

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

THE PARK RESIDENCES

601 NORTH HENRY STREET

CITY OF ALEXANDRIA, VIRGINIA

AREA TABULATIONS

TOTAL SITE AREA = 0.6778 AC 29,523 SF

TOTAL AREA OF TAX PARCELS = 0.6778 AC 29,523 SF

TOTAL EXISTING IMPERVIOUS AREA = 0.5163 AC 22,489 SF

TOTAL PROPOSED IMPERVIOUS AREA = 0.5289 AC 23,037 SF

TOTAL DISTURBED AREA = 0.9198 AC 40,065 SF

ENVIRONMENTAL SITE ASSESSMENT

1. THERE ARE NO RESOURCE PROTECTION AREAS (RPA'S), TIDAL WETLANDS, SHORES, TRIBUTARY STREAMS, FLOOD PLAINS, OR BUFFER AREAS FOR SHORES, WETLANDS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS OR HIGHLY ERODIBLE/PERMEABLE SOILS LOCATED ON THIS SITE. THERE ARE NO WETLAND PERMITS REQUIRED FOR THE DEVELOPMENT ON THIS PROPERTY.
2. THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, DIVISION OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASE TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY REGULATIONS.
3. ALL WELLS TO BE DEMOLISHED ON THIS PROJECT, INCLUDING MONITORING WELLS, MUST BE CLOSED IN ACCORDANCE WITH STATE WELL REGULATION. CONTACT THE ALEXANDRIA HEALTH DEPARTMENT AT 703-746-4866.
4. THERE ARE NO KNOWN CONTAMINATED AREAS, CONTAMINATED SOILS OR ENVIRONMENTAL ISSUES ASSOCIATED WITH THIS SITE.

ENVIRONMENTAL PERMITS NOTES

ALL REQUIRED PERMITS FROM VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY, ENVIRONMENTAL PROTECTION AGENCY, ARMY CORPS OF ENGINEERS, VIRGINIA MARINE RESOURCES MUST BE IN PLACE FOR ALL PROJECT CONSTRUCTION AND MITIGATION WORK PRIOR TO RELEASE OF THE FINAL SITE PLAN.

THIS PROJECT PROPOSES CONSTRUCTION ACTIVITIES THAT DISTURB LESS THAN 1 ACRE, THEREFORE A VSPM PERMIT IS NOT REQUIRED.

ARCHAEOLOGY NOTES

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY (703/746-4399) TWO WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT A MONITORING AND INSPECTION SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED.

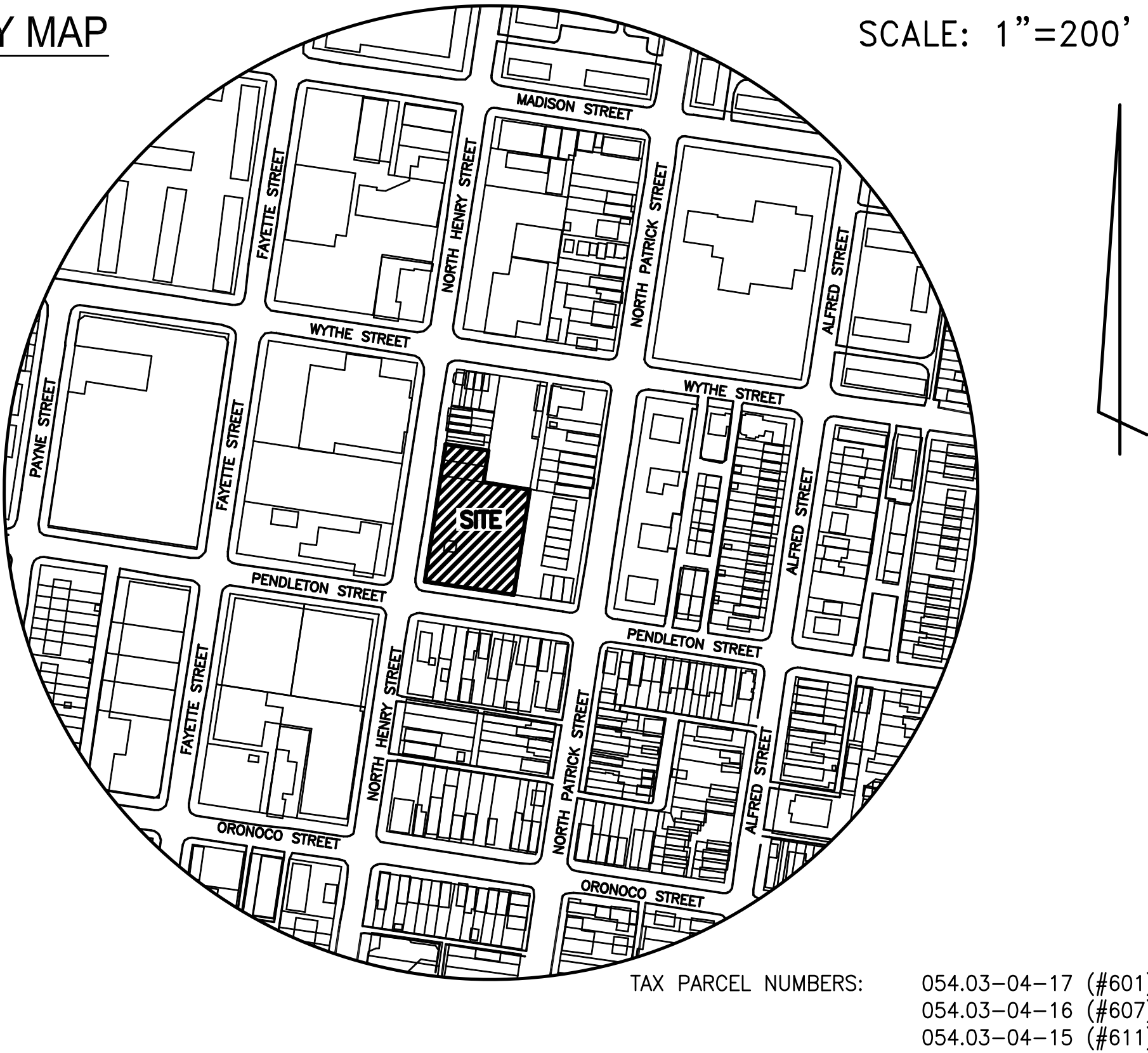
THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.

GENERAL NOTES

1. PRIOR TO THE APPLICATION FOR NEW CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL SUBMIT A BUILDING PERMIT FOR A CHANGE OF USE. DRAWINGS PREPARED BY A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER SHALL ACCOMPANY THE PERMIT APPLICATION. THE PLANS SHALL SHOW PROPOSED CONDITIONS AND PROVIDE DATA BY THE DESIGN PROFESSIONAL WHICH DETAILS HOW THE PROPOSED USE WILL COMPLY WITH THE CURRENT EDITION OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE FOR THE NEW USE IN THE AREA OF STRUCTURAL STRENGTH, MEANS OF EGRESS, PASSIVE AND ACTIVE FIRE PROTECTION, HEATING AND VENTILATING SYSTEMS, HANDICAPPED ACCESSIBILITY AND PLUMBING FACILITIES.
2. NEW CONSTRUCTION MUST COMPLY WITH THE CURRENT EDITION OF THE UNIFORM STATEWIDE BUILDING CODE (USBC).
3. BEFORE A BUILDING PERMIT CAN BE ISSUED ON ANY PROPOSED FUTURE ALTERATIONS, A CERTIFICATION IS REQUIRED FROM THE OWNER OR OWNER'S AGENT THAT THE BUILDING HAS BEEN INSPECTED BY A LICENSED ASBESTOS INSPECTOR FOR THE PRESENCE OF ASBESTOS.
4. A CERTIFICATE OF OCCUPANCY SHALL BE OBTAINED PRIOR TO ANY OCCUPANCY OF THE BUILDING OR PORTION THEREOF.
5. REQUIRED EXITS, PARKING, AND ACCESSIBILITY WITHIN THE BUILDING FOR PERSONS WITH DISABILITIES MUST COMPLY WITH USBC CHAPTER 11. HANDICAPPED ACCESSIBLE BATHROOMS SHALL ALSO BE PROVIDED.
6. TOILET FACILITIES FOR PERSONS WITH DISABILITIES: LARGER, DETAILED, DIMENSIONED DRAWINGS ARE REQUIRED TO CLARIFY SPACE LAYOUT AND MOUNTING HEIGHTS OF AFFECTED ACCESSORIES. INFORMATION ON DOOR HARDWARE FOR THE TOILET STALL IS REQUIRED (USBC 1109.2.2).
7. IF APPLICABLE, ENCLOSED PARKING GARAGES MUST BE VENTILATED IN ACCORDANCE WITH USBC 406.4.2. THE REQUIRED MECHANICAL VENTILATION RATE FOR AIR IS 0.75 CFM PER SQUARE FOOT OF THE FLOOR AREA (USBC 2801.1). IN AREAS WHERE MOTOR VEHICLES OPERATE FOR A PERIOD OF TIME EXCEEDING 10 SECONDS, THE VENTILATION RETURN AIR MUST BE EXHAUSTED. AN EXHAUST SYSTEM MUST BE PROVIDED TO CONNECT DIRECTLY TO THE MOTOR VEHICLE EXHAUST (USBC 2801.1).
8. ELECTRICAL WIRING METHODS AND OTHER ELECTRICAL REQUIREMENTS MUST COMPLY WITH NFPA 70, 2008.
9. IF APPLICABLE, THE PUBLIC PARKING GARAGE FLOOR MUST COMPLY WITH USBC 406.2.6 AND DRAIN THROUGH OIL SEPARATORS OR TRAPS TO AVOID ACCUMULATION OF EXPLOSIVE VAPORS IN BUILDING DRAINS OR SEWERS AS PROVIDED FOR IN THE PLUMBING CODE (USBC 2901). THIS PARKING GARAGE IS CLASSIFIED AS AN S-2, GROUP 2, PUBLIC GARAGE.
10. THIS PROJECT IS LOCATED IN A COMBINED SEWER AREA.
11. THIS SITE DOES NOT CONTAIN ANY AREAS PREVIOUSLY MAPPED AS MARINE CLAYS.

VICINITY MAP



PROJECT DESCRIPTION NARRATIVE

THE APPLICANT REQUESTS A REZONING WITH MASTER PLAN AMENDMENT, DEVELOPMENT SPECIAL USE PERMIT (DSUP) AND SUBDIVISION WITH SITE PLAN TO PERMIT THE REDEVELOPMENT OF THE EXISTING ASPHALT PARKING LOT INTO AN 18 UNIT TOWNHOUSE DEVELOPMENT WITH REAR LOAD GARAGES AND IMPROVED STREETScape/OPEN SPACE. THIS DEVELOPMENT IS LOCATED IN THE BRADDOCK METRO AREA AND WILL BE COMPATIBLE WITH THE BRADDOCK METRO NEIGHBORHOOD PLAN.

REQUESTED APPLICATIONS AND MODIFICATIONS:

- THIS PROJECT IS REQUESTING A:
- MASTER PLAN AMENDMENT
 - REZONING TO CRMU-M WITH PROFFER
 - DEVELOPMENT SPECIAL USE PERMIT WITH SITE PLAN
 - SUP FOR AN INCREASE IN FLOOR AREA RATIO TO 1.5
 - SUP FOR LOTS WITHOUT FRONTAGE ON A PUBLIC STREET (LOTS 14-18)
 - MODIFICATION OF FRONT, SIDE, AND REAR YARD SETBACK (LOTS 1-18)
 - MODIFICATION OF THE VISION CLEARANCE TRIANGLE
 - SUBDIVISION

SHEET INDEX:

COVER SHEET	1
CONTEXTUAL PLAN	2
EXISTING CONDITIONS	3
PRELIMINARY SITE PLAN	4
SITE DIMENSION PLAN	5
STORMWATER MANAGEMENT PLAN	6
STORMWATER MANAGEMENT PLAN	7
OUTFALL ANALYSIS	8
TURNING MOVEMENTS	9
SIGHT DISTANCE PLAN & PROFILE	10
SANITARY SEWER OUTFALL ANALYSIS	11
PRELIMINARY SUBDIVISION PLAT (FOR INFO ONLY)	12
OVERALL PLAN	L1.00
TREE CANOPY	L1.01
HARDSCAPE DETAILS	L1.02
LANDSCAPE NOTES AND DETAILS	L1.03

CONCEPT FLOOR PLANS	A1.0
RENDERED PRIMARY ELEVATIONS	A2.0
RENDERED PRIMARY ELEVATIONS	A2.0a
ELEVATIONS	A2.1
ELEVATIONS	A2.2
ELEVATIONS	A2.3
ELEVATIONS	A2.4
STREET MASSING	A3.0
BUILDING SECTIONS	A3.1
BUILDING MASSING	A4.0
CONCEPT RENDERINGS	A5.0

BUILDING CODE ANALYSIS:

USE:	RESIDENTIAL (TOWNHOUSE)
USE GROUP:	R-3
TYPE OF CONSTRUCTION:	VB
NUMBER OF STORIES:	4 (WITH SPRINKLER INCREASE)
FLOOR AREA (GROSS):	SEE ZONING TABULATIONS, THIS SHEET
FLOOR AREA (NET):	SEE ZONING TABULATIONS, THIS SHEET
BUILDING FOOT PRINT AREA:	SEE ZONING TABULATIONS, THIS SHEET
BUILDING HEIGHT:	SEE ZONING TABULATIONS, THIS SHEET
FIRE SUPPRESSION/DETECTION:	FULLY SPRINKLERED, NFPA 13R

COMPLETE STREETS INFORMATION:

CROSSWALKS (NUMBER)	NEW	UPGRADED
STANDARD	N/A	N/A
HIGH VISIBILITY	N/A	N/A
CURB RAMPS	N/A	3
SIDEWALKS (LF)	N/A	358
BICYCLE PARKING (NUMBER SPACES)	N/A	4
PUBLIC/VISITOR	N/A	4
PRIVATE/GARAGE	N/A	N/A
BICYCLE PATHS (LF)	N/A	N/A
PEDESTRIAN SIGNALS	N/A	1

ZONING TABULATIONS

1. ZONE OF SITE: EXISTING CSL (COMMERCIAL SERVICE LOW)
PROPOSED CRMU-M (COMMERCIAL RESIDENTIAL MIXED USED MEDIUM)
2. USE: EXISTING VACANT LAND/COMMERICAL PARKING PROPOSED TOWNHOUSE - RESIDENTIAL
3. TOTAL LOT AREA: 29,523 S.F. OR 0.6778 AC. MINIMUM LOT AREA: N/A

LOT 1	718 SF	LOT 8	882 SF	LOT 15	1,045 SF
LOT 2	696 SF	LOT 9	881 SF	LOT 16	1,045 SF
LOT 3	696 SF	LOT 10	880 SF	LOT 17	1,045 SF
LOT 4	696 SF	LOT 11	879 SF	LOT 18	1,213 SF
LOT 5	696 SF	LOT 12	878 SF	PARCEL A	13,265 SF
LOT 6	718 SF	LOT 13	923 SF		
LOT 7	1,322 SF	LOT 14	1,045 SF		

4. NUMBER OF DWELLING UNITS: 18
5. UNITS PER ACRE: PERMITTED: N/A PROPOSED: 26.6
6. FLOOR AREA:
- | BUILDING TYPE | CORRESPONDING LOTS | GROSS FLOOR AREA/UNIT (SF) | NET FLOOR AREA/UNIT (SF) |
|--------------------|--------------------|----------------------------|--------------------------|
| 16.5' X 40' | 1, 6 | 2,448 | 2,203 |
| 16' X 40' | 2-5 | 2,374 | 2,136 |
| 20' X 40.5' | 7, 13 | 2,993 | 2,694 |
| 21' X 20' | 7 (GARAGE) | 420 | 420 |
| 19' X 40.5' | 8-12 | 2,812 | 2,531 |
| 19' X 40' | 14-18 | 2,777 | 2,500 |
| WINDOW PROJECTIONS | - | 291 | 291 |
| TOTAL | | 49,034 | 44,204 |
- * 7. FLOOR AREA RATIO: PERMITTED 2.00 (59,046 SQ.FT.)
EXISTING 0.008 (250 SQ.FT.)
PROPOSED 1.50 (44,204 SQ.FT.)
- * 8. OPEN SPACE: REQUIRED: 40% OF TOTAL SITE AREA = 11,809 SQ. FT.
PROPOSED: GROUND LEVEL** 7,390 SQ. FT. (25.0%) **ALL GROUND LEVEL OPEN
ABOVE GRADE 4,792 SQ. FT. (16.2%) SPACE IS USEABLE OPEN SPACE
TOTAL 12,182 SQ. FT. (41.3%)

9. AVERAGE FINISHED GRADE:			
UNIT 1	46.11	UNIT 8	45.40
UNIT 2	45.94	UNIT 9	45.34
UNIT 3	45.94	UNIT 10	45.11
UNIT 4	45.78	UNIT 11	45.11
UNIT 5	45.78	UNIT 12	44.82
UNIT 6	45.61	UNIT 13	44.65
UNIT 7	45.39	UNIT 14	45.43
UNIT 15	45.94	UNIT 16	46.19
UNIT 17	46.60	UNIT 18	47.10

10. HEIGHT: ALLOWED: 50.0' (PER BRADDOCK METRO NEIGHBORHOOD PLAN)

PROPOSED:			
UNIT 1	41.63	UNIT 8	41.50
UNIT 2	41.79	UNIT 9	41.56
UNIT 3	41.79	UNIT 10	41.79
UNIT 4	41.96	UNIT 11	41.79
UNIT 5	41.96	UNIT 12	42.08
UNIT 6	42.12	UNIT 13	42.25
UNIT 7	41.51	UNIT 14	42.67
UNIT 15	42.17	UNIT 16	41.92
UNIT 17	41.50	UNIT 18	41.00

- *11. YARDS: REQUIRED: FRONT 20' SIDE 1:3 (MIN 8') REAR 1:1 (MIN 8')

PROVIDED:			
LOT 1	FRONT	SIDE	REAR
1	0.5'	0'	3.0'
2	0.5'	0'	3.0'
3	0.5'	0'	3.0'
4	0.5'	0'	3.0'
5	0.5'	0'	3.0'
6	0.5'	0'	3.0'
7	3.0'	0'	N/A
8	2.9'	0'	3.0'
9	2.9'	0'	3.0'
10	2.8'	0'	3.0'
11	2.8'	0'	3.0'
12	2.7'	0'	3.0'
13	2.7'	0'	3.0'
14	12.0'	0'	3.0'
15	12.0'	0'	3.0'
16	12.0'	0'	3.0'
17	12.0'	0'	3.0'
18	12.0'	0'	3.0'

12. FRONTAGE: REQUIRED N/A PROVIDED 227.63' (NORTH HENRY ST)
117.50' (PENDLETON ST)
13. TRIP GENERATION: EXISTING 186 VPD PROPOSED 117 VPD (PER ITE STANDARDS)
PROPOSED AM PEAK: 13 VPD (PER ITE STANDARDS)
PROPOSED PM PEAK: 45 VPD (PER ITE STANDARDS)
14. PARKING TABULATION PARKING REQUIRED: 2.0 SPACES / UNIT = 2.0 x 18 = 36 SPACES
PARKING PROVIDED: 36 STANDARD PARKING SPACES (GARAGE)
15. LOADING SPACES: REQUIRED 0 PROPOSED 0

* SEE REQUESTED APPLICATIONS/MODIFICATIONS FOR DETAILED INFORMATION (THIS SHEET)

OWNER/DEVELOPER

OWNER:
HENRY STREET JV LLC
1156 15TH STREET NW, SUITE 1000
WASHINGTON, DC 20005
INSTRUMENT #140018379

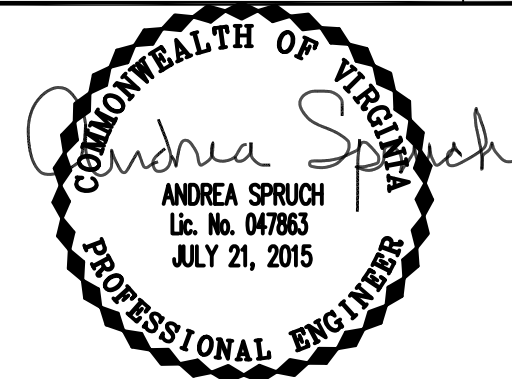
DEVELOPER:
NORTHFIELD CONSTRUCTION
& DEVELOPMENT
1156 15TH STREET NW, SUITE 1000
WASHINGTON, DC 20005
(202) 577-5065
CONTACT: NATHAN HAMMAN

ARCHITECT:
RUST ORLING ARCHITECTS
1215 CAMERON STREET
ALEXANDRIA, VA 22314
(703) 836-3205
CONTACT: MIKE ERNST

PLAN PREPARED BY:
R.C. FIELDS & ASSOCIATES, INC.
730 S. WASHINGTON STREET
ALEXANDRIA, VA 22314
(703) 549-6422
CONTACT: ANDREA SPRUCH

ATTORNEY:
WALSH, COLUCCI, LUBELEY
& WALSH, P.C.
2200 CLARENDON BLVD SUITE 1300
ARLINGTON, VIRGINIA 22201
(703) 528-4700
CONTACT: M. CATHERINE PUSKAR

RC FIELDS & ASSOCIATES, INC.
ENGINEERING • LAND SURVEYING • PLANNING
730 S. Washington Street
Alexandria, Virginia 22314
(703) 549-6422



REVISION APPROVED BY	DATE	APPROVED	DATE	APPROVED
	DATE	APPROVED	DATE	APPROVED
	DATE	APPROVED	DATE	APPROVED
	DATE	APPROVED	DATE	APPROVED
NO.	DESCRIPTION	DATE	APPROVED	DATE

PRELIMINARY DEVELOPMENT
SPECIAL USE PERMIT

THE PARK RESIDENCES

601 NORTH HENRY STREET
CITY OF ALEXANDRIA, VIRGINIA

COVER SHEET

APPROVED
SPECIAL USE PERMIT NO. 2014-0017

DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO. DATE

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
THE PARK RESIDENCES
601 NORTH HENRY STREET
CITY OF ALEXANDRIA, VIRGINIA

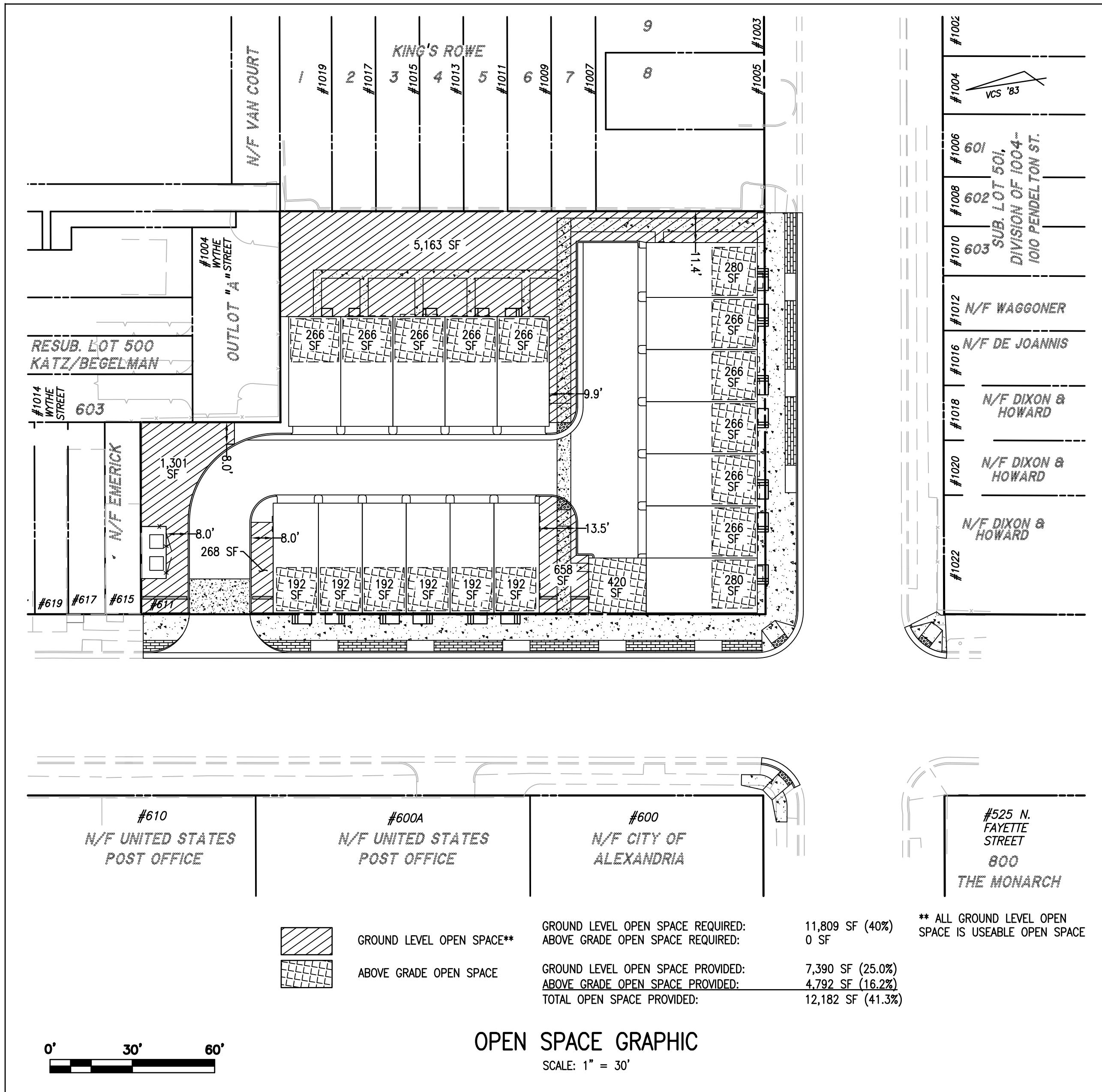
DATE	REVISION
7.21.15	PRELIM COMMENTS

CHECKED: RJK
DESIGN: ACS

SCALE: AS NOTED
DATE: JUNE 2015

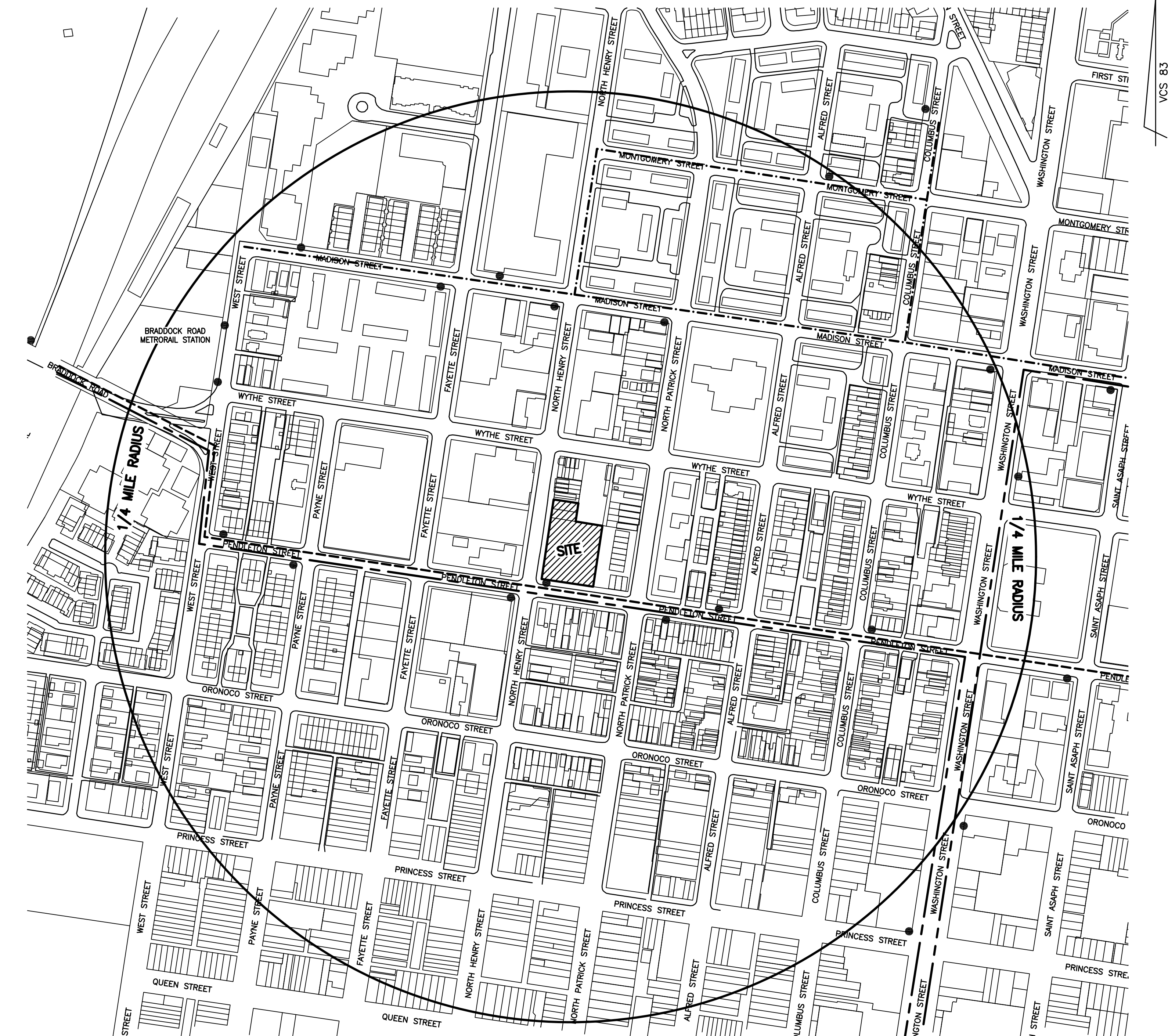
SHEET 2 of 12
FILE: 14-24

CONTEXTUAL PLAN



ADJACENT PROPERTY INFORMATION

#615 N. HENRY STREET N/F MELISSA B. OR THOMAS M. EMERICK 204 OAKRIDGE AVENUE FAYETTEVILLE, NC 28305 TM #054.04-11-09 ZONE: RB USE: SEMI-DETACHED HOUSE INSTR. #040032481	#1019 PENDLETON STREET N/F JENNIFER H. SULLIVAN 204 OAKRIDGE AVENUE FAYETTEVILLE, NC 28305 TM #054.04-11-09 ZONE: RB USE: SEMI-DETACHED HOUSE INSTR. #130011443	#1011 PENDLETON STREET N/F J. CHRIS OR MARY D. LEWIS 9388 MT. VERNON CIRCLE ALEXANDRIA, VA 22309 TM #054.04-11-13 ZONE: RB USE: ROW (TOWNHOUSE) INSTR. #010028316	#1006 PENDLETON STREET N/F SHERYL W. JAHNS, ASHLEY E. JORDAN & JEFFREY S. LIVINGSTON 1006 PENDLETON ST. ALEXANDRIA, VA 22314 TM #064.01-04-08 ZONE: CSL USE: JR. OFFICE BLDG. INSTR. #060010280	#1016 PENDLETON STREET N/F JEFFREY P. DE JOANNIS 1016 PENDLETON ST. ALEXANDRIA, VA 22314 TM #064.01-04-04 ZONE: CSL USE: DETACHED HOUSE INSTR. #120004023	#525 FAYETTE STREET N/F MONARCH CONDOMINIUM C/O WESTBROOK PARTNERS RGA BLVD., SUITE 820 PALM SPRINGS, FL 33410TM #064.01-08-00 ZONE: CRMU/H USE: CONDO. MASTER CARDS INSTR. #070022850
#1014 WYTHE STREET N/F GARY R. MILLER 1014 WYTHE STREET ALEXANDRIA, VA 22314 TM #054.03-04-18 ZONE: CSL USE: SEMI-DETACHED HOUSE INSTR. #040047483	#1017 PENDLETON STREET N/F CHRIS OR JOSHUA C. BENSON 1017 PENDLETON STREET ALEXANDRIA, VA 22314 TM #054.04-11-10 ZONE: RB USE: ROW (TOWNHOUSE) INSTR. #120001583	#1009 PENDLETON STREET N/F CLAUD R. ATKINSON & LISA H. POGUE 1009 PENDLETON STREET ALEXANDRIA, VA 22314 TM #054.04-11-14 ZONE: RB USE: ROW (TOWNHOUSE) INSTR. #080003494	#1008 PENDLETON STREET N/F SCHOOL STREET PROPERTIES, LLC PO BOX 7469 ALEXANDRIA, VA 22307 TM #064.01-04-07 ZONE: CSL USE: JR. OFFICE BLDG. INSTR. #110007903	#1018 PENDLETON STREET N/F CORINNE J. DIXON & JANICE LEE HOWARD 1009 WOODS PLACE ALEXANDRIA, VA 22304 TM #064.01-04-03 ZONE: CSL USE: VACANT LAND COMM. INSTR. #020003741	#600 N. HENRY STREET N/F CITY OF ALEXANDRIA 301 KING STREET ALEXANDRIA, VA 22314 TM #054.03-05-04 ZONE: CRMU/M USE: CITY PKS/PLAYGRNDS INSTR. #100008736
#1004 WYTHE STREET N/F TOWNHOUSES HOA 113 N. FAYETTE STREET ALEXANDRIA, VA 22314 TM #054.03-04-22 ZONE: CSL USE: VACANT LAND COMM. INSTR. #040047704	#1015 PENDLETON STREET N/F ROBERT NOVIA OR JANICE L. TREVILLION-NOVIA 5596 RICHMOND HWY. ALEXANDRIA, VA 22314 TM #054.04-11-11 ZONE: RB USE: ROW (TOWNHOUSE) INSTR. #130016894	#1007 PENDLETON STREET N/F SONIA CAISON, TR 1007 PENDLETON STREET ALEXANDRIA, VA 22314 TM #054.04-11-15 ZONE: RB USE: SEMI-DETACHED HOUSE INSTR. #120016679	#1010 PENDLETON STREET N/F GCP 1010 PENDLETON, LLC PO BOX 8086 MCLEAN, VA 22106 TM #064.01-04-06 ZONE: CSL USE: JR. OFFICE BLDG. INSTR. #130010099	#1020 PENDLETON STREET N/F CORINNE J. DIXON & JANICE LEE HOWARD 1009 WOODS PLACE ALEXANDRIA, VA 22304 TM #064.01-04-32 ZONE: CSL USE: VACANT LAND COMM. INSTR. #020003741	#600A N. HENRY STREET N/F UNITED STATES POST OFFICE 10400 LITTLE PATUXENT PKWY, SUITE 400 COLUMBIA, MD 21044 TM #054.03-05-03 ZONE: CRMU/M USE: FEDERAL DB. 1110, PG. 352
#618 N. PATRICK STREET N/F MICHELLE & EDWARD M. VAN COURT 618 N. PATRICK STREET ALEXANDRIA, VA 22314 TM #054.04-11-08 ZONE: RB USE: DETACHED HOUSE INSTR. #130013647	#1013 PENDLETON STREET N/F GREGORY A. CORD & VIVIAN NAVA-CORD 1013 PENDLETON STREET ALEXANDRIA, VA 22314 TM #054.04-11-12 ZONE: RB USE: ROW (TOWNHOUSE) INSTR. #110013201	#1003 PENDLETON STREET N/F MARSHA J. PEREZ 1003 PENDLETON STREET ALEXANDRIA, VA 22314 TM #054.04-11-17 ZONE: RB USE: ROW (TOWNHOUSE) INSTR. #080020558	#1012 PENDLETON STREET N/F NICOLE WAGGONER 1012 PENDLETON ST. ALEXANDRIA, VA 22314 TM #064.01-04-05 ZONE: CSL USE: DETACHED HOUSE INSTR. #110012605	#1022 PENDLETON STREET N/F CORINNE J. DIXON & JANICE LEE HOWARD 1009 WOODS PLACE ALEXANDRIA, VA 22304 TM #064.01-04-32 ZONE: CSL USE: GENERAL COMMERCIAL DB. 1203, PG. 1392	#600 N. HENRY STREET N/F UNITED STATES POST OFFICE 10400 LITTLE PATUXENT PKWY, SUITE 400 COLUMBIA, MD 21044 TM #054.03-05-02 ZONE: CRMU/M USE: FEDERAL DB. 1110, PG. 349



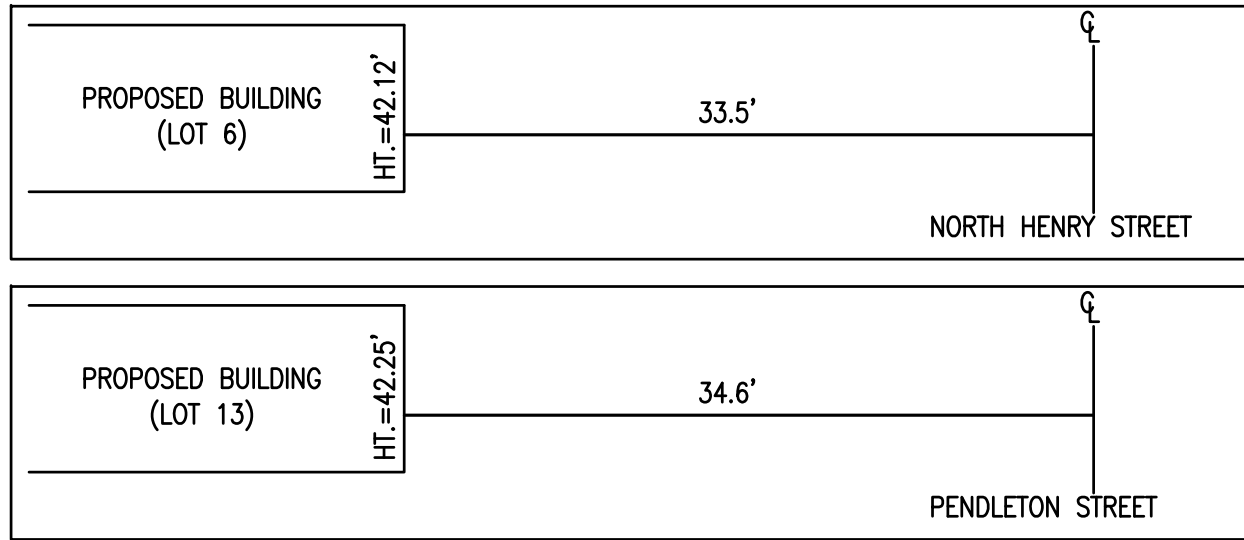
CONTEXTUAL MAP
SCALE: 1" = 200'

SECTION 6-403 COMPLIANCE NOTE:

SECTION 6-403 STATES "IN ALL HEIGHT DISTRICTS, THE ALLOWABLE HEIGHT OF A BUILDING AT ANY POINT SHALL NOT EXCEED TWICE THE DISTANCE FROM THE FACE OF THE BUILDING AT THAT POINT TO THE CENTERLINE OF THE STREET FACING SUCH BUILDING." SEE DETAIL BELOW FOR SECTION SHOWING COMPLIANCE.

SECTION 6-403 DETAIL:

NOT TO SCALE



THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND /OR LAND SURVEYOR.

EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTICE "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF CITY OF ALEXANDRIA, VIRGINIA
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LEGEND:

- BUS STOP
- DASH ROUTES AT2 AND AT 5
- DASH ROUTES AT3, AT4
- DASH ROUTE AT8
- WMATA ROUTES 10A, 10B

APPROVED

SPECIAL USE PERMIT NO. 2014-0017

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____

CIVIL LEGEND

ITEM	EXISTING	PROPOSED
CURB & GUTTER		
CONC. WALK		
FIRE HYDRANT		
STRUCTURES		
WATER MAINS		
GAS MAINS		
TELEPHONE LINES		
STORM SEWER		
SANITARY SEWER		
PAVING		
FENCES		
POWER LINES		
SPOT ELEVATIONS	+124.5	+124.5
CONTOURS	-124	-124
BUILDING ENTRANCES		
UTILITY POLE		
LIGHT POLE		
LIMITS OF DISTURBANCE		

TEXT LEGEND:

'= DEGREES
'= MINUTES (OR FEET)
"= SECONDS (OR INCHES)
%= PERCENT
= NUMBER
@ = AT
lbs = POUNDS
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DSP= DEVELOPMENT SITE PLAN
DSUP= DEVELOPMENT SPECIAL USE PERMIT
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EBOX= ELECTRICAL BOX
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EP= EDGE OF PAVEMENT
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FDC= FIRE DEPT. CONNECTION
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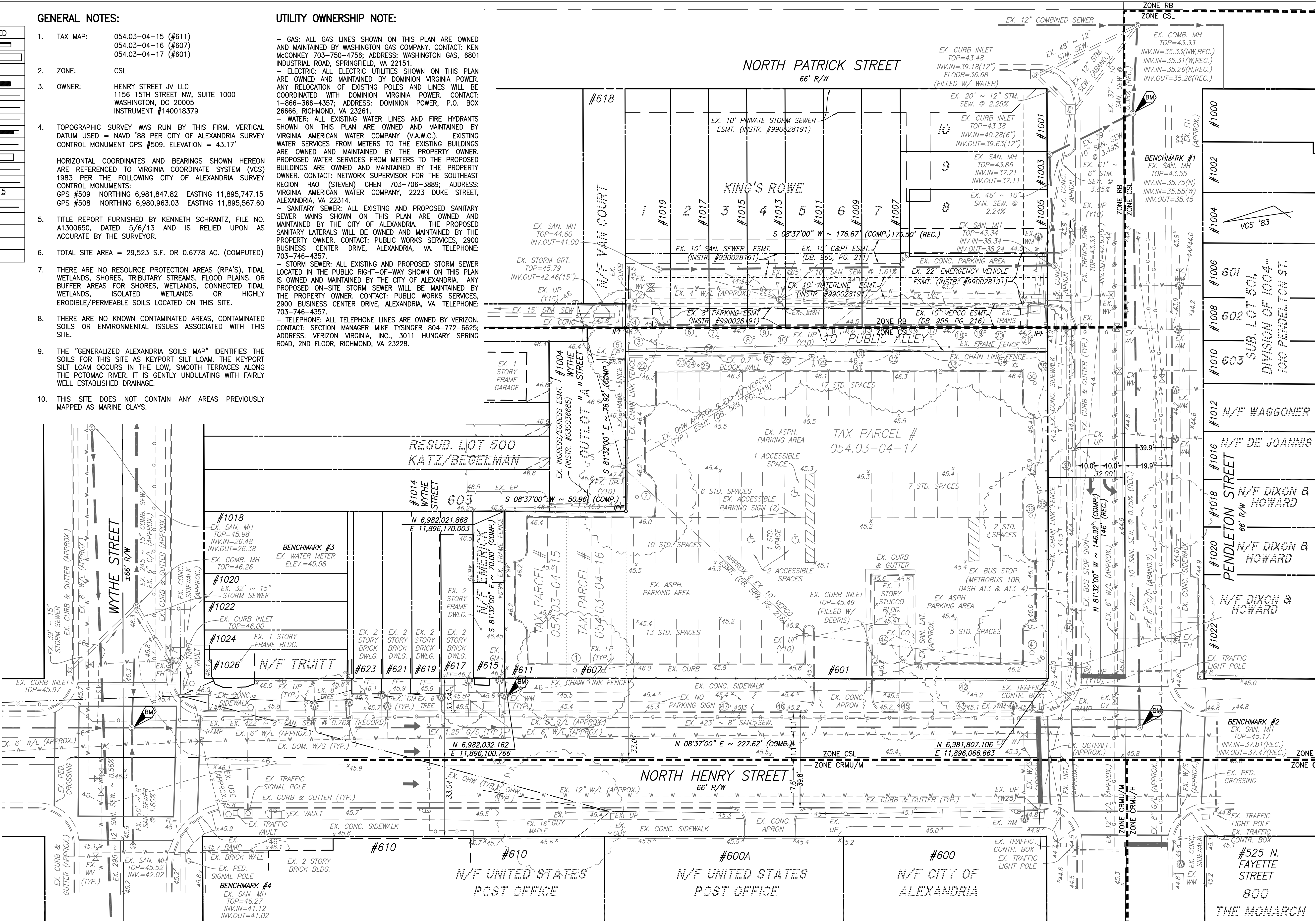
GENERAL NOTES:

- TAX MAP: 054.03-04-15 (#611)
054.03-04-16 (#607)
054.03-04-17 (#601)
- ZONE: CSL
- OWNER: HENRY STREET JV LLC
1156 15TH STREET NW, SUITE 1000
WASHINGTON, DC 20005
INSTRUMENT #140018379
- TOPOGRAPHIC SURVEY WAS RUN BY THIS FIRM. VERTICAL DATUM USED = NAVD '88 PER CITY OF ALEXANDRIA SURVEY CONTROL MONUMENT GPS #509. ELEVATION = 43.17'

HORIZONTAL COORDINATES AND BEARINGS SHOWN HEREON ARE REFERENCED TO VIRGINIA COORDINATE SYSTEM (VCS) 1983 PER THE FOLLOWING CITY OF ALEXANDRIA SURVEY CONTROL MONUMENTS:
GPS #509 NORTHING 6,981,847.82 EASTING 11,895,747.15
GPS #508 NORTHING 6,980,963.03 EASTING 11,895,567.60
- TITLE REPORT FURNISHED BY KENNETH SCHRANTZ, FILE NO. A1300650, DATED 5/6/13 AND IS RELIED UPON AS ACCURATE BY THE SURVEYOR.
- TOTAL SITE AREA = 29,523 S.F. OR 0.6778 AC. (COMPUTED)
- THERE ARE NO RESOURCE PROTECTION AREAS (RPA'S), TIDAL WETLANDS, SHORES, TRIBUTARY STREAMS, FLOOD PLAINS, OR BUFFER AREAS FOR SHORES, WETLANDS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS OR HIGHLY ERODIBLE/PERMEABLE SOILS LOCATED ON THIS SITE.
- THERE ARE NO KNOWN CONTAMINATED AREAS, CONTAMINATED SOILS OR ENVIRONMENTAL ISSUES ASSOCIATED WITH THIS SITE.
- THE "GENERALIZED ALEXANDRIA SOILS MAP" IDENTIFIES THE SOILS FOR THIS SITE AS KEYPORT SILT LOAM. THE KEYPORT SILT LOAM OCCURS IN THE LOW, SMOOTH TERRACES ALONG THE POTOMAC RIVER. IT IS GENTLY UNULATING WITH FAIRLY WELL ESTABLISHED DRAINAGE.
- THIS SITE DOES NOT CONTAIN ANY AREAS PREVIOUSLY MAPPED AS MARINE CLAYS.

UTILITY OWNERSHIP NOTE:

- GAS: ALL GAS LINES SHOWN ON THIS PLAN ARE OWNED AND MAINTAINED BY WASHINGTON GAS COMPANY. CONTACT: KEN MCCONKEY 703-750-4756; ADDRESS: WASHINGTON GAS, 6801 INDUSTRIAL ROAD, SPRINGFIELD, VA 22151.
- ELECTRIC: ALL ELECTRIC UTILITIES SHOWN ON THIS PLAN ARE OWNED AND MAINTAINED BY DOMINION VIRGINIA POWER. ANY RELOCATION OF EXISTING POLES AND LINES WILL BE COORDINATED WITH DOMINION VIRGINIA POWER. CONTACT: 1-866-366-4357; ADDRESS: DOMINION POWER, P.O. BOX 26666, RICHMOND, VA 23261.
- WATER: ALL EXISTING WATER LINES AND FIRE HYDRANTS SHOWN ON THIS PLAN ARE OWNED AND MAINTAINED BY VIRGINIA AMERICAN WATER COMPANY (V.A.W.C.). EXISTING WATER SERVICES FROM METERS TO THE EXISTING BUILDINGS ARE OWNED AND MAINTAINED BY THE PROPERTY OWNER. PROPOSED WATER SERVICES FROM METERS TO THE PROPOSED BUILDINGS ARE OWNED AND MAINTAINED BY THE PROPERTY OWNER. CONTACT: NETWORK SUPERVISOR FOR THE SOUTHEAST REGION HAO (STEVEN) CHEN 703-706-3889; ADDRESS: VIRGINIA AMERICAN WATER COMPANY, 2223 DUKE STREET, ALEXANDRIA, VA 22314.
- SANITARY SEWER: ALL EXISTING AND PROPOSED SANITARY SEWER MAINS SHOWN ON THIS PLAN ARE OWNED AND MAINTAINED BY THE CITY OF ALEXANDRIA. THE PROPOSED SANITARY LATERALS WILL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER. CONTACT: PUBLIC WORKS SERVICES, 2900 BUSINESS CENTER DRIVE, ALEXANDRIA, VA. TELEPHONE: 703-748-4357.
- STORM SEWER: ALL EXISTING AND PROPOSED STORM SEWER LOCATED IN THE PUBLIC RIGHT-OF-WAY SHOWN ON THIS PLAN IS OWNED AND MAINTAINED BY THE CITY OF ALEXANDRIA. ANY PROPOSED ON-SITE STORM SEWER WILL BE MAINTAINED BY THE PROPERTY OWNER. CONTACT: PUBLIC WORKS SERVICES, 2900 BUSINESS CENTER DRIVE, ALEXANDRIA, VA. TELEPHONE: 703-748-4357.
- TELEPHONE: ALL TELEPHONE LINES ARE OWNED BY VERIZON. CONTACT: SECTION MANAGER MIKE TYSINGER 804-772-6625; ADDRESS: VERIZON VIRGINIA, INC., 3011 HUNGARY SPRING ROAD, 2ND FLOOR, RICHMOND, VA 23228.



EXISTING TREE TABLE

1. 18" ZELKOVA	18. 10" RED CEDAR	35. 6" CEDAR
2. 15" ZELKOVA	19. 10" RED CEDAR	36. 15" ZELKOVA
3. 10" TREE OF HEAVEN	20. 10" RED CEDAR	37. 7" CHERRY
4. 8" TREE OF HEAVEN	21. 10" BRADFORD PEAR	38. 18" MULBERRY
5. 10" TREE OF HEAVEN	22. 10" ELM	39. 15" ZELKOVA
6. 10" RED CEDAR	23. 4" ELM	40. 6" CHERRY
7. 10" RED CEDAR	24. 8" ELM	41. 22" ZELKOVA
8. 10" RED CEDAR	25. 10" ZELKOVA	42. 10" BRADFORD PEAR
9. 10" RED CEDAR	26. 8" ELM	43. 3" CHERRY
10. 10" RED CEDAR	27. 10" ZELKOVA	44. 7" GRAPE MYRTLE
11. 10" RED CEDAR	28. 7" ELM	45. 8" CHERRY
12. 10" RED CEDAR	29. 8" ELM	46. 8" CHERRY
13. 10" RED CEDAR	30. 7" ELM	47. 3" CHERRY
14. 10" RED CEDAR	31. 7" ZELKOVA	
15. 10" RED CEDAR	32. 15" ELM	
16. 10" RED CEDAR	33. 10" MAPLE	
17. 10" RED CEDAR	34. 10" MAPLE	

TOPOGRAPHY NOTE:

THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF R.J. KELLER, LS FROM AN ACTUAL AIRBORNE SURVEY MADE UNDER MY SUPERVISION; THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON OCTOBER 29, 2013; AND THIS PLAT, MAP OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

EXISTING CONDITIONS SURVEY NOTES:

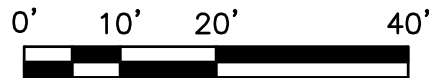
- UTILITY INFORMATION, AS SHOWN ON THIS PLAN, IS TAKEN FROM THE RECORDS AND/OR FIELD SURVEY COMPLETED AND CANNOT BE GUARANTEED. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.
- LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR/ENGINEER SHOULD DIG TEST PITS BY HAND AT ALL UTILITY CROSSINGS TO VERIFY EXACT LOCATION.

NORTH PATRICK STREET
66' R/WNORTH HENRY STREET
66' R/W

ADJACENT PROPERTY OWNER NOTE:

SEE SHEET 2 FOR ADJACENT PROPERTY OWNER INFORMATION.

----- ZONING DISTRICT BOUNDARY LINE



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ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF CITY OF ALEXANDRIA, VIRGINIA

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APPROVED

SPECIAL USE PERMIT NO. 2014-0017

DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
	DATE

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

THE PARK RESIDENCES

601 NORTH HENRY STREET
CITY OF ALEXANDRIA, VIRGINIA

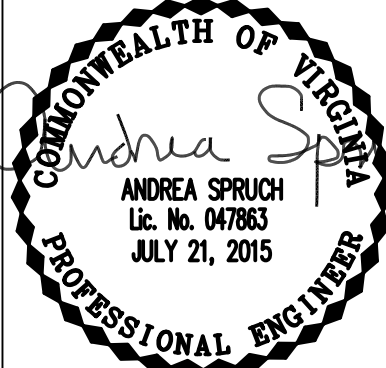
DATE	REVISION
7.21.15	PRELIM COMMENTS

CHECKED: RJK
DESIGN: ACS

SCALE: 1" = 20'
DATE: JUNE 2015

SHEET 3 OF 12

FILE: 14-24



R.C. FIELDS & ASSOCIATES, INC.
ENGINEERING • LAND SURVEYING • PLANNING
730 S. Washington Street
Alexandria, Virginia 22314
(703) 549-6422
www.rcfields.com

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 W= WATT
 W= WEST
 W.S.E.= WATER SURFACE ELEVATION
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 WM= WATER METER
 W.W.= WINDOW WELL

CIVIL LEGEND

ITEM	EXISTING	PROPOSED
CURB & GUTTER	=====	=====
CONC. WALK	---WALK---	WALK
FIRE HYDRANT	○	○
STRUCTURES	□	■
WATER MAINS	---W---W---	W
GAS MAINS	---G---G---	G
TELEPHONE LINES	---T---T---	T
STORM SEWER	---S---	---S---
SANITARY SEWER	---S---	---S---
PAVING	---P---	---P---
FENCES	---X---X---	X
POWER LINES	---	---
SPOT ELEVATIONS	+124.5	+124.5
CONTOURS	---124---	124
BUILDING ENTRANCES	▽	▽
UTILITY POLE	○	○
LIGHT POLE	☆	☆
LIMITS OF DISTURBANCE	---	---

SANITARY SEWER OUTFALL NARRATIVE:

THE EXISTING USE (PARKING LOT) PRODUCES AN AVERAGE DAILY FLOW OF APPROXIMATELY 200 GALLONS PER DAY (200 GAL. X 250/1,000 SF X 4.0 PEAK FACTOR). THE PROPOSED USE (TOWNHOUSES) PRODUCES 25,200 GALLONS PER DAY (350 GAL. X 18 UNITS X 4.0 PEAK FACTOR). THE ADDITIONAL FLOW FROM THE PROPOSED USE EXCEEDS 10,000 GPD. A DETAILED SANITARY SEWER OUTFALL ANALYSIS IS PROVIDED ON SHEET 11.

GREEN BUILDING NARRATIVE:

THIS PROJECT WILL COMPLY WITH THE CITY'S GREEN BUILDING POLICY. SPECIFIC DETAILS WILL BE PROVIDED WITH SUBSEQUENT SUBMISSIONS.

TREE WELL NOTE:

PROPOSED TREE WELLS ALONG NORTH HENRY STREET WILL BE DESIGNED TO TREAT ROADWAY RUNOFF PER MEMO TO INDUSTRY 04-14.

FIRE SERVICE NOTE:

EXISTING FIRE HYDRANTS LOCATED AT THE SOUTHEAST INTERSECTION OF NORTH HENRY STREET AND PENDLETON STREET AS WELL AS AT THE SOUTHWEST INTERSECTION OF NORTH PATRICK STREET AND PENDLETON STREET MAY BE USED TO SERVE THE PROPOSED DEVELOPMENT. A FIRE HYDRANT IS PROPOSED SOUTH OF THE SITE ENTRANCE. A DETAILED FIRE SAFETY PLAN WILL BE INCLUDED WITH SUBSEQUENT SUBMISSIONS.

ARCHAEOLOGY NOTES:

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY (703/746-4399) TWO WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT A MONITORING AND INSPECTION SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED.

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.

UTILITY UNDERGROUNDING NOTE:

EXISTING OVERHEAD UTILITIES LOCATED ALONG THE PENDLETON STREET FRONTAGE SHALL BE UNDERGROUNDED WITH THIS PLAN.

GENERAL NOTES:

- TAX MAP: 054.03-04-15 (#611)
054.03-04-16 (#607)
054.03-04-17 (#601)
- EXISTING ZONE: CSL
PROPOSED ZONE: CRMU-M
- OWNER: HENRY STREET JV LLC
1156 15TH STREET NW, SUITE 1000
WASHINGTON, DC 20005
INSTRUMENT #140018379
- TOPOGRAPHIC SURVEY WAS RUN BY THIS FIRM. VERTICAL DATUM USED = NAVD '88 PER CITY OF ALEXANDRIA SURVEY CONTROL MONUMENT GPS #509. ELEVATION = 43.17'

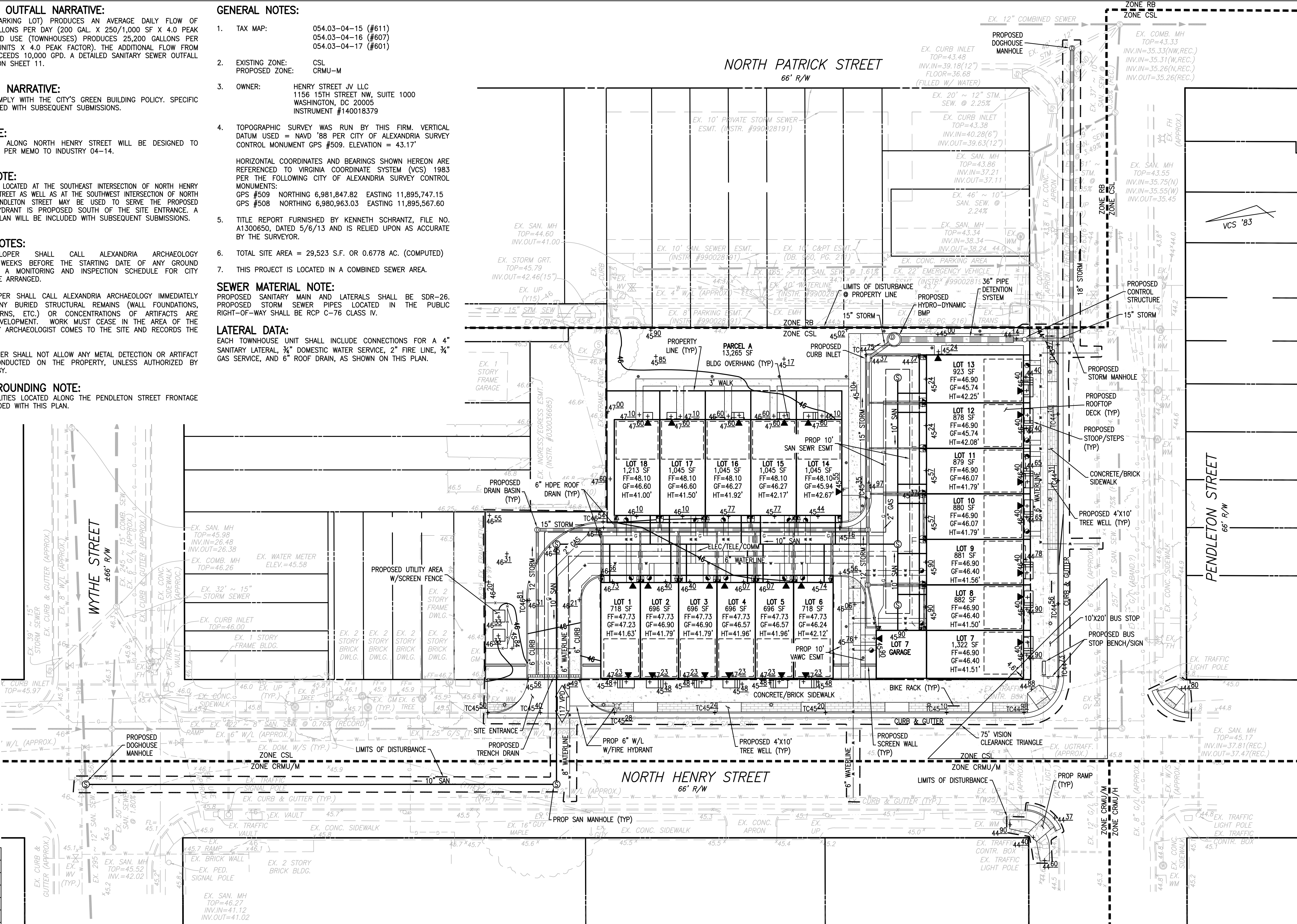
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- TITLE REPORT FURNISHED BY KENNETH SCHRANTZ, FILE NO. A1300650, DATED 5/6/13 AND IS RELIED UPON AS ACCURATE BY THE SURVEYOR.
- TOTAL SITE AREA = 29,523 S.F. OR 0.6778 AC. (COMPUTED)
- THIS PROJECT IS LOCATED IN A COMBINED SEWER AREA.

SEWER MATERIAL NOTE:

PROPOSED SANITARY MAIN AND LATERALS SHALL BE SDR-26. PROPOSED STORM SEWER PIPES LOCATED IN THE PUBLIC RIGHT-OF-WAY SHALL BE RCP C-76 CLASS IV.

LATERAL DATA:

EACH TOWNHOUSE UNIT SHALL INCLUDE CONNECTIONS FOR A 4" SANITARY LATERAL, ¾" DOMESTIC WATER SERVICE, 2" FIRE LINE, ¾" GAS SERVICE, AND 6" ROOF DRAIN, AS SHOWN ON THIS PLAN.



LEGEND

- ZONING DISTRICT BOUNDARY LINE
- ELECTRICAL/TELEPHONE/CABLE CONDUIT (DESIGN BY OTHERS)
- ¾" WATER METER
- ▽ GAS METER
- ELECTRIC METER
- ☆ STREETLIGHT (SEE LANDSCAPE PLAN)
- ⊙ BOLLARD LIGHT (SEE LANDSCAPE PLAN)

BUILDING CODE INFORMATION:

USE GROUP:	R-3
TYPE OF CONSTRUCTION:	VB
NUMBER OF STORIES:	4
FLOOR AREA (GROSS):	SEE COVER SHEET
FLOOR AREA (NET):	SEE COVER SHEET
BUILDING HEIGHT:	SEE COVER SHEET
FIRE SUPPRESSION/DETECTION:	NFPA13R SPRINKLER SYSTEM

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APPROVED

SPECIAL USE PERMIT NO. 2014-0017

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____

0' 10' 20' 40'

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

THE PARK RESIDENCES

601 NORTH HENRY STREET
 CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION
7.21.15	PRELIM COMMENTS

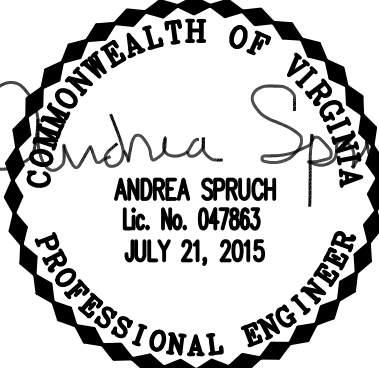
CHECKED: RJK
 DESIGN: ACS

SCALE: 1" = 20'

DATE: JUNE 2015

SHEET 4 of 12

FILE: 14-24



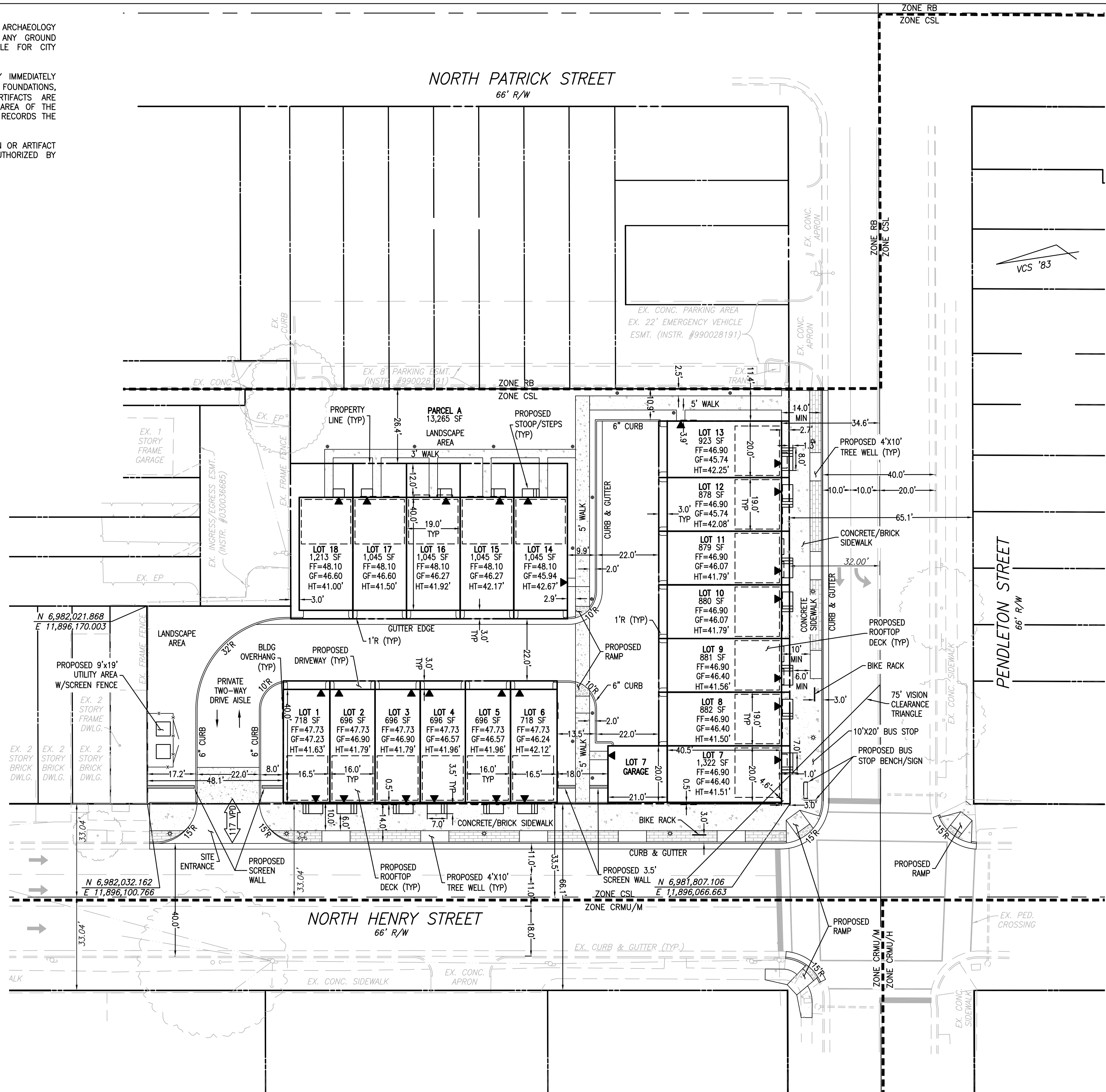
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 SUB = SUBDIVISION PLAN
 TBR = TO BE REMOVED
 TBS = TO BE SAVED
 T.M. = TAX MAP
 TMI = TELEPHONE MANHOLE
 TC = TOP OF CURB
 TOW = TOP OF WALL
 TRAF.SIG. = TRAFFIC SIGNAL
 TYP = TYPICAL
 UGE = UNDERGROUND ELECTRIC
 UP = UTILITY POLE
 VCS = VIRGINIA COORDINATE SYSTEM
 VPD = VEHICLES PER DAY
 W = WATT
 W = WEST
 W.S.E. = WATER SURFACE ELEVATION
 WV = WATER VALVE
 WM = WATER METER
 W.W. = WINDOW WELL

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY (703/746-4399) TWO WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT A MONITORING AND INSPECTION SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED.

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.



ITEM	EXISTING	PROPOSED
CURB & GUTTER		
CONC. WALK		
FIRE HYDRANT		
STRUCTURES		
WATER MAINS		
GAS MAINS		
TELEPHONE LINES		
STORM SEWER		
SANITARY SEWER		
PAVING		
FENCES		
POWER LINES		
SPOT ELEVATIONS	+124.5	+124.5
CONTOURS	-124	-124
BUILDING ENTRANCES		
UTILITY POLE		
LIGHT POLE		
LIMITS OF DISTURBANCE		

----- ZONING DISTRICT BOUNDARY LINE

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DEPARTMENT OF PLANNING & ZONING

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES


SITE PLAN NO. _____

DIRECTOR	DATE

CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	

INSTRUMENT NO. _____ DEED BOOK NO. _____

601 NORTH HENRY STREET
CITY OF ALEXANDRIA, VIRGINIA



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(703) 549-6422

DATE	REVISION
7.21.15	PRELIM COMMENTS

CHECKED: RJK
DESIGN: ACS

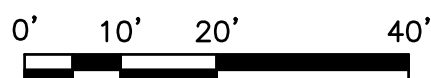
SCALE: 1" = 20'

DATE: JUNE 2015

SHEET 5 OF 12

FILE: 14-24

SITE DIMENSION PLAN



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FILE: 14-24

STORMWATER MANAGEMENT PLAN

DATE RECORDED _____

J:\2014\1424\DWG\DELM\Preliminary\06 STORMWATER MANAGEMENT PLAN.dwg
Tue, Jul 21 2015 - 8:20:59am

Virginia Runoff Reduction Method ReDevelopment Worksheet - v2.8 - June 2014
To be used w/ DRAFT 2013 BMP Standards and Specifications
Site Data

Project Name: The Park Residences

Date: June 2015

data input cells
calculation cells
constant values

Post-ReDevelopment Project & Land Cover Information

Total Disturbed Acreage0.92

Constants

Annual Rainfall (inches)
Target Rainfall Event (inches)
Phosphorus EMC (mg/L)
Target Phosphorus Target Load (lb/acre/yr)
Pj

43
1.00
0.26
0.41
0.90

Nitrogen EMC (mg/L)1.86

Pre-ReDevelopment Land Cover (acres)					
	A soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.16	0.16
Impervious Cover (acres)	0.00	0.00	0.00	0.52	0.52
				Total	0.68

Post-ReDevelopment Land Cover (acres)					
	A soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.15	0.15
Impervious Cover (acres)	0.00	0.00	0.00	0.53	0.53
				Total	0.68

Area Check

Okay

Okay

Okay

Okay

Rv Coefficients				
	A soils	B Soils	C Soils	D Soils
Forest/Open Space	0.02	0.03	0.04	0.05
Managed Turf	0.15	0.20	0.22	0.25
Impervious Cover	0.95	0.95	0.95	0.95

Land Cover Summary		
Pre-ReDevelopment		
Listed	Adjusted ¹	
Forest/Open Space Cover (acres)	0.00	0.00
Composite Rv(forest)	0.00	0.00
% Forest	0%	0%
Managed Turf Cover (acres)	0.16	0.15
Composite Rv(turf)	0.25	0.25
% Managed Turf	24%	22%
Impervious Cover (acres)	0.52	0.52
Rv(impervius)	0.95	0.95
% Impervious	76%	78%
Total Site Area (acres)	0.68	0.67
Site Rv	0.79	0.79
Pre-Development Treatment Volume (acre-ft)	0.0445	0.0443
Pre-Development Treatment Volume (cubic feet)	1,938	1,929
Pre-Development Load (TP) (lb/yr)	1.22	1.21

¹Adjusted Land Cover Summary reflects the pre redevelopment land cover minus the pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover. The adjusted total acreage is consistent with the Post Redevelopment acreage (minus the acreage of new impervious cover). The load reduction requiemnt for the new impervious cover to meet the new development load limit is computed in Column I.

Pre-Development Load (TN) (lb/yr)

8.71

Land Cover Summary		
Post-ReDevelopment		
Forest/Open Space Cover (acres)		0.00
Composite Rv(forest)		0.00
% Forest		0%
Managed Turf Cover (acres)		0.15
Composite Rv(turf)		0.25
% Managed Turf		22%
ReDev. Impervious Cover (acres)		0.52
Rv(impervius)		0.95
% Impervious		78%
Total ReDev. Site Area (acres)		0.67
ReDev. Site Rv		0.79
Post-ReDevelopment Treatment Volume (acre-ft)		0.0443
Post-ReDevelopment Treatment Volume (cubic feet)		1,929
Post-ReDevelopment Load (TP) (lb/yr)		1.21

Maximum % Reduction Required Below Pre-ReDevelopment Load

10%

TP Load Reduction Required for Redeveloped Area (lb/yr)

0.12

Total Load Reduction Required (lb/yr)

0.14

Post-Development Load (TN) (lb/yr)

8.83

Land Cover Summary		
Post-ReDevelopment New Impervious		
New Impervious Cover (acres)		0.01
Rv(impervius)		0.95
% Impervious		100%
Total New Dev. Site Area (acres)		0.01
New Dev. Site Rv		0.95
Post-Development Treatment Volume (acre-ft)		0.0008
Post-Development Treatment Volume (cubic feet)		34
Post-Development Load (TP) (lb/yr)		0.02

TP Load Reduction Required for New Impervious Area (lb/yr)

0.02

Drainage Area A

Drainage Area A Land Cover (acres)						
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested land	A soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Managed Turf (acres) -- disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.00	0.00	0.00
Impervious Cover (acres)	0.00	0.00	0.00	0.14	0.14	0.25
	0.00	0.00	0.00	0.51	0.51	0.95
	Total				0.65	

Post Development Treatment Volume (cf)

1883

WATER QUALITY VOLUME TREATED

Apply Practices that Remove Pollutants but Do Not Reduce Runoff Volume

Practice	Unit	Description of Credit	Credit	Area (excluding areas treated by upstream practices)	Runoff from Upstream RR Practices (cf)	Runoff Reduction (cf)	Remaining Runoff Volume (cf)	Phosphorus Efficiency (%)	Phosphorus Load from Upstream RR Practices (lbs)	Untreated Phosphorus Load to Practice (lbs.)	Phosphorus Removed By Practice (lbs.)	Remaining Phosphorus Load (lbs.)
	impervius acres draining to device	0% runoff volume reduction	0.00	0.51	0.00	0	1759	20	0.00	1.10	0.22	0.88
Hydro-dynamic BMP	turf acres draining to device	0% runoff volume reduction	0.00	0.14	0.00	0	472	20	0.00	0.08	0.02	0.06

TOTAL PHOSPHOROUS LOAD REDUCTION REQUIRED (LB/YEAR)	0.14
Runoff Reduction (cf)	0
PHOSPHOROUS LOAD REDUCTION ACHIEVED (LB/YR)	0.24
ADJUSTED POST-DEVELOPMENT PHOSPHOROUS LOAD (TP) (lb/yr)	1.00
REMAINING PHOSPHOROUS LOAD REDUCTION (LB/YR) NEEDED	CONGRATULATIONS!! YOU EXCEEDED THE TARGET REDUCTION BY 0.1 LB/YEAR!!

STORMWATER QUALITY COMPLIANCE NARRATIVE (CITY CODE SECTION 13–109E)

THE PROPOSED REDEVELOPMENT (APPROXIMATELY 0.92 ACRES OF DISTURBANCE) GENERATES A MINOR INCREASE OF IMPERVIOUS AREA FROM PRE–DEVELOPMENT CONDITIONS. PER CITY CODE SECTION 13–109F–(4)(c), DEVELOPMENT OF PRIOR DEVELOPED LAND RESULTING IN A NET INCREASE IN IMPERVIOUS AREA, THE DESIGN CRITERIA FOR NEW DEVELOPMENT SHALL BE APPLIED TO THE INCREASED IMPERVIOUS AREA. THE REMAINING PORTION OF THE SITE MUST RESULT IN A 10% DECREASE IN PHOSPHORUS LOADING BELOW THE PRE–DEVELOPMENT TOTAL PHOSPHORUS LOAD.

THE VIRGINIA RUNOFF REDUCTION METHOD WAS UTILIZED TO DETERMINE THE STORM WATER QUALITY MANAGEMENT PERFORMANCE REQUIREMENTS FOR THIS PROJECT. PHOSPHORUS LOAD REDUCTION REQUIREMENTS WILL BE SATISFIED THROUGH THE USE OF A HYDRO–DYNAMIC FACILITY. A DRAINAGE AREA OF 0.65 ACRES WILL BE TREATED BY THE BMP FACILITY. THIS WILL RESULT IN A TOTAL PHOSPHOROUS LOAD REDUCTION OF 0.24 LB/YR WHICH ADEQUATELY MEETS THE POST DEVELOPMENT PHOSPHORUS LOAD REQUIREMENT OF 0.14 LB/YR. THEREFORE, THE WATER QUALITY MANAGEMENT PERFORMANCE REQUIREMENTS FOR THE PROPOSED DEVELOPMENT PER CITY CODE SECTION 13–109F–(4)(c) HAVE BEEN MET.

A CONTRIBUTION TO THE ALEXANDRIA WATER QUALITY IMPROVEMENT FUND WILL BE MADE FOR THAT PORTION OF THE WATER QUALITY VOLUME NOT TREATED IN COMPLIANCE WITH CITY CODE SECTION 13–109E–(5) AND SECTION 13–110.

BMP SIZING CHART

CONTECH

ENGINEERED SOLUTIONS

How-Based Sizing per VADEQ Regulations

Project Name:

New Project

Date:

7/20/15

County or Independent City:

VA

Design Engineer:

NAB

State:

Annual Rainfall (inches)

43

Target Rainfall Event, P (inches)

1.00

Volume from Upstream Runoff Reduction Practice to BMP:

Remaining Volume from Upstream RR Practice (cf)

0

Runoff Coefficient (R_i)

0.95

Effective Area (ac)

0.00

Volume from Additional Credit Area to BMP:

Treatment Volume from Untreated Credit Area (cf)

127

Runoff Coefficient (R_i)

0.95

Effective Area (ac)

0.14

Total Volume to be Treated

1886

Total Effective Area to be Treated

0.65

Composite Rv

0.80

Time of Concentration (Tc)

5.00

Unit Peak Discharge (qu)

1000

Treatment Volume Peak Discharge

0.81

Model Name

2020-5

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PROJECT DESCRIPTION

REDEVELOPMENT – RESIDENTIAL			
DRAINAGE AREA	IMPERVIOUS	PERVIOUS	TOTAL
PROJECT AREA	0.5389	0.1389	0.6778
ON–SITE TREATED	0.5100	0.1370	0.6470
OFF–SITE TREATED	0.0000	0.0000	0.0000
TOTAL TREATED	0.5100	0.1370	0.6470
ON–SITE IMPERVIOUS AREAS DISCONNECTED BY A VEGETATIVE BUFFER	N/A		
TOTAL TREATED OR DISCONNECTED			0.6470

WATER QUALITY VOLUME DEFAULT:

PROPOSED IMPERVIOUS: 0.5289 AC
TREATMENT OF FIRST HALF INCH OF RUNOFF: 1,815 X 0.5289 = 960 CU. FT. WQV REQUIRED

WATER TREATMENT ON–SITE			
BMP TYPE	AREA TREATED BY BMP (ACRES)	IMPERVIOUS AREA TREATED BY BMP (ACRES)	BMP EFFICIENCY (%)
HYDRO–DYNAMIC	0.6470	0.5100	20%

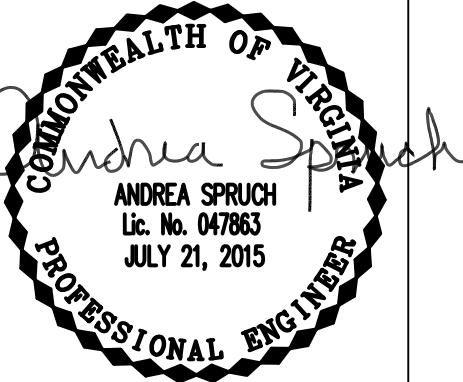
TOTAL WQV TREATED: NO
WATER QUALITY VOLUME REQUIRED = 960 CU. FT.
WATER QUALITY VOLUME TREATED = 1,883 CU. FT. (PER VRRM SPREADSHEET, SEE ABOVE)
PERCENT OF WATER QUALITY VOLUME TREATED = 196%
DETENTION ON SITE: YES
PROJECT IS WITHIN WHICH WATERSHED? CAMERON RUN
PROJECT DISCHARGES TO WHICH BODY OF WATER? HOOFF’S RUN

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CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION
7.21.15	PRELIM COMMENTS

CHECKED: RJK
DESIGN: ACS

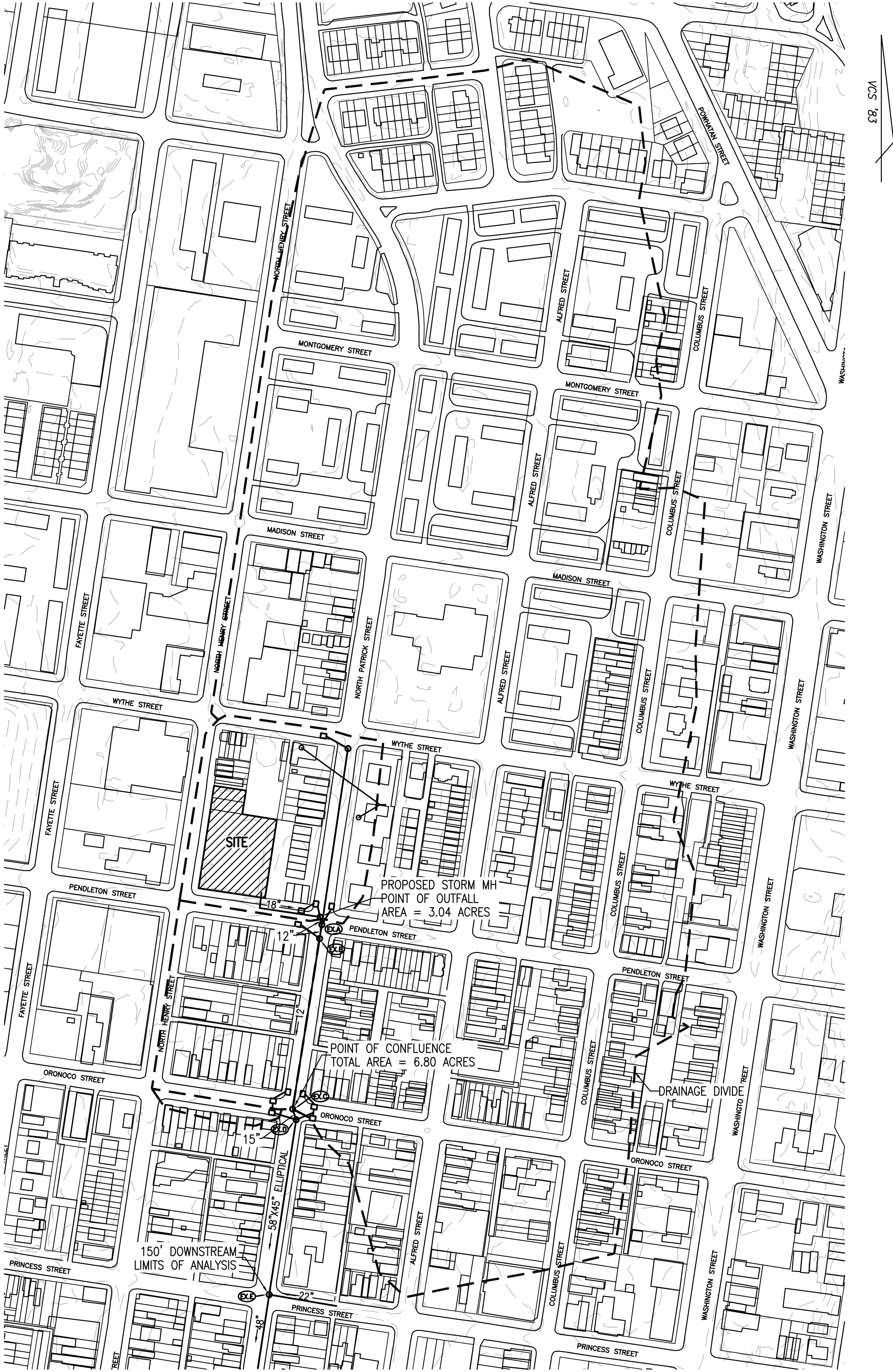
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SHEET 7 of 12

FILE: 14–24

STORMWATER MANAGEMENT PLAN

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Tue, Jul 21, 2015 8:20:38am



OUTFALL MAP
SCALE: 1" = 150'

STORMWATER OUTFALL NARRATIVE:

EXISTING CONDITIONS

IN EXISTING CONDITIONS, SITE RUNOFF SHEET FLOWS TO THE CURB & GUTTER WITHIN THE NORTH HENRY STREET AND PENDLETON STREET RIGHT-OF-WAY. RUNOFF CONTINUES EAST WHERE IT OUTFALLS TO AN EXISTING CURB INLET LOCATED AT THE NORTHWEST CORNER OF NORTH PATRICK STREET AND PENDLTON STREET. RUNOFF IS CONVEYED SOUTH VIA AN EXISTING 12" COMBINED SEWER SYSTEM.

PROPOSED CONDITIONS

THE PROPOSED DEVELOPMENT CONSISTS OF 18 TOWNHOUSES AND WILL RESULT IN A MINOR INCREASE OF SITE IMPERVIOUS AREA. THE MAJORITY OF RUNOFF FROM THE PROPOSED STRUCTURES AND DRIVEWAYS WILL BE COLLECTED AND PIPED TO A PROPOSED STORM SEWER SYSTEM WHICH TIES TO AN EXISTING 12" STORM PIPE AT THE INTERSECTION OF NORTH PATRICK STREET AND PENDLETON STREET WHICH IS THE SAME STORM SYSTEM OUTFALL UTILIZED IN EXISTING CONDITIONS.

THE TOTAL DRAINAGE AREA AT THE PROPOSED STORM MANHOLE (POINT OF OUTFALL) IS 3.04 ACRES. RUNOFF CONTINUES SOUTH BEFORE REACHING THE CONFLUENCE POINT AT STRUCTURE EX. C. AT THIS POINT, THE STORM SYSTEM HAS COLLECTED RUNOFF FROM AN ADDITIONAL 3.76 ACRES, WHICH IS GREATER THAN 90% OF THE DRAINAGE TO THE POINT OF OUTFALL (3.04 ACRES). THE ANALYSIS CONCLUDES AT STRUCTURE EX. E, WHICH IS AN ADDITIONAL 150 FEET DOWNSTREAM OF THE POINT OF CONFLUENCE.

SINCE THIS SYSTEM EXPERIENCES LOCALIZED FLOODING IN EXISTING CONDITIONS (COMPUTATIONS TO BE PROVIDED WITH THE FINAL SITE PLAN SUBMISSION) AND THE PEAK FLOW RATE IS BEING REDUCED WITH THE PROPOSED DEVELOPMENT DUE TO THE PROPOSED DETENTION SYSTEM, THE FLOOD PROTECTION FOR THIS SITE IS IN COMPLIANCE WITH SECTION 13-109F(2)(b)(i). DUE TO SITE DRAINAGE OUTFALLING TO AN EXISTING UNDERSIZED STORM SEWER SYSTEM, NO OFFSITE IMPROVEMENTS TO THE SYSTEM ARE REQUIRED.

THEREFORE, PER THE LIMITS OF ANALYSIS PER CITY CODE SECTION 13-109F(2)(d)(i) AND REDUCED POST-DEVELOPMENT RUNOFF RATE FOR THE 10-YEAR, 24-HOUR STORM, THE PROJECT POST-DEVELOPMENT RUNOFF WILL NOT EXACERBATE ANY EXISTING DOWNSTREAM CAPACITY CONDITIONS.

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APPROVED
SPECIAL USE PERMIT NO. 2014-0017

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO.

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. DATE

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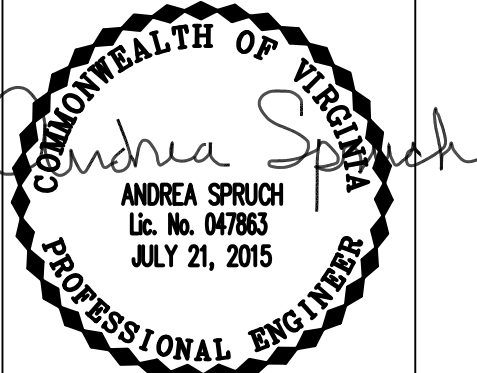
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7.21.15	PRELIM COMMENTS

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DESIGN: ACS

SCALE: 1" = 150'
DATE: JUNE 2015

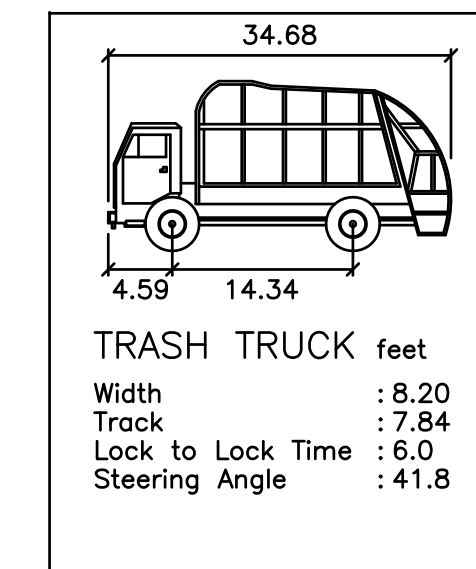
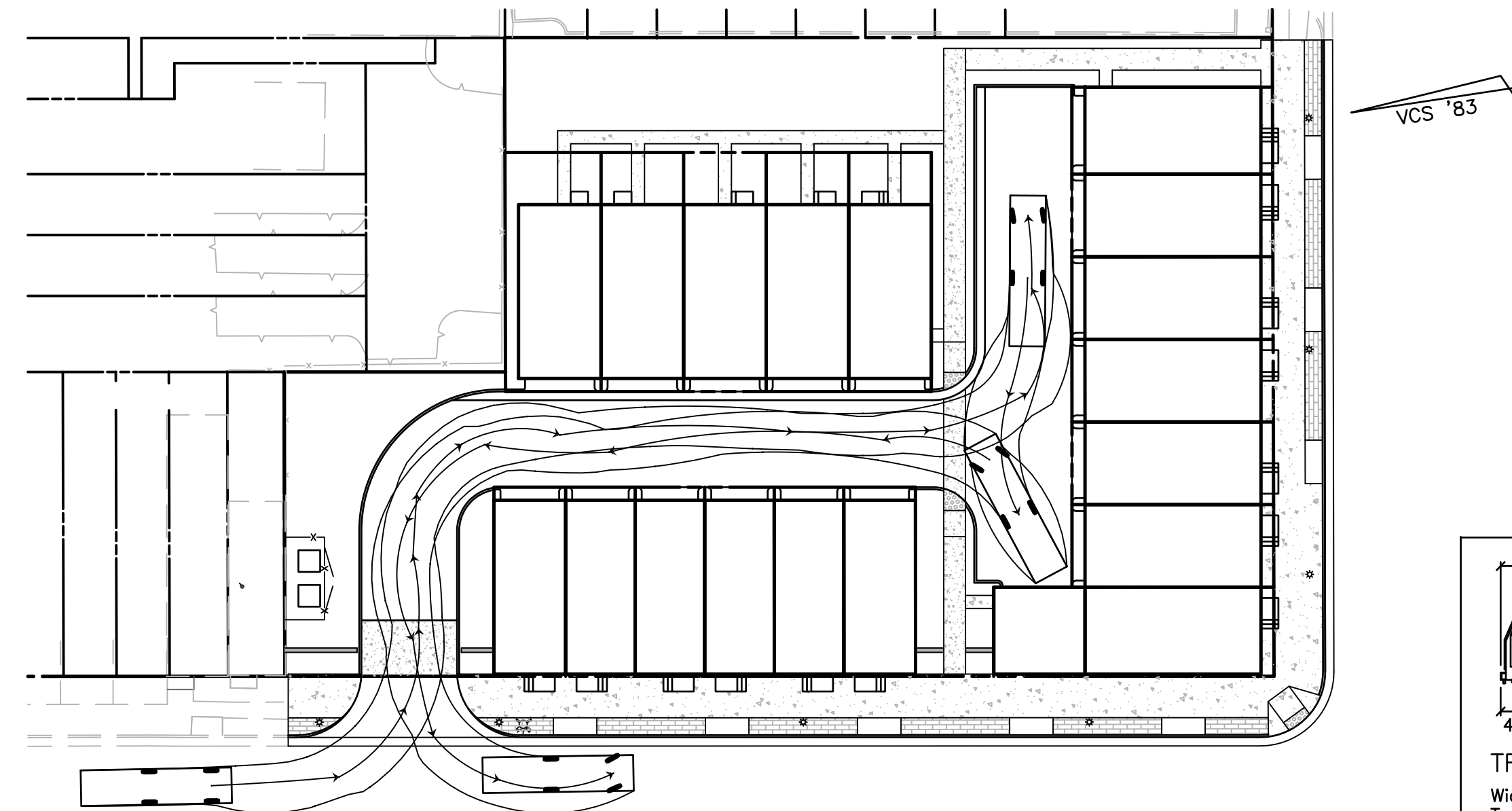
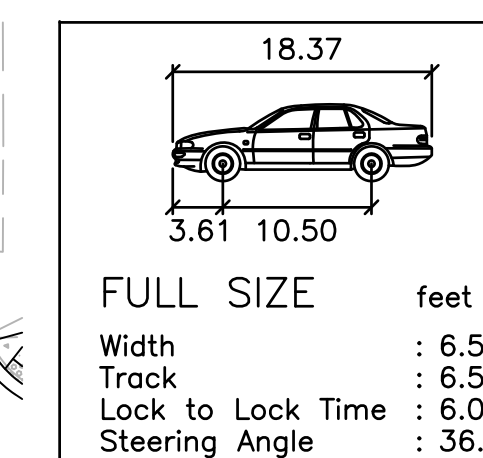
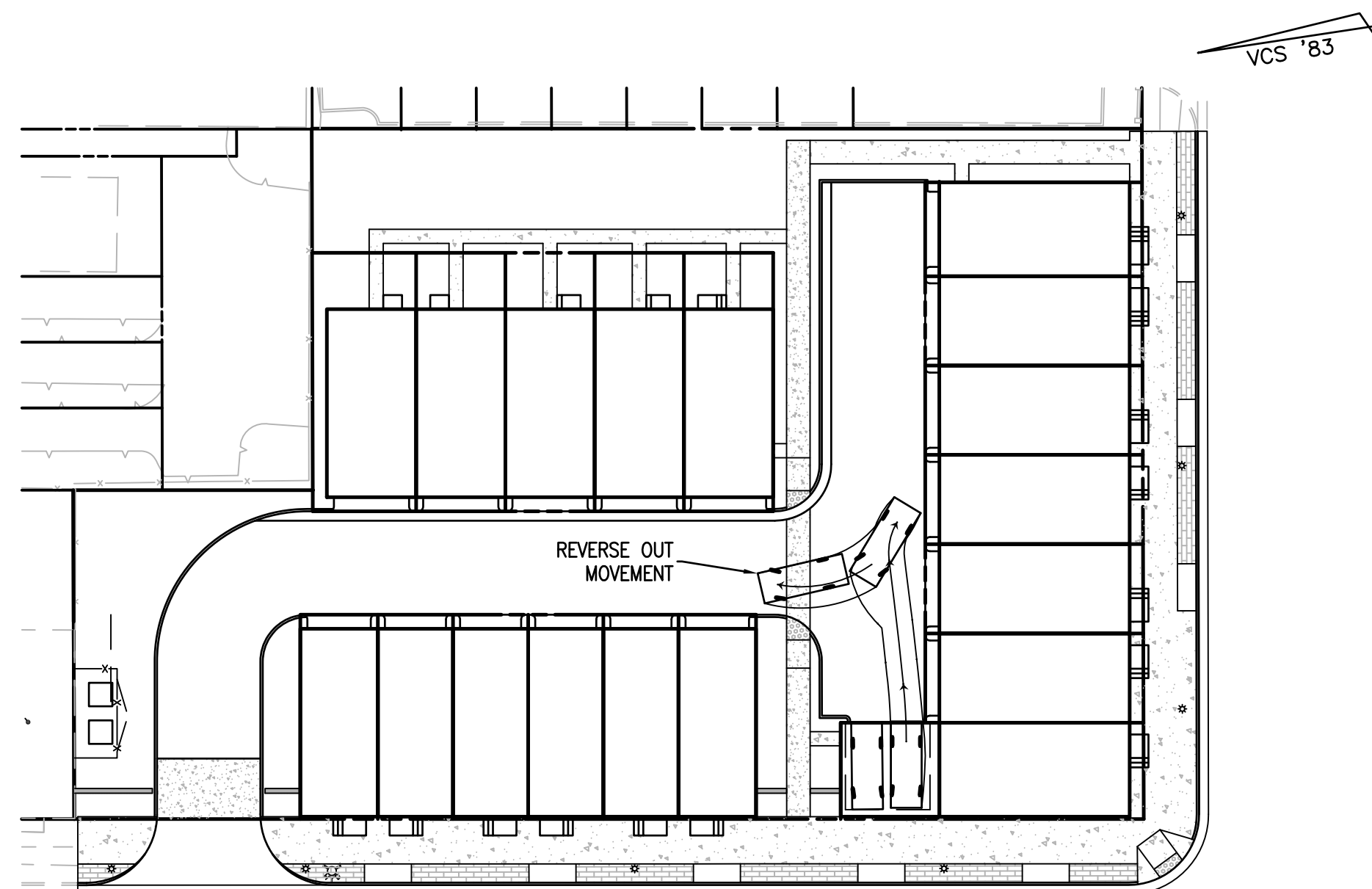
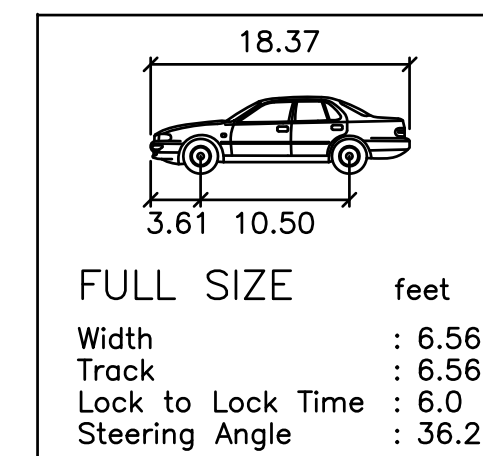
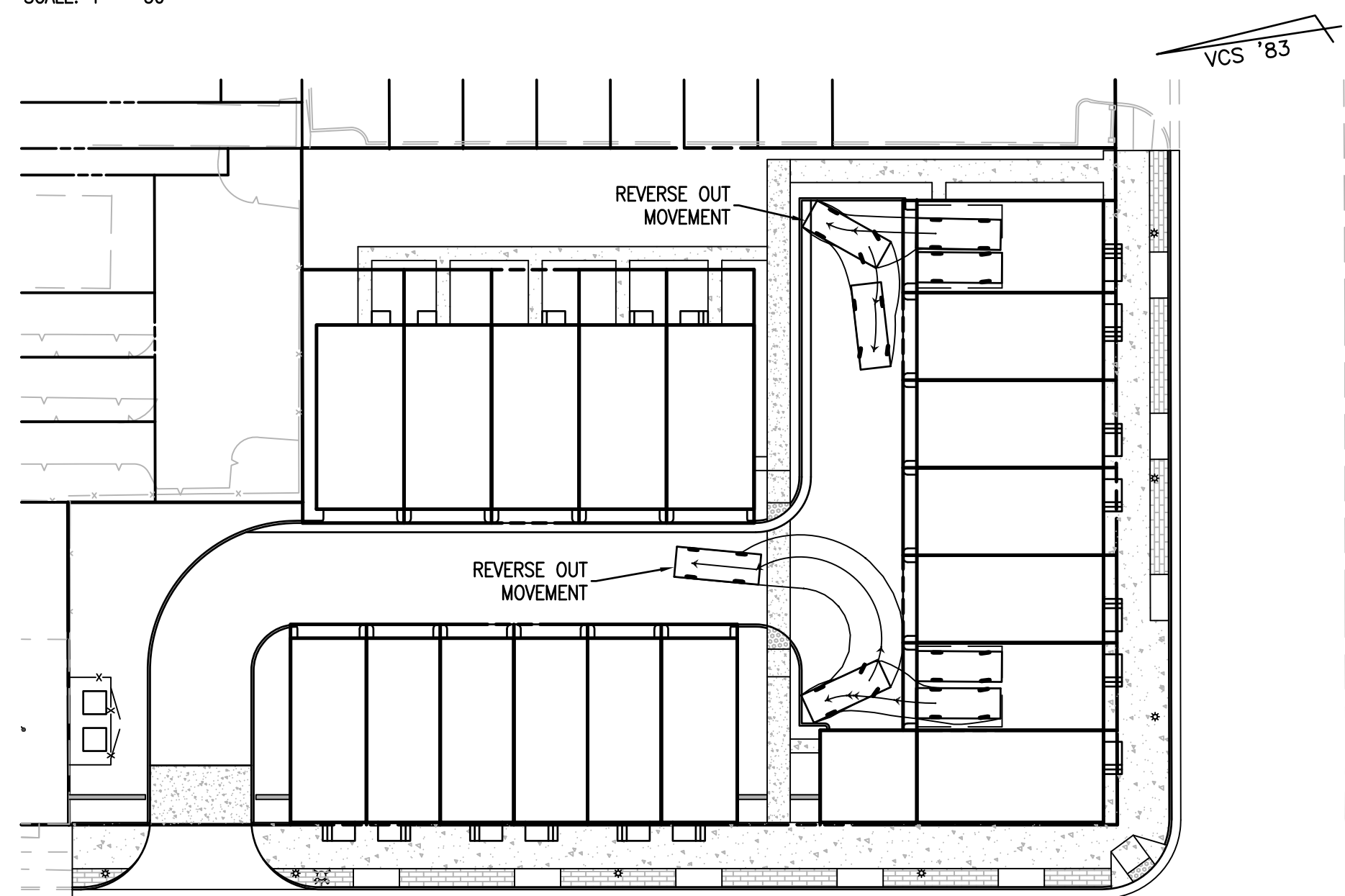
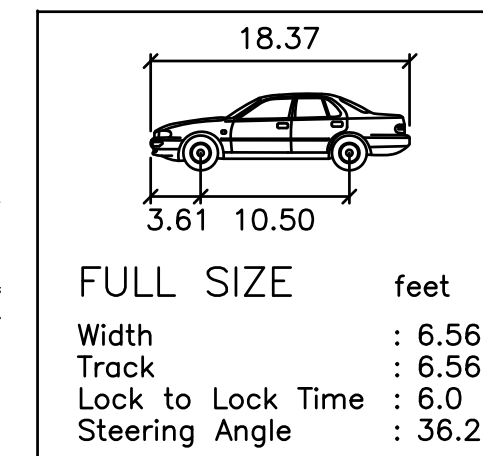
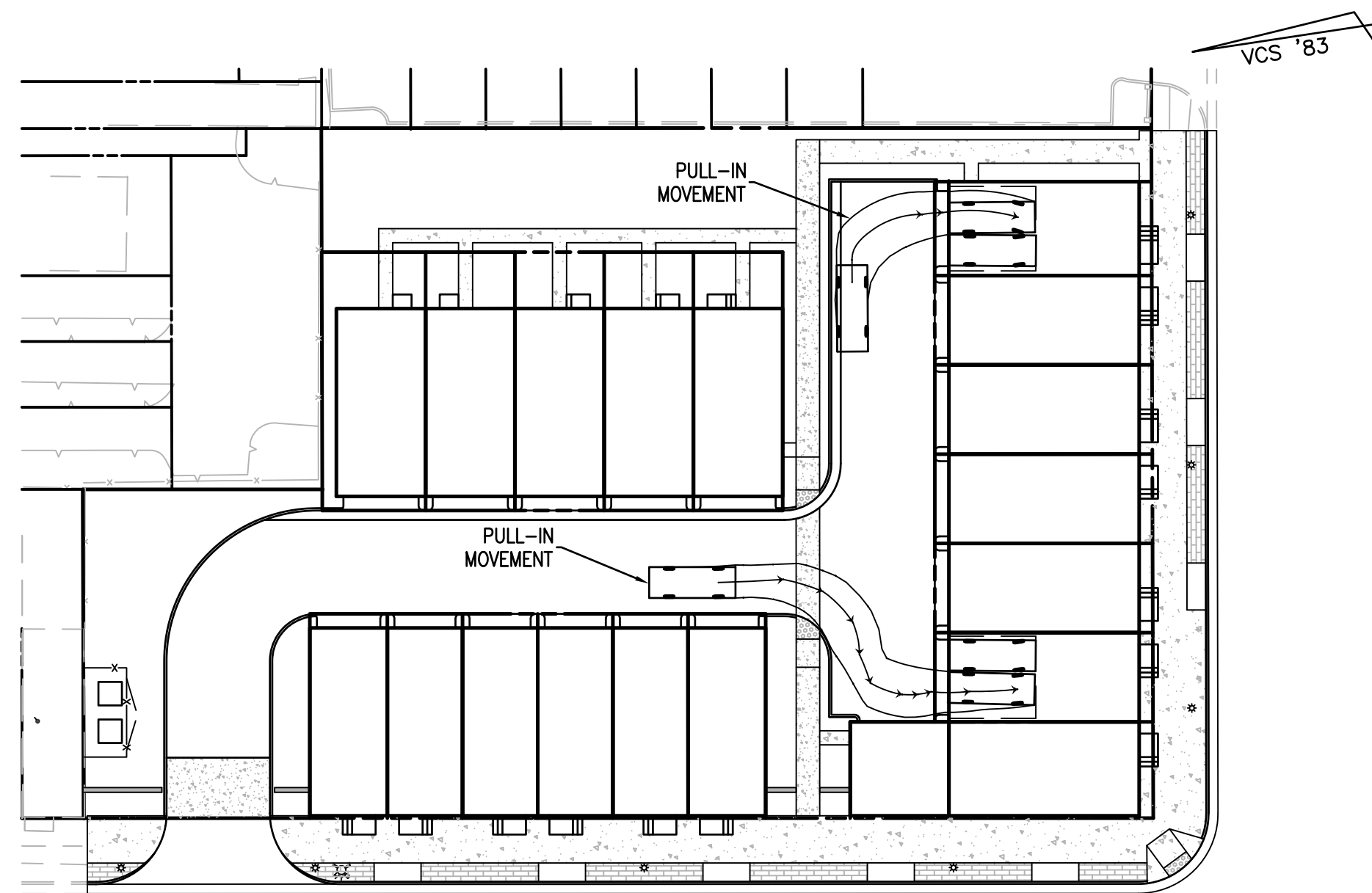
SHEET 8 of 12

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OUTFALL ANALYSIS



TRASH TRUCK TURNING MOVEMENT

0' 30' 60'

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APPROVED	
SPECIAL USE PERMIT NO. 2014-0017	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED _____	DATE _____
INSTRUMENT NO. _____	DEED BOOK NO. _____
DATE _____	

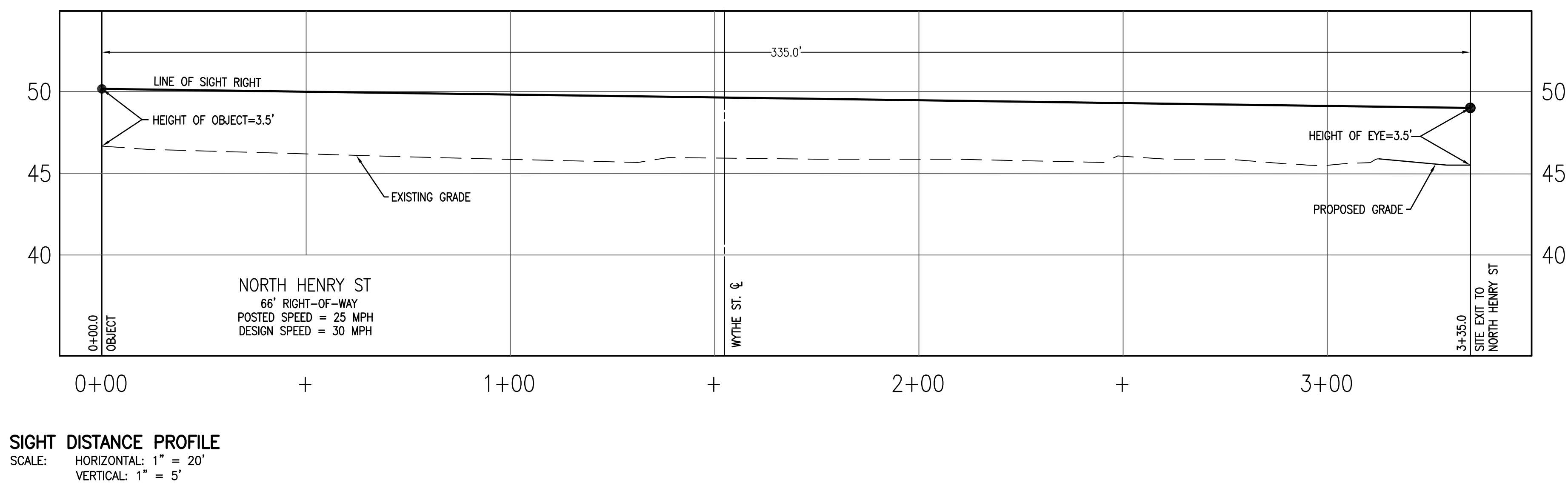
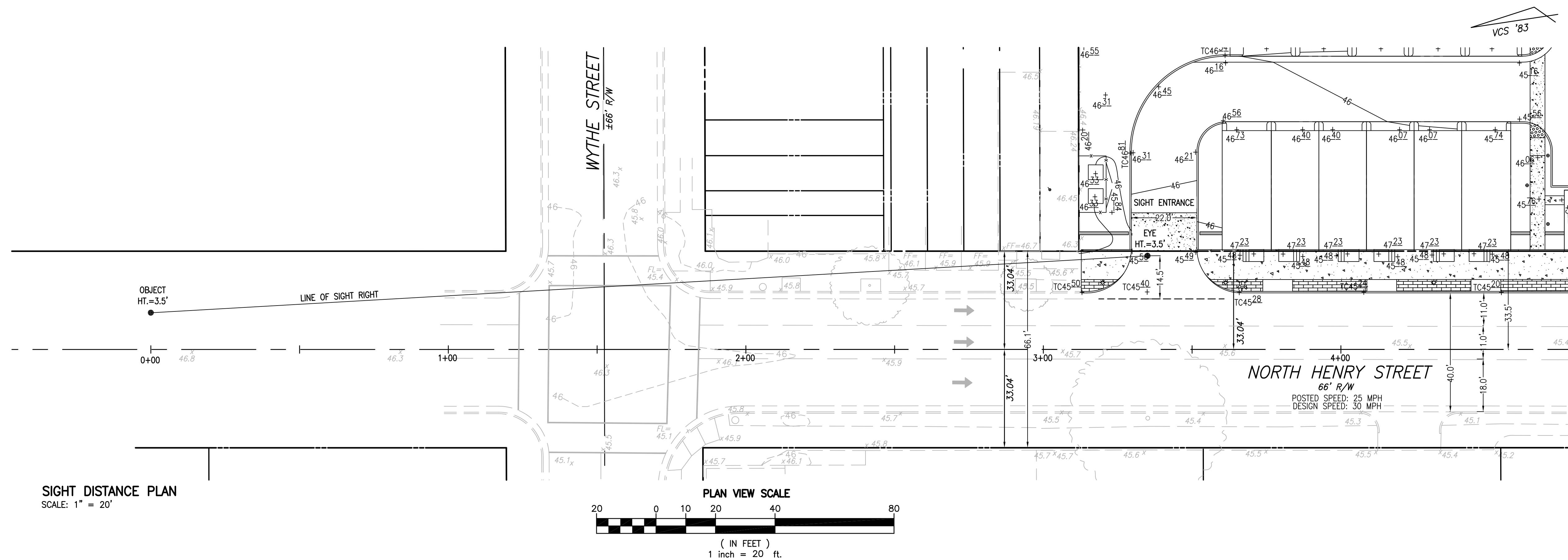
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7.21.15	PRELIM COMMENTS	
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SCALE: 1" = 30'		
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COMMONWEALTH OF VIRGINIA
Andrea Spruch
 ANDREA SPRUCH
 Lic. No. 047863
 JULY 21, 2015
 PROFESSIONAL ENGINEER

TURNING MOVEMENTS



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PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

THE PARK RESIDENCES

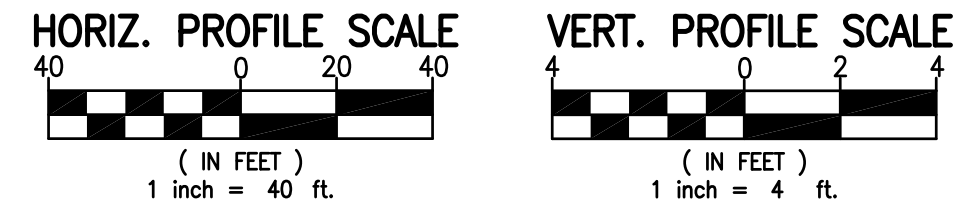
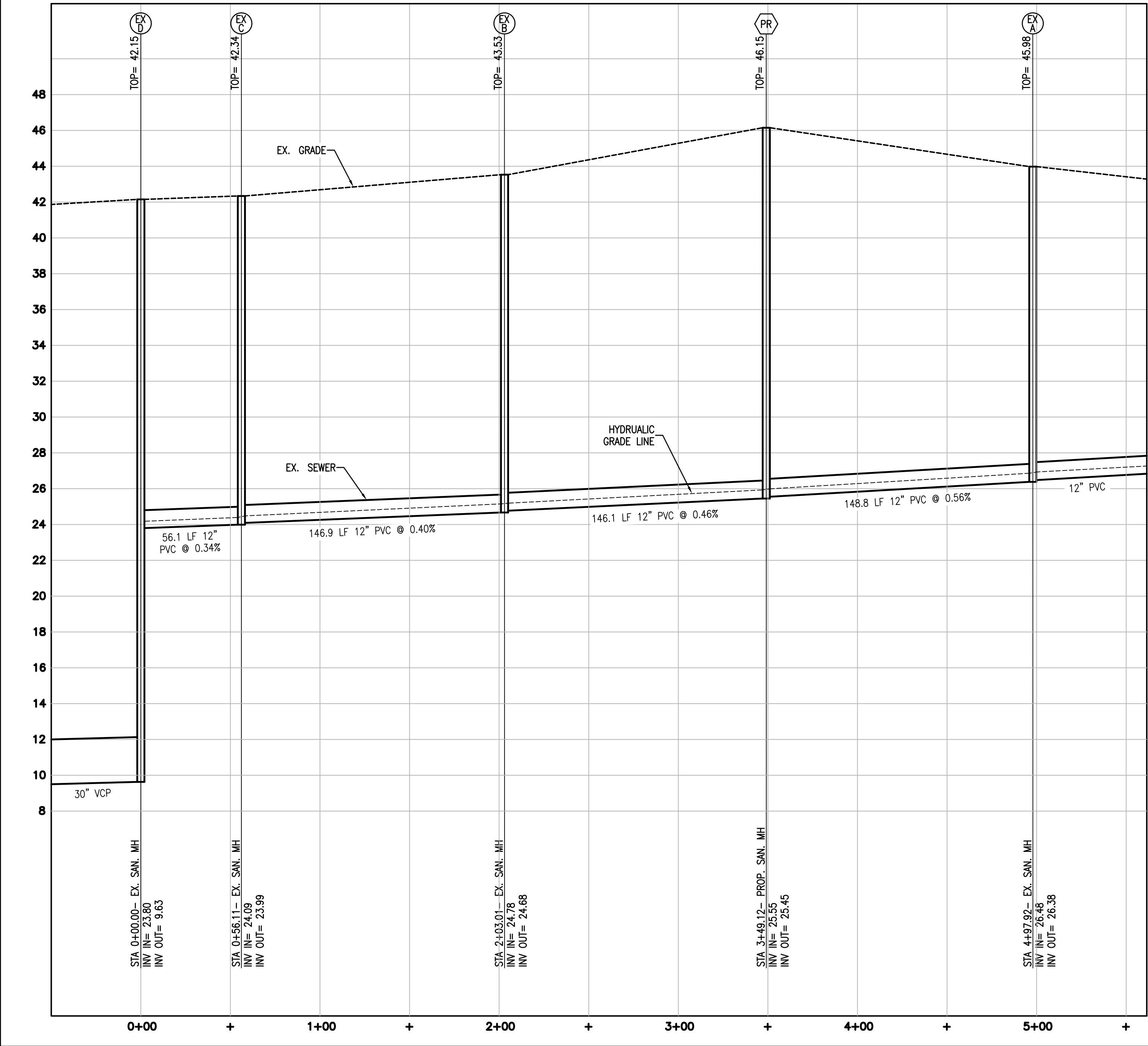
601 NORTH HENRY STREET
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION
21.15	PRELIM COMMENTS

APPROVED	
SPECIAL USE PERMIT NO. <u>2014-0017</u>	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ DATE _____

CHECKED: RJK
DESIGN: ACS
SCALE: AS NOTED
DATE: JUNE 2015
SHEET 10 OF 12
FILE: 14-24

SIGHI DISTANCE PLAN & PROFILE



SANITARY SEWER OUTFALL CALCULATIONS:

STRUCTURE		FACILITY ID		INCREMENTAL "Q" (CFS)	ACCUMULATED "Q" (CFS)	PIPE DIAMETER (IN)	SLOPE (%)	MATERIAL	"n"	MAXIMUM "Q" (CFS)	MAXIMUM VELOCITY (FPS)	LENGTH OF RUN (FT)	UPPER INVERT	LOWER INVERT	FALL (FT)	NORMAL VELOCITY (FPS)	NORMAL DEPTH	RIM ELEV (LOWER NODE)	FLOW AREA (SF)	WETTED PERIMETER (FT)	HYDRAULIC RADIUS	RIM ELEV
FROM	TO	FROM	TO																			
A	PR	007733SSMH	-	0.8567	0.857	12	0.56%	PVC	0.010	3.61	4.42	148.80	26.38	25.55	0.83	3.62	0.33	45.98	0.2300	1.2300	0.1870	45.98
PR	B	-	007734SSMH	0.0390	0.896	12	0.46%	PVC	0.010	3.27	4.00	146.11	25.45	24.78	0.67	3.39	0.35	46.15	0.2500	1.2700	0.1969	46.15
B	C	007734SSMH	007735SSMH	0.0000	0.896	12	0.40%	PVC	0.010	3.06	3.75	146.90	24.68	24.09	0.59	3.22	0.36	43.53	0.2600	1.2900	0.2016	43.53
C	D	007735SSMH	007638SSMH	0.0000	0.896	12	0.34%	PVC	0.010	2.81	3.44	56.11	23.99	23.80	0.19	3.04	0.38	42.34	0.2800	1.3300	0.2105	42.34

SURVEY NOTE: STRUCTURE INFORMATION FOR STRUCTURES A-D OBTAINED FROM FIELD SURVEY. ALL OTHER STRUCTURE INFORMATION OBTAIN FROM ALEXANDRIA GIS.

HYDRAULIC GRADE LINE COMPUTATIONS:

INLET ID	OUTLET WSE	D ₀ (in)	Q ₀	L ₀	S _{f0} %	H _f	JUNCTION LOSS											FINAL H	INLET WSE	RIM ELEV	FREE BOARD
							V ₀	H ₀	Q _i	V _i	Q*V _i	H _i	ANGLE	H _Δ	H _t	1.3 H _t	0.5 H _t				
C	24.18	12	0.896	56.11	0.3701	0.21	3.04	0.036	0.896	3.04	2.72	0.050	80	0.095	0.181	-	0.09	0.30	24.48	42.34	17.86
B	24.48	12	0.896	146.90	0.4549	0.67	3.22	0.040	0.896	3.22	2.88	0.056	0	0.000	0.097	-	0.05	0.72	25.19	43.53	18.34
PR	25.19	12	0.896	146.11	0.5077	0.74	3.39	0.045	0.896	3.39	3.04	0.062	0	0.000	0.107	-	0.05	0.80	25.99	46.15	20.16
A	25.99	12	0.857	148.80	0.5877	0.87	3.62	0.051	0.857	3.62	3.10	0.071	0	0.000	0.122	-	0.06	0.94	26.93	45.98	19.05

SANITARY SEWER FLOW CALCULATIONS:

BLD #	USE	DESIGN FLOW	UNIT	SIZE	GAL/DAY	GAL/HR	CFS	PEAK CFS (x4)	FLOWS TO
1-62	Multi-Family/ Condos	300	EA.	62	18,600	775	0.0288	0.1151	A
63-97	Single Family/ TH	350	EA.	35	12,250	510	0.0190	0.0758	A
98-149	Single Family/ TH	350	EA.	52	18,200	758	0.0282	0.1126	A
150	Office/Comm.	200	SF	4,009	802	33	0.0012	0.0050	A
151-226	Multi-Family/ Condos	300	EA.	76	22,800	950	0.0353	0.1411	A
227-251	Single Family/ TH	350	EA.	25	8,750	365	0.0135	0.0542	A
252-309	Single Family/ TH	350	EA.	58	20,300	846	0.0314	0.1256	A
310-377	Single Family/ TH	350	EA.	67	23,450	977	0.0363	0.1451	A
378-395	Single Family/ TH	350	EA.	18	6,300	263	0.0097	0.0390	A
396	Office/Comm.	200	SF	3,118	624	26	0.0010	0.0039	A
397	Office/Comm.	200	SF	3,720	744	31	0.0012	0.0046	A
398-405	Single Family/ TH	350	EA.	8	2,800	117	0.0043	0.0173	A
406	Office/Comm.	200	SF	7,440	1,488	62	0.0023	0.0092	A
407	Single Family/ TH	350	EA.	1	350	15	0.0005	0.0022	A
408	Office/Comm.	200	SF	4,756	951	40	0.0015	0.0059	A
SITE	Townhouse/SFM	350	EA.	18	6,300	263	0.0097	0.0390	PR
TOTAL					144,709	6,030	0.2239	0.8957	

SANITARY SEWER OUTFALL CALCULATIONS:

THE AVERAGE DAY AND PEAK HOUR WASTEWATER DISCHARGE FLOW CALCULATIONS WERE COMPUTED USING THE METHOD PROVIDED BY THE CITY OF ALEXANDRIA IN MEMORANDUM TO INDUSTRY NO. 06-14. THE PROPOSED USE FOR THIS PROJECT WILL BE A 18 TOWNHOUSE UNITS. THE AVERAGE DAILY FLOW IS DESCRIBED BELOW:

TOWNHOUSE: $\frac{350 \text{ GPD}}{\text{UNIT}} \times 18 \text{ UNITS} = 6,300 \text{ GPD}$ OR 0.0097 CFS

TO ACCOUNT FOR THE DAILY PEAK PERIOD, THE ABOVE FLOW IS MULTIPLIED BY A FACTOR OF 4:

6,300 GPD X 4 = 25,200 GPD

0.0097 CFS X 4 = 0.0390 CFS

TOTAL PEAK FLOW = 25,200 GPD OR 0.0390 CFS

SANITARY SEWER OUTFALL NOTE:

THIS PROJECT IS ANTICIPATED TO GENERATE AN EXCESS OF 10,000 GPD IN SANITARY WASTE OUTFLOW. A FLOW OF APPROXIMATELY 6,300 GPD IS EXPECTED FOR THIS DEVELOPMENT RESULTING IN A PEAK FLOW OF 25,200 GPD. THEREFORE, THE PROJECT IS SUBJECT TO A SANITARY SEWER OUTFALL ANALYSIS. THIS SANITARY SEWER OUTFALL ANALYSIS SHOWS ADEQUACY OF SANITARY SEWER OUTFALL IN ACCORDANCE WITH MEMO TO INDUSTRY 06-14. THE GENERAL AREA IS NOT KNOWN TO HAVE SANITARY SEWER CAPACITY PROBLEMS.

THIS PROJECT SHALL CONNECT TO THE 12" SANITARY SEWER IN WYTHE STREET. THIS SEWER IS A CITY OF ALEXANDRIA MAINTAINED SANITARY SEWER. THE SANITARY SEWER FLOWS WEST TOWARDS FAYETTE STREET. THE SEWER THEN TURNS SOUTH ALONG FAYETTE WHERE IT JOINS A 30" SANITARY TRUNK SEWER.

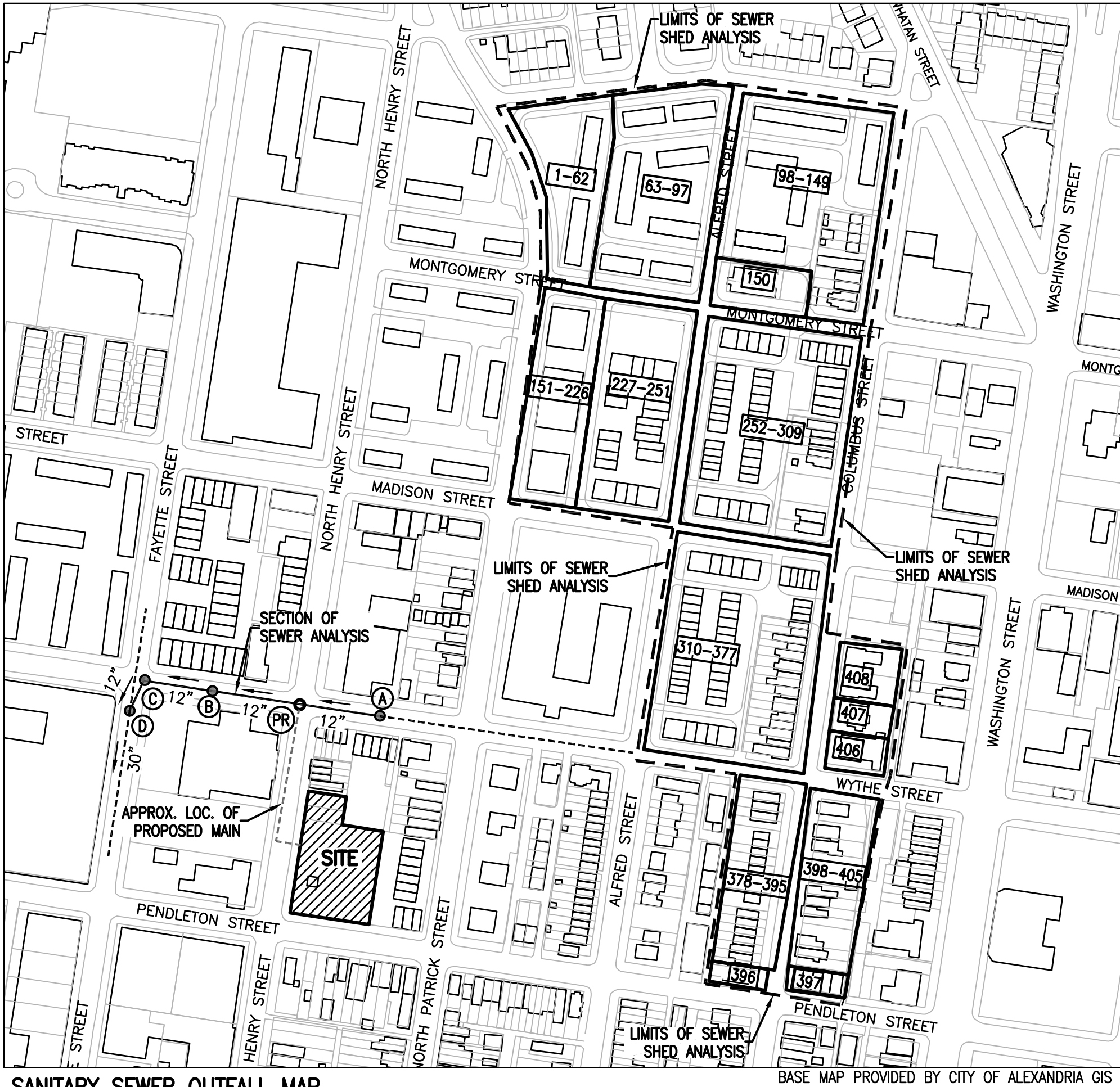
FINAL SANITARY SEWER FLOW CALCULATIONS:

EXISTING FLOW FROM SITE: 200 GPD OR 0.0003 CFS

PROPOSED FLOW FROM SITE: 6,300 GPD OR 0.0097 CFS

TOTAL PROPOSED FLOW TO OUTFALL POINT: 144,709 GPD OR 0.2239 CFS

TOTAL PEAK FLOW (x4): 578,836 GPD OR 0.8957 CFS



SANITARY SEWER OUTFALL MAP

APPROX. SCALE: 1" = 200'

0' 200' 400'

LEGEND

(A) DENOTES SANITARY SEWER MANHOLE

(B) DENOTES NUMBER OF BUILDING OR USE OUTLINED IN THE FLOW GENERATION ANALYSIS

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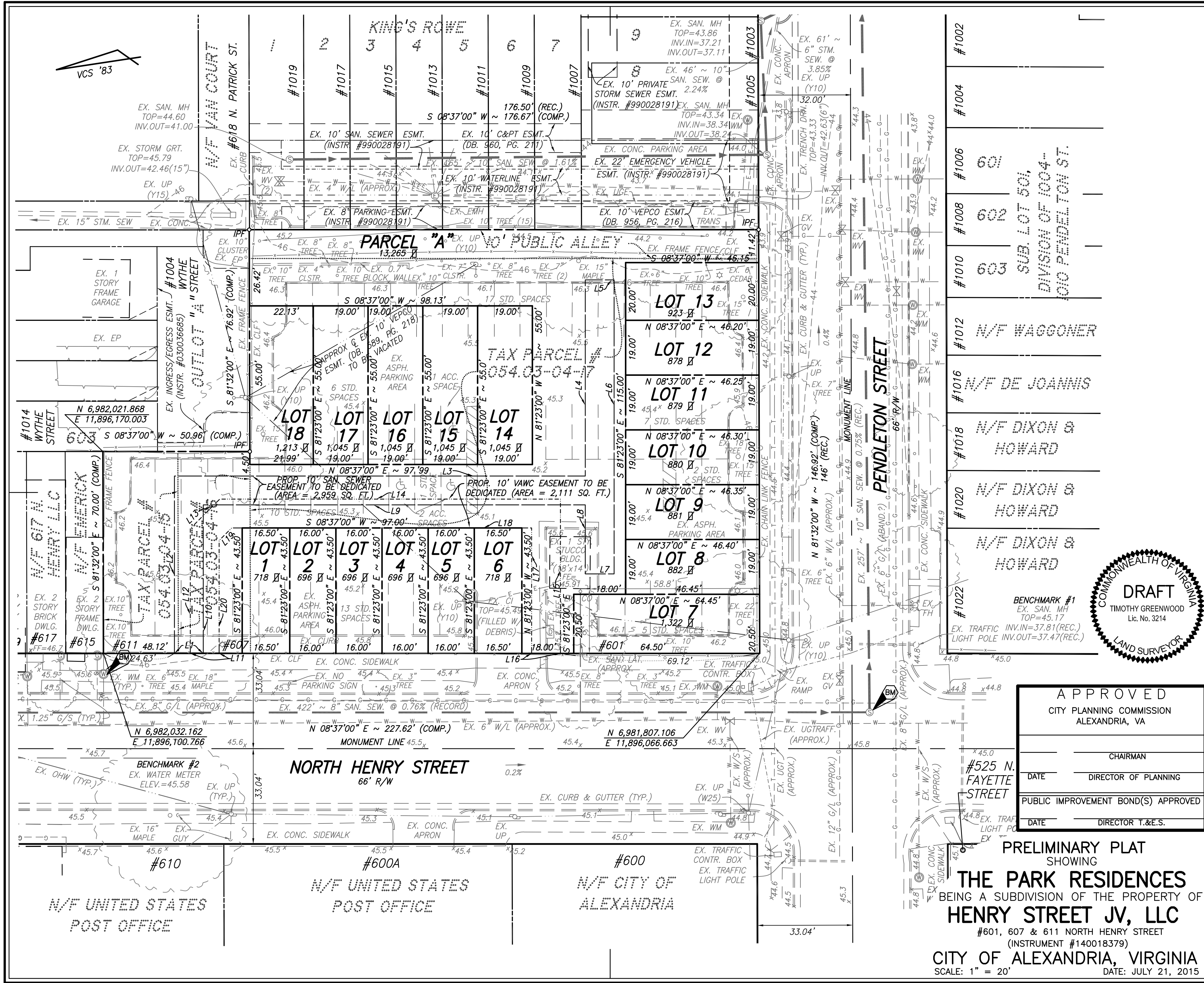
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7.21.15	PRELIM COMMENTS

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DESIGN: ACS

SCALE: 1" = 200'
DATE: JUNE 2015

SHEET 11 OF 12
FILE: 14-24

SANITARY SEWER OUTFALL ANALYSIS



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FILE NO. 14-24
SHEET 2 OF 2

COMP.	T.G.
DRAWN	T.G.
CHECKED	W.D.S.



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CITY PLANNING COMMISSION ALEXANDRIA, VA	
CHAIRMAN	
DATE	DIRECTOR OF PLANNING
PUBLIC IMPROVEMENT BOND(S) APPROVED	
DATE	DIRECTOR T.&E.S.

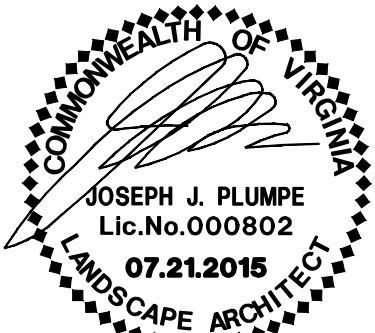
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SHOWING
THE PARK RESIDENCES
BEING A SUBDIVISION OF THE PROPERTY OF
HENRY STREET JV, LLC
#601, 607 & 611 NORTH HENRY STREET
(INSTRUMENT #140018379)
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 20' DATE: JULY 21, 2015



Landscape Architecture, P.C.
6416 Granddale Drive, Suite 100-A
Alexandria, Virginia 22310
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Email: frontdesk@studio39.com

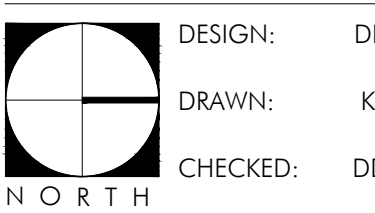
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NORTHFIELD CONSTRUCTION & DEVELOPMENT

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REVISIONS:

OVERALL PLAN



SCALE: 1" = 10'-0"

PROJECT NO: 14105

DATE: 07.21.2015

L1.00

DSUP

DESIGN: DD
DRAWN: KZ
CHECKED: DD

APPROVED
SPECIAL USE PERMIT NO. 2014-0017

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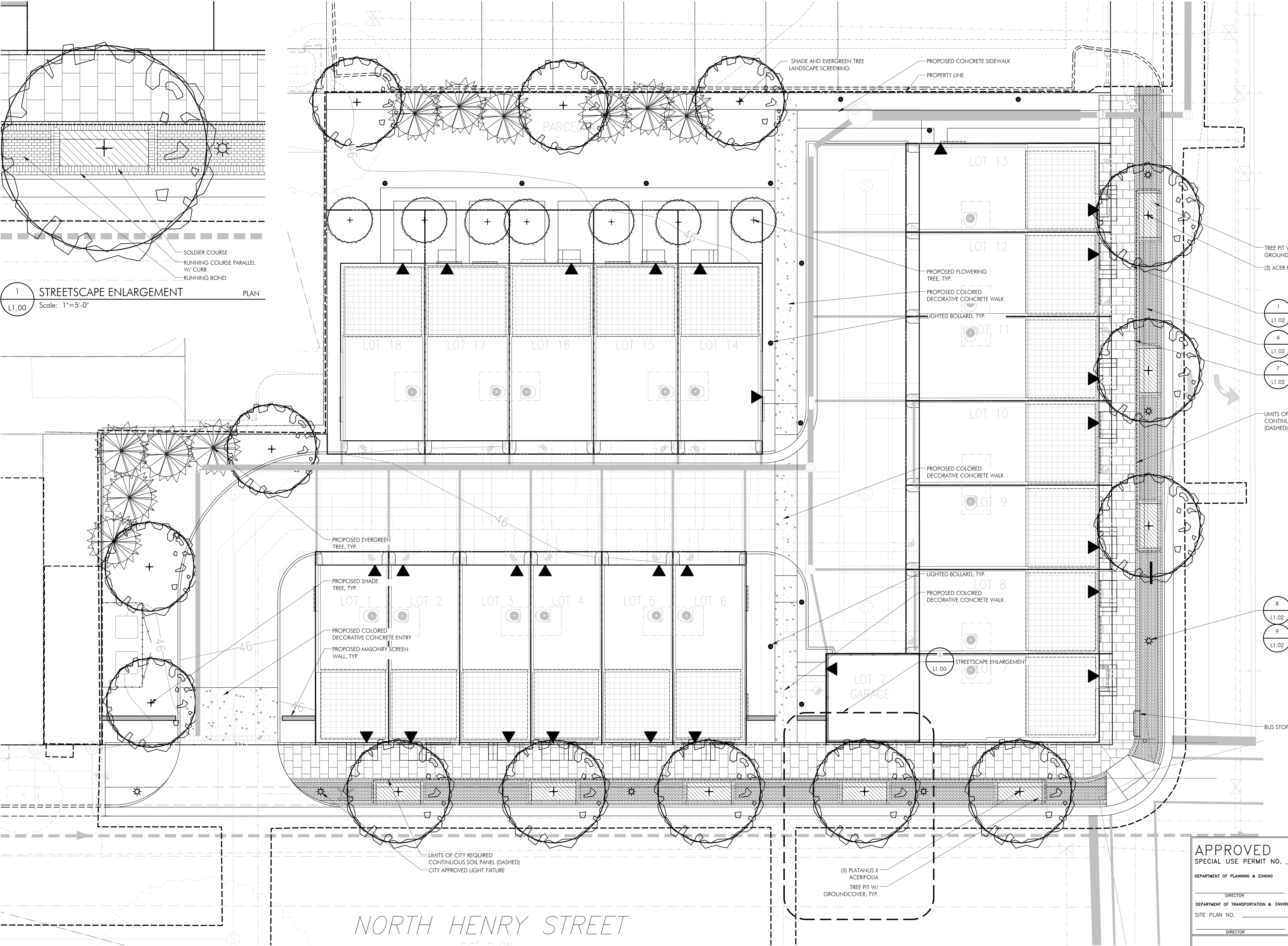
SITE PLAN NO.

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. DATE



1 STREETScape ENLARGEMENT
Scale: 1"=5'-0" PLAN

- 1 CONCRETE SIDEWALK
2'-0" x 3'-0" RUNNING
BOND SCORE PATTERN
- 6 BRICK PAVING, TYP.
- 7 BRICK TO CONCRETE
CONNECTION

- 8 LIGHT FIXTURE
- 9 LIGHT POLE

BUS STOP

(5) PLATANUS X
ACERIFOLIA
TREE PIT W/
GROUND COVER, TYP.

PROPOSED EVERGREEN
TREE, TYP.

PROPOSED SHADE
TREE, TYP.

PROPOSED COLORED
DECORATIVE CONCRETE ENTRY

PROPOSED MASONRY SCREEN
WALL, TYP.

PROPOSED CONCRETE SIDEWALK

SHADE AND EVERGREEN TREE
LANDSCAPE SCREENING

PROPERTY LINE

PROPOSED FLOWERING
TREE, TYP.

PROPOSED COLORED
DECORATIVE CONCRETE WALK

LIGHTED BOLLARD, TYP.

PROPOSED COLORED
DECORATIVE CONCRETE WALK

LIGHTED BOLLARD, TYP.

PROPOSED COLORED
DECORATIVE CONCRETE WALK

TREE PIT W/
GROUND COVER, TYP.

(3) ACER RUBRUM

LIMITS OF CITY REQUIRED
CONTINUOUS SOIL PANEL (DASHED)
CITY APPROVED LIGHT FIXTURE

p:\2014\14105 park residences\6.0 cad files\DSUP\L1.01 TREE CANOPY.dwg

PLANT SCHEDULE

STREET TREES

QTY	KEY	GENUS	SPECIES	VARIETY	COMMON NAME	HEIGHT	CALIPER	REMARKS	CANOPY	
									EACH (SF)	SUBTOTAL (SF)
3	ARO	Acer	rubrum	October Glory	October Glory Red Maple	14 - 16'	3 - 3 1/2"	B4B, full uniform crown, symmetrical branching, full specimen	NA	NA
5	PLA	Platanus	x acerifolia		London Plane Tree	14 - 16'	3 - 3 1/2"	B4B, full uniform crown, symmetrical branching, full specimen	NA	NA
TOTAL									NA	NA

SHADE TREES

QTY	KEY	GENUS	SPECIES	VARIETY	COMMON NAME	HEIGHT	CALIPER	REMARKS	CANOPY	
									EACH (SF)	SUBTOTAL (SF)
6	ULA	Ulmus	americana	Princeton	American Elm	8-10'	1 1/2" MIN.	B4B, multi-trunk, 3 canes min, full symmetrical branching	1250 SF	7500 SF
TOTAL									7500 SF	

ORNAMENTAL/EVERGREEN TREES

QTY	KEY	GENUS	SPECIES	VARIETY	COMMON NAME	HEIGHT	CALIPER	REMARKS	CANOPY	
									EACH (SF)	SUBTOTAL (SF)
7	CEF	Cercis	canadensis	Forest Pansy ¹	Forest Pansy Eastern Redbud	8 - 10'	1 1/2" min.	B4B, multi-trunk, 3 trunk minimum, full symmetrical branching	500 SF	3500 SF
11	ION	Ilex	x	Nellie R. Stevens ¹	Nellie R. Stevens Holly	6 - 8'	3 1/2 - 5'	B4B, full to ground with good seasonal flush	250 SF	2750 SF
TOTAL									6250 SF	

TOTAL	13,750 SF
-------	-----------

TREES TO BE REMOVED

*NOTE: SEE SHEET 3 FOR EXISTING TREE LOCATIONS

1. 18" ZELKOVA
2. 15" ZELKOVA
3. 10" TREE OF HEAVEN
6. 10" RED CEDAR
7. 10" RED CEDAR
8. 10" RED CEDAR
9. 10" RED CEDAR
10. 10" RED CEDAR
11. 10" RED CEDAR
12. 10" RED CEDAR
13. 10" RED CEDAR
14. 10" RED CEDAR
15. 10" RED CEDAR
16. 10" RED CEDAR
17. 10" RED CEDAR
18. 10" RED CEDAR
19. 10" RED CEDAR
20. 10" RED CEDAR
21. 10" BRADFORD PEAR
22. 10" ELM
23. 4" ELM
24. 8" ELM
25. 10" ZELKOVA
26. 8" ELM
27. 10" ZELKOVA
28. 7" ELM
29. 8" ELM
30. 7" ELM
31. 7" ZELKOVA
32. 15" ELM
33. 10" MAPLE
34. 10" MAPLE
35. 6" CEDAR
36. 15" ZELKOVA
37. 7" CHERRY
38. 18" MULBERRY
39. 15" ZELKOVA
40. 6" CHERRY
41. 22" ZELKOVA
42. 10" BRADFORD PEAR
43. 3" CHERRY
44. 7" CRAFT MYRTLE
45. 8" CHERRY
46. 8" CHERRY
47. 3" CHERRY

TREES TO BE REMAIN

4. 8" TREE OF HEAVEN
5. 10" TREE OF HEAVEN

GROSS SITE AREA-	29,523 SF (0.67 ACRES)
25% CROWN COVERAGE REQUIRED-	7,380 SF
TREE CANOPY PROVIDED-	13,750 SF
SHRUB CANOPY PROVIDED-	NA
TOTAL CANOPY PROVIDED-	13,750 SF
PERCENTAGE OF TREE CANOPY PROVIDED-	46.5%
STREET TREE CANOPY (NOT INCLUDED)	10,000 SF

APPROVED

SPECIAL USE PERMIT NO. 2014-0017

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO.

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. DATE

NORTH

DESIGN: DD

DRAWN: KZ

CHECKED: DD

SCALE: Viewport Scale

0 0 0 0

PROJECT NO: 14105

DATE: 07.21.2015

L1.01

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CITY OF ALEXANDRIA, VA

NORTHFIELD CONSTRUCTION & DEVELOPMENT

COMMONWEALTH OF VIRGINIA

JOSEPH J. PLUMPE

Lic.No.000802

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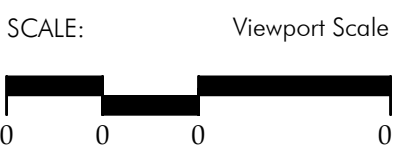
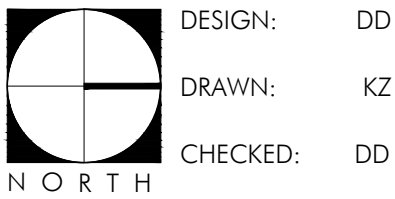
LANDSCAPE ARCHITECT

REVISIONS:

TREE CANOPY

Landscape Architecture, P.C.

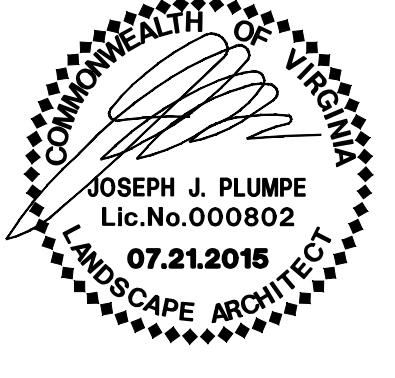
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Email: frontdesk@studio39.com



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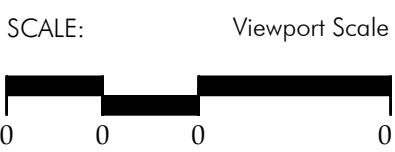
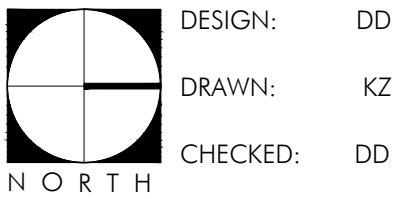
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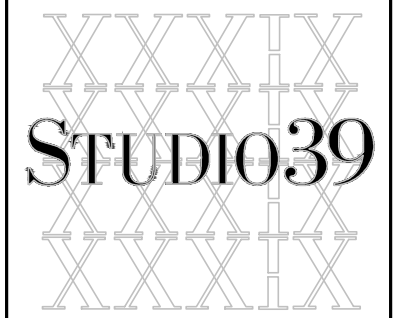


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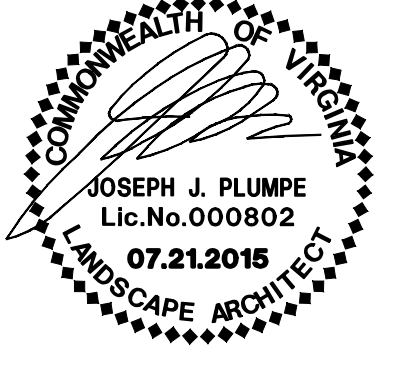
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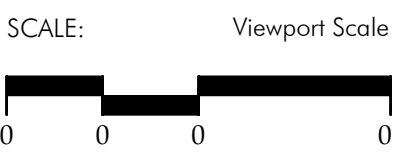
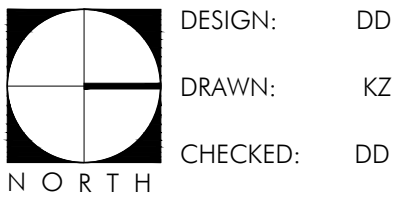


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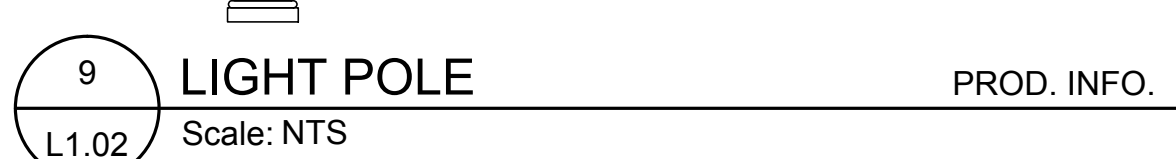
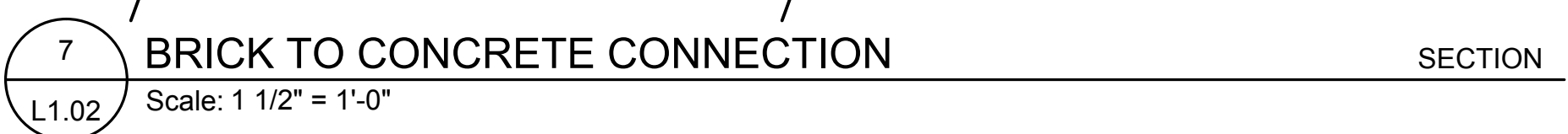
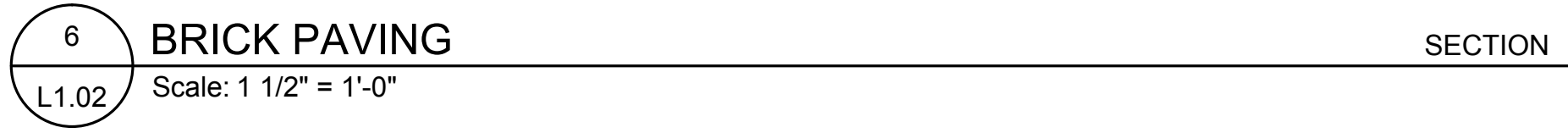
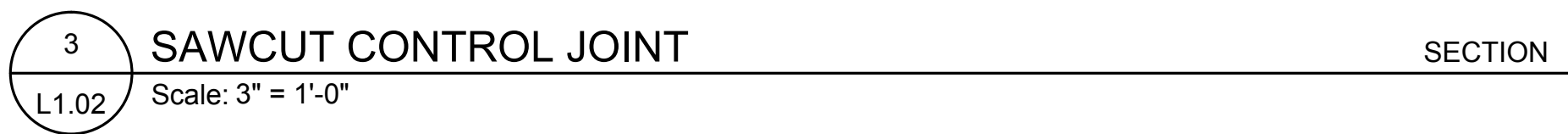
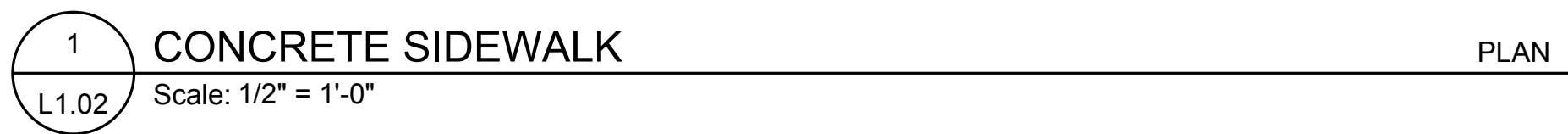
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NORTHFIELD CONSTRUCTION & DEVELOPMENT



MODEL:	XF45-D3M
DESCRIPTION:	14' MOUNTING HEIGHT, FIBERGLASS ANCHOR BASE
COLOR:	BLACK
QUANTITY:	PER PLAN
COMPANY:	W.J. WHATLEY, INC 3550 ODESSA WAY STE A AURORA, CO 80011 (P) 301.621.1650
CONTACT:	DON HOFFMAN
NOTES:	1) INSTALL PER MANUF. INSTRUCTIONS 2) SEE PLAN FOR LOCATIONS AND QUANTITY 3) OR APPROVED EQUAL

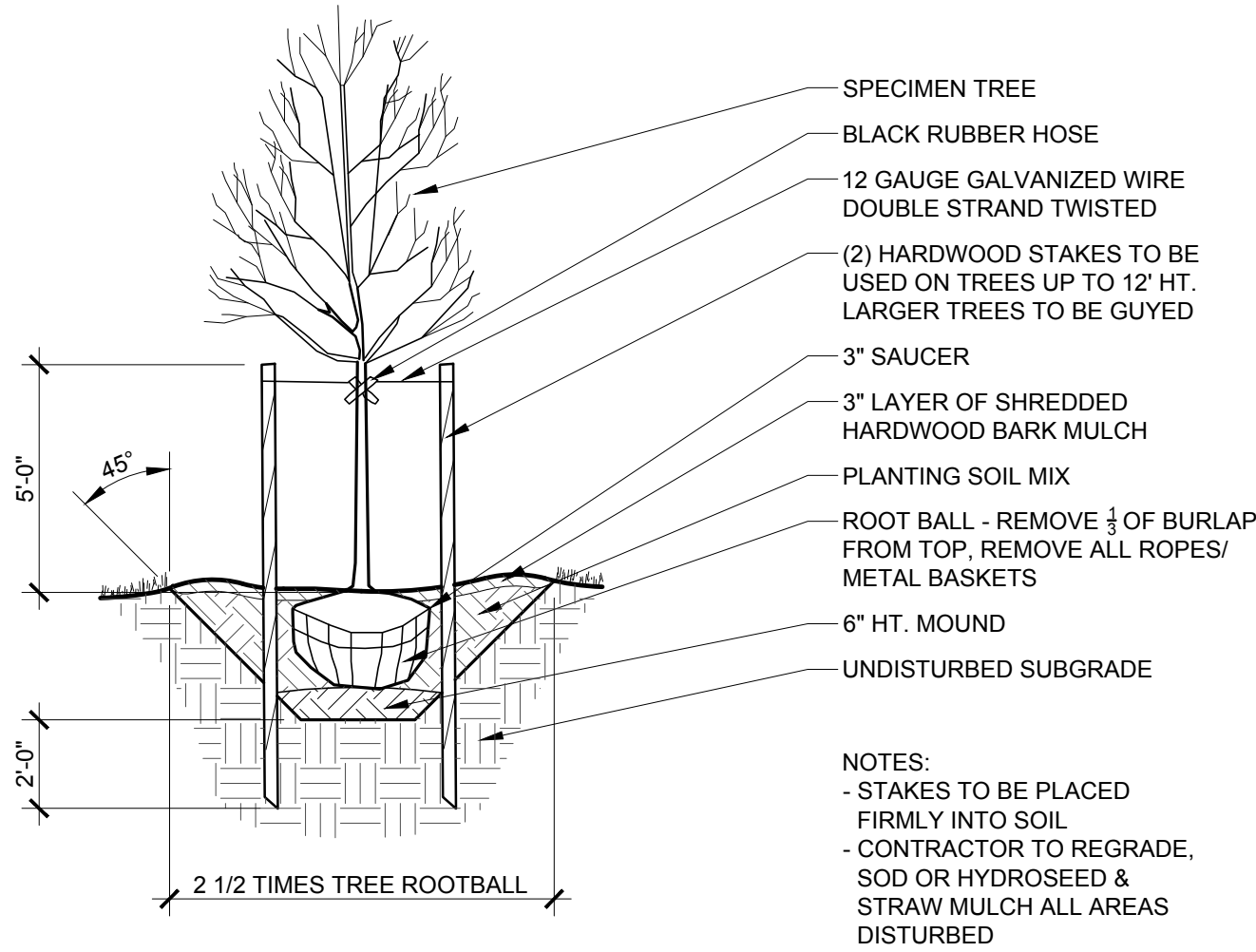
APPROVED	
SPECIAL USE PERMIT NO.	2014-0017
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED	DATE
INSTRUMENT NO.	DEED BOOK NO.
	DATE

PLANTING NOTES:

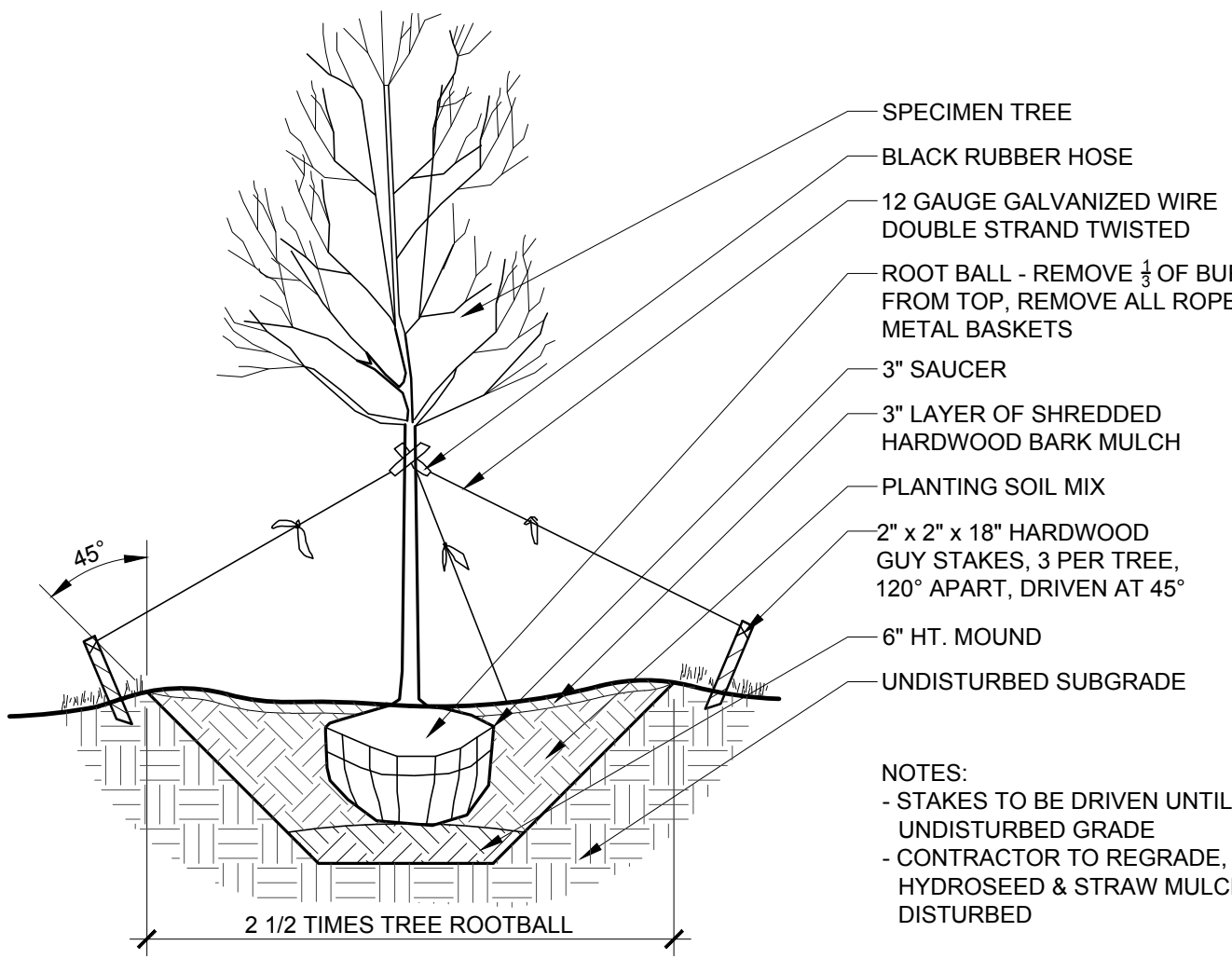
1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNERS' REPRESENTATIVE PRIOR TO INSTALLATION.
3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS, WELL-DEVELOPED DENSELY FOLIATED BRANCHES, AND VIGOROUS ROOT SYSTEMS; AND BE FREE FROM DEFECTS AND INJURIES.
4. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO GROWTH OF PLANT MATERIAL.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES, SHRUBS, GROUNDCOVER AND PERENNIALS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
6. PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY IF/WHEN PRACTICAL. IN THE EVENT THAT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE-DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD SHALL BE REJECTED, UNLESS OWNER AND CONTRACTOR PROVIDE OTHERWISE BY WRITTEN AGREEMENT.
7. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF ROOT BALL SHALL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF ANSI Z60 "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
8. ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK-FILLING PROCESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
9. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FORM THE BOTTOM OF THE BALL ONLY.
10. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOP SOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH "WILT-PRUF" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
11. NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
12. SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT A NORMAL OR NATURAL RELATIONSHIP TO THE GROUND IF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE THE PLANT IN THE CENTER OF THE PIT.
13. ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (2" CALIPER AND GREATER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES SHALL NOT BE CUT BACK. LONG SIDES BRANCHES SHALL BE SHORTENED.
14. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE THE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
15. TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. ALL TREES 6" AND GREATER IN CALIPER SHALL BE GUYED. SMALLER TREES SHALL BE STAKED. GUYING WIRES AND STAKES SHALL BE INSTALLED AS INDICATED. THE LANDSCAPE CONTRACTOR SHALL REMOVE STAKING, GUYING AND TREE WRAP AT THE END OF ONE YEAR MAINTENANCE AND GUARANTEE PERIOD.
16. ALL PLANTING BEDS SHALL BE MULCHED WITH 3" LAYER OF MULCH.
17. NEW PLANTING AREAS AND SOD SHALL BE ADEQUATELY WATERED TO ESTABLISH THE PROPOSED PLANTS AND LAWN.
18. ALL PLANTS SHOWN ON THE APPROVED LANDSCAPE PLAN SHALL BE INSTALLED, INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE. THE LANDSCAPE ARCHITECT SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD. TREES, SHRUBS, VINES AND GROUNDCOVER AS REQUIRED BY OR ASSOCIATED WITH A SUBDIVISION OR SITE PLAN APPROVED BY THE PLANNING AUTHORITIES SHALL BE INSTALLED DURING THE FOLLOWING PLANTING SEASONS: LAWNS: 03/15 TO 06/15 AND 09/15 TO 12/01. THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH PLANTING THESE TREES IN THIS SEASON: ACER RUBRUM POPULUS SPP.; BETULA SPP. PRUNUS SPP.; CARPINUS SPP.; PYRUS SPP.; CRATECUS SPP. QUERCUS SPP.; KOELREUTERIA PANICULATA SALIX SPP.; LIQUIDAMBAR STYRACIFLUA TILIA TOMENTOSA; LIRIODENDRON TULIPIFERA ZELKOVA; PLATANUS ACERIFOLIA. ANY PLANTING IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL REQUIRE THE REMOVAL OF THE PLANTING IN QUESTION. THIS REQUIREMENT DOES NOT APPLY TO SEEDING OR SODDING OR PLANTINGS SPECIFICALLY FOR SOIL STABILIZATION PURPOSES. PLANTINGS ASSOCIATED WITH ANY LOT GIVEN A CERTIFICATE OF OCCUPANCY OUTSIDE THESE PERIODS SHALL BE PROVIDED DURING THE PREVIOUS OR NEXT APPROPRIATE SEASON.
19. ALL DISTURBED AREAS SHALL BE TREATED WITH 4" TOP SOIL SODDED OR SEEDED AS NOTED IN ACCORDANCE WITH PERMANENT STABILIZATION METHODS INDICATED ON SOIL EROSION AND SEDIMENT CONTROL SHEET.
20. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL PLANT MAINTENANCE; INCLUDING SHRUBS AND GROUNDCOVER, AND SHALL MAINTAIN AREA IN A WEED AND DEBRIS FREE CONDITION THROUGHOUT THE ONE-YEAR GUARANTEE PERIOD, UNLESS OTHERWISE SPECIFIED.
21. CONTRACTOR SHALL LAYOUT AND CLEARLY STAKE ALL PROPOSED IMPROVEMENTS INCLUDED ON THIS PLAN.
22. CONTRACTOR TO VERIFY PLANT LIST TOTALS WITH QUANTITIES SHOWN ON PLAN. LANDSCAPE ARCHITECT SHALL BE ALERTED BY CONTRACTOR OF ANY DISCREPANCIES PRIOR TO FINAL BID NEGOTIATION. UNIT PRICES FOR ALL MATERIAL SHALL BE SUPPLIED TO THE OWNER AT BIDDING TIME.
23. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. OWNER SHALL RECEIVE TAG FROM EACH PLANT SPECIES AND A LIST OF PLANT SUPPLIERS. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL MEET THE NORMAL REQUIREMENTS FOR THE VARIETY PER THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN). PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
24. SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE JUDGED. FAILURE TO MEET MINIMUM SIZE ON ANY PLANT WILL RESULT IN REJECTION OF THAT PLANT.
25. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED, FREE OF DISEASE, INSECT EGGS, AND LARVAE, AND SHALL HAVE ADEQUATE ROOT SYSTEMS.
26. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
27. GROUPS OF SHRUBS SHALL BE PLACED IN A CONTINUOUS MULCH BED WITH SMOOTH CONTINUOUS LINES. ALL MULCHED BED EDGES SHALL BE CURVILINEAR IN SHAPE FOLLOWING THE CONTOUR OF THE PLANT MASS. TREES LOCATED WITHIN FOUR FEET OF SHRUB BEDS SHALL SHARE SAME MULCH BED.
28. TREES SHALL BE LOCATED A MINIMUM OF 3' - 4' FROM WALLS AND WALKS WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN ACTUAL SIZE OF AREA AND PLANS, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE OWNER OR LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS.
29. TREE STAKING AND GUYING SHALL BE DONE PER DETAILS. CONTRACTOR SHALL ENSURE THAT TREES REMAIN VERTICAL AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.
30. CROWN OF ROOT BALL SHALL BE HIGHER (AFTER SETTLING) THAN ADJACENT SOIL.
31. TAGS AND TWINE ARE TO BE REMOVED AND BURLAP IS TO BE ROLLED BACK ONE-THIRD ON ALL B&B PLANT MATERIAL. REMOVE BURLAP IF IT IS NON-BIODEGRADABLE. FOR STREET TREES TAGS, TWINE, CORD, BURLAP AND WIRE BASKET TO BE CUT 12" DOWN SIDE OF ROOT BALL AND REMOVED FROM PROJECT SITE.
32. SHRUBS AND GROUND COVERS SHALL BE TRIANGULARLY SPACED AT PLACING SHOWN ON PLANTING PLANS.
33. SHADE TREES: HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT BALL TO THE TOP OF MATURE GROWTH. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION. SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE HEIGHT OF THE TOP OF THE PLANT. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH.
34. ALL SUBSTITUTIONS OF PLANT MATERIAL ARE TO BE REQUESTED IN WRITING TO THE LANDSCAPE ARCHITECT AND APPROVED BY THE OWNER. IF CONTRACTOR FAILS TO SUBMIT A WRITTEN REQUEST, IT WILL RESULT IN LIABILITY TO THE CONTRACTOR.
35. ALL CONTRACTORS SHALL BE REQUIRED TO COMPLETELY REMOVE ALL TRASH, DEBRIS AND EXCESS MATERIALS FROM THE WORK AREA AND THE PROPERTY, ESPECIALLY AT ALL CURB, GUTTERS AND SIDEWALKS DAILY DURING INSTALLATION.
36. DEAD PLANTS ARE TO BE REMOVED FROM THE JOB BY THE CONTRACTOR WEEKLY. CONTRACTOR SHALL MAINTAIN AN UPDATED, COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED FROM THE JOB SITE. A COPY OF THE LIST IS TO BE SUBMITTED TO THE OWNER AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.
37. TOPSOIL REQUIRED FOR SOIL MIXES AND SPECIAL SEEDING AREAS SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR. CONTRACTOR MUST LOAD, HAUL, MIX, AND SPREAD ALL TOPSOIL AND OTHER SOIL ADDITIVES ARE REQUIRED.
38. CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE IMPROVEMENTS, INCLUDING SEEDING, FOR ONE FULL YEAR AS REQUIRED BY THE SPECIFICATIONS. CONTRACTOR MUST CONTACT THE OWNER AT LEAST TEN WORKING DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTION(S). CONTRACTOR MUST REPLACE ALL DEAD OR UNACCEPTABLE PLANTS DURING THE FOLLOWING RECOMMENDED PLANTING SEASON.
39. THE SPECIFICATIONS FOR ALL WORK INCLUDED IN THIS CONTRACT SHALL BE LANDSCAPE SPECIFICATIONS GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREA, CURRENT EDITION, UNLESS OTHERWISE NOTED ON THESE PLANS.

PLANTING MIX NOTES:

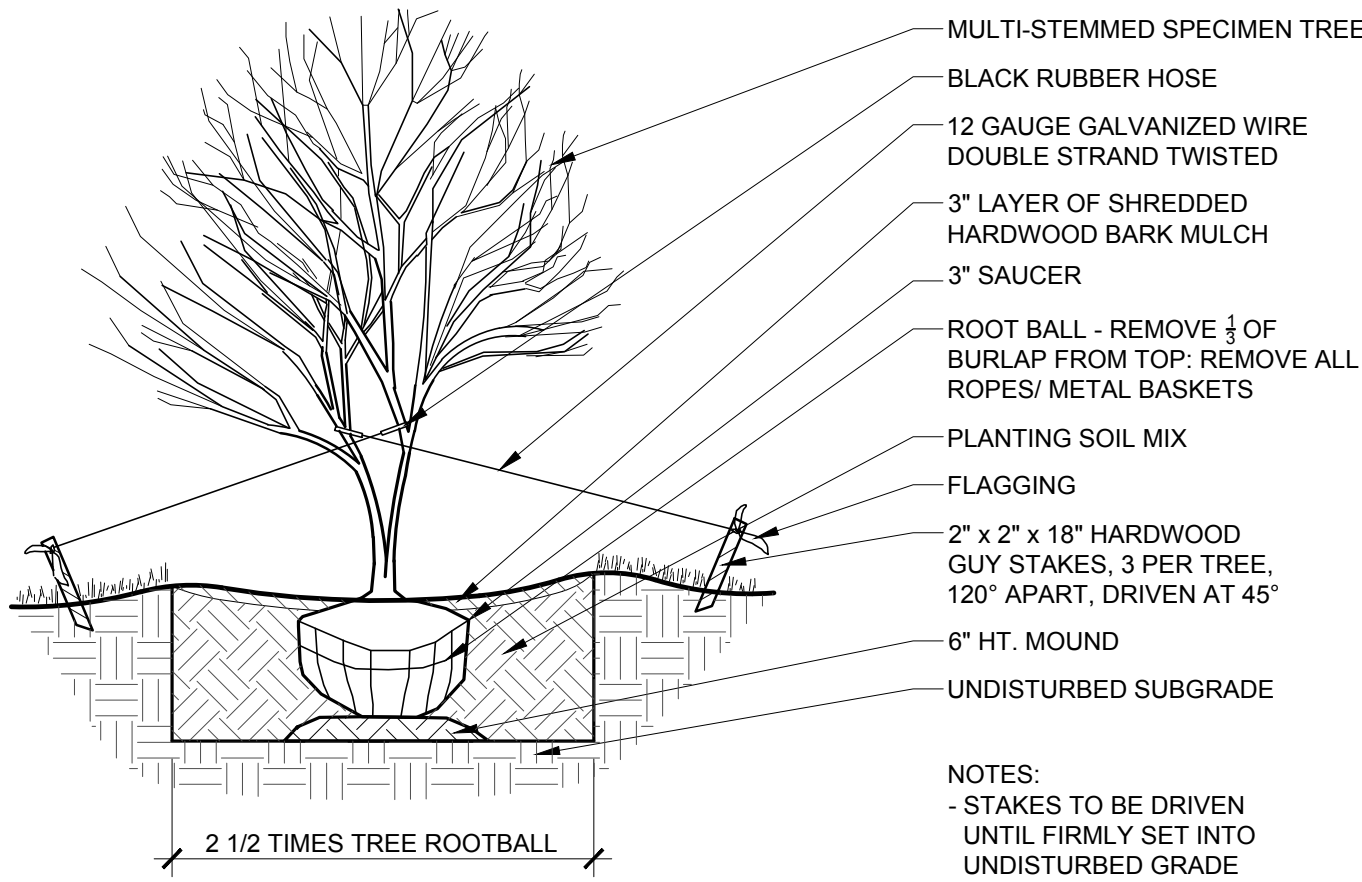
1. THE RECOMMENDED PLANTING MEDIUM SHOULD CONTAIN GOOD TOP SOIL THAT WILL SUSTAIN PLANT GROWTH.
2. THE TOP SOIL SHALL NOT BE LACKING IN POTASSIUM, PHOSPHORUS, MAGNESIUM OR CALCIUM. THE TOP SOIL SHALL NOT CONTAIN ANY MATERIALS TOXIC TO PLANT GROWTH.
3. THE TOP SOIL SHALL BE A SANDY CLAY LOAM OR A SILTY CLAY LOAM WITH WELL AGGREGATED CLAYS AND A MINIMUM OF 4% (FOUR PERCENT) ORGANIC MATTER.
4. THE SOILS PH RANGE SHOULD BE WITHIN 5.5 TO 7.0 AND ADJUSTED AS NECESSARY FOR INDIVIDUAL PLANT SPECIES REQUIREMENTS.
5. A SOIL TEST SHALL BE PERFORMED BY A FULL-SERVICE TESTING COMPANY AND THE RESULTS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANTING MEDIUM.
6. IF A LOCAL, REPUTABLE TESTING COMPANY CANNOT BE EMPLOYED, A&L LABS IS AVAILABLE TO CONDUCT THE TESTING. CONTACT THEM AT:
A&L ANALYTICAL LABORATORIES, INC.
2790 WHITTEN ROAD
MEMPHIS, TN 38133
1-800-264-4522
7. THE LAB SHALL PERFORM AN S1A TEST AND SUBMIT THE RESULTS TO STUDIO 39 LANDSCAPE ARCHITECTURE, P.C.



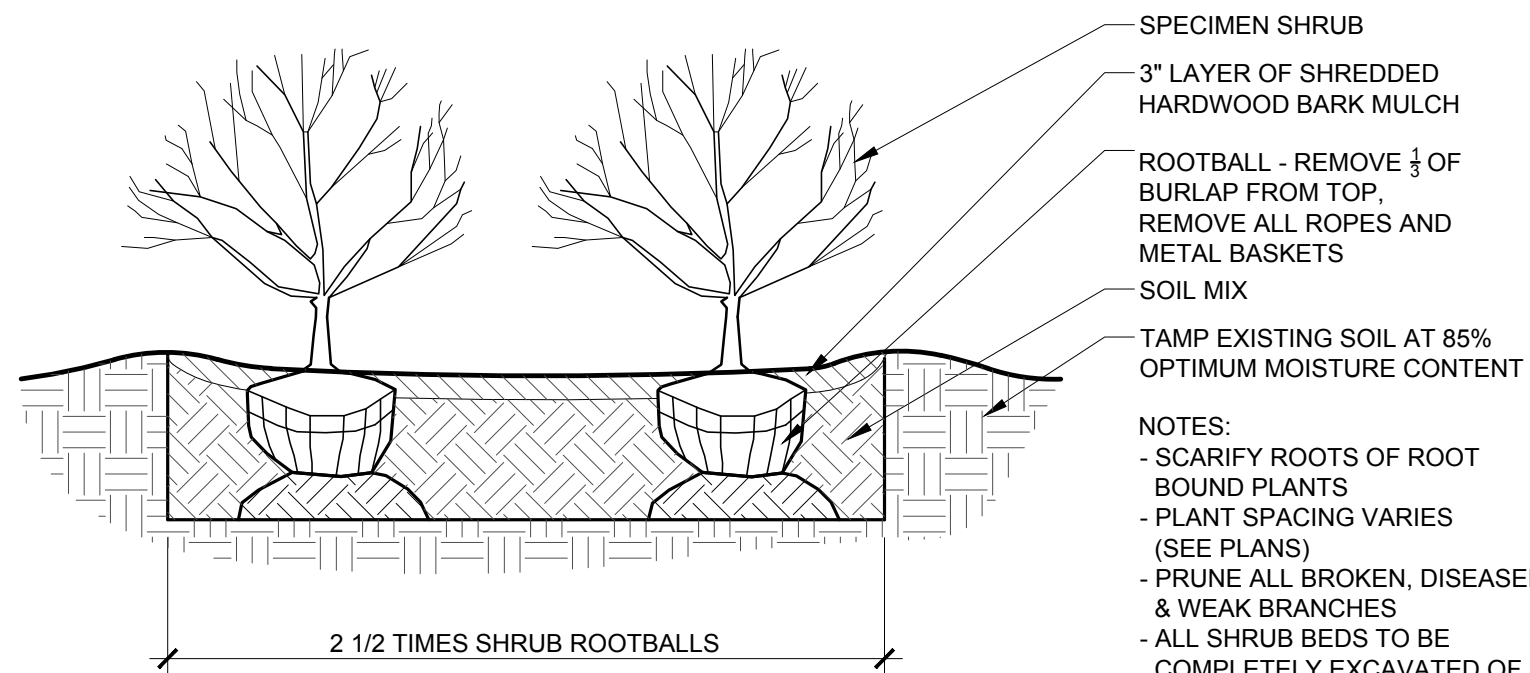
1 TREE PLANTING
Scale: 1/4" = 1'-0"
PLAN LD-002



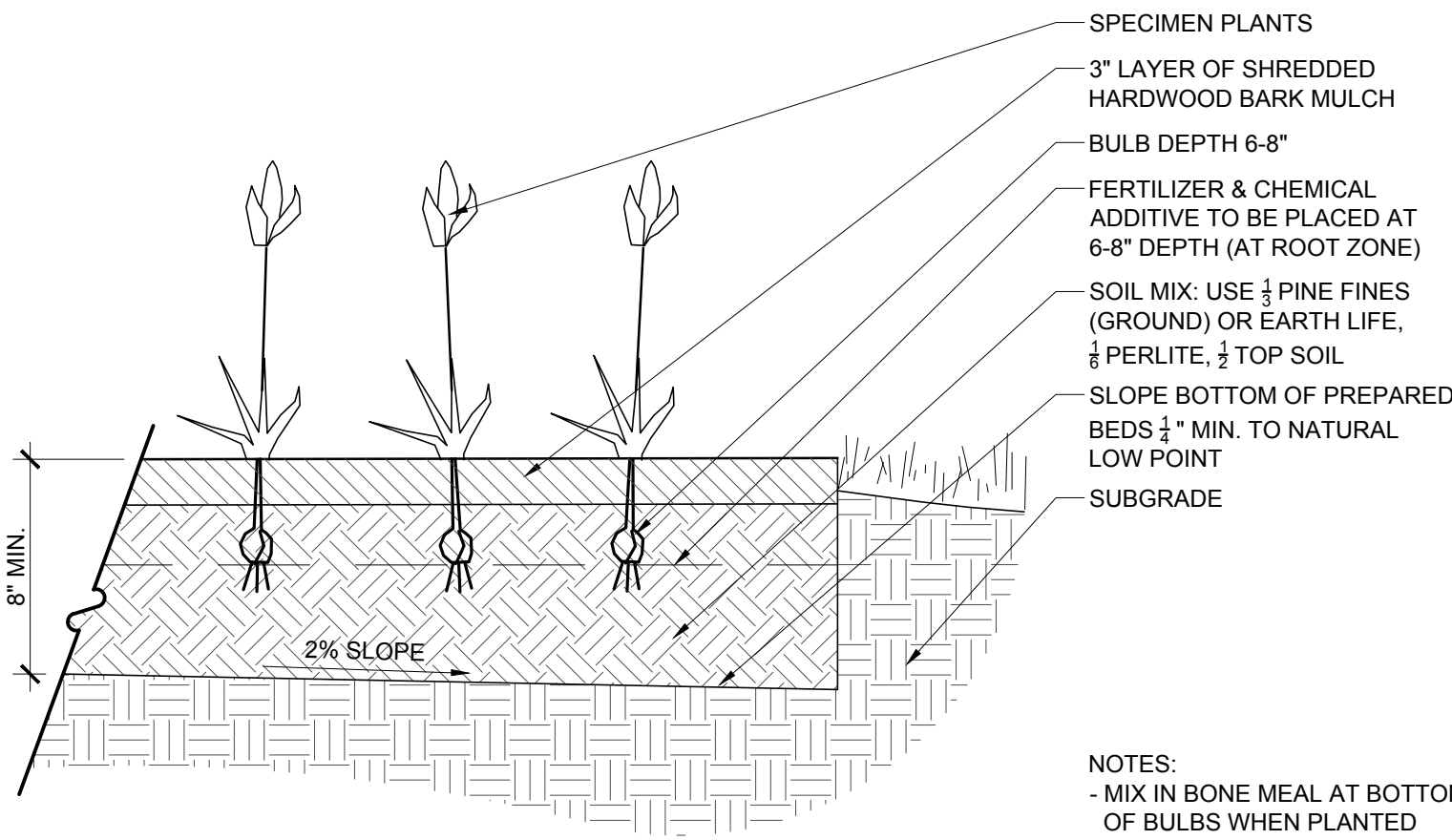
2 TREE GUYING PLANTING - SPECIMEN TREE
Scale: 1/4" = 1'-0"
PLAN LD-001



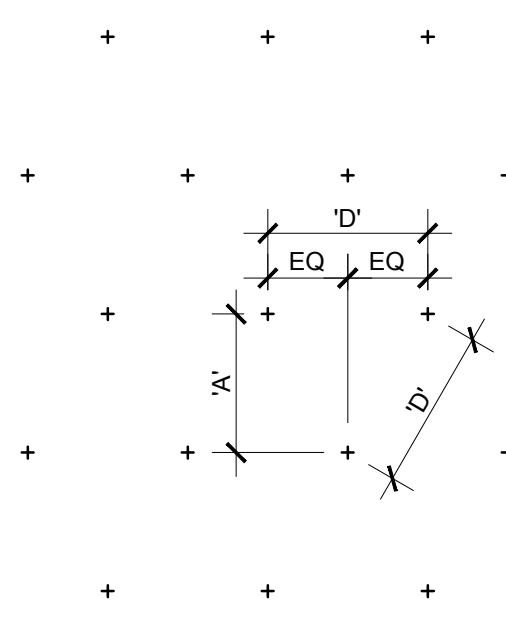
3 TREE GUYING PLANTING - MULTI-STEMMED
Scale: 1/4" = 1'-0"
PLAN LD-003



4 SHRUB PLANTING
Scale: 1/2" = 1'-0"
PLAN LD-004

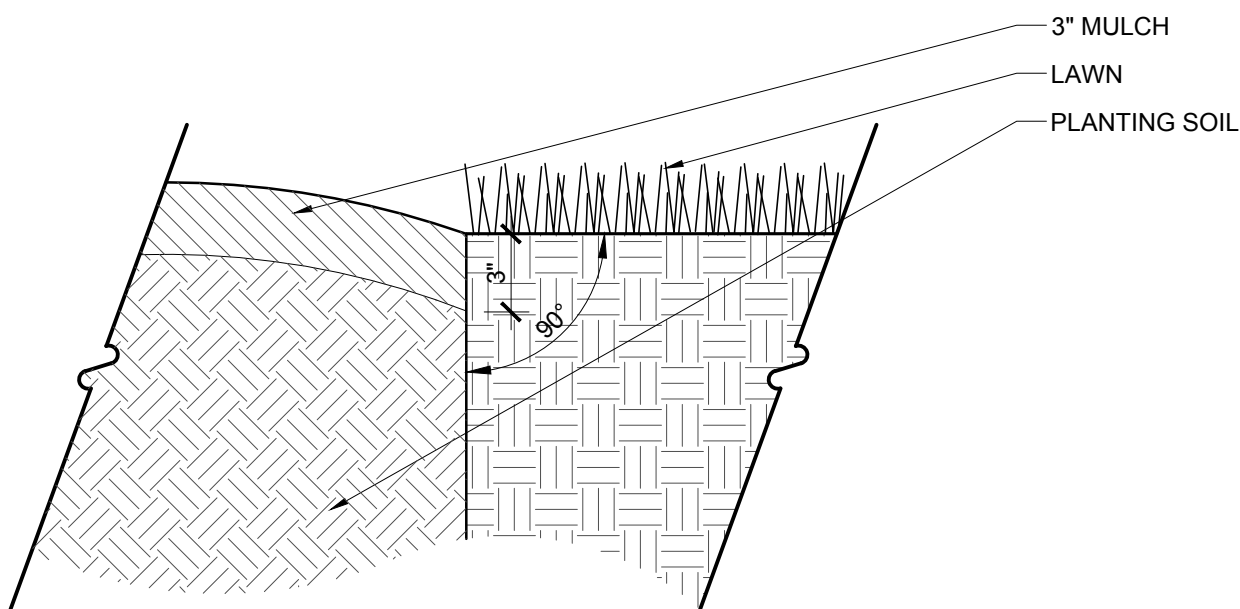


5 ANNUAL & PERENNIAL PLANTING
Scale: 1" = 1'-0"
PLAN LD-006

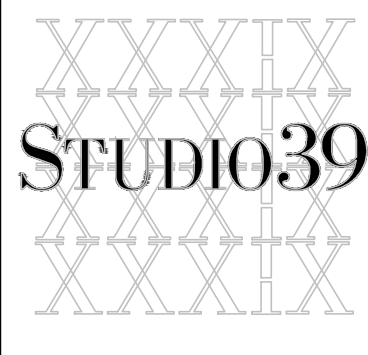


PLANT SPACING CHART
AS SPECIFIED ON PLANT LIST

SPACING 'D'	ROW 'A'	NUMBER OF PLANTS PER SQUARE FOOT	
		6" o.c.	8" o.c.
6" o.c.	5 1/4" o.c.	4.62	
8" o.c.	6 7/8" o.c.	2.60	
10" o.c.	8 5/8" o.c.	1.66	
12" o.c.	10 3/8" o.c.	1.15	
15" o.c.	13" o.c.	0.74	
18" o.c.	15 5/8" o.c.	0.51	
24" o.c.	20 3/4" o.c.	0.29	
30" o.c.	26" o.c.	0.18	
36" o.c.	31 1/8" o.c.	0.13	
42" o.c.	36 3/8" o.c.	0.09	
48" o.c.	41 5/8" o.c.	0.07	



6 PLANTING BED EDGE
Scale: 1 1/2" = 1'-0"
PLAN



Landscape Architecture, P.C.

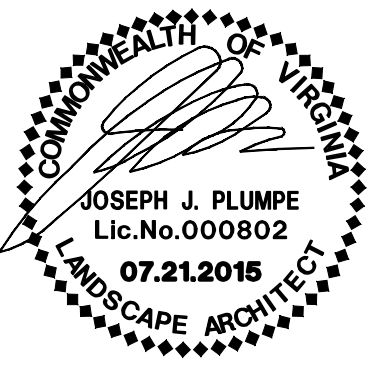
6416 Grandville Drive, Suite 100-A
Alexandria, Virginia 22310
Tel: 703.719.6500 Fax: 703.719.6503
Email: frondesk@studio39.com

PARK RESIDENCES
CITY OF ALEXANDRIA, VA

NORTHFIELD CONSTRUCTION & DEVELOPMENT

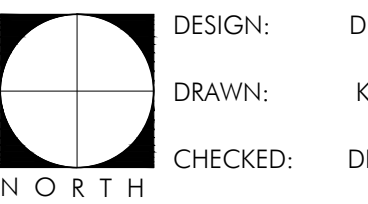
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REVISIONS:

LANDSCAPE
NOTES AND
DETAILS



SCALE: AS SHOWN

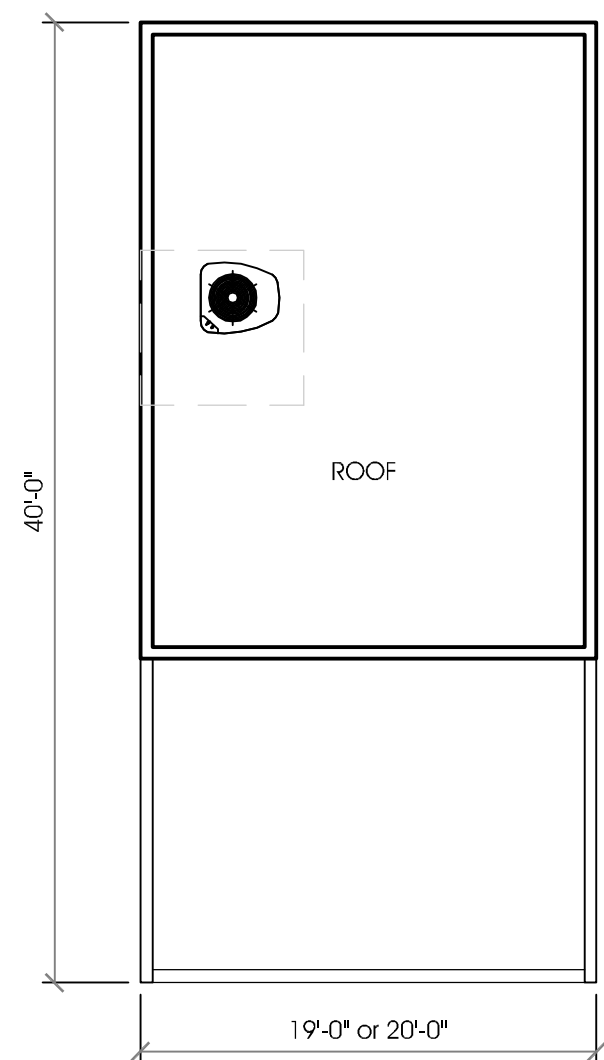
PROJECT NO: 14105

DATE: 07.21.2015

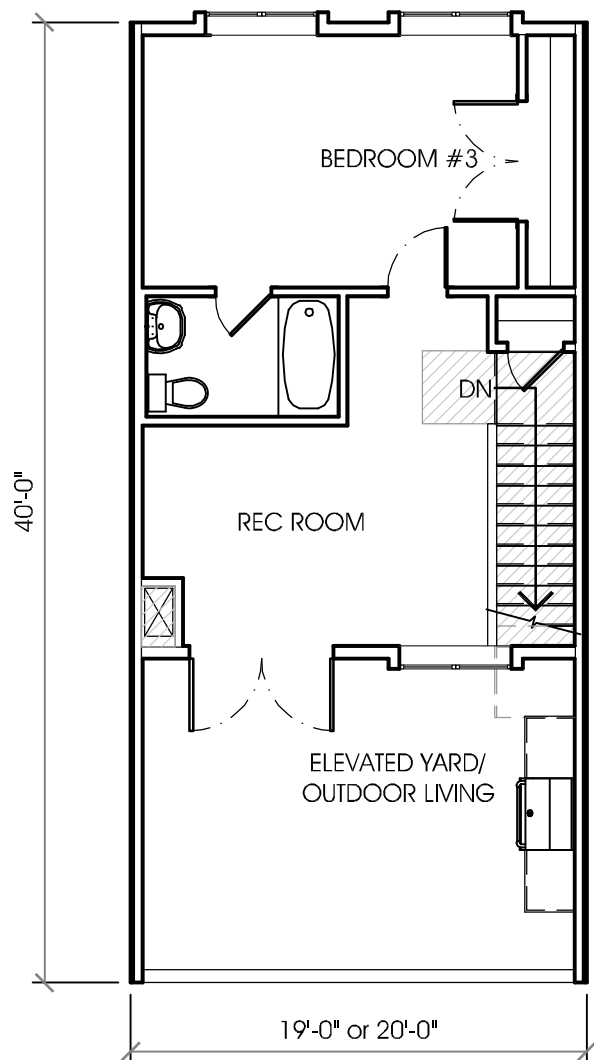
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DSUP

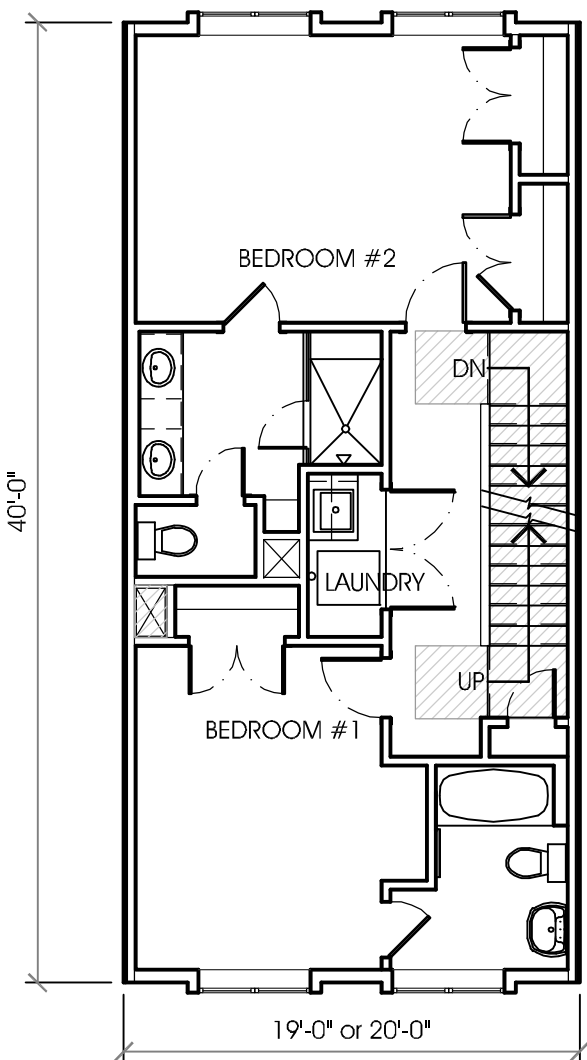
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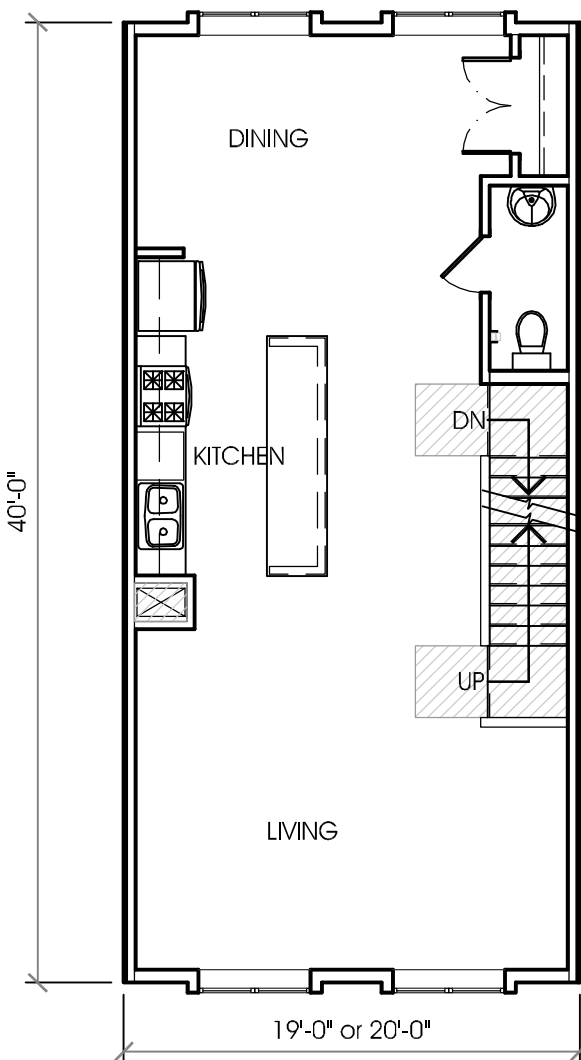
ROOF PLAN



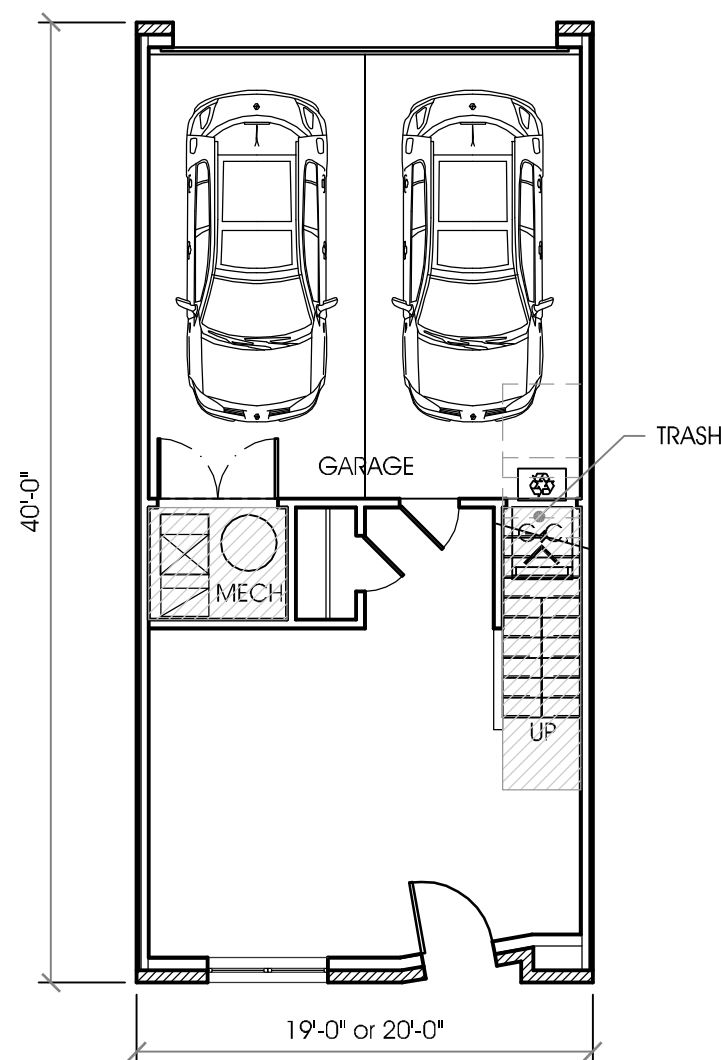
FOURTH FLOOR PLAN



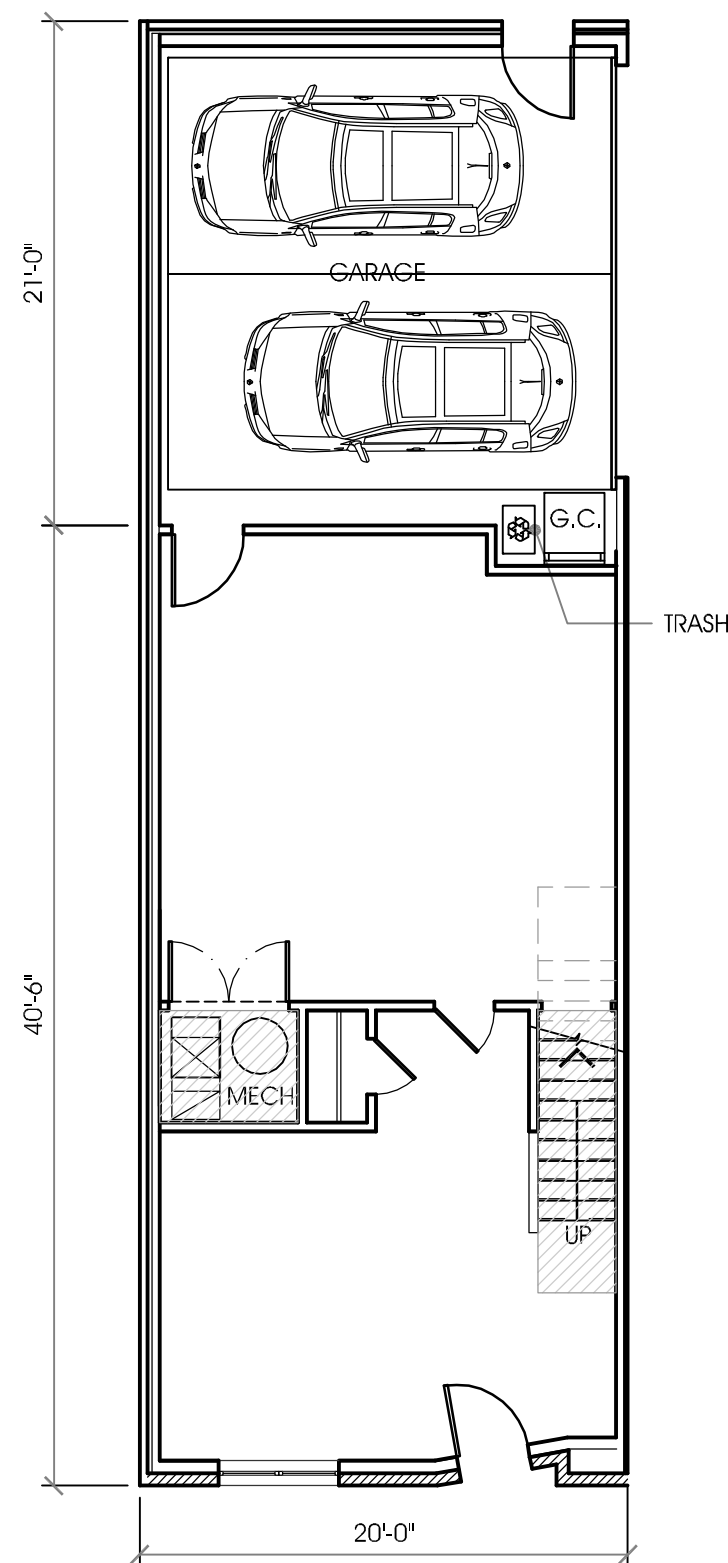
THIRD FLOOR PLAN



SECOND FLOOR PLAN



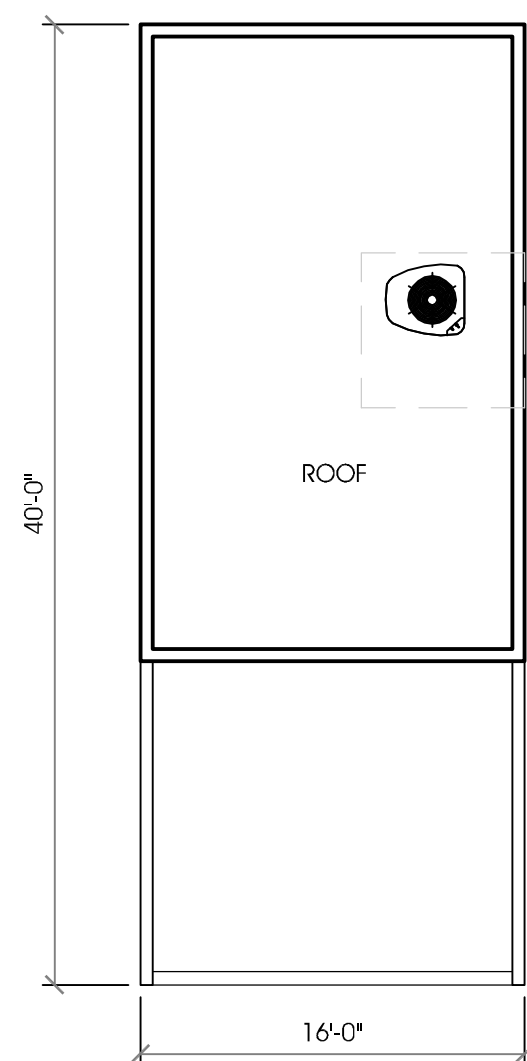
TYP. FIRST FLOOR PLAN
19'-0" AT UNITS 8-12 & 14-18
20'-0" AT UNIT 13



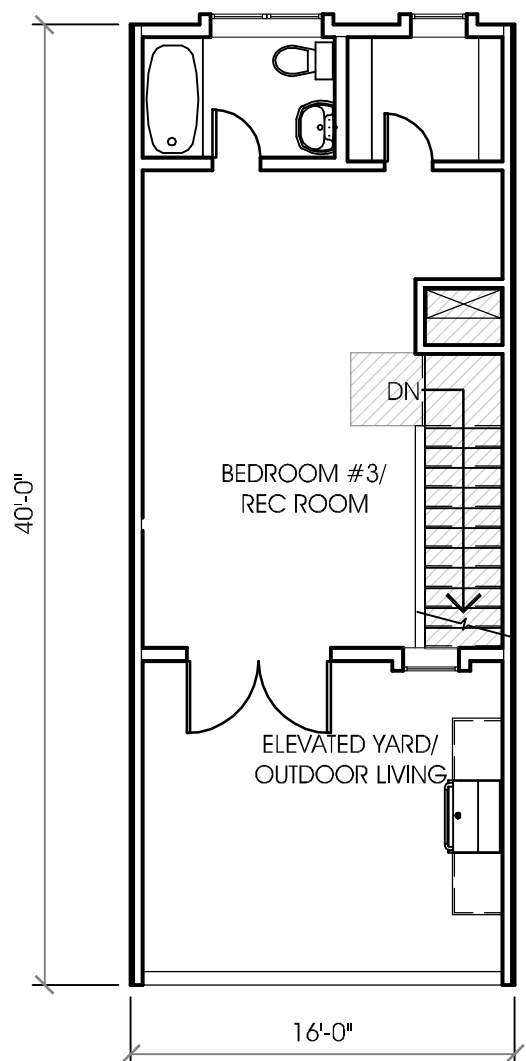
FIRST FLOOR PLAN
AT UNIT 7

B

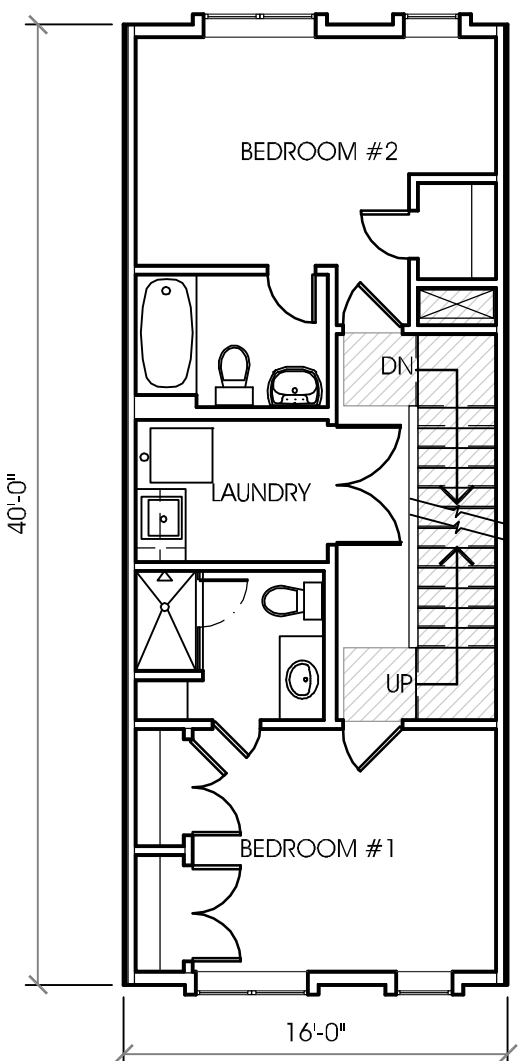
19 AND 20 FOOT WIDE TOWNHOME FLOOR PLAN CONCEPTS
1/8"=1'-0"



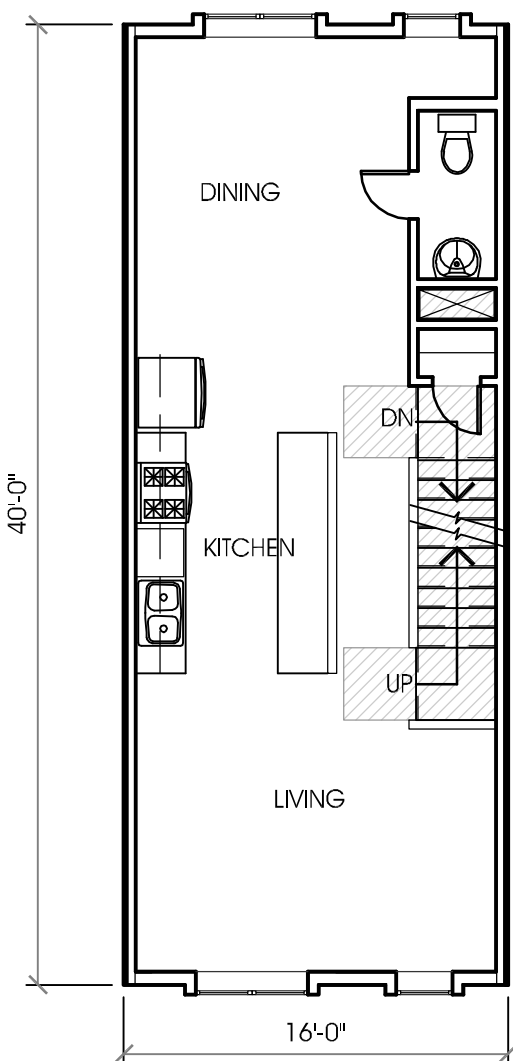
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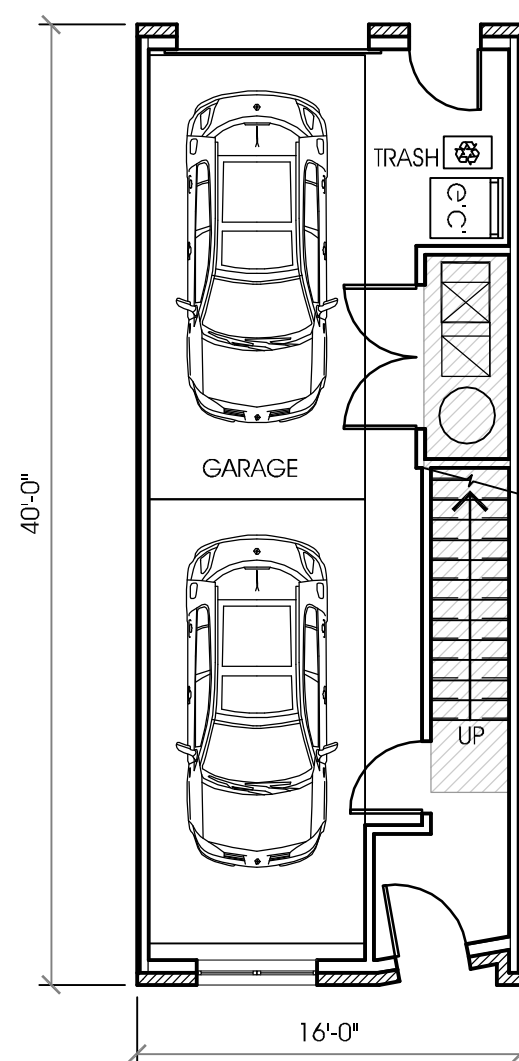
FOURTH FLOOR PLAN



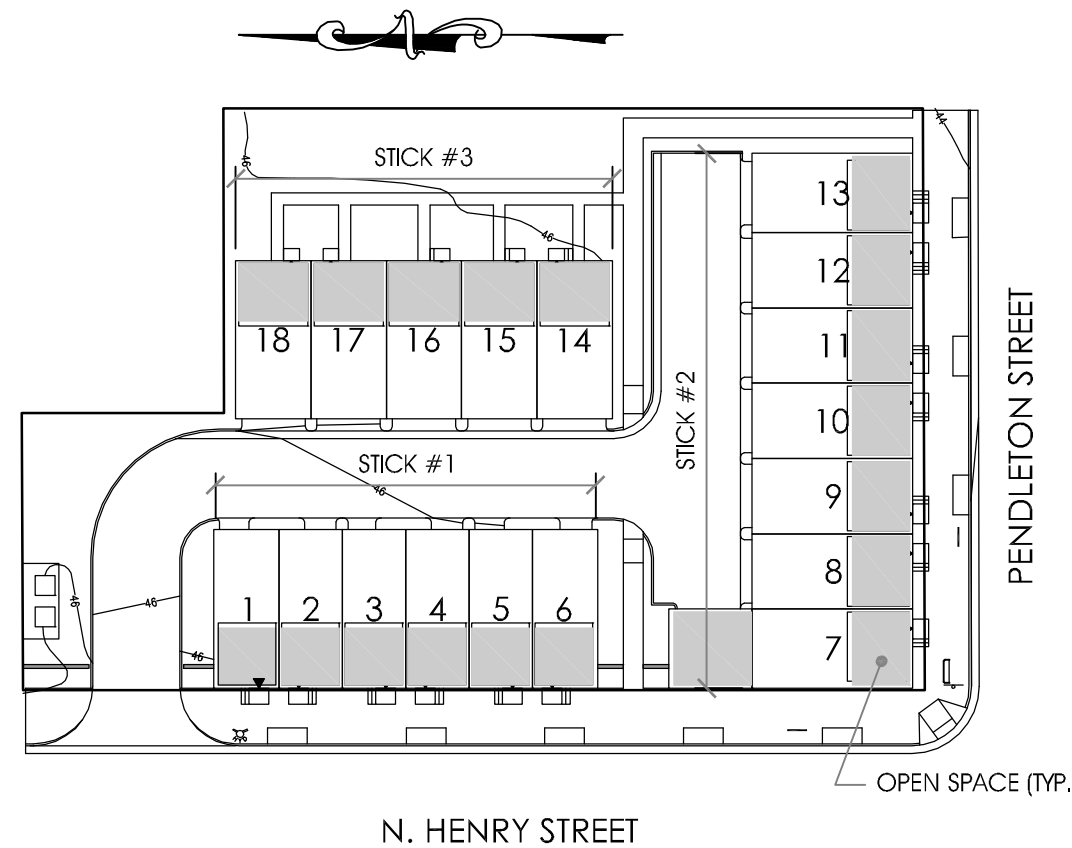
THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN
UNITS 1-6

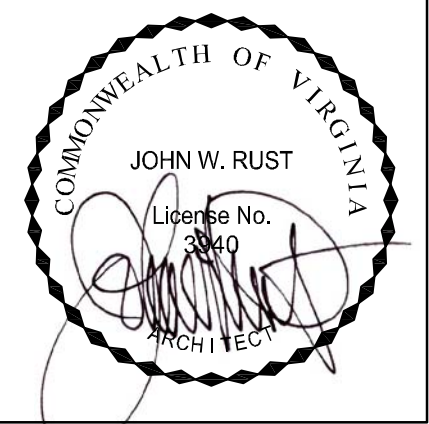


APPROVED
SPECIAL USE PERMIT NO. 2014-0017
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

16 FEET WIDE TOWNHOME FLOOR PLAN CONCEPTS
1/8"=1'-0"

A



RUST | ORLING
ARCHITECTURE

1215 CAMERON STREET
ALEXANDRIA, VA
22314

T - 703.836.3205
F - 703.548.4779
admin@rustorling.com
www.rustorling.com

DEVELOPER:
NORTHFIELD

CIVIL ENGINEER:
RCFIELDS
ASSOCIATES, INC.

LANDSCAPE
ARCHITECT:



PARK
RESIDENCES

601 N. HENRY ST.
ALEXANDRIA, VA

14.076

REVISIONS

DATE	DESCRIPTION

PRELIMINARY
DSUP
June 22, 2015

CONCEPT
FLOOR PLANS

SHEET NO.

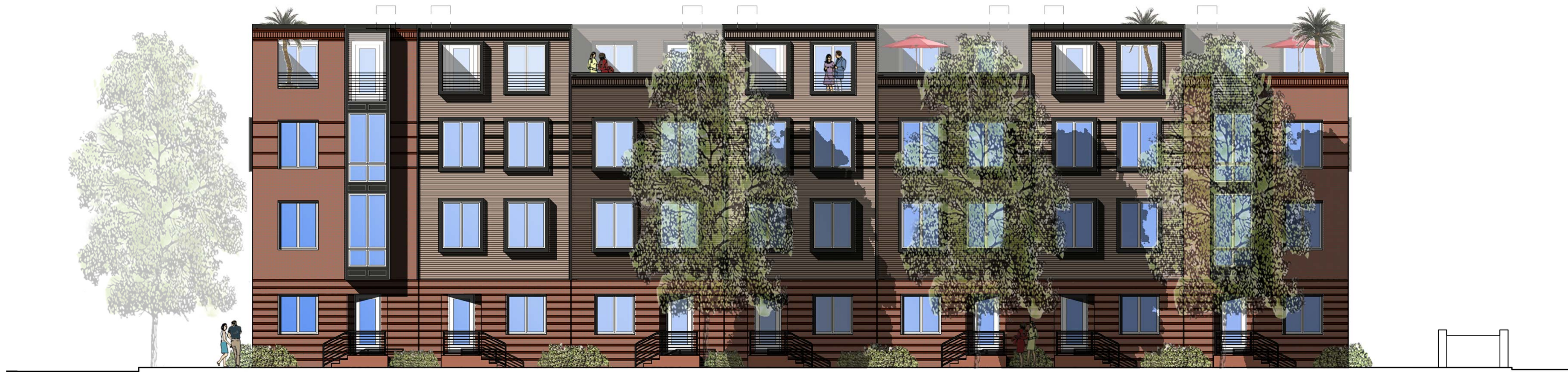
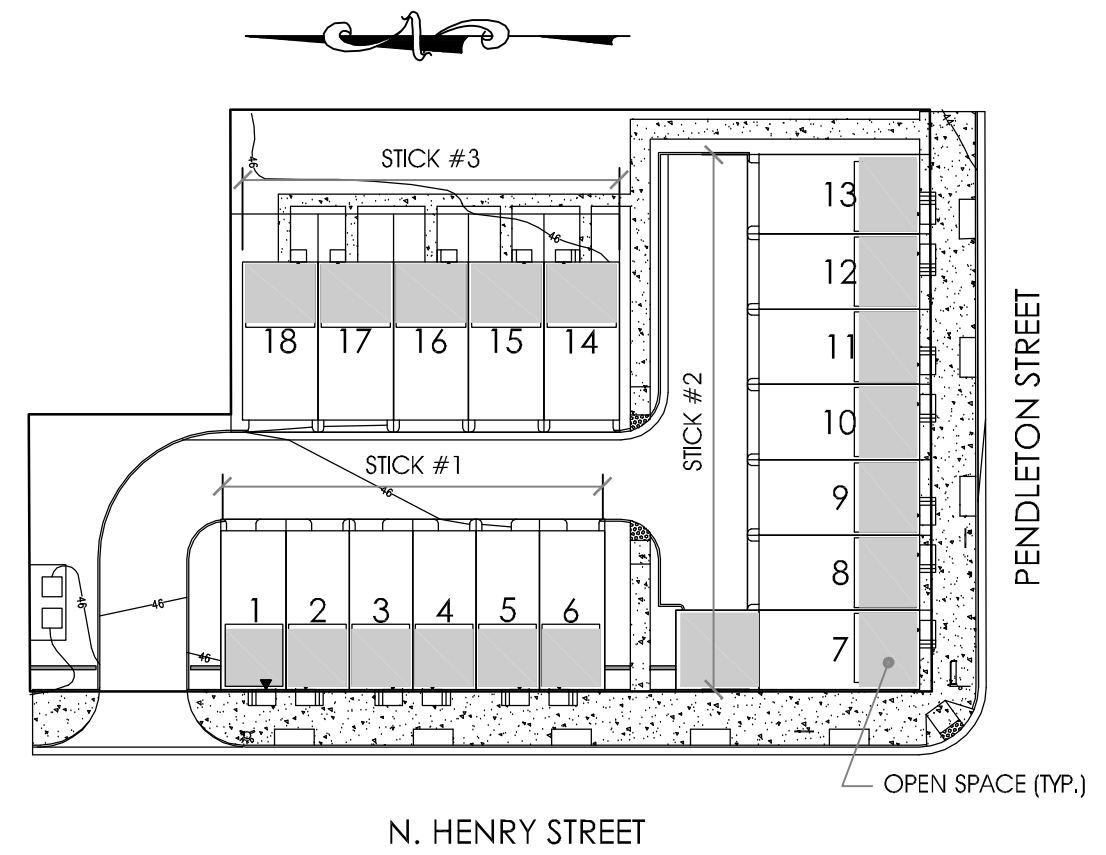
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STICK #1 & #2 - WEST ELEVATION (FACING NORTH HENRY STREET)
1/8"=1'-0"

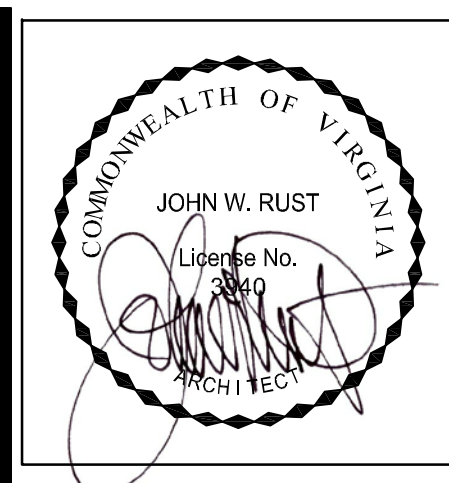


STICK #2 & #3 - EAST ELEVATION (FACING COURTYARD)
1/8"=1'-0"



STICK #2 - SOUTH ELEVATION (FACING PENDLETON STREET)
1/8"=1'-0"

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RUST | ORLING
ARCHITECTURE

1215 CAMERON STREET
ALEXANDRIA, VA 22314
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DEVELOPER:
NORTHFIELD

CIVIL ENGINEER:
RC FIELDS
ASSOCIATES, INC.

LANDSCAPE ARCHITECT:
STUDIO39

PARK RESIDENCES
601 N. HENRY ST.
ALEXANDRIA, VA

14.076

REVISIONS	
DATE	DESCRIPTION
7.21.15	REVISION

PRELIMINARY
DSUP
June 22, 2015

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PRIMARY
ELEVATIONS

SHEET NO.
A2.0

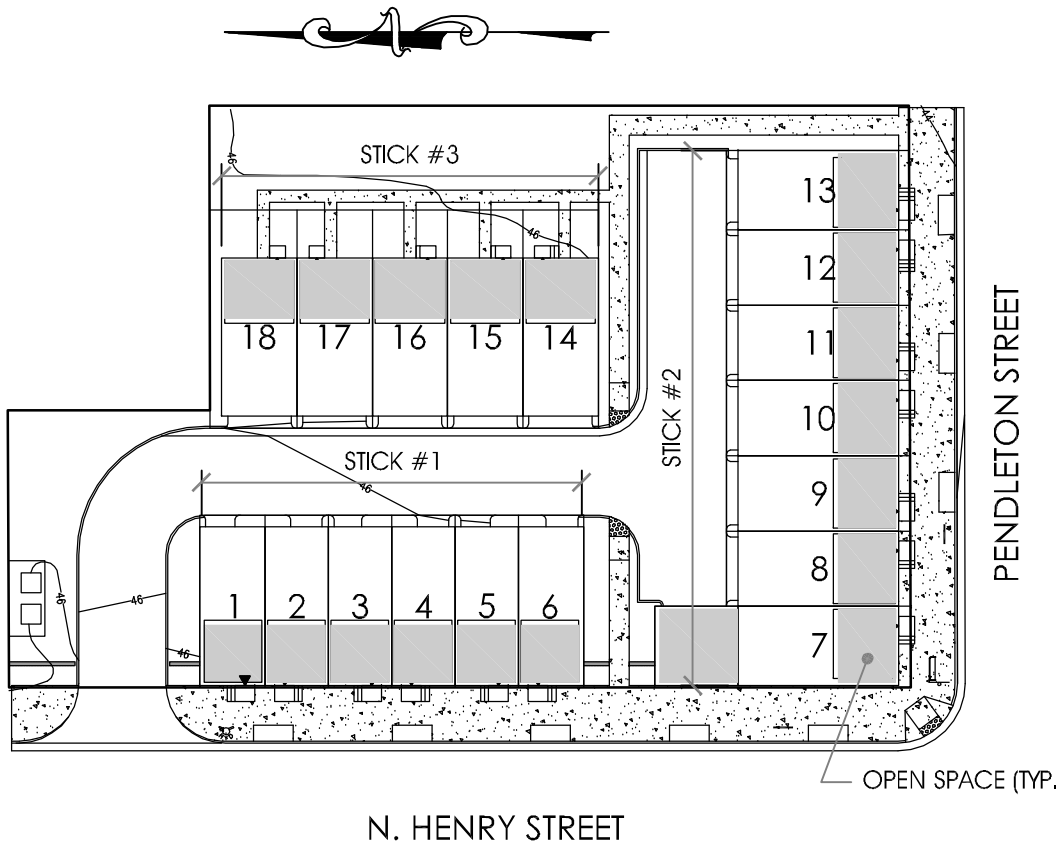
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STICK #1 & #2 - WEST ELEVATION (FACING NORTH HENRY STREET)
1/8"=1'-0"



STICK #2 & #3 - EAST ELEVATION (FACING COURTYARD)
1/8"=1'-0"



STICK #2 - SOUTH ELEVATION (FACING PENDLETON STREET)
1/8"=1'-0"

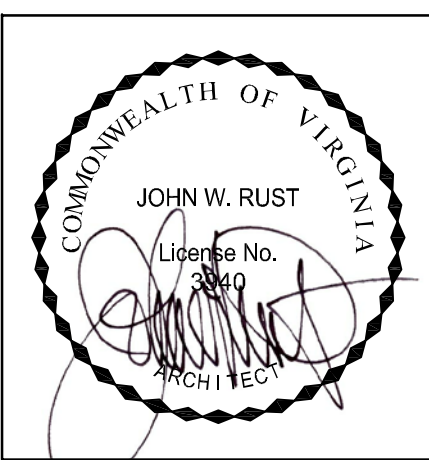
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REVISIONS	
DATE	DESCRIPTION
7.21.15	REVISION

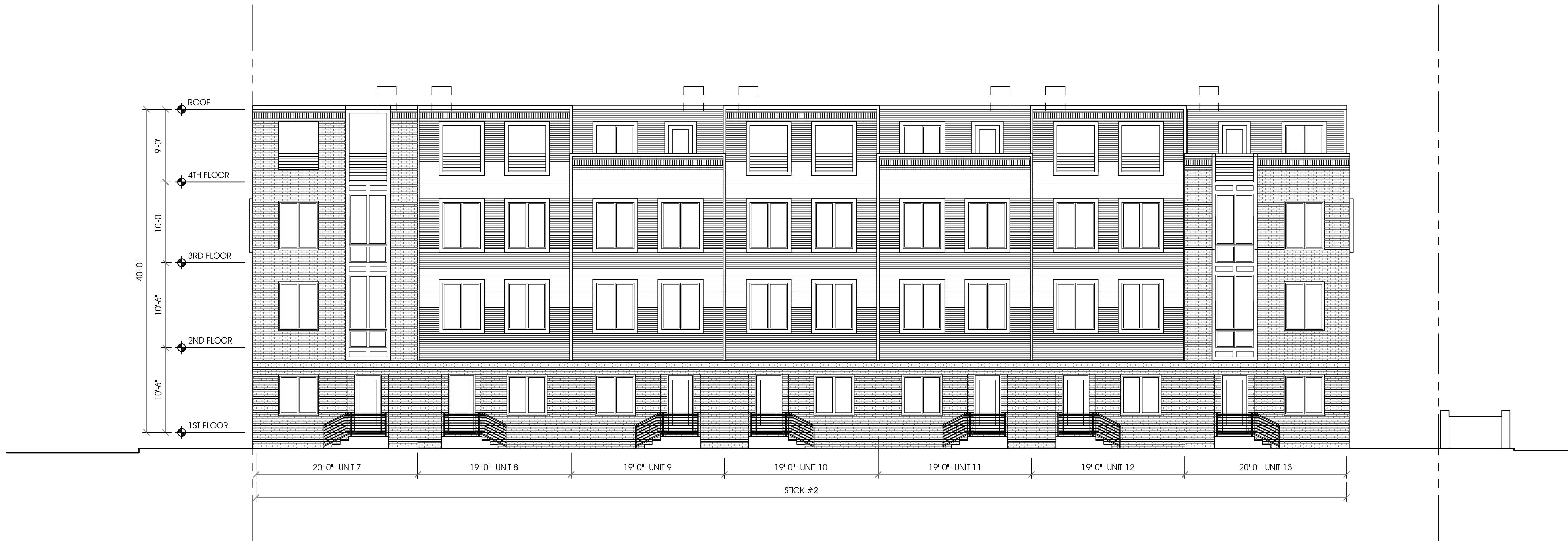
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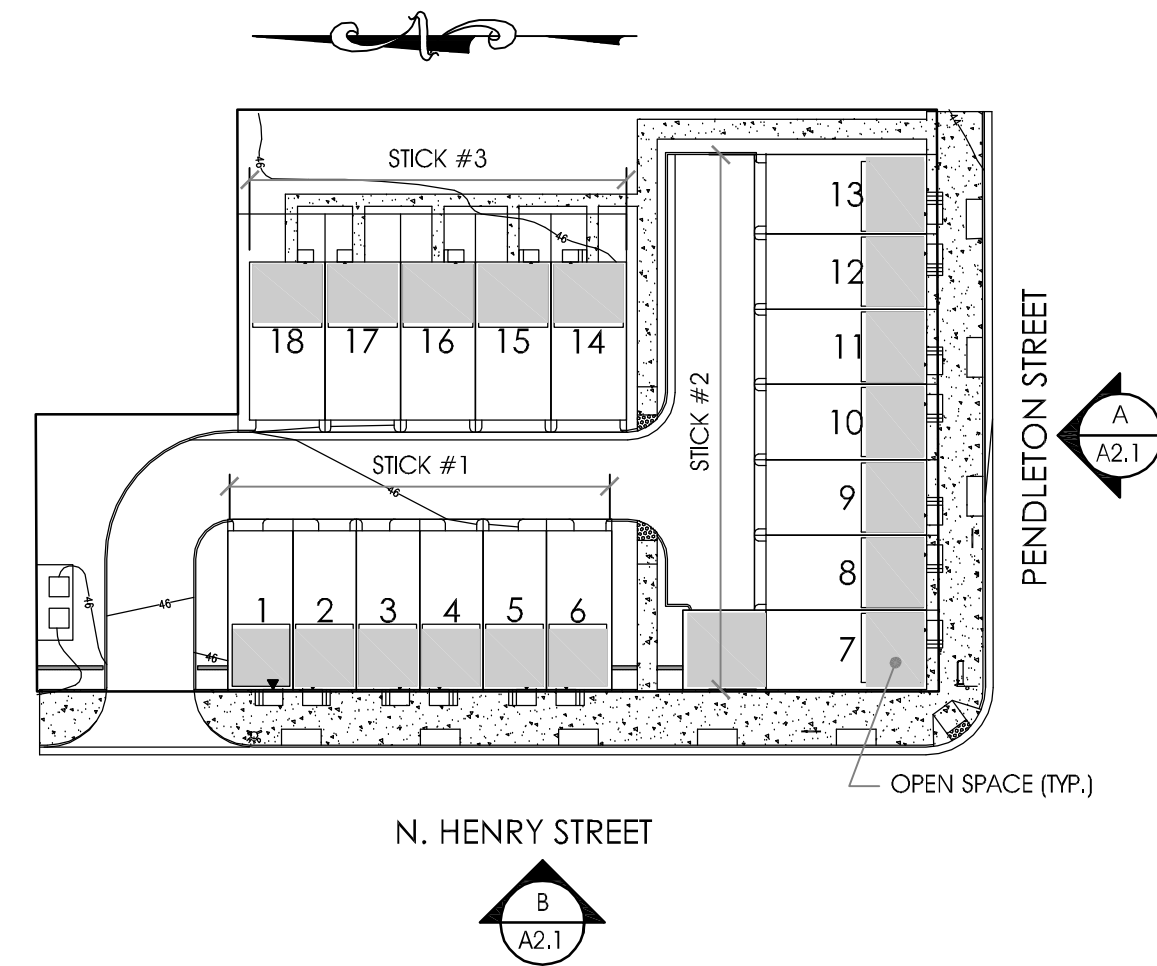
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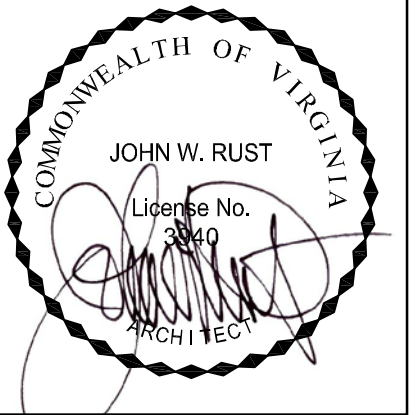
B STICK #1 & #2 - WEST ELEVATION (FACING NORTH HENRY STREET)
1/8"=1'-0"



A STICK #2 - SOUTH ELEVATION (FACING PENDLETON STREET)
1/8"=1'-0"



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A2.1

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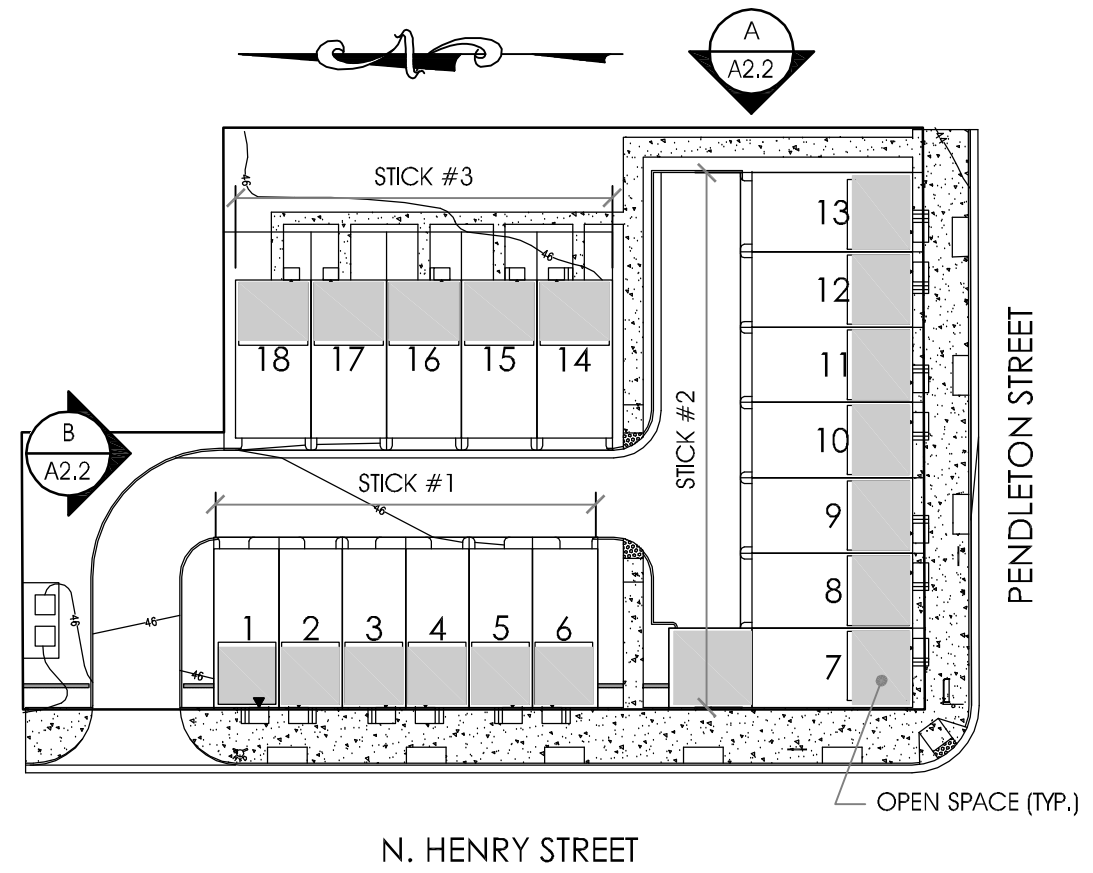
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STICK #1 & #3 - NORTH ELEVATION
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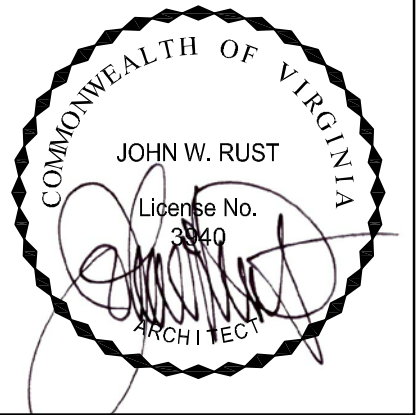


A

STICK #2 & #3 - EAST ELEVATION (INTERIOR COURTYARD)
1/8"=1'-0"



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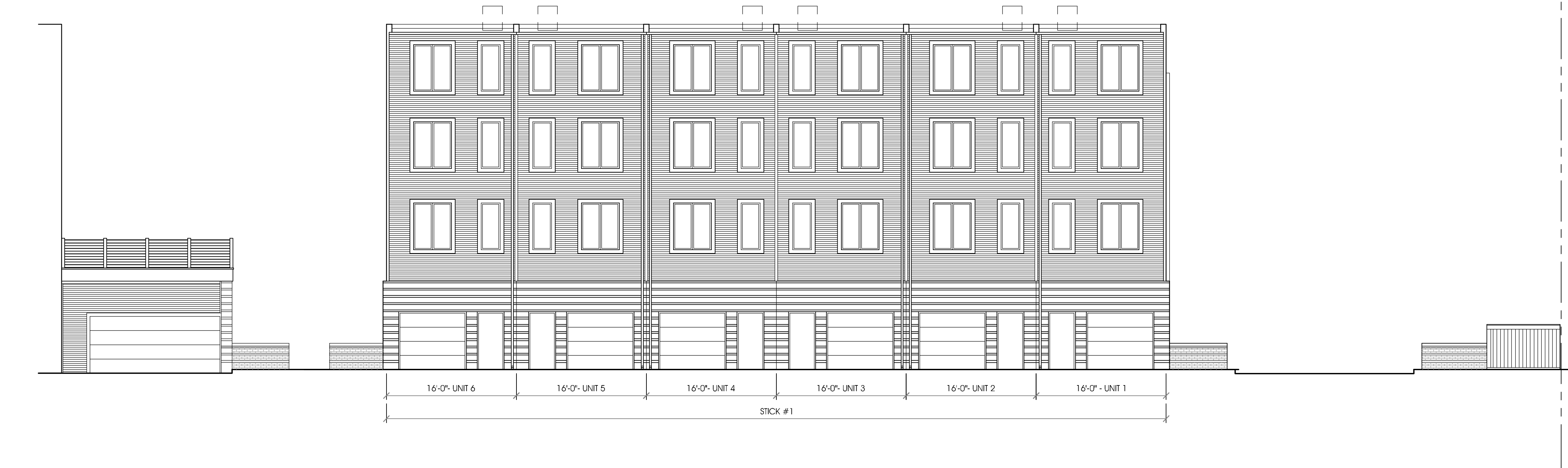
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A2.2



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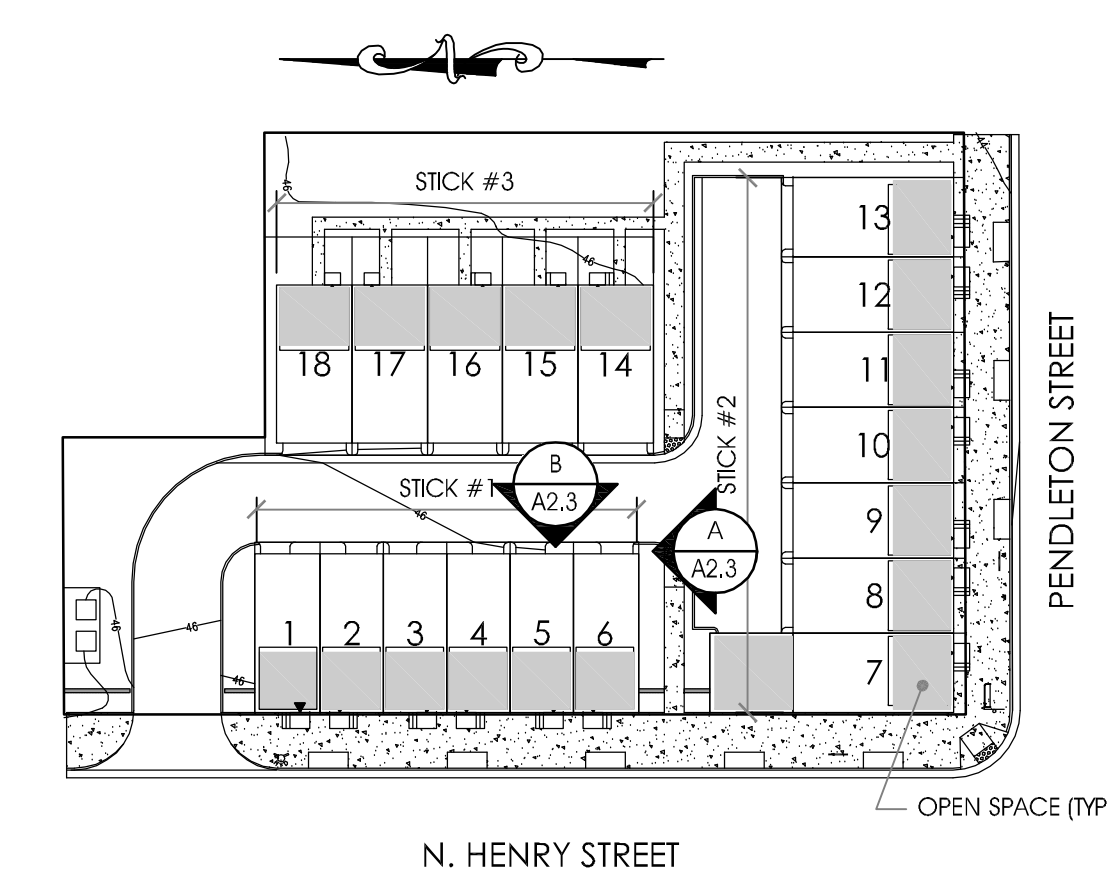
1/8"=1'-0"



A

STICK #1 & #3 - SOUTH ELEVATION

1/8"=1'-0"



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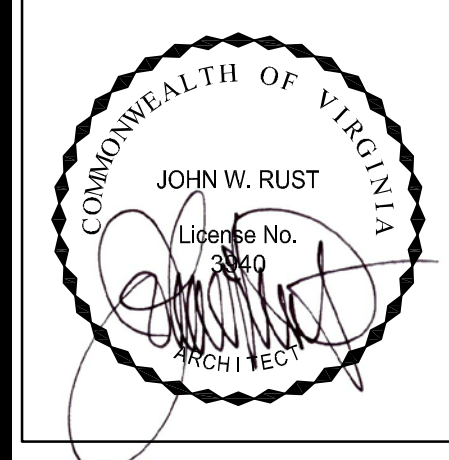
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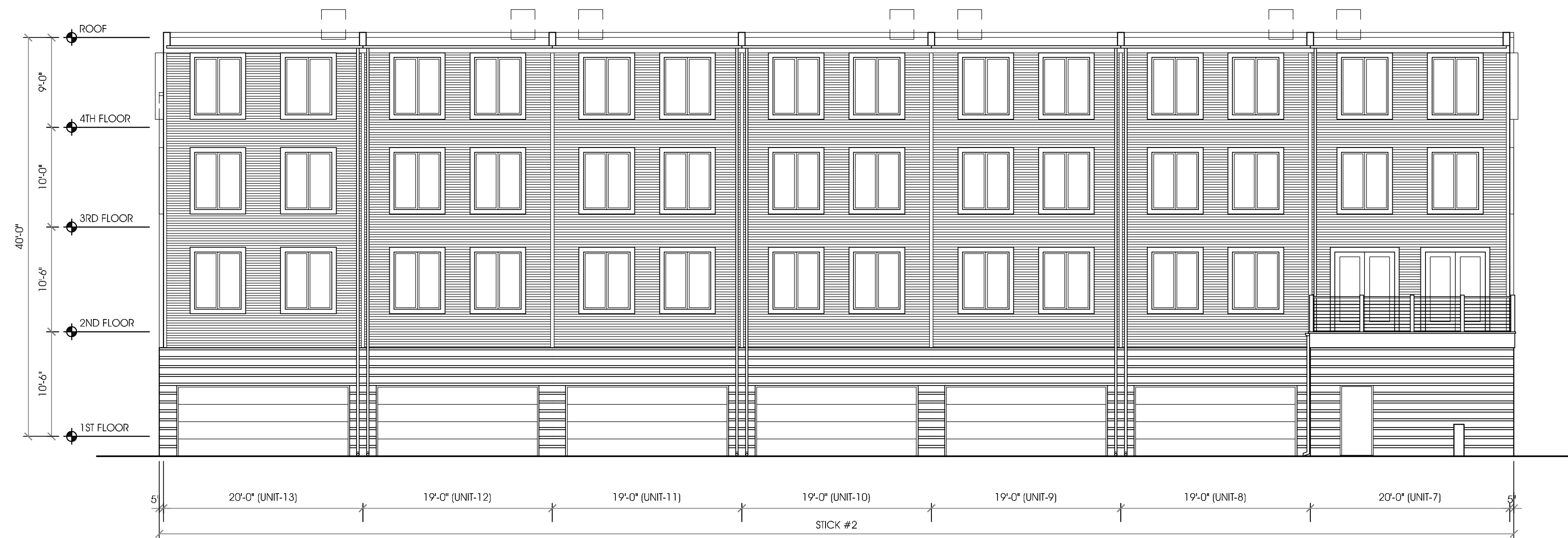
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DSUP
June 22, 2015

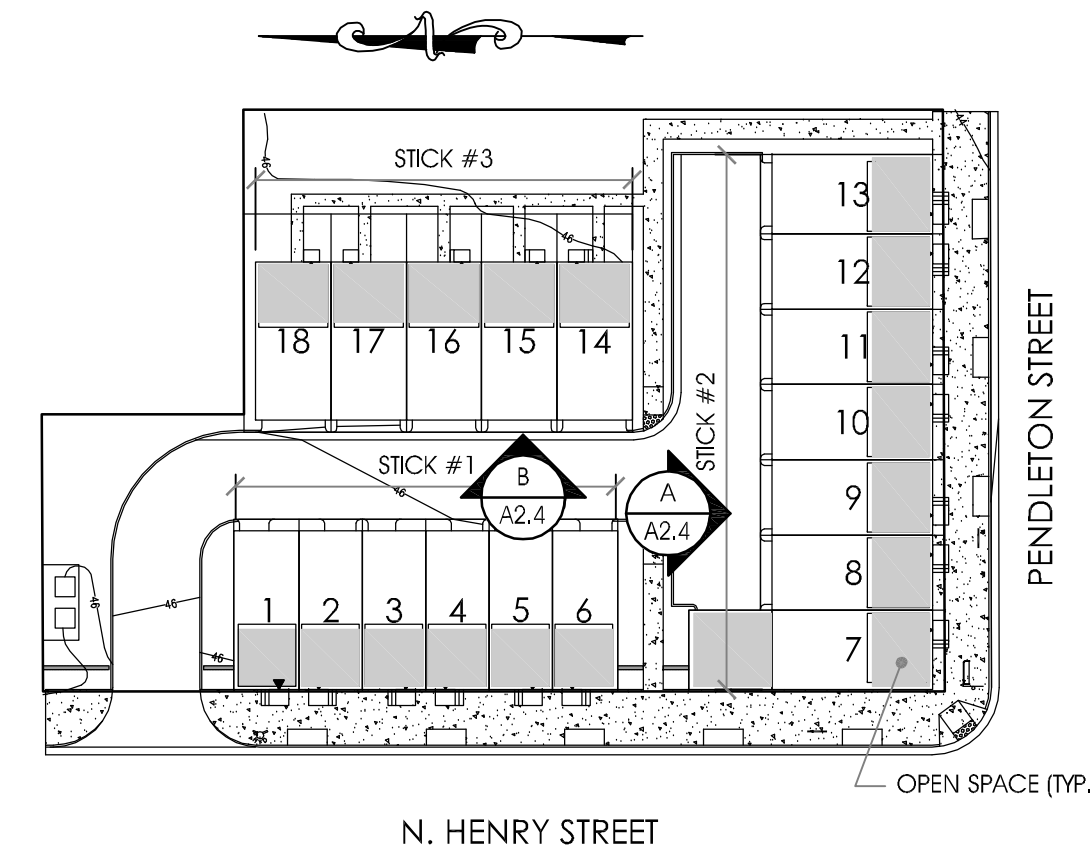
ELEVATIONS

SHEET NO.
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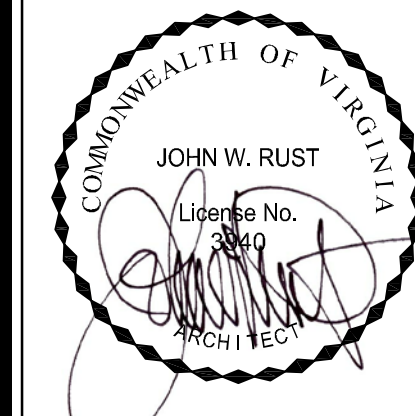
STICK #2 - NORTH ELEVATION
1/8"=1'-0"



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STICK #3 - WEST ELEVATION
1/8"=1'-0"



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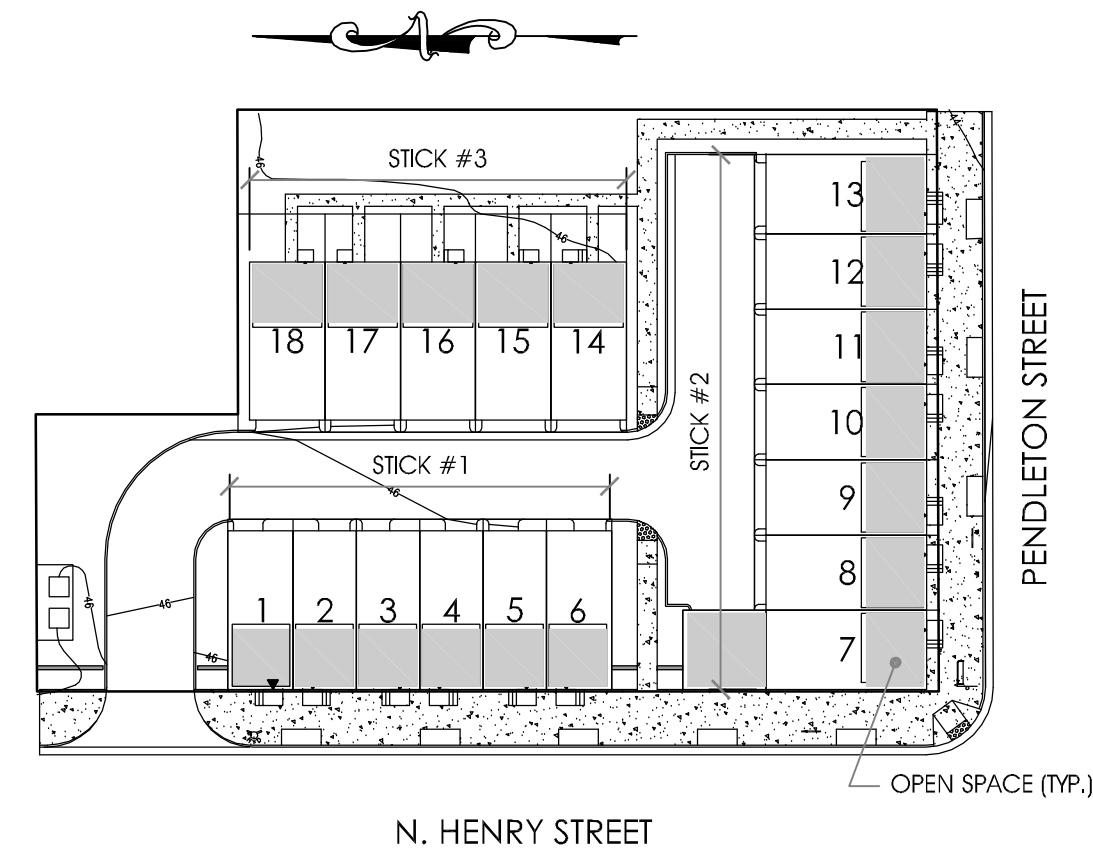
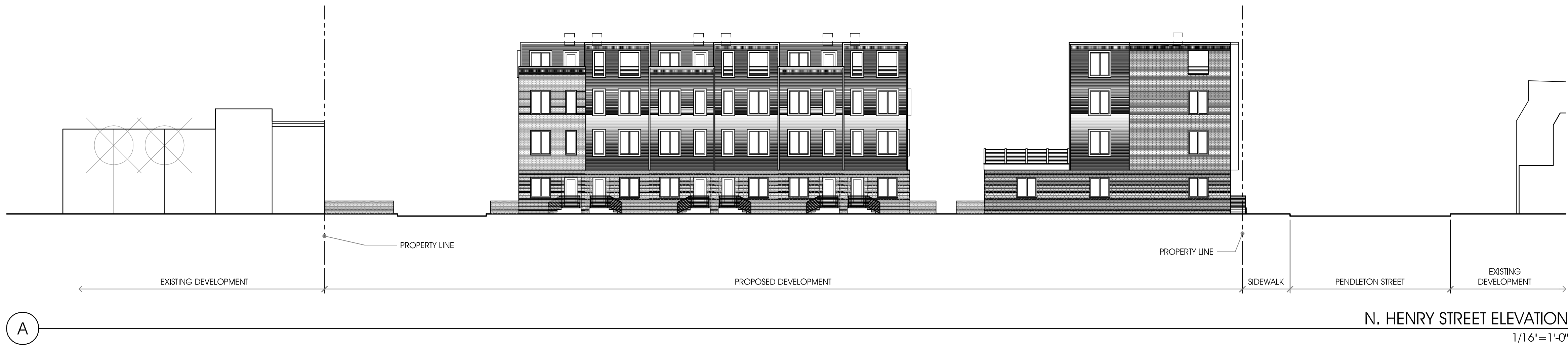
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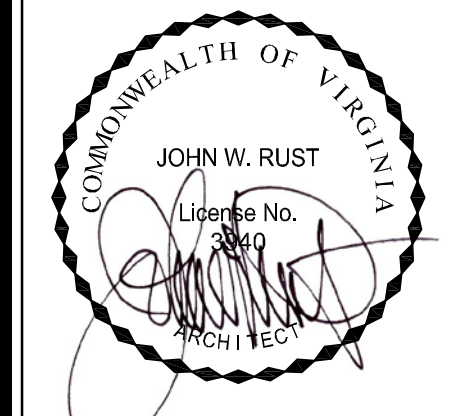
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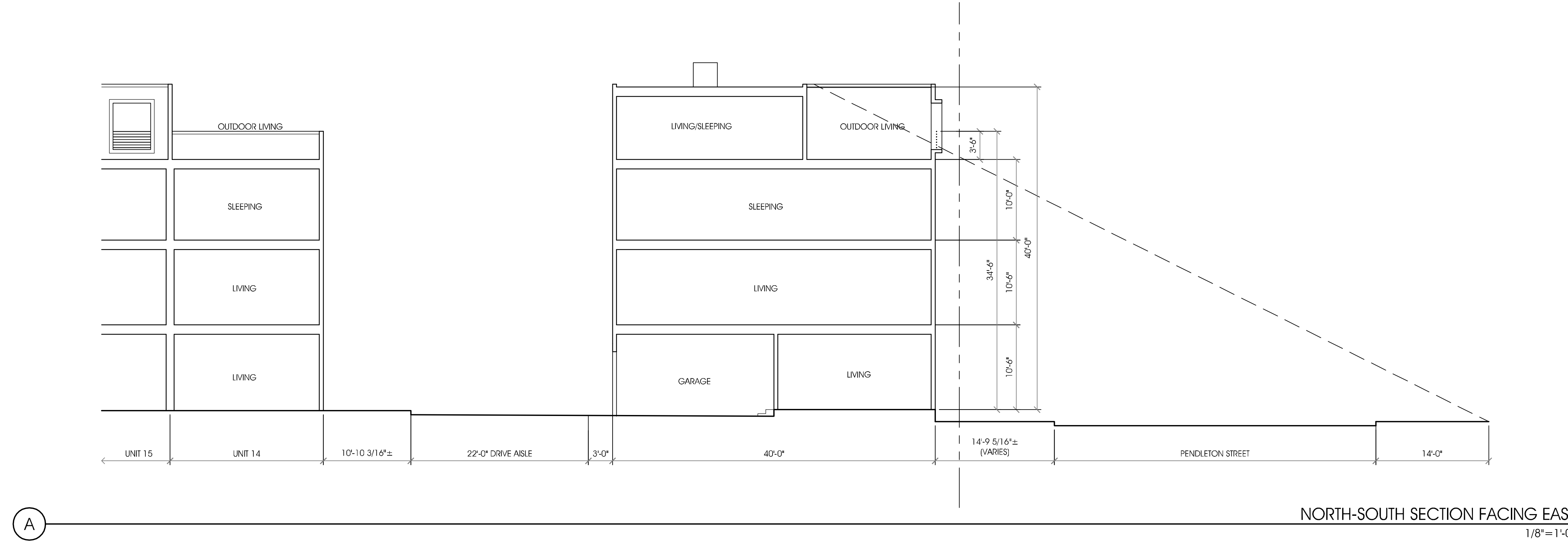
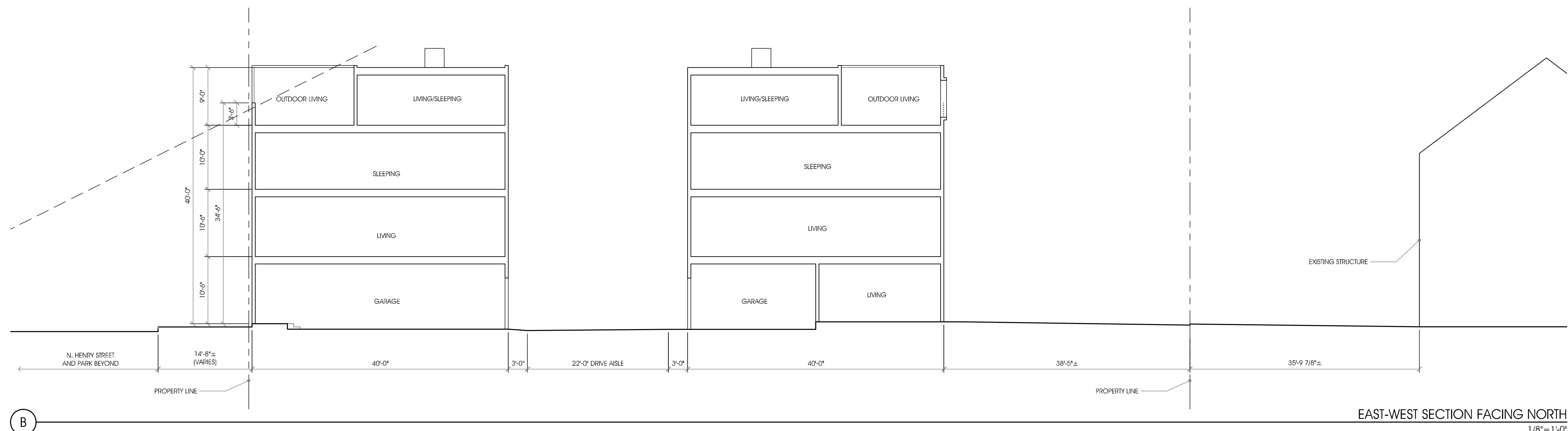
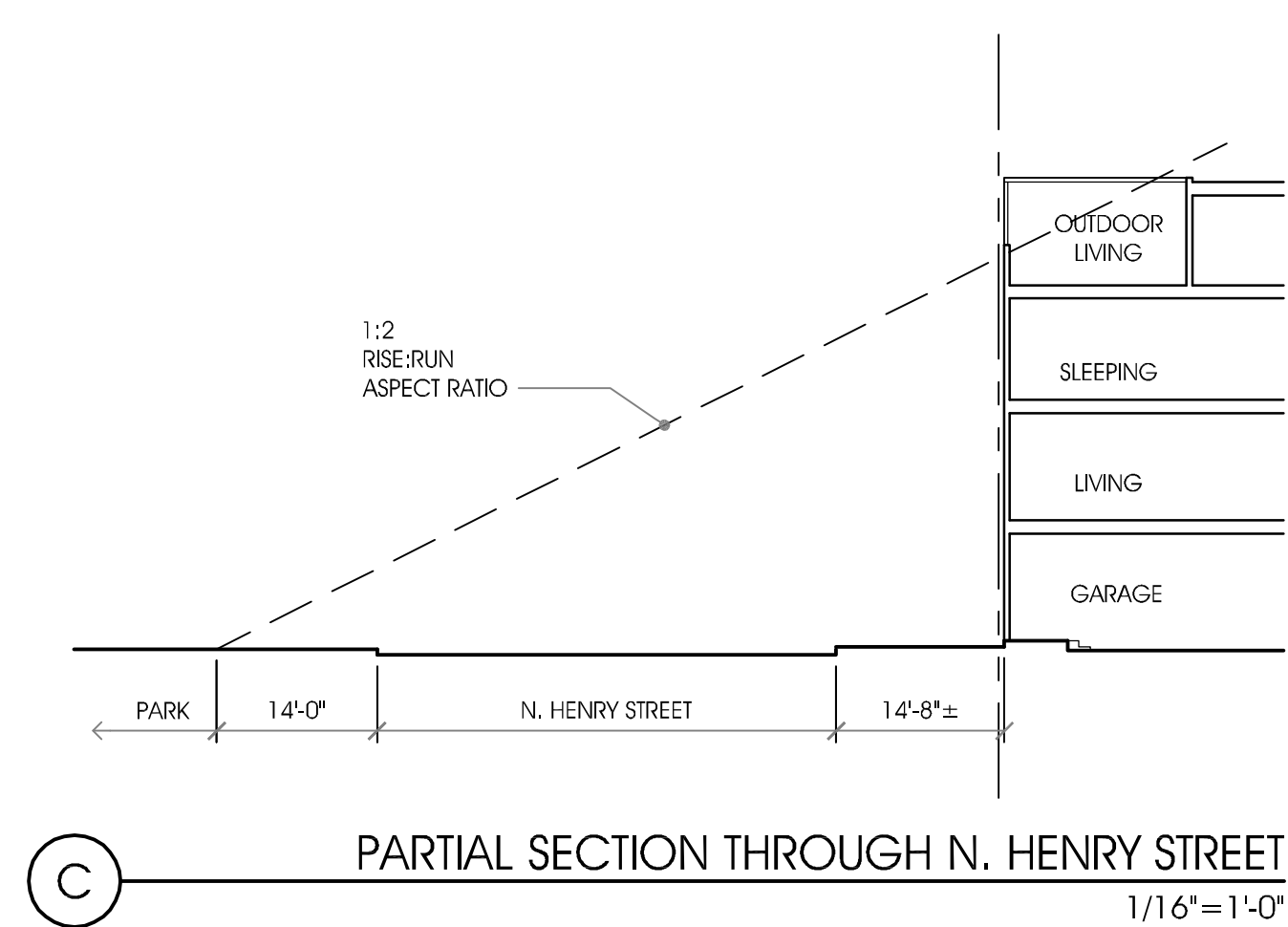
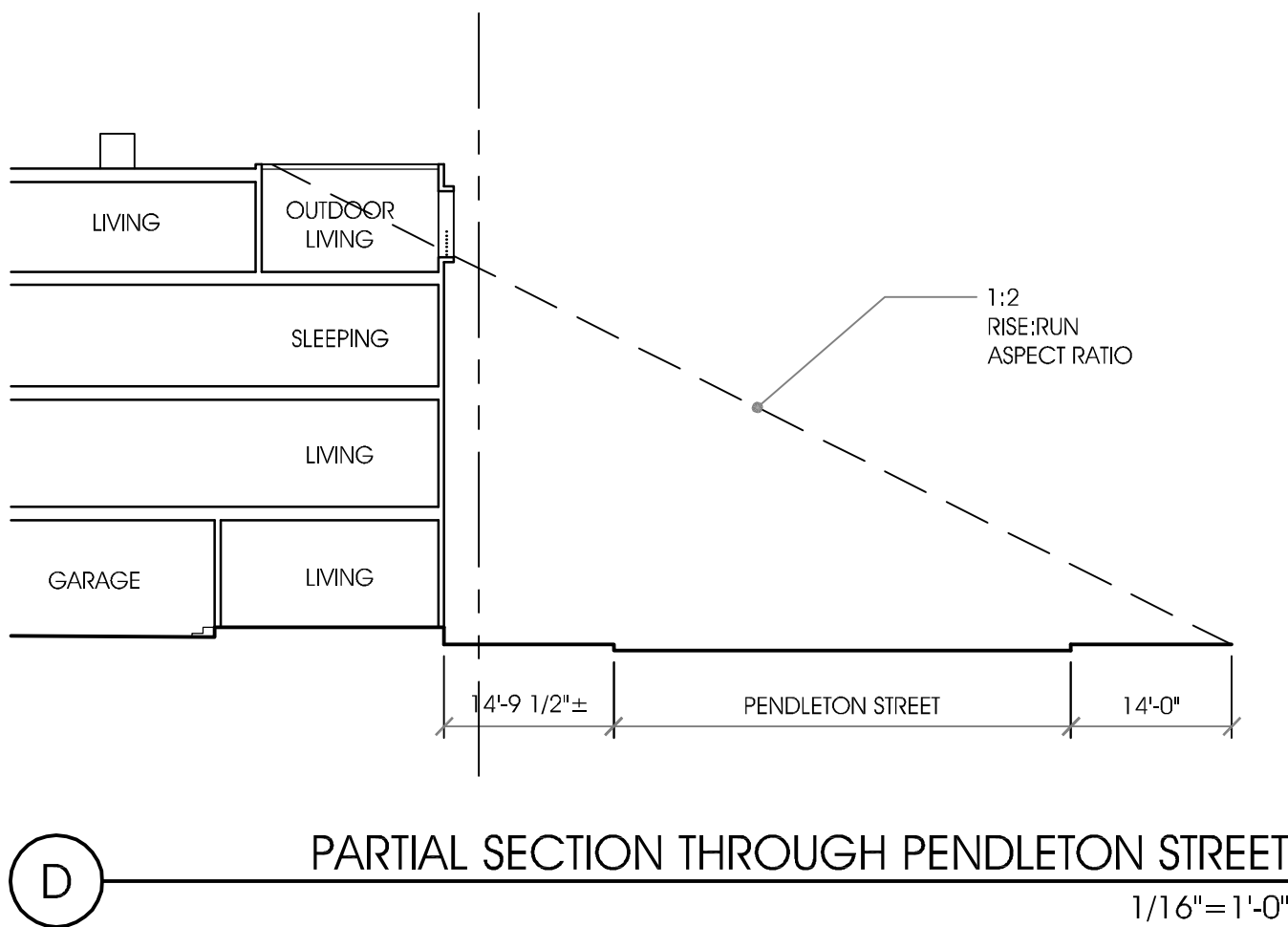
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STREET MASSING

SHEET NO.

A3.0



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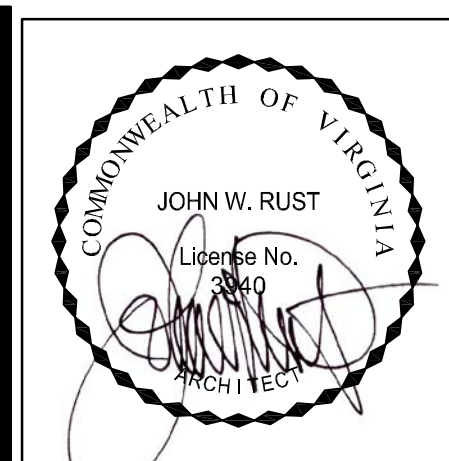
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BUILDING
SECTIONS

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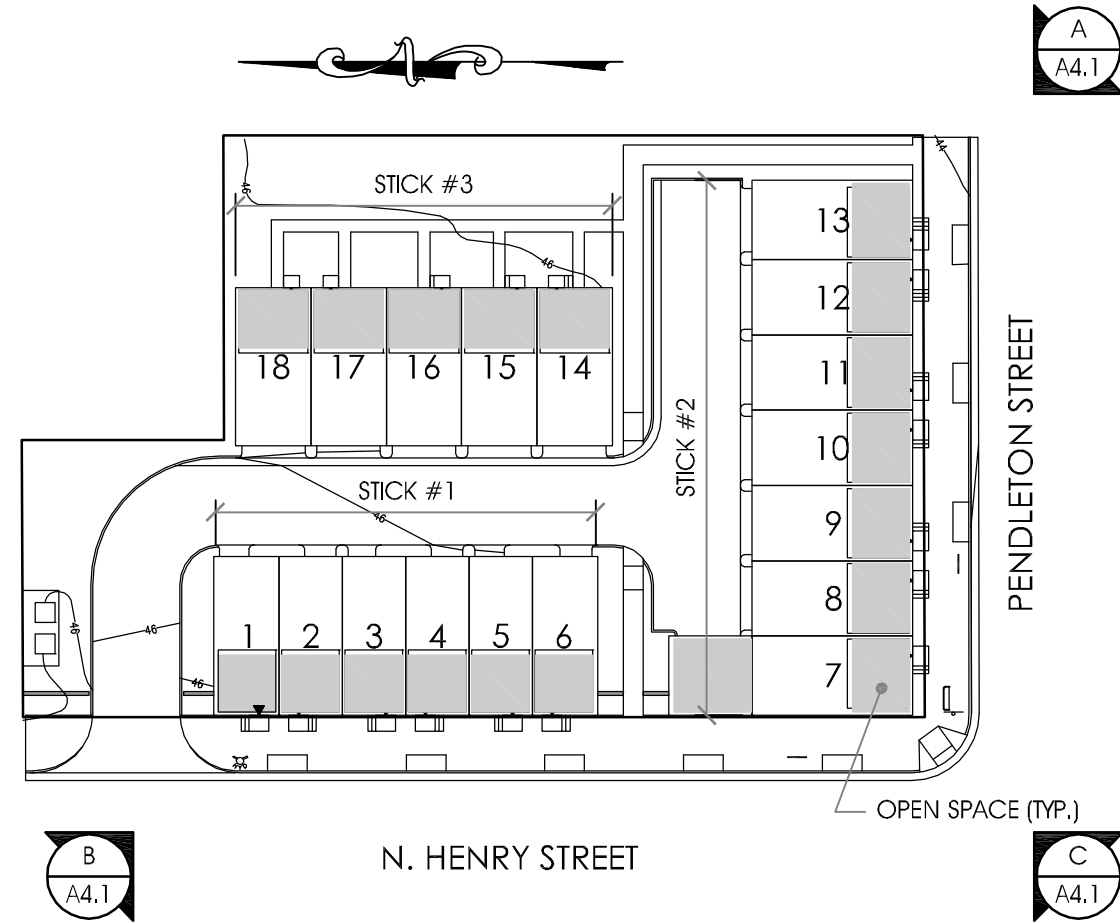


C BUILDING MASSING - AERIAL VIEW-3
N.T.S

B BUILDING MASSING - AERIAL VIEW-2
N.T.S



A BUILDING MASSING - AERIAL VIEW-1
N.T.S

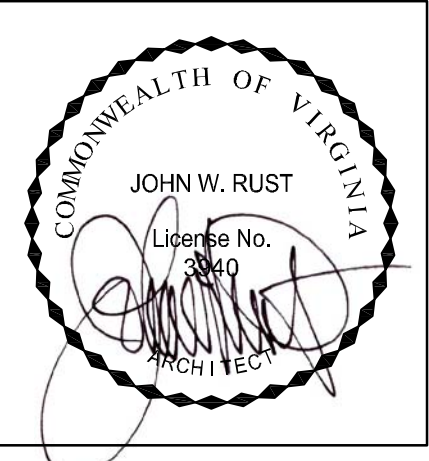


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C

CONCEPT RENDERING - VIEW-3
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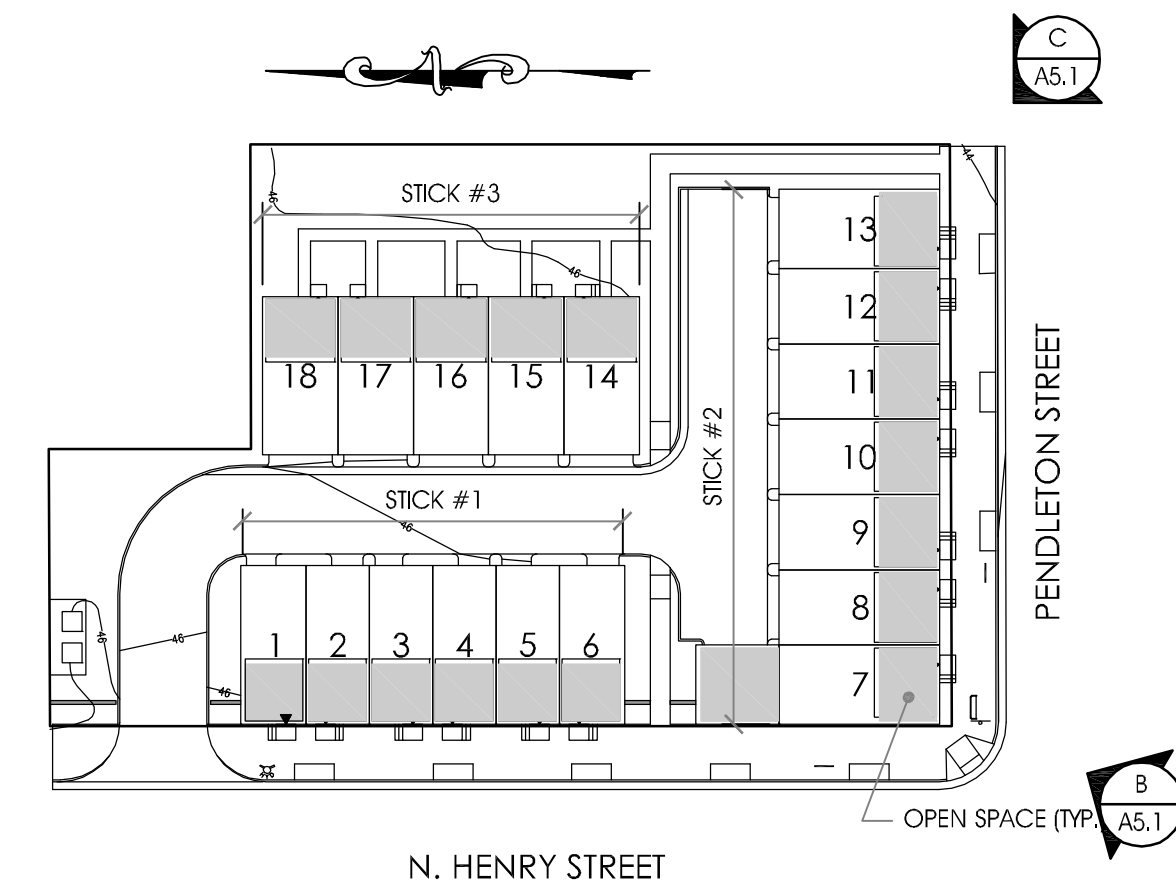
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CONCEPT RENDERING - VIEW-2
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CONCEPT RENDERING - VIEW-1
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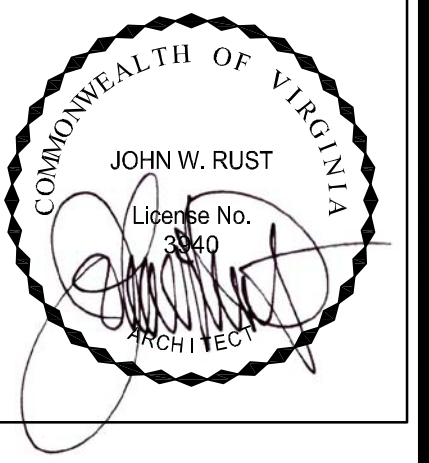


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RENDERINGS

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