

BAR Meeting  
September 16, 2015

**ISSUE:** Permit to Demolish/Capsulate and Certificate of Appropriateness (dormers)  
**APPLICANT:** Deborah & Kenneth Cureton  
**LOCATION:** 119 Queen Street  
**ZONE:** RM / Residential

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**STAFF RECOMMENDATION**

Staff recommends approval of the Permit to Demolish/Capsulate and the Certificate of Appropriateness as submitted.

**GENERAL NOTES TO THE APPLICANT:**

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits



BAR2015-00224 & BAR2015-00225



**Note:** Staff coupled the reports for BAR #2015-0224 (Permit to Demolish/Capsulate) and BAR #2015-0225 (Certificate of Appropriateness) for clarity and brevity. This item requires a roll call vote.

## **I. ISSUE**

The applicant is requesting approval of a Certificate of Appropriateness and a Permit to Demolish/Capsulate in order to construct front and rear dormers at 119 Queen Street. The project requires the demolition of a 12' x 7' (168 square feet) portion of both the front and rear roof slopes to accommodate the new dormers.

Both shed-style dormers will have three six-over-six, double-hung windows. The center window on the front dormer will project beyond the flanking windows, while on the rear elevation the center window will be slightly inset. The materials on the dormer will be smooth Hardie brand fiber cement plank siding and trim, and the roof will be clad with standing seam metal to match the existing roof.

The rooftop HVAC condenser will be located adjacent to the existing chimney and two skylights will be located on the flat portion of the roof. It is not likely that the condenser will be visible from the public right-of-way.

The proposed double-glazed, aluminum clad wood windows on all of the dormers will be manufactured by Lincoln (Quantum Series) and will have simulated divided lights with 7/8" muntins. The dormer materials will be painted to match the existing color scheme on the townhouse.

## **II. HISTORY**

The three-and-a-half story, three-bay, brick townhouse at 119 Queen Street is one of a group of 86 three-story brick townhouses bounded by North Union, North Lee, Queen and Oronoco Streets which were approved by City Council in 1968 (Special Use Permit #1084) and constructed in **1971**. At the time the area was developed it was not within the boundaries of the Old and Historic Alexandria District, but it was added to the district in June of 1984. BAR Staff could not locate any prior approvals for the subject property.

## **III. ANALYSIS**

The proposed dormers comply with Zoning Ordinance requirements.

### **Permit to Demolish/Capsulate**

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, Sec. 10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?

- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

Although the area proposed for demolition is visible from Queen and North Lee Streets, Staff does not find that the proposed demolition compromises the overall integrity of this 1970s townhouse. The townhouse is a successful background building without obvious individual historical interest or uncommon architectural merit. In the opinion of Staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted.

### **Certificate of Appropriateness**

Many alterations, including dormers, rooftop decks and bay windows, were made to the townhouses in this development during the 13 years between when they were first constructed in 1971 and when they were added to the historic district in 1984. Some alterations were also very likely made after that date without BAR approval. During the past several years the Board has reviewed a number of substantial alterations and additions to the townhouses within this development. Some seemingly minor alterations were very controversial with neighbors and the appearance of other completed projects did not turn out as well as the BAR might have hoped based on the drawings. These alterations have included rear additions, roof-top decks, and new dormers for residents seeking additional living space and expansive waterfront views from converted attics. As these are not historic buildings, alterations to these dwellings is not a preservation issue and the BAR's primary role is ensuring general architectural compatibility with the existing structure, the immediate neighbors, and maintaining the overall character of the historic district. The nearest historic buildings of significance are around the Crilley Warehouse on N. Lee Street, so this dormer should be no adverse visual effect on nearby buildings of historic merit.

The stylistic characteristics of the proposed dormers do not mirror those of the mid-20th century Colonial Revival style of the dwellings. The chapter on Colonial Revival dwellings in the 2003 edition of Virginia & Lee McAlester's *A Field Guide to American Houses* shows shed dormers only on Gambrel roof forms, where they may be easily integrated into the upper roof slope, such as the Ramsey House visitors center. Every other roof type shown in the Field Guide utilizes a hip or gable dormer. Shed dormers are far more typical of early 20<sup>th</sup> century Craftsman style bungalows, of which there are very few in Old Town. For this reason, the BAR's 1993 *Design Guidelines* states that: "Shed dormers are strongly discouraged." The BAR has, therefore, routinely approved shed dormers on the rear of buildings throughout the district because they were minimally visible but has strongly discouraged shed dormers on the front facades of



historic buildings or of Colonial Revival style buildings, favoring individual hip or gable roofed dormers whose placement related to the composition of the fenestration below.

Nevertheless, shed type dormers have been constructed and occasionally approved by the BAR in this particular development so, as a practical matter, it is too late to close the door on the use of this form in this development. The subject property will be one of 18 townhouses in this development with a large front dormer. Staff is concerned, however, that shed dormers constructed here not become a precedent for approval on new or historic buildings in other parts of the district.

The BAR approved the nearby contemporary style dormer at 125 Queen Street in 1999 (BAR Case #1999-0115; figure 1). Most recently, the BAR approved the demolition of three single roof dormers for the installation of a single, triple-window, shed-roof dormer at 101 Princess Street (BAR Case #2011-0367, March 7, 2012; Figure 2).



**Figure 1:** Obstructed view of 125 Queen St. dormer



**Figure 2:** Front dormer window at 101 Princess St.



Figure 3: 105 Quay



Figure 4: 400 block of North Union St.

The rear dormer will be minimally visible from North Lee Street and the front dormer will be visible from both Lee and Queen Streets. The proposed new dormers will utilize synthetic materials, such as Hardie plank brand fiber cement siding and trim. While the *Design Guidelines* cite a preference for authentic materials, Staff has no objection to the use of the synthetic materials in this case as the dormer will not be accessible to the public and will be viewed from a distance. Further, it is the general practice of the Board to permit the use of modern and sustainable materials on new additions and new construction, particularly dormers where the elevated location makes maintenance more difficult. The applicant also proposes, and staff supports, the proposed Lincoln aluminum clad, simulated divided light windows, as the Board's *Window Policy* supports the use of aluminum clad wood, wood composite or fiberglass windows on buildings constructed after 1969.

Staff reluctantly supports the proposed dormer as it is consistent with dormers regularly approved by the BAR for attic conversions on the late 20<sup>th</sup> century townhouses in this particular development in the historic district. Should the BAR approve a shed dormer on the front of this townhouse, Staff asks that the Board provide guidance in the motion that differentiates the use of shed dormers on these dwellings from other buildings in the historic district.

### **STAFF**

Stephanie Sample, Historic Preservation Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

#### **IV. CITY DEPARTMENT COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F- finding

##### **Code Administration**

No comments received.

##### **Transportation & Environmental Services**

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

**Archaeology Findings**

There is low potential for significant archaeological resources to be disturbed by this project. No archaeological action is required.

**V. ATTACHMENTS**

*1 – Supporting Materials*

*2 – Application BAR2015- 0224 & BAR2015-0225 at 119 Queen Street*





## DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

**A. Property Information**

A1. Street Address 119 Queen St. Zone \_\_\_\_\_

A2. 1318 x 1977 = 1977  
 Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

**B. Existing Gross Floor Area**

Existing Gross Area*		Allowable Exclusions	
Basement	261	Basement**	261
First Floor	373.5	Stairways** 2(24)	102
Second Floor	634.5	Mechanical**	
Third Floor	634.5	Other**	634.5
Porches/ Other Attic	634.5	Total Exclusions	997.5
Total Gross *	2538		

B1. Existing Gross Floor Area \*  
2538 Sq. Ft.

B2. Allowable Floor Exclusions\*\*  
997.5 Sq. Ft.

B3. Existing Floor Area minus Exclusions  
1540.5 Sq. Ft.  
 (subtract B2 from B1)

**C. Proposed Gross Floor Area (does not include existing area)**

Proposed Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Other**	
Porches/ Other Domes	156.22	Total Exclusions	0
Total Gross *	156.22		

C1. Proposed Gross Floor Area \*  
156.22 Sq. Ft.

C2. Allowable Floor Exclusions\*\*  
0 Sq. Ft.

C3. Proposed Floor Area minus Exclusions  
156.22 Sq. Ft.  
 (subtract C2 from C1)

**D. Existing + Proposed Floor Area**

D1. Total Floor Area (add B3 and C3) 1696.72 Sq. Ft.

D2. Total Floor Area Allowed by Zone (A2) 1977 Sq. Ft.

\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

**F. Open Space Calculations**

Existing Open Space	
Required Open Space	
Proposed Open Space	

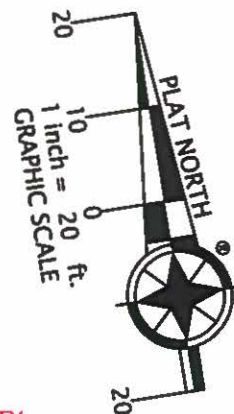
No change

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

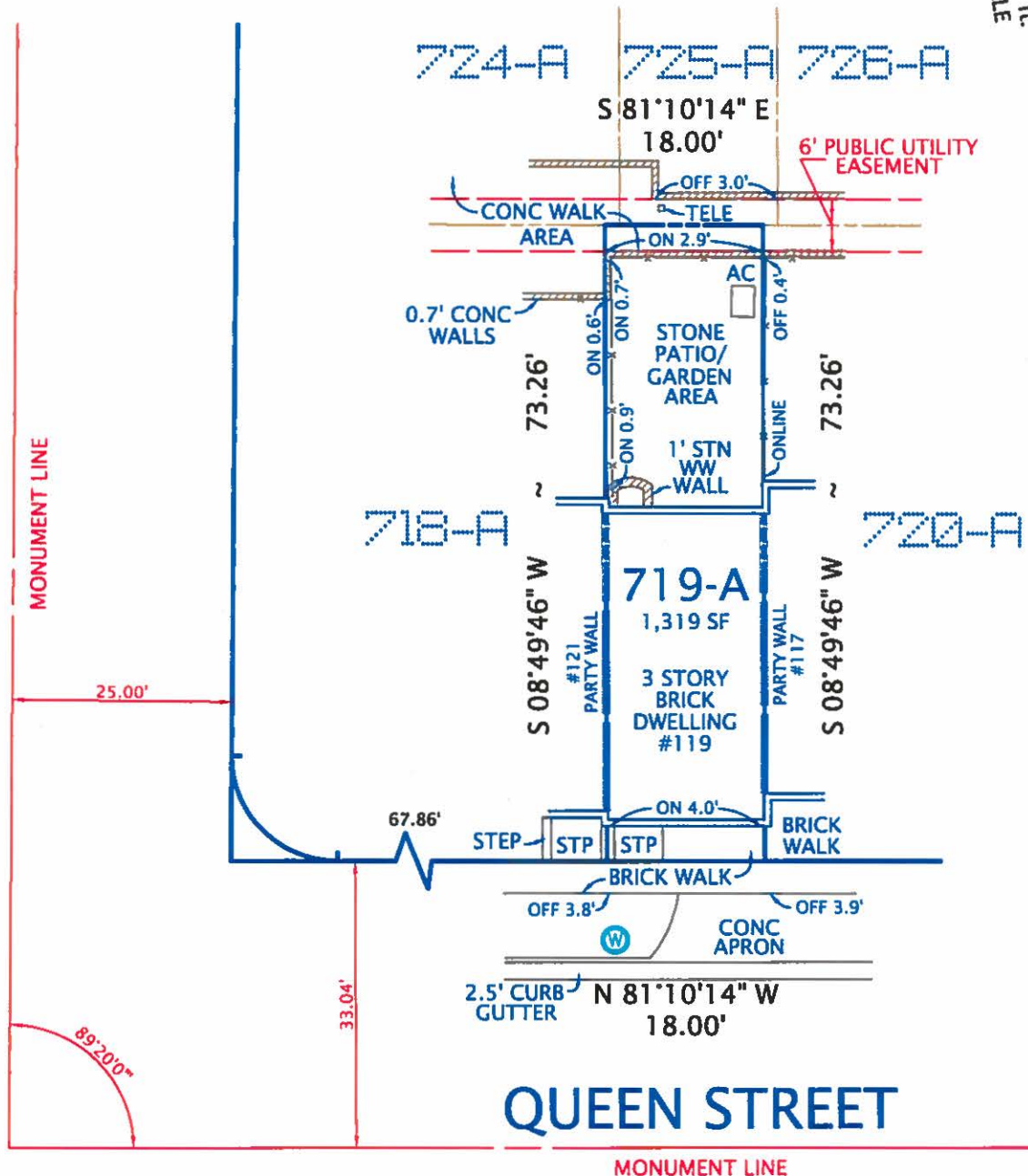
Signature: \_\_\_\_\_

Date: Aug. 12, 2015

NOTES: 1. FENCES ARE FRAME.  
2. UTILITIES ARE UNDERGROUND.



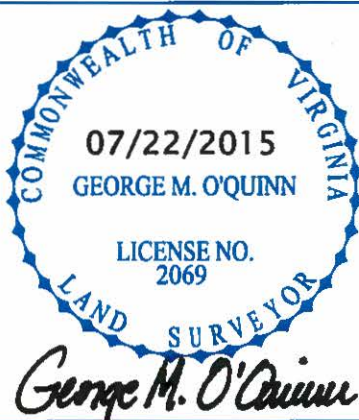
NORTH LEE STREET



PLAT  
SHOWING HOUSE LOCATION ON  
LOT 719-A, SECTION THREE  
OF A RESUBDIVISION OF  
LOTS 615 THRU 620, 624  
THRU 626 & LOT 688-A &  
RELOCATION OF 10' PUBLIC UTILITY ESMT  
**OLD TOWNE**  
(DEED BOOK 719, PAGE 315)  
**CITY OF ALEXANDRIA, VIRGINIA**  
SCALE: 1" = 20' JULY 22, 2015

I HEREBY CERTIFY THAT THE POSITIONS OF  
ALL THE EXISTING IMPROVEMENTS HAVE BEEN  
CAREFULLY ESTABLISHED BY A CURRENT FIELD  
SURVEY AND UNLESS SHOWN THERE ARE NO  
VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO  
RESTRICTIONS OF RECORD.  
A TITLE REPORT WAS NOT FURNISHED.  
NO CORNER MARKERS SET.



ORDRED BY:

CURETON  
ACE DESIGNS



**DOMINION**

Surveyors  
Inc.®

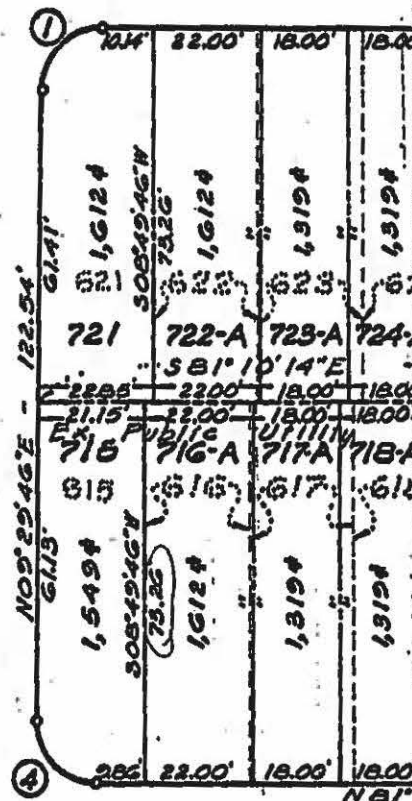
8808-H PEAR TREE VILLAGE COURT  
ALEXANDRIA, VIRGINIA 22309  
703-619-6555  
FAX: 703-799-6412

# Curve Table

NA	Radius	Delta	Arc	Tan	Chord	Ch. Bearing
1.	12.00'	89°20'00"	18.71'	11.86'	16.87'	N54°09'46"E
2.	12.00'	90°40'00"	18.99'	12.14'	17.07'	S35°50'14"E
3.	12.00'	89°20'00"	18.71'	11.86'	16.87'	S54°09'46"W
4.	12.00'	90°40'00"	18.99'	12.14'	17.07'	N35°50'14"W

QU

Lee Street  
50' R/W



## Owner & Developer

Lawrence N. Brandt et ux  
4201 Conn. Ave. N.W.  
Washington, D.C. 20008  
D.B. GSG Pg. 441

QU

## Notes:

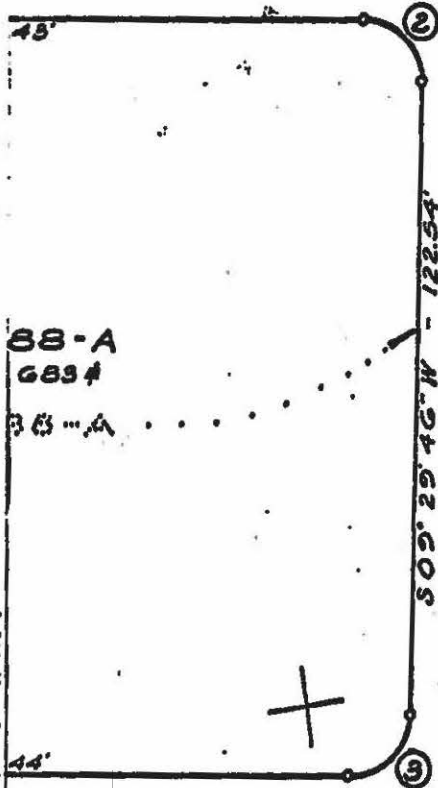
1. The property delineated on this plat is located on Assessment Map NR150 and is zoned RM.
2. This property is subject to River Flooding up to 15.0' low water datum.







f



Union Street 50' R/W

Alexandria City Code, 1963 as amended, Sec. 34-14(5)  
 "Approval of a final plat shall be null and void if the plat is not recorded within ninety (90) days after date of approval..."  
 Approval of this plat shall be null and void after April 27, 1970

<b>APPROVED</b>	
CITY PLANNING COMMISSION	
ALEXANDRIA, VA.	
1-21-71	<i>Richard E. Sumrell</i> CHAIRMAN
1-21-71	<i>Richard E. Sumrell</i> DATE DIRECTOR OF PLANNING

ee f

**Plat Showing**  
**A Resubdivision of**  
**Lots G15 thru G20,**  
**G21 thru G26 & Lot 68B-A**  
**& Relocation of 10' Public**  
**Utility Easement**  
**Section Three**  
**Old Towne**

City of Alexandria, Virginia  
 Scale: 1" = 30' Dec. 1970  
**Dewberry, Nealon & Davis**  
 Engineers - Planners - Surveyors  
 8411 Arlington Blvd., Fairfax, Va.

d Correct

*P. Nealon*  
 and Surveyor

R.P.B.

## Presenting Lincoln's New Quantum Series Double Hung!

Designed for your commercial or historical project, the Quantum Series double hung window is based on a very substantial 5 1/2" jamb. The heavy frame creates a platform perfect for the very large sizes demanded by today's commercial architecture.

Distinction Quantum Series double hungs feature a .050 extruded aluminum frame and sash available in a broad spectrum of classic and contemporary colors. For a more time-honored approach, choose the paintable Traditions Collection or Lincoln's Luxury Collection natural exterior wood product.

### Unique Quantum Series features and benefits:

Feature	Benefit
Heavy 5 1/2" frame depth	Provides strong support for very large window sizes
Maximum size of 60" X 120"	Massive 5' X 10' size will accommodate nearly any opening
Tested size 54" X 96"	Light Commercial Performance Grade 25 (LC-PG25)
Surface mounted hardware	Four durable colors: Coppertone, White, Bronze or Brite Brass
Thick 1 3/4" sash dimension	Wide checkrail will accept alternate hardware
7/8" Glass thickness	Available with all Lincoln high performance glazing options
Double block & Tackle balance	Balance system engineered for heavy oversized sash
Historical 3 1/4" bottom rail	Architecturally accepted rail preserves traditional style
Matching studio picture unit	Complementing sill and sash details with matching site lines
Revitalize replacement sash kit	Alternative 4 3/4" sash pocket option used when existing frame is sound
High 14 Degree sill angle	Water is directed away from window interior, important for sizable openings
Compression style jamb liner	Weather resistant jamb liner offer tilt-in sash for cleaning by firmly depressing each side while gently pulling sash inward
Mortise and Tenon sash	Strong sash joinery with pleasing exterior cosmetics

The Quantum Series differentiates itself by being the largest operating window in the Lincoln product lineup and is completely incorporated in our 'continuity of design' thought process. Designers will enjoy matching specific options (grilles, glass, hardware and trim) through the entire project scope of products.

What does that mean?

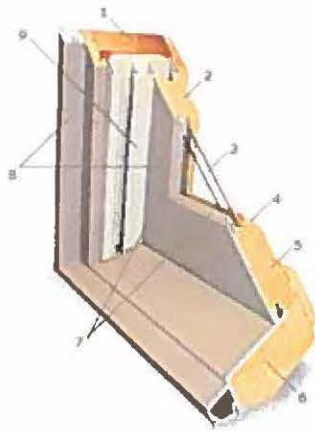
Doors, special shapes and other window choices will all compliment each other.

APPLICATION MATERIALS  
BAR2015-00224/00225  
119 Queen St  
7/17/2015

**Common Lincoln product attributes:**

Feature	Benefit
6 interior wood species	Standard Pine or optional Oak, Fir, Cherry, Alder, Mahogany
Primed and First Finish interior	One or two coats of primer prep the product for paint
Updated Litebuilder software	Fast, accurate and descriptive customer pricing
Extruded .050 frame/sash cladding	Distinction collection aluminum clad in 8 Standard colors, 38 feature colors, 7 spray-on anodized or custom color match option
Optional AAMA 2605 paint	Higher performance paint option for harsh environments
Popular Simulated Divided Lite, GBG internal grills and wood removable grilles	Three popular sizes SDL sizes (mill or bronze shadow bar) measuring 7/8", 1 1/8" and 2". GBG grilles (11/16") are profiled for aesthetics and strength. Wood interior grilles are 5/8", 7/8", 1", 1 1/8" and 1 1/2".
BetterVue/UltraVue Screens	Finer fiberglass mesh for clearer view and improved air flow.
3MM double-strength glass	Energy efficient LowE 366/Neat, Low E2 and Dual LowE options
Low Maintenance and Specialty glass	Neat & Preserve, Tinted, Patterned, Laminated and Tempered glazing
Extruded Aluminum Exterior Trim	2" Brickmold, 4" Brickmold and 4" Flat casing
cPCV Exterior casing options	Trim options include standard brickmold, 3" flat casing, Williamsburg, 4 1/2" backband and custom flat casing.
Primed Frame w/clad sash	Create an Innovations Collection unit.
Interior glazing bead	Profiled interior bead design with exterior sash-to-glass sealant
Wood head parting stop	Clean looking wood ready to take stain or paint

Add the tough Quantum Series double hung to your next blueprint and enjoy a window supported by a Lincoln warranty that is as strong as our products!



1. 5-1/2" jamb.
2. 1-3/4" thick sash
3. 7/8" warm edge insulating glass.
4. Interior glazing bead.
5. Historical 3-1/4" bottom rail.
6. 1-7/32" thick sill with 14° sill angle.
7. Mortise and tenon sash with putty-glazed style.
8. .050 extruded aluminum on sash and frame. Wood units have primed sash on the exterior with wood sill nosing and cPVC sill, blindstops and brickmould.
9. Heavy foam-backed PVC jambliners with four block and tackle balances per sash.

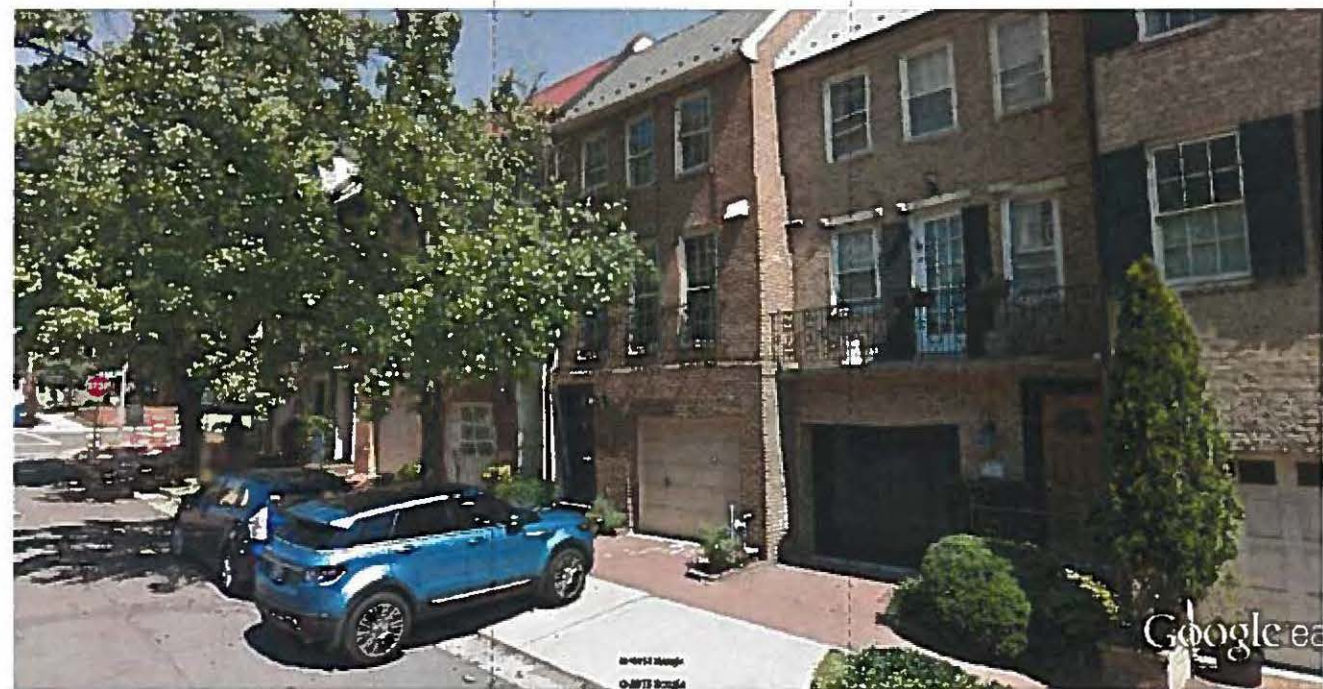
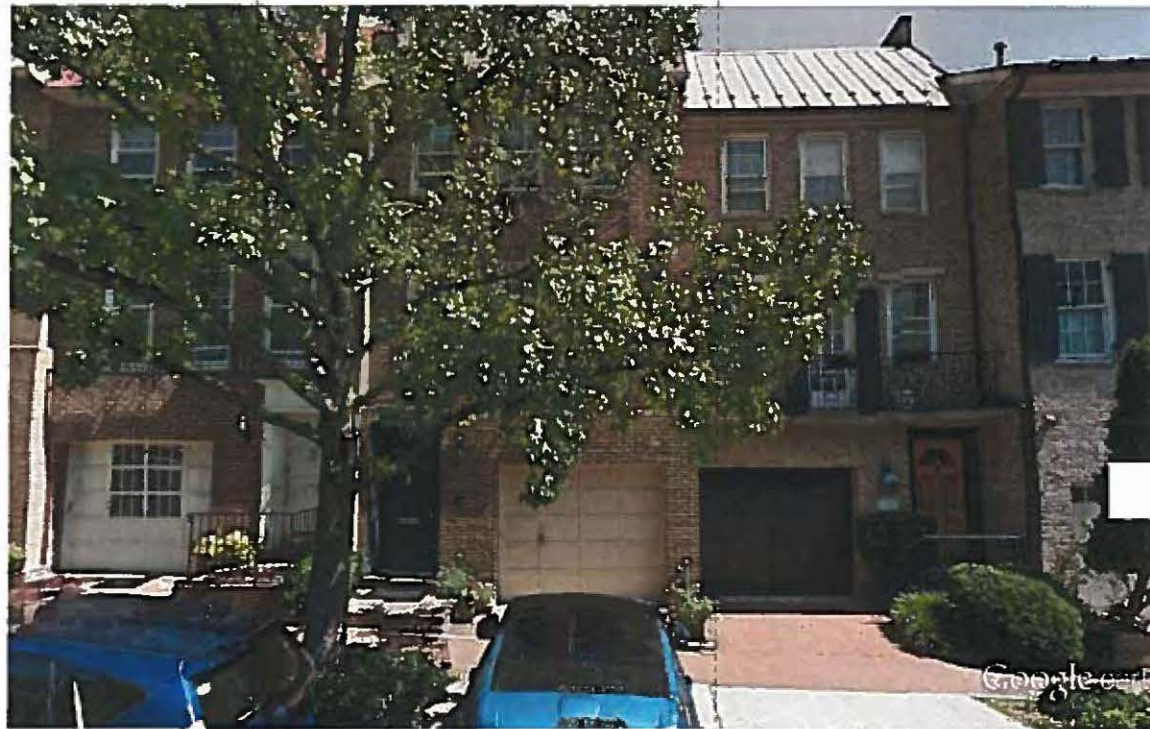
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APPLICATION MATERIALS  
 BAR2015-00224/00225  
 119 Queen St  
 7/17/2015





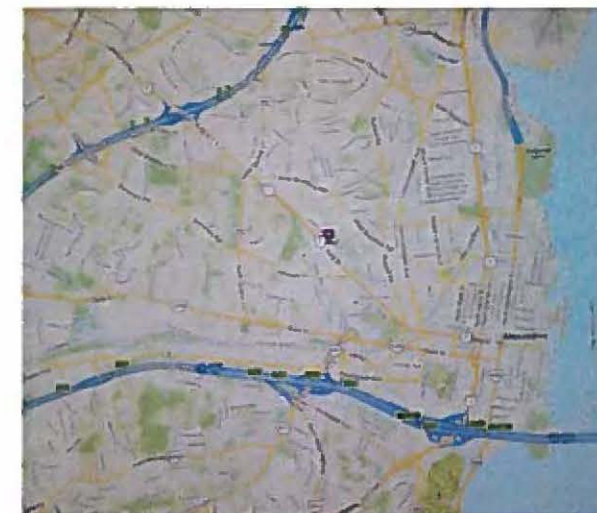
# Interior Renovations and Upgrades For The Residence of **Ken and Debbie Cureton** 119 Queen Street Alexandria, Virginia 22314

## GENERAL NOTES

1. EMERGENCY EGRESS WINDOWS SHALL BE IN ACCORDANCE WITH SECTION 903.1 OF THE 2009 IRC.
2. MAXIMUM HEIGHT OF EMERGENCY EGRESS WINDOWS TO BE 44" IN CONFORMANCE WITH 2009 INTERNATIONAL RESIDENTIAL CODE (IRC).
3. MAXIMUM RISER HEIGHT SHALL BE 7 3/4" AND MAXIMUM TREAD 10" FOR ALL STAIRWAYS HANDRAIL PROTECTION SHALL BE PROVIDED PER 2009 IRC.
4. ROOF SHINGLES TO BE INSTALLED PER 2009 IRC.
5. PRESTRESSING SHALL BE PROVIDED PER 2009 IRC.
6. ROOF VENTING SHALL BE INSTALLED PER 2009 IRC.
7. GUARDRAIL HEIGHTS TO BE 36" MIN. ACCORDING WITH 2009 IRC.
8. PROVIDE GALVANIZED HALL TIES IN ACCORDANCE WITH 2009 IRC.
9. ALL GLAZED AREAS SUBJECT TO HUMAN IMPACT SHALL BE SAFETY GLASS IN CONFORMANCE WITH SECTION 905 OF THE 2009 IRC.
10. ALL PRELAP TO BE UL RATED AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND 2009 IRC.
11. ALL FOOTINGS TO BE EXTENDED AT LEAST 30 INCHES BELOW FINISH GRADE PER 2009 IRC.
12. ALL FRAME BEARING WALLS TO CONFORM WITH 2009 IRC.
13. PROVIDE WALL BRACING IN ACCORDANCE WITH 2009 IRC USING EITHER CONTINUOUS DIAGONAL BRACING OR APPROVED 4x8 SHEATHING PANELS APPLIED VERTICALLY.
14. PROVIDE FOUNDATION ANCHORAGE IN ACCORDANCE WITH 2009 IRC.
15. ALL TRUSSES, BRACINGS, AND MICRO-LAM BEAMS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS AND 2009 IRC.
16. PLYWOOD USED FOR FLOOR AND ROOF SHEATHING SHALL CONFORM TO 2009 IRC.
17. PROVIDE FLASHING AS REQUIRED PER 2009 IRC.
18. PROVIDE SMOKE DETECTORS ON EVERY STORY INCLUDING THE BASEMENT OF EACH DWELLING UNIT AND IN ALL BEDROOMS. THE DETECTORS SHALL BE FIRED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNITS PER 2009 IRC.
19. SKYLIGHTS: SKYLIGHTS MAY BE GLAZED WITH ANY OF THE FOLLOWING MATERIALS SUBJECT TO THE NOTED LIMITATIONS AS SPECIFIED IN 2009 IRC: LAMINATED GLASS, FUSED GLASS, ANNEALED GLASS, HEAT STRENGTHENED GLASS, TEMPERED GLASS, GLASS BLOCK AND LIGHT TRANSMITTING PLASTIC.
20. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND ALL FIELD CONDITIONS PRIOR TO CONSTRUCTION AND COMMUNICATE TO THE ARCHITECT ANY DISCREPANCIES WITH THESE DRAWINGS.

## Existing & Proposed Structure

3 Finished Floor Levels and Full Attic	4 Finished Floor Levels and Sitting Room
2 Bedrooms	3 Bedrooms
2 1/2 Bathrooms	3 1/2 Bathrooms
1 Car Garage	1 Car Garage
Total ..... 1887 SF	Total ..... 2516



## VICINITY MAP

APPLICATION MATERIALS  
BAR2015-00224/00225  
119 Queen St  
7/17/2015

DESIGNER: Michael Diggs  
ADDRESS: 4037 Cressida Place  
Co. & State: Lakeridge, VA 22192  
EMAIL ADDRESS: MichaelDiggs52@gmail.com

Ken and Debbie Cureton  
119 Queen Street  
Alexandria, Virginia 22314

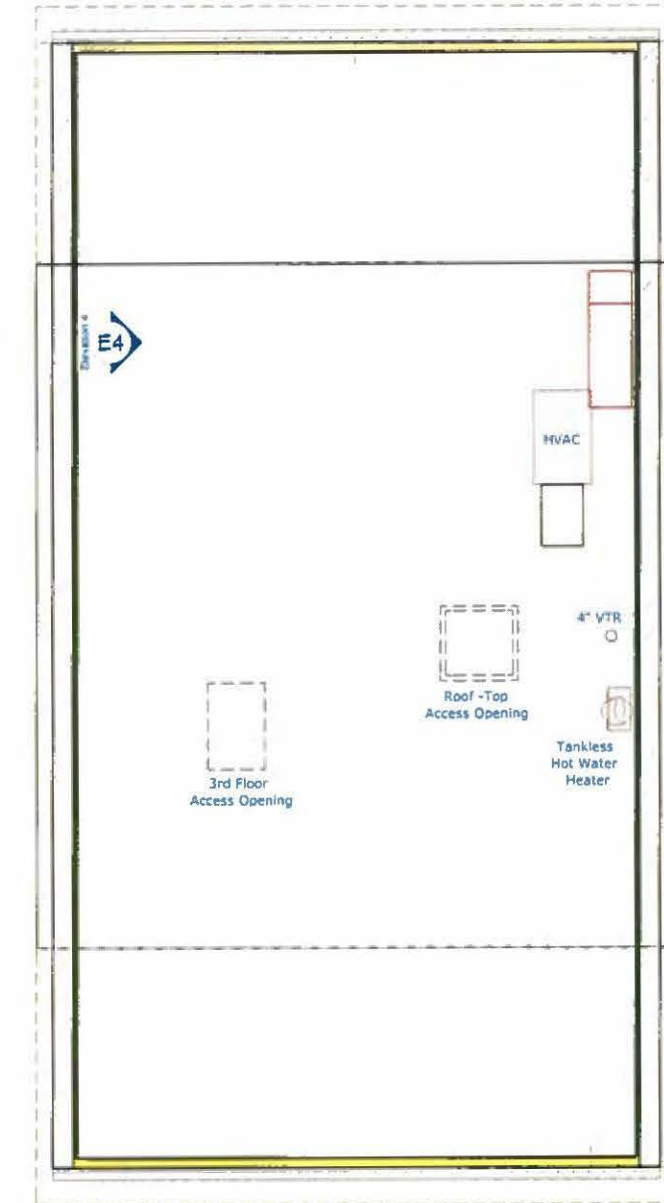
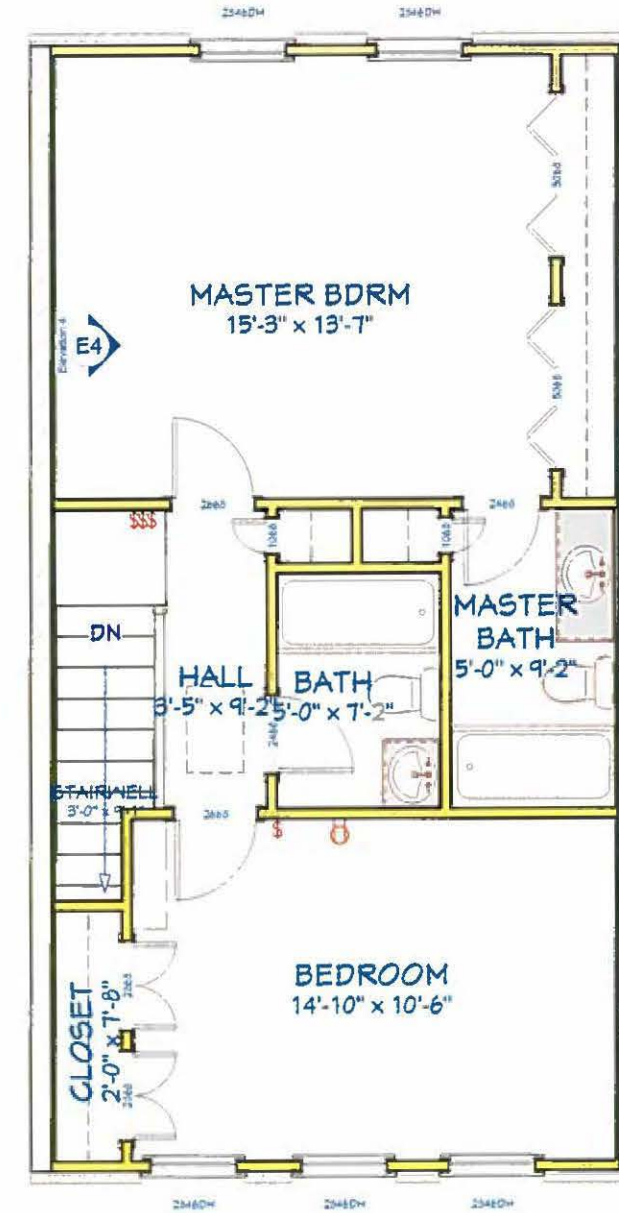
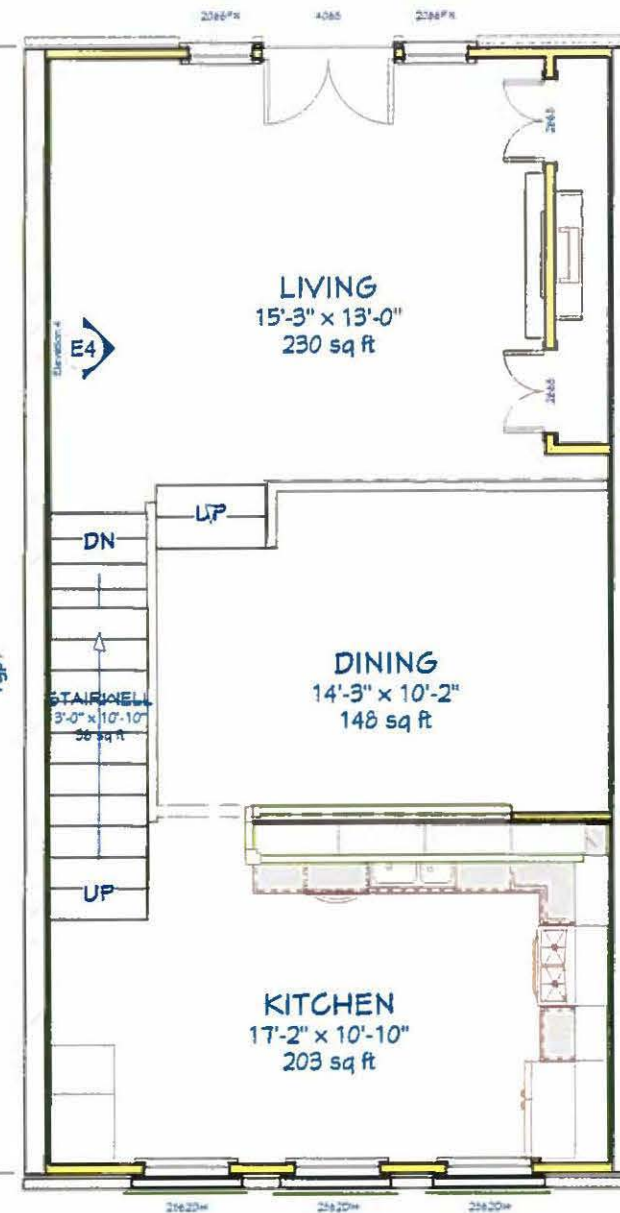
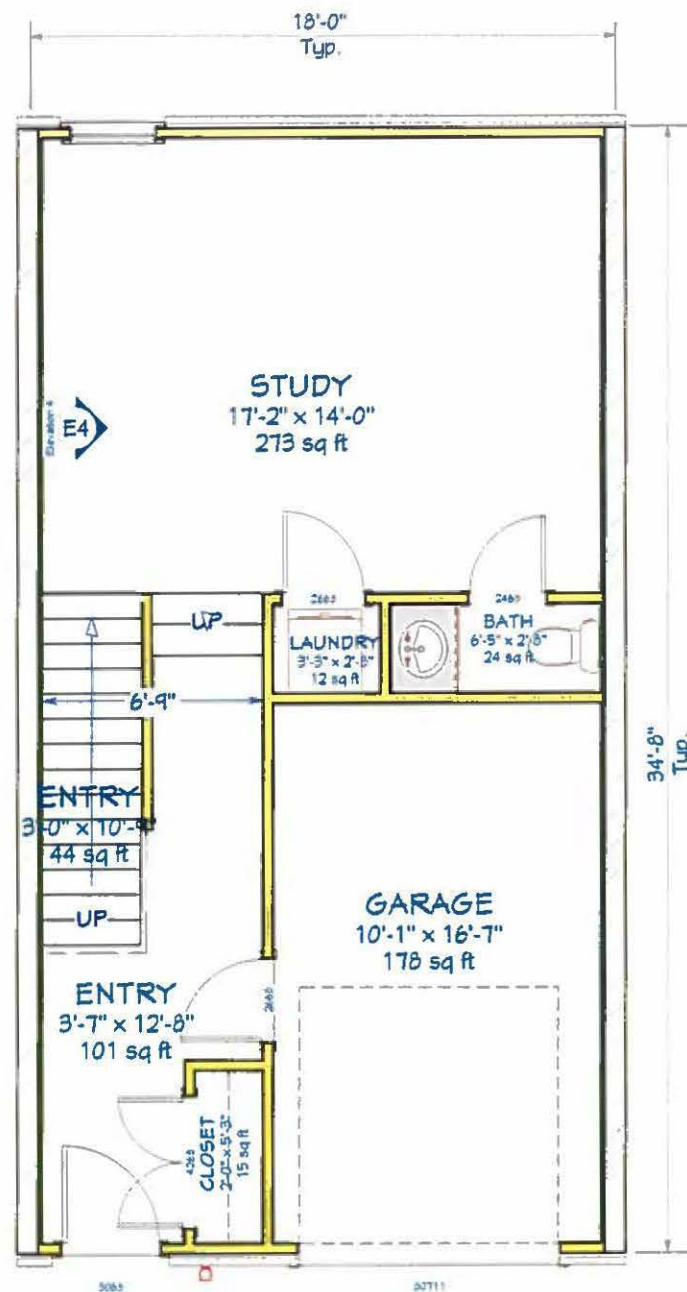
Elite Contractors Services, Inc.  
7223 Poplar Street  
Annandale, Virginia 22003  
(703) 801-9564

DATE:  
5/18/2015

SCALE:

SHEET:  
**A-1**



[illegible]

**Ken and Debbie Cureton**  
119 Queen Street  
Alexandria, Virginia 22314

DRAWINGS PROVIDED BY: **WJD**  
**Elite Contractors Services, Inc.**  
7223 Poplar Street  
Annandale, Virginia 22003  
(703) 801-9564

DATE:

7/8/2015

SCALE:

**SHEET:**

**A-2**

APPLICATION MATERIALS  
BAR2015-00224/00225  
119 Queen St  
7/17/2015



Existing Section Thru Residence

APPLICATION MATERIALS  
 BAR2015-00224/00225  
 119 Queen St  
 7/17/2015

NO.	DESCRIPTION	BY	DATE

**Ken and Debbie Cureton**  
 119 Queen Street  
 Alexandria, Virginia 22314

DRAWINGS PROVIDED BY: HJD  
**Elite Contractors Services, Inc.**  
 7223 Poplar Street  
 Annandale, Virginia 22003  
 (703) 801-9564

DATE:

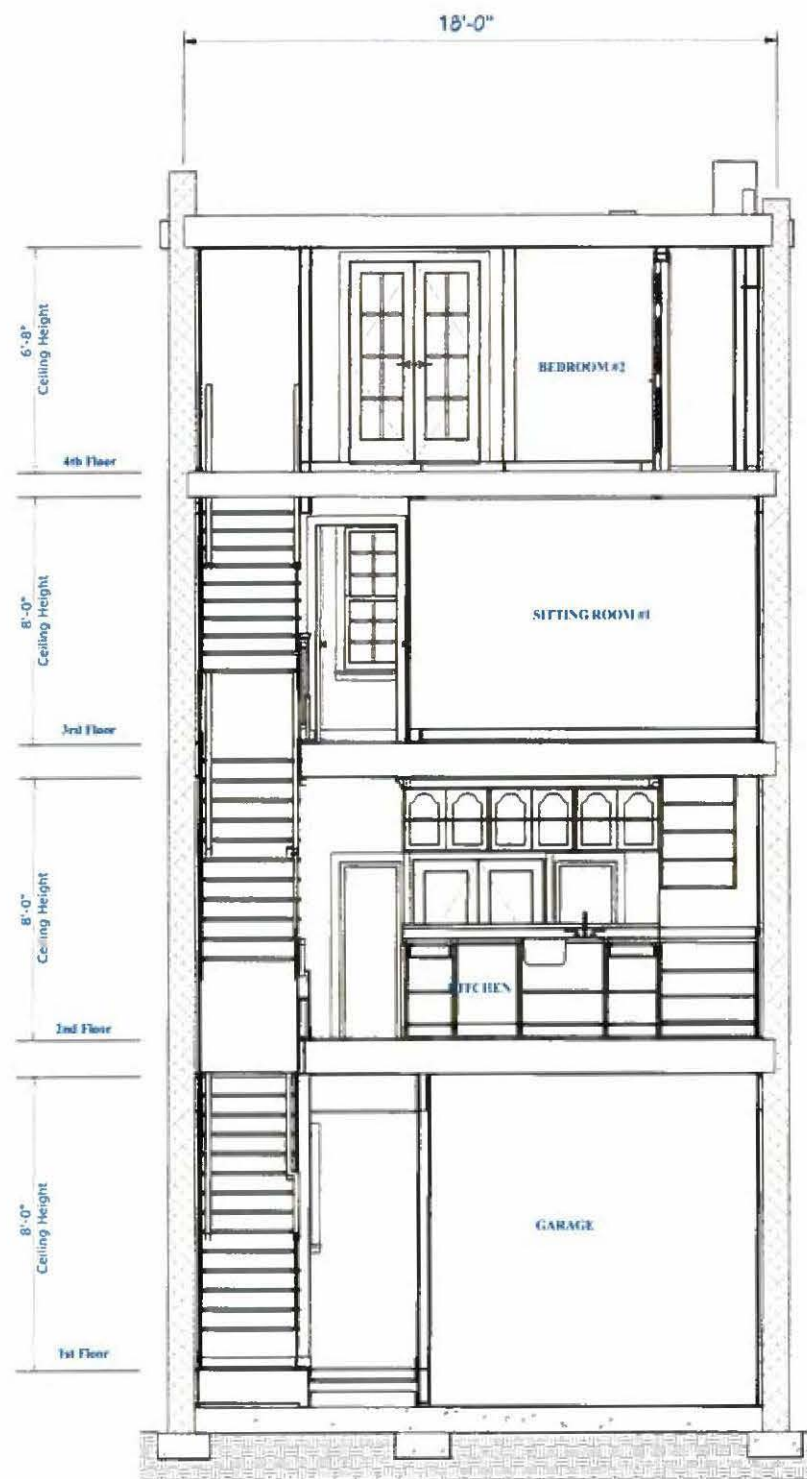
4/6/2015

SCALE:

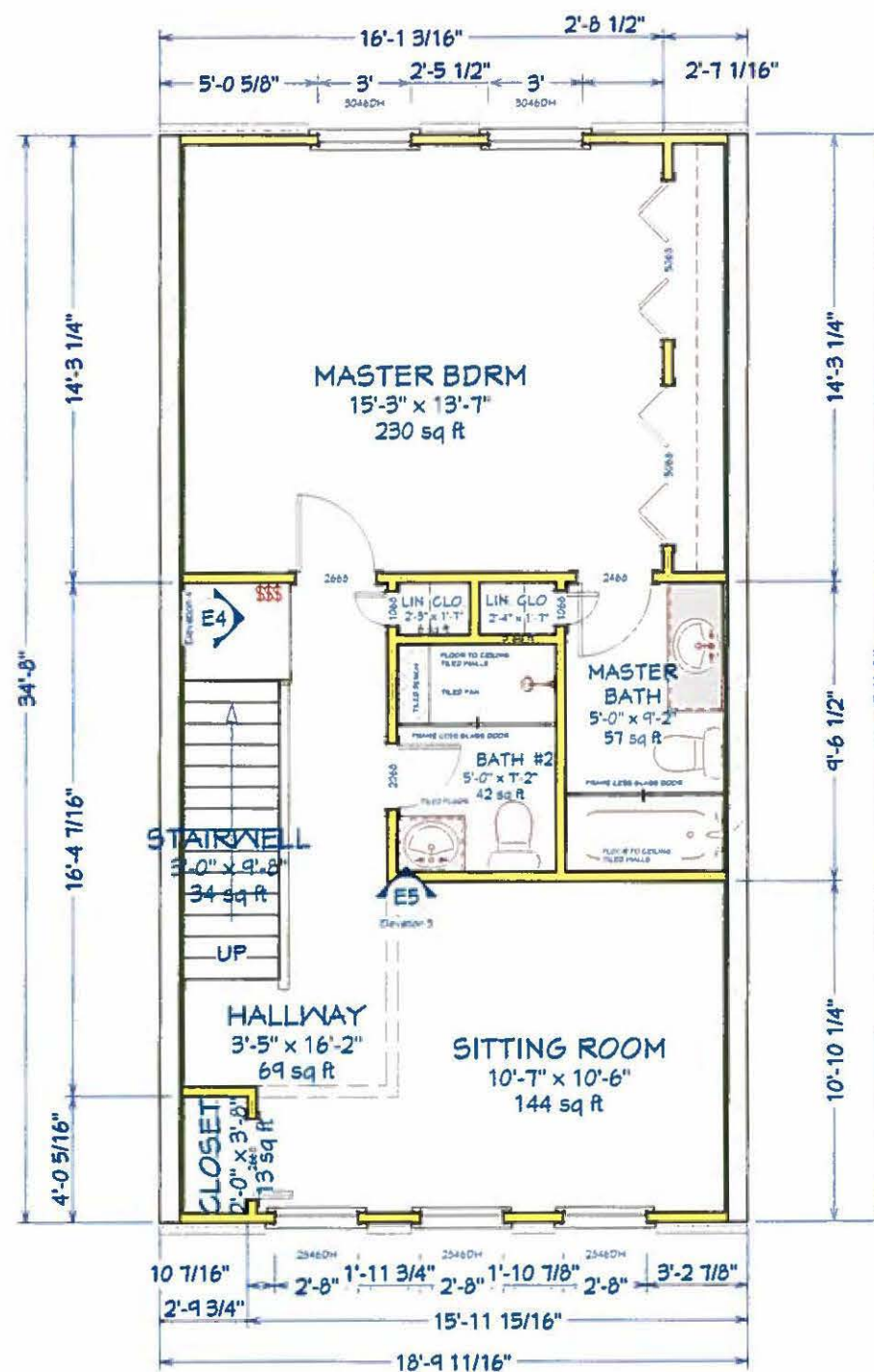
SHEET:

**A-3**

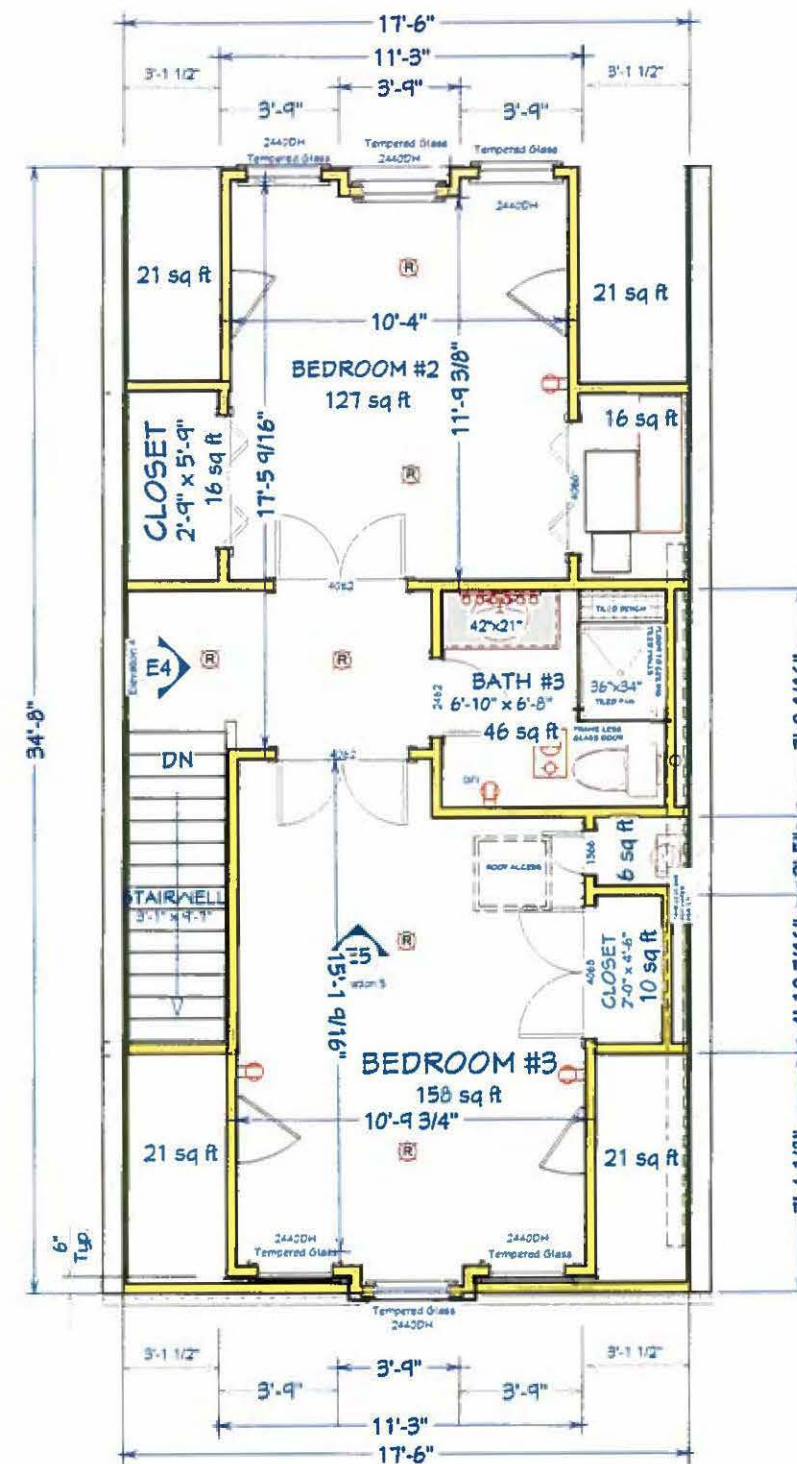




**Proposed Left to Right Section**



**Proposed 3rd Floor - Floor Plan**



**Proposed 4th Floor - Floor Plan**

APPLICATION MATERIALS  
BAR2015-00224/00225  
119 Queen St  
7/17/2015

Proposed Left to Right Section  
Proposed 2nd & 3rd Floor  
Floor Plans

**Ken and Debbie Cureton**  
119 Queen Street  
Alexandria, Virginia 22314

DRAWINGS PROVIDED BY: **N30**  
**Elite Contractors Services, Inc.**  
7223 Poplar Street  
Annandale, Virginia 22003  
(703) 801-9564

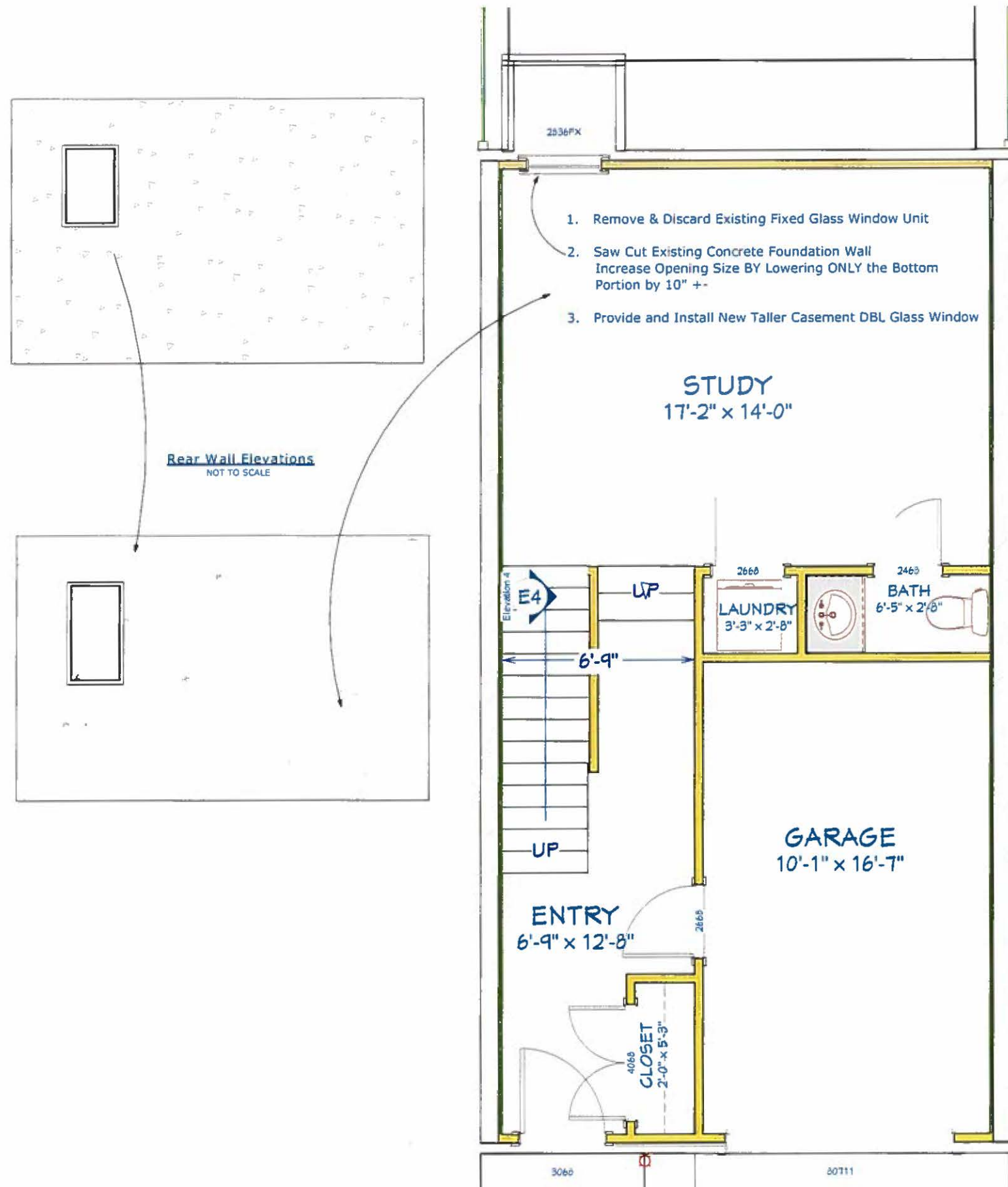
DATE:  
7/8/2015

SCALE:

SHEET:

**A-4**





Existing 1st Floor - Floor Plan

Design Criteria Notes:

- All new headers are to be Dbl 2x10 Header unless otherwise noted. All framing lumber used shall be #2 eastern pine
- This project is designed to meet and exceed needs under the 2009 VRC Codes
  - A) Snow Loads (25 psf)
  - B) Roof ..... 30 psf (live) + 17 (dead)
  - C) Floors ..... 40 psf (live) + 10 psf (dead)
  - D) Design Wind Speed ..... 90 mph/ 3 seconds gust
  - E) Minimum footer depth of 24" or on solid bearing soil was reached
  - F) Presumptive soil bearing capacity is 1500 psi at 28 days
  - G) Ice Shield underlayment required YES
  - H) Earthquake spectral response acceleration at short periods: 0.16 at 1 second period 0.053
  - I) Residential Seismic Design Category B
  - J) Weathering Probability for Concrete (severe)
  - K) Termite Infestation Probability (moderate to severe)
  - L) Decay Probability (slight to moderate)
  - M) Winter Design Temperature 17 degrees F
  - N) Mean Annual Temperature 50 degrees F
  - O) Air Freeze index < 1500 degrees F
  - P) Flood hazards (date of entry into National Flood Insurance Program) 3/5/1990
  - Use Group R5 Construction Type is VB Construction Type
- Smoke detectors shall be installed in each bedroom, outside of bedrooms in hallways and on each level of the home. Smoke detectors shall be hard wired and interconnected to each other and have battery back-up.
- Ice Shield Membrane Underlayment to be placed at all roof edges, valleys and ridge points.

DESIGN VALUES:

Elements	New Homes, Additions	Sunrooms
U-factor		
Windows/Doors	0.35	0.50
Doors	0.35	0.50
Skylights	0.60	0.75
R-value		
Ceiling	49	19
Walls (wood framed)	13	13
Walls (concrete, CMU)	5/10 <sup>1</sup>	5/10 <sup>1</sup>
Floors	19	19
Basement Walls	10/13 <sup>2</sup>	10/13 <sup>2</sup>
Slab-on-grade	10	10
Crawl Space Walls	10/13 <sup>2</sup>	10/13 <sup>2</sup>

Existing 2nd Floor  
Totally Not Affected

APPLICATION MATERIALS  
BAR2015-00224/00225  
119 Queen St  
7/17/2015

DATE	
BY	DATE
DESCRIPTION	
NO.	

Ken and Debbie Cureton  
119 Queen Street  
Alexandria, Virginia 22314

DRAWINGS PROVIDED BY: MJO  
Elite Contractors Services, Inc.  
7223 Poplar Street  
Annandale, Virginia 22003  
(703) 801-9564

DATE:  
5/17/2015

SCALE:

SHEET:  
A-5



New HVAC System Equipment List

Reclaim existing refrigerant from existing system according to EPA standards and guidelines  
Remove and discard existing HVAC system hardware

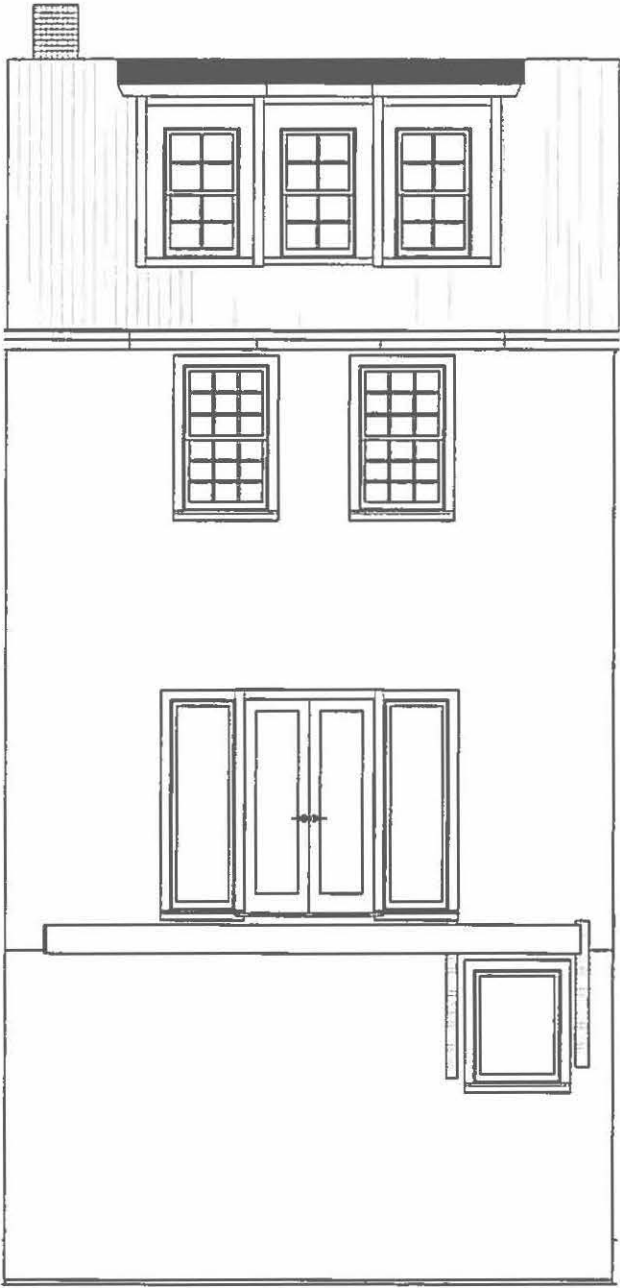
Remove existing pipe connections and electrical connections on condenser, evaporator coil and furnace

Carrier Infinity Gas Furnace 3 ton Model 59TN6  
\* connect to existing gas supply lines  
\* connect to low voltage and power to the unit

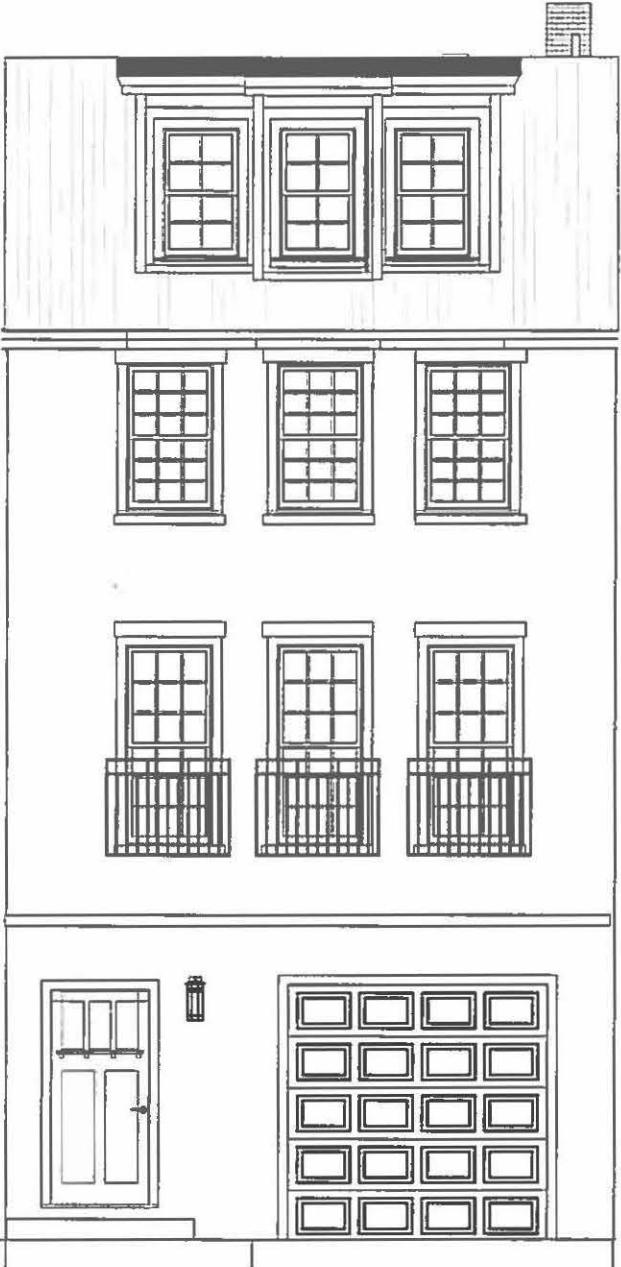
Carrier Infinity Air Conditioner 3 ton 17.0 SEER Model 36ANB6  
\* connect to existing piping and electrical connections  
\* vacuum to a minimum of 500 microns  
\* insulate exposed piping and charge unit to factory specs with R410a refrigerant

Carrier Infinity 3 ton N-coil  
Carrier Infinity Digital Thermostat

Run New metal duct work for the 3rd and 4th floors  
Follow MEP design and connect unit to trunk-line that feeds rest of residence  
Provide and install dampers on main feed for summer / winter to help distribute air properly



Proposed Rear Elevation



Proposed Front Elevation

APPLICATION MATERIALS  
BAR2015-00224/00225  
119 Queen St  
7/17/2015

NO.	DESCRIPTION	BY	DATE

HVAC Equipment List  
Proposed Elevations

Ken and Debbie Cureton  
119 Queen Street  
Alexandria, Virginia 22314

DRAWINGS PROVIDED BY: MJD  
Elite Contractors Services, Inc.  
7223 Poplar Street  
Annandale, Virginia 22003  
(703) 801-9564

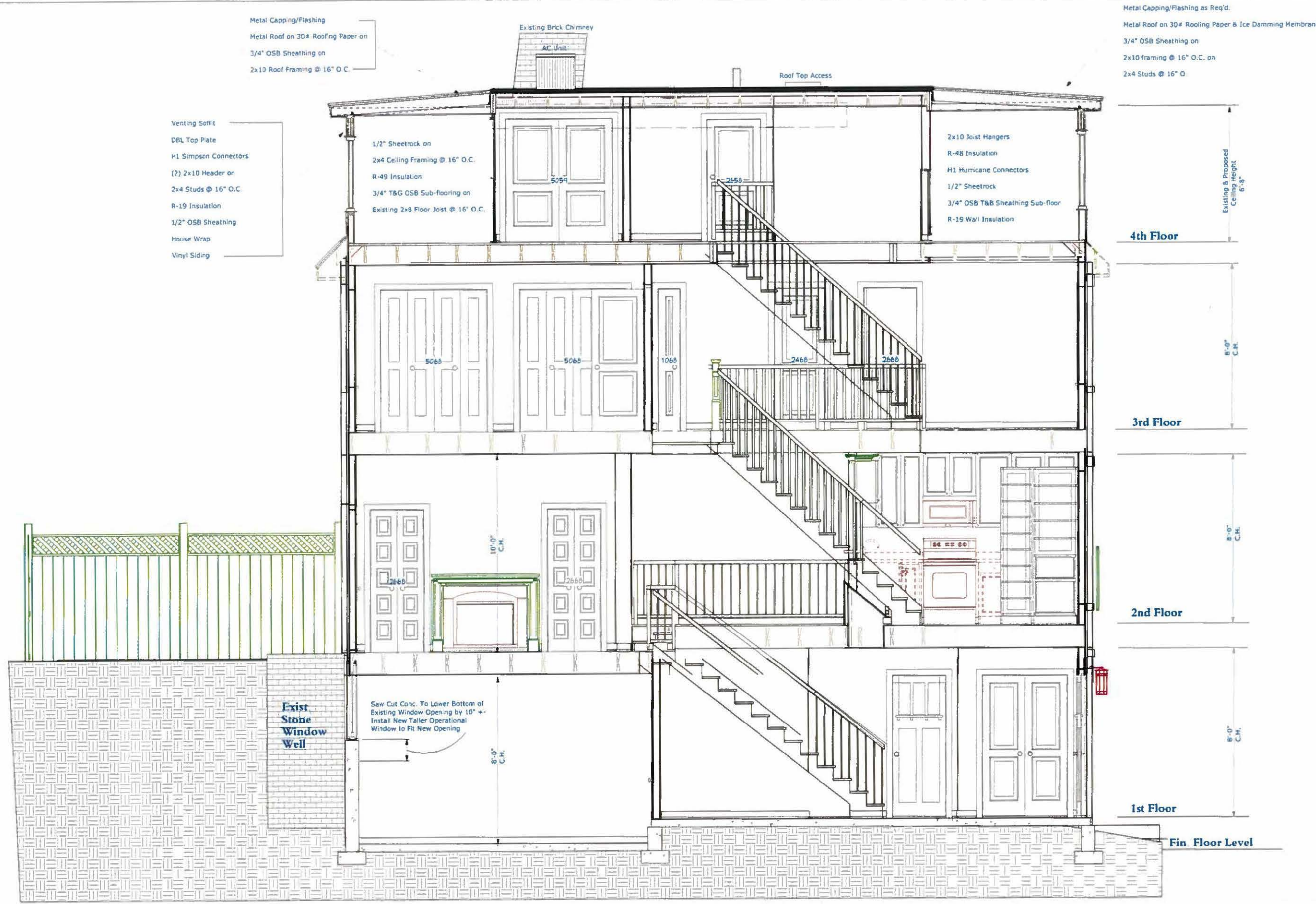
DATE:  
6/22/2015

SCALE:

SHEET:

A-6





Metal Capping/Flashing  
Metal Roof on 30# Roofing Paper on  
3/4" OSB Sheathing on  
2x10 Roof Framing @ 16" O.C.

Venting Soffit  
DBL Top Plate  
H1 Simpson Connectors  
(2) 2x10 Header on  
2x4 Studs @ 16" O.C.  
R-19 Insulation  
1/2" OSB Sheathing  
House Wrap  
Vinyl Siding

Metal Capping/Flashing as Req'd.  
Metal Roof on 30# Roofing Paper & Ice Damming Membrane  
3/4" OSB Sheathing on  
2x10 framing @ 16" O.C. on  
2x4 Studs @ 16" O.C.

2x10 Joist Hangers  
R-48 Insulation  
H1 Hurricane Connectors  
1/2" Sheetrock  
3/4" OSB T&B Sheathing Sub-floor  
R-19 Wall Insulation

1/2" Sheetrock on  
2x4 Ceiling Framing @ 16" O.C.  
R-49 Insulation  
3/4" T&G OSB Sub-flooring on  
Existing 2x8 Floor Joist @ 16" O.C.

Existing & Proposed Ceiling Height 6'-8"

4th Floor

3rd Floor

2nd Floor

1st Floor

Fin Floor Level

**Section 'E' Thru Residence**

APPLICATION MATERIALS  
BAR2015-00224/00225  
119 Queen St  
7/17/2015

NO.	DESCRIPTION	BY	DATE

Section / Elevation Detail

**Ken and Debbie Cureton**  
119 Queen Street  
Alexandria, Virginia 22314

DRAWINGS PROVIDED BY: **HJD**  
**Elite Contractors Services, Inc.**  
7223 Poplar Street  
Annandale, Virginia 22003  
(703) 801-9564

DATE:  
7/16/2015

SCALE:  
1/4" = 1'-0"

SHEET:  
**A-7**

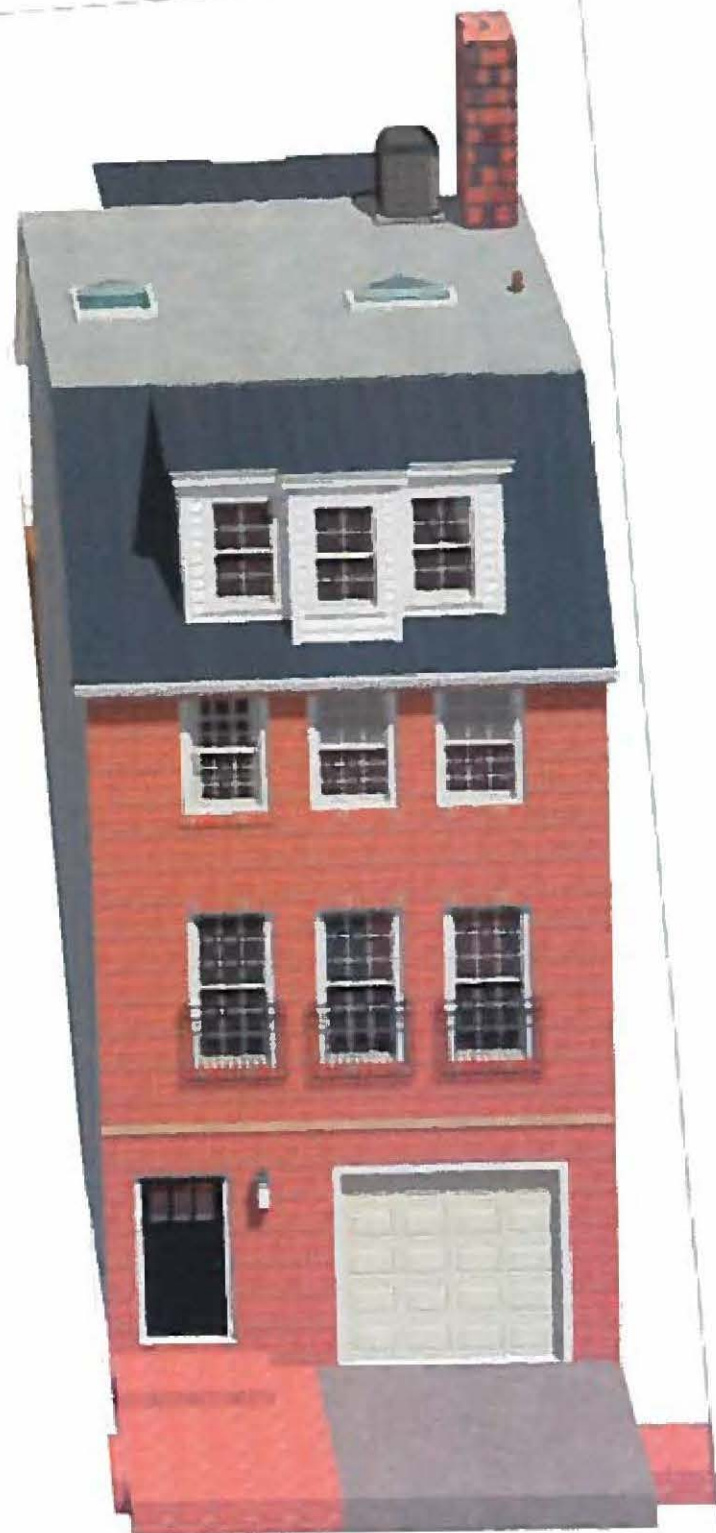




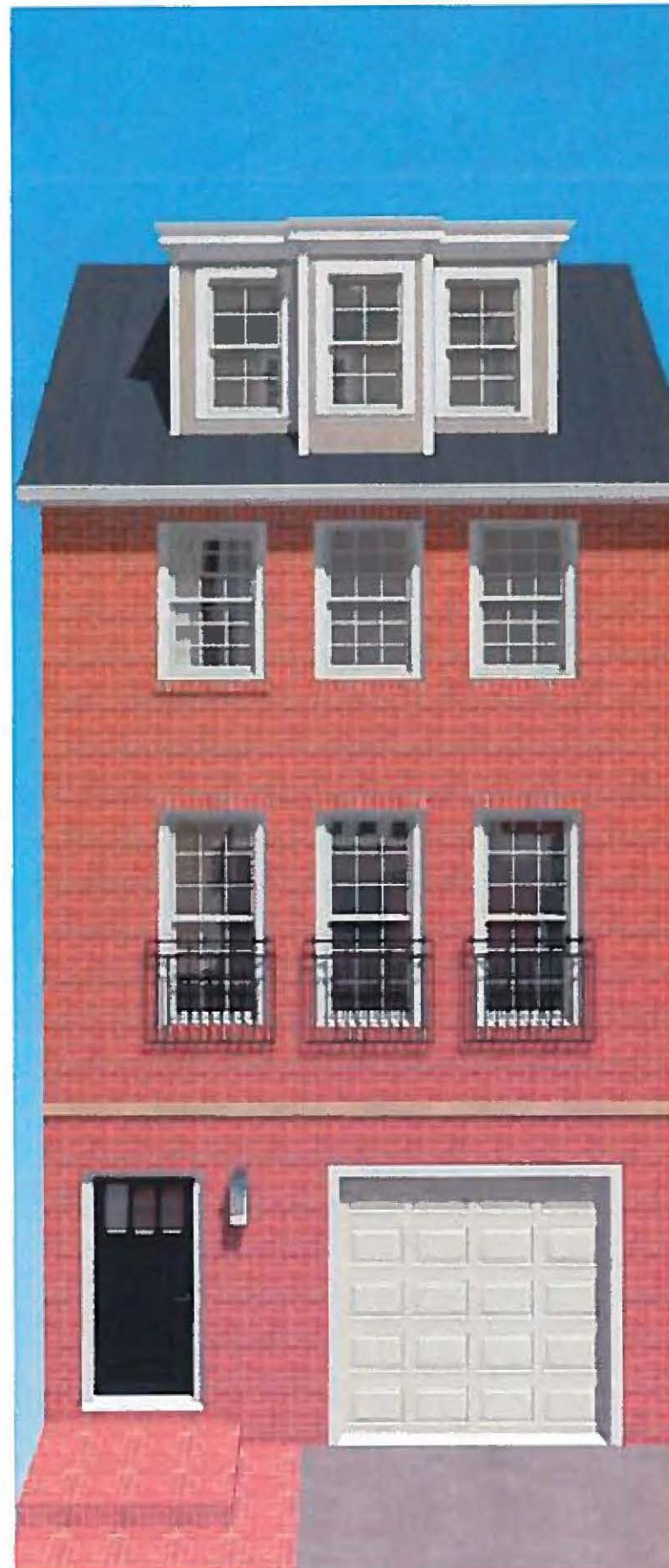




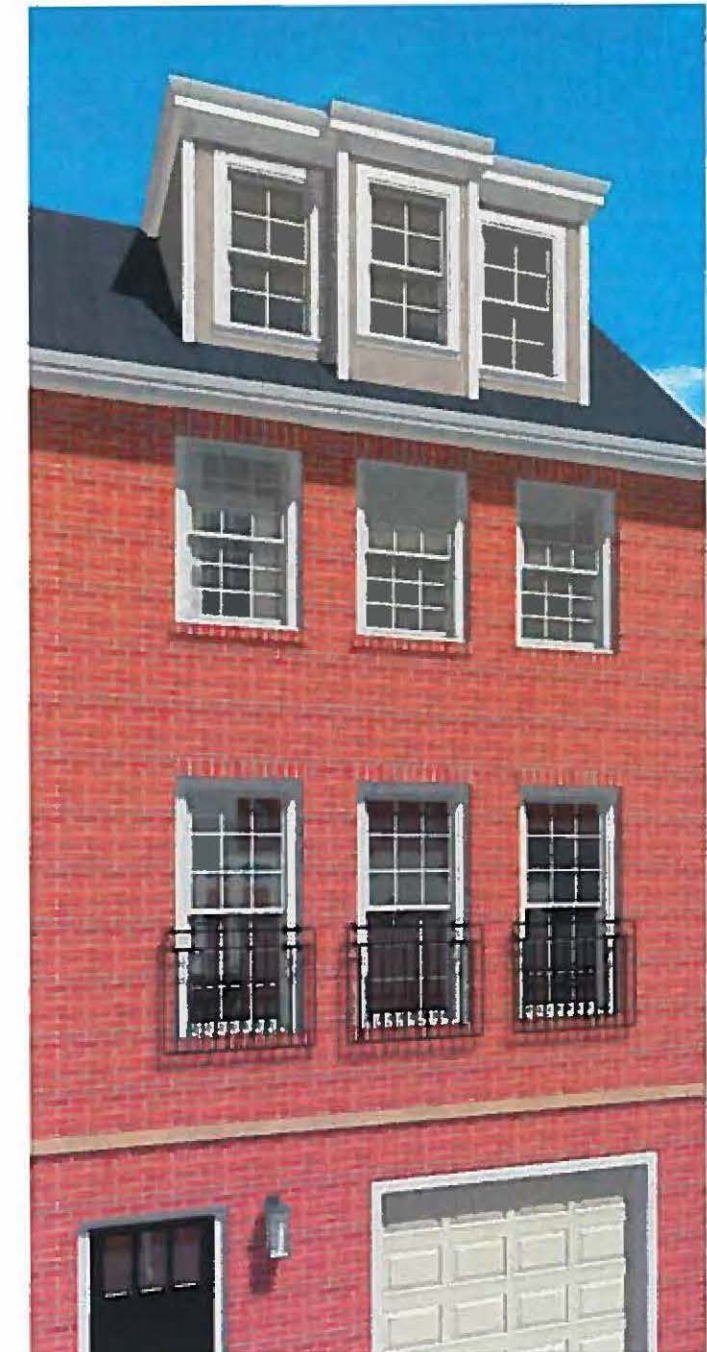




Angled Rear Elevation



Proposed Front Elevation



Partial Front Elevation

APPLICATION MATERIALS  
BAR2015-00224/00225  
119 Queen St  
7/17/2015

DRAWINGS PROVIDED BY: MJD

**Elite Contractors Services, Inc.**  
7223 Poplar Street  
Annandale, Virginia 22003  
(703) 801-9564

**Ken and Debbie Cureton**  
119 Queen Street  
Alexandria, Virginia 22314

DATE:

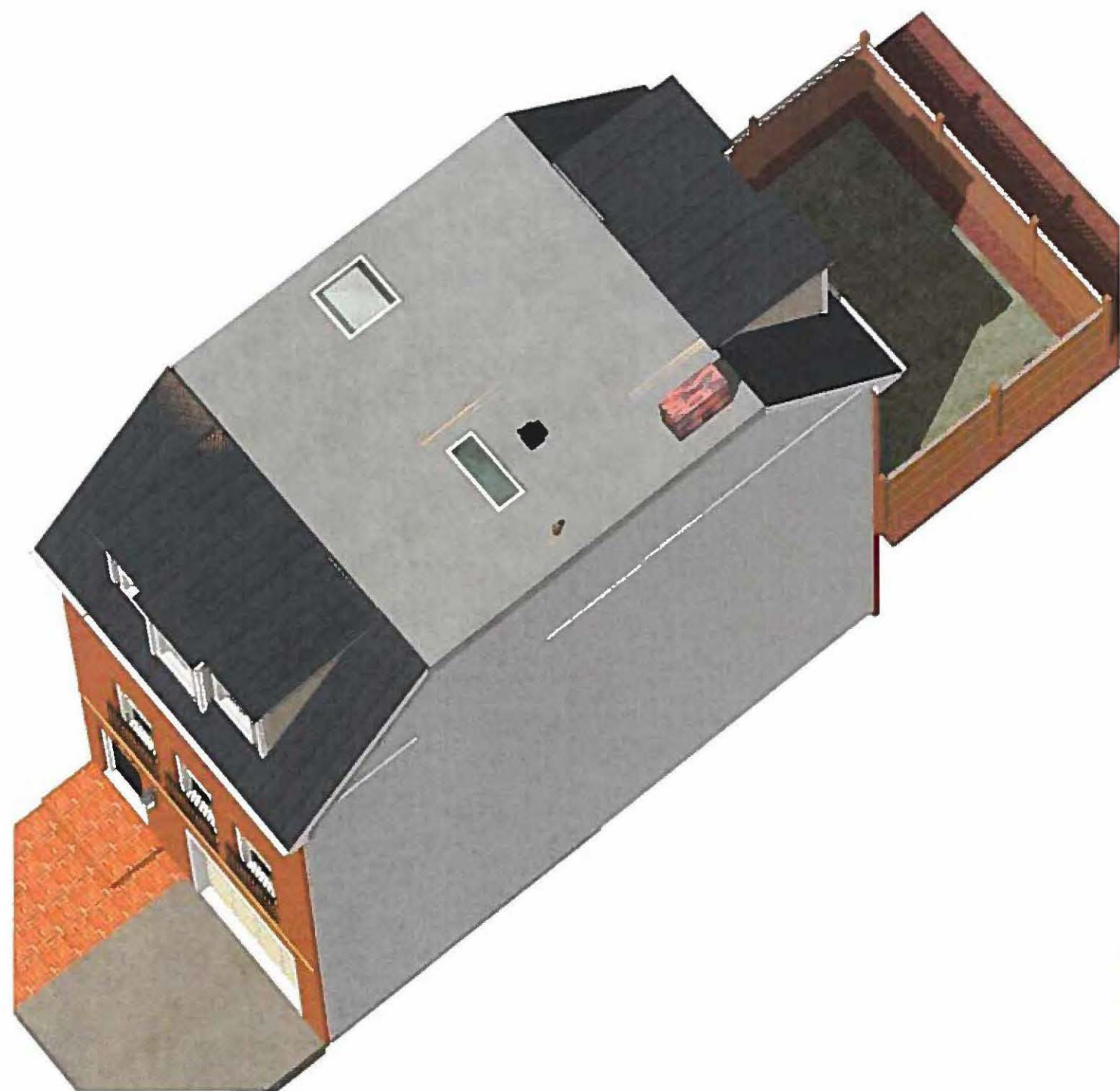
7/16/2015

SCALE:

SHEET:

**A-10**





Proposed Elevations Birds Eye View

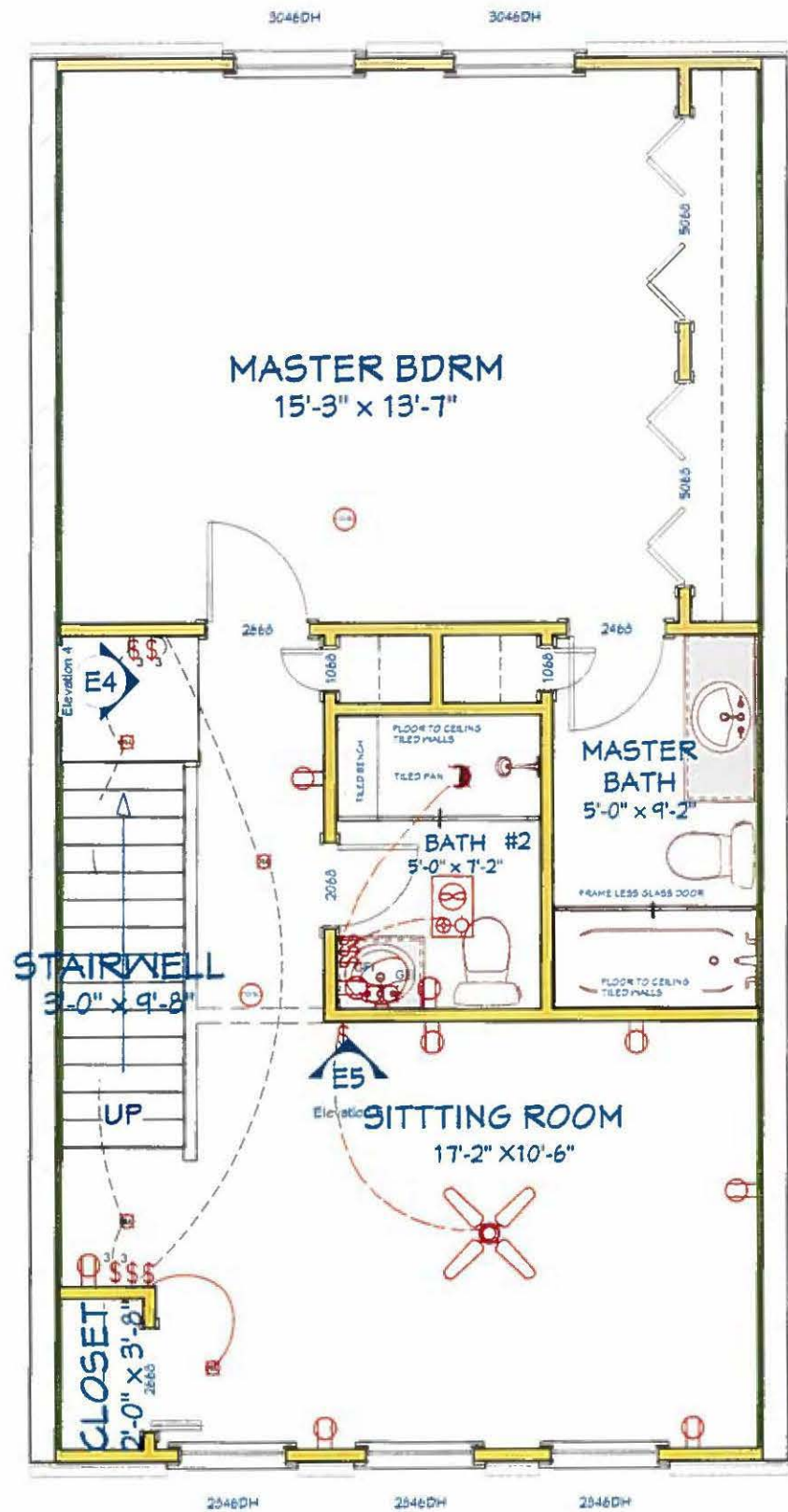
APPLICATION MATERIALS  
 BAR2015-00224/00225  
 119 Queen St  
 7/17/2015

DRAWINGS PROVIDED BY: NJO		DATE:	
Elite Contractors Services, Inc.		6/17/2015	
7223 Poplar Street		SCALE:	
Annandale, Virginia 22003			
(703) 801-9564		SHEET:	
		A-11	

NO.	DESCRIPTION	BY	DATE

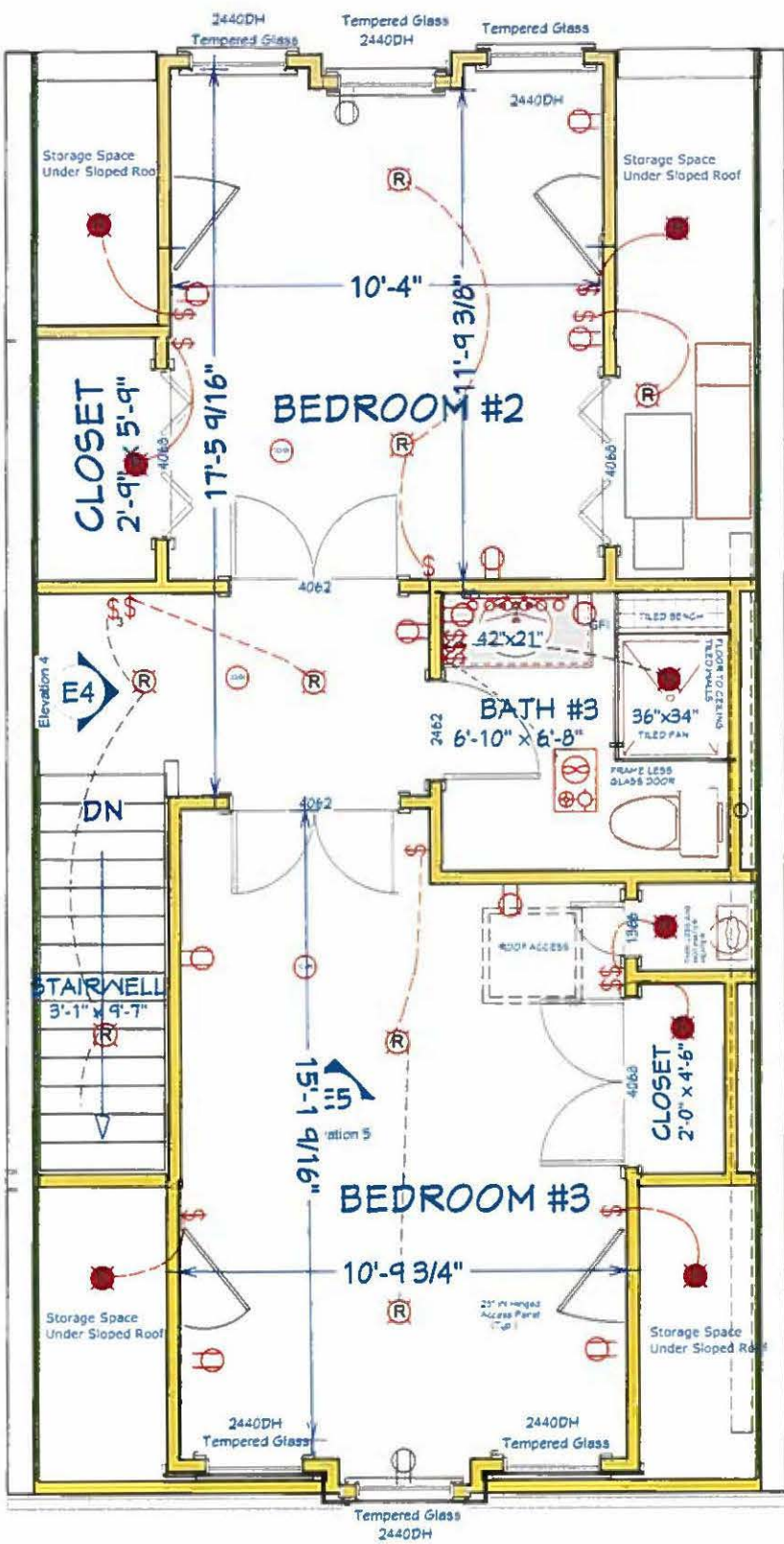
**Ken and Debbie Cureton**  
 119 Queen Street  
 Alexandria, Virginia 22314





Proposed 3rd Floor Electrical Plan

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Ceiling Mounted Carbon Monoxide Smoke Detectors: Hardwired Interconnected with Battery Back-up
	Electrical Breaker Panel



Proposed 4th Floor Electrical Plan

DATE	
BY	
DESCRIPTION	
NO.	

**Ken and Debbie Cureton**  
119 Queen Street  
Alexandria, Virginia 22314

DRAWINGS PROVIDED BY: HJD  
**Elite Contractors Services, Inc.**  
7223 Poplar Street  
Annandale, Virginia 22003  
(703) 801-9564

DATE:  
6/20/2015

SCALE:

SHEET:  
**A-12**





APPLICATION MATERIALS  
 BAR2015-00224/00225  
 119 Queen St  
 7/17/2015



NO.	DESCRIPTION	BY	DATE

**Ken and Debbie Cureton**  
 119 Queen Street  
 Alexandria, Virginia 22314

DRAWINGS PROVIDED BY: HJD  
**Elite Contractors Services, Inc.**  
 7223 Poplar Street  
 Annandale, Virginia 22003  
 (703) 801-9564

DATE:  
 6/12/2015

SCALE:

SHEET:

A-15



BAR Case # 2015-00224/00225ADDRESS OF PROJECT: 119 Queen St Alexandria, Va 22314TAX MAP AND PARCEL: 065.03-05-50 ZONING: RM

## APPLICATION FOR: (Please check all that apply)

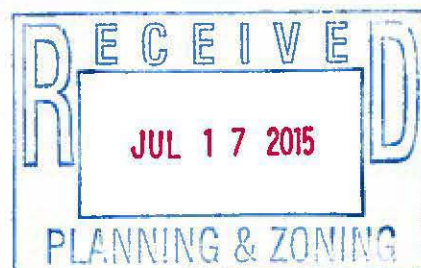
☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☒ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☒ Property Owner ☐ Business (Please provide business name & contact person)Name: Deborah & Kenneth CuretonAddress: 119 Queen StCity: Alexandria State: Va Zip: 22314Phone: 703-575-7810 E-mail: debcurceton@earthlink.netAuthorized Agent (if applicable): ☐ Attorney ☐ Architect ☒ Contractor-DESIGNERName: MICHAEL DIGGSPhone: 571-330-3257E-mail: MICHAELDIGGS52@GMAIL.COM

## Legal Property Owner:

Name: Deborah & Kenneth CuretonAddress: 119 Queen StCity: Alexandria State: Va Zip: 22314Phone: 703-575-7810 E-mail: debcurceton@earthlink.net

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☒ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.





**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☐ NEW CONSTRUCTION  
☒ EXTERIOR ALTERATION: *Please check all that apply.*  
     ☐ awning                      ☐ fence, gate or garden wall    ☐ HVAC equipment                      ☐ shutters  
     ☐ doors                        ☐ windows                              ☐ siding                                      ☐ shed  
     ☐ lighting                      ☐ pergola/trellis                      ☐ painting unpainted masonry  
     ☒ other *FRONT & REAR DORMERS*  
☐ ADDITION  
☐ DEMOLITION/ENCAPSULATION  
☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

REMOVE A 12' X 7' SECTION OF EXISTING MANSAARD METAL  
 ROOF FOR THE FRONT AND REAR OF TOWNHOUSE.  
 INSTALL A 12' X 7' (3 WINDOW) DORMER AS SHOWN ON  
 ATTACHED DWG A-10

**SUBMITTAL REQUIREMENTS:**

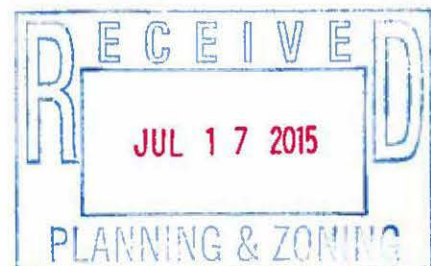
Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- ☒ <sup>N/A</sup> ☐ Survey plat showing the extent of the proposed demolition/encapsulation.  
☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.  
☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.  
☒ ☐ Description of the reason for demolition/encapsulation.  
☒ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.



**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A
- ☒ ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A
- ☐ ☒ Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_
- ☐ ☒ Square feet of existing signs to remain: \_\_\_\_\_
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

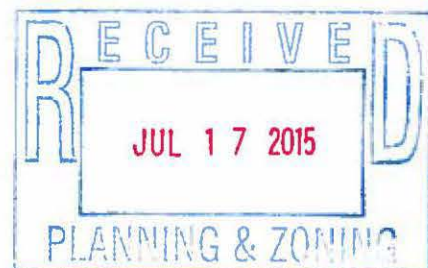
- ☒ ☐ N/A
- ☒ ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☒ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.



**ALL APPLICATIONS:** Please read and check that you have read and understand the following items:

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

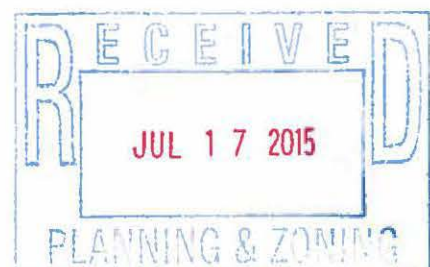
The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**Signature: Deborah Cureton  
Kenneth CuretonPrinted Name: Deborah Cureton  
Kenneth CuretonDate: 7/8/15

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
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**APPLICANT OR AUTHORIZED AGENT:**Signature: Michael DugasPrinted Name: Michael DugasDate: 7-17-2015

OWNERSHIP AND DISCLOSURE STATEMENT  
Use additional sheets if necessary

**REVISED**

1. **Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. KENNETH CURETON	119 QUEEN ST	50%
2. DEBORAH CURETON	119 QUEEN ST	50%
3.		

2. **Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 119 Queen St Alex Va (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. KENNETH CURETON	119 QUEEN ST	50%
2. DEBORAH CURETON	119 QUEEN ST	50%
3.		

3. **Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Kenneth Cureton	119 Queen St N/A	N/A
2. Deborah Cureton	119 Queen St N/A	N/A
3.		

**NOTE:** Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

7-17-2014 Date Michael D. GIGGS Printed Name [Signature] Signature  
8/5/2014 Deborah Cureton Deborah Cureton