava.gov)>, "john taylor chapman" <[john.taylor.chapman@alexandriava.gov](mailto:john.taylor.chapman@alexandriava.gov)>, "timothy lovain" <[timothy.lovain@alexandriava.gov](mailto:timothy.lovain@alexandriava.gov)>, "del pepper" <[del.pepper@alexandriava.gov](mailto:del.pepper@alexandriava.gov)>, "paul smedberg" <[paul.smedberg@alexandriava.gov](mailto:paul.smedberg@alexandriava.gov)>, "justin wilson" <[justin.wilson@alexandriava.gov](mailto:justin.wilson@alexandriava.gov)>  
**Cc:** "Lillian thompson" <[Lillian.thompson@alexandriava.gov](mailto:Lillian.thompson@alexandriava.gov)>, "mark mchugh" <[mark.mchugh@alexandriava.gov](mailto:mark.mchugh@alexandriava.gov)>, "lashawn timmons" <[lashawn.timmons@alexandriava.gov](mailto:lashawn.timmons@alexandriava.gov)>, "wendy donohue" <[wendy.donohue@alexandriava.gov](mailto:wendy.donohue@alexandriava.gov)>, "jane mcdonald" <[jane.mcdonald@alexandriava.gov](mailto:jane.mcdonald@alexandriava.gov)>, "nancy lavalley" <[nancy.lavalle@alexandriava.gov](mailto:nancy.lavalle@alexandriava.gov)>, "nancy lacey" <[nancy.lacey@alexandriava.gov](mailto:nancy.lacey@alexandriava.gov)>, "yon lambert" <[yon.lambert@alexandriava.gov](mailto:yon.lambert@alexandriava.gov)>, "karl moritz" <[karl.moritz@alexandriava.gov](mailto:karl.moritz@alexandriava.gov)>  
**Sent:** Sunday, September 27, 2015 6:50:36 PM  
**Subject:** Neighborhood Concerns with Planning Department Transparency

Dear members of the City Council:

On behalf of the neighbors on Crown View Drive, I am sharing a copy of a letter sent to Deputy City Manager Emily Baker. A hard copy, signed letter will be hand delivered tomorrow morning to Emily Baker and the Planning Commission when the City office opens. We understand that the Council may have no formal role in the process at this point but believe it important that our elected representatives are aware of our concerns with the responsiveness and transparency of the planning process on this subdivision. Thank you very much.

Don Brady

(For your convenience I have attached a copy of the neighborhood letter and embedded it in this email.)

Crown View Drive neighbors

Alexandria, VA. 22314

Contact phone number for neighborhood group:

703-861-7709 (Don Brady)

**TO: Emily Baker, Deputy City Manager**

**Cc: Karl Moritz, Director, Planning and Zoning**

**cc: Yon Lambert, Director, Transportation and Environmental Services**

**cc: Alex Dambach, Department of Planning and Zoning**

**cc: Alexandria Planning Commission**

**cc. Mayor and Members of Alexandria City Council**

September 27, 2015,

**RE: 809 and 811 Vassar Road Subdivision**

Dear Ms. Baker,

We are writing to you today not as a matter of choice, but out of urgent necessity, as it has become abundantly clear that our rights as citizens of Alexandria have not been impartially upheld by City staff trusted with upholding the City code, regulations and rights of citizens. We are deeply concerned that due process has not been followed in relation to the request for a subdivision of property at 809 and 811 Vassar Road.

Following an appeal to the City Council in June during which the case was sent back to the Planning Commission for further review and revision of the comparables and "close to methodology" used in the initial staff report, we were told by Karl Moritz and Alex Dambach that we would be able to work with them on a new staff report on the subdivision. In addition, we were promised that the staff would work with the neighborhood and provide us an opportunity to review the new staff report in ample time to do our own detailed analysis. Instead, we find ourselves and our neighborhood at risk of a Planning Commission hearing on October 6 based on a report we have yet seen. As of today, September 27, 2015, it is not on the City's website.

We were told during a meeting with Alex Dambach after the City Council hearing that we would be given adequate time to review the staff report. It was agreed we would have the report by August 17 or at least ten days ahead of the Planning Commission hearing. The Planning Department's procedures state that that staff reports should be made public at least two weeks ahead of a hearing. We have not yet seen the document.

The Planning Commission hearing on October 6 does not provide Crown View Drive residents with sufficient time to review the new staff report, process it and generate any meaningful comments or conclusions. Even if the report is available online on Monday, this only leaves us with seven days to review it ahead of the hearing. We would also hope that, unlike the May 5, 2015 Planning Commission meeting, staff will not present new information for the first time without any benefit of citizen review and comment.

When one of our neighbors met Alex Dambach at a meeting in Norfolk in July, Mr. Dambach told her that we "would not be disappointed" in the approach the new staff report would be taking. Contrary to this initial indication, we are now led to believe (although we have not yet seen the new report) that it is recommending approval of the subdivision..

Despite City Council's request for a water report and five City staff assessing the situation in our back yards the week after that hearing in June, we have not received the report nor heard anything about it since. If this is one of the documents to be presented at the hearing next week, we will again not have had adequate time to review it.

As a group of neighbors doing nothing more contentious than showing concern about our neighborhood an

# FW: Delay of 811/809 Vassar Road Subdivision Hearing Until November 2015

Alex Dambach

Wed 10/21/2015 8:15 PM

Inbox

To PlanComm <PlanComm@alexandriava.gov>;

This email needs to go with the Vassar package for the Commission.

Alex Dambach, AICP  
Division Chief – Land Use Services  
City of Alexandria  
301 King Street, Rm 2100  
Alexandria, VA 22314  
Office: 703-746-3829  
Mobile: 571-393-7339  
[alex.dambach@alexandriava.gov](mailto:alex.dambach@alexandriava.gov)  
[www.alexandriava.gov](http://www.alexandriava.gov)

---

**From:** Mary Hales [mailto:halesfam@me.com]

**Sent:** Wednesday, September 30, 2015 3:11 PM

**To:** Alex Dambach; MALyle@leoadaly.com; Maria Wasowski; Joanna Anderson; mslyman@verizon.net; H Stewart Dunn; dwbapc@gmail.com; mindyllyle@comcast.net; Stephen Koenig; Nathan Macek; William Euille; Emily Baker; Allison Silberberg; John Chapman; Timothy Lovain; Del Pepper; Paul Smedberg; Justin Wilson; Karl Moritz

**Cc:** Mary Catherine Gibbs; Mary And Steve Hales

**Subject:** Delay of 811/809 Vassar Road Subdivision Hearing Until November 2015

Dear Ms. Baker,

**First, we consent to having our case heard at the November Planning Commission Meeting.**

The rest of this letter is in response to the neighbors' supposed concerns about transparency with the process.

1. We vehemently reject the overall tone and premise of the email from the neighbors that we, the applicants, have somehow colluded with City Staff to get the outcome we desire from the Staff Report. The neighbors' letter implies that we have had undue influence on the Staff Report. To say that we colluded with City Staff on the Staff Report is as offensive as it is laughable. This process has taken over a year because a handful of people have been allowed to create the impression that what we are doing is somehow unethical or illegal.

We have not "met excessively" with Staff. The facts of our case speak for themselves. There is no question about the legality of this subdivision and there was no collusion between City Staff and us, the applicants. We received the same link that the appellants did which linked to the old staff report so we did not receive the report any earlier than the opposing neighbors.



2. So who is really being harmed by this delay? We are the ones making large monthly mortgage payments on a vacant property at 809 Vassar Road, while we wait for the City to make a decision. We rented the home out on a schedule that anticipated final decisive action at the June City Council hearing. This, of course did not happen, and now our case which has been ongoing for over a year is delayed further. A delay in the commission hearing harms us, the applicants, only. There is no requirement in the City Ordinance that anyone (applicant or appellant) be guaranteed a 10 day review period of the Staff Report. The City has **not**, in actuality, made a mistake.

3. Delaying the hearing yet another month increases the stress both we and our children have been living with for the past year. It is a stress that can't be measured or quantified. We have been vilified, called "unethical" and "greedy" as well as lied about to unsuspecting residents of Clover/College Park in order to get them to oppose an entirely legal subdivision. Residents of Clover have been told that we were requesting a variance and that we were doing things in opposition to city law. One neighbor even publicly questioned Steve's professional integrity. This was done in the city papers, on our neighborhood listserv, and in letters to the City that were open for all to read.

4. Virginia law couldn't be more clear that subdivisions are ministerial acts. The City Staff is not wrong, nor was the Planning Commission wrong and all these delays due to a few vocal neighbors is disturbing. Lest you think there is a mandate against this subdivision, please count the letters of support from Alexandria property owners regarding this case. Those supportive of the subdivision easily outnumber those against.

We have tried to be polite and respectful throughout this process. We invited our neighbors to walk the property with us and to engage with us. They have instead chosen to lob incendiaries through the media, on our community email list and in other public forums. We will not continue to allow our names to be dragged through the mud for doing something that is perfectly legal and within our rights.

**We ask that our subdivision continue to be approved and upheld at every level of government it reaches in the upcoming months.**

Sincerely,

Steve and Mary Hales

811 Vassar Road  
Alexandria, VA 22314

# FW: 811 and 809 Vassar

Alex Dambach

Wed 10/21/2015 8:24 PM

Inbox

To: PlanComm <PlanComm@alexandriava.gov>;

This e-mail needs to go in the Vassar Road packet for the Planning Commission.

Alex Dambach, AICP  
Division Chief – Land Use Services  
City of Alexandria  
301 King Street, Rm 2100  
Alexandria, VA 22314  
Office: 703-746-3829  
Mobile: 571-393-7339  
alex.dambach@alexandriava.gov  
[www.alexandriava.gov](http://www.alexandriava.gov)

-----Original Message-----

From: Cathy Tyler [<mailto:the.tylers@comcast.net>]  
Sent: Monday, September 21, 2015 6:24 PM  
To: Alex Dambach  
Cc: Mary Hales  
Subject: 811 and 809 Vassar

Dear Mr. Dambach,

Mary Hales asked me to get in touch with you in reference to 811 and 809 Vassar Road. My parents (Nancy and William Francis Smith) built the house at 811 after buying the lot from Mr. Beach, the developer who lived across the street. As the development was originally drawn there was a lot between what is now 811 and 809. When my parents were looking at the lots they wanted a side load garage and the lot at 811 wasn't large enough to accommodate the configuration they had in mind. They negotiated to buy 1/2 of the proposed lot and the Payne's (809) bought the other half. The space that remains between 811 and 809 is not the original proposed lot. I recently asked my father about the space and he said that their house was built on to the 1/2 lot because of the garage issue. I hope this adds some clarity to the discussion.

Sincerely,  
Cathy Smith Tyler

July 15, 2015

To: Whom it May Concern  
From: Steve and Mary Hales

Re: Subdivision of 811/809 Vassar Road

**Summary:**

This document displays different plat options for the subdivision at 811/809 Vassar Road in Alexandria, VA. We believe all of these are substantially similar to the rest of the neighborhood and all should be approved. In fact we request permission to submit several of these plats to the Planning Commission and ask them to pick which one/ones they are willing to approve.

Plat 1 is the lot originally approved by City Staff and the Planning Commission. While it is slightly under the thresholds used last time by the City Staff to approve it when compared to only the two lots on Crown View it is still substantially similar (see pages 15-16).

Plat 2 is a slightly modified plat that meets the methodology already used by City Staff in our subdivision case and upheld by both the Planning Commission and the City Council. We ask that the same methodology used the first time our subdivision went before the Planning Commission continue to be used as that methodology was upheld by both the Planning Commission and the City Council. The City Council sent it back because they didn't like the comparable lots, not because they thought the methodology was improper. The approved methodology said that a new lot had to be within 10 ft of the frontage of 50% of the comparable lots and within 1000 sq. feet of 50% of comparable lots. This Plat meets those thresholds. Plat 2 requires approximately one inch to be taken from the front left corner of 809 Vassar Road and will be the least onerous option after Plat 1.

Plat 3 is another option. It meets the new construct introduced by City Staff during the Braddock Road subdivision in July 2015. It says that a new lot must be within 10% of 50% of comparable lots. This Plat (3) would require us to take approximately 3 feet off of the garage of 809 Vassar in order to meet the setback.

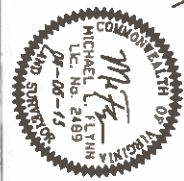
Plat 4 is yet another option that meets the original construct used by City Staff during our approval process. This plat is different in that it meets all enumerated items (ie. frontage and square footage) as well as the unenumerated lot width. This would be the most onerous option requiring us to take approximately 4 feet off of the garage of 809 Vassar in order to meet the setback.

We would prefer to keep our original plat that doesn't make us change the house at 809 Vassar. However, if this is not possible we are willing to use one of the other plats. We would prefer Plat 2 as it is based on the methodology used in our original case. Plat 2 would allow the least amount of change to the existing house at 809 Vassar as it would only involve taking a 1 inch section of brick off the front corner of the garage. Plat 3 and Plat 4 would require more extensive renovations for us to remove approximately 3 feet and 4 feet respectively off the garage at 809 Vassar. We can do this but it seems both wasteful and punitive, especially as the house that would go on any one of these 4 Plats in the future would look essentially the same on any of these lots. It is quibbling over a matter of degrees. All are substantially similar.

Mary and Steve Hales  
811 Vassar Road  
Alexandria, VA 22314

- TREE LEGEND**
- 1. 14" MAPLE
  - 2. 18" OAK
  - 3. 18" OAK
  - 4. 6" MULTI STEM HOLLY
  - 5. 12" HOLLY
  - 6. 3" PERSIMMON
  - 7. 10" MAGNOLIA
  - 8. 3" HOLLY
  - 9. 2" MAGNOLIA
  - 10. 2" MAGNOLIA
  - 11. 2" MAGNOLIA
  - 12. 18" PINE
  - 13. 2" POPLAR
  - 14. 3" HAWTHORNE
  - 15. 4" MAGNOLIA (3 TREES)
  - 16. 3" HOLLY
  - 17. 6" CEDAR
  - 18. 6" CEDAR
  - 19. 5" CHERRY
  - 20. 15" MAGNOLIA
  - 21. 2" MULTI CREPE MYRTLE
  - 22. 8" POPLAR
  - 23. 8" POPLAR
  - 24. 10" POPLAR

- 25. 3" MULTI CREPE MYRTLE
- 26. 3" MULTI CREPE MYRTLE
- 27. 3" MULTI CREPE MYRTLE
- 28. 3" HOLLY
- 29. 6" HOLLY
- 30. 4" HOLLY
- 31. 8" HOLLY
- 32. 6" FIR
- 33. 5" CEDAR
- 34. 2" MULTI CREPE MYRTLE
- 35. 2" MULTI CREPE MYRTLE
- 36. 2" MULTI CREPE MYRTLE
- 37. 2" MULTI CREPE MYRTLE
- 38. 8" CHERRY
- 39. 4" HOLLY
- 40. 3" HOLLY
- 41. 4" HOLLY
- 42. 3" MULTI CREPE MYRTLE
- 43. 2" CREPE MYRTLE
- 44. 8" HOLLY
- 45. 6" ALANTHIUS
- 46. 12" OAK
- 47. 4" HOLLY
- 48. 24" MAPLE



**ALEXANDRIA SURVEYS, LLC**  
 1219 CAMDENVILLE ROAD #104, STARBUCK VA, 22156  
 TEL. NO. 703-616-1313 FAX NO. 703-616-4266

SHEET 2 OF 2  
 PRELIMINARY SUBDIVISION PLAN  
 LOTS 625, 626 & 627 OF THE RESUBDIVISION OF  
 LOT 25, BLOCK 3  
 AND ADDITION TO SECTION 11  
 CLOVER

**APPROVED**

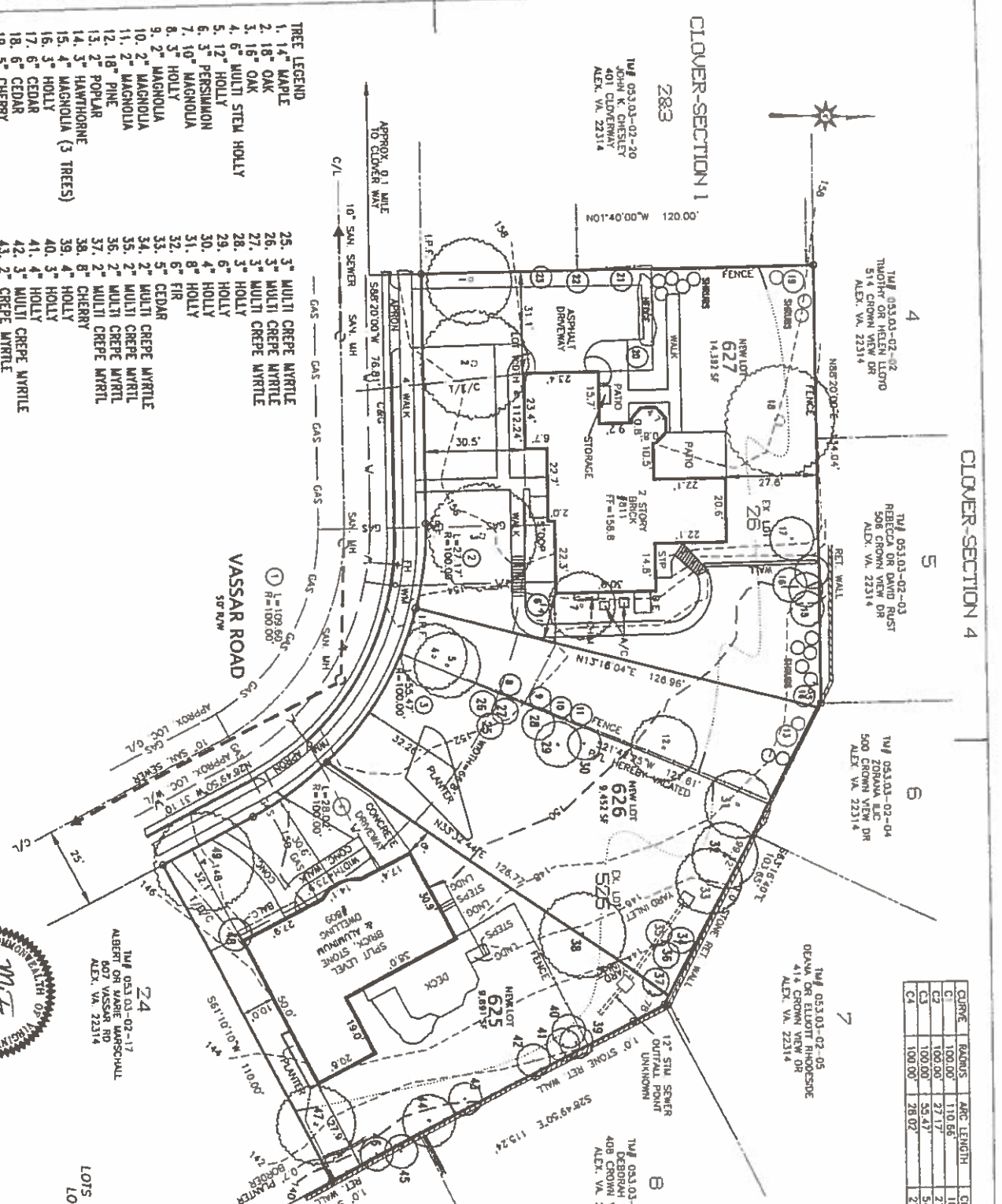
CITY PLANNING COMMISSION  
 ALEXANDRIA, VA

DATE: \_\_\_\_\_ CHAIRMAN

DATE: \_\_\_\_\_ DIRECTOR OF PLANNING

DATE: \_\_\_\_\_ PUBLIC PARTICIPATION BOARD MEMBER

DATE: \_\_\_\_\_ DIRECTOR

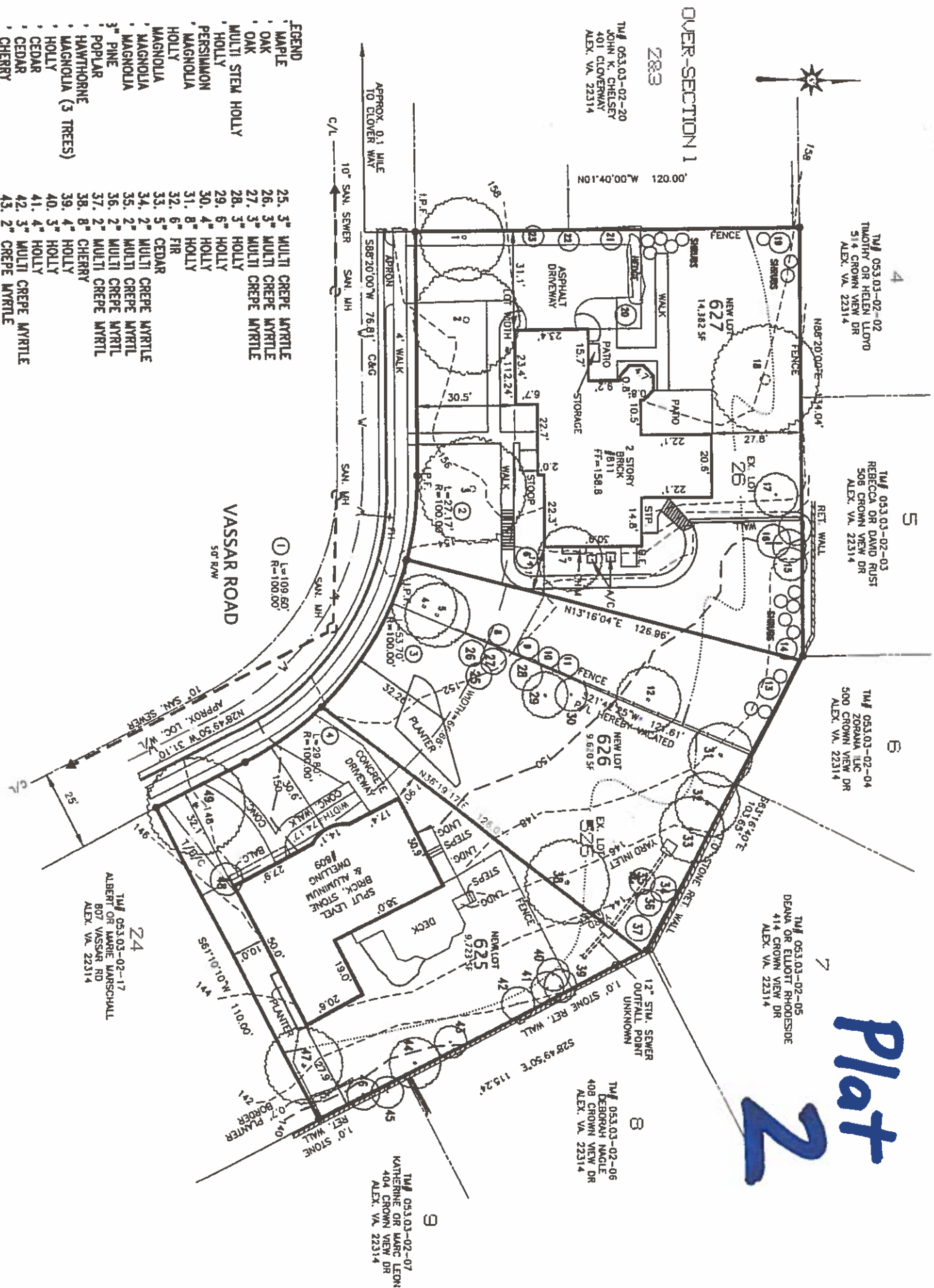


CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	100.00	110.06	105.10	S 60°31'17" E	83°24.18"
C2	100.00	27.17	5.60	S 60°26'28" E	13°33.57"
C3	100.00	53.47	54.06	S 60°45'59" E	31°47'01"
C4	100.00	28.02	27.93	S 35°50'49" E	16°03'21"

**Plot 1**

CLOVER-SECTION 4

**Plat 2**



- LEGEND**
- MAPLE
  - OAK
  - MULTI STEM HOLLY
  - HOLLY
  - PERSIMMON
  - MAGNOLIA
  - HOLLY
  - MAGNOLIA
  - HOLLY
  - MAGNOLIA (3 TREES)
  - HOLLY
  - CEDAR
  - CHERRY
  - MAGNOLIA
- 25. 3" MULTI CREPE MYRTLE
  - 26. 3" MULTI CREPE MYRTLE
  - 27. 3" MULTI CREPE MYRTLE
  - 28. 3" HOLLY
  - 29. 6" HOLLY
  - 30. 4" HOLLY
  - 31. 8" HOLLY
  - 32. 6" FIR
  - 33. 5" CEDAR
  - 34. 2" MULTI CREPE MYRTLE
  - 35. 2" MULTI CREPE MYRTLE
  - 36. 2" MULTI CREPE MYRTLE
  - 37. 2" MULTI CREPE MYRTLE
  - 38. 8" CHERRY
  - 39. 4" HOLLY
  - 40. 3" HOLLY
  - 41. 4" HOLLY
  - 42. 3" MULTI CREPE MYRTLE
  - 43. 2" CREPE MYRTLE
  - 44. 8" HOLLY

CLOVER-SECTION 4

VER-SECTION 1

283

TW 053.03-02-20  
JOHN K CHELSEY  
401 CLOVERWAY  
ALEX. VA. 22314

TW 053.03-02-02  
TIMOTHY OR HELEN LLOYD  
514 CROWN VIEW DR  
ALEX. VA. 22314

TW 053.03-02-03  
REBECCA OR DAVID RUST  
508 CROWN VIEW DR  
ALEX. VA. 22314

TW 053.03-02-04  
ZORANA M.C.  
500 CROWN VIEW DR  
ALEX. VA. 22314

TW 053.03-02-05  
DEANA OR ELIJOTT RHODESIDE  
414 CROWN VIEW DR  
ALEX. VA. 22314

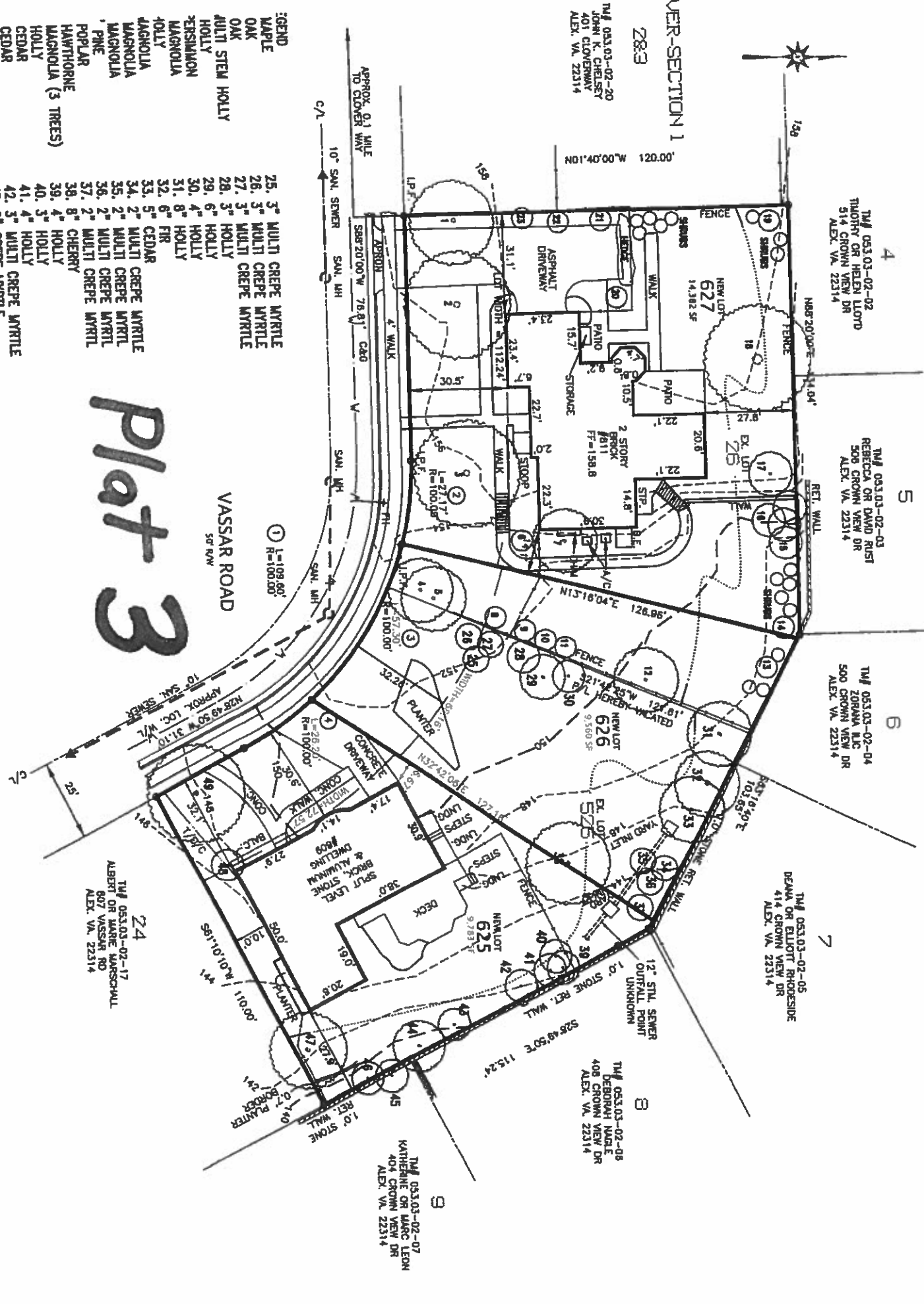
TW 053.03-02-08  
DEBORAH NAGLE  
408 CROWN VIEW DR  
ALEX. VA. 22314

TW 053.03-02-07  
KATHERINE OR MARC LEON  
404 CROWN VIEW DR  
ALEX. VA. 22314

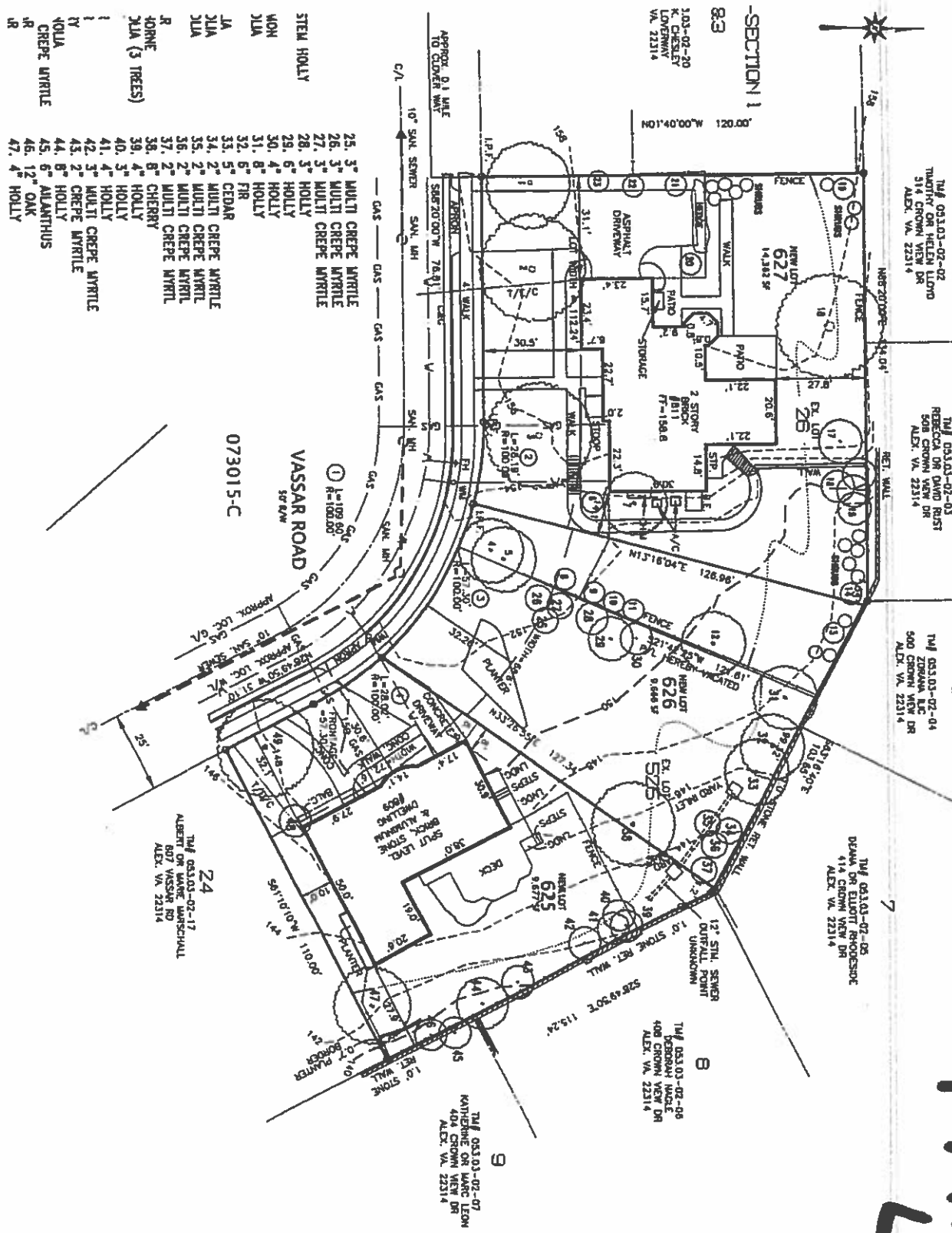
- LEGEND
- MAPLE
  - OAK
  - MULTI STEM HOLLY
  - HOLLY
  - YERSIMON
  - MAGNOLIA
  - HOLLY
  - MAGNOLIA
  - MAGNOLIA
  - MAGNOLIA
  - PINE
  - POPLAR
  - HAWTHORNE
  - MAGNOLIA (3 TREES)
  - HOLLY
  - CEGDAR
  - CEGDAR
  - CHERRY
  - MAGNOLIA
  - ANY OTHER
- 25. 3" MULTI CREPE MYRTLE
  - 26. 3" MULTI CREPE MYRTLE
  - 27. 3" MULTI CREPE MYRTLE
  - 28. 3" MULTI CREPE MYRTLE
  - 29. 6" HOLLY
  - 30. 4" HOLLY
  - 31. 8" HOLLY
  - 32. 6" FIR
  - 33. 5" CEDAR
  - 34. 2" MULTI CREPE MYRTLE
  - 35. 2" MULTI CREPE MYRTLE
  - 36. 2" MULTI CREPE MYRTLE
  - 37. 2" MULTI CREPE MYRTLE
  - 38. 8" CHERRY
  - 39. 4" HOLLY
  - 40. 3" HOLLY
  - 41. 4" HOLLY
  - 42. 3" MULTI CREPE MYRTLE
  - 43. 2" CREPE MYRTLE
  - 44. 8" HOLLY
  - 45. ANY OTHER

Plat 3

VASSAR ROAD



# Plot 4



- 25. 3" MULTI CREPE MYRTLE
- 26. 3" MULTI CREPE MYRTLE
- 27. 3" MULTI CREPE MYRTLE
- 28. 3" HOLLY
- 29. 6" HOLLY
- 30. 4" HOLLY
- 31. 8" HOLLY
- 32. 6" FIR
- 33. 5" CEDAR
- 34. 2" MULTI CREPE MYRTLE
- 35. 2" MULTI CREPE MYRTLE
- 36. 2" MULTI CREPE MYRTLE
- 37. 2" MULTI CREPE MYRTLE
- 38. 8" CHERRY
- 39. 4" HOLLY
- 40. 3" HOLLY
- 41. 4" HOLLY
- 42. 3" MULTI CREPE MYRTLE
- 43. 2" CREPE MYRTLE
- 44. 8" HOLLY
- 45. 6" ALANTHUS
- 46. 12" OAK
- 47. 4" HOLLY

073015-C  
VASSAR ROAD  
SR 62W

TH/ 03.10.03-02-02  
THOMMY DR HELLEN LLOYD  
514 CROWN VIEW DR  
ALEX. VA. 22314

TH/ 03.10.03-02-03  
REBECCA DR DAVID RUST  
508 CROWN VIEW DR  
ALEX. VA. 22314

TH/ 03.10.03-02-04  
ZONAIA L.C.  
500 CROWN VIEW DR  
ALEX. VA. 22314

TH/ 03.10.03-02-05  
DEBRA DR ELIOTT RENFRESSURE  
414 CROWN VIEW DR  
ALEX. VA. 22314

TH/ 03.10.03-02-06  
DEBRAH WALE  
408 CROWN VIEW DR  
ALEX. VA. 22314

TH/ 03.10.03-02-07  
KATHLEEN DR MASCILION  
404 CROWN VIEW DR  
ALEX. VA. 22314

TH/ 03.10.03-02-17  
ALBERT DR WARE WARSCHAU  
807 VASSAR RD  
ALEX. VA. 22314



**LOT 626 (New Lot)**

**Plat 1** (originally approved by Staff and Commission):

Address	Lot Frontage	Lot Area
Lot 626 (new lot)	55.5	9452
501 Crown View	63.7	10619
415 Crown View	67.2	12638

**Plat 2** (within the original construct used by staff to approve our original proposed lot and approved by Planning Commission. Construct says new lot had to be within 10 ft of 50% of the comparable lots and within 1000 sq ft of 50% of comparable lots. This Plat hits both those requirements) :

Address	Lot Frontage	Lot Area
Lot 626 (new lot)	53.7	9620
501 Crown View	63.7	10619
415 Crown View	67.2	12638

**Plat 3** (within newer construct used on Braddock Road subdivision approved by City Staff & Commission in July 2015. Construct says new lot must be within 10% of 50% of comparable lots. This Plat 3 reaches the benchmarks of this new construct as well):

Address	Lot Frontage	Lot Area
Lot 626 (new lot)	57.3	9560
501 Crown View	63.7	10619
415 Crown View	67.2	12638

**LOT 626 (New Lot)**

**Plat 4** (within the original methodology used by the staff to approve our original proposed subdivision and approved by the Planning Commission). Construct says new lot has to be within 10 ft of 50% of comparable lots and within 1000 sq ft of 50% of comparable lots. This plat hits both of these enumerated requirements as well as the unenumerated lot width variable (within 10 ft of 50% of comparable lots):

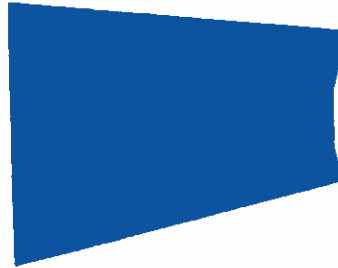
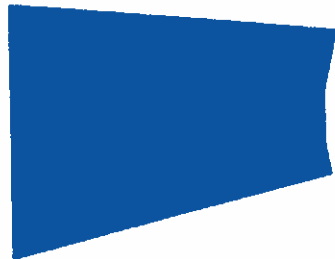
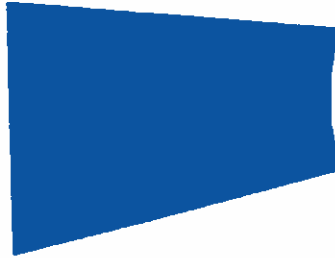
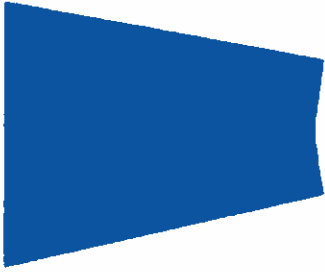
Address	Lot Frontage	Lot Area	Lot Width
Lot 626 (New Lot)	57.3	9666	69
501 Crown View	63.7	10619	79
415 Crown View	67.2	12638	91

**COMPARISON of Plats 1,2,3 & 4 (Lot 626):**

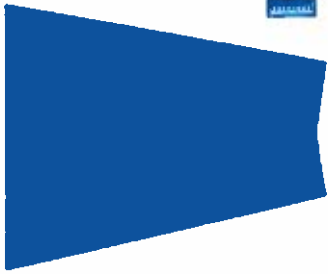
Lot 626	Frontage	Lot Area	Lot Width
Plat 1	55.5	9452	67
Plat 2	53.7	9620	67
Plat 3	57.3	9560	68
Plat 4	57.3	9666	69

For all intents and purposes these lots are the same. The house that could be built on any of these lots would be in the same place whichever one of these lots was approved. If one of these lots is in character with the neighborhood, they are all in character with the neighborhood.

# Four Possible Plats



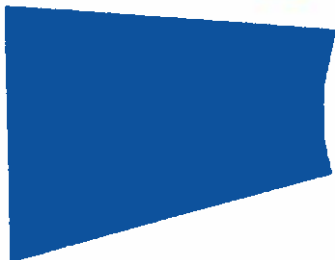
Which is Which?



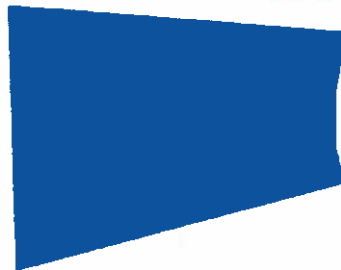
**Part 2**



**Part 1**



**Part 3**



**Part 4**

## LOT 625 (809 Vassar Road)

Plat 1 (Originally approved by City Staff and Commission):

Address	Frontage	Lot Area
Lot 625	59.1	9891
501 Crown View	63.7	10619
415 Crown View	67.2	12638

Plat 2 (within the original construct used by City Staff to approve our original proposed lot and approved by Planning Commission. Construct says new lot had to be within 10 ft of 50% of the comparable lots and within 1000 sq ft of 50% of comparable lots. This Plat 2 hits both those requirements):

Address	Frontage	Lot Area
Lot 625	60.9	9723
501 Crown View	63.7	10619
415 Crown View	67.2	12638

Plat 3 (within newer construct used on Braddock Road subdivision approved by City Staff & Commission in July 2015. Construct says new lot must be within 10% of 50% of comparable lots. This Plat 3 reaches the benchmarks of this new construct):

Address	Frontage	Lot Area
Lot 625	57.3	9783
501 Crown View	63.7	10619
415 Crown View	67.2	12638

## LOT 625 (809 Vassar Road)

Plat 4 (within the original methodology used by the staff to approve our original proposed subdivision and approved by the Planning Commission). Construct says new lot has to be within 10 ft of 50% of comparable lots and within 1000 sq ft of 50% of comparable lots. This plat hits both of these enumerated requirements as well as the unenumerated lot width variable (within 10 ft of 50% of comparable lots):

Address	Lot Frontage	Lot Area	Lot Width
Lot 625	57.3	9677	73
501 Crown View	63.7	10619	79
415 Crown View	67.2	12638	91

### COMPARISON of Plats 1,2,3 & 4 for Lot 625 (809 Vassar):

LOT 625	Frontage	Lot Area	Lot Width
Plat 1	59.1	9891	74
Plat 2	60.9	9723	74
Plat 3	57.3	9783	73
Plat 4	57.3	9677	73

**LOT WIDTH:**

Lot Width according to R-8 zoning requirements is 65 ft. Lot 626 (New Lot) shown in the plats above have lots widths of 67, 67, 68 and 69, easily meeting the 65 ft requirement in each instance and fulfilling Alexandria City law on this matter.

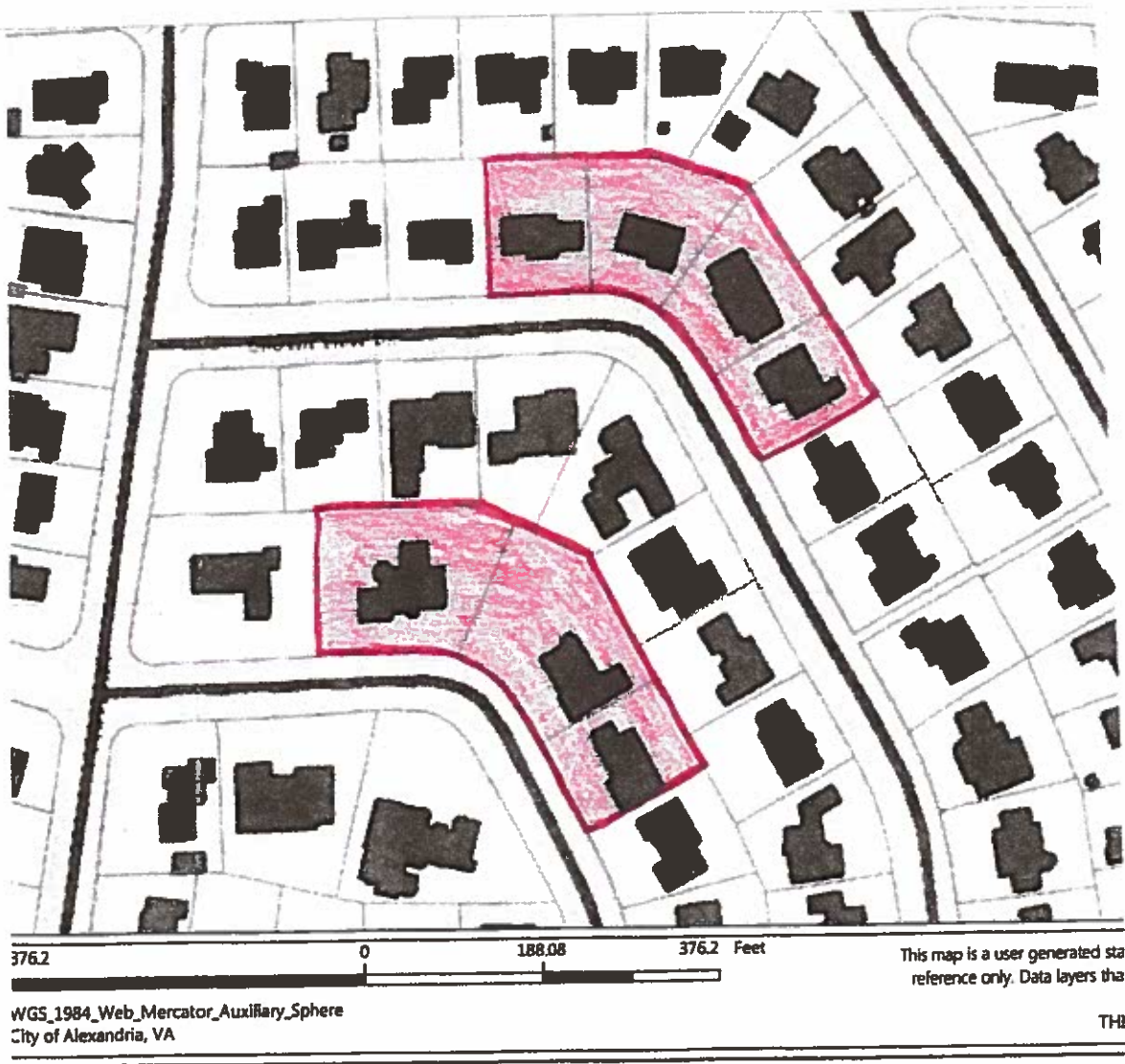
Lot width is not enumerated in the ordinance and should not be used for comparison purposes in determining whether proposed lots meet the character of the neighborhood threshold. It is only lawful to use it to make sure the R-8 zoning ordinance requirements are met.

The Assistant City Attorney, Ms. Anderson, stated at the City Council hearing, "As the council for the applicant has pointed out, lot width is one of those issues that staff looks at because they feel that it pertains to the zoning ordinance requirements but it's not actually listed in the character provision."

## The Eye Test

We've addressed the hard numbers and meet all the requirements of the law. Sometimes however it's helpful to put the numbers aside, take a step back, and just look at the space and lots to see if they look like they fit in with the neighborhood. The following three diagrams show that not only does a new lot meet the numbers test, it also meets the eye test and does indeed fit in with the character of the neighborhood.

1) Since the City Council is allowing us only two comparable lots, here is visual proof that a new lot is of "substantially the same character" as the portion of the neighborhood we are allowed to use. This diagram shows the corners of both Vassar Road and Crown View Drive. There are four homes on the corner of Crown View and we are proposing a new lot that would put four homes on the corner of Vassar. It is possible to make a case that the way the three lots sit right now on Vassar is actually out of character when you compare these two areas. A fourth house actually makes it "substantially the same character."



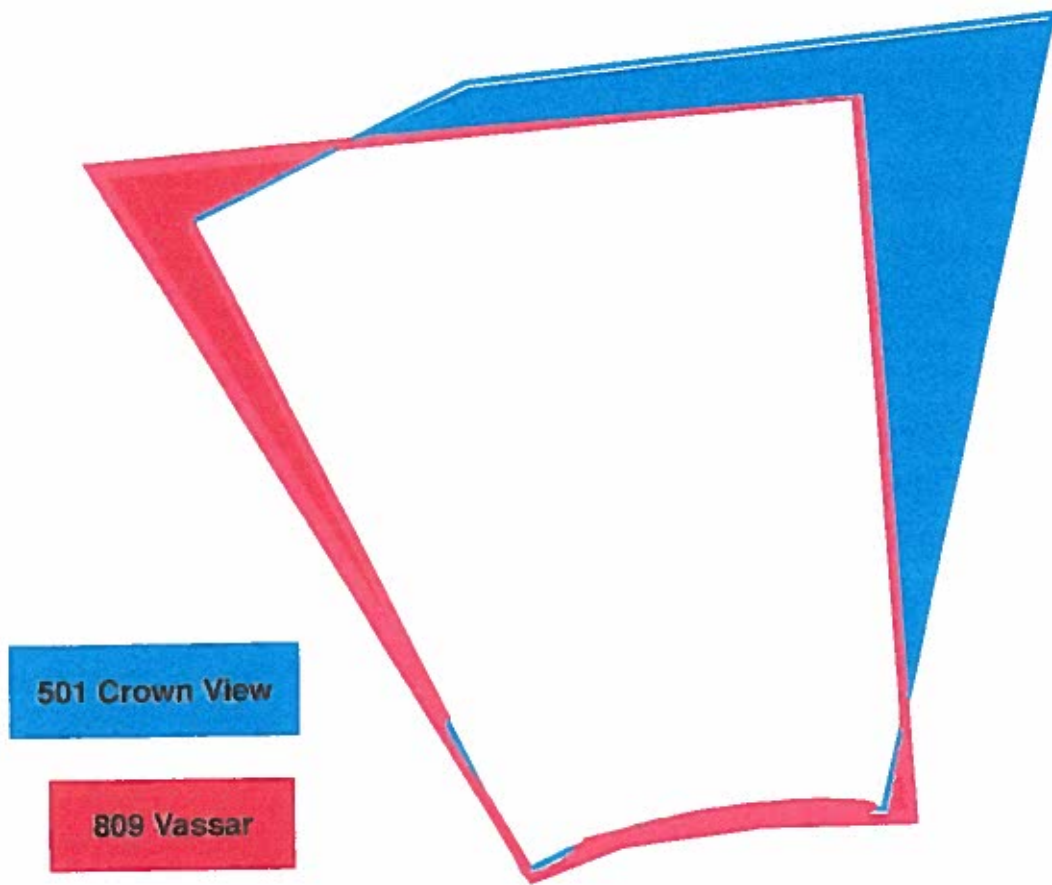


2)



415 is somewhat wider, and 626 is somewhat longer but they are of substantially the same character.

2)



501 is slightly larger and jogs to the right.  
809 jogs to the left but they are basically the  
same shape and of substantially the same  
character.

3) Another way to show that the new lot is of substantially the same character as the rest of the neighborhood is to consider "suitability for residential use." To do this we copied and pasted the home from 415 Crown View on to the new lot. You can see that the corners of Vassar and Crown View will be of substantially the same character as to "suitability for residential use" when a new lot is created between 811 and 809 Vassar. The new set of lots on Vassar, will mirror the lots on the corner of Crown View Drive, the only two lots the City Council allowed us to use for comparison purposes.



Plot 1



## DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

### A. Property Information

A1. Street Address 809 Vassar Zone R-8  
 A2. 9891 x .35 = 3461.9  
Total Lot Area                      Floor Area Ratio Allowed by Zone                      Maximum Allowable Floor Area

### B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Other**	
Porches/ Other		Total Exclusions	
<b>Total Gross *</b>			

B1. Existing Gross Floor Area \*  
 \_\_\_\_\_ Sq. Ft.  
 B2. Allowable Floor Exclusions\*\*  
 \_\_\_\_\_ Sq. Ft.  
 B3. Existing Floor Area minus Exclusions  
 \_\_\_\_\_ Sq. Ft.  
 (subtract B2 from B1)

### C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Other**	
Porches/ Other		Total Exclusions	
<b>Total Gross *</b>			

C1. Proposed Gross Floor Area \*  
 \_\_\_\_\_ Sq. Ft.  
 C2. Allowable Floor Exclusions\*\*  
 \_\_\_\_\_ Sq. Ft.  
 C3. Proposed Floor Area minus Exclusions  
 \_\_\_\_\_ Sq. Ft.  
 (subtract C2 from C1)

### D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 3237 Sq. Ft.  
 D2. Total Floor Area Allowed by Zone (A2) 3461.9 Sq. Ft.

*\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.*

*\*\* Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.*

*If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.*

### F. Open Space Calculations

Existing Open Space	
Required Open Space	
Proposed Open Space	

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Plat 2



DEPARTMENT OF PLANNING AND ZONING  
FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property Information

A1. Street Address 809 Vassar Rd Zone R-8  
 A2. 9723 x .35 = 3403.05  
 Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Other**	
Porches/ Other		Total Exclusions	
Total Gross *			

B1. Existing Gross Floor Area \*  
 \_\_\_\_\_ Sq. Ft.  
 B2. Allowable Floor Exclusions\*\*  
 \_\_\_\_\_ Sq. Ft.  
 B3. Existing Floor Area minus Exclusions  
 \_\_\_\_\_ Sq. Ft.  
 (subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Other**	
Porches/ Other		Total Exclusions	
Total Gross *			

C1. Proposed Gross Floor Area \*  
 \_\_\_\_\_ Sq. Ft.  
 C2. Allowable Floor Exclusions\*\*  
 \_\_\_\_\_ Sq. Ft.  
 C3. Proposed Floor Area minus Exclusions  
 \_\_\_\_\_ Sq. Ft.  
 (subtract C2 from C1)

D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 3237 Sq. Ft.  
 D2. Total Floor Area Allowed by Zone (A2) 3403.05 Sq. Ft.

\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

F. Open Space Calculations

Existing Open Space	
Required Open Space	
Proposed Open Space	

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Plot 3



DEPARTMENT OF PLANNING AND ZONING  
FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property Information

A1. Street Address 809 Vassar Zone R-8  
 A2. 9783 x .35 = 3424.05  
 Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Other**	
Porches/ Other		Total Exclusions	
Total Gross *			

B1. Existing Gross Floor Area \*  
 \_\_\_\_\_ Sq. Ft.  
 B2. Allowable Floor Exclusions\*\*  
 \_\_\_\_\_ Sq. Ft.  
 B3. Existing Floor Area minus Exclusions  
 \_\_\_\_\_ Sq. Ft.  
 (subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Other**	
Porches/ Other		Total Exclusions	
Total Gross *			

C1. Proposed Gross Floor Area \*  
 \_\_\_\_\_ Sq. Ft.  
 C2. Allowable Floor Exclusions\*\*  
 \_\_\_\_\_ Sq. Ft.  
 C3. Proposed Floor Area minus Exclusions  
 \_\_\_\_\_ Sq. Ft.  
 (subtract C2 from C1)

D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 3237 Sq. Ft.  
 D2. Total Floor Area Allowed by Zone (A2) 3424.05 Sq. Ft.

\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

F. Open Space Calculations

Existing Open Space	
Required Open Space	
Proposed Open Space	

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Plat 4



DEPARTMENT OF PLANNING AND ZONING  
FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

**A. Property Information**

A1. Street Address 809 Vassar Rd Zone R-8  
 A2. 9677 x .35 = 3386.9  
 Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

**B. Existing Gross Floor Area**

Existing Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Other**	
Porches/ Other		Total Exclusions	
<b>Total Gross *</b>			

B1. Existing Gross Floor Area \*  
 \_\_\_\_\_ Sq. Ft.  
 B2. Allowable Floor Exclusions\*\*  
 \_\_\_\_\_ Sq. Ft.  
 B3. Existing Floor Area minus Exclusions  
 \_\_\_\_\_ Sq. Ft.  
 (subtract B2 from B1)

**C. Proposed Gross Floor Area (does not include existing area)**

Proposed Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Other**	
Porches/ Other		Total Exclusions	
<b>Total Gross *</b>			

C1. Proposed Gross Floor Area \*  
 \_\_\_\_\_ Sq. Ft.  
 C2. Allowable Floor Exclusions\*\*  
 \_\_\_\_\_ Sq. Ft.  
 C3. Proposed Floor Area minus  
 Exclusions \_\_\_\_\_ Sq. Ft.  
 (subtract C2 from C1)

**D. Existing + Proposed Floor Area**

D1. Total Floor Area (add B3 and C3) 3237 Sq. Ft.  
 D2. Total Floor Area Allowed by Zone (A2) 3386 Sq. Ft.

\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

**F. Open Space Calculations**

Existing Open Space	
Required Open Space	
Proposed Open Space	

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

## **Statements Made by Councilmembers During the Vassar Appeal Hearing**

### **Council comments about the lots for comparison:**

1. Early in the Council discussion, Councilwoman Pepper stated that the proposed lots seem to be compatible with the lots going 'down the hill' along Vassar to 807 Vassar and onward.
2. At about minute marker 3:00, Councilman Wilson said 'obviously Crown View would be a part of a narrower review area' when asking about whether the comparison area should be smaller.
3. At about minute marker 3:18, Councilwoman Pepper said she felt that the frontage appears (in person) better than it is presented on paper.
4. At about minute marker 3:36, while making the motion to send the matter back to Planning Commission, C. Lovain said "If the cul-de-sac is eliminated, are we left with just 2 parcels? I am a little more comfortable having more than two, and we should be remanding back to the Commission."

### **Council comments about topography:**

1. At about minute marker 2:15, Councilman Wilson asked about topography and drainage, but said that if there were steep slopes, this issue would be a factor, but he seemed to indicate that he did not feel these are very steep slopes.
2. Councilwoman Pepper at about minute marker 2:19 mentioned that she assumed lots would not affect drainage, but then asked questions about drainage.



Click To Add Title



### **Rozier J. Beech (1900-1985)**

On August 5, 1946, Virginia Bullock-Willis, owner of the Woodleigh estate on Duke Street Extended, sold 48 acres to Rozier J. Beech, a Maryland developer who relocated to Alexandria.

The first Alexandria homes that Beech built were on the east side of Cambridge Road. Beginning in 1947, he worked his way towards Janney's Lane, completing the first cluster of homes in November 1948. Initially, he lived at 700 Janney's Lane in a pre-existing house that no longer stands. He retained it as a business office but resided from 1950 to 1954 in a home he built at 904 Janney's Lane in 1948. Martha Kerr, who has lived in the neighborhood since 1952, recalls a brief period when he also lived at 409 Cambridge, conducting business from a first floor guest room behind the kitchen. To this day, the front gates of this bright yellow house sport telltale clover cutouts. According to former neighbor, Nancy Smith, his play on the meaning of "being in Clover" was intentional because people told him that once he sold his houses he would be "in clover." "

Cloverway Drive and 10 houses on Janney's Lane developed between 1948 and 1950, came next; then Skyhill, mostly built between 1950 and 1953 and Crown View Drive, beginning in 1955.

In 1956, Beech moved to the turreted house he built for himself, his mother and sister at 812 Vassar Road on what was then the largest property in Clover. (In a preview of a tactic he would come to repeat, he created his large lot by combining smaller parcels, in this instance, Lot 1, Block 3 and Lot 2, Block 6, Section 1 of Clover. He had reserved the land at the top of the hill for himself, two years earlier. According to Martha Kerr, he also created the large property around the corner at 401 Cloverway by combining lots.) Beech spent 17 years at 812 Vassar where he socialized with neighbors and raised prize-winning orchids in an attached greenhouse. He sold the property to William S. Bannister and his wife, Patience on January 26, 1973 (Alexandria Deed Book 752:456), retired and moved to Boca Raton, Florida.

According to an oral history from Nancy Smith and her husband, local historian William F. Smith (now at Goodwin House), Beech insisted that the houses built at 811 and 809 Vassar, sit to the left and right sides of their large lots so that he could retain the view of the Potomac River from his own property directly opposite.

Indeed he touted the view as an asset to Clover when he sold property on Cambridge. In another newspaper advertisement for 307 Cambridge Road he wrote, "The view over the hills starts every day off right." Nancy Smith, an avid gardener who enhanced her 811 Vassar Road property with choice shrubs, trees and plantings greatly admired by Beech, has said that he was very particular about who bought the lots opposite his own house and vetted both the Smiths and their next door neighbors, Robert H. Payne and his wife, Marguerite, before selling to them. He wanted to ensure that the quality of his own immediate neighborhood and the view from his house were in keeping with his standards. His intent became even more apparent when he built the split-level now located at 809 Vassar and re-subdivided the three existing parcels into two decidedly more expansive ones.

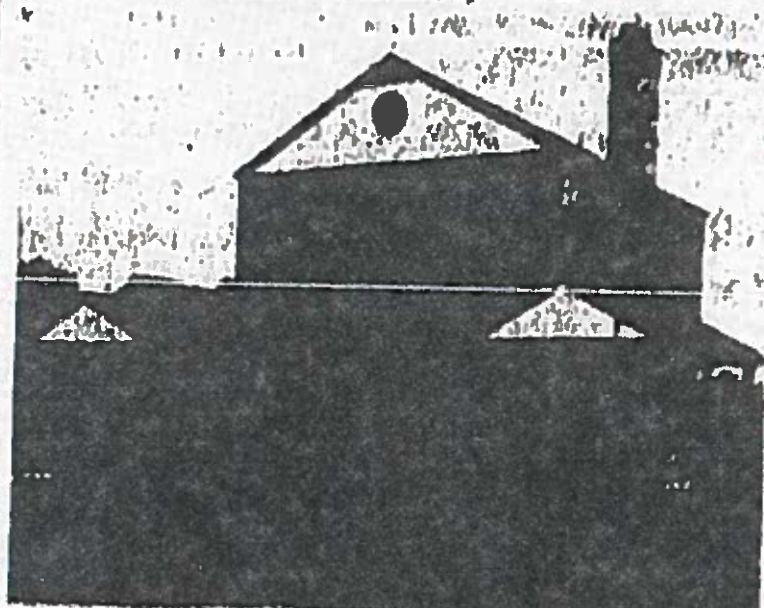
Beech originally created Lots 25, 24 and 23 opposite his house at the end of 1959. (Alexandria DB 504:461.) City land records show that the Paynes originally bought Lot 25 on August 15, 1960 (Alexandria DB 518:214) but changed their minds less than a year and a half later when they decided to buy the new split-level on Lot 23, instead. To give them more land than originally platted, Beech re-subdivided Lot 25 Block 3 and Addition to Section 11 Clover. Lot 23 became Lot 525 and former Lot 25

became Lot 26. He was able to enlarge both new lots by eliminating the old Lot 24 and splitting the land between them. (Alexandria DB 544:345, November 20, 1961.) The Smiths purchased Lot 26 the following spring and built their own house with input from Beech. (Alexandria DB 552:315, April 25, 1962.)

The reconfiguration of the properties was to be permanent. According to Kerr, the center lot was too small to accommodate a third house in a part of the neighborhood where it was clear that "people wanted more land around them." The purchase agreement for Lot 525 included the proviso that "said grantees (the Paynes) shall have quiet enjoyment of said property free from the claims of all persons whomsoever" and future sales contained similar language. The Crabills' sale to the Hales in 2014 states that the conveyance of Lot 525 was made "subject to the covenants, easements, conditions, restrictions and rights of way of record."

## CLOVER . . .

### ALEXANDRIA, VA.



### 307 CAMBRIDGE RD.

Bay window dining room; four-exposure porch; safe stairway has two landings; room for table in kitchen; first floor lavatory; sliding wardrobe doors; \$33,000. The view out over the hills starts every day off right. One of first well varied group being completed. Some are of half level design, one has four bedrooms, some have first floor bedroom and bath. All have complete General Electric Kitchens including disposals and dish-washers.

### Come see us—and live in Clover

Cross 12th St. At Ridge, curving right, go past Postoffice, bear left on Shirley Highway go to right, curving left at first bridge, follow South Parkington sign on Hill right—right mile to end of road. Circle to right of base station to Quarter Way, drive six-blocks mile to Jonathan Lane, left car-half mile to Cambridge Road.

## R. J. BEECH, INC.

**P.M.**  
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floors, built-in  
value.  
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**INC.**

EMarson 4450

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We invite  
of our 30

**"ROLL  
ME"**

Drive out  
wooden bridge  
on Lehigh  
Out Cooper  
St. to South  
over river.

**Realtor**  
**1106 Verr**

Beech continued to build. After completing Cloverway, Skyhill and Crown View Drive, he added West Taylor Run Parkway, Vassar Road, Vassar Place, Clovercrest and Dartmouth Road. He built the last homes in Clover in 1965 and 1966 at 255 Cambridge Road, 2008 and 3012 Dartmouth Road, respectively. According to Kerr and others, 3012 Dartmouth Road was originally the location of a Woodleigh estate barn in which Beech stored his building equipment.

Beech laid Clover out around the shape of his own hill, using a curvilinear pattern of streets that were beginning to replace the grid pattern in the 1940s. Vassar Place was laid out in the 1960s, once cul-de-sacs had become an established feature in urban planning.

In 1958, Beech built a large brick ranch house at 301 Crown View Drive at the intersection of Crown View and Dartmouth. The developer of the Chauncey Heights Apartments (now Skyhill) had waged a well-documented fight to extend Dartmouth through to West Taylor Run but Clover's civic association protested en masse. City Council proceeded to vote the road down and Beech built the house to protect the subdivision from unwanted incursions in perpetuity.