

Docket Item # 3
BAR CASE # 2015-0281

BAR Meeting
September 16, 2015

ISSUE: Certificate of Appropriateness for Alterations

APPLICANT: Verizon Wireless by Michael Weiland

LOCATION: 501 South Washington Street

ZONE: C1 / Commercial Zone

STAFF RECOMMENDATION

Staff recommends that the Board approve the Certificate of Appropriateness application, as submitted.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR2015-00281



I. ISSUE

The applicant is requesting approval of a Certificate of Appropriateness for alterations at 501 South Washington Street.

The proposed alterations include a new cupola to be placed on the existing service station building to house two (2) small cellular wireless antennas and an addition onto the existing equipment shed. This new cupola will be installed on the roof at the juncture of the cross gable, utilizing mounting brackets to affix it to the roof structure. The cupola will be fabricated from a paintable, PVC composite product designed to promote cellular phone radio frequency transparency.

The other related equipment will be located inside an existing shed at the rear of the property which is proposed to be expanded slightly (14.6 sq. ft. in footprint.)

II. HISTORY

The brick service station was constructed in the Colonial Revival style in the 1960s on the George Washington Memorial Parkway. The station welcomes its customers with a projecting gable entrance on the east side, leading to a small convenience store. South of the entrance, four automobile service bays sit below four gabled roof dormers. The entire main building is sheathed with a genuine slate roof. The modern canopy over the gas pumps is a later addition.

III. ANALYSIS

The *Design Guidelines* state that “Respectful additions make use of the design vocabulary of the existing historic structure;” and “An addition to a historic building should be clearly distinguishable from the original structure.”

In addition the *Design Guidelines* also state that “The Board is particularly concerned with the maintenance and memorial character of the George Washington Memorial Parkway which passes through Alexandria as Washington Street. Therefore any “alterations or changes on Washington Street must be compatible with the memorial nature of the parkway.”

Staff commends the applicant’s willingness to work with staff on this proposal. The original design submission was a ten foot high (10’) cell antenna on the top of the gas pump canopy. After staff expressed strong concern with the applicant’s original design and its adverse impact to the George Washington Memorial Parkway, the applicant worked with staff to find a resolution which would be sympathetic and compatible to the surrounding streetscape. The current submittal is the result of the applicant’s flexibility and creativity.

The current application proposes a traditional cupola on the roof of the existing service station. The cupola will be constructed out of a PVC composite, as this material maximizes cellular frequency output and utilizes mounting brackets to attach the cupola to the rooftop. The slate roof will be punctured to support the cupola and to gain access to the attic to feed the wires to the new utility cabinet at grade. Otherwise, the existing slate roof will remain intact.

The proposed cupola complements the existing architectural style and its form is compatible with prevailing details on the building. Cupolas, dormers and Georgian style door surrounds were common features on a variety of buildings as mid-20th century architects responded to the requirement to maintain the memorial character of the new Parkway and the historic district. The proposed cupola will be mounted on the structure without any negative impacts to the original building fabric so that it can easily be removed in the future if/when the cellular technology becomes obsolete. Staff believes that the design, as submitted, is a positive solution to a very challenging problem, will not negatively impact the George Washington Memorial Parkway, and is consistent with the BAR's *Design Guidelines*. Staff recommends approval of the application, as submitted.

STAFF

Michele Oaks, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

National Park Service Comments

No Comments received.

Zoning Comments

- F-1 Proposed alterations must comply with all terms and conditions of SUP2012-00038.
- F-2 Proposed cellular equipment must also receive zoning administrative approval if this proposal is granted.
- C-2 Applicant must submit an accurate parking layout. The proposed shed appears it may partially obstruct an accessible parking space.

Code Administration

- F-1 The following comments are for site plan review only. Once the applicant has filed for a building permit and additional information has been provided, code requirements will be based upon the building permit plans and the additional information submitted. If there are any questions, the applicant may contact Charles Cooper, Plan Review Division at Charles.cooper@alexandriava.gov or 703-746-4197.
- C-1 Building and trades permits are required for this project. Five sets of *construction documents* that fully detail the construction as well as layout and schematics of the mechanical, electrical, and plumbing systems shall accompany the permit application(s).

The building official shall be notified in writing by the owner if the registered design professional in the responsible charge is changed or is unable to continue to perform the duties.

- C-2 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

No Comments.

V. ATTACHMENTS

1 – Supplemental Materials

2 – Application for BAR2015-0281: 501 S Washington Street



DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property Information

A1. Street Address 501 S Washington St Zone CL

A2. $\frac{15,304}{\text{Total Lot Area}} \times \frac{0.5}{\text{Floor Area Ratio Allowed by Zone}} = \frac{7,652}{\text{Maximum Allowable Floor Area}}$

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions **	
Basement		Basement	
First Floor	2417	Stairways	
Second Floor		Mechanical	
Third Floor		Other	
Porches/ Other		Total Exclusions	0
Total Gross *	2417		

B1. Existing Gross Floor Area *
2417 Sq. Ft.

B2. Allowable Floor Exclusions
0 Sq. Ft.

B3. Existing Floor Area minus Exclusions
2417 Sq. Ft.
(subtract B2 from B1)

C. New Gross Floor Area

Proposed Gross Area*		Allowable Exclusions **	
Basement		Basement	
First Floor	15	Stairways	
Second Floor		Mechanical	
Third Floor		Other	
Porches/ Other		Total Exclusions*	0
Total Gross *	15		

C1. New Gross Floor Area *
15 Sq. Ft.

C2. Allowable Floor Exclusions
0 Sq. Ft.

C3. New Floor Area minus Exclusions
15 Sq. Ft.
(subtract C2 from C1)

D. Existing + New Floor Area

D1. Total Floor Area (add B3 and C3) 2432 Sq. Ft.

D2. Total Floor Area Allowed by Zone (A2) 7652 Sq. Ft.

*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

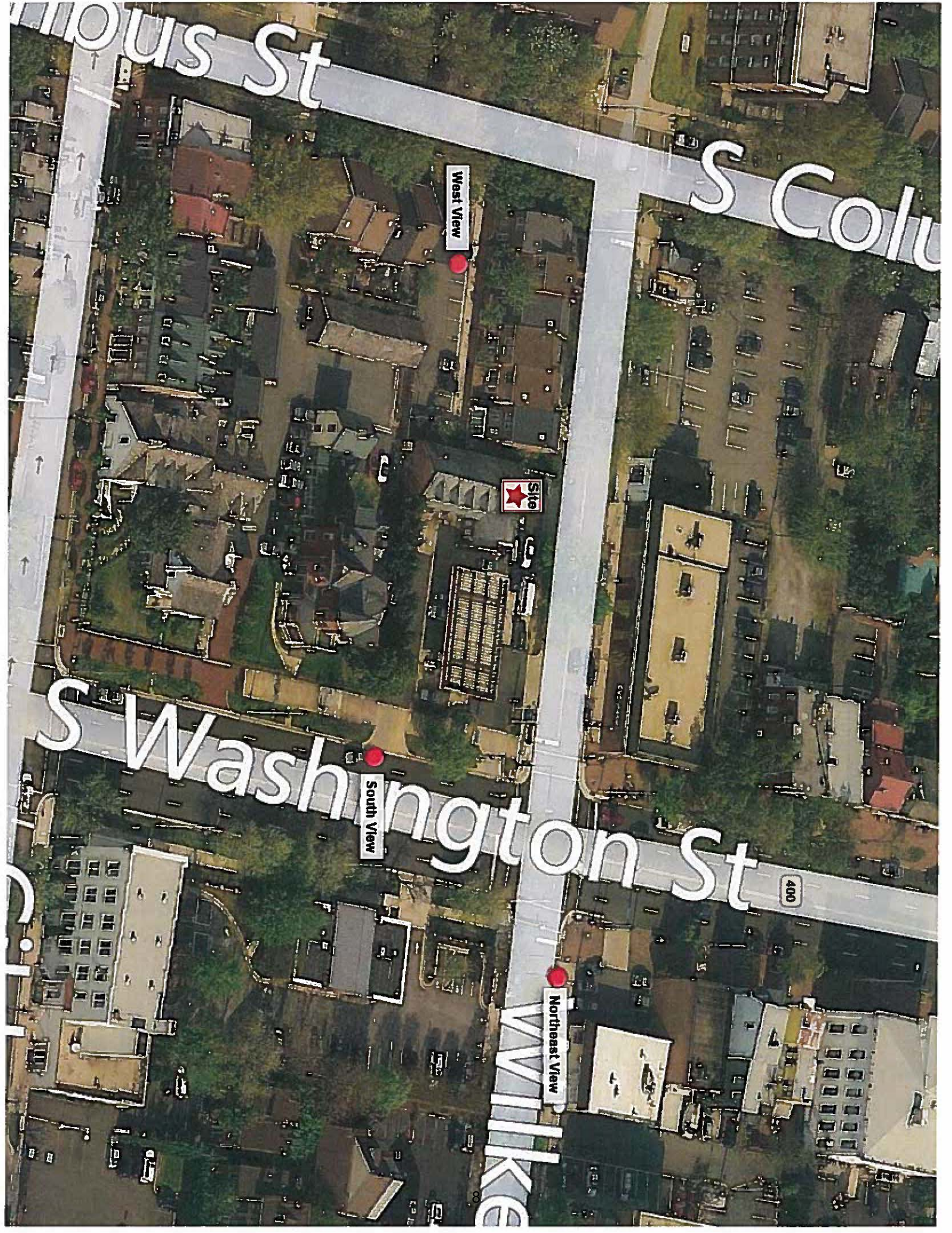
If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

F. Open Space Calculations

Existing Open Space	2417
Required Open Space	7652
Proposed Open Space	2432

The undersigned hereby certifies and attests that to the best of his/her knowledge, the above computations are true and correct.

Signature: [Signature] Date: 8/11/15



West View

Site

South View

Northeast View

400

HTXCWW4513Fxy0

Tri Band | Panel | XXX-Pol | 45° | 14.0 / 14.0 / 14.0 | Fixed Tilt

- Tri Band, XXX-Pol, fixed tilt, panel antenna
- Features ultra wide low band frequency range

Ordering Options

When ordering, replace the "x" in the model number with the desired electrical downtilt for the 696-960 MHz frequency and replace the "y" in the model number with the desired electrical downtilt for the 1710-2170 MHz range. Select from the options listed below under Electrical Downtilt.

Electrical Characteristics		696-960 MHz		Highbands #1 and #2: 1710-2170 MHz		
Frequency Bands (MHz)		696-806	806-960	1710-1880	1850-1990	1900-2170
Polarization		±45°		2x ±45°		
Horizontal Beamwidth		45°	39°	50°	50°	45°
Vertical Beamwidth		40°	35°	24°	22°	22°
Gain		13.0 dBi	14.0 dBi	13.3 dBi	14.0 dBi	14.0 dBi
Electrical Downtilt		(x) 0		(y) 0		
Impedance		50Ω		50Ω		
VSWR		≤ 1.5:1		≤ 1.5:1		
Front-to-Back Ratio		> 20 dB		> 25 dB		
In-Band Isolation		≥ 25 dB		≥ 25 dB		
Isolation Between Ports		> 30 dB		> 30 dB		
IM3 (2x20W carrier)		< -150 dBc		< -150 dBc		
Input Power		500 W		300 W		
Lightning Protection		Direct Ground				
Total Number of Connectors		Antenna has 6 connectors located at the bottom				
Connectors Per Band, Type, Location	696-960 MHz	2 Connectors / 7/16-DIN Female / Bottom / Red Rings				
	1710-2170 MHz	2 Connectors / 7/16-DIN Female / Bottom / White Rings				
	1710-2170 MHz	2 Connectors / 7/16-DIN Female / Bottom / Blue Rings				


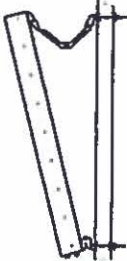
Mechanical Characteristics			
Dimensions (Height x Width x Depth)		613 x 407 x 180 mm	24.1 x 16.0 x 7.1 in
Weight without Mounting Brackets		5.3 kg	11.7 lbs
Survival Wind Speed		241 km/hr	150 mph
Wind Area	Front	0.25 m²	2.7 ft²
	Side	0.11 m²	1.2 ft²
Wind Loads (160 km/hr or 100 mph)	Front	305 N	68 lbf
	Side	135 N	30 lbf

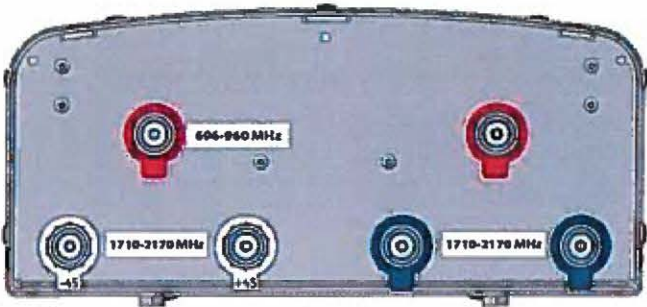
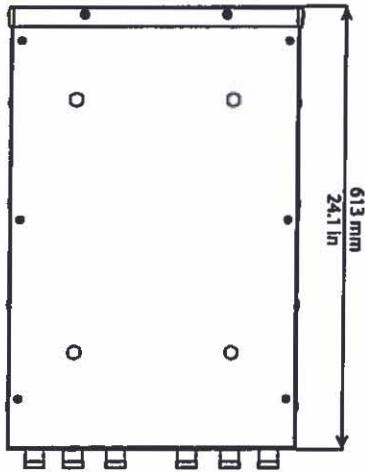
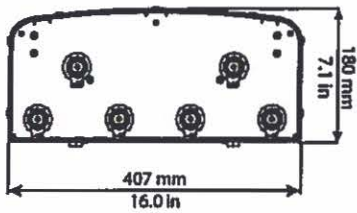


Quoted performance parameters are provided to offer typical or range values only and may vary as a result of normal manufacturing and operational conditions. Extreme operational conditions and/or stress on structural supports is beyond our control. Such conditions may result in damage to this product. Improvements to product may be made without notice.

HTXCWW4513Fxy0

Tri Band | Panel | XXX-Pol | 45° | 14.0 / 14.0 / 14.0 | Fixed Tilt

Mounting Options	Part Number	Image	Fits Pipe Diameter	Weight
The following mounting and downtilt bracket kits are included with the antenna.				
2-Point Mounting Bracket Kit	0900181/00		48-115 mm 1.9-4.5 in	3.4 kg 7.5 lbs
Kit to Add Mechanical Downtilt	0900188/00		—	1.5 kg 3.3 lbs

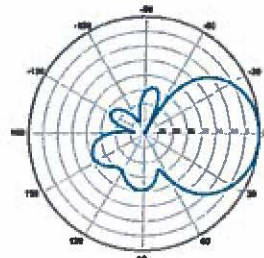
Bottom View of Antenna	Dimensions
	 

Quoted performance parameters are provided to offer typical or range values only and may vary as a result of normal manufacturing and operational conditions. Extreme operational conditions and/or stress on structural supports is beyond our control. Such conditions may result in damage to this product. Improvements to product may be made without notice.

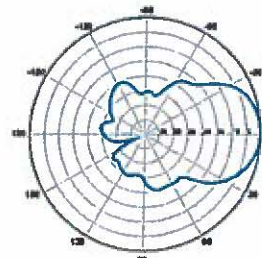
HTXCWW4513Fxy0

Tri Band | Panel | XXX-Pol | 45° | 14.0 / 14.0 / 14.0 | Fixed Tilt

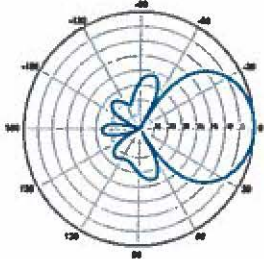
696-960 MHz (Red)



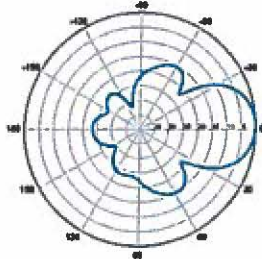
Horizontal | 750 MHz



0° | Vertical | 750 MHz

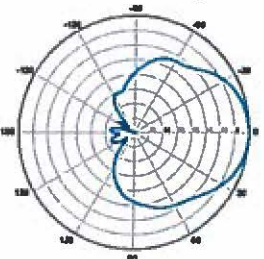


Horizontal | 850 MHz

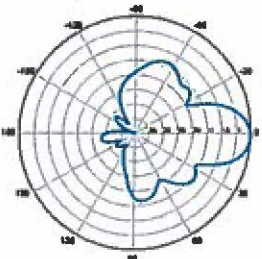


0° | Vertical | 850 MHz

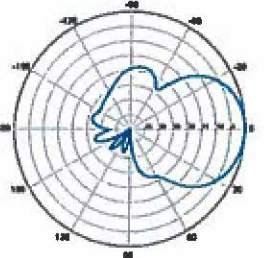
Highbands #1 and #2: 1710-2170 MHz (Blue & White)



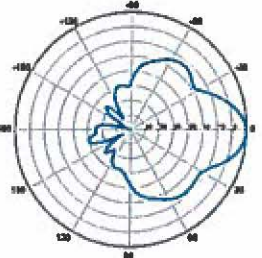
Horizontal | 1800 MHz



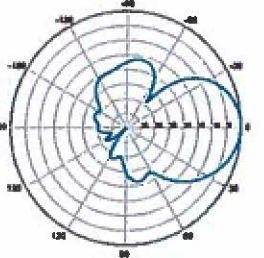
0° | Vertical | 1800 MHz



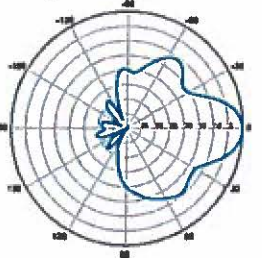
Horizontal | 1900 MHz



0° | Vertical | 1900 MHz



Horizontal | 2100 MHz



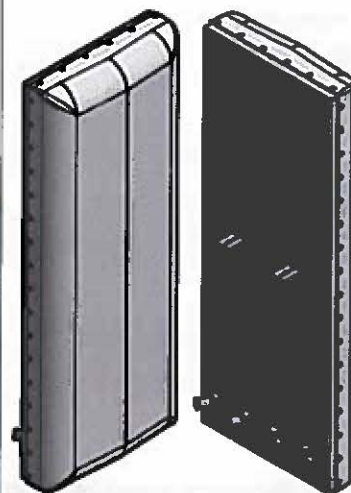
0° | Vertical | 2100 MHz

Quoted performance parameters are provided to offer typical or range values only and may vary as a result of normal manufacturing and operational conditions. Extreme operational conditions and/or stress on structural supports is beyond our control. Such conditions may result in damage to this product. Improvements to product may be made without notice.

QAP-FRO-440-V

1710-2180MHz, 50.5" Fast Roll Off 40° H-Beam MIMO Antenna
RET/MET

- 4-Port 1710-2180 MHz Fast Roll Off (FRO) Antenna:
 - Two High Band Antennas in a Single Radome, Each with Separate Tilts
- Can be used for MIMO Applications
- Suitable for LTE/CDMA/UMTS/GSM
- AISG v2.0 RET or Manual (MET) Tilt Control



ELECTRICAL SPECIFICATIONS

Frequency Band, MHz	1710-1880	1850-1990	1920-2180
Horizontal Beamwidth, 3dB points	40°	38°	33°
Gain, dBi	17.4	17.7	17.9
Vertical Beamwidth, 3dB points	7.3°	7.2°	6.7°
Front-to-Back at 180°, dB	> 28		
Upper Sidelobe Suppression, Typical, dB	<-30		
Polarization	+/-45°		
Electrical Downtilt	0°-6° or 4°-10°		
VSWR/Return Loss, dB, Maximum	1.5:1/14.0		
Isolation Between Ports, dB, Minimum	>28		
Intermodulation (2x20w), IM3, dBc	-150		
Impedance, ohms	50		
Maximum Power Per Connector, CW	250		

MECHANICAL SPECIFICATIONS

Dimensions, Length/Width/Depth	50.5 x 18.8 x 6.2 in (1282/479/157mm)
Connector Quantity Type	(4) 7-16 DIN Female
Connector Torque	220-265 lbf-in (23-30 N-m)
Connector Location	Back
Antenna Weight	33.6 bs (15.2kg)
Bracket Weight	13.2 lbs (5.99Kg)
Standard Bracket Kit	CSS P/N 919011
Mechanical Downtilt Range	0°-12°
Radome Material	High Strength Luran, UV Stabilized, ASTM D1925
Wind Survival	150 mph (241 km/h)
Front Wind Load @100mph	163.8 lbf (728.8 N) @100mph
Equivalent Flat Plate @ 100mph	3.26 sq-ft (c=2) @ 100mph

RET INFORMATION

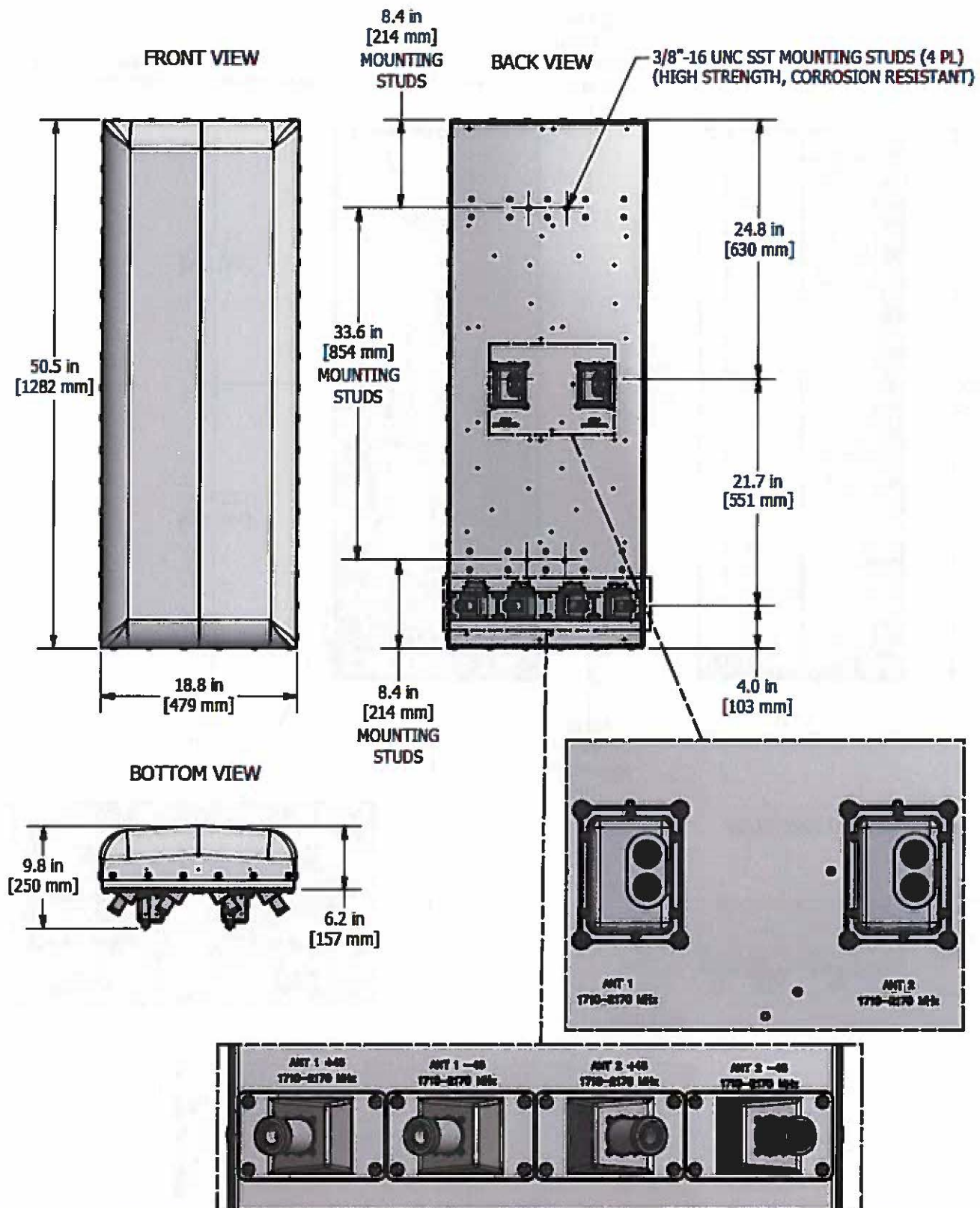
Model	CSS-RET-200
Mounting Location	Back
Weight	1.2 lb (0.54 kg)
Communication Standard	AISG 2.0
Control System	CSS-PCU-220



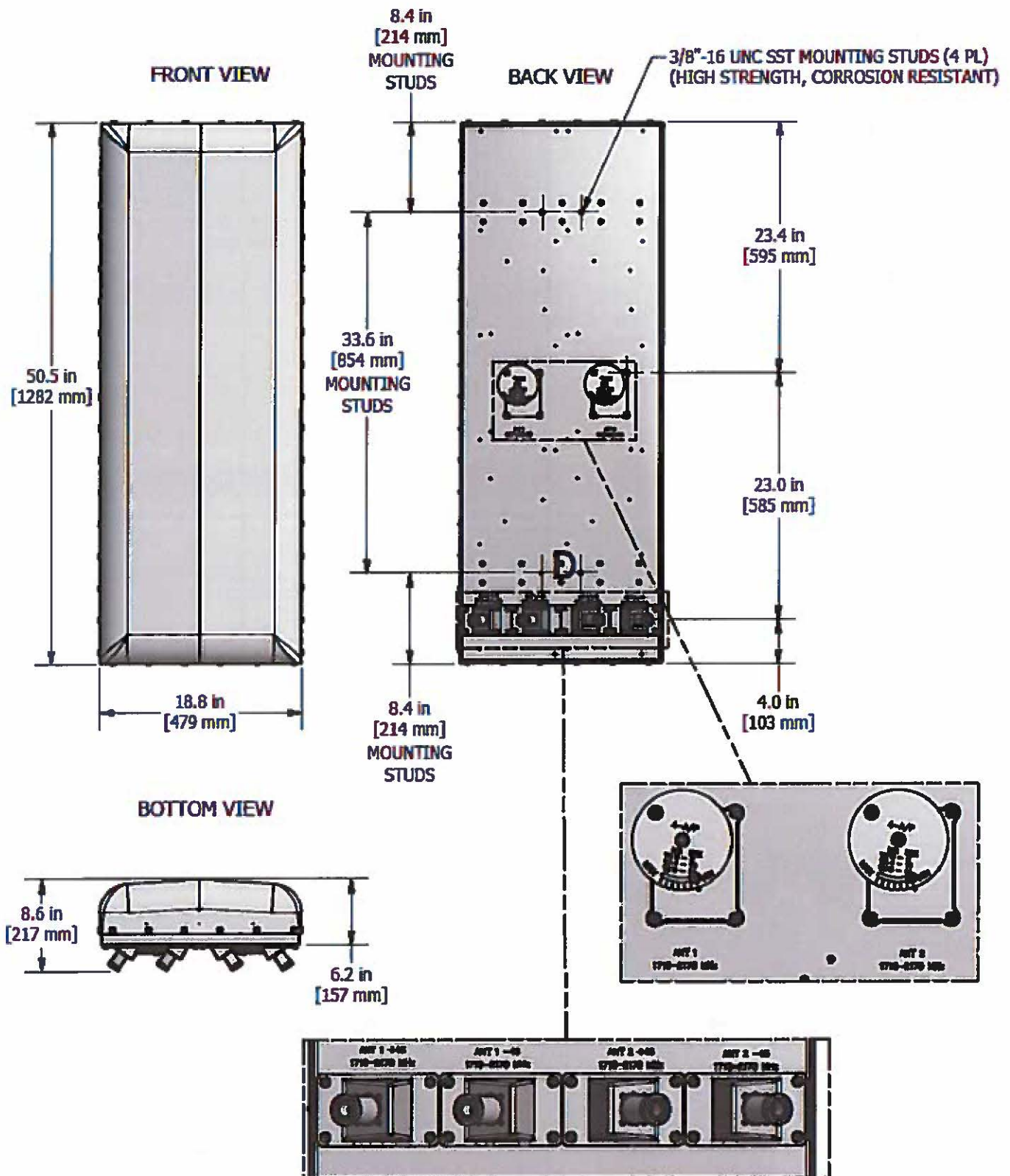
ORDER INFORMATION

MODEL	DESCRIPTION
QAP-FRO-640-VR0	X-Pol antenna with motor for remote electrical tilt (RET) range of 0-6°
QAP-FRO-640-VR4	X-Pol, antenna with motor for remote electrical tilt (RET) range of 4-10°
QAP-FRO-640-VM0	X-Pol, antenna with manual adjust wheel for electrical tilt (MET) range of 0-6°
QAP-FRO-640-VM4	X-Pol, antenna with manual adjust wheel for electrical tilt (MET) range of 4-10°
Optional Bracket Kit	919036 - Bracket Kit, 2-Point, 12deg D-tilt, For 4.5" OD Pole
RET Ordering Information	(1) 992100-CA005-SC; AISG Jumper Cable, M/F, 0.5 meters

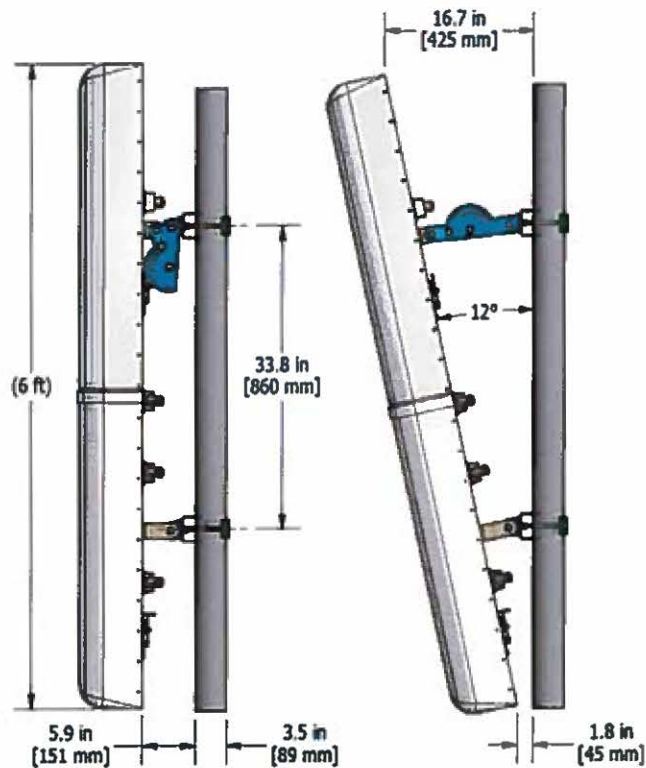
Mechanical Outline Drawing: RET Version



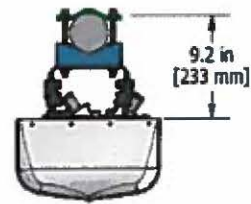
Mechanical Outline Drawing: MET Version



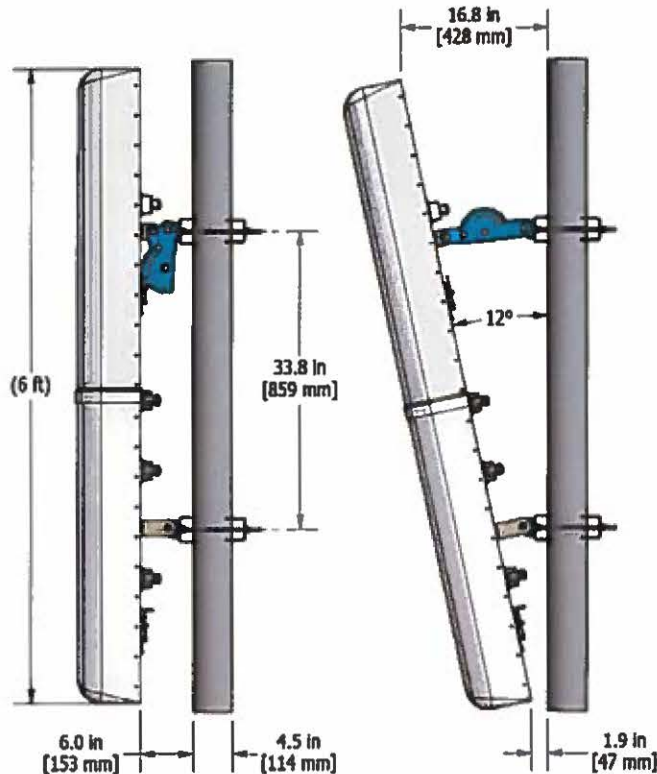
Standard Bracket Kit



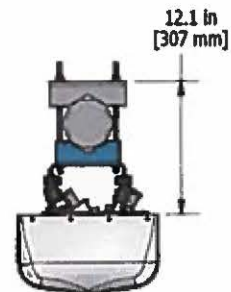
CSS P/N: 919011 BRACKET KIT
 2 POINT, 12 DEGREE DOWN TILT
 SHOWN MOUNTED ON 3.5" O.D. POLE
 3.5" O.D. MAX POLE SIZE



Optional Bracket Kit



CSS P/N: 919036 BRACKET KIT
 2 POINT, 12 DEGREE DOWN TILT
 SHOWN MOUNTED ON 4.5" O.D. POLE
 4.5" O.D. MAX POLE SIZE



New AWS RF Modules for VzW

RRHx60 – HW Characteristics

LR14.1

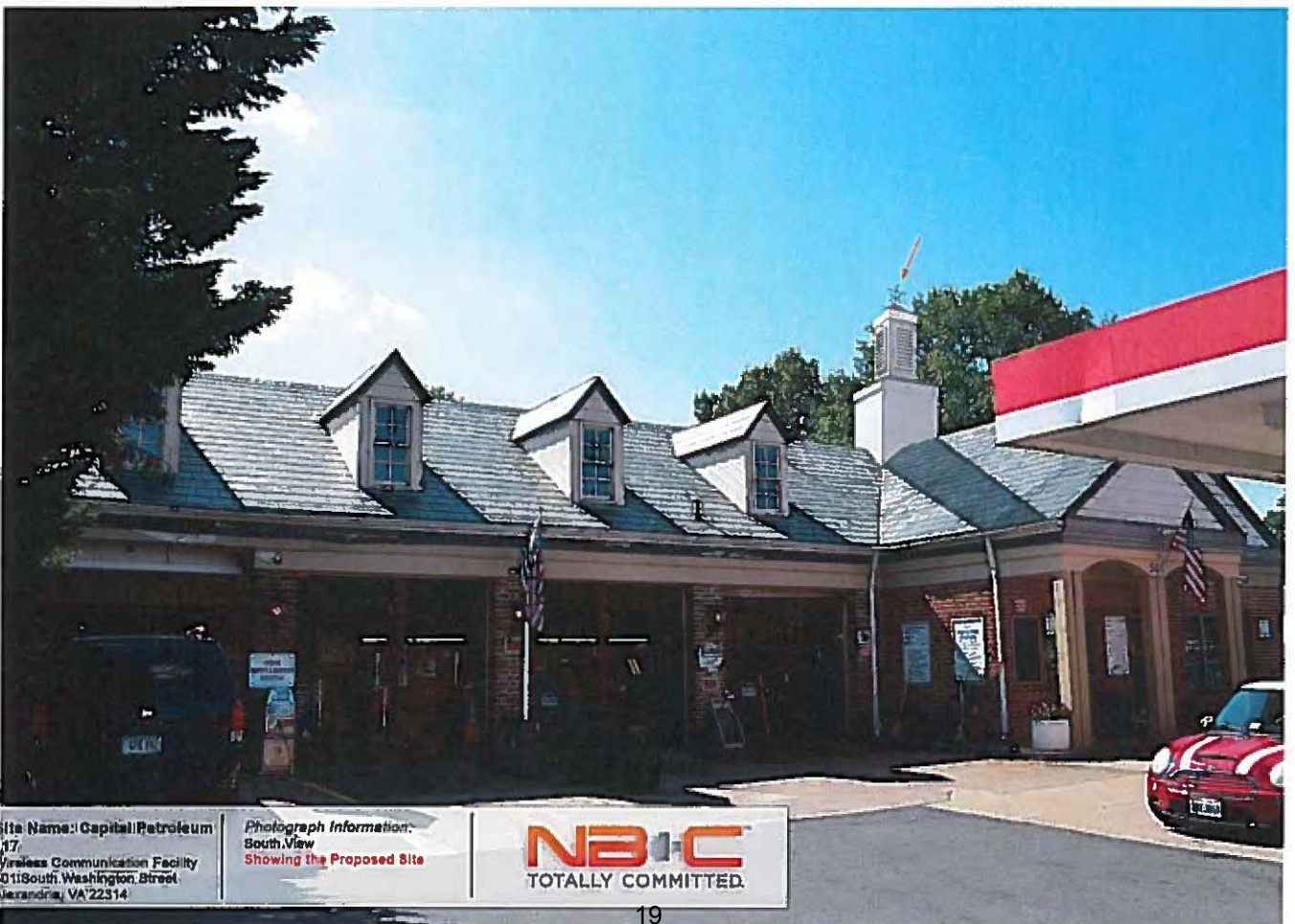
	RRH2x60
RF Output Power	2x60W
Instantaneous Bandwidth	45MHz
Target Reliability (Annual Return Rate)	<2%
Receiver	4 Branch Rx
Features	AISG 2.0 for RET/TMA
Power	-48VDC
	Internal Smart Bias-T
CPRI Ports	2 CPRI Rate 5 Ports
External Alarms	4 External User Alarms
Monitor Ports	TX, RX
Environmental	GR487 Compliance
RF Connectors	7/16 DIN (rear – facing downward)
Size	11"x37"x5"
Weight	60lb

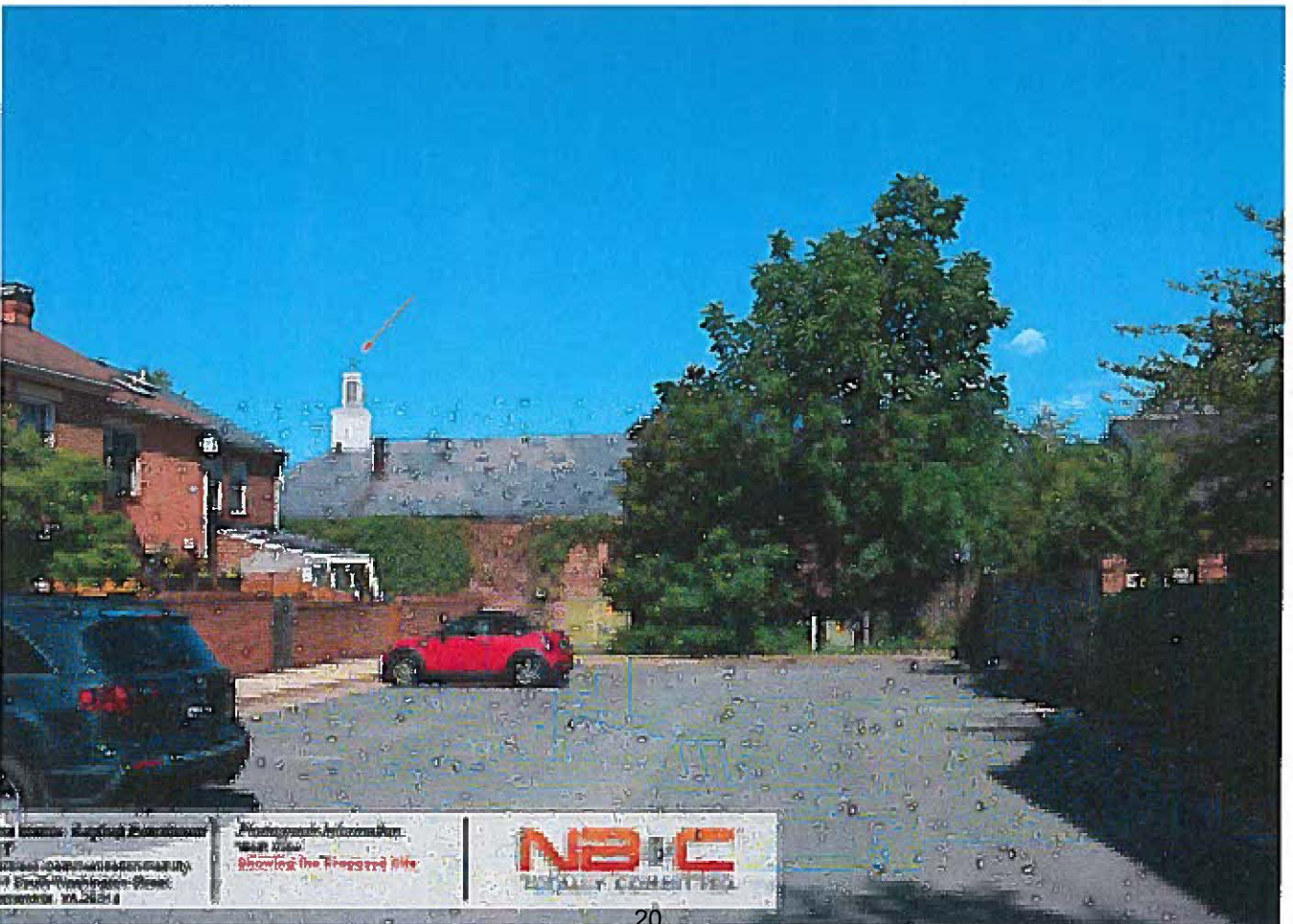


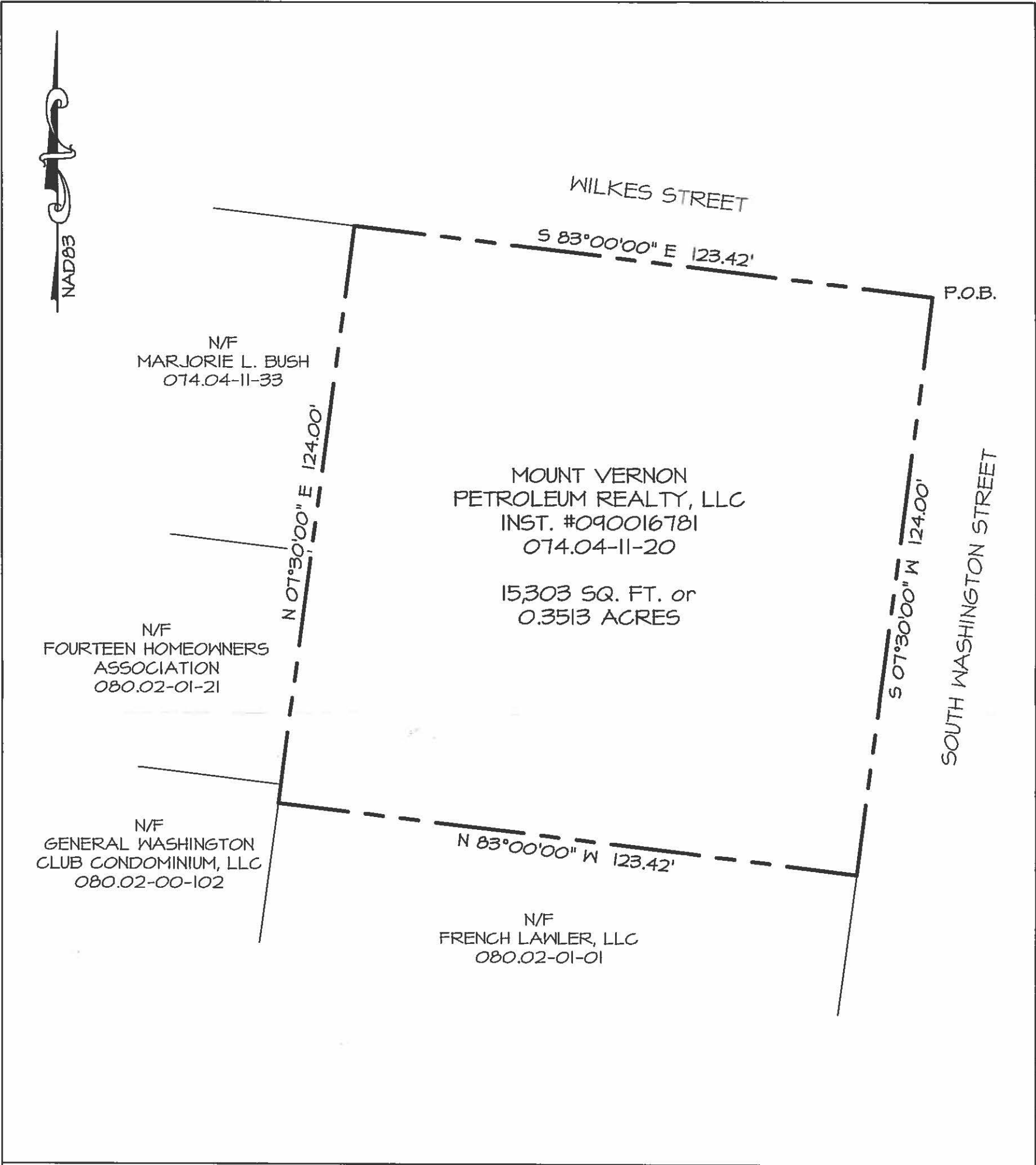
..... Alcatel-Lucent 

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Consultants LLC**

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Dewberry & Davis LLC

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301.731.0188 (FAX)
www.dewberry.com

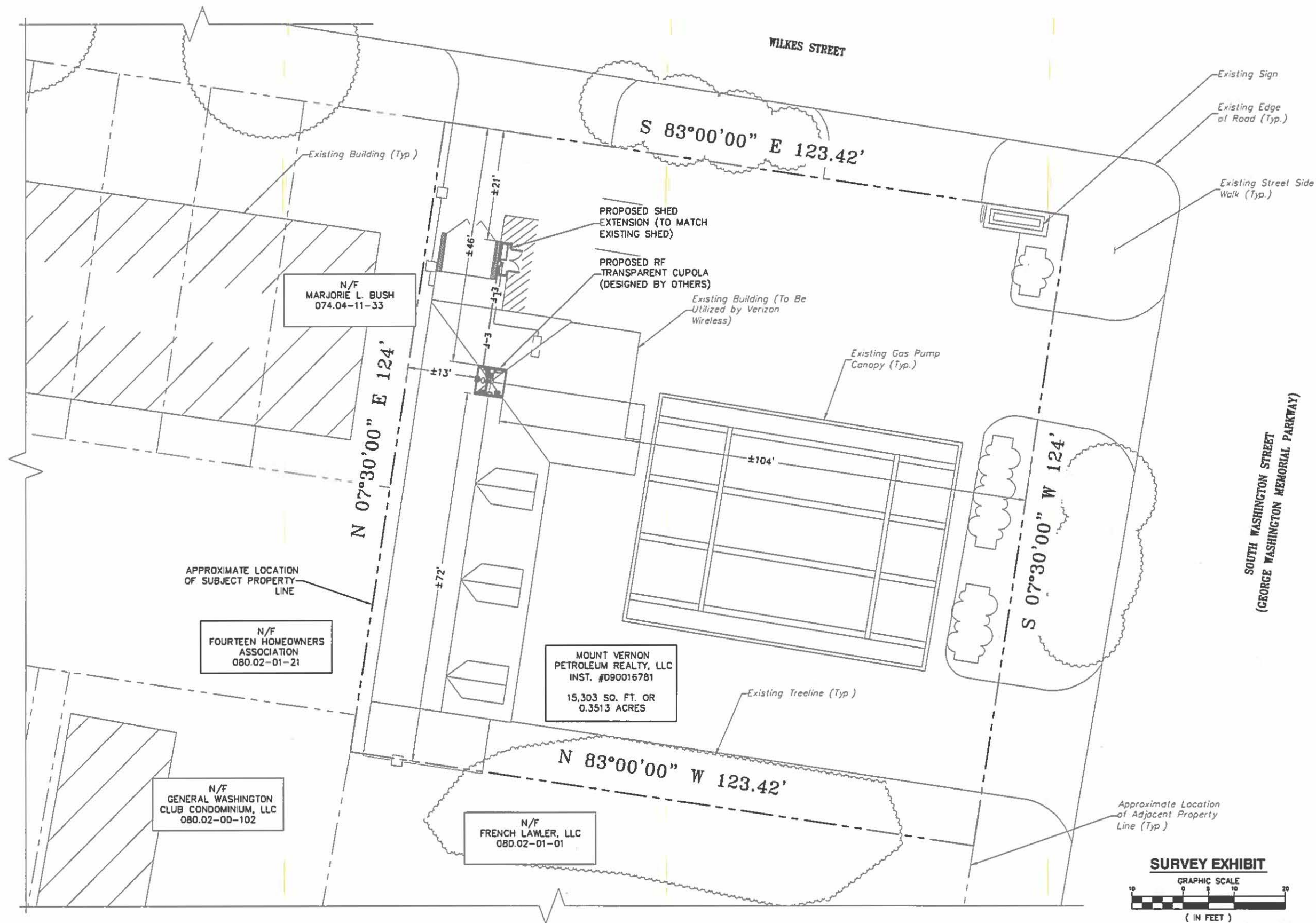
LANDS OF
MOUNT VERNON
PETROLEUM
REALTY, LLC

CITY OF ALEXANDRIA
VIRGINIA

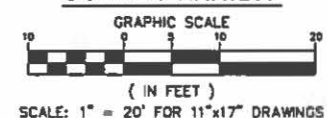
EXHIBIT
DRAWING

SHEET 1 OF 1

SCALE 1"=30'



SURVEY EXHIBIT



10003 Derekwood Lane Suite 204
Lanham, MD 20706-4804
PHONE: 858.802.0843
FAX: 858.802.0846

SITE NAME: CAPITAL PETROLEUM 117
PROJECT NO.: 20141100901-305389

501 SOUTH WASHINGTON STREET
ALEXANDRIA, VA 22302



7600 MONTEPELIER ROAD
FLOOR 2 SOUTH-NETWORK
LAUREL, MD 20723



NETWORK BUILDING + CONSULTING
5009 MARSHALLE DRIVE SUITE 340
FREDERICK, MD 21703
P 410.222.0002 NETWORKBUILDING.COM

NO.	DATE	REVISIONS	BY	CHK	APP'D
0	08/20/15	ISSUED FOR SUBMITTAL	MCA	MCA	NSB
SCALE: AS SHOWN DESIGNED BY: MCA DRAWN BY: AM					

SEAL:	NICK S. BERTIE PROFESSIONAL ENGINEER VA LICENSE NO. 042370
DATE:	

EXHIBIT DRAWING

CAPITAL PETROLEUM 117

JOB #	DRAWING NUMBER	REV
50068680	SURVEY	0

PROJECT DESCRIPTION	
THIS PROPOSAL IS FOR AN UNMANNED WIRELESS COMMUNICATION FACILITY CONSISTING OF THE INSTALLATION OF TWO (2) PANEL ANTENNAS MOUNTED IN A PROPOSED CUPOLA AND SUPPORTING EQUIPMENT MOUNTED IN THE CUPOLA AND IN A PROPOSED SHED EXTENSION.	

PROJECT INFORMATION	
APPLICANT ADDRESS:	CELLCO PARTNERSHIP VERIZON WIRELESS 7600 MONTPELIER ROAD FLOOR 2 SOUTH-NETWORK LAUREL, MD 20723
JURISDICTION:	ALEXANDRIA, VA
SITE ADDRESS:	501 SOUTH WASHINGTON STREET ALEXANDRIA, VA 22302
LATITUDE:	N 38° 48' 01.22" NAD 83 (SCIP)
LONGITUDE:	W 77° 02' 55.35" NAD 83 (SCIP)
AMSL:	22' ASML (SCIP)
PROPERTY OWNER:	MOUNT VERNON PETROLEUM REALTY LLC 6820B COMMERCIAL DR SPRINGFIELD, VA 22151
ACCOUNT NO.:	11251500
MAP/BLOCK/LOT NO.:	074.04/11/20
PROPERTY ZONED:	CL - COMMERCIAL LOW ZONE

RF DATA SHEET	
DATE ISSUED: 07/29/15 REV 2	

PROJECT CONTACTS	
------------------	--

VERIZON WIRELESS PROJECT MANAGER: TBD
PHONE:

DRAWING INDEX		REV

T-1	TITLE SHEET	0
C-1	SITE PLAN AND GENERAL NOTES	0

REV

[illegible]

GENERAL NOTES

1. THE SUBCONTRACTOR SHALL GIVE ALL NOTICES AND REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY. MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
2. THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE SUBCONTRACTOR BIDDING THE JOB IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID SUBCONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
3. THE SUBCONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE VERIZON WIRELESS REPRESENTATIVE OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF SUBCONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES, THE SUBCONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.
4. THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ALL OTHER MATERIALS AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
5. THE SUBCONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE SUBCONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
7. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S/VENDORS SPECIFICATIONS UNLESS OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
8. THE SUBCONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
9. THE SUBCONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE SUBCONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
10. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY.
11. THE SUBCONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVEMENTS, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE SUBCONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
12. THE SUBCONTRACTOR SHALL MAINTAIN THE GENERAL WORK AREA AS CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
13. THE SUBCONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
14. THE SUBCONTRACTOR SHALL NOTIFY THE VERIZON WIRELESS REPRESENTATIVE WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE SUBCONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED BY THE VERIZON WIRELESS REPRESENTATIVE.
15. THE SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.
16. BUILDING CODE: [INTERNATIONAL BUILDING CODES (IBC) 2012 AS ADOPTED BY THE COMMONWEALTH OF VIRGINIA]

NATIONAL ELECTRICAL CODE: [NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70-2011, NATIONAL ELECTRICAL CODE]

FIRE SAFETY CODE: [NFPA 72-2013]

LIFE SAFETY CODE: [NFPA 704-2012]

LIFE SAFETY CODE: 0072A-101F-2016

CAPITAL PETROLEUM 117

DATE: _____



GENERAL NOTES

- SITE AND BOUNDARY INFORMATION OBTAINED FROM THE FOLLOWING:
 - LIMITED FIELD OBSERVATIONS PERFORMED BY DEWBERRY ENGINEERS INC. ON 05/14/15.
- THIS PROPOSAL IS FOR AN UNMANNED WIRELESS COMMUNICATION FACILITY CONSISTING OF THE INSTALLATION OF TWO (2) PANEL ANTENNAS MOUNTED IN A PROPOSED CUPOLA AND SUPPORTING EQUIPMENT MOUNTED IN A PROPOSED CUPOLA AND SUPPORTING EQUIPMENT MOUNTED IN THE CUPOLA AND IN A PROPOSED SHED EXTENSION.
- THE PROPOSED FACILITY IS UNMANNED AND IS NOT FOR HUMAN HABITATION. (NO HANDICAP ACCESS IS REQUIRED).
- EXTERIOR SIGNS ARE NOT PROPOSED EXCEPT AS REQUIRED BY THE FCC.
- TOTAL AREA OF DISTURBANCE UNDER THIS PROPOSAL: 0 S.F.
- ALL CONSTRUCTION FOR SITE IMPROVEMENTS SHALL CONFORM TO APPLICABLE SPECIFICATIONS, STANDARDS, AND REQUIREMENTS OF THE GOVERNMENTAL OR UTILITY AUTHORITIES HAVING JURISDICTION.
- IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
- EROSION CONTROL MEASURES SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
- CONTRACTOR SHALL CONTACT THE "MISS UTILITY" ONE CALL SYSTEM PRIOR TO CONSTRUCTION @ 1-800-257-7777.
- ALL CONSTRUCTION AND DESIGN FOR THE PROPOSED ANTENNA MOUNTS SHALL CONFORM IN ACCORDANCE WITH THE CURRENT STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES (TIA/EIA-222-G) REVISED, DECEMBER 2009.
- POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.
- SUBCONTRACTOR TO VERIFY ANTENNA ELEVATION AND AZIMUTH WITH RF ENGINEERING PRIOR TO INSTALLATION.
- SUBCONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO EXCAVATING.
- SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS REQUIRED FOR CONSTRUCTION.
- SUBCONTRACTOR SHALL DETERMINE EXACT ROUTE OF ANY UNDERGROUND CONDUIT, IF REQUIRED.
- A DRIVEWAY PERMIT IS NOT REQUIRED.
- THIS PROJECT WILL NOT REQUIRE STREETS OR PROPERTY TO BE DEDICATED FOR PUBLIC USE.
- THIS PROJECT WILL NOT REQUIRE PERMANENT MONUMENTS.
- NO ENVIRONMENTAL INVESTIGATION WAS COMPLETED BY DEWBERRY.
- PROPERTY ZONED: CL - COMMERCIAL LOW ZONE
- PROPOSED SITE WILL GENERATE ON AVERAGE 2 TRIPS PER MONTH.
- THE SUBCONTRACTOR SHALL POST ALL SIGNS REQUIRED BY THE LATEST VERSION OF THE VERIZON WIRELESS "RADIO FREQUENCY COMPLIANCE & DEMARCATION POLICY" THIS MAY INCLUDE BUT ARE NOT LIMITED TOO:
 - NOTICE SIGNS TO DISTINGUISH THE BOUNDARY BETWEEN GENERAL POPULATION/UNCONTROLLED AREAS AND OCCUPATIONAL AREAS.
 - CAUTION SIGNS TO DISTINGUISH THE CONTROLLED AREAS WHERE RADIO FREQUENCY (RF) EXPOSURE CAN EXCEED THE OCCUPATIONAL/CONTROLLED MAXIMUM PERMISSIBLE EXPOSURE (MPE) LIMIT.
 - WARNING SIGNS TO DISTINGUISH THE BOUNDARY OF AREAS WITH RF LEVELS SUBSTANTIALLY ABOVE THE FCC LIMITS, GREATER THAN TEN (10) TIMES THE OCCUPATIONAL/CONTROLLED MPE LIMIT.
 - NOTICE-GUIDELINES FOR WORKING IN RADIOFREQUENCY ENVIRONMENTS: THIS SIGN IS TO BE POSTED ANYTIME SIGNAGE IS REQUIRED TO ACHIEVE FCC COMPLIANCE. IT MUST BE POSTED ON EVERY ACCESS POINT WHERE VERIZON IS EXPECTED TO EXCEED THE FCC GENERAL POPULATION EXPOSURE LIMIT AND ON EVERY ANTENNA ARRAY IN ACCESSIBLE AREAS.
 - FINAL SITE SIGNAGE IS PENDING AN ANALYSIS BY VERIZON WIRELESS RF ENGINEERS TO DETERMINE RADIO FREQUENCY HAZARD. NO UNNECESSARY SIGNAGE SHALL BE POSTED.

PROPERTY OWNERS MAP-BLOCK-Lot NUMBERS:

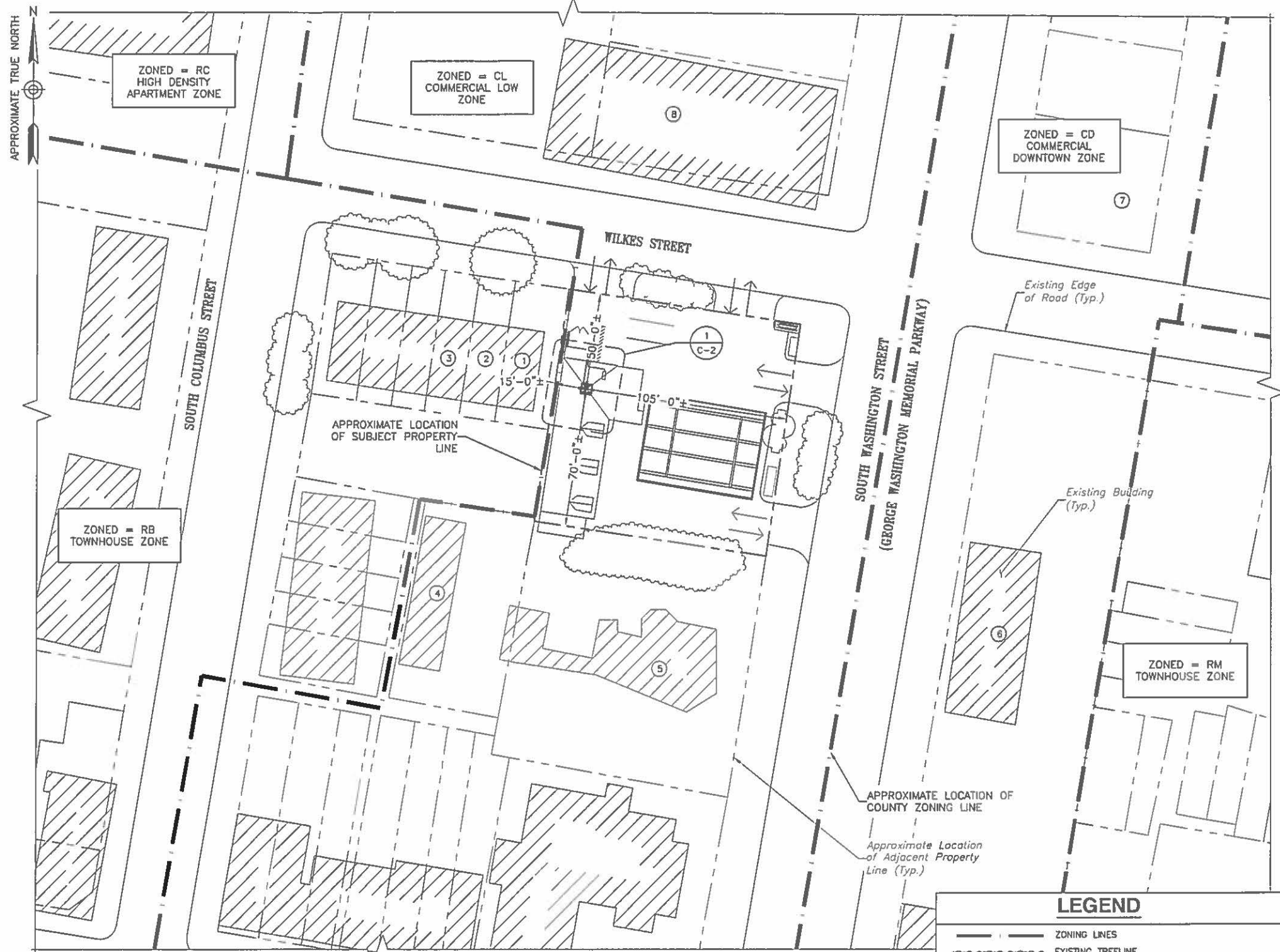
- | | |
|----------------------------------------------------------|-----------------------------------------------------|
| 1. BUSH MARJORIE
#074.04-11-33 | 7. 430 SOUTH WASHINGTON STREET LLC
#074.04-10-14 |
| 2. KAWASUMI TOMOKO OR
#074.04-11-32 | 8. HOPKINS INVESTMENT CO INC.
#074.04-11-19 |
| 3. POLITIS BRIAN N
#074.04-11-31 | |
| 4. GEN. WASHINGTON CLUB CONDOMINIUM LLC
#080.02-0D-00 | |
| 5. JEFFERSON DEVELOPMENT LLC
#080.02-01-01 | |
| 6. CHEVY CHASE BANK FSB
#080.02-02-01 | |

NOTE:

- PARCEL DATA AND ABUTTER INFORMATION TAKEN FROM CITY OF ALEXANDRIA REAL ESTATE ASSESSMENTS ON 07/27/15. ALL BOUNDARIES ARE APPROXIMATE
- ONLY ABUTTERS INFORMATION SHOWN FOR CLARITY
- LIMITED FIELD OBSERVATIONS CONDUCTED ON 05/14/2015
- ONLY PROPERTY LINES DIRECTLY ADJACENT TO SUBJECT PROPERTY WERE MAPPED BY DEWBERRY SURVEYORS ALL OTHERS ARE APPROXIMATE

LEGEND:

RB: TOWNHOUSE ZONE
 RC: HIGH DENSITY APARTMENT ZONE
 CL: COMMERCIAL LOW ZONE
 CD: COMMERCIAL DOWNTOWN ZONE
 RCX: MEDIUM DENSITY APARTMENT HOME
 RM: TOWNHOUSE ZONE



SITE PLAN

GRAPHIC SCALE
 (IN FEET)
 SCALE: 1" = 60' FOR 11"x17" DRAWINGS
 SCALE: 1" = 30' FOR 22"x34" DRAWINGS

LEGEND

- ZONING LINES
- EXISTING TREELINE
- HEAVY LINEWEIGHT INDICATES PROPOSED FACILITIES
- LIGHT LINEWEIGHT INDICATES EXISTING FACILITIES
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PROPERTY SETBACK LINE
- EXISTING BUILDING
- INGRESS & EGRESS

ZONING DRAWINGS NOT FOR CONSTRUCTION

SITE PLAN AND GENERAL NOTES

CAPITAL PETROLEUM 117

Dewberry
 Dewberry Engineers Inc.

10003 Derekwood Lane Suite 204
 Lanham, MD 20706-4804
 PHONE: 856.802.0843
 FAX: 856.802.0848

SITE NAME: CAPITAL PETROLEUM 117
 PROJECT NO.: 20141100901-305389

501 SOUTH WASHINGTON STREET
 ALEXANDRIA, VA 22302

verizon
 wireless

7600 MONTPELIER ROAD
 FLOOR 2 SOUTH-NETWORK
 LAUREL, MD 20723

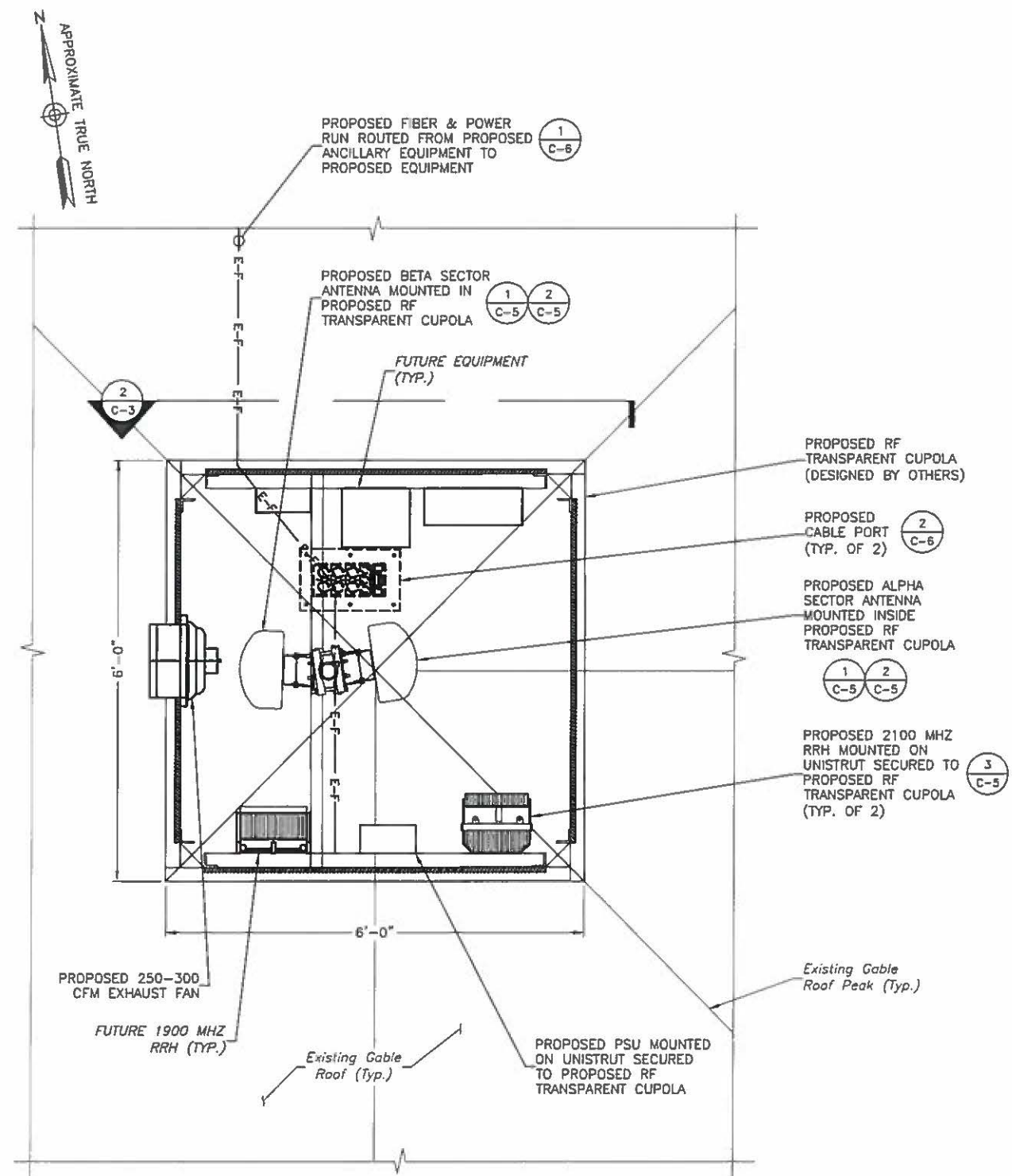
NB+C
 TOTALLY COMMITTED

NETWORK BUILDING + CONSULTING
 5095 MARSHLEE DRIVE SUITE 300
 ELKROCK, MD 21075
 P 410.712.7092 NETWORKBUILDING.COM

07/30/15 ISSUED FOR SUBMITTAL
 NO. DATE REVISIONS
 SCALE: AS SHOWN DESIGNED BY: MCA

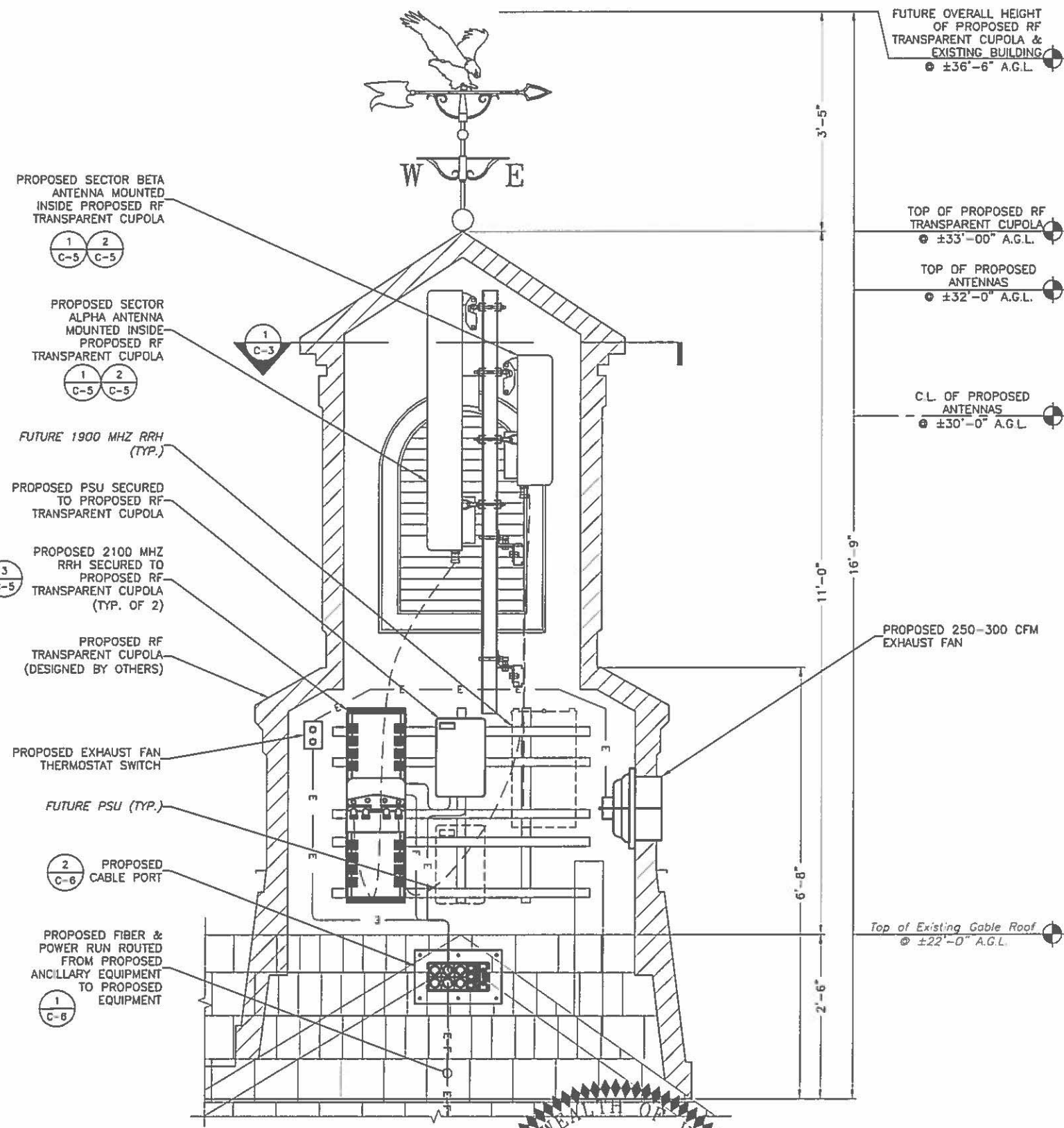
COMMONWEALTH OF VIRGINIA
 NICHOLAS SEBASTIAN
 SEAL
 Lic. No. 042370
 NICK S. BERTIE
 PROFESSIONAL ENGINEER
 CIVIL
 DATE:

JOB # 50068690
 DRAWING NUMBER C-1
 REV 0



EQUIPMENT LAYOUT PLAN 1

GRAPHIC SCALE
(IN FEET)
SCALE: 1" = 2' FOR 11"x17" DRAWINGS
SCALE: 1" = 1' FOR 22"x34" DRAWINGS



EQUIPMENT ELEVATION VIEW 2

GRAPHIC SCALE
(IN FEET)
SCALE: 1" = 2' FOR 11"x17" DRAWINGS
SCALE: 1" = 1' FOR 22"x34" DRAWINGS

FUTURE OVERALL HEIGHT OF PROPOSED RF TRANSPARENT CUPOLA & EXISTING BUILDING
@ ±36'-6" A.G.L.

TOP OF PROPOSED RF TRANSPARENT CUPOLA
@ ±33'-00" A.G.L.

TOP OF PROPOSED ANTENNAS
@ ±32'-0" A.G.L.

C.L. OF PROPOSED ANTENNAS
@ ±30'-0" A.G.L.

Dewberry
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Lanham, MD 20706-4804
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FAX: 856.802.0846

SITE NAME: CAPITAL PETROLEUM 117
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ALEXANDRIA, VA 22302

verizon
7600 MONTPELIER ROAD
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LAUREL, MD 20723

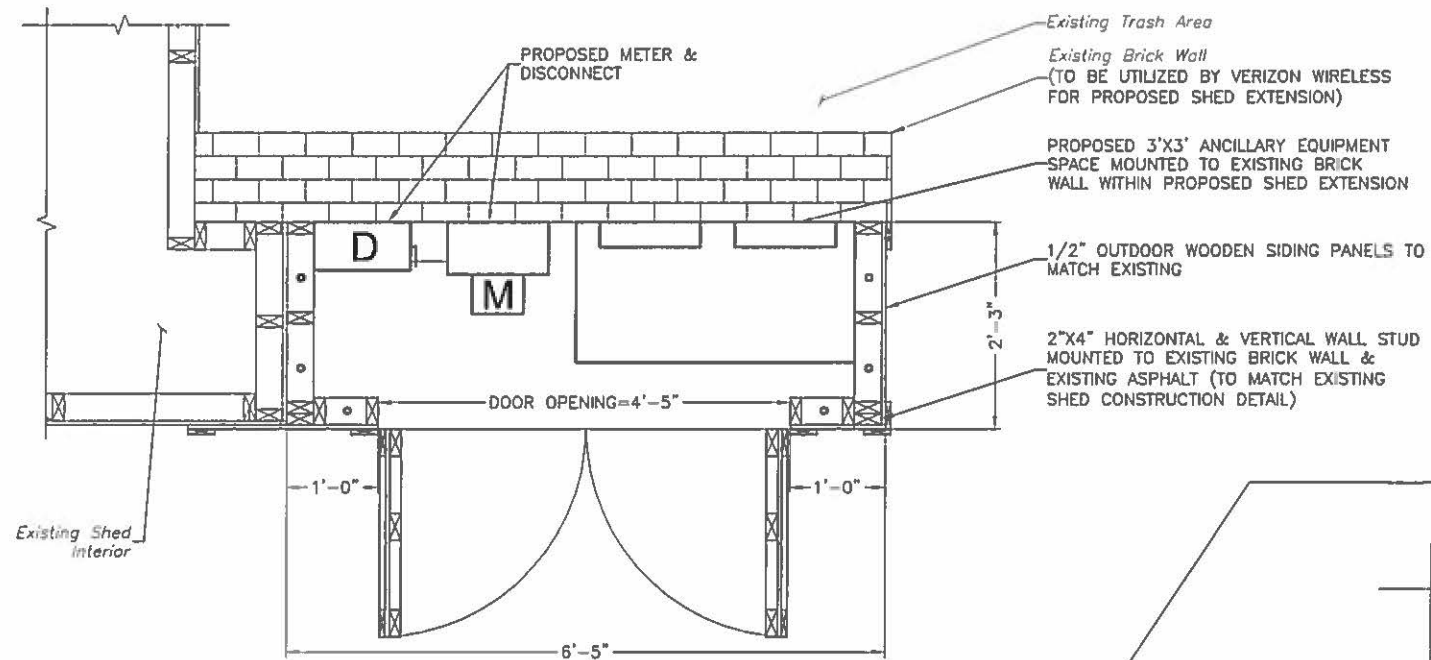
NB+C
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5095 MARSHALL DRIVE SUITE 300
ELK RIDGE, MD 21075
P 410.712.7092 NB+CBUILDING.COM

NO.		DATE	REVISIONS	BY	CHK	DATE	SCALE	DESIGNED BY	MCA	DRAWN BY	AM	DATE	JOB #	50068590	DRAWING NUMBER	C-3	REV	0
0		07/30/15	ISSUED FOR SUBMITTAL	AM	MCA													

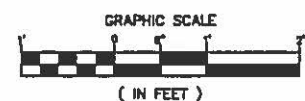
SEAL
NICK S. BERTÉ
Lic. No. 042370
PROFESSIONAL ENGINEER
COMMONWEALTH OF VIRGINIA
SOME OF A SEVERAL DRAWINGS
SCALE: 1" = 2' FOR 11"x17" DRAWINGS
SCALE: 1" = 1' FOR 22"x34" DRAWINGS

**ZONING DRAWINGS
NOT FOR CONSTRUCTION**

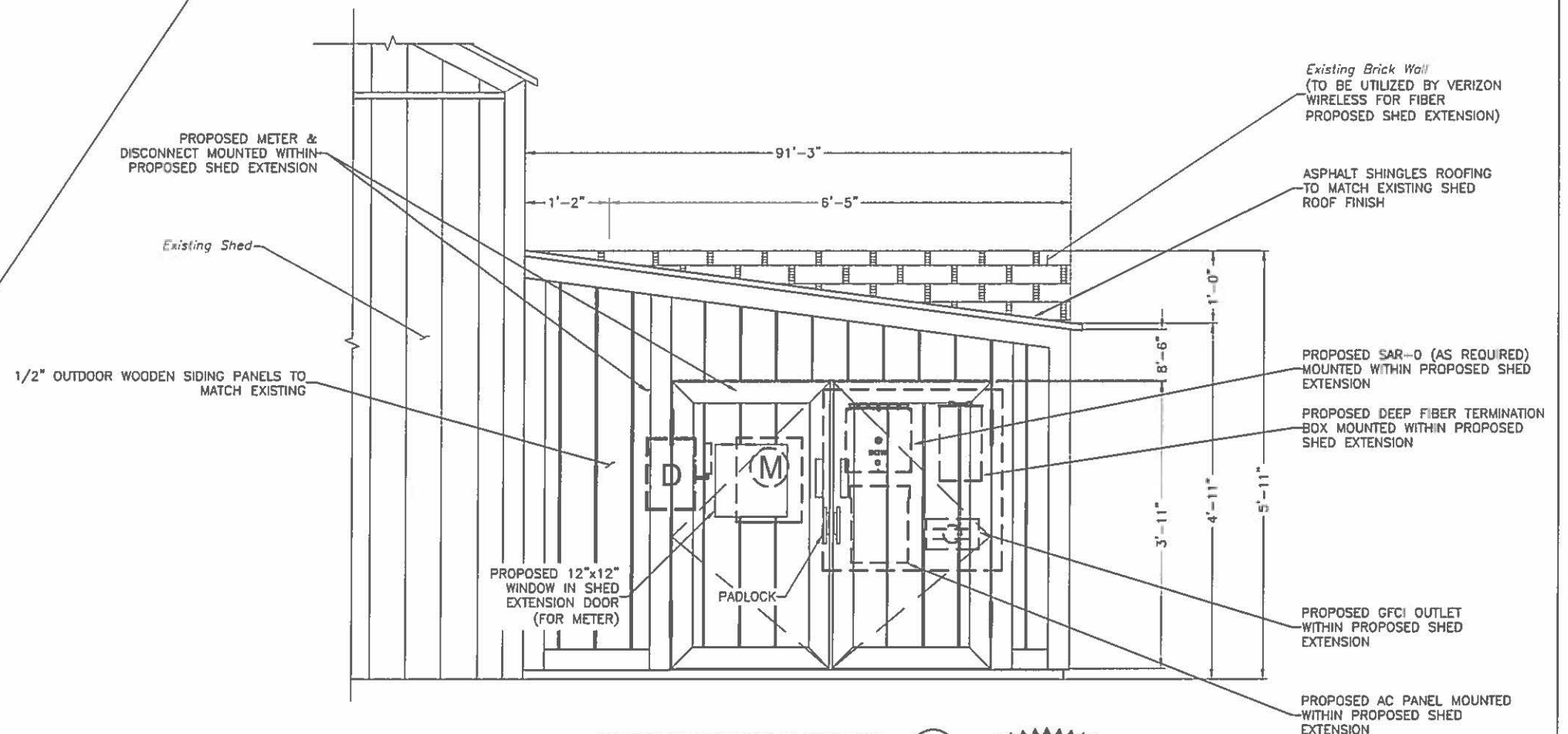
EQUIPMENT LAYOUT PLAN AND EQUIPMENT ELEVATION VIEW
CAPITAL PETROLEUM 117



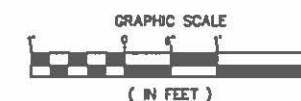
SHED EXTENSION PLAN



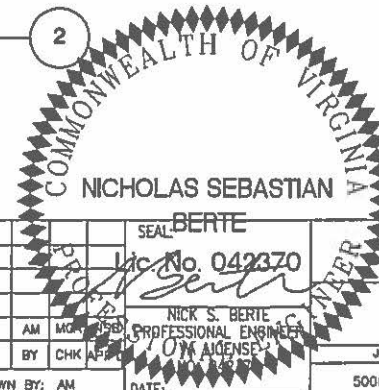
SCALE: 1" = 2' FOR 11"x17" DRAWINGS
SCALE: 1" = 1' FOR 22"x34" DRAWINGS



SHED EXTENSION ELEVATION



SCALE: 1" = 2' FOR 11"x17" DRAWINGS
SCALE: 1" = 1' FOR 22"x34" DRAWINGS



**ZONING DRAWINGS
NOT FOR CONSTRUCTION**

DETAILS - 1		CAPITAL PETROLEUM 117	
JOB #	DRAWING NUMBER	REV	
50088690	C-4	0	

Dewberry
Dewberry Engineers Inc.
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PHONE: 856.802.0643
FAX: 856.802.0848

SITE NAME: CAPITAL PETROLEUM 117
PROJECT NO.: 20141100901-305389
501 SOUTH WASHINGTON STREET
ALEXANDRIA, VA 22302

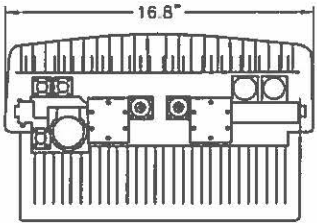
verizon
7600 MONTPELIER ROAD
FLOOR 2 SOUTH-NETWORK
LAUREL, MD 20723

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ELK RIDGE, MD 21075
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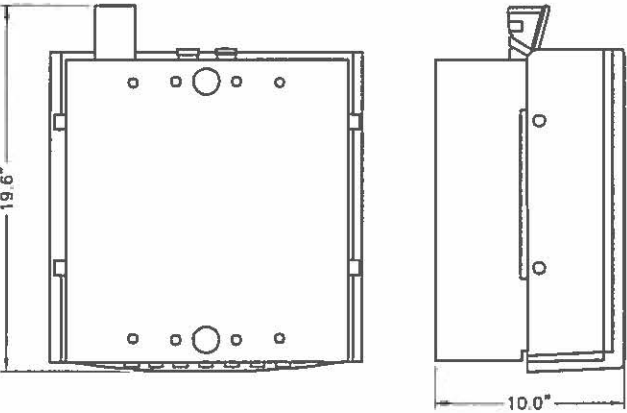
NO.	DATE	REVISIONS
0	07/30/15	ISSUED FOR SUBMITTAL
SCALE:	AS SHOWN	DESIGNED BY: MCA
DRAWN BY:	AM	DATE:

RF SYSTEM SCHEDULE								
ANTENNA SECTOR	ANTENNA AZIMUTH	FREQUENCY	TYPE OF ANTENNA	CABLE SCHEDULE			RRH	TMA
				COAX SIZE	RAD CENTER	EST. LENGTH		
ALPHA	90°	MULTI FREQUENCY	HTXCWW4513FD00	(4) 1/2"Ø	30'-0" AGL	±15'	1900 MHZ RRH (FUTURE)	N/A
							2100 MHZ RRH 60W	N/A
BETA	280°	MULTI FREQUENCY	QAP-FRO-440-VMO	(4) 1/2"Ø	30'-0" AGL	±15'	1900 MHZ RRH (FUTURE)	N/A
							2100 MHZ RRH 60W	N/A

NOTES: 1. ALL CHANGES TO THIS SCHEDULE SHOULD BE APPROVED BY VERIZON RF ENGINEERING.
2. CONTRACTOR TO VERIFY ANTENNA INFORMATION WITH CONSTRUCTION MANAGER BEFORE PURCHASING EQUIPMENT.

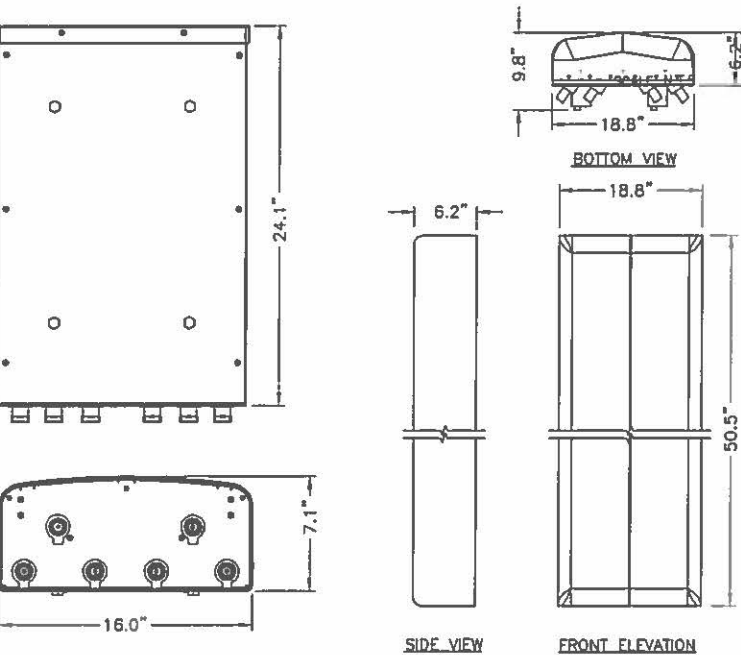


RRH2x40-700 REMOTE RADIO HEAD	
MANUFACTURER:	ALCATEL-LUCENT
POWER SUPPLY:	-48VDC
DIMENSIONS:	10"Dx16.8"Wx19.6"H
WEIGHT:	50.7 LBS (WITH OUT MOUNTING BRACKET)



- NOTES:
1. INSTALL RRH PER MANUFACTURERS RECOMMENDATIONS.
 2. FIBER, DC POWER & GROUND CONNECTIONS NOT SHOWN.

RRH 2X40 700 MHz RRH
SCALE: N.T.S. 4



MECHANICAL CHARACTERISTICS

DIMENSIONS (LxWxD)
(24.1" x 16" x 7.1")
(613mm x 407mm x 180mm)
WEIGHT: 11.7lbs (5.3kg)
(WITHOUT MOUNTING BRACKET)

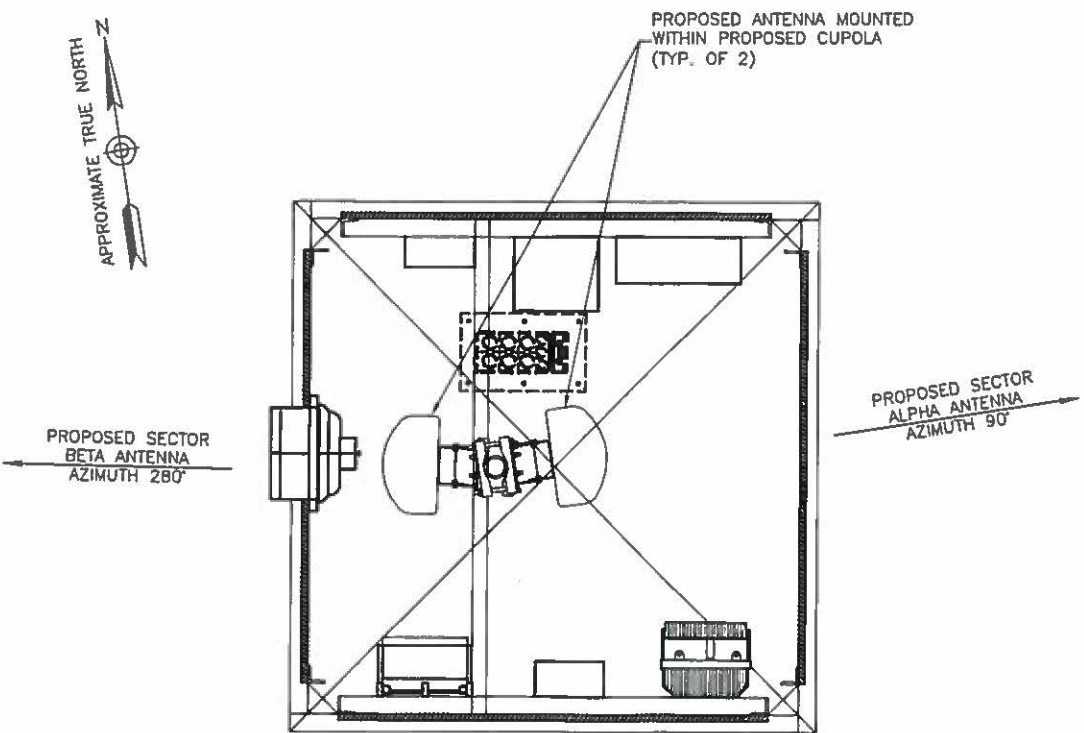
PANEL ANTENNA:
AMPHENOL HTXCWW4513FD00

MECHANICAL CHARACTERISTICS

DIMENSIONS (LxWxD)
50.5" x 18.8" x 6.2"
(1282mm x 479mm x 157mm)
WEIGHT WITHOUT BRACKET: 33.6lbs (15.2kg)

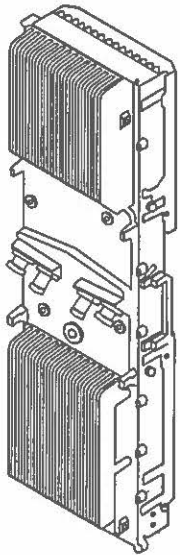
PANEL ANTENNA:
JMA WIRELESS: QAP-FRO-440-V

NEW ANTENNA DETAIL
SCALE: N.T.S. 1



- NOTES:
1. ANTENNA ORIENTATION IS BASED ON TRUE NORTH BEARING, CONTRACTOR SHALL VERIFY TRUE NORTH PRIOR TO CONSTRUCTION.
 2. CONTRACTOR TO REFER TO FINAL RF CONFIGURATIONS SHEET FOR ANTENNA AZIMUTHS PRIOR TO CONSTRUCTION.

ANTENNA MOUNTING AND ORIENTATION DETAIL
SCALE: N.T.S. 2



RRH2x60-2100 REMOTE RADIO HEAD	
MANUFACTURER:	ALCATEL-LUCENT
POWER SUPPLY:	-48VDC
DIMENSIONS:	6"Dx11"Wx37"H
WEIGHT:	55 LBS (WITH OUT MOUNTING BRACKET)

- NOTES:
1. INSTALL RRH PER MANUFACTURERS RECOMMENDATIONS.
 2. FIBER, DC POWER & GROUND CONNECTIONS NOT SHOWN.

RRH 2x60 2100 MHz RRH
SCALE: N.T.S. 3

ZONING DRAWINGS
NOT FOR CONSTRUCTION

Dewberry®
Dewberry Engineers Inc.

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Lanham, MD 20706-4804
PHONE: 858.802.0843
FAX: 858.802.0848

SITE NAME: CAPITAL PETROLEUM 117
PROJECT NO.: 20141100901-305389

501 SOUTH WASHINGTON STREET
ALEXANDRIA, VA 22302

verizonwireless

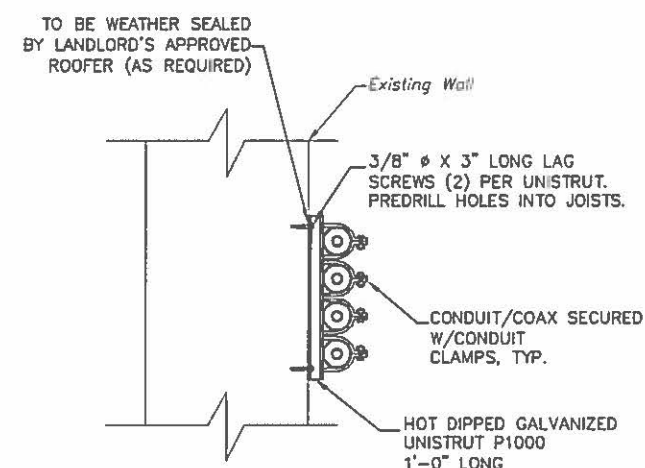
7600 MONTPELIER ROAD
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LAUREL, MD 20723

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3095 MARSHALLE DRIVE SUITE 300
ELK RIDGE, MD 21075
P 410.712.7092 NETWORKBUILDING.COM

NO.		DATE	REVISIONS	BY	CHK	APP	DATE	JOB #	DRAWING NUMBER	REV
0		07/30/15	ISSUED FOR SUBMITTAL	AM	MON	SEB		50068690	C-5	0
SCALE:		AS SHOWN		DESIGNED BY: MCA		DRAWN BY: AM		DATE:		

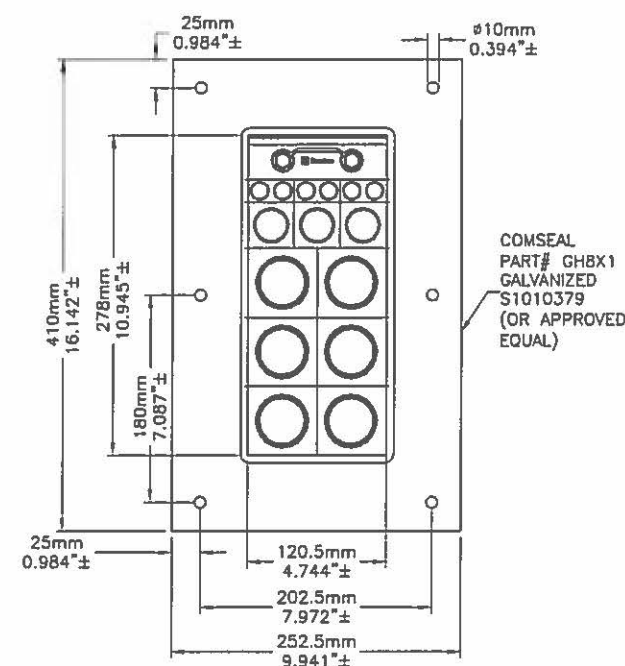




CONDUIT SUPPORT DETAIL

SCALE: N.T.S.

1



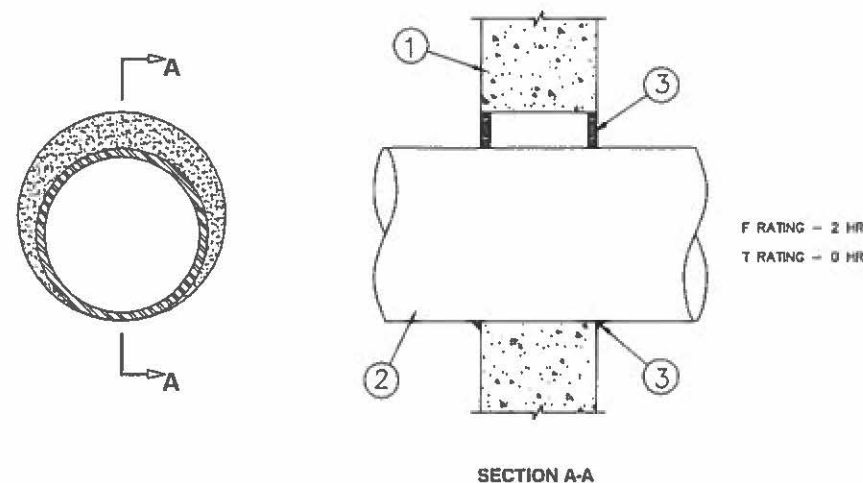
NOTES:

1. CONTRACTOR TO THOROUGHLY DRY AREA BEFORE CORING, INSTALLING AND SEALING CABLEPORT & BOOTS.
2. CONTRACTOR TO FOLLOW MANUFACTURERS INSTALL REQUIREMENTS.
3. WATERPROOF ALL EDGES AND HOLES.

COMSEAL DETAIL

SCALE: N.T.S.

2



SECTION A-A

1. WALL ASSEMBLY - MIN 5 IN. THICK REINFORCED LIGHTWEIGHT OR NORMAL WEIGHT (100-150 PCF) CONCRETE. WALL MAY ALSO BE CONSTRUCTED OF ANY UL CLASSIFIED CONCRETE BLOCKS*. MAX DIAMETER OF OPENING 5 IN.

SEE CONCRETE BLOCKS (CAZT) CATEGORY IN THE FIRE RESISTANCE DIRECTORY FOR NAMES OF MANUFACTURERS.

2. THROUGH PENETRANT - ONE METALLIC PIPE, CONDUIT OR TUBING INSTALLED CONCENTRICALLY OR ECCENTRICALLY WITHIN THE FIRESTOP SYSTEM. PIPE, CONDUIT OR TUBE TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF WALL ASSEMBLY. THE ANNULAR SPACE BETWEEN THE PIPE, CONDUIT OR TUBE AND PERIPHERY OF THE OPENING SHALL BE MIN 0 IN (POINT CONTACT) TO MAX 1/2 IN. THE FOLLOWING TYPES AND SIZES OF METALLIC PIPES, CONDUIT OR TUBE MAY BE USED:

- A. STEEL PIPE - NOM 4 IN. DIAM (OR SMALLER) SCHEDULE 40 (OR HEAVIER) STEEL PIPE.
- B. IRON PIPE - NOM 4 IN. DIAM (OR SMALLER) CAST OR DUCTILE IRON PIPE.
- C. CONDUIT - NOM 4 IN. DIAM (OR SMALLER) STEEL ELECTRICAL METALLIC TUBING (EMT) OR STEEL CONDUIT.
- D. COPPER TUBE - NOM 4 IN. DIAM (OR SMALLER) TYPE L (OR HEAVIER) COPPER TUBE.
- E. COPPER PIPE - NOM 4 IN. DIAM (OR SMALLER) REGULAR (OR HEAVIER) COPPER PIPE.

3. FILL, VOID OR CAVITY MATERIAL*-SEALANT - MIN 5/8 IN. THICKNESS OF FILL MATERIAL APPLIED WITHIN THE ANNULUS, FLUSH WITH BOTH SURFACES OF WALL. AT THE POINT CONTACT LOCATION BETWEEN PIPE AND WALL, A MIN 1/2 IN DIAM BEAD OF FILL MATERIAL SHALL BE APPLIED AT THE PIPE/WALL INTERFACE.

HILTI CONSTRUCTION CHEMICALS, DIV OF

HILTI INC - CP605 FLEXIBLE FIRESTOP SEALANT

*BEARING THE UL CLASSIFICATION MARK

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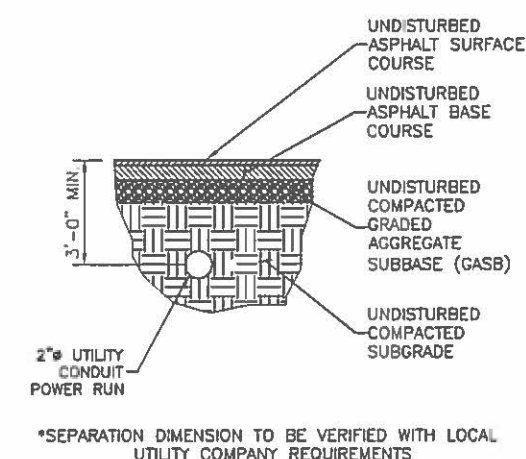
THE APPEARANCE OF A COMPANY'S NAME OR PRODUCT IN THIS DATABASE DOES NOT IN ITSELF ASSURE THAT PRODUCTS SO IDENTIFIED HAVE BEEN MANUFACTURED UNDER UL'S FOLLOW-UP SERVICE. ONLY THOSE PRODUCTS BEARING THE UL MARK SHOULD BE CONSIDERED TO BE LISTED AND COVERED UNDER UL'S FOLLOW-UP SERVICE. ALWAYS LOOK FOR THE MARK ON THE PRODUCT.

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WALL PENETRATION DETAILS

SCALE: N.T.S.

3



*SEPARATION DIMENSION TO BE VERIFIED WITH LOCAL UTILITY COMPANY REQUIREMENTS

UTILITY BORING UNDER EXISTING ASPHALT PAVEMENT

SCALE: N.T.S.

4

Dewberry
Dewberry Engineers Inc.

10003 Derekwood Lane Suite 204
Lanham, MD 20706-4804
PHONE: 855.802.0843
FAX: 855.802.0848

SITE NAME: CAPITAL PETROLEUM 117
PROJECT NO.: 20141100901-305389

501 SOUTH WASHINGTON STREET
ALEXANDRIA, VA 22302

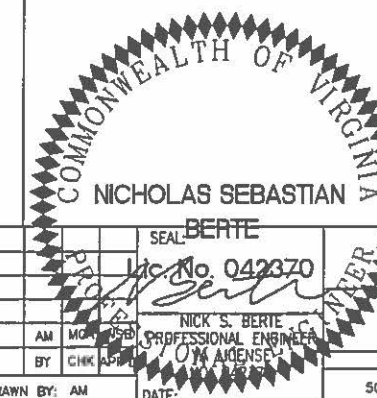
verizon
wireless

7600 MONTPELIER ROAD
FLOOR 2 SOUTH-NETWORK
LAUREL, MD 20723

NB+C
TOTALLY COMMITTED.

NETWORK BUILDING + CONSULTING
3095 MARSHLEE DRIVE SUITE 300
ELKROGE, MD 21075
P. 410.712.7092 NETWORKBUILDING.COM

NO.		DATE	REVISIONS	BY	CHK	APP	DATE	SCALE	DESIGNED BY	MCA	DRAWN BY	AM	DATE	JOB #	50068690	DRAWING NUMBER	C-6	REV	0
0		07/30/15	ISSUED FOR SUBMITTAL	AM	MON	09/08													

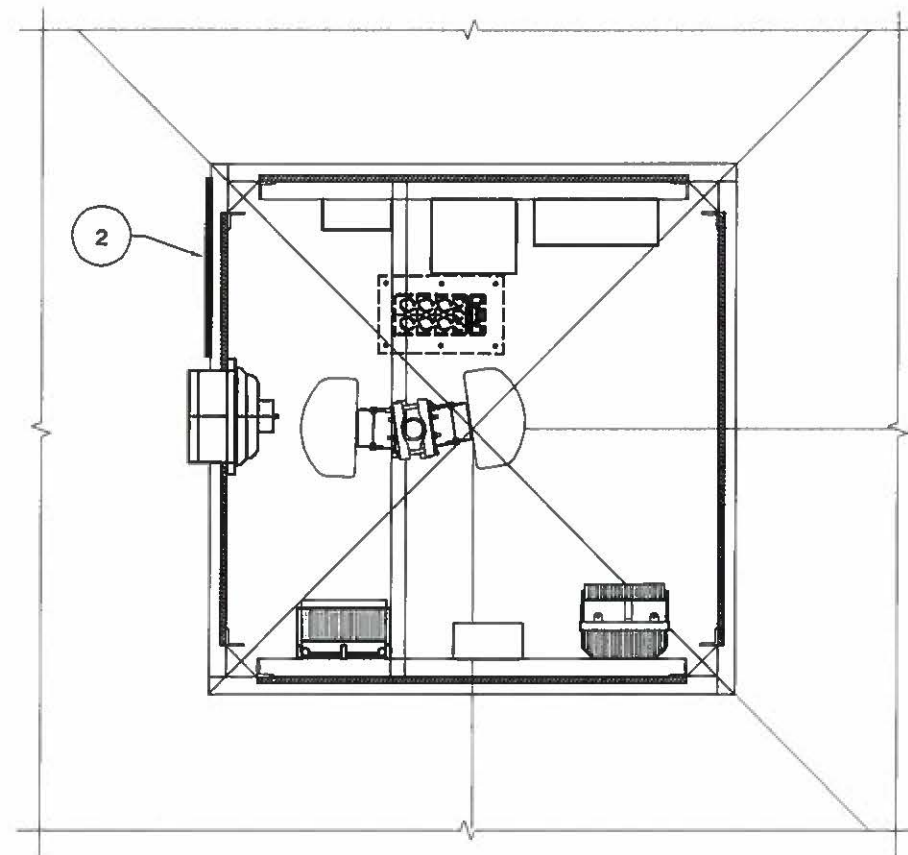


ZONING DRAWINGS
NOT FOR CONSTRUCTION

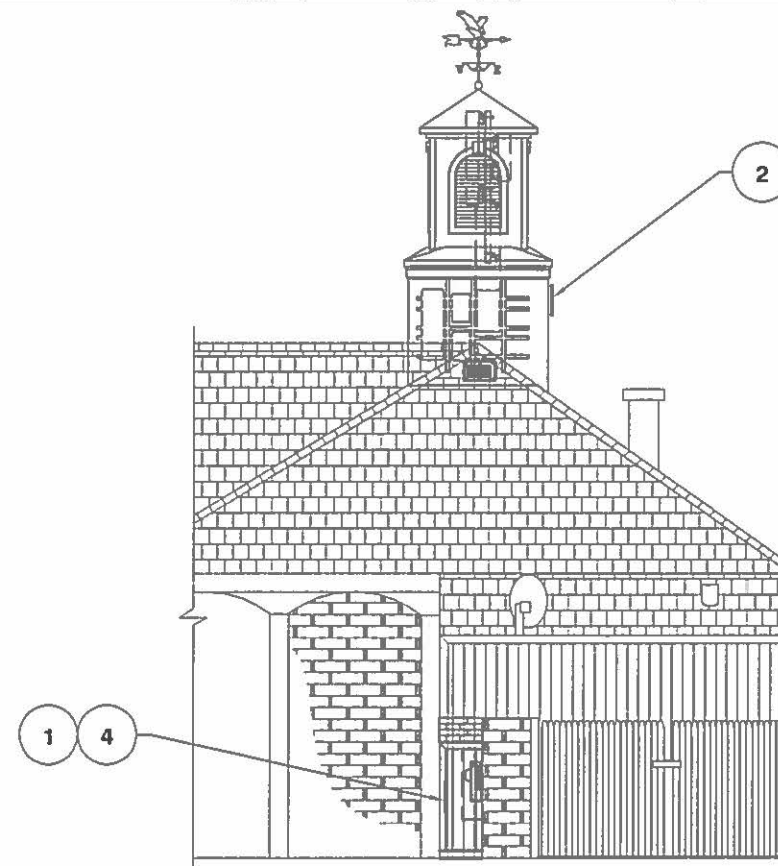
DETAILS - 3

CAPITAL PETROLEUM 117

1. VERIZON WIRELESS CONSTRUCTION MANAGER WILL PROVIDE ALL SIGNAGE REQUIRED FOR SITE.
2. UNDER THE DIRECTION OF THE VERIZON WIRELESS CONSTRUCTION MANAGER THE GENERAL CONTRACTOR WILL INSTALL THE SIGNS.
3. THE SUBCONTRACTOR SHALL POST ALL SIGNS REQUIRED BY THE LATEST VERSION OF THE VERIZON WIRELESS "RADIO FREQUENCY COMPLIANCE SIGNAGE & DEMARCATION POLICY" THIS MAY INCLUDE BUT ARE NOT LIMITED TOO:
- A. NOTICE SIGNS TO DISTINGUISH THE BOUNDARY BETWEEN GENERAL POPULATION/UNCONTROLLED AREAS AND OCCUPATIONAL AREAS
- B. CAUTION SIGNS TO DISTINGUISH THE CONTROLLED AREAS WHERE RADIO FREQUENCY (RF) EXPOSURE CAN EXCEED THE OCCUPATIONAL/CONTROLLED MAXIMUM PERMISSIBLE EXPOSURE (MPE) LIMIT.
- C. WARNING SIGNS TO DISTINGUISH THE BOUNDARY OF AREAS WITH RF LEVELS SUBSTANTIALLY ABOVE THE FCC LIMITS, GREATER THAN TEN (10) TIMES THE OCCUPATIONAL/CONTROLLED MPE LIMIT.
- D. NOTICE-GUIDELINES FOR WORKING IN RADIOFREQUENCY ENVIRONMENTS: THIS SIGN IS TO BE POSTED ANYTIME SIGNAGE IS REQUIRED TO ACHIEVE FCC COMPLIANCE. IT MUST BE POSTED ON EVERY ACCESS POINT WHERE VERIZON IS EXPECTED TO EXCEED THE FCC GENERAL POPULATION EXPOSURE LIMIT AND ON EVERY ANTENNA ARRAY IN ACCESSIBLE AREAS.
- E. FINAL SITE SIGNAGE IS PENDING AN ANALYSIS BY VERIZON WIRELESS RF ENGINEERS TO DETERMINE RADIO FREQUENCY HAZARD. NO UNNECESSARY SIGNAGE SHALL BE POSTED.

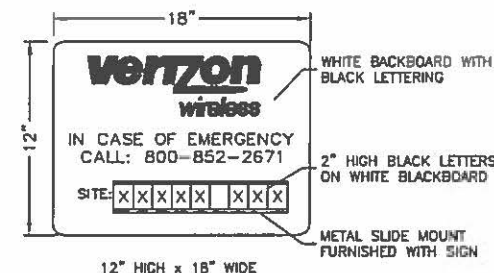


SIGN PLACEMENT PLAN
SCALE: N.T.S.



** MOUNT SIGNS OUTSIDE THE PROPOSED CUPOLA AT THE REAR SIDE

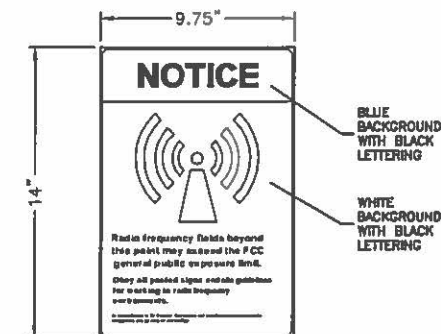
EQUIPMENT SIGNAGE
SCALE: N.T.S.



VERIZON WIRELESS-SITE ID SIGN



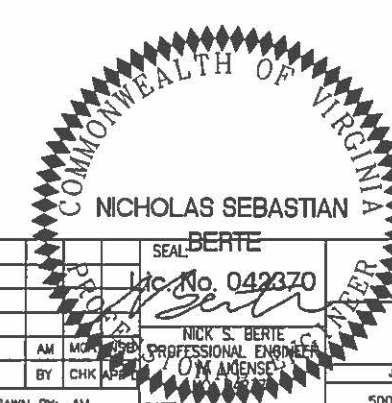
VERIZON EMERGENCY STICKER SIGN



RF - FREQUENCY FOR GENERAL EXPOSURE



RF - FREQUENCY FOR HUMAN EXPOSURE



ZONING DRAWINGS NOT FOR CONSTRUCTION



10003 Darewood Lane Suite 204
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CLARKICE, MD 21075
P 410.712.7092 www.nb+c.com

REVISIONS				JOB #			
NO.	DATE	REVISIONS	BY	CHK	APP	DATE	DRAWING NUMBER
1	07/30/15	ISSUED FOR SUBMITTAL	AM	MD	SE	08/04/15	C-7
SCALE: AS SHOWN				DESIGNED BY: MCA			
DRAWN BY: AM				DATE: 08/04/15			
50068690				CAPITAL PETROLEUM 117			

BAR Case # 2015-00281ADDRESS OF PROJECT: 501 S Washington StTAX MAP AND PARCEL: 074.04 - 11 - 20ZONING: CLAPPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
*(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)*Applicant: ☐ Property Owner ☒ Business *(Please provide business name & contact person)*Name: Verizon Wireless c/o Network Building + Consulting, LLCAddress: 7600 Montpelier DriveCity: Laurel State: MD Zip: 20723Phone: 301-512-2463 E-mail: mercy.luhanga@verizonwireless.comAuthorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☒ ConsultantName: Michael WeilandPhone: 410-712-7092 z1530E-mail: mweiland@nbcllc.com

Legal Property Owner:

Name: Mount Vernon Petroleum Realty LLCAddress: 6820B Commercial DriveCity: Springfield State: VA Zip: 22151Phone: 703-750-6810 E-mail: davidjfisher1@verizon.net

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
☐ Yes ☒ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☒ No Is there a homeowner's association for this property?
☐ Yes ☒ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|-----------------------------------|-----------------------------------------------------|-----------------------------------------------------|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
- ☒ other Cupola with internal communications equipment and extend existing shed to cover equipment.
- ☐ ADDITION
- ☐ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Install one (1) new cupola on rooftop of existing gas station building, with two (2) small cell wireless antennas installed inside and unmanned related equipment installed at the side of existing building at ground level inside extension to existing enclosure.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- ☐ N/A
- ☐ ☒ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☐ ☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☒ Description of the reason for demolition/encapsulation.
- ☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- N/A
- ☒ ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
 - ☐ ☒ FAR & Open Space calculation form.
 - ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
 - ☒ ☐ Existing elevations must be scaled and include dimensions.
 - ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
 - ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
 - ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A
- ☒ ☐ Linear feet of building: Front: 78 Secondary front (if corner lot): 40
 - ☒ ☐ Square feet of existing signs to remain: _____
 - ☒ ☐ Photograph of building showing existing conditions.
 - ☒ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
 - ☒ ☐ Location of sign (show exact location on building including the height above sidewalk).
 - ☒ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
 - ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- N/A
- ☒ ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
 - ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
 - ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
 - ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:Signature: Printed Name: Michael WeilandDate: 7/30/15

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. **Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Verizon Communications Inc.	1095 Avenue of the Americas New York, NY	100%
2.		
3.		

2. **Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 501 S Washington St. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.


Name	Address	Percent of Ownership
1.		
2.		
3.		

3. **Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A	N/A	N/A
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

6-23-15 Brian Stover 
Date Printed Name Signature

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

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Name	Address	Percent of Ownership
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Name	Address	Percent of Ownership
1. MOUNT VERNON PETROLEUM REALTY, LLC	6820 COMMERCIAL DR SUITE B96 SPRINGFIELD, VA 22151	100 %
3.		

3. **Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

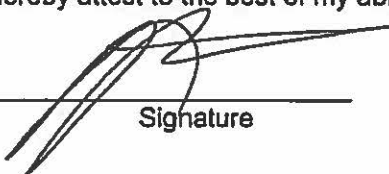
Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

7/31/15
Date

EYUB MAMO
Printed Name


Signature