

ADDRESS OF PROJECT: 501 S Washington StTAX MAP AND PARCEL: 074.04 - 11 - 20ZONING: CLAPPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
*(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)*Applicant: ☐ Property Owner ☒ Business *(Please provide business name & contact person)*Name: Verizon Wireless c/o Network Building + Consulting, LLCAddress: 7600 Montpelier DriveCity: Laurel State: MD Zip: 20723Phone: 301-512-2463 E-mail: mercy.luhanga@verizonwireless.comAuthorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☒ ConsultantName: Michael WeilandPhone: 410-712-7092 z1530E-mail: mweiland@nbcllc.com

Legal Property Owner:

Name: Mount Vernon Petroleum Realty LLCAddress: 6820B Commercial DriveCity: Springfield State: VA Zip: 22151Phone: 703-750-6810 E-mail: davidjfisher1@verizon.net

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
☐ Yes ☒ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☒ No Is there a homeowner's association for this property?
☐ Yes ☒ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|-----------------------------------|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
- ☒ other Cupola with internal communications equipment and extend existing shed to cover equipment.
- ☐ ADDITION
- ☐ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Install one (1) new cupola on rooftop of existing gas station building, with two (2) small cell wireless antennas installed inside and unmanned related equipment installed at the side of existing building at ground level inside extension to existing enclosure.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- ☐ N/A
- ☐ ☒ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☐ ☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☒ Description of the reason for demolition/encapsulation.
- ☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- N/A
- ☒ ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
 - ☐ ☒ FAR & Open Space calculation form.
 - ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
 - ☒ ☐ Existing elevations must be scaled and include dimensions.
 - ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
 - ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
 - ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A
- ☒ ☐ Linear feet of building: Front: 78 Secondary front (if corner lot): 40
 - ☒ ☐ Square feet of existing signs to remain: _____
 - ☒ ☐ Photograph of building showing existing conditions.
 - ☒ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
 - ☒ ☐ Location of sign (show exact location on building including the height above sidewalk).
 - ☒ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
 - ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- N/A
- ☒ ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
 - ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
 - ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
 - ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:Signature: Printed Name: Michael WeilandDate: 7/30/15

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Verizon Communications Inc.	1095 Avenue of the Americas New York, NY	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 501 S Washington St. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.


Name	Address	Percent of Ownership
1.		
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A	N/A	N/A
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

6-23-15 Brian Stover 
Date Printed Name Signature

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

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Name	Address	Percent of Ownership
1.		
2.		
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Name	Address	Percent of Ownership
1. MOUNT VERNON PETROLEUM REALTY, LLC	6820 COMMERCIAL DR SUITE B96 SPRINGFIELD, VA 22151	100 %
3.		

3. **Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

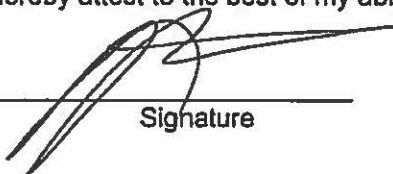
Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

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As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

7/31/15
Date

EYUB MAMO
Printed Name


Signature



DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property Information

A1. Street Address 501 S Washington St Zone CL

A2. $\frac{15,304}{\text{Total Lot Area}} \times \frac{0.5}{\text{Floor Area Ratio Allowed by Zone}} = \frac{7,652}{\text{Maximum Allowable Floor Area}}$

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions **	
Basement		Basement	
First Floor	2417	Stairways	
Second Floor		Mechanical	
Third Floor		Other	
Porches/ Other		Total Exclusions	0
Total Gross *	2417		

B1. Existing Gross Floor Area *
2417 Sq. Ft.

B2. Allowable Floor Exclusions
0 Sq. Ft.

B3. Existing Floor Area minus Exclusions
2417 Sq. Ft.
(subtract B2 from B1)

C. New Gross Floor Area

Proposed Gross Area*		Allowable Exclusions **	
Basement		Basement	
First Floor	15	Stairways	
Second Floor		Mechanical	
Third Floor		Other	
Porches/ Other		Total Exclusions*	0
Total Gross *	15		

C1. New Gross Floor Area *
15 Sq. Ft.

C2. Allowable Floor Exclusions
0 Sq. Ft.

C3. New Floor Area minus Exclusions
15 Sq. Ft.
(subtract C2 from C1)

D. Existing + New Floor Area

D1. Total Floor Area (add B3 and C3) 2432 Sq. Ft.

D2. Total Floor Area Allowed by Zone (A2) 7652 Sq. Ft.

*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

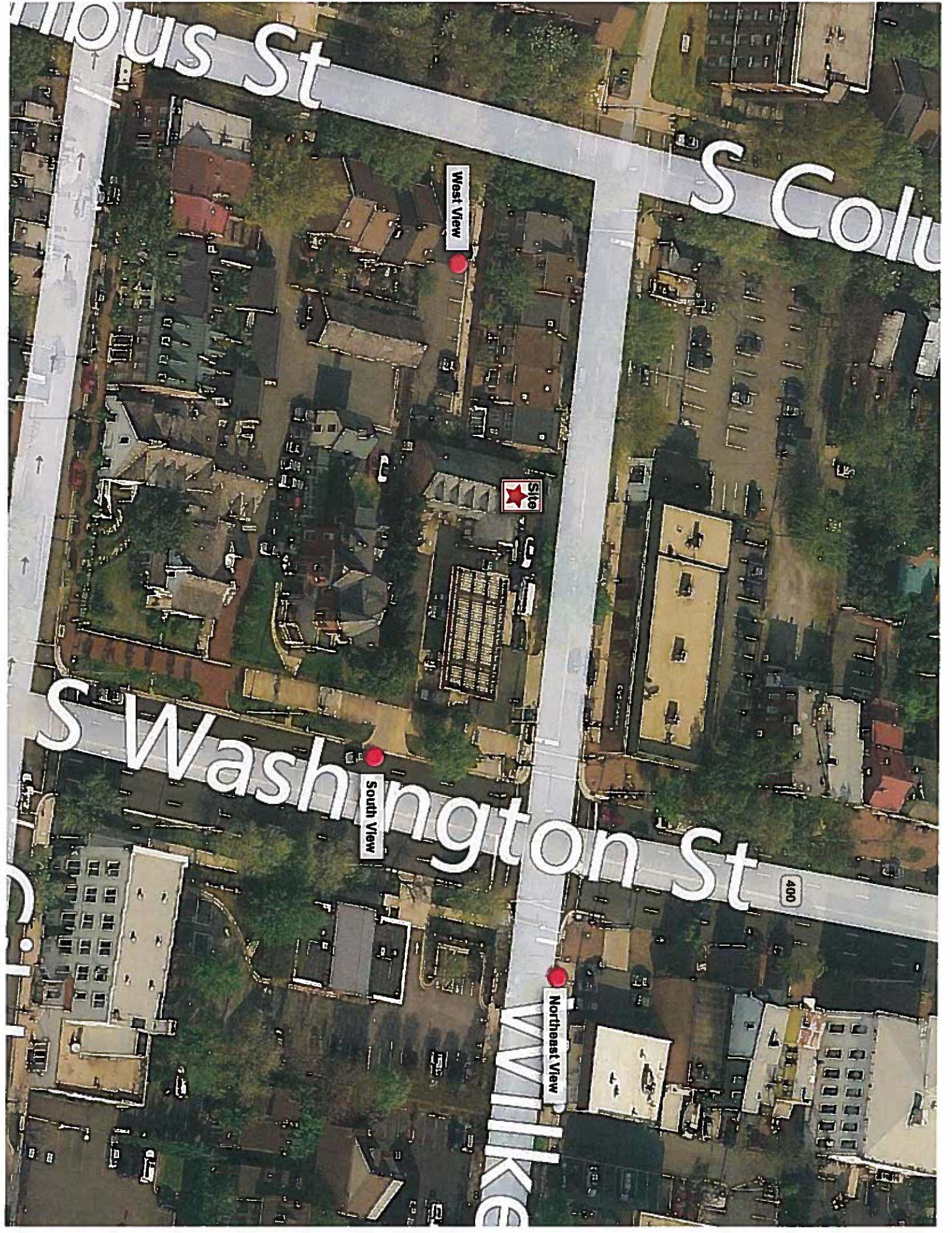
If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

F. Open Space Calculations

Existing Open Space	2417
Required Open Space	7652
Proposed Open Space	2432

The undersigned hereby certifies and attests that to the best of his/her knowledge, the above computations are true and correct.

Signature: [Signature] Date: 8/11/15



HTXCWW4513Fxy0

Tri Band | Panel | XXX-Pol | 45° | 14.0 / 14.0 / 14.0 | Fixed Tilt

- Tri Band, XXX-Pol, fixed tilt, panel antenna
- Features ultra wide low band frequency range

Ordering Options

When ordering, replace the "x" in the model number with the desired electrical downtilt for the 696-960 MHz frequency and replace the "y" in the model number with the desired electrical downtilt for the 1710-2170 MHz range. Select from the options listed below under Electrical Downtilt.


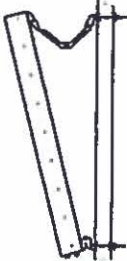
Electrical Characteristics		696-960 MHz		Highbands #1 and #2: 1710-2170 MHz		
Frequency Bands (MHz)		696-806	806-960	1710-1880	1850-1990	1900-2170
Polarization		±45°		2x ±45°		
Horizontal Beamwidth		45°	39°	50°	50°	45°
Vertical Beamwidth		40°	35°	24°	22°	22°
Gain		13.0 dBi	14.0 dBi	13.3 dBi	14.0 dBi	14.0 dBi
Electrical Downtilt		(x) 0		(y) 0		
Impedance		50Ω		50Ω		
VSWR		≤ 1.5:1		≤ 1.5:1		
Front-to-Back Ratio		> 20 dB		> 25 dB		
In-Band Isolation		≥ 25 dB		≥ 25 dB		
Isolation Between Ports		> 30 dB		> 30 dB		
IM3 (2x20W carrier)		< -150 dBc		< -150 dBc		
Input Power		500 W		300 W		
Lightning Protection		Direct Ground				
Total Number of Connectors		Antenna has 6 connectors located at the bottom				
Connectors Per Band, Type, Location	696-960 MHz	2 Connectors / 7/16-DIN Female / Bottom / Red Rings				
	1710-2170 MHz	2 Connectors / 7/16-DIN Female / Bottom / White Rings				
	1710-2170 MHz	2 Connectors / 7/16-DIN Female / Bottom / Blue Rings				
Mechanical Characteristics						
Dimensions (Height x Width x Depth)		613 x 407 x 180 mm			24.1 x 16.0 x 7.1 in	
Weight without Mounting Brackets		5.3 kg			11.7 lbs	
Survival Wind Speed		241 km/hr			150 mph	
Wind Area	Front	0.25 m²			2.7 ft²	
	Side	0.11 m²			1.2 ft²	
Wind Loads (160 km/hr or 100 mph)	Front	305 N			68 lbf	
	Side	135 N			30 lbf	

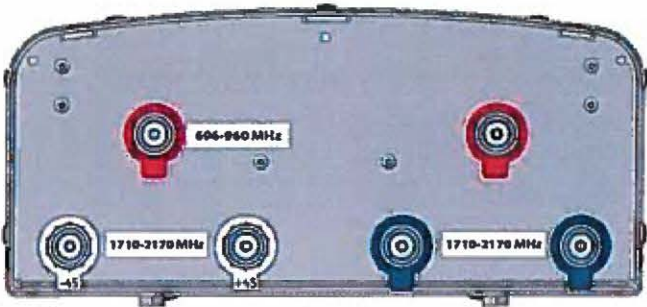
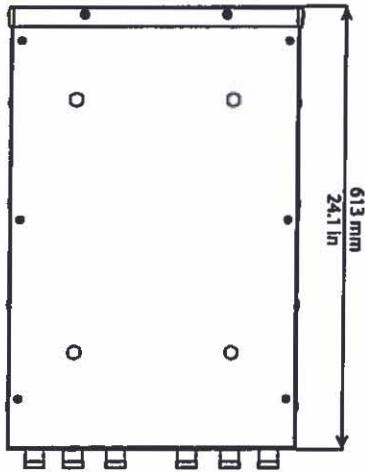
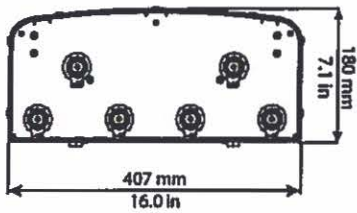


Quoted performance parameters are provided to offer typical or range values only and may vary as a result of normal manufacturing and operational conditions. Extreme operational conditions and/or stress on structural supports is beyond our control. Such conditions may result in damage to this product. Improvements to product may be made without notice.

HTXCWW4513Fxy0

Tri Band | Panel | XXX-Pol | 45° | 14.0 / 14.0 / 14.0 | Fixed Tilt

Mounting Options	Part Number	Image	Fits Pipe Diameter	Weight
The following mounting and downtilt bracket kits are included with the antenna.				
2-Point Mounting Bracket Kit	0900181/00		48-115 mm 1.9-4.5 in	3.4 kg 7.5 lbs
Kit to Add Mechanical Downtilt	0900188/00		—	1.5 kg 3.3 lbs

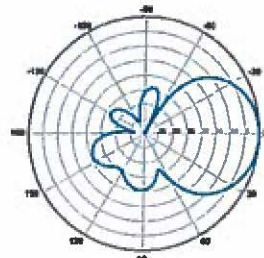
Bottom View of Antenna	Dimensions
	 

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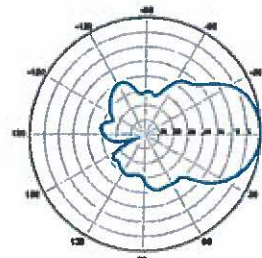
HTXCWW4513Fxy0

Tri Band | Panel | XXX-Pol | 45° | 14.0 / 14.0 / 14.0 | Fixed Tilt

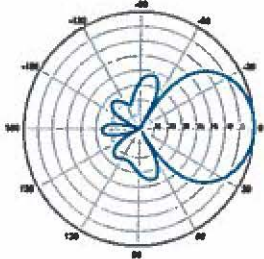
696-960 MHz (Red)



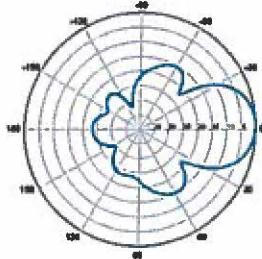
Horizontal | 750 MHz



0° | Vertical | 750 MHz

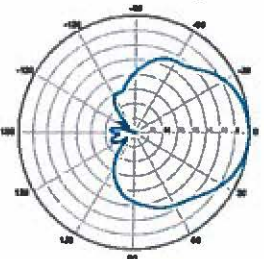


Horizontal | 850 MHz

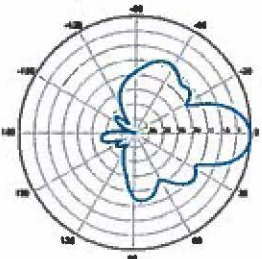


0° | Vertical | 850 MHz

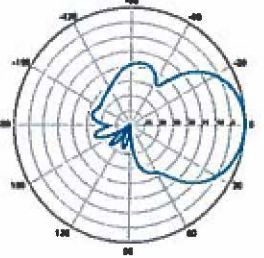
Highbands #1 and #2: 1710-2170 MHz (Blue & White)



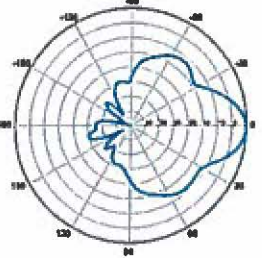
Horizontal | 1800 MHz



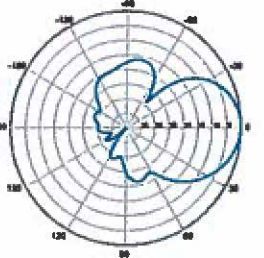
0° | Vertical | 1800 MHz



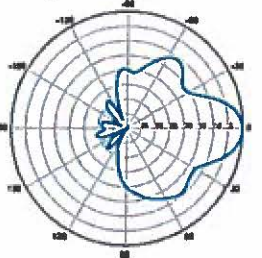
Horizontal | 1900 MHz



0° | Vertical | 1900 MHz



Horizontal | 2100 MHz



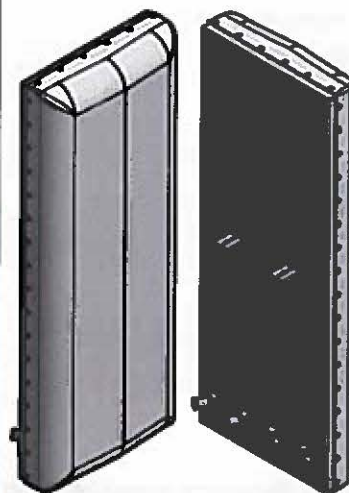
0° | Vertical | 2100 MHz

Quoted performance parameters are provided to offer typical or range values only and may vary as a result of normal manufacturing and operational conditions. Extreme operational conditions and/or stress on structural supports is beyond our control. Such conditions may result in damage to this product. Improvements to product may be made without notice.

QAP-FRO-440-V

1710-2180MHz, 50.5" Fast Roll Off 40° H-Beam MIMO Antenna
RET/MET

- 4-Port 1710-2180 MHz Fast Roll Off (FRO) Antenna:
 - Two High Band Antennas in a Single Radome, Each with Separate Tilts
- Can be used for MIMO Applications
- Suitable for LTE/CDMA/UMTS/GSM
- AISG v2.0 RET or Manual (MET) Tilt Control



ELECTRICAL SPECIFICATIONS

Frequency Band, MHz	1710-1880	1850-1990	1920-2180
Horizontal Beamwidth, 3dB points	40°	38°	33°
Gain, dBi	17.4	17.7	17.9
Vertical Beamwidth, 3dB points	7.3°	7.2°	6.7°
Front-to-Back at 180°, dB	> 28		
Upper Sidelobe Suppression, Typical, dB	<-30		
Polarization	+/-45°		
Electrical Downtilt	0°-6° or 4°-10°		
VSWR/Return Loss, dB, Maximum	1.5:1/14.0		
Isolation Between Ports, dB, Minimum	>28		
Intermodulation (2x20w), IM3, dBc	-150		
Impedance, ohms	50		
Maximum Power Per Connector, CW	250		

MECHANICAL SPECIFICATIONS

Dimensions, Length/Width/Depth	50.5 x 18.8 x 6.2 in (1282/479/157mm)
Connector Quantity Type	(4) 7-16 DIN Female
Connector Torque	220-265 lbf-in (23-30 N-m)
Connector Location	Back
Antenna Weight	33.6 bs (15.2kg)
Bracket Weight	13.2 lbs (5.99Kg)
Standard Bracket Kit	CSS P/N 919011
Mechanical Downtilt Range	0°-12°
Radome Material	High Strength Luran, UV Stabilized, ASTM D1925
Wind Survival	150 mph (241 km/h)
Front Wind Load @100mph	163.8 lbf (728.8 N) @100mph
Equivalent Flat Plate @ 100mph	3.26 sq-ft (c=2) @ 100mph

RET INFORMATION

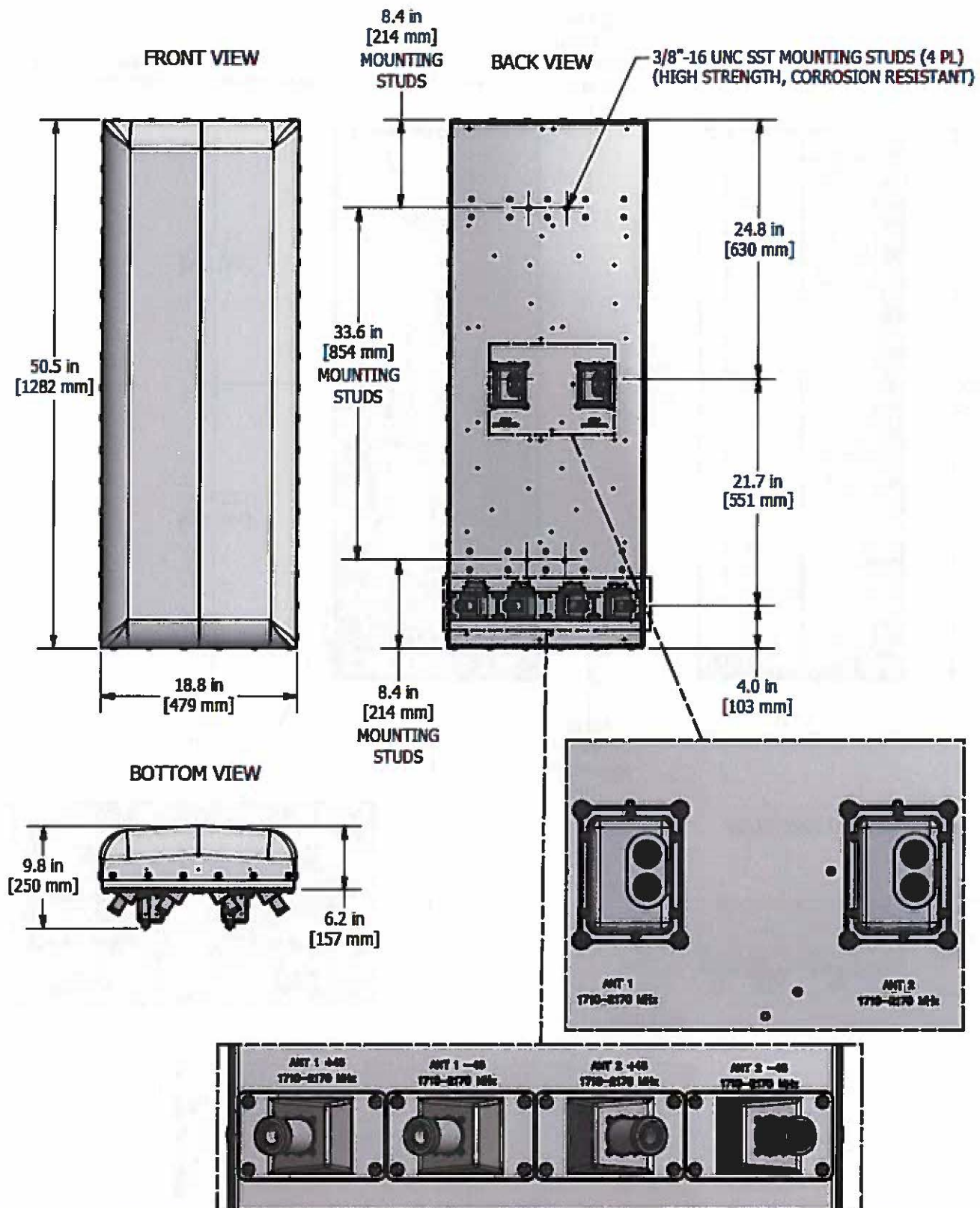
Model	CSS-RET-200
Mounting Location	Back
Weight	1.2 lb (0.54 kg)
Communication Standard	AISG 2.0
Control System	CSS-PCU-220



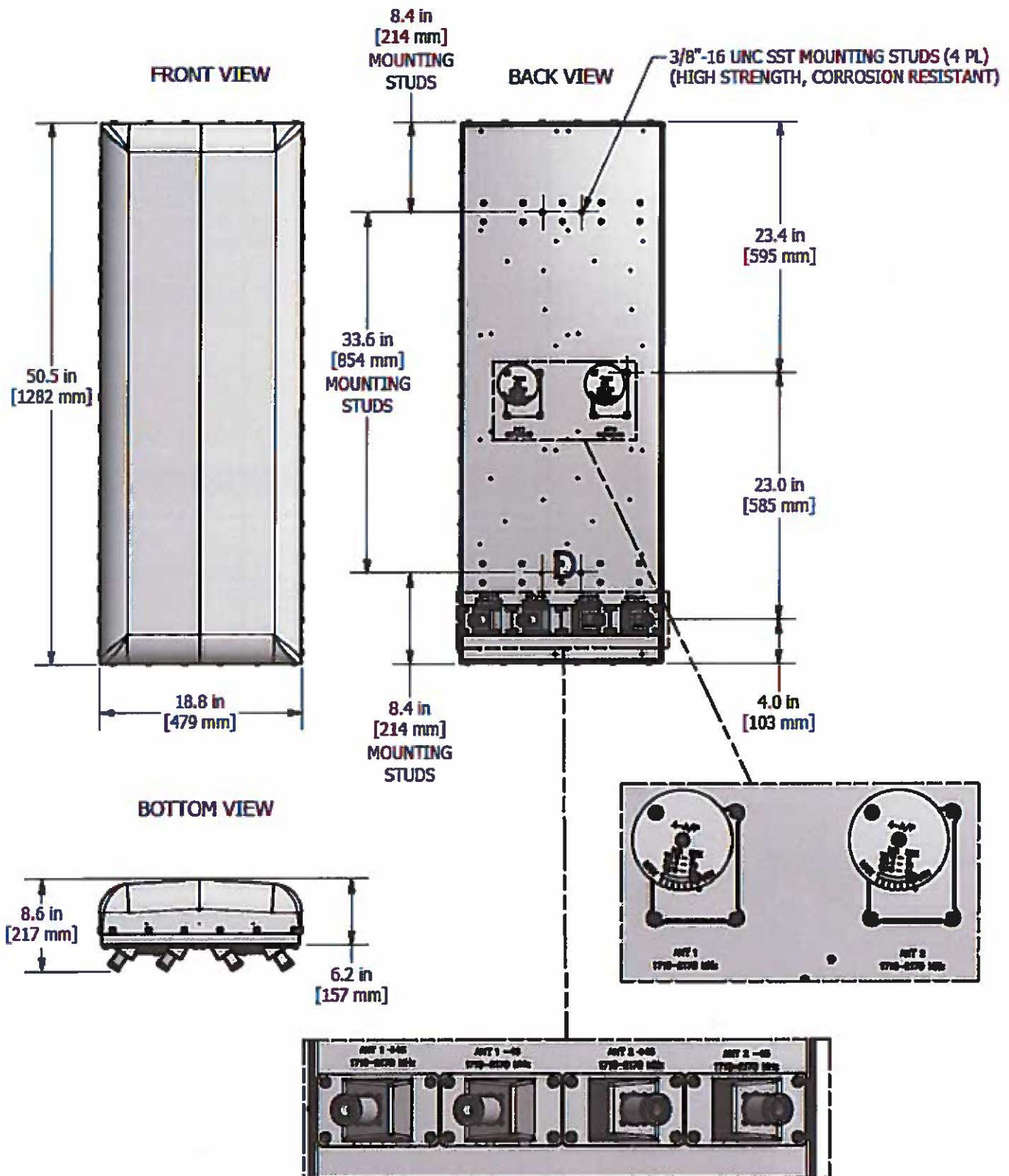
ORDER INFORMATION

MODEL	DESCRIPTION
QAP-FRO-640-VR0	X-Pol antenna with motor for remote electrical tilt (RET) range of 0-6°
QAP-FRO-640-VR4	X-Pol, antenna with motor for remote electrical tilt (RET) range of 4-10°
QAP-FRO-640-VM0	X-Pol, antenna with manual adjust wheel for electrical tilt (MET) range of 0-6°
QAP-FRO-640-VM4	X-Pol, antenna with manual adjust wheel for electrical tilt (MET) range of 4-10°
Optional Bracket Kit	919036 - Bracket Kit, 2-Point, 12deg D-tilt, For 4.5" OD Pole
RET Ordering Information	(1) 992100-CA005-SC; AISG Jumper Cable, M/F, 0.5 meters

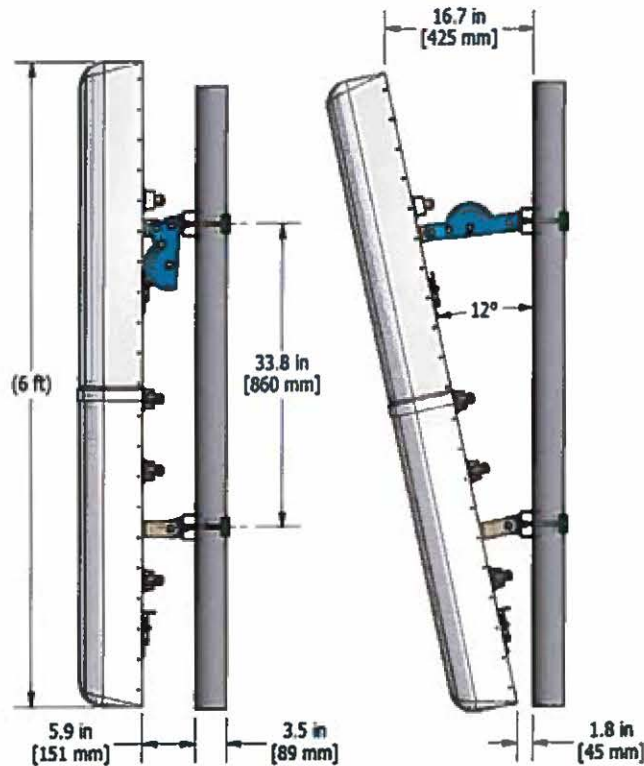
Mechanical Outline Drawing: RET Version



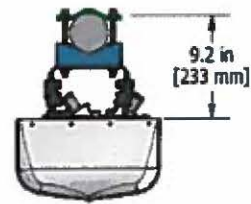
Mechanical Outline Drawing: MET Version



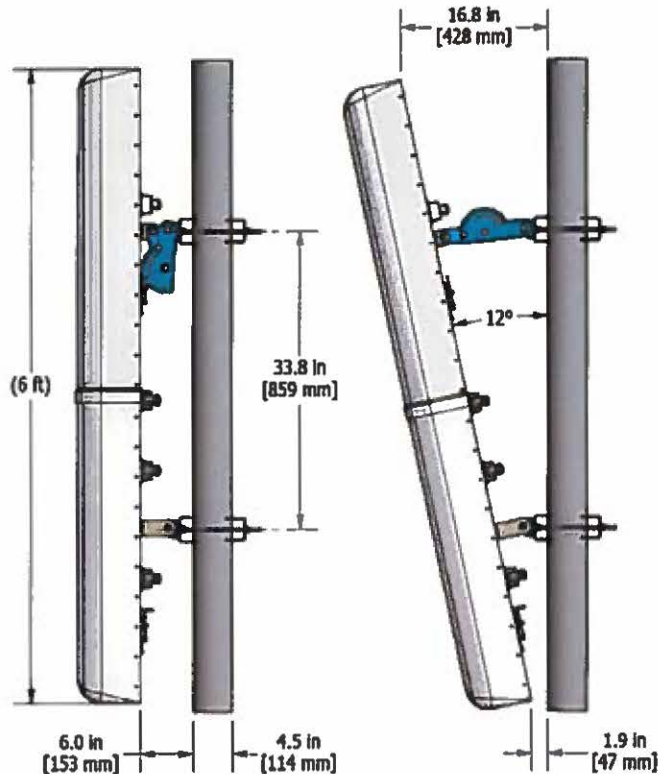
Standard Bracket Kit



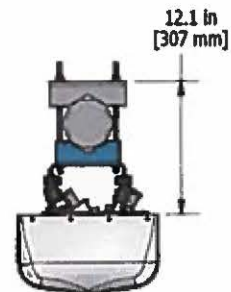
CSS P/N: 919011 BRACKET KIT
 2 POINT, 12 DEGREE DOWN TILT
 SHOWN MOUNTED ON 3.5" O.D. POLE
 3.5" O.D. MAX POLE SIZE



Optional Bracket Kit



CSS P/N: 919036 BRACKET KIT
 2 POINT, 12 DEGREE DOWN TILT
 SHOWN MOUNTED ON 4.5" O.D. POLE
 4.5" O.D. MAX POLE SIZE



New AWS RF Modules for VzW

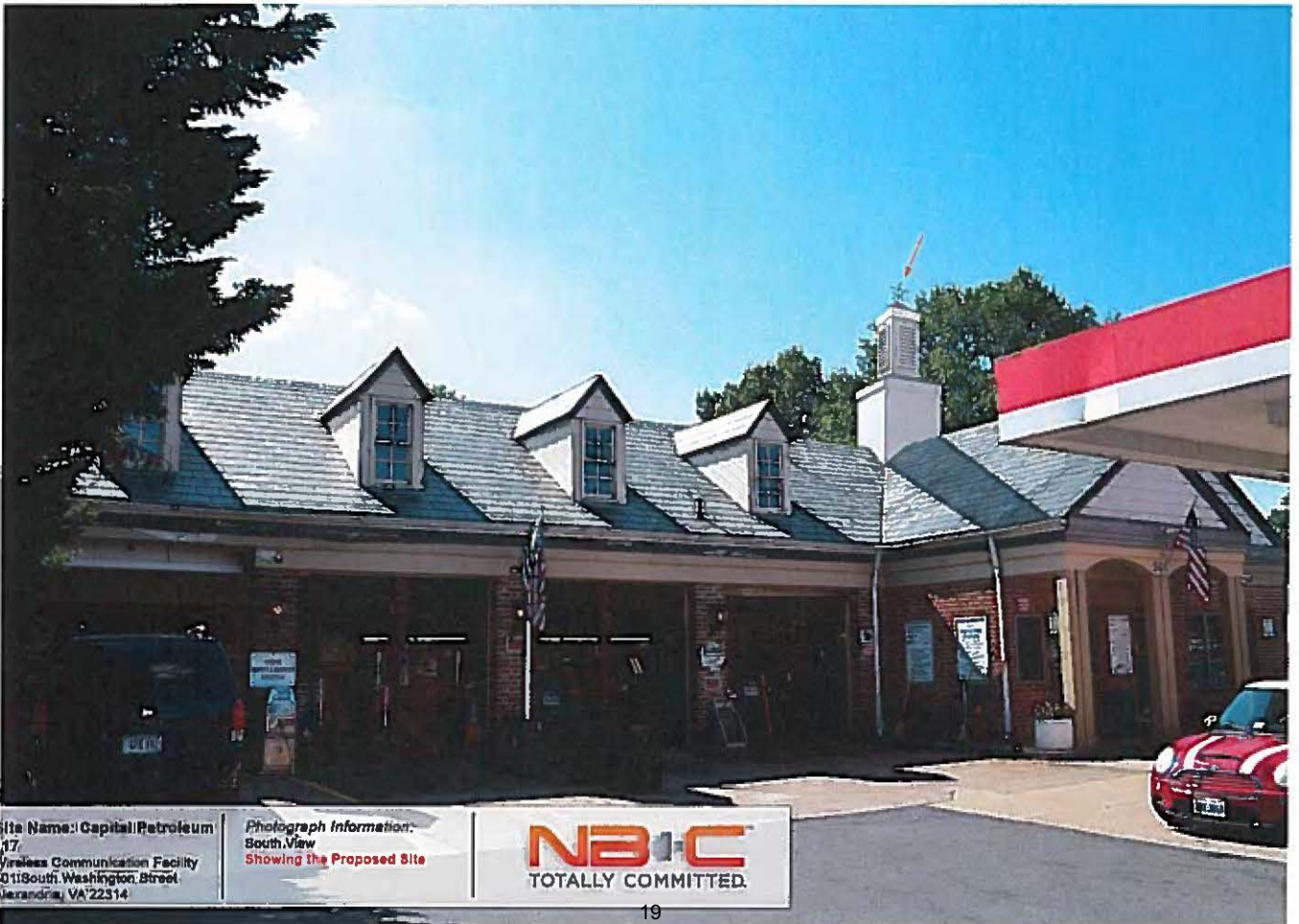
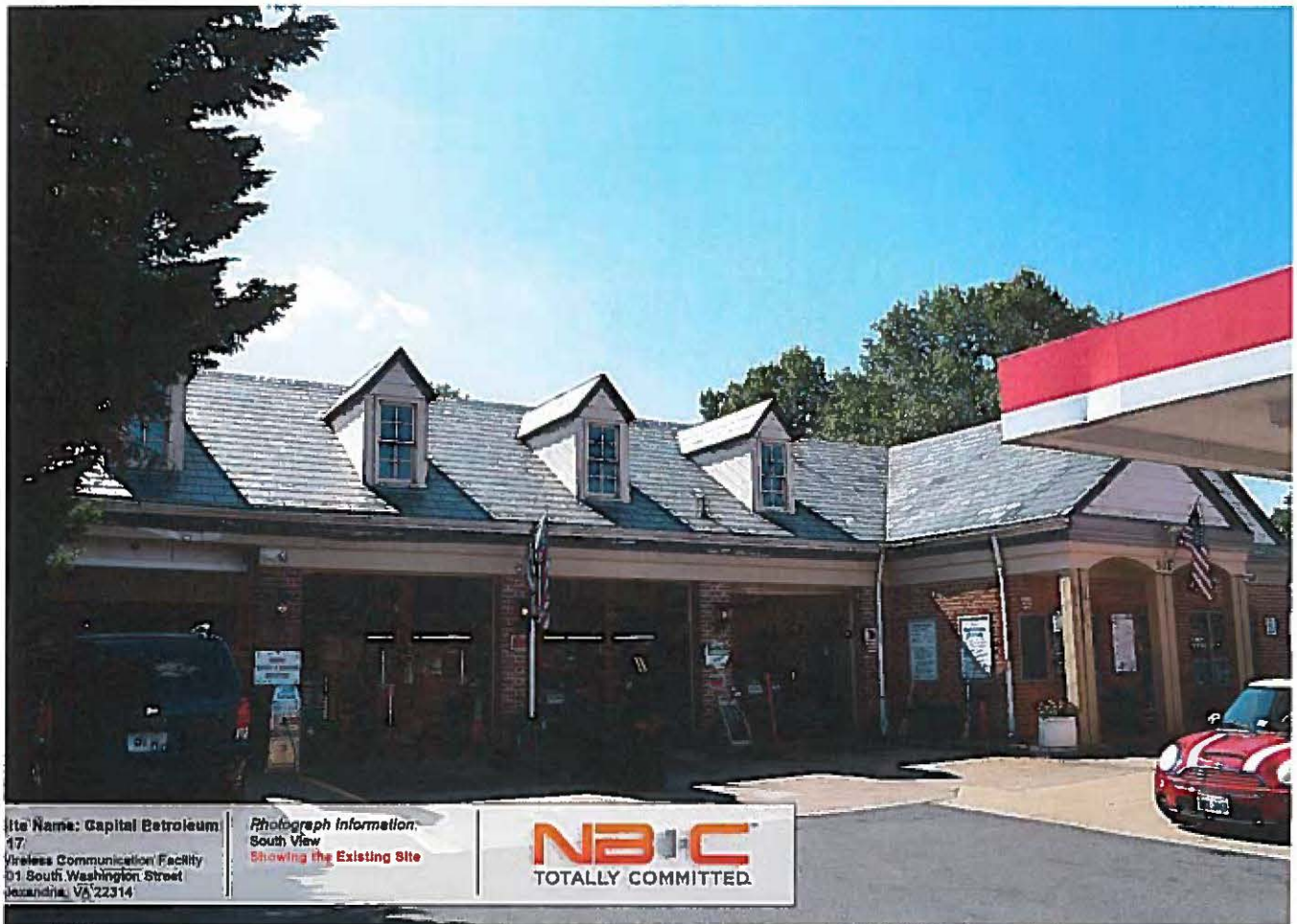
RRHx60 – HW Characteristics

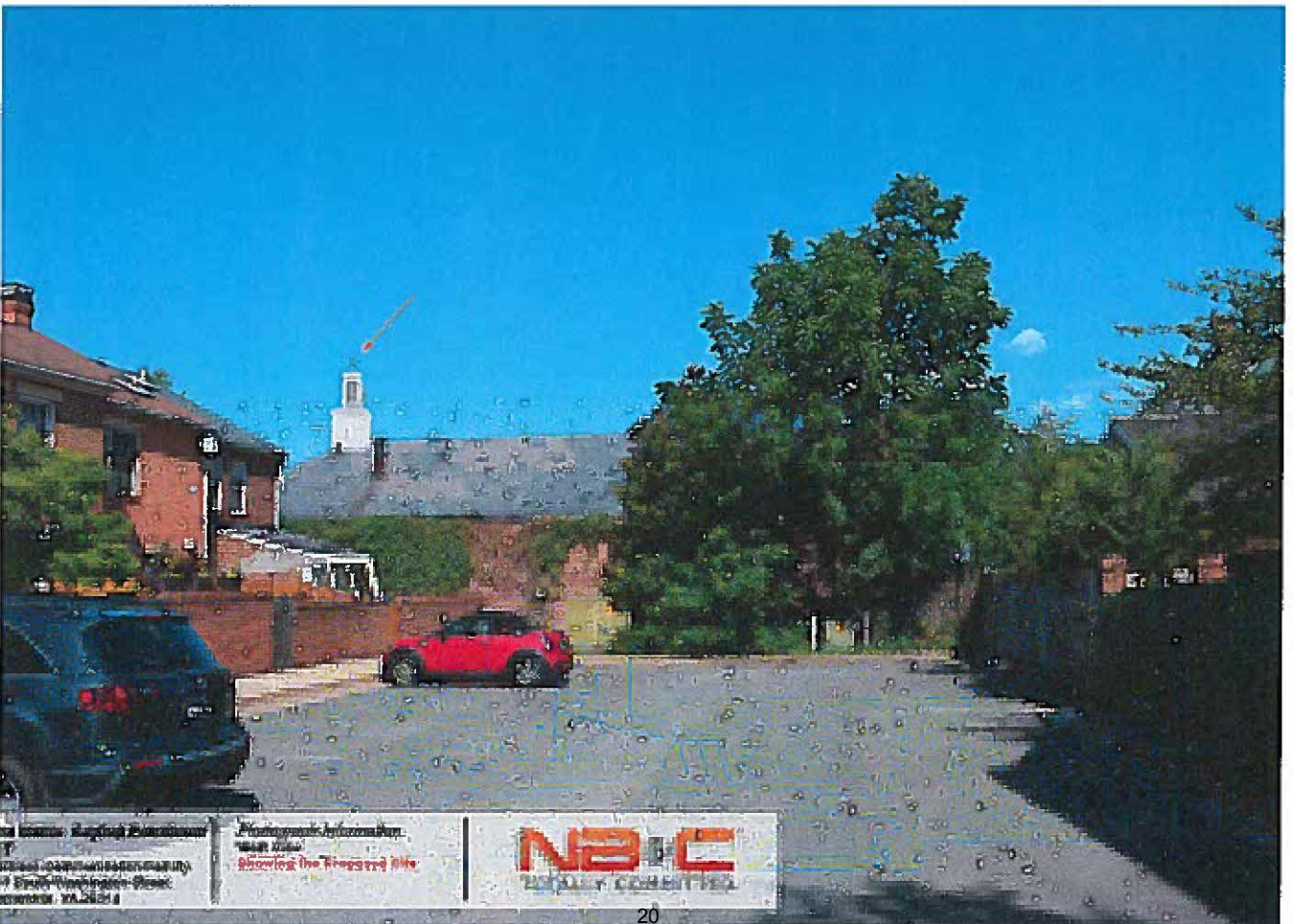
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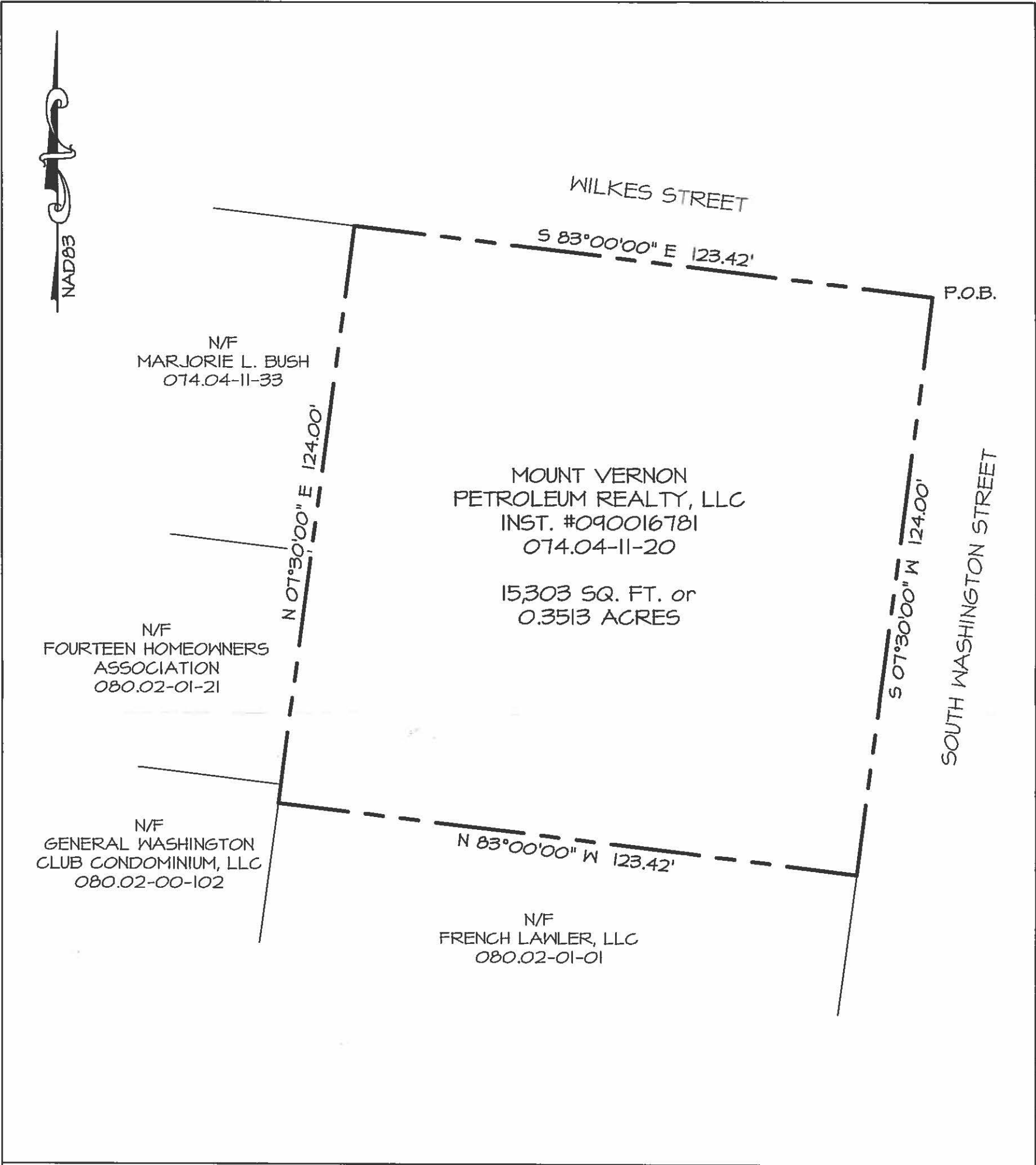
	RRH2x60
RF Output Power	2x60W
Instantaneous Bandwidth	45MHz
Target Reliability (Annual Return Rate)	<2%
Receiver	4 Branch Rx
Features	AISG 2.0 for RET/TMA
Power	-48VDC
	Internal Smart Bias-T
CPRI Ports	2 CPRI Rate 5 Ports
External Alarms	4 External User Alarms
Monitor Ports	TX, RX
Environmental	GR487 Compliance
RF Connectors	7/16 DIN (rear – facing downward)
Size	11"x37"x5"
Weight	60lb




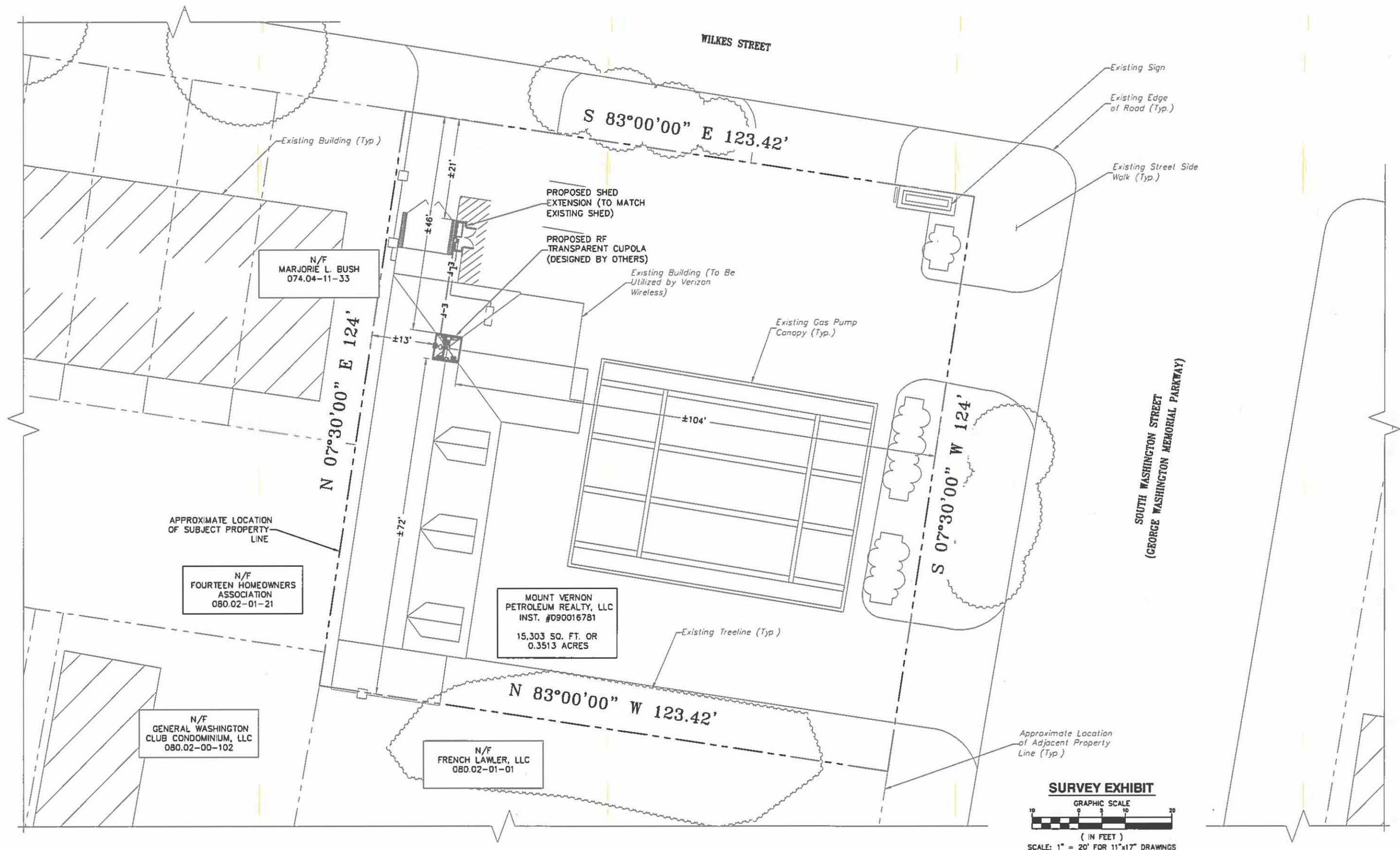




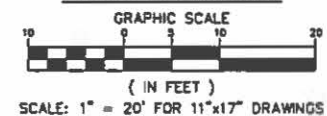




<div>Dewberry[®]</div> <div><div><div>Dewberry Consultants LLC</div><div>Formerly known as Dewberry & Davis LLC</div></div><div><div>10003 DEREKWOOD LANE SUITE 204 LANHAM, MD 20706 301.731.5551 301.731.0188 (FAX) www.dewberry.com</div></div></div>			<div>LANDS OF MOUNT VERNON PETROLEUM REALTY, LLC</div> <div>CITY OF ALEXANDRIA VIRGINIA</div>	
EXHIBIT DRAWING	SHEET 1 OF 1	SCALE 1"=30'		



SURVEY EXHIBIT



Dewberry
Dewberry Engineers Inc.

10003 Derekwood Lane Suite 204
Lanham, MD 20706-4804
PHONE: 858.802.0843
FAX: 858.802.0846

SITE NAME: CAPITAL PETROLEUM 117
PROJECT NO.: 20141100901-305389

501 SOUTH WASHINGTON STREET
ALEXANDRIA, VA 22302

verizon
wireless

7600 MONTEPELIER ROAD
FLOOR 2 SOUTH-NETWORK
LAUREL, MD 20723

NB+C
TOTALLY COMMITTED.

NETWORK BUILDING + CONSULTING
5009 MARSHALLE DRIVE SUITE 360
KRICKE, MD 21075
P 410.202.0822 NETWORKBUILDING.COM

NO.	DATE	REVISIONS	BY	CHK	APP'D
0	08/20/15	ISSUED FOR SUBMITTAL	MCA	MCA	NSB
SCALE: AS SHOWN			DESIGNED BY: MCA		
			DRAWN BY: AM		

SEAL:
NICK S. BERTIE
PROFESSIONAL ENGINEER
VA LICENSE
NO. 042370
DATE:

EXHIBIT DRAWING

CAPITAL PETROLEUM 117

JOB #	DRAWING NUMBER	REV
50068680	SURVEY	0

PROJECT DESCRIPTION	
THIS PROPOSAL IS FOR AN UNMANNED WIRELESS COMMUNICATION FACILITY CONSISTING OF THE INSTALLATION OF TWO (2) PANEL ANTENNAS MOUNTED IN A PROPOSED CUPOLA AND SUPPORTING EQUIPMENT MOUNTED IN THE CUPOLA AND IN A PROPOSED SHED EXTENSION.	

PROJECT INFORMATION

APPLICANT ADDRESS:	CELLCO PARTNERSHIP VERIZON WIRELESS 7600 MONTPELIER ROAD FLOOR 2 SOUTH-NETWORK LAUREL, MD 20723
JURISDICTION:	ALEXANDRIA, VA
SITE ADDRESS:	501 SOUTH WASHINGTON STREET ALEXANDRIA, VA 22302
LATITUDE:	N 38° 48' 01.22" NAD 83 (SCIP)
LONGITUDE:	W 77° 02' 55.35" NAD 83 (SCIP)
AMSL:	22' ASML (SCIP)
PROPERTY OWNER:	MOUNT VERNON PETROLEUM REALTY LLC 6820B COMMERCIAL DR SPRINGFIELD, VA 22151
ACCOUNT NO.:	11251500
MAP/BLOCK/LOT NO.:	074.04/11/20
PROPERTY ZONED:	CL - COMMERCIAL LOW ZONE

DATE ISSUED: 07/29/15 REV 2

PROJECT CONTACTS					
Project Name:					
Client:					
Contact Person:					
Phone:					
Email:					
Address:					
City:					
State:					
Zip:					
Website:					
Notes:					

VERIZON WIRELESS PROJECT MANAGER: TBD

PHONE: _____

DRAWING INDEX	REV
----------------------	------------

T-1	TITLE SHEET	0
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0
0
0
0
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0
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0

DIRECTIONS: FROM LAUREL HEAD TOWARDS JOHNS HOPKINS RD ON MONTEPELIER RD. TURN SHARP LEFT ONTO JOHNS HOPKINS RD. TAKE THE FIRST EXIT FROM ROUNDABOUT ONTO JOHNS HOPKINS RD TOWARD GORMAN RD. CONTINUE ON GORMAN ROAD. TURN RIGHT ONTO LEISHEAR RD. TURN LEFT ONTO SCAGGSVILLE RD. TAKE RAMP ONTO I-95 S TOWARD WASHINGTON. TAKE EXIT 22B TOWARD BALT/WASH PKWY SOUTH/WASHINGTON ONTO MD-295 (BALTIMORE WASHINGTON PKWY SOUTH) CONTINUE ON DC-295. TAKE LEFT EXIT 1A TOWARD I-95/I-495 ONTO I-295 S (ANACOSTIA FWY). TAKE EXIT 1C TOWARD RICHMOND ONTO I-95 S/I-495 S (CAPITAL BELTWAY). CONTINUE ON I-495. TAKE EXIT 177B-C TOWARD US-1 N/ALEXANDRIA/MT VERNON ONTO CHURCH ST. TURN LEFT ONTO S WASHINGTON ST (VA-400). ARRIVE AT S WASHINGTON ST (VA-400). YOUR DESTINATION IS ON LEFT.



1. THE SUBCONTRACTOR SHALL GIVE ALL NOTICES AND REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY. MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
2. THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE SUBCONTRACTOR BIDDING THE JOB IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID SUBCONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
3. THE SUBCONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE VERIZON WIRELESS REPRESENTATIVE OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF SUBCONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES, THE SUBCONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.
4. THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ALL OTHER MATERIALS AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
5. THE SUBCONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE SUBCONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
7. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S/VENDORS SPECIFICATIONS UNLESS OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
8. THE SUBCONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
9. THE SUBCONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE SUBCONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
10. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY.
11. THE SUBCONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVEMENTS, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE SUBCONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
12. THE SUBCONTRACTOR SHALL MAINTAIN THE GENERAL WORK AREA AS CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
13. THE SUBCONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
14. THE SUBCONTRACTOR SHALL NOTIFY THE VERIZON WIRELESS REPRESENTATIVE WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE SUBCONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED BY THE VERIZON WIRELESS REPRESENTATIVE.
15. THE SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.
16. BUILDING CODE: [INTERNATIONAL BUILDING CODES (IBC) 2012 AS ADOPTED BY THE COMMONWEALTH OF VIRGINIA]
NATIONAL ELECTRICAL CODE: [NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70-2011, NATIONAL ELECTRICAL CODE]

LIFE SAFETY CODE: 007A-101F-2016

TITLE SHEET

CAPITAL PETROLEUM 117

DRAWING NUMBER

T=1

0



GENERAL NOTES

- SITE AND BOUNDARY INFORMATION OBTAINED FROM THE FOLLOWING:
 - LIMITED FIELD OBSERVATIONS PERFORMED BY DEWBERRY ENGINEERS INC. ON 05/14/15.
- THIS PROPOSAL IS FOR AN UNMANNED WIRELESS COMMUNICATION FACILITY CONSISTING OF THE INSTALLATION OF TWO (2) PANEL ANTENNAS MOUNTED IN A PROPOSED CUPOLA AND SUPPORTING EQUIPMENT MOUNTED IN A PROPOSED CUPOLA AND SUPPORTING EQUIPMENT MOUNTED IN THE CUPOLA AND IN A PROPOSED SHED EXTENSION.
- THE PROPOSED FACILITY IS UNMANNED AND IS NOT FOR HUMAN HABITATION. (NO HANDICAP ACCESS IS REQUIRED).
- EXTERIOR SIGNS ARE NOT PROPOSED EXCEPT AS REQUIRED BY THE FCC.
- TOTAL AREA OF DISTURBANCE UNDER THIS PROPOSAL: 0 S.F.
- ALL CONSTRUCTION FOR SITE IMPROVEMENTS SHALL CONFORM TO APPLICABLE SPECIFICATIONS, STANDARDS, AND REQUIREMENTS OF THE GOVERNMENTAL OR UTILITY AUTHORITIES HAVING JURISDICTION.
- IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
- EROSION CONTROL MEASURES SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
- CONTRACTOR SHALL CONTACT THE "MISS UTILITY" ONE CALL SYSTEM PRIOR TO CONSTRUCTION @ 1-800-257-7777.
- ALL CONSTRUCTION AND DESIGN FOR THE PROPOSED ANTENNA MOUNTS SHALL CONFORM IN ACCORDANCE WITH THE CURRENT STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES (TIA/EIA-222-G) REVISED, DECEMBER 2009.
- POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.
- SUBCONTRACTOR TO VERIFY ANTENNA ELEVATION AND AZIMUTH WITH RF ENGINEERING PRIOR TO INSTALLATION.
- SUBCONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO EXCAVATING.
- SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS REQUIRED FOR CONSTRUCTION.
- SUBCONTRACTOR SHALL DETERMINE EXACT ROUTE OF ANY UNDERGROUND CONDUIT, IF REQUIRED.
- A DRIVEWAY PERMIT IS NOT REQUIRED.
- THIS PROJECT WILL NOT REQUIRE STREETS OR PROPERTY TO BE DEDICATED FOR PUBLIC USE.
- THIS PROJECT WILL NOT REQUIRE PERMANENT MONUMENTS.
- NO ENVIRONMENTAL INVESTIGATION WAS COMPLETED BY DEWBERRY.
- PROPERTY ZONED: CL - COMMERCIAL LOW ZONE
- PROPOSED SITE WILL GENERATE ON AVERAGE 2 TRIPS PER MONTH.
- THE SUBCONTRACTOR SHALL POST ALL SIGNS REQUIRED BY THE LATEST VERSION OF THE VERIZON WIRELESS "RADIO FREQUENCY COMPLIANCE & DEMARCATION POLICY" THIS MAY INCLUDE BUT ARE NOT LIMITED TOO:
 - NOTICE SIGNS TO DISTINGUISH THE BOUNDARY BETWEEN GENERAL POPULATION/UNCONTROLLED AREAS AND OCCUPATIONAL AREAS.
 - CAUTION SIGNS TO DISTINGUISH THE CONTROLLED AREAS WHERE RADIO FREQUENCY (RF) EXPOSURE CAN EXCEED THE OCCUPATIONAL/CONTROLLED MAXIMUM PERMISSIBLE EXPOSURE (MPE) LIMIT.
 - WARNING SIGNS TO DISTINGUISH THE BOUNDARY OF AREAS WITH RF LEVELS SUBSTANTIALLY ABOVE THE FCC LIMITS, GREATER THAN TEN (10) TIMES THE OCCUPATIONAL/CONTROLLED MPE LIMIT.
 - NOTICE-GUIDELINES FOR WORKING IN RADIOFREQUENCY ENVIRONMENTS: THIS SIGN IS TO BE POSTED ANYTIME SIGNAGE IS REQUIRED TO ACHIEVE FCC COMPLIANCE. IT MUST BE POSTED ON EVERY ACCESS POINT WHERE VERIZON IS EXPECTED TO EXCEED THE FCC GENERAL POPULATION EXPOSURE LIMIT AND ON EVERY ANTENNA ARRAY IN ACCESSIBLE AREAS.
 - FINAL SITE SIGNAGE IS PENDING AN ANALYSIS BY VERIZON WIRELESS RF ENGINEERS TO DETERMINE RADIO FREQUENCY HAZARD. NO UNNECESSARY SIGNAGE SHALL BE POSTED.

PROPERTY OWNERS MAP-BLOCK-Lot NUMBERS:

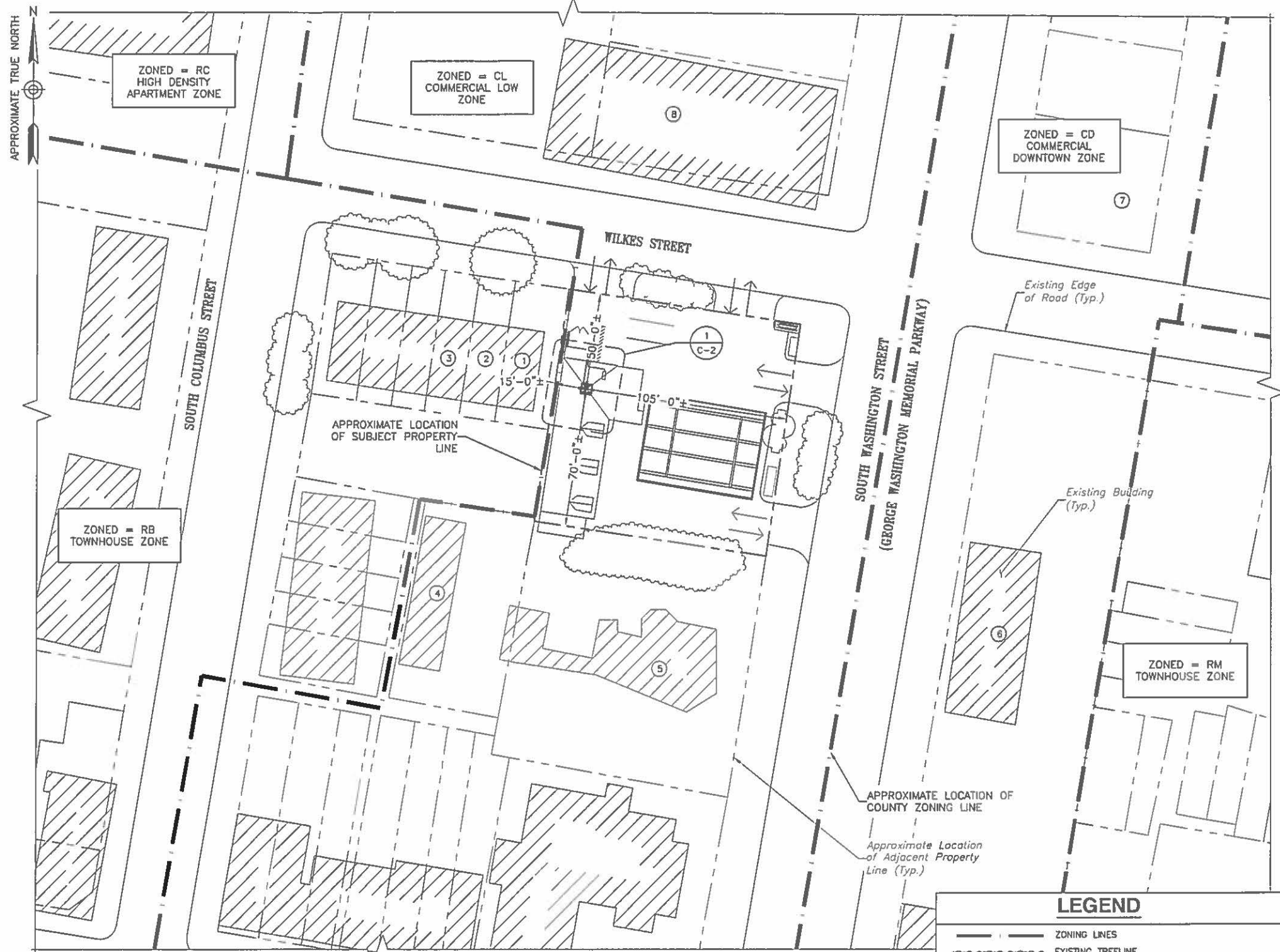
- | | |
|--|---|
| 1. BUSH MARJORIE
#074.04-11-33 | 7. 430 SOUTH WASHINGTON STREET LLC
#074.04-10-14 |
| 2. KAWASUMI TOMOKO OR
#074.04-11-32 | 8. HOPKINS INVESTMENT CO INC.
#074.04-11-19 |
| 3. POLITIS BRIAN N
#074.04-11-31 | |
| 4. GEN. WASHINGTON CLUB CONDOMINIUM LLC
#080.02-0D-00 | |
| 5. JEFFERSON DEVELOPMENT LLC
#080.02-01-01 | |
| 6. CHEVY CHASE BANK FSB
#080.02-02-01 | |

NOTE:

- PARCEL DATA AND ABUTTER INFORMATION TAKEN FROM CITY OF ALEXANDRIA REAL ESTATE ASSESSMENTS ON 07/27/15. ALL BOUNDARIES ARE APPROXIMATE
- ONLY ABUTTERS INFORMATION SHOWN FOR CLARITY
- LIMITED FIELD OBSERVATIONS CONDUCTED ON 05/14/2015
- ONLY PROPERTY LINES DIRECTLY ADJACENT TO SUBJECT PROPERTY WERE MAPPED BY DEWBERRY SURVEYORS ALL OTHERS ARE APPROXIMATE

LEGEND:

RB: TOWNHOUSE ZONE
 RC: HIGH DENSITY APARTMENT ZONE
 CL: COMMERCIAL LOW ZONE
 CD: COMMERCIAL DOWNTOWN ZONE
 RCX: MEDIUM DENSITY APARTMENT HOME
 RM: TOWNHOUSE ZONE



SITE PLAN

GRAPHIC SCALE
 (IN FEET)
 SCALE: 1" = 60' FOR 11"x17" DRAWINGS
 SCALE: 1" = 30' FOR 22"x34" DRAWINGS

LEGEND

- ZONING LINES
- EXISTING TREELINE
- HEAVY LINEWEIGHT INDICATES PROPOSED FACILITIES
- LIGHT LINEWEIGHT INDICATES EXISTING FACILITIES
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PROPERTY SETBACK LINE
- EXISTING BUILDING
- INGRESS & EGRESS

ZONING DRAWINGS NOT FOR CONSTRUCTION

SITE PLAN AND GENERAL NOTES

CAPITAL PETROLEUM 117

Dewberry
 Dewberry Engineers Inc.

10003 Derekwood Lane Suite 204
 Lanham, MD 20706-4804
 PHONE: 856.802.0843
 FAX: 856.802.0848

SITE NAME: CAPITAL PETROLEUM 117
 PROJECT NO.: 20141100901-305389

501 SOUTH WASHINGTON STREET
 ALEXANDRIA, VA 22302

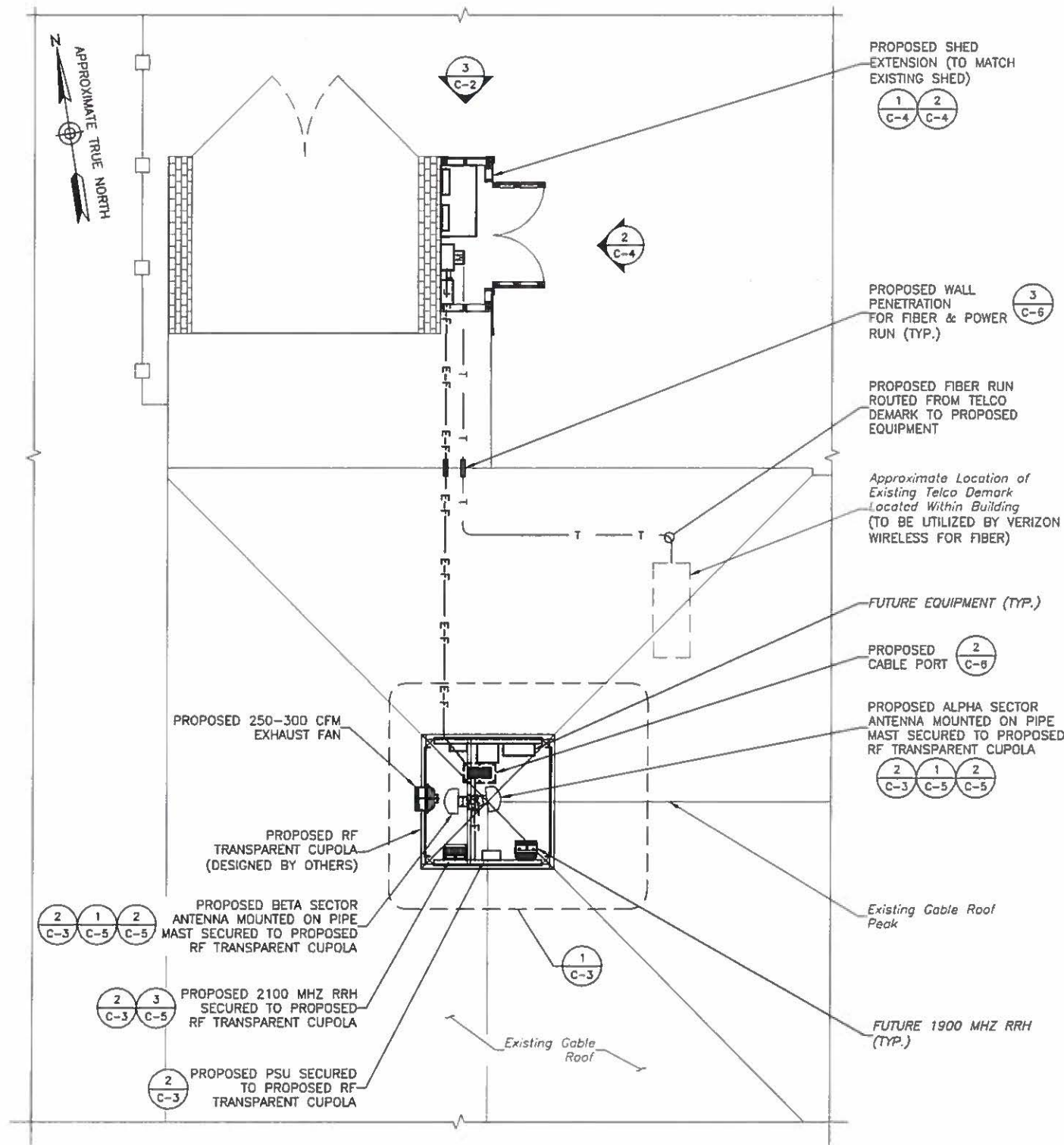
verizon
 wireless

7600 MONTPELIER ROAD
 FLOOR 2 SOUTH-NETWORK
 LAUREL, MD 20723

NB+C
 TOTALLY COMMITTED

NETWORK BUILDING + CONSULTING
 5095 MARSHLEE DRIVE SUITE 300
 ELKROCK, MD 21075
 P 410.712.7092 NETWORKBUILDING.COM

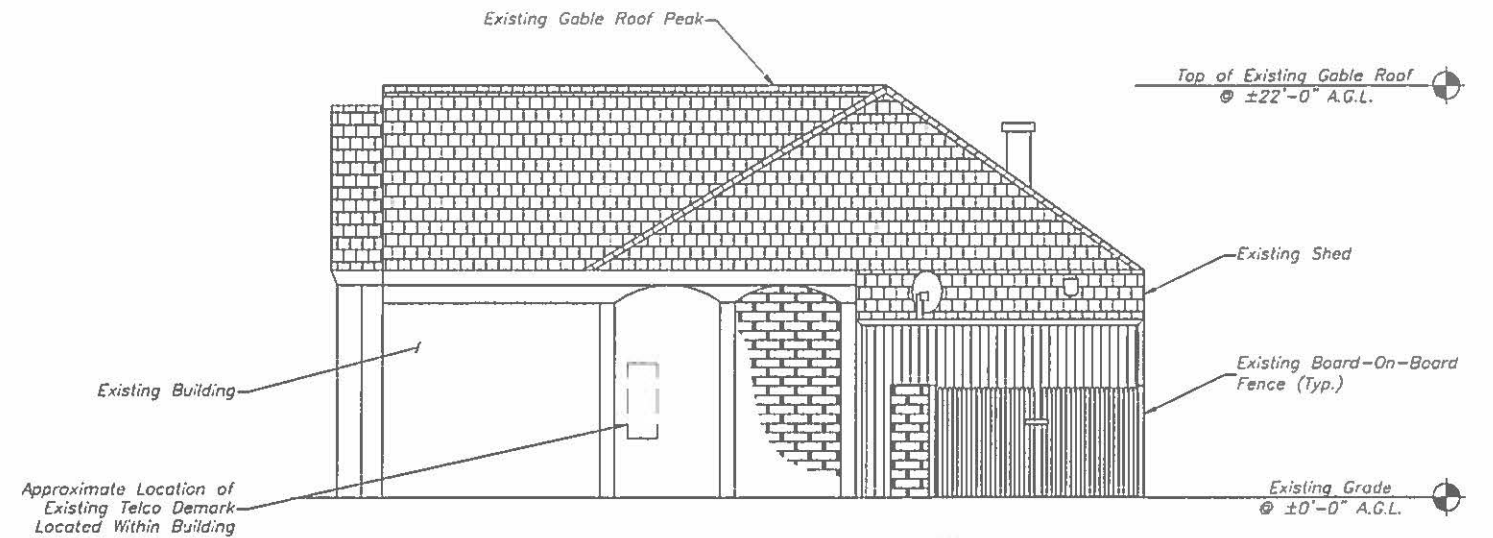
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SCALE: AS SHOWN		DESIGNED BY: MCA		DRAWN BY: AM		DATE:		50068690		C-1		0	



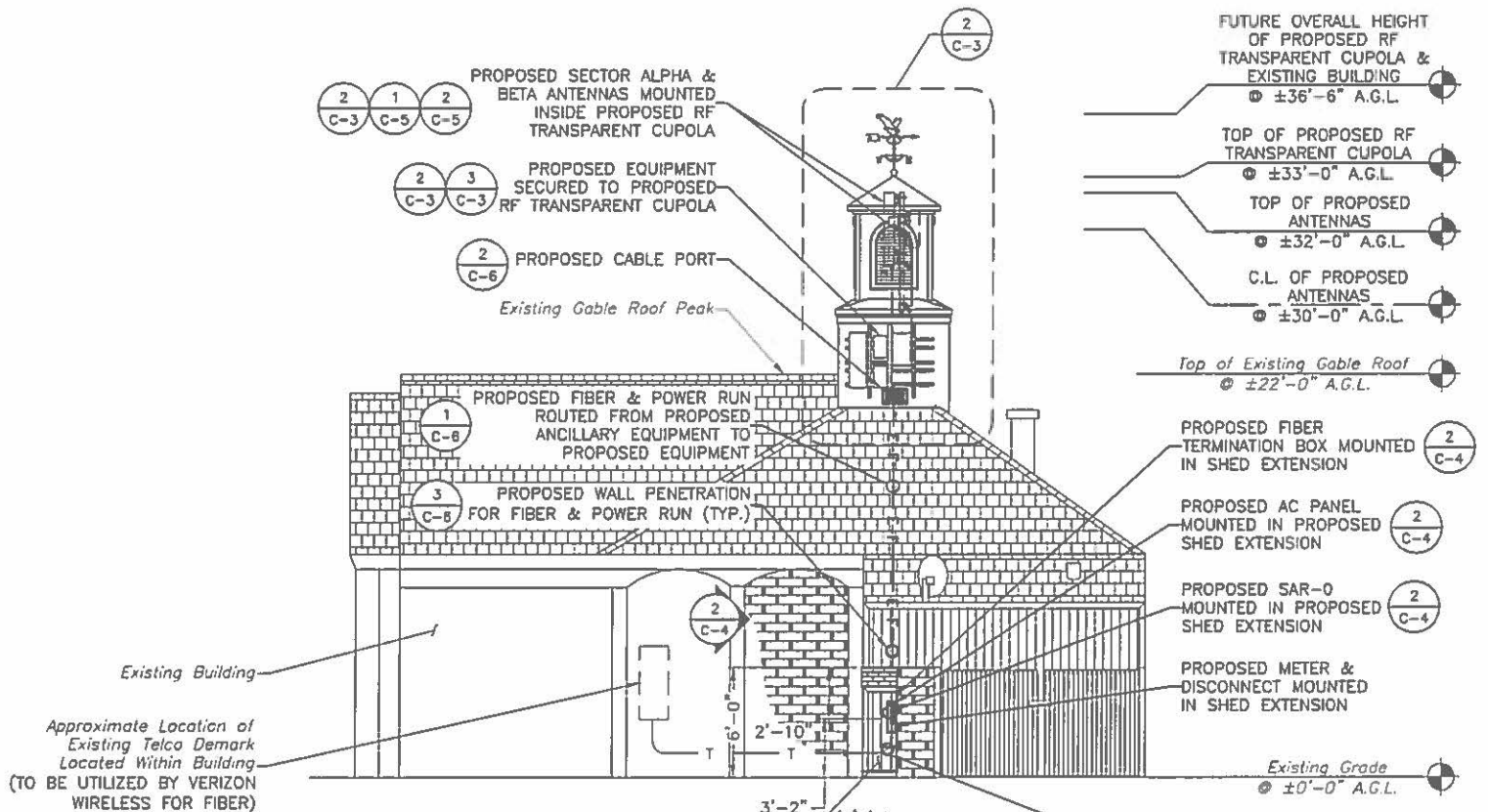
PARTIAL ROOF PLAN (1)

GRAPHIC SCALE (IN FEET)

SCALE: 1" = 6' FOR 11"x17" DRAWINGS
SCALE: 1" = 3' FOR 22"x34" DRAWINGS



EXISTING ELEVATION VIEW (2)



PROPOSED ELEVATION VIEW (3)

Dewberry
Dewberry Engineers Inc.

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Lanham, MD 20708-4804
PHONE: 856.802.0943
FAX: 856.802.0948

SITE NAME: CAPITAL PETROLEUM 117
PROJECT NO.: 20141100901-305389

501 SOUTH WASHINGTON STREET
ALEXANDRIA, VA 22302

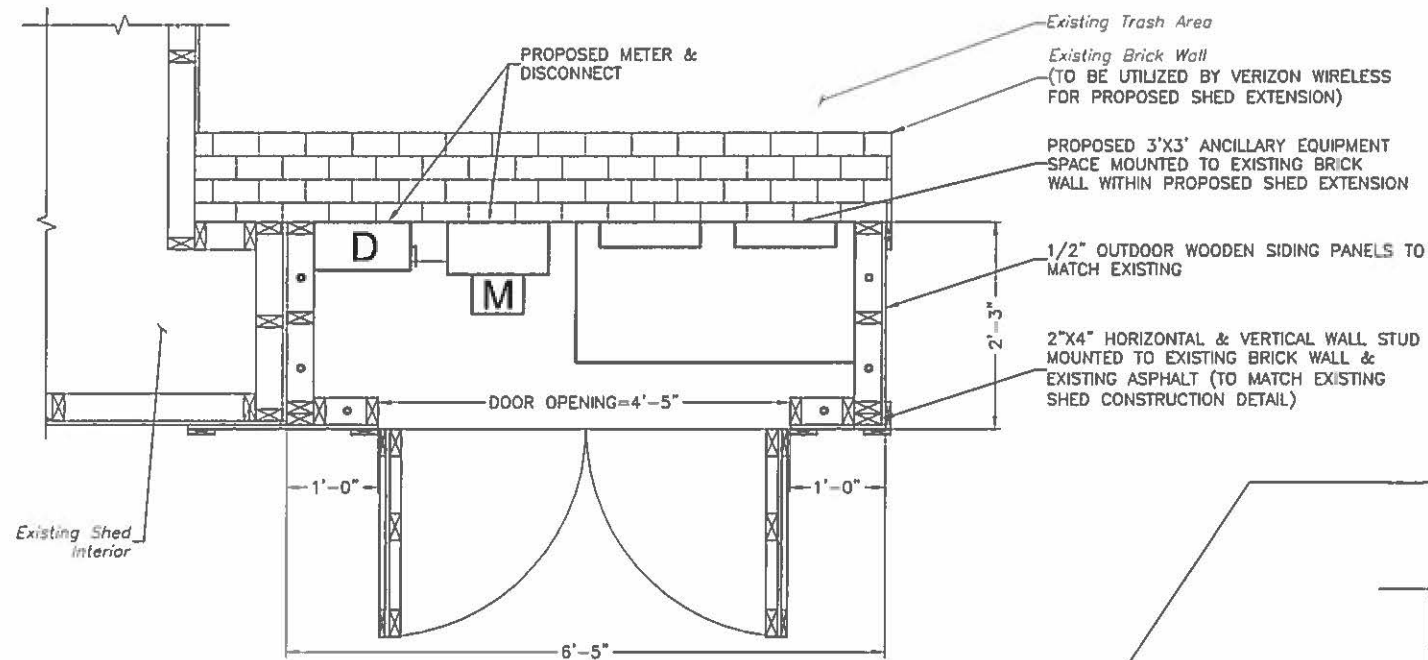
verizon
wireless

7600 MONTPELIER ROAD
FLOOR 2 SOUTH-NETWORK
LAUREL, MD 20723

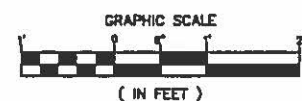
NB+C
TOTALLY COMMITTED.

NETWORK BUILDING + CONSULTING
5095 MARSHLEE DRIVE SUITE 300
ELK RIDGE, MD 21075
P 410.712.7092 NETWORKBUILDING.COM

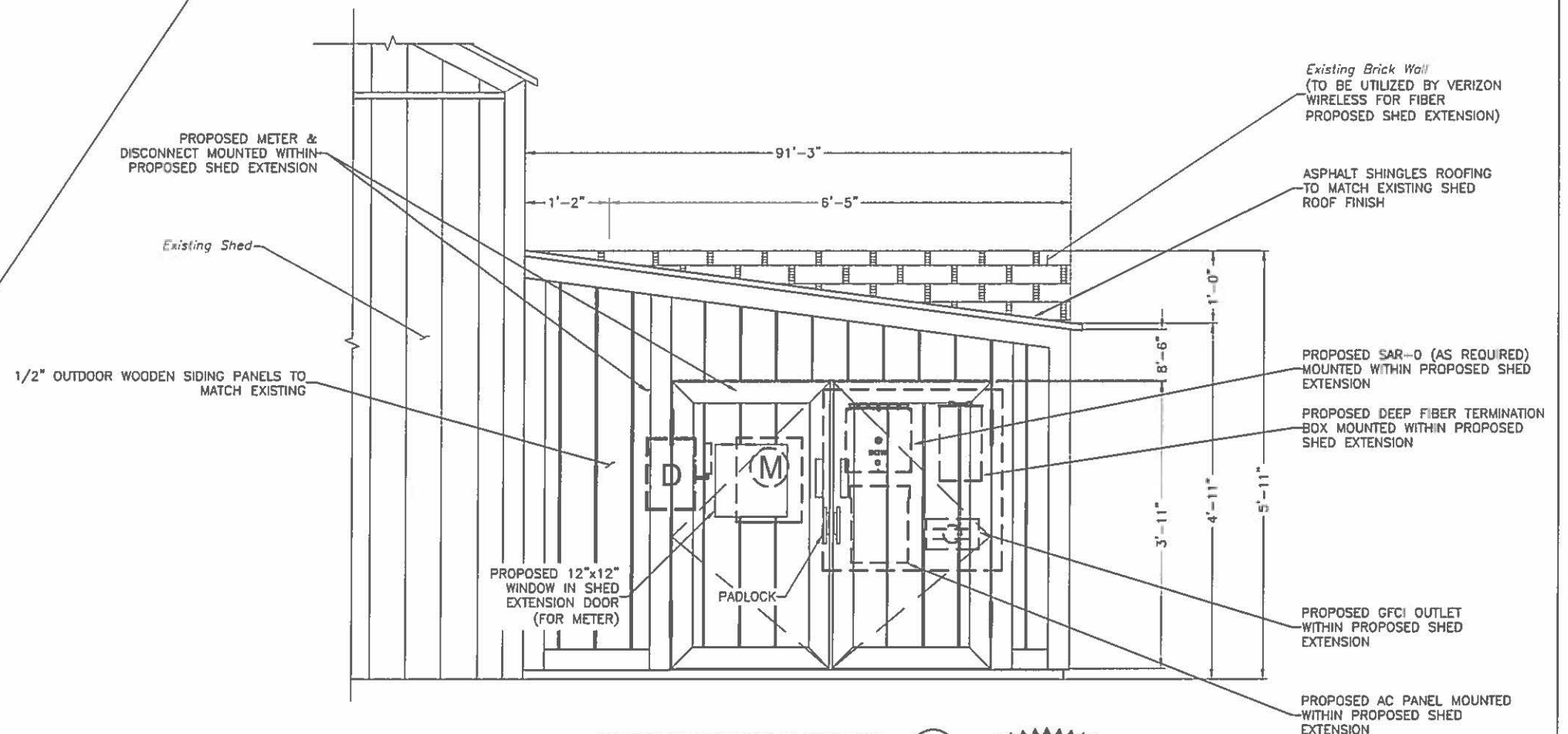
			SEAL		Lic. No. 042370		PARTIAL ROOF PLAN AND ELEVATION VIEW			
0 07/30/15 ISSUED FOR SUBMITTAL			AM		NICK S. BERTE PROFESSIONAL ENGINEER ON LICENSE		CAPITAL PETROLEUM 117			
NO. DATE REVISIONS			BY CHK APP		JOB #		DRAWING NUMBER		REV	
SCALE: AS SHOWN			DESIGNED BY: MCA		DRAWN BY: AM		50068690		C-2	0



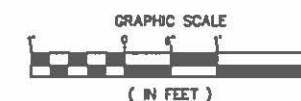
SHED EXTENSION PLAN



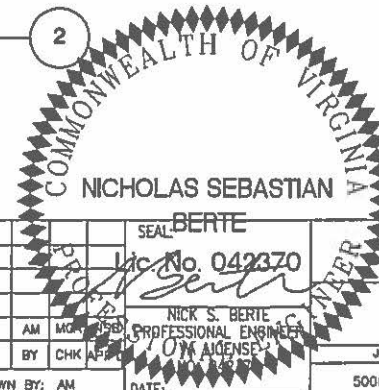
SCALE: 1" = 2' FOR 11"x17" DRAWINGS
SCALE: 1" = 1' FOR 22"x34" DRAWINGS



SHED EXTENSION ELEVATION



SCALE: 1" = 2' FOR 11"x17" DRAWINGS
SCALE: 1" = 1' FOR 22"x34" DRAWINGS



**ZONING DRAWINGS
NOT FOR CONSTRUCTION**

DETAILS - 1

CAPITAL PETROLEUM 117

Dewberry
Dewberry Engineers Inc.
10003 Derekwood Lane Suite 204
Lanham, MD 20706-4804
PHONE: 856.802.0643
FAX: 856.802.0848

**SITE NAME: CAPITAL PETROLEUM 117
PROJECT NO.: 20141100901-305389**

501 SOUTH WASHINGTON STREET
ALEXANDRIA, VA 22302

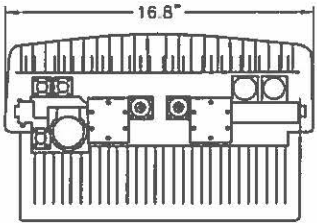
verizon
7600 MONTPELIER ROAD
FLOOR 2 SOUTH-NETWORK
LAUREL, MD 20723

NB+C
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NETWORK BUILDING + CONSULTING
5095 MARSHALL DRIVE SUITE 300
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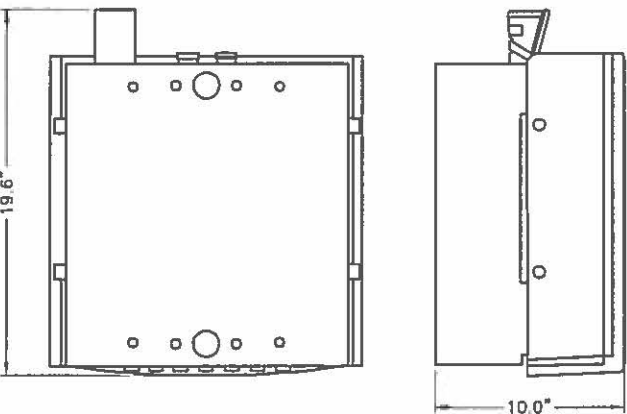
NO.	DATE	REVISIONS	BY	CHK	APP	DATE	JOB #	DRAWING NUMBER	REV
0	07/30/15	ISSUED FOR SUBMITTAL	AM	MCA	BERTE		50088690	C-4	0
SCALE: AS SHOWN			DESIGNED BY: MCA		DRAWN BY: AM		DATE:		

RF SYSTEM SCHEDULE								
ANTENNA SECTOR	ANTENNA AZIMUTH	FREQUENCY	TYPE OF ANTENNA	CABLE SCHEDULE			RRH	TMA
				COAX SIZE	RAD CENTER	EST. LENGTH		
ALPHA	90°	MULTI FREQUENCY	HTXCWW4513FD00	(4) 1/2"Ø	30'-0" AGL	±15'	1900 MHZ RRH (FUTURE)	N/A
							2100 MHZ RRH 60W	N/A
BETA	280°	MULTI FREQUENCY	QAP-FRO-440-VMO	(4) 1/2"Ø	30'-0" AGL	±15'	1900 MHZ RRH (FUTURE)	N/A
							2100 MHZ RRH 60W	N/A

NOTES: 1. ALL CHANGES TO THIS SCHEDULE SHOULD BE APPROVED BY VERIZON RF ENGINEERING.
2. CONTRACTOR TO VERIFY ANTENNA INFORMATION WITH CONSTRUCTION MANAGER BEFORE PURCHASING EQUIPMENT.

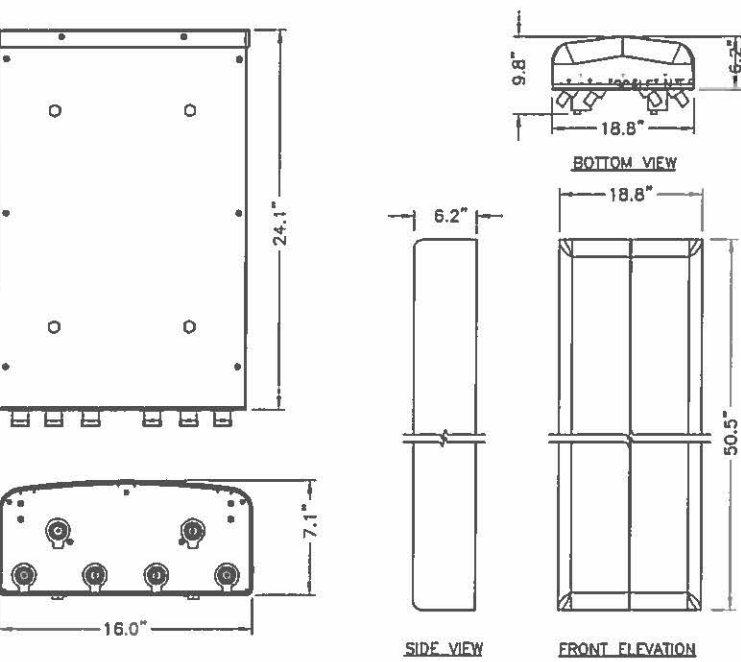


RRH2x40-700 REMOTE RADIO HEAD	
MANUFACTURER:	ALCATEL-LUCENT
POWER SUPPLY:	-48VDC
DIMENSIONS:	10"Dx16.8"Wx19.6"H
WEIGHT:	50.7 LBS (WITH OUT MOUNTING BRACKET)



- NOTES:
1. INSTALL RRH PER MANUFACTURERS RECOMMENDATIONS.
 2. FIBER, DC POWER & GROUND CONNECTIONS NOT SHOWN.

RRH 2X40 700 MHz RRH 4
SCALE: N.T.S.



MECHANICAL CHARACTERISTICS

DIMENSIONS (LxWxD)
(24.1" x 16" x 7.1")
(613mm x 407mm x 180mm)
WEIGHT: 11.7lbs (5.3kg)
(WITHOUT MOUNTING BRACKET)

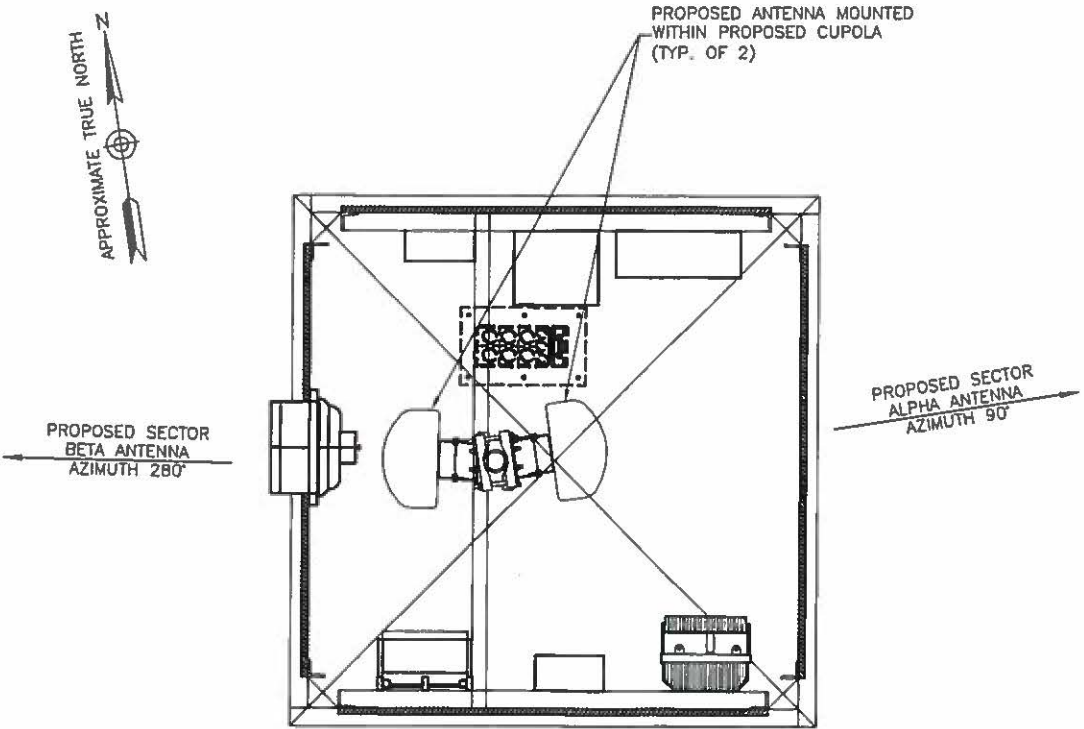
PANEL ANTENNA:
AMPHENOL HTXCWW4513FD00

MECHANICAL CHARACTERISTICS

DIMENSIONS (LxWxD)
50.5" x 18.8" x 6.2"
(1282mm x 479mm x 157mm)
WEIGHT WITHOUT BRACKET: 33.6lbs (15.2kg)

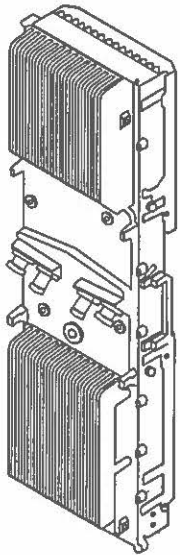
PANEL ANTENNA:
JMA WIRELESS: QAP-FRO-440-V

NEW ANTENNA DETAIL 1
SCALE: N.T.S.



- NOTES:
1. ANTENNA ORIENTATION IS BASED ON TRUE NORTH BEARING. CONTRACTOR SHALL VERIFY TRUE NORTH PRIOR TO CONSTRUCTION.
 2. CONTRACTOR TO REFER TO FINAL RF CONFIGURATIONS SHEET FOR ANTENNA AZIMUTHS PRIOR TO CONSTRUCTION.

ANTENNA MOUNTING AND ORIENTATION DETAIL 2
SCALE: N.T.S.



RRH2x60-2100 REMOTE RADIO HEAD	
MANUFACTURER:	ALCATEL-LUCENT
POWER SUPPLY:	-48VDC
DIMENSIONS:	6"Dx11"Wx37"H
WEIGHT:	55 LBS (WITH OUT MOUNTING BRACKET)

- NOTES:
1. INSTALL RRH PER MANUFACTURERS RECOMMENDATIONS.
 2. FIBER, DC POWER & GROUND CONNECTIONS NOT SHOWN.

RRH 2x60 2100 MHz RRH 3
SCALE: N.T.S.

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PHONE: 858.802.0843
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SITE NAME: CAPITAL PETROLEUM 117
PROJECT NO.: 20141100901-305389

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ALEXANDRIA, VA 22302

verizonwireless

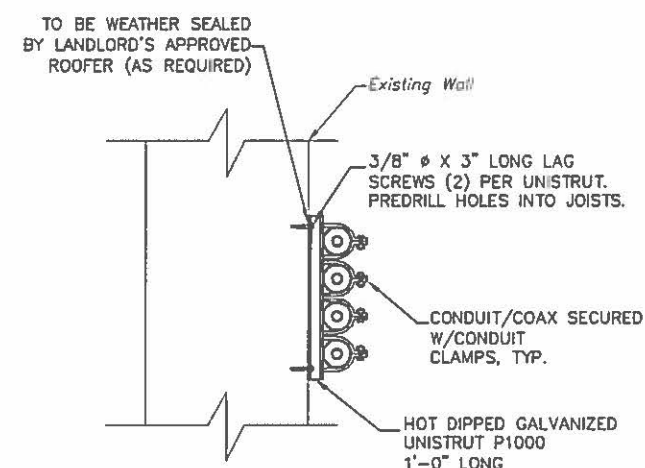
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SCALE:		AS SHOWN		DESIGNED BY:		MCA		DRAWN BY:		AM

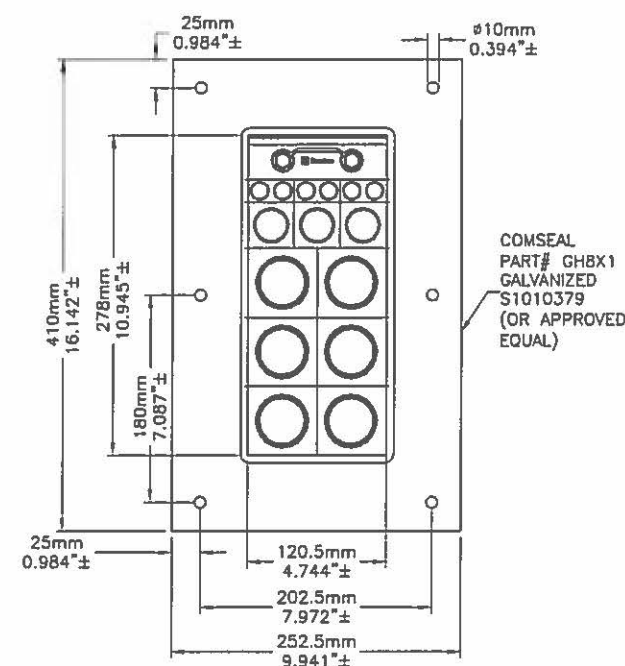




CONDUIT SUPPORT DETAIL

SCALE: N.T.S.

1



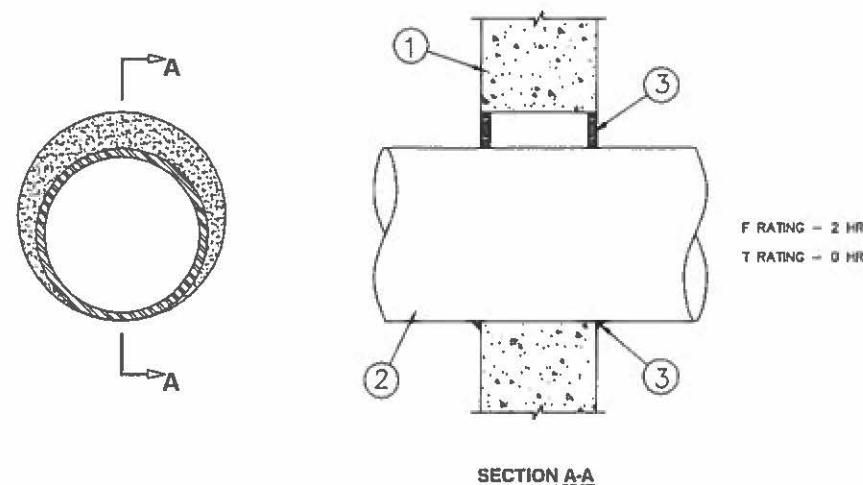
NOTES:

1. CONTRACTOR TO THOROUGHLY DRY AREA BEFORE CORING, INSTALLING AND SEALING CABLEPORT & BOOTS.
2. CONTRACTOR TO FOLLOW MANUFACTURERS INSTALL REQUIREMENTS.
3. WATERPROOF ALL EDGES AND HOLES.

COMSEAL DETAIL

SCALE: N.T.S.

2



SECTION A-A

1. WALL ASSEMBLY - MIN 5 IN. THICK REINFORCED LIGHTWEIGHT OR NORMAL WEIGHT (100-150 PCF) CONCRETE. WALL MAY ALSO BE CONSTRUCTED OF ANY UL CLASSIFIED CONCRETE BLOCKS*. MAX DIAMETER OF OPENING 5 IN.

SEE CONCRETE BLOCKS (CAZT) CATEGORY IN THE FIRE RESISTANCE DIRECTORY FOR NAMES OF MANUFACTURERS.

2. THROUGH PENETRANT - ONE METALLIC PIPE, CONDUIT OR TUBING INSTALLED CONCENTRICALLY OR ECCENTRICALLY WITHIN THE FIRESTOP SYSTEM. PIPE, CONDUIT OR TUBE TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF WALL ASSEMBLY. THE ANNULAR SPACE BETWEEN THE PIPE, CONDUIT OR TUBE AND PERIPHERY OF THE OPENING SHALL BE MIN 0 IN (POINT CONTACT) TO MAX 1/2 IN. THE FOLLOWING TYPES AND SIZES OF METALLIC PIPES, CONDUIT OR TUBE MAY BE USED:

- A. STEEL PIPE - NOM 4 IN. DIAM (OR SMALLER) SCHEDULE 40 (OR HEAVIER) STEEL PIPE.
- B. IRON PIPE - NOM 4 IN. DIAM (OR SMALLER) CAST OR DUCTILE IRON PIPE.
- C. CONDUIT - NOM 4 IN. DIAM (OR SMALLER) STEEL ELECTRICAL METALLIC TUBING (EMT) OR STEEL CONDUIT.
- D. COPPER TUBE - NOM 4 IN. DIAM (OR SMALLER) TYPE L (OR HEAVIER) COPPER TUBE.
- E. COPPER PIPE - NOM 4 IN. DIAM (OR SMALLER) REGULAR (OR HEAVIER) COPPER PIPE.

3. FILL, VOID OR CAVITY MATERIAL*-SEALANT - MIN 5/8 IN. THICKNESS OF FILL MATERIAL APPLIED WITHIN THE ANNULUS, FLUSH WITH BOTH SURFACES OF WALL. AT THE POINT CONTACT LOCATION BETWEEN PIPE AND WALL, A MIN 1/2 IN DIAM BEAD OF FILL MATERIAL SHALL BE APPLIED AT THE PIPE/WALL INTERFACE.

HILTI CONSTRUCTION CHEMICALS, DIV OF

HILTI INC - CP605 FLEXIBLE FIRESTOP SEALANT

*BEARING THE UL CLASSIFICATION MARK

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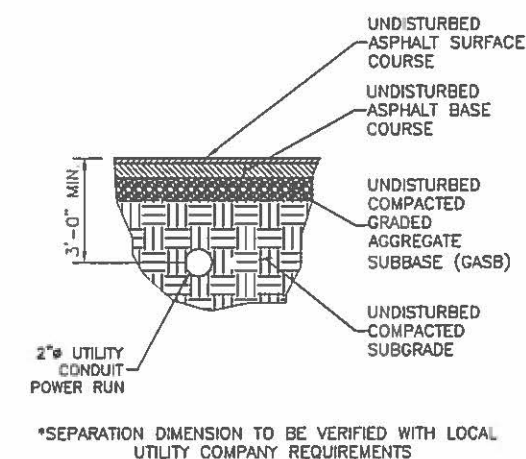
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WALL PENETRATION DETAILS

SCALE: N.T.S.

3



UTILITY BORING UNDER EXISTING ASPHALT PAVEMENT

SCALE: N.T.S.

4

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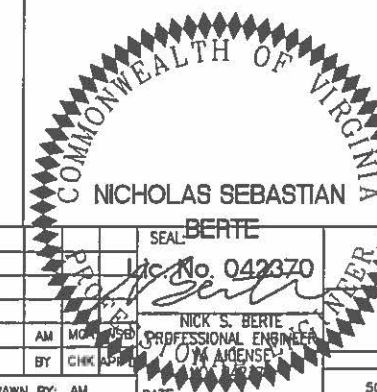
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AM		MON	08/04/15										
BY		CHK	APR										

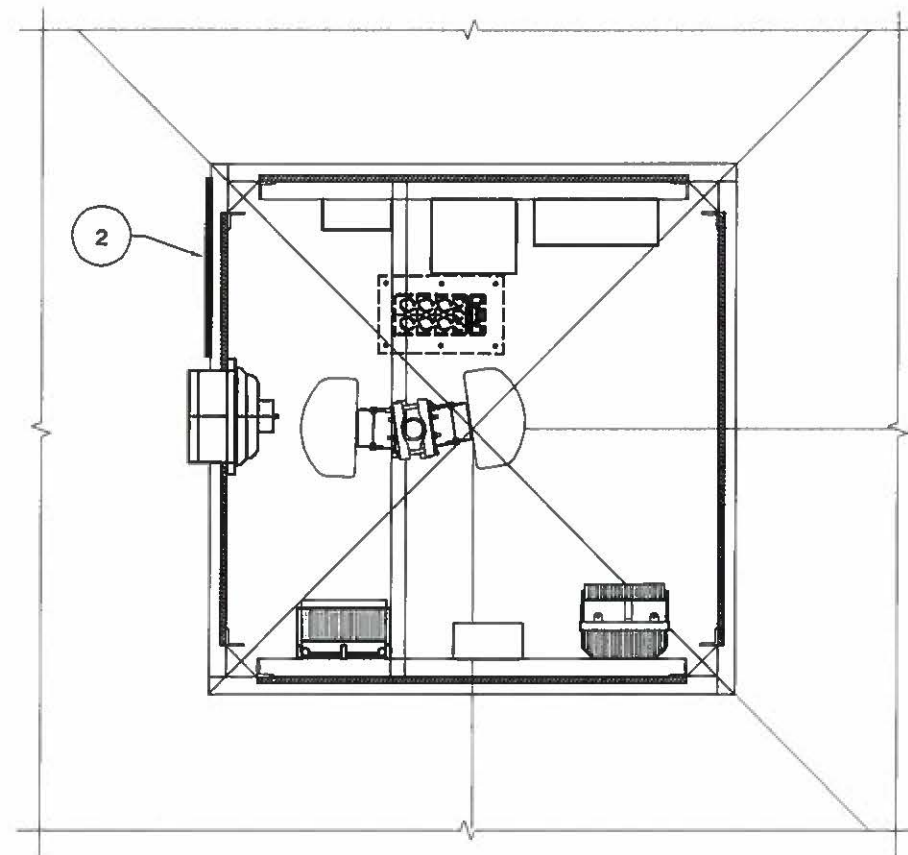


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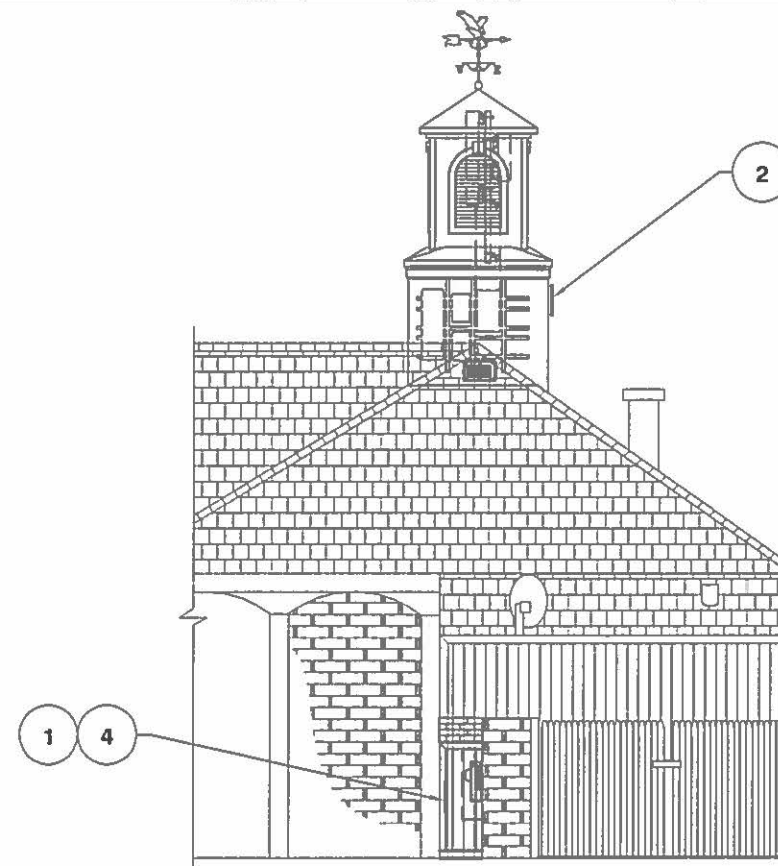
DETAILS - 3

CAPITAL PETROLEUM 117

1. VERIZON WIRELESS CONSTRUCTION MANAGER WILL PROVIDE ALL SIGNAGE REQUIRED FOR SITE.
2. UNDER THE DIRECTION OF THE VERIZON WIRELESS CONSTRUCTION MANAGER THE GENERAL CONTRACTOR WILL INSTALL THE SIGNS.
3. THE SUBCONTRACTOR SHALL POST ALL SIGNS REQUIRED BY THE LATEST VERSION OF THE VERIZON WIRELESS "RADIO FREQUENCY COMPLIANCE SIGNAGE & DEMARCATION POLICY" THIS MAY INCLUDE BUT ARE NOT LIMITED TOO:
- A. NOTICE SIGNS TO DISTINGUISH THE BOUNDARY BETWEEN GENERAL POPULATION/UNCONTROLLED AREAS AND OCCUPATIONAL AREAS
- B. CAUTION SIGNS TO DISTINGUISH THE CONTROLLED AREAS WHERE RADIO FREQUENCY (RF) EXPOSURE CAN EXCEED THE OCCUPATIONAL/CONTROLLED MAXIMUM PERMISSIBLE EXPOSURE (MPE) LIMIT.
- C. WARNING SIGNS TO DISTINGUISH THE BOUNDARY OF AREAS WITH RF LEVELS SUBSTANTIALLY ABOVE THE FCC LIMITS, GREATER THAN TEN (10) TIMES THE OCCUPATIONAL/CONTROLLED MPE LIMIT.
- D. NOTICE-GUIDELINES FOR WORKING IN RADIOFREQUENCY ENVIRONMENTS: THIS SIGN IS TO BE POSTED ANYTIME SIGNAGE IS REQUIRED TO ACHIEVE FCC COMPLIANCE. IT MUST BE POSTED ON EVERY ACCESS POINT WHERE VERIZON IS EXPECTED TO EXCEED THE FCC GENERAL POPULATION EXPOSURE LIMIT AND ON EVERY ANTENNA ARRAY IN ACCESSIBLE AREAS.
- E. FINAL SITE SIGNAGE IS PENDING AN ANALYSIS BY VERIZON WIRELESS RF ENGINEERS TO DETERMINE RADIO FREQUENCY HAZARD. NO UNNECESSARY SIGNAGE SHALL BE POSTED.

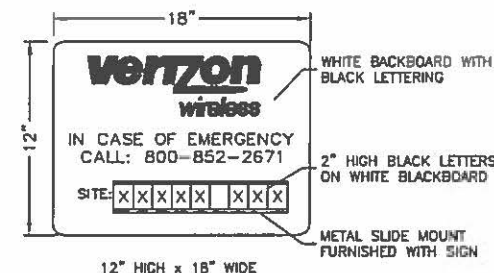


SIGN PLACEMENT PLAN
SCALE: N.T.S.



** MOUNT SIGNS OUTSIDE THE PROPOSED CUPOLA AT THE REAR SIDE

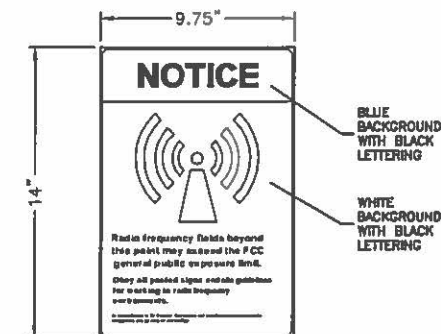
EQUIPMENT SIGNAGE
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VERIZON WIRELESS-SITE ID SIGN



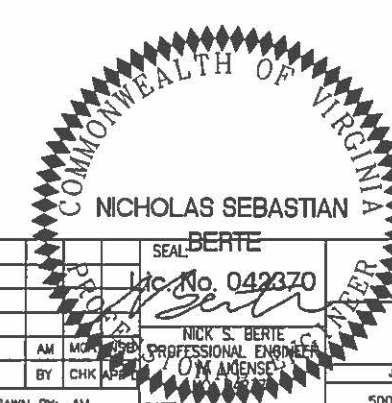
VERIZON EMERGENCY STICKER SIGN



RF - FREQUENCY FOR GENERAL EXPOSURE



RF - FREQUENCY FOR HUMAN EXPOSURE



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