

PRELIMINARY SITE PLAN

ezStorage FACILITY

(#3640 WHEELER AVENUE)

AREA TABULATIONS

TOTAL SITE AREA = 2.00 AC 87,120 SF

TOTAL AREA OF TAX PARCELS = 2.00 AC 87,120 SF

TOTAL EXISTING IMPERVIOUS AREA = 1.92 AC 83,912 SF

TOTAL PROPOSED IMPERVIOUS AREA = 1.18 AC 51,485 SF

TOTAL DISTURBED AREA = 2.00 AC 87,120 SF

BUILDING INFORMATION:	
USE:	STORAGE (SELF-STORAGE FACILITY)
USE GROUP:	S-1
TYPE OF CONSTRUCTION:	IA
NUMBER OF STORIES:	BUILDING 1 (HISTORIC) = 2 STORIES; BUILDING 2 (PROPOSED) = 4 STORIES
FLOOR AREA (GROSS):	BUILDING 1 (HISTORIC) = 6,750 SF; BUILDING 2 (PROPOSED) = 129,640 SF
FLOOR AREA (NET):	BUILDING 1 (HISTORIC) = 4,104 SF; BUILDING 2 (PROPOSED) = 101,340 SF
BUILDING FOOT PRINT AREA:	BUILDING 1 (HISTORIC) = 2,250 SF; BUILDING 2 (PROPOSED) = 25,868 SF
BUILDING HEIGHT:	BUILDING 1 (HISTORIC) = 38.66'; BUILDING 2 (PROPOSED) = 46.25'
FIRE SUPPRESSION/DETECTION:	NFPA 13

ENVIRONMENTAL SITE ASSESSMENT:

- THERE ARE RESOURCE PROTECTION AREAS (RPA'S) ON THIS SITE.
- THERE ARE NO TIDAL WETLANDS, SHORES, TRIBUTARY STREAMS, FLOOD PLAINS, OR BUFFER AREAS FOR SHORES, WETLANDS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS OR HIGHLY ERODIBLE/PERMEABLE SOILS LOCATED ON THIS SITE. THERE ARE NO WETLAND PERMITS REQUIRED FOR THE DEVELOPMENT ON THIS PROPERTY.
- THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, DIVISION OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASE TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY REGULATIONS.
- ALL WELLS TO BE DEMOLISHED ON THIS PROJECT, INCLUDING MONITORING WELLS, MUST BE CLOSED IN ACCORDANCE WITH STATE WELL REGULATION. CONTACT THE ALEXANDRIA HEALTH DEPARTMENT AT 703-746-4996 OR THE ENVIRONMENTAL HEALTH DIVISION AT 703-746-4910.
- THERE ARE NO KNOWN CONTAMINATED AREAS, CONTAMINATED SOILS OR ENVIRONMENTAL ISSUES ASSOCIATED WITH THIS SITE.
- THIS SITE CONTAINS AREAS PREVIOUSLY MAPPED AS MARINE CLAYS.

ENVIRONMENTAL PERMITS NOTE:

ALL REQUIRED PERMITS FROM VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY, ENVIRONMENTAL PROTECTION AGENCY, ARMY CORPS OF ENGINEERS, VIRGINIA MARINE RESOURCES MUST BE IN PLACE FOR ALL PROJECT CONSTRUCTION AND MITIGATION WORK PRIOR TO RELEASE OF THE FINAL SITE PLAN.

A VSMP PERMIT IS REQUIRED FOR THIS PROJECT BECAUSE THE PROPOSED CONSTRUCTION ACTIVITIES DISTURB AN AREA GREATER THAN 2,500 SQ.FT.

RPA NOTE:

THE REDEVELOPMENT CRITERIA WITHIN THE RPA ARE IN ACCORDANCE OF SECTION 13-107(C)(2). THERE IS A DECREASE OF IMPERVIOUS SURFACE AREA WITHIN THE RPA. THE ENCROACHMENT OF THE IMPERVIOUS SURFACES INTO THE RPA IS REDUCED. THE PROPOSED REDEVELOPMENT IS CONSISTENT WITH THE CITY MASTER PLAN. REFER TO WQIA ON SHEET 11.

ARCHAEOLOGY NOTES:

CALL ALEXANDRIA ARCHAEOLOGY (703-746-4399) TWO WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT AN INSPECTION OR MONITORING SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED.

CALL ALEXANDRIA ARCHAEOLOGY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

HISTORIC PROPERTY NOTE:

THE HISTORIC WATKINS MILL BUILDING LIES WITHIN THE PROJECT BOUNDARY. THEREFORE THE REQUIREMENTS FOUND WITHIN THE ALEXANDRIA HISTORIC DISTRICT DESIGN GUIDELINES SHALL APPLY.

GREEN BUILDING NARRATIVE:

THE PROPOSED BUILDING WILL BE LEED CERTIFIED OR AN EQUIVALENT STANDARD PER THE CITY'S GREEN BUILDING POLICY. EZ STORAGE HAS DEVELOPED A MULTISTORY BUILDING PROTOTYPE WITH AN EMPHASIS ON COMPACT DESIGN AND REDUCED ENERGY CONSUMPTION.

OWNER/DEVELOPER

1. OWNER/DEVELOPER:

SIENA CORPORATION
8221 SNOWDEN RIVER PARKWAY
COLUMBIA, MD 21045
(443) 539-3070
CONTACT: CRAIG PITTINGER
2. CIVIL ENGINEER:

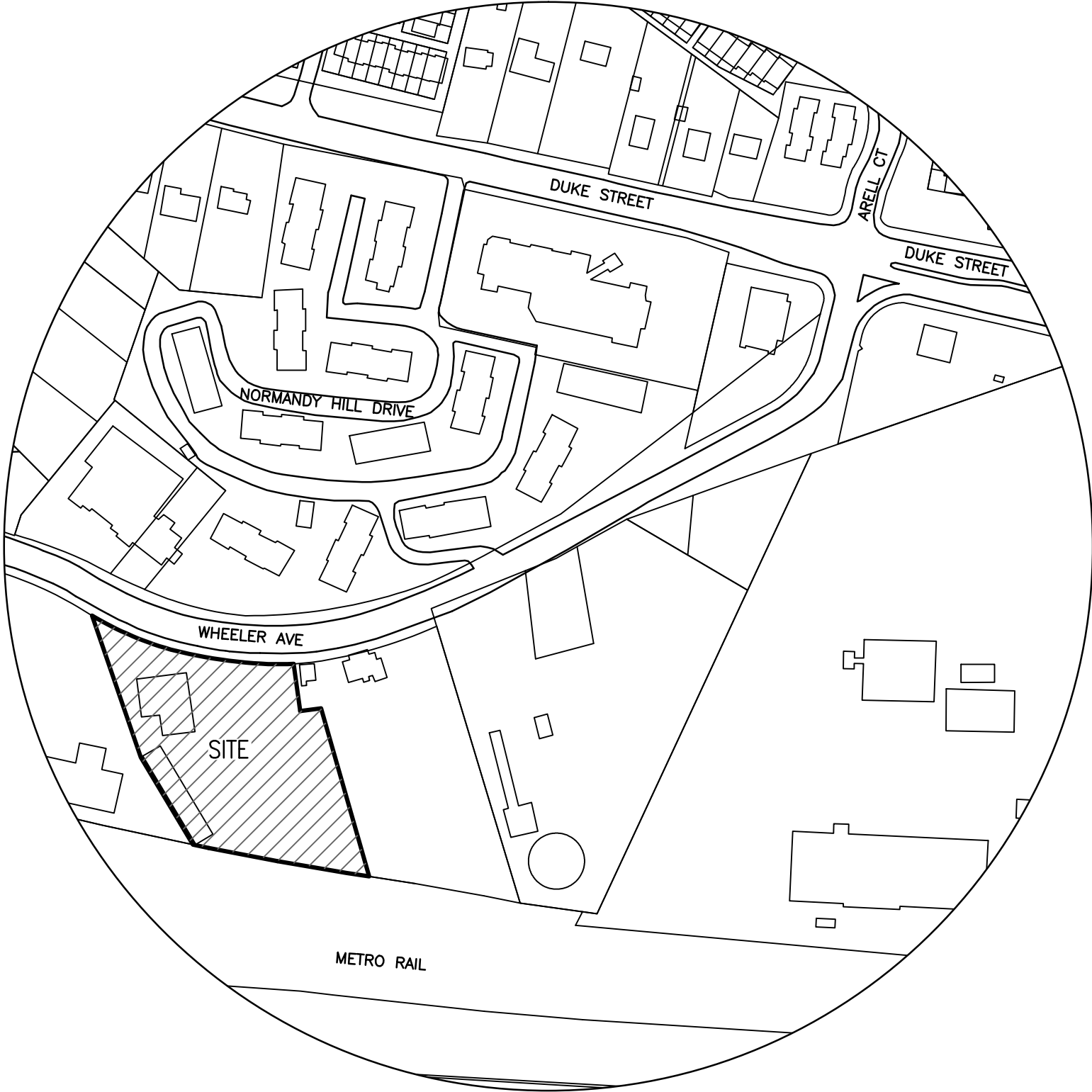
R.C. FIELDS & ASSOC. P.C.
730 S. WASHINGTON STREET
ALEXANDRIA, VA 22314
(703) 549-6422
CONTACT: BRIAN DOFFLEMYER
3. ATTORNEY:

WALSH, COLUCCI, LUBELEY, & WALSH, PC
2200 CLARENDON BOULEVARD, SUITE 1300
ARLINGTON, VA 22201-3359
(703) 528-4700
CONTACT: CATHARINE PUSKAR
4. LANDSCAPE ARCHITECT:

STUDIO 39 LANDSCAPE ARCHITECTURE, P.C.
6416 GROVEDALE DR., SUITE 100-A
ALEXANDRIA, VA 22310
(703) 719-6500
CONTACT: DAN DOVE
5. ARCHITECT:

RPH ARCHITECTURE
100 CATHEDRAL STREET, SUITE 5
ANNAPOLIS, MD 21401
(410) 267-6589
CONTACT: CHUCK HAWLEY

VICINITY MAP



SCALE: 1"=200'

TAX PARCEL NUMBER: 060.04-02-22

PROJECT DESCRIPTION NARRATIVE

THIS PROJECT PROPOSES THE DEVELOPMENT OF A SELF-STORAGE FACILITY WITH ASSOCIATED SURFACE PARKING AND PEDESTRIAN WALKWAYS. THE SELF-STORAGE FACILITY WILL BE COMPRISED OF TWO BUILDINGS-A NEW 4 STORY STORAGE FACILITY WITH BASEMENT AND REUSE OF AN ON-SITE EXISTING HISTORIC STRUCTURE WITH BASEMENT. THE EXISTING HISTORIC STRUCTURE WILL HOUSE OFFICE SPACE FOR THE SELF-STORAGE FACILITY.

APPLICATIONS AND MODIFICATIONS

THE APPLICANT REQUESTS A DEVELOPMENT SPECIAL USE PERMIT (DSUP) WITH PRELIMINARY SITE PLAN TO INCREASE THE FAR TO PERMIT THE CONSTRUCTION OF A 4 STORY SELF-STORAGE FACILITY WITH BASEMENT ON THE PROPERTY. THE APPLICANT WILL RETAIN THE EXISTING HISTORIC STRUCTURE. A MODIFICATION TO SECTION 7-902(C) SETBACK REQUIRED AT LINE OF ZONE CHANGE WILL BE REQUESTED TO ALLOW THE PROPOSED PLACEMENT OF THE PROPOSED BUILDING.

THIS PROJECT IS REQUESTING THE FOLLOWING APPLICATIONS AND MODIFICATIONS:

APPLICATIONS

- DSUP WITH PRELIMINARY SITE PLAN
- SUP TO INCREASE FLOOR AREA RATIO
- TRAFFIC MANAGEMENT PLAN SUP
- PARKING REDUCTION SUP

MODIFICATIONS

- MODIFICATION TO SECTION 7-902(C) SETBACK REQUIRED AT LINE OF ZONE CHANGE
- LOADING SPACE SIZE
- MODIFICATION TO 11-410-CC-6(A) REQUIRED PARKING LOT LANDSCAPE ISLAND

	NEW	UPGRADED
CROSSWALKS (NUMBER)	1	N/A
STANDARD	1	N/A
HIGH VISIBILITY	0	N/A
CURB RAMPS	2	N/A
SIDEWALKS (LF)	350	350
BICYCLE PARKING (NUMBER SPACES)	2	N/A
PUBLIC/VISITOR	2	N/A
PRIVATE/GARAGE	0	N/A
BICYCLE PATHS (LF)	350	N/A
PEDESTRIAN SIGNALS	N/A	N/A

ZONING TABULATIONS

- ZONE OF SITE: I (INDUSTRIAL)
- USE: EXISTING CONSTRUCTION YARD/STRUCTURES PROPOSED SELF-STORAGE WAREHOUSE FACILITY
- LOT AREA: 87,120 S.F. OR 2.0000 AC. MINIMUM LOT AREA: N/A
- NUMBER OF DWELLING UNITS: N/A
- UNITS PER ACRE: N/A
- GROSS SQUARE FOOTAGE: 136,390 SQ. FT
(PROVIDED BY ARCHITECT)
STORAGE STRUCTURE (GROSS SQUARE FOOTAGE): = 129,640 SQ. FT
STORAGE STRUCTURE BASEMENT: = 25,868 SQ. FT (INCLUDED IN TOTAL)
ENTIRE STRUCTURE IS USED FOR STORAGE

EXISTING STRUCTURE (GROSS SQUARE FOOTAGE): = 6,750 SQ. FT
EXISTING STRUCTURE BASEMENT: = 2,250 SQ. FT (INCLUDED IN TOTAL)
ENTIRE EXISTING STRUCTURE IS USED FOR OFFICE
- NET SQUARE FOOTAGE: 105,444 SQ. FT
(PROVIDED BY ARCHITECT)
STORAGE STRUCTURE (NET SQUARE FOOTAGE): = 101,340 SQ. FT
HISTORIC STRUCTURE (NET SQUARE FOOTAGE): = 4,104 SQ. FT
- FLOOR AREA RATIO: PERMITTED 0.85 x 87,120 = 74,052 SF
PROPOSED 1.21 (WITH SUP*) x 87,120 = 105,444 SF
*SUP ALLOWS UP TO 1.25 FLOOR AREA RATIO
- OPEN SPACE: N/A
- HEIGHT: REQUIRED 50' PROPOSED BUILDING 46.25' AFG 41.03
EXISTING BUILDING 38.66' AFG 40.89
- YARDS: NOT REQUIRED FOR THE ZONE.
ZONE TRANSITION REQUIRED = 100' FROM CENTERLINE
ZONE TRANSITION PROVIDED = 54' FROM CENTER LINE (MODIFICATION REQUESTED)
- FRONTAGE: REQUIRED N/A PROPOSED 315'
- PARKING SPACES: INDUSTRIAL PARKING REQUIRED PER Z.O. 8-200(A)(19)(a)

STORAGE: 1 SPACE/7,000 SQ. FT.
STORAGE GROSS SQUARE FOOTAGE = 129,640**
**FOR PURPOSES OF PARKING, BASEMENT FLOOR AREA INCLUDED
REQUIRED PARKING FOR STORAGE = 19

OFFICE: 1 SPACE/400 SQ. FT.
STORAGE GROSS SQUARE FOOTAGE = 6,750***
***FOR PURPOSES OF PARKING, BASEMENT FLOOR AREA INCLUDED
REQUIRED PARKING FOR OFFICE = 17

TOTAL REQUIRED = 36

STANDARD PARKING PROVIDED = 15
HYBRID LOADING PARKING PROVIDED = 7
ADA PARKING PROVIDED = 1

TOTAL PARKING PROVIDED = 23

BICYCLE PARKING FOR OFFICE SPACE

VISITOR BICYCLE PARKING REQUIRED = 1
EMPLOYEE BICYCLE PARKING REQUIRED = 1

TOTAL BICYCLE PARKING REQUIRED = 2

VISITOR BICYCLE PARKING PROVIDED = 1
EMPLOYEE BICYCLE PARKING PROVIDED = 1

TOTAL BICYCLE PARKING PROVIDED = 2

- LOADING SPACES: REQUIRED = (1/20,000 SQ. FT.) = 7 ; PROPOSED = 7****
****LOADING SPACES ARE PROPOSED TO BE SIZED 10'x20'

- TRIP GENERATION: EXISTING 2.0 ACRE LIGHT INDUSTRIAL ITE CODE 110
WEEKDAY VPD = 110
AM PEAK = 16
PM PEAK = 18
SATURDAY PEAK = 2

PROPOSED 2.0 ACRE MINI-WAREHOUSE ITE CODE 151
WEEKDAY VPD = 78
AM PEAK = 9
PM PEAK = 9
SATURDAY PEAK = 13

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R.C. FIELDS & ASSOCIATES, inc.
ENGINEERING • LAND SURVEYING • PLANNING
730 S. Washington Street
Alexandria, Virginia 22314
www.rcfassoc.com
(703) 549-6422
PROJECT MANAGER: BRIAN DOFFLEMYER
EMAIL: BDOFFLEMYER@RCFASSOC.COM

DRAWN: JGH

DATE: MAY 13, 2015

REV: JUNE 11, 2015

SCALE: AS NOTED



REVISION APPROVED BY

NO.	DESCRIPTION	REV	BY	DATE	APPROVED	DATE

PRELIMINARY SITE PLAN
SPECIAL USE PERMIT PLAN

ezStorage FACILITY

(#3640 WHEELER AVENUE)
CITY OF ALEXANDRIA, VIRGINIA

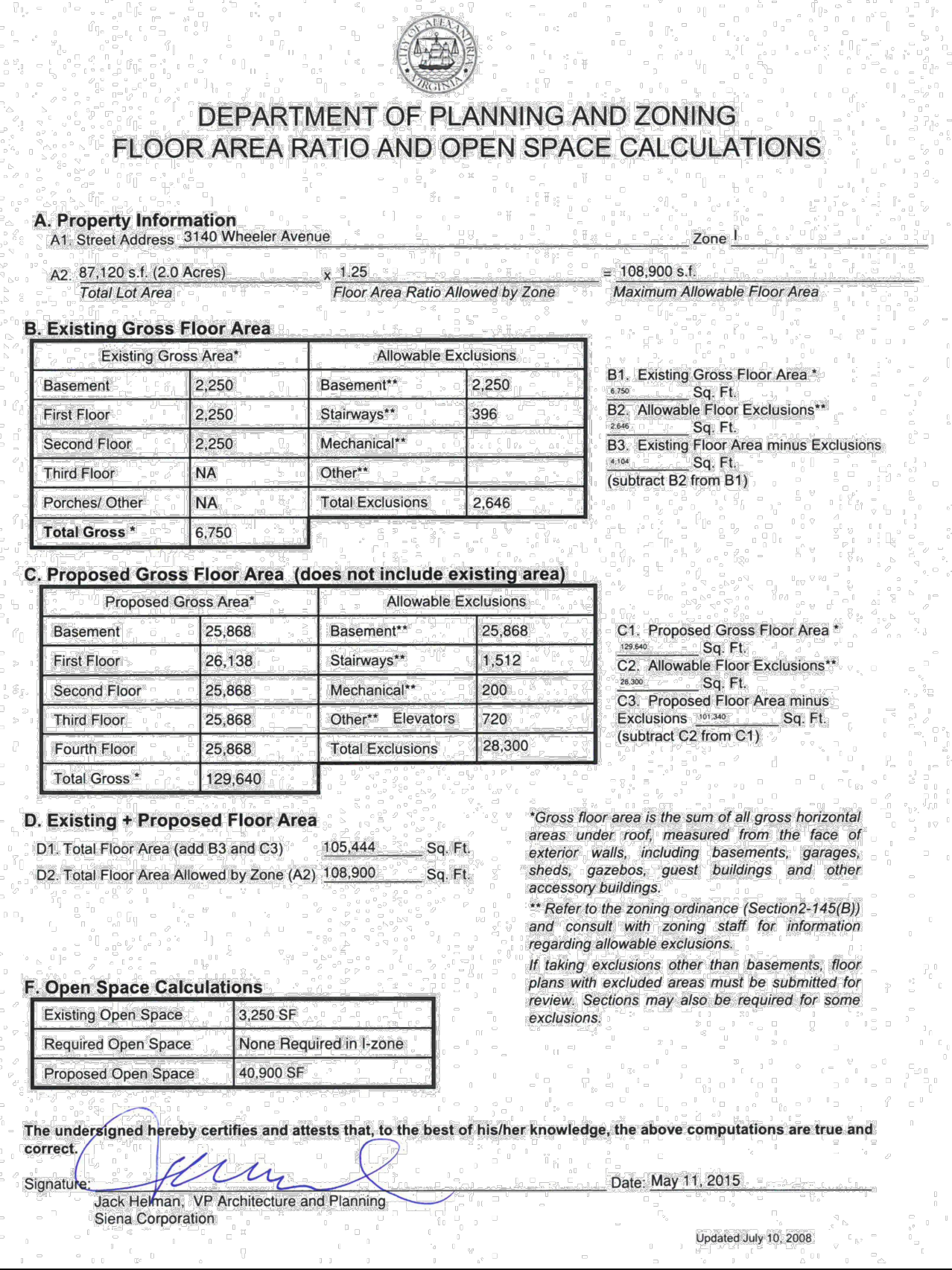
COVER SHEET

SHEET NAME:

APPROVED SPECIAL USE PERMIT NO. 2015-0002	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No. _____	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED	DATE
INSTRUMENT NO.	DEED BOOK NO.
PAGE NO.	

PROP. 4-STORY BUILDING WITH BASEMENT

PROPOSED BUILDING AVERAGE FINISHED GRADE DETAIL
SCALE : 1" = 20'



RT	TOWNHOUSE-LOW DENSITY
RB	TOWNHOUSE-MEDIUM DENSITY
RA	MULTI-FAMILY/MEDIUM DENSITY RESIDENTIAL
R-2-5	RESIDENTIAL-LOW DENSITY (5,000 SQ FT LOTS)
R-8	RESIDENTIAL-LOW DENSITY (8,000 SQ FT LOTS)
R-12	RESIDENTIAL-LOW DENSITY (12,000 SQ FT LOTS)
R-20	RESIDENTIAL-LOW DENSITY (20,000 SQ FT LOTS)

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE

DATE	REVISION
6/11/15	REVISED PER CITY COMMENTS
CHECKED: BD	
DESIGN: ABH	
SCALE: AS NOTED	
DATE: MAY 13, 2015	
SHEET 2 OF 13	
FILE: 14-185	

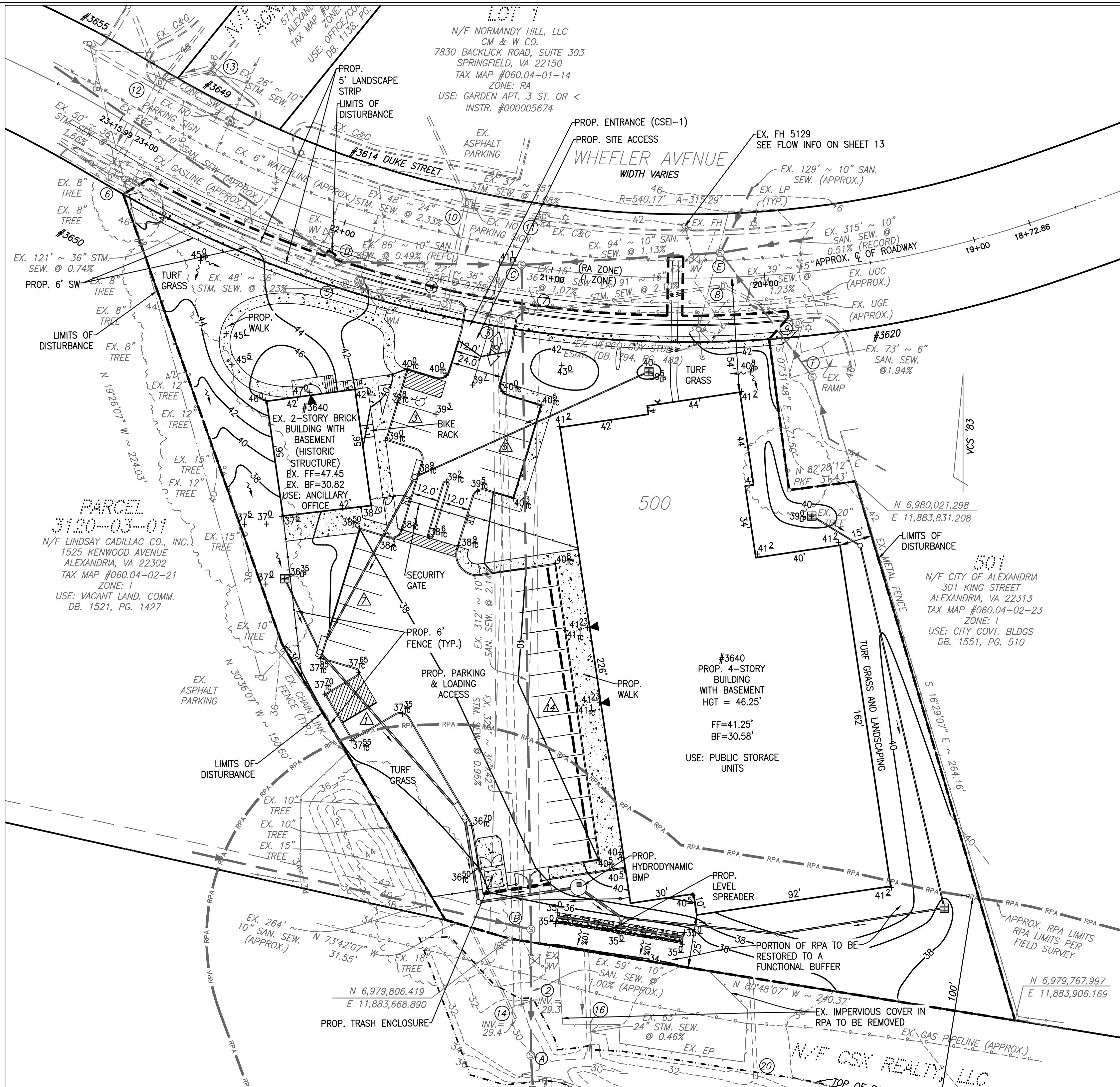
PRELIMINARY SPECIAL USE PERMIT

ezStorage FACILITY

3640 WHEELER AVENUE
CITY OF ALEXANDRIA, VIRGINIA

CONTEXTUAL PLAN

° = DEGREES
 ' = MINUTES (OR FEET)
 " = SECONDS (OR INCHES)
 % = PERCENT
 # = NUMBER
 @ = AT
 lbs. = POUNDS
 A = ARC
 AC. = ACRE
 ADA = AMERICANS W/ DISABILITIES ACT
 APPROX. = APPROXIMATE
 BB = BOTTOM OF CURB
 BF = BASEMENT FLOOR
 BLDG. = BUILDING
 BM = BENCHMARK
 BOL = BOLLARD
 CATV = CABLE UTILITY
 CL = CLASS
 CLEAR = CLEARANCE
 CUL = CHAIN LINK FENCE
 CMP = CORRUGATED METAL PIPE
 C.I. = CURB INLET
 C.O. = CLEAN OUT
 CONC. = CONCRETE
 C&G = CURB & GUTTER
 DB = DEED BOOK
 DIP = DUCTILE IRON PIPE
 DSR = DOMESTIC
 DSD = DEVELOPMENT SITE PLAN
 SUP = DEVELOPMENT SPECIAL USE PERM
 DU = DWELLING UNIT
 E = EAST
 EBOX = ELECTRICAL BOX
 ESE = EASEMENT
 EP = EDGE OF PAVEMENT
 EVE = EMERGENCY VEHICLE EASEMENT
 EX = EXISTING
 FDC = FIRE DEPT. CONNECTION
 FF = FINISH FLOOR
 FH = FIRE HYDRANT
 FT. = FEET
 GL = GROUND LIGHT
 G/V = GAS VALVE
 G/M = GAS METER
 G.I. = GRATE INLET
 H.C. = HEADER CURB
 HDOP = HANDICAP
 HDPE = HIGH DENSITY POLYETHYLENE
 HPS = HIGH PRESSURE SODIUM
 IFP = IRON PIPE FOUND
 INV. = INVERT
 INSTR. = INSTRUMENT
 L = LUMENS
 LOC. = LOCATION
 LP = LIGHT POLE
 MAX. = MAXIMUM
 MH = MANHOLE
 MIN. = MINIMUM
 MPH = MILES PER HOUR
 MW = MONITORING WELL
 N = NORTH
 OHW = OVERHEAD WIRE
 PN = PANEL
 PG = PAGE
 PP = POWER POLE
 PROP = PROPOSED
 PVC = POLYVINYL CHLORIDE
 R = RADIUS
 RCP = RE-ENFORCED CONCRETE PIPE
 RELOC. = RELOCATED
 RET. = RETAINING
 RESID. = RESIDENTIAL
 R/W = RIGHT-OF-WAY
 S = SOUTH
 SAN. = SANITARY SEWER
 S.F. = SQUARE FEET
 S.F.T. = SQUARE FEET
 STM = STORM SEWER
 STR. = STRUCTURE
 SUB = SUBDIVISION PLAN
 TBR = TO BE REMOVED
 TBS = TO BE SAVED
 T.M. = TAX MAP
 TMH = TELEPHONE MANHOLE
 TO = TOP OF CURB
 TOF = TOP OF WALL
 TRAF.SIG. = TRAFFIC SIGNAL
 TYP = TYPICAL
 UGE = UNDERGROUND ELECTRIC
 UP = UTILITY POLE
 VCS = VEHICLE COORDINATE SYSTEM
 VPD = VEHICLES PER DAY
 W = WAIT
 W = WEST
 W.S.E. = WATER SURFACE ELEVATION
 W = WATER WALL
 W = WATER WHEEL
 W.W. = WINDOW WELL



ITEM	EXISTING	PROPOSED
CURB & GUTTER		
CONC. WALK		
FIRE HYDRANT		
STRUCTURES		
WATER MAINS		
GAS MAINS		
TELEPHONE LINES		
STORM SEWER		
SANITARY SEWER		
PAVING		
FENCES		
POWER LINES		
SPOT ELEVATIONS		
CONTOURS		
BUILDING ENTRANCES		
UTILITY POLE		
LIGHT POLE		
LIMITS OF DISTURBANCE		

1. TAX MAP: 060.04-02-22
2. ZONE: I
3. OWNER:
JBI, LLC
ATTN: WILLIAM J.M. WILLIS
FLUPPO CONSTRUCTION CO.
3820 PENN BELT PL
ALEXANDRIA, VA 22313
D.B. 431, PG. 488
4. BASE LOCATION SURVEY INFORMATION PROVIDED BY OTHERS:

HORIZONTAL COORDINATES AND BEARINGS SHOWN HEREON ARE REFERENCED TO VIRGINIA COORDINATE SYSTEM (VCS) 1983 PER THE FOLLOWING CITY OF ALEXANDRIA SURVEY CONTROL MONUMENTS:

#GPS580	NORTH	6,979,515.66	EAST	11,887,068.56	COMB. FACTOR	0.999956915
#GPS581	NORTH	6,979,564.53	EAST	11,886,292.74	COMB. FACTOR	0.999956897

5. TITLE REPORT NOT FURNISHED, THUS ALL EASEMENT MAY NOT BE SHOWN.

6. PLAT SUBJECT TO RESTRICTIONS OF RECORD.

7. TOTAL SITE AREA = 87,120 S.F. OR 2.0000 AC. (RECORD)

8. THERE ARE RESOURCE PROTECTION AREAS (RPA'S) ON THIS SITE. THERE ARE NO TIDAL WETLANDS, SHORES, TRIBUTARY STREAMS, FLOOD PLAINS, OR BUFFER AREAS FOR SHORES, WETLANDS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS OR HIGHLY ERODIBLE/PERMEABLE SOILS LOCATED ON THIS SITE.

9. THERE ARE NO KNOWN CONTAMINATED AREAS, CONTAMINATED SOILS OR ENVIRONMENTAL ISSUES ASSOCIATED WITH THIS SITE. THE SITE WILL BE ASSESSED FOR SOIL CONDITION PRIOR TO DEVELOPMENT.

REFER TO SHEETS 7 AND 7A FOR UTILITY INFORMATION

THE TOTAL SANITARY FLOWS FOR THIS SITE WERE CALCULATED USING FLOW INFORMATION PROVIDED BY CITY STAFF AND IN CONFORMANCE WITH THE MEMORANDUM TO INDUSTRY NUMBER 06-14, THE AVERAGE DAILY FLOW FOR THE WAREHOUSE USE ON THIS SITE IS 4,800 GPD BASED ON 600 GPD/ACRE \times 2 ACRES \times PEAK FACTOR OF 4. A SANITARY SEWER OUTFALL ANALYSIS WILL NOT BE REQUIRED FOR THIS DEVELOPMENT SINCE THE AVERAGE DAILY FLOW IS LESS THAN 10,000 GPD. THIS PROJECT IS NOT LOCATED IN AN AREA WITH COMBINED SEWERS. THE SANITARY DISCHARGE WILL BE TO A PUBLICLY OWNED TREATMENT FACILITY PER CITY OF ALEXANDRIA CODE 4035.

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THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR.

EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATION OF THE CITY OF ALEXANDRIA, VIRGINIA ©2015 R.C. FIELDS & ASSOCIATES, INC.

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____


INSTRUMENT NO. _____ DEED BOOK NO. _____

FILE: 14-185

PRELIMINARY SPECIAL USE PERMIT

ezStorage FACILITY

3640 WHEELER AVENUE
CITY OF ALEXANDRIA, VIRGINIA



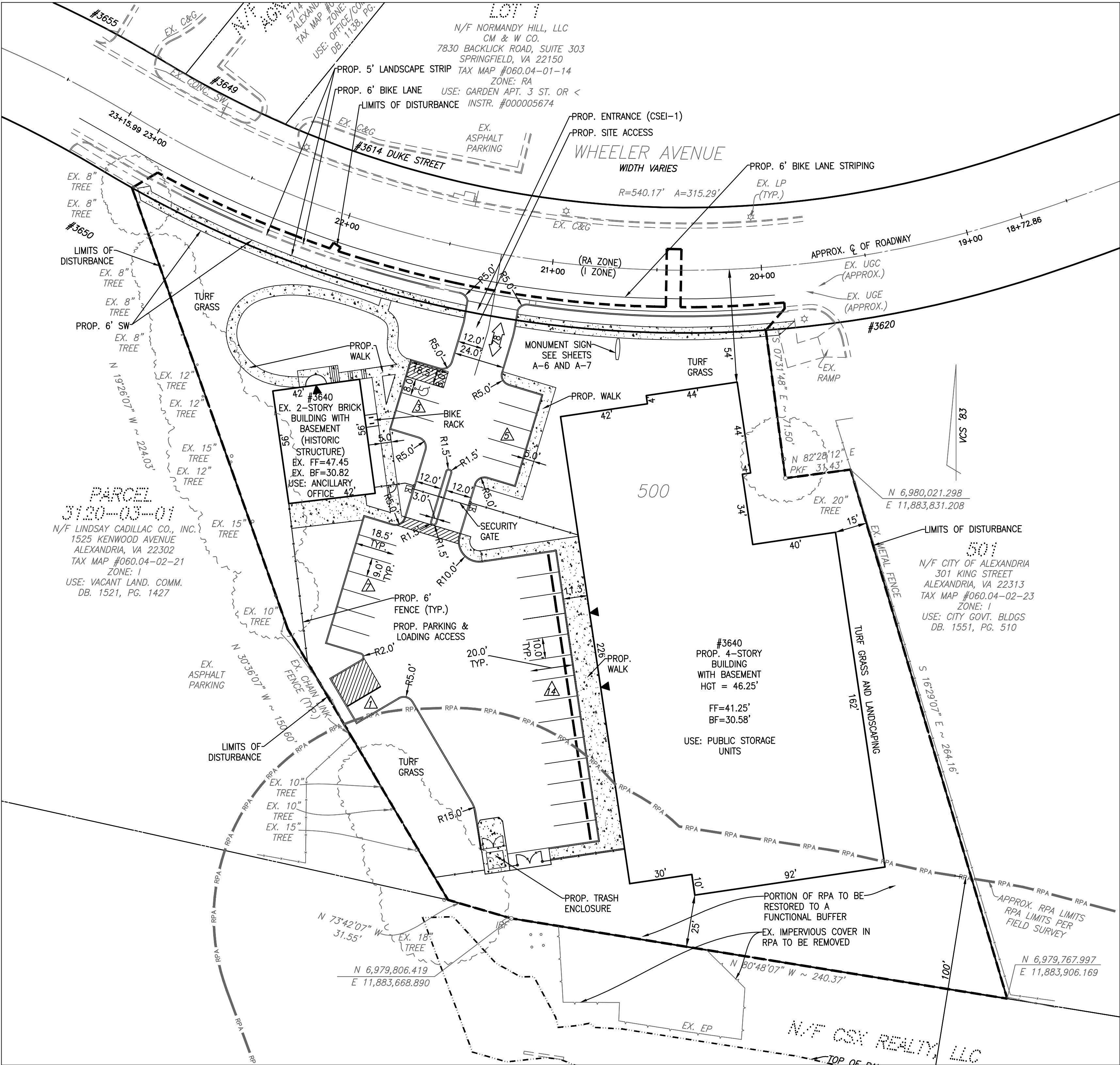
RCFIELDS
& ASSOCIATES, INC.

ENGINEERING • LAND SURVEYING • PLANNING
730 S. Washington Street
Alexandria, Virginia 22314
www.rcfiassoc.com
(703) 549-6422

PRELIMINARY SITE PLAN

CIVIL LEGEND:

ITEM	EXISTING	PROPOSED
CURB & GUTTER	=====	=====
CONC. WALK	-----WALK-----	=====WALK=====
FIRE HYDRANT	○	○
STRUCTURES	[-----]	■
WATER MAINS	---W---	---W---
GAS MAINS	---G---	---G---
TELEPHONE LINES	---T---	---T---
STORM SEWER	-----⑩-----	-----●-----
SANITARY SEWER	---⑤---	---●---
PAVING	-----P-----	=====P=====
FENCES	---X---	---x---
POWER LINES	---	---
SPOT ELEVATIONS	+124.5	+124.5
CONTOURS	-----124-----	-----124-----
BUILDING ENTRANCES	▽	▼
UTILITY POLE	⊕	⊕
LIGHT POLE	☆	☆
LIMITS OF DISTURBANCE	=====	=====



GENERAL NOTES:

- TAX MAP: 060.04-02-22
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- OWNER: JBJ, LLC
ATTN: WILLIAM J.M. WILLIS
FLIPPO CONSTRUCTION CO.
3820 PENN BELT PL
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#GPS580 NORTH 6,979,515.66 EAST 11,887,068.56 COMB. FACTOR 0.999956915
#GPS581 NORTH 6,979,564.53 EAST 11,886,292.74 COMB. FACTOR 0.999956897
- TITLE REPORT NOT FURNISHED, THUS ALL EASEMENT MAY NOT BE SHOWN.
- PLAT SUBJECT TO RESTRICTIONS OF RECORD.
- TOTAL SITE AREA = 87,120 S.F. OR 2.0000 AC. (RECORD)
- THERE ARE RESOURCE PROTECTION AREAS (RPA'S) ON THIS SITE. THERE ARE NO TIDAL WETLANDS, SHORES, TRIBUTARY STREAMS, FLOOD PLAINS, OR BUFFER AREAS FOR SHORES, WETLANDS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS OR HIGHLY ERODIBLE/PERMEABLE SOILS LOCATED ON THIS SITE.
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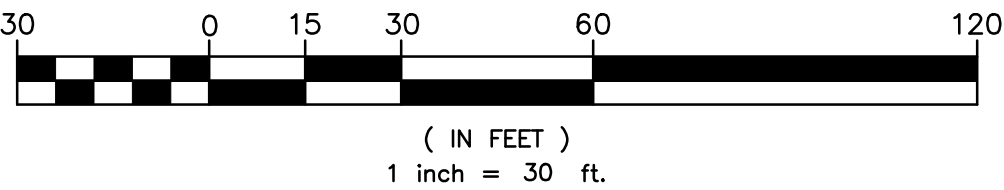
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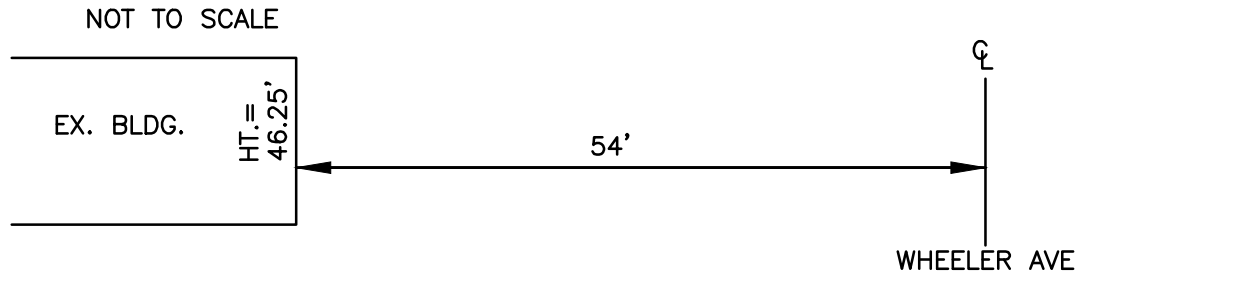
GRAPHIC SCALE



SECTION 6-403 HEIGHT COMPLIANCE NOTE:

SECTION 6-403 STATES "IN ALL HEIGHT DISTRICTS, THE ALLOWABLE HEIGHT OF A BUILDING AT ANY POINT SHALL NOT EXCEED TWICE THE DISTANCE FROM THE FACE OF THE BUILDING AT THAT POINT TO THE CENTERLINE OF THE STREET FACING SUCH BUILDING. " SEE DETAIL BELOW FOR SECTION SHOWING COMPLIANCE.

SECTION 6-403 DETAIL:



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APPROVED

SPECIAL USE PERMIT NO. 2015-0002

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____

DATE REVISION
6/11/15 REVISED PER CITY COMMENTS

CHECKED: BD
DESIGN: ABH

SCALE: 1"=30'

DATE: MAY 13, 2015

SHEET 5 OF 13

FILE: 14-185

PRELIMINARY SPECIAL USE PERMIT

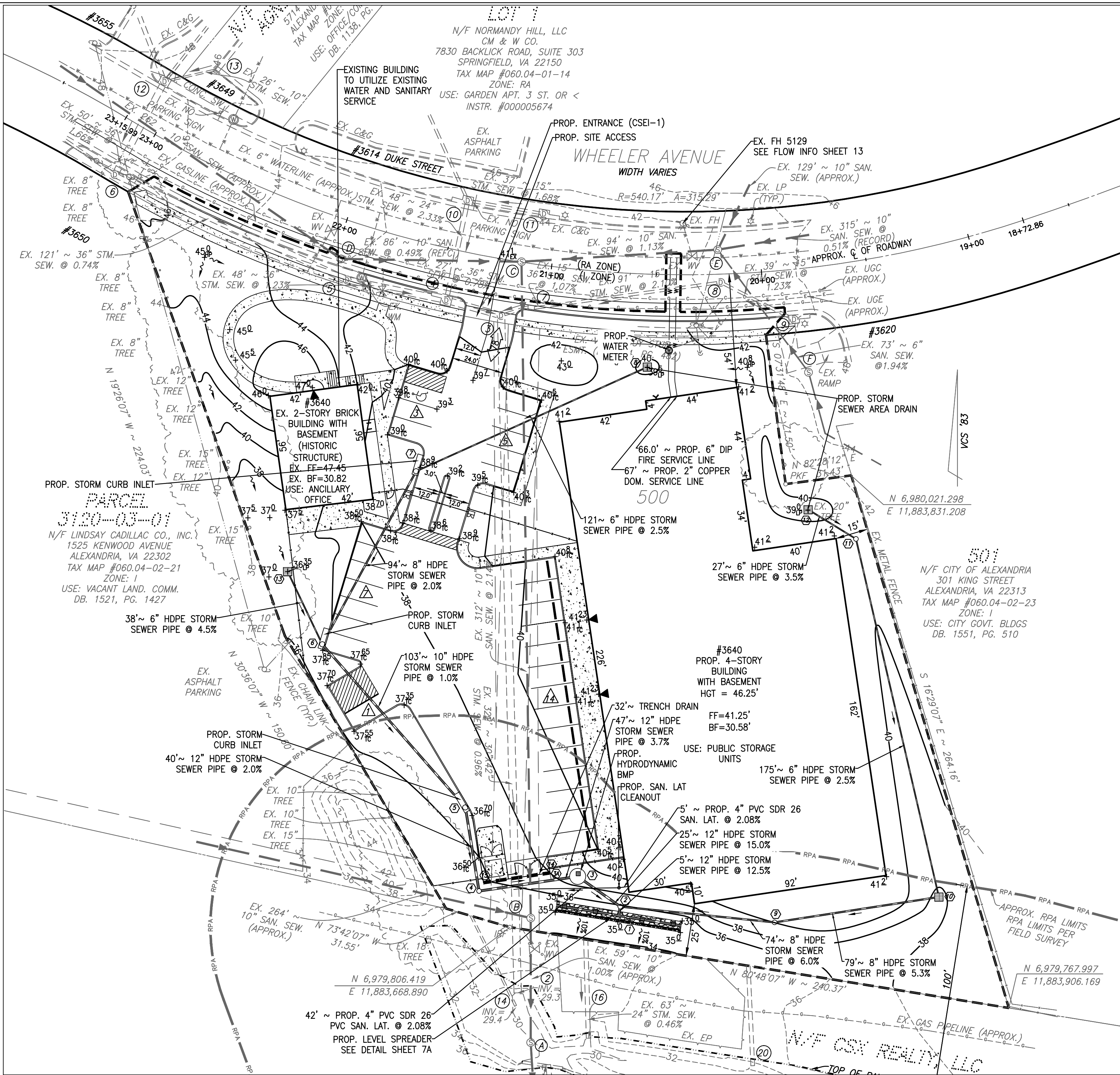
ezStorage FACILITY

3640 WHEELER AVENUE
CITY OF ALEXANDRIA, VIRGINIA



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www.rcfieldsoc.com
730 S. Washington Street
Alexandria, Virginia 22314
(703) 549-6422

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 CL = CLASS
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 C.O. = CLEAN OUT
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 CCRG = CURB & GUTTER
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 DIP = DUCTILE IRON PIPE
 DOM = DOMESTIC
 DSD = DRAINAGE SITE PLAN
 DSPUR = DEVELOPMENT SPECIAL USE PERMIT
 DU = DWELLING UNIT
 E = EAST
 EBOX = ELECTRICAL BOX
 ES = EASEMENT
 EP = EDGE OF PAVEMENT
 EVE = EMBEDED VEHICLE EASEMENT
 EX = EXISTING
 FDC = FIRE DEPT. CONNECTION
 FF = FINISH FLOOR
 FH = FIRE HYDRANT
 FT = FEET
 GL = GROUND LIGHT
 G/V = GAS VALVE
 G/M = GAS METER
 GI = GATE INLET
 H.C. = HEADER CURB
 HDOP = HANDICAP
 HDPE = HIGH DENSITY POLYETHYLENE
 HPS = HIGH PRESSURE SODIUM
 IRP = IRON PIPE FOUND
 INV = INVERT
 INSTR. = INSTRUMENT
 L = LUMENS
 LOC = LOCATION
 LP = LIGHT POLE
 MAX. = MAXIMUM
 MH = MANHOLE
 MIN. = MINIMUM
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 PG = PAGE
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 TBR = TO BE REMOVED
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 T.M. = TAX MAP
 TMH = TELEPHONE MANHOLE
 TO = TOP OF CURB
 TOW = TOP OF WALL
 TRAF SIG = TRAFFIC SIGNAL
 TYP = TYPICAL
 UGE = UNDERGROUND ELECTRIC
 UP = UTILITY POLE
 VCS = VERTICAL CURVATURE SYSTEM
 VPD = VEHICLES PER DAY
 W = WAIT
 W = WEST
 W.S.E. = WATER SURFACE ELEVATION
 W.W. = WATER WARE
 W = WATER METER
 W.W. = WINDOW WELL



ITEM	EXISTING	PROPOSED
CURB & GUTTER		
CONC. WALK		
FIRE HYDRANT		
STRUCTURES		
WATER MAINS		
GAS MAINS		
TELEPHONE LINES		
STORM SEWER		
SANITARY SEWER		
PAVING		
FENCES		
POWER LINES		
SPOT ELEVATIONS		
CONTOURS		
GRADING ENTRANCES		
UTILITY POLE		
LIGHT POLE		
LIMITS OF DISTURBANCE		

1. TAX MAP: 060.04-02-22
2. ZONE: I
3. OWNER: JBJ, LLC
ATTN. WILLIAM
FLIPPO CONSTR
3820 PENN BE
ALEXANDRIA, VA
D.B. 431, PG.
4. BASE LOCATION SURVEY INFORMATION

HORIZONTAL COORDINATES AND BEARINGS SHOWN HEREON ARE REFERENCED TO VIRGINIA COORDINATE SYSTEM (VCS) 1983 PER THE FOLLOWING CITY OF ALEXANDRIA SURVEY CONTROL MONUMENTS:

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#GPS581	NORTH	6,979,564.53	EAST	11,886,292.74	COMB. FACTOR	0.999956897

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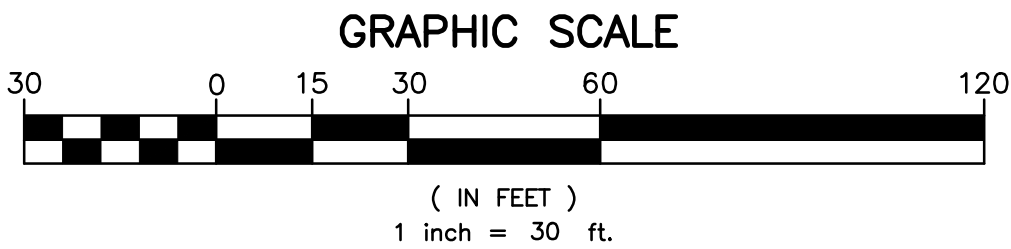
UTILITY POLE UNDERGROUNDING NOTE:
REFER TO SHEET 7A FOR UTILITY POLE UNDERGROUNDING EXHIBIT

LEVEL SPREADER NOTE:
REFER TO SHEET 7A FOR LEVEL SPREADER CROSS SECTIONS AND DETAILS

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DATE	REVISION
6/11/15	REVISED PER CITY COMMENTS

CHECKED: BD
DESIGN: ABH

SCALE: 1"=30'

DATE: MAY 13, 2015

SHEET 7 OF 13

FILE: 14-185

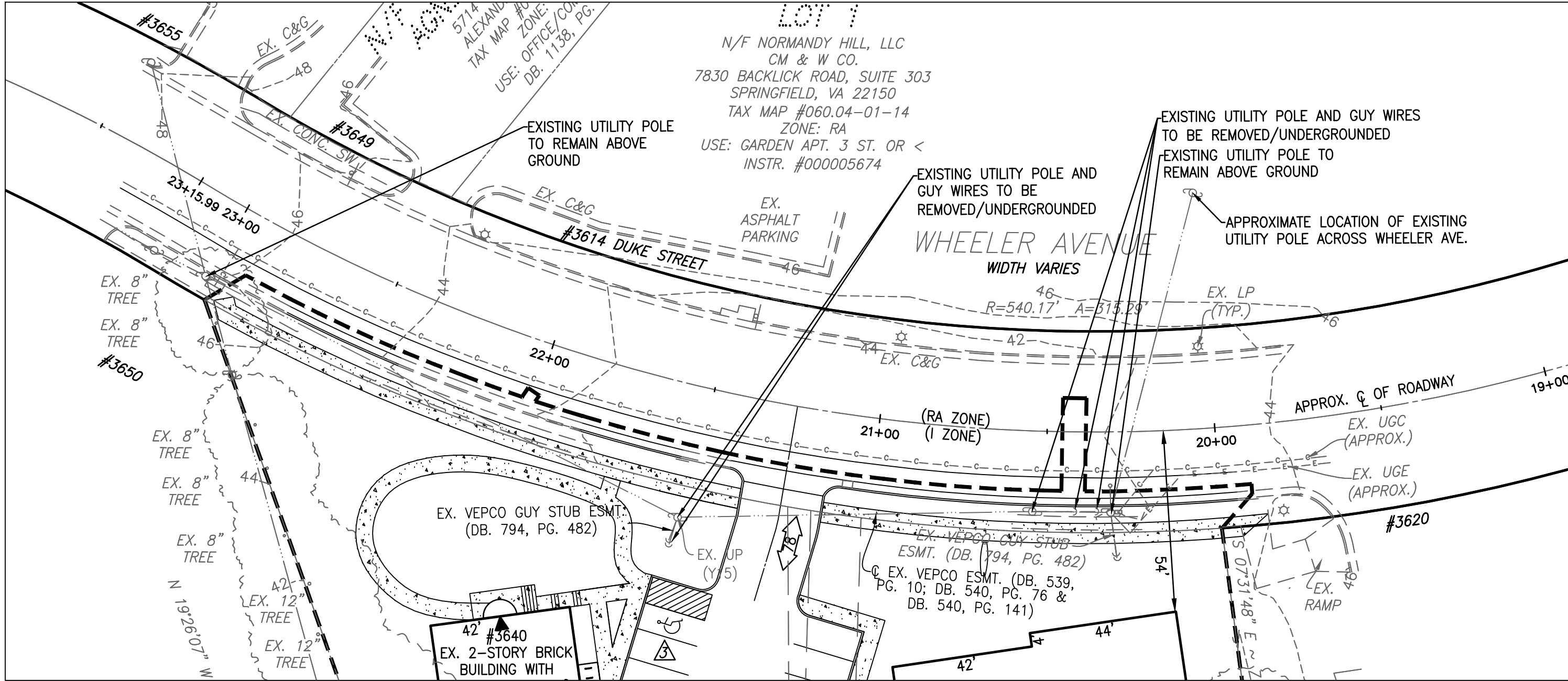
UTILITY PLAN (1 OF 2)

TEXT LEGEND:

- '= DEGREES
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DSP= DEVELOPMENT SITE PLAN
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INV.= INVERT
INSTR.= INSTRUMENT
L= LUMENS
LOC.= LOCATION
LP= LIGHT POLE
MAX.= MAXIMUM
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MIN.= MINIMUM
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MW= MONITORING WELL
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PN = PANEL
PG= PAGE
PP= POWER POLE
PROP= PROPOSED
PVC= POLYVINYL CHLORIDE
R= RADIUS
RCP= RE-ENFORCED CONCRETE PIPE
RELOC. = RELOCATED
RET.= RETAINING
RESID.= RESIDENTIAL
R/W= RIGHT-OF-WAY
S= SOUTH
SAN.= SANITARY SEWER
S.F.= SQUARE FEET
SQ.FT.= SQUARE FEET
STM.= STORM SEWER
STR.= STRUCTURE
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TBR = TO BE REMOVED
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VCS= VIRGINIA COORDINATE SYSTEM
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W= WATT
W= WEST
W.S.E.= WATER SURFACE ELEVATION
WV= WATER VALVE
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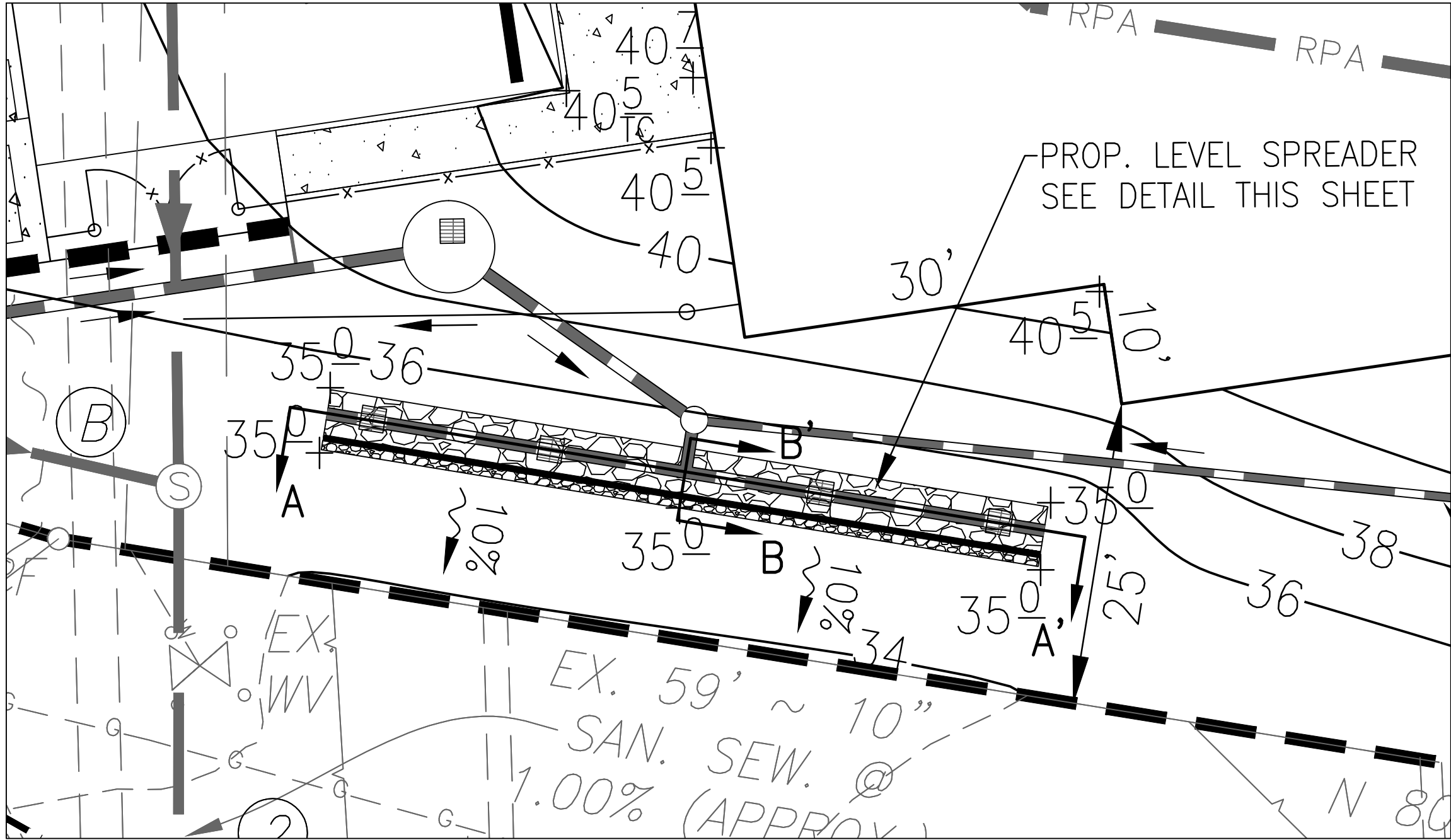
CONCEPTUAL UTILITY POLE UNDERGROUNDING EXHIBIT:

SCALE: 1" = 30'

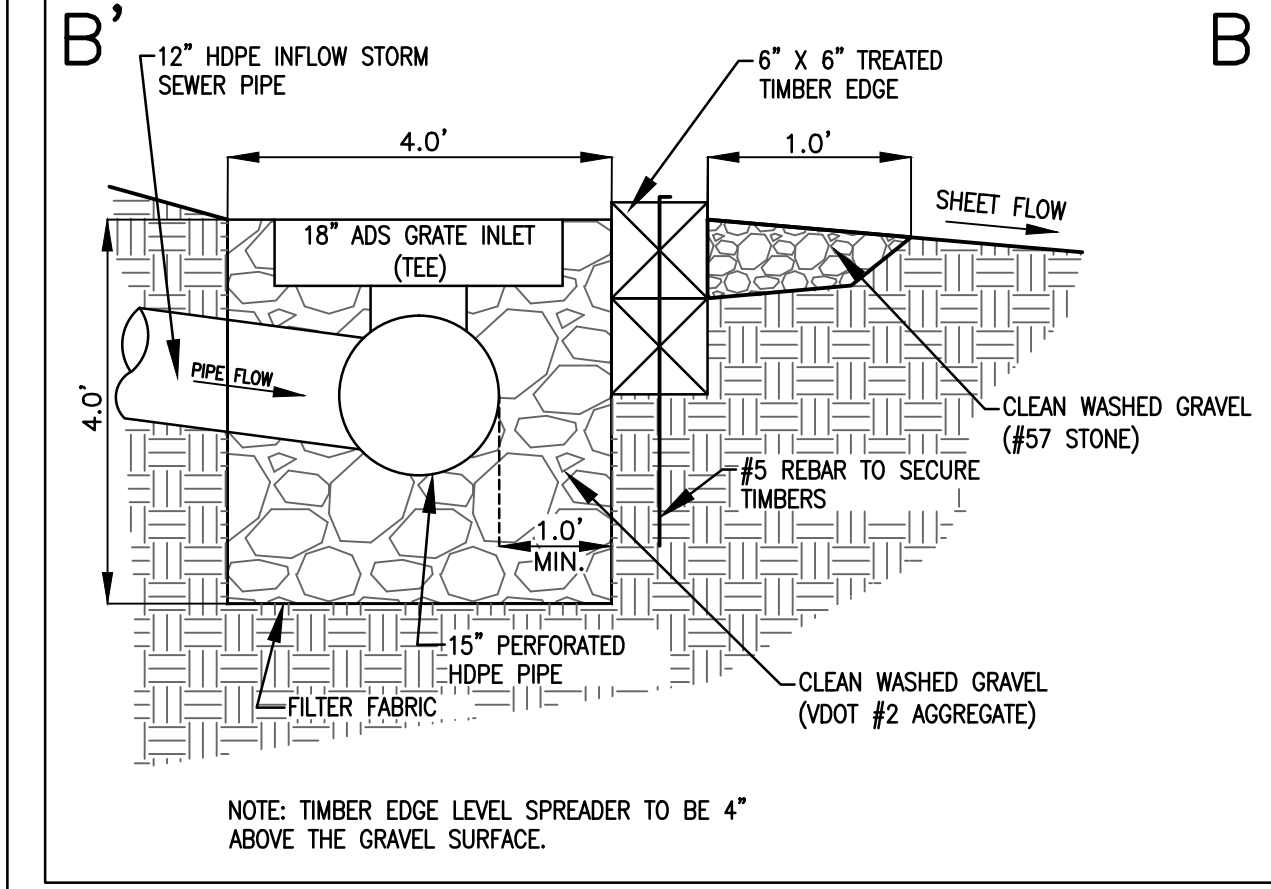


LEVEL SPREADER PLAN VIEW DETAIL:

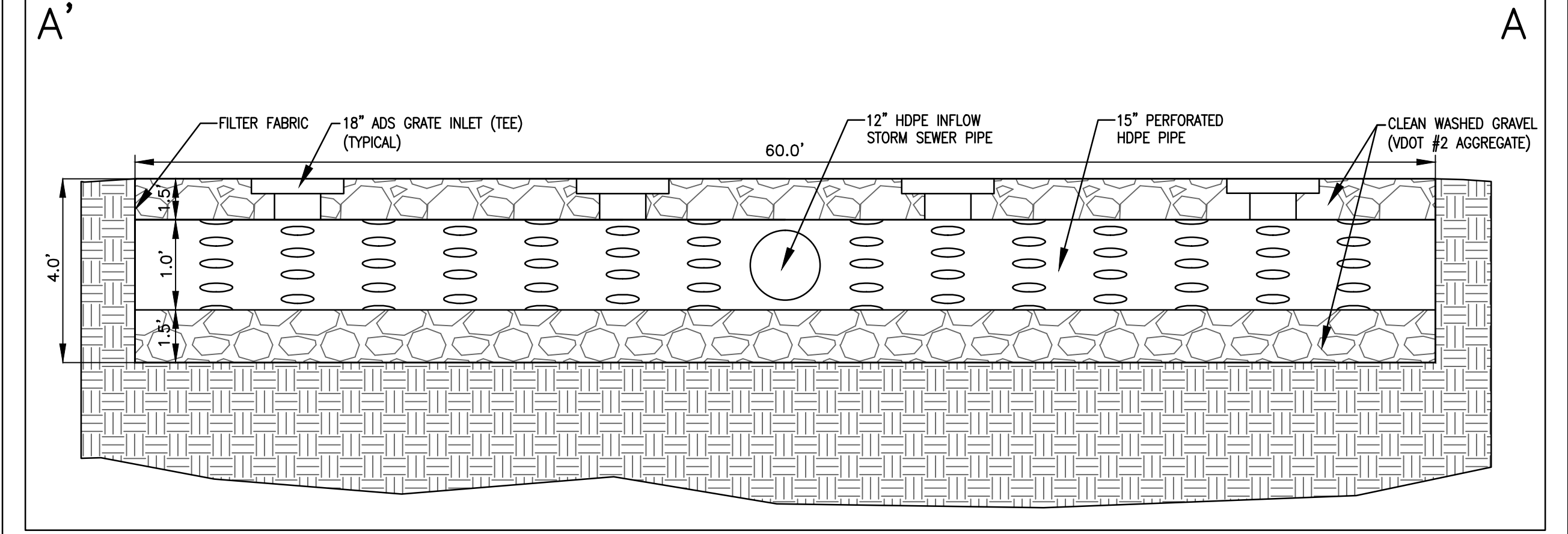
SCALE: 1" = 10'



LEVEL SPREADER CROSS SECTION B'-B DETAIL (NOT TO SCALE)



LEVEL SPREADER CROSS SECTION B-B' DETAIL (NOT TO SCALE)



CIVIL LEGEND:

ITEM	EXISTING	PROPOSED
CURB & GUTTER	=====	=====
CONC. WALK	-----WALK-----	=====
FIRE HYDRANT	○	○
STRUCTURES	[-----]	[-----]
WATER MAINS	---W---	---W---
GAS MAINS	---G---	---G---
TELEPHONE LINES	---T---	---T---
STORM SEWER	-----⑩-----	-----●-----
SANITARY SEWER	-----⑤-----	-----●-----
PAVING	-----	-----
FENCES	---X---	---X---
POWER LINES	---	---
SPOT ELEVATIONS	+124.5	+124.5
CONTOURS	-----124-----	-----124-----
BUILDING ENTRANCES	▽	▽
UTILITY POLE	⊙	⊙
LIGHT POLE	☆	☆
LIMITS OF DISTURBANCE	=====	=====

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APPROVED

SPECIAL USE PERMIT NO. 2015-0002

DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
	DATE

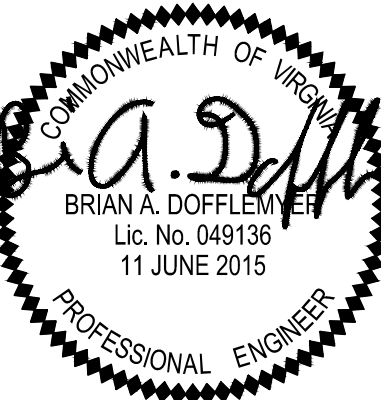
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SHEET 7A OF 13

FILE: 14-185

UTILITY PLAN (2 OF 2)

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 L = LUMENS
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CIVIL LEGEND:

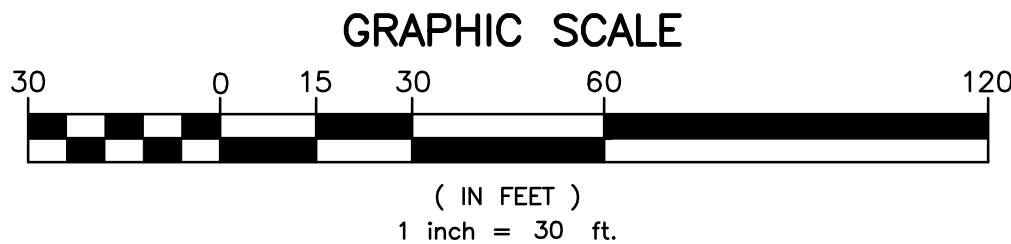
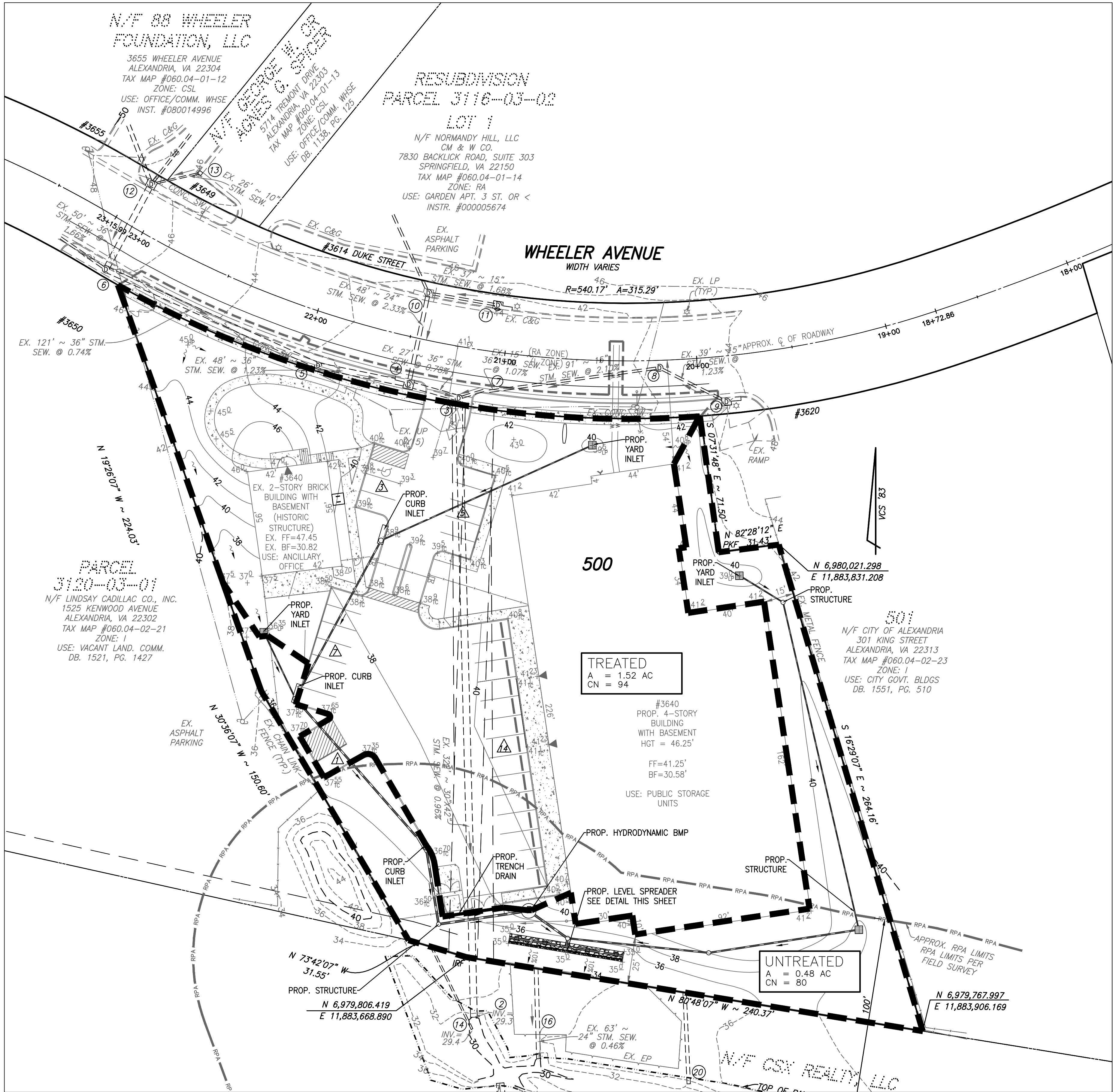
ITEM	EXISTING	PROPOSED
CURB & GUTTER	=====	=====
CONC. WALK	-----WALK-----	=====WALK=====
FIRE HYDRANT	⊕	⊕
STRUCTURES	[-----]	[-----]
WATER MAINS	-----W-----	-----W-----
GAS MAINS	-----G-----	-----G-----
TELEPHONE LINES	-----T-----	-----T-----
STORM SEWER	-----⑩-----	-----●-----
SANITARY SEWER	-----⑤-----	-----●-----
PAVING	-----P-----	-----P-----
FENCES	-----X-----	-----X-----
POWER LINES	-----P-----	-----P-----
SPOT ELEVATIONS	+124.5	+124.5
CONTOURS	-----124-----	-----124-----
BUILDING ENTRANCES	▽	▽
UTILITY POLE	⊕	⊕
LIGHT POLE	☆	☆
LIMITS OF DISTURBANCE	=====	=====

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LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATION OF THE CITY OF ALEXANDRIA, VIRGINIA
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STORMWATER RUNOFF COMPUTATIONS:

(RUNOFF ANALYSIS UTILIZING SCS TR-20 METHOD)

I. PROJECT AREA = 87,120 SQ.FT. OR 2.0000 ACRES

EXISTING IMPERVIOUS AREA = 83,912 SQ.FT. OR 1.92 ACRES
 PROPOSED IMPERVIOUS AREA = 51,485 SQ.FT. OR 1.18 ACRES

II. WEIGHTED "CN" FACTOR CALCULATION

PRE-DEVELOPMENT "CN" = $(80 \times 0.08 + 98 \times 1.92) \div 2.00 = 97$
 POST-DEVELOPMENT "CN" = $(80 \times 0.82 + 98 \times 1.18) \div 2.00 = 91$

III. PEAK DISCHARGE FOR DESIGN STORMS ($T_c = 5$ MIN)

PEAK DISCHARGE FLOWS WERE CALCULATED USING HYDROCAD SOFTWARE/SCS TR-20 METHOD.

PRE-DEVELOPMENT

Q_p PRE = 9.02 CFS
 Q_w PRE = 14.88 CFS

POST-DEVELOPMENT

Q_p POST = 7.79 CFS
 Q_w POST = 13.87 CFS

IV. POST-DEVELOPMENT DECREASES

Q_p DECREASE = 1.23 CFS
 Q_w DECREASE = 1.01 CFS

V. THE RUNOFF REDUCTION METHOD WILL BE UTILIZED TO ENSURE THIS PROJECT COMPLIES WITH THE CITY'S STORMWATER REGULATIONS IN REGARDS TO WATER QUANTITY AND OUTFALL.

OUTFALL NARRATIVE NOTE:

FOR STORMWATER OUTFALL INFORMATION PLEASE SEE SHEET 10.

WATER QUALITY/QUANTITY NARRATIVE:

WATER QUALITY REQUIREMENTS WILL BE MET THROUGH A COMBINATION OF REDUCTION OF ON-SITE IMPERVIOUS AREA AND A HYDRODYNAMIC CDS UNIT. THE HYDRODYNAMIC CDS UNIT AT THE SOUTHERN END OF THE SITE WILL COLLECT RUNOFF FROM THE PROPOSED BUILDINGS, SURFACE PARKING AND PEDESTRIAN WALKWAYS VIA STORM SEWER. THE CDS UNIT WILL THEN DISCHARGE THE STORMWATER RUNOFF TO A LEVEL SPREADER DEVICE WHICH WILL ULTIMATELY DISCHARGE THE RUNOFF VIA SHEET FLOW INTO AN EXISTING CREEK SOUTH OF THE SITE. THE COMBINATION OF REDUCTION IN ON-SITE IMPERVIOUS AREA AND A HYDRODYNAMIC CDS UNIT WILL MEET THE WATER QUALITY REQUIREMENTS FOR THIS DEVELOPMENT INCLUDING THE PHOSPHOROUS POLLUTANT REMOVAL. A CONTRIBUTION TO THE ALEXANDRIA WATER QUALITY IMPROVEMENT FUND WILL BE MADE FOR THE PORTION OF ON-SITE IMPERVIOUS AREA THAT IS NOT COLLECTED INTO THE HYDRODYNAMIC CDS UNIT.

THE DEVELOPMENT PROPOSES A DECREASE IN IMPERVIOUS AREA FROM THE EXISTING IMPERVIOUS AREA. THIS DECREASE IN IMPERVIOUS AREA DECREASES THE CALCULATED 2 AND 10 YEAR STORMWATER RUNOFF FLOWS LEAVING THE SITE-SEE CALCULATIONS THIS SHEET. IN ADDITION, THE LEVEL SPREADER ENSURES ALL RUNOFF FROM THE SITE IS SHEET FLOW. THEREFORE THE SITE IS IN COMPLIANCE WITH SECTION 13-109(F)-3 BECAUSE ALL RUNOFF FROM THE SITE IS SHEET FLOW AND REDUCED FROM THE PRE DEVELOPMENT LEVEL. DUE TO COMPLIANCE WITH SECTION 13-109(F)-3 NO FURTHER WATER QUALITY CONTROLS ARE REQUIRED. REFER TO SHEET 10 FOR A DETAILED OUTFALL ANALYSIS.

PROJECT DESCRIPTION

REDEVELOPMENT -- COMMERCIAL

DRAINAGE AREA	IMPERVIOUS	PERVIOUS	TOTAL
PROJECT AREA	1.1819	0.8181	2.0000
ON-SITE TREATED	1.1819	0.3387	1.5206
OFF-SITE TREATED	0.0000	0.0000	0.0000
TOTAL TREATED	1.1819	0.3387	1.5206
ON-SITE IMPERVIOUS AREAS DISCONNECTED BY A VEGETATIVE BUFFER	N/A		
TOTAL TREATED OR DISCONNECTED			1.5206

WATER QUALITY VOLUME DEFAULT:

PROPOSED IMPERVIOUS: 1.1819 AC
 TREATMENT OF FIRST HALF INCH OF RUNOFF: $1.815 \times 1.1819 = 2,145$ CU. FT. WQV REQUIRED

WATER TREATMENT ON-SITE

BMP TYPE	AREA TREATED BY BMP (ACRES)	IMPERVIOUS AREA TREATED BY BMP (ACRES)	BMP EFFICIENCY (%)
HYDRODYNAMIC BMP	1.5212	1.1819	20%

TOTAL WQV TREATED: YES
 WATER QUALITY VOLUME REQUIRED = 2,145 CU. FT.
 WATER QUALITY VOLUME TREATED = $1.1819 \times 1,815 = 2,145$ CU. FT.
 PERCENT OF WATER QUALITY VOLUME TREATED = 100%
 DETENTION ON SITE: NO
 PROJECT IS WITHIN WHICH WATERSHED? CAMERON RUN
 PROJECT DISCHARGES TO WHICH BODY OF WATER? CAMERON RUN/POTOMAC RIVER

PIPE UTILITY NOTE:

REFER TO SHEETS 7 AND 7A FOR UTILITY INFORMATION

APPROVED

SPECIAL USE PERMIT NO. 2015-0002

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____

DATE REVISION
 6/11/15 REVISED PER CITY COMMENTS

CHECKED: BD
 DESIGN: ABH

SCALE: 1"=30'

DATE: MAY 13, 2015

SHEET 8 OF 13

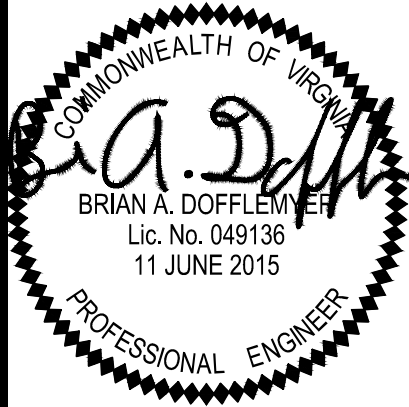
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PRELIMINARY SPECIAL USE PERMIT

ezStorage FACILITY

3640 WHEELER AVENUE

CITY OF ALEXANDRIA, VIRGINIA



R.C. FIELDS & ASSOCIATES, INC.
 ENGINEERING • LAND SURVEYING • PLANNING
 730 S. Washington Street
 Alexandria, Virginia 22314
 (703) 549-6422
 www.rcfields.com

Virginia Runoff Reduction Method ReDevelopment Worksheet - v2.8 - June 2014
To be used w/ DRAFT 2013 BMP Standards and Specifications
Site Data

Project Name: EZ Storage Facility
Date: 6-12-15

data input cells
calculation cells
constant values

Post-ReDevelopment Project & Land Cover Information
Total Disturbed Acreage 2.00

Constants

Annual Rainfall (inches)	43		
Target Rainfall Event (inches)	1.00		
Phosphorus EMC (mg/L)	0.26	Nitrogen EMC (mg/L)	1.86
Target Phosphorus Target Load (lb/acre/yr)	0.41		
Pj	0.90		

Pre-ReDevelopment Land Cover (acres)	A soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) – undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) – disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.08	0.08
Impervious Cover (acres)	0.00	0.00	0.00	1.92	1.92
				Total	2.00

Post-ReDevelopment Land Cover (acres)	A soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) – undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) – disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.82	0.82
Impervious Cover (acres)	0.00	0.00	0.00	1.18	1.18
				Total	2.00

Area Check Okay Okay Okay Okay

Rv Coefficients

	A soils	B Soils	C Soils	D Soils
Forest/Open Space	0.02	0.03	0.04	0.05
Managed Turf	0.16	0.20	0.22	0.25
Impervious Cover	0.95	0.95	0.95	0.95

Land Cover Summary	Listed	Adjusted ¹	Land Cover Summary	Land Cover Summary
Pre-ReDevelopment			Post-ReDevelopment	Post-ReDevelopment New Impervious
Forest/Open Space Cover (acres)	0.00	0.00	Forest/Open Space Cover (acres)	0.00
Composite Rv(forest)	0.00	0.00	Composite Rv(forest)	0.00
% Forest	0%	0%	% Forest	0%
Managed Turf Cover (acres)	0.08	0.08	Managed Turf Cover (acres)	0.82
Composite Rv(turf)	0.25	0.25	Composite Rv(turf)	0.25
% Managed Turf	4%	4%	% Managed Turf	41%
Impervious Cover (acres)	1.92	1.92	ReDev. Impervious Cover (acres)	1.18
Rv(imperious)	0.95	0.95	Rv(imperious)	0.95
% Impervious	96%	96%	% Impervious	59%
Total Site Area (acres)	2.00	2.00	Total ReDev. Site Area (acres)	2.00
Site Rv	0.92	0.92	ReDev. Site Rv	0.66
Pre-Development Treatment Volume (acre-ft)	0.1537	0.1537	Post- ReDevelopment Treatment Volume (acre-ft)	0.1105
Pre-Development Treatment Volume (cubic feet)	6,694	6,694	Post- ReDevelopment Treatment Volume (cubic feet)	4,813
Pre-Development Load (TP) (lb/yr)	4.21	4.21	Post- ReDevelopment Load (TP) (lb/yr)	3.02
¹ Adjusted Land Cover Summary reflects the pre redevelopment land cover minus the pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover. The adjusted total acreage is consistent with the Post-Redevelopment acreage (minus the acreage of new impervious cover). The load reduction requirement for the new impervious cover to meet the new development load limit is computed in Column I.			Maximum % Reduction Required Below Pre-ReDevelopment Load	20%
			TP Load Reduction Required for Redeveloped Area (lb/yr)	0.00
			Total Load Reduction Required (lb/yr)	0.00
			TP Load Reduction Required for New Impervious Area (lb/yr)	0.00
			Post-Development Load (TN) (lb/yr)	21.63

Drainage Area A

Drainage Area A Land Cover (acres)	A soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Forest/Open Space (acres) – undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) – disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.82	0.82	0.25
Impervious Cover (acres)	0.00	0.00	0.00	1.18	1.18	0.95
				Total	2.00	
					Post Development Treatment Volume (cf)	4813

14. Manufactured BMP

	Impervious acres draining to device	0% runoff volume reduction	0.00	1.18	0.00	0	4069	20	0.00	2.55	0.51	2.04
14. CDS Hydrodynamic Unit	turf acres draining to device	0% runoff volume reduction	0.00	0.34	0.00	0	1172	20	0.00	0.19	0.04	0.15

TOTAL IMPERVIOUS COVER TREATED (ac)	1.18
TOTAL TURF AREA TREATED (ac)	0.34
AREA CHECK	OK.
PHOSPHORUS REMOVAL BY PRACTICES THAT DO NOT REDUCE RUNOFF VOLUME IN D.A. A	0.55
TOTAL PHOSPHORUS REMOVAL IN D.A. A (lb/yr)	0.55
SEE WATER QUALITY COMPLIANCE TAB FOR SITE COMPLIANCE CALCULATIONS	
NITROGEN REMOVAL BY PRACTICES THAT DO NOT REDUCE RUNOFF VOLUME IN D.A. A	0.00
TOTAL NITROGEN REMOVAL IN D.A. A (lb/yr)	0.00

Site Results

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
IMPERVIOUS COVER	1.18	0.00	0.00	0.00	0.00	OK.
IMPERVIOUS COVER TREATED	1.18	0.00	0.00	0.00	0.00	OK.
TURF AREA	0.82	0.00	0.00	0.00	0.00	OK.
TURF AREA TREATED	0.34	0.00	0.00	0.00	0.00	OK.
AREA CHECK	OK.	OK.	OK.	OK.	OK.	

Phosphorous

TOTAL PHOSPHOROUS LOAD REDUCTION REQUIRED (LB/YEAR)	0.00
RUNOFF REDUCTION (cf)	0
PHOSPHOROUS LOAD REDUCTION ACHIEVED (LB/YR)	0.55
ADJUSTED POST-DEVELOPMENT PHOSPHOROUS LOAD (TP) (lb/yr)	2.47
REMAINING PHOSPHOROUS LOAD REDUCTION (LB/YR) NEEDED	CONGRATULATIONS!! YOU EXCEEDED THE TARGET REDUCTION BY 0.5 LB/YEAR!!

Nitrogen (for information purposes)

RUNOFF REDUCTION (cf)	0
NITROGEN LOAD REDUCTION ACHIEVED (LB/YR)	0.00
ADJUSTED POST-DEVELOPMENT NITROGEN LOAD (TP) (lb/yr)	21.63

STORM WATER QUALITY (CITY CODE SECTION 13–109E COMPLIANCE) NARRATIVE:

THE PROPOSED REDEVELOPMENT (APPROXIMATELY 2.00 ACRES OF DISTURBANCE) GENERATES A NET DECREASE OF IMPERVIOUS AREA FROM PRE–DEVELOPMENT CONDITIONS. PER CITY CODE SECTION 13–109E–(5)(a), DEVELOPMENT OF PRIOR DEVELOPED LANDS DISTURBING MORE THAN 1 ACRE AND RESULTING IN NO NET INCREASE IN IMPERVIOUS AREA MUST RESULT IN A 20% DECREASE IN PHOSPHORUS LOADING BELOW THE PRE–DEVELOPMENT TOTAL PHOSPHORUS LOAD.

THE VIRGINIA RUNOFF REDUCTION METHOD (VRRM) WAS UTILIZED TO DETERMINE THE STORM WATER QUALITY MANAGEMENT PERFORMANCE REQUIREMENTS FOR THIS PROJECT. COMPUTATIONS PROVIDED ON THIS SHEET DEMONSTRATE A NET DECREASE OF IMPERVIOUS AREA. THIS WILL RESULT IN A 28.2% REDUCTION OF PHOSPHOROUS LOAD FROM THE SITE–SEE THE "POST–REDEVELOPMENT PROJECT AND LAND COVER INFORMATION" SPREADSHEET. STORMWATER IS FURTHER TREATED THROUGH THE USE OF A HYDRODYNAMIC BMP PLACED TO CAPTURE RUNOFF FROM ALL ON–SITE IMPERVIOUS AREA TO ACCOUNT FOR THE CITY OF ALEXANDRIA WATER QUALITY VOLUME DEFAULT.

THE PRE–DEVELOPMENT PHOSPHORUS LOAD IS CALCULATED THROUGH THE VRRM SPREADSHEET ON THE "POST–REDEVELOPMENT PROJECT AND LAND COVER INFORMATION" SPREADSHEET AS 4.21 LBS./YR. (SEE THIS SHEET). THE AMOUNT OF PHOSPHORUS LOAD REDUCED THROUGH THE HYDRODYNAMIC BMP IS CALCULATED THROUGH THE VRRM SPREADSHEET ON THE "DRAINAGE AREA A" SPREADSHEET AS 0.55 LBS./YR. (SEE THIS SHEET) FOR A COMBINED REDUCTION OF 29.38%.

THUS THE COMBINATION OF REDUCED IMPERVIOUS AREA AND THE PROPOSED BMP IS GREATER THAN THE MINIMUM REQUIREMENT OF 20%. THEREFORE, THE WATER QUALITY MANAGEMENT PERFORMANCE REQUIREMENTS FOR THE PROPOSED DEVELOPMENT HAVE BEEN MET PER CITY CODE SECTION 13–109E–(5)(a).

THE PROPOSED HYDRODYNAMIC BMP MENTIONED ABOVE WILL TREAT 100% OF THE IMPERVIOUS AREA ON SITE. THEREFORE NO CONTRIBUTION TO THE ALEXANDRIA WATER QUALITY IMPROVEMENT FUND WILL BE REQUIRED FOR THE PORTION OF THE WATER QUALITY VOLUME NOT TREATED ON–SITE. THIS SITE IS IN COMPLIANCE WITH CITY CODE SECTION 13–109E–(5) AND SECTION 13–110.

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OUTFALL MAP:

SCALE: 1" = 500'



VCS '83

STORMWATER OUTFALL NARRATIVE:

PRE-DEVELOPMENT CONDITIONS:

THE 2.00 ACRE SITE IS LOCATED IN THE CAMERON RUN WATERSHED. THE SITE IS BOUNDED FROM THE NORTH BY WHEELER AVE, BOUNDED FROM THE EAST BY THE CITY OF ALEXANDRIA POLICE DEPARTMENT HEADQUARTERS, FROM THE WEST BY AN AUTOMOBILE DEALERSHIP, AND FROM THE SOUTH BY A CSX/METRO RAILWAY LINE. THE EXISTING SITE CONTAINS A CONSTRUCTION YARD WITH ASSOCIATED BUILDINGS, PARKING, EQUIPMENT STORAGE AND CONSTRUCTION MATERIAL STOCKPILE AREAS. THE SITE GENERALLY SLOPES FROM NORTH TO SOUTH FLOWING INTO AN OFF-SITE EXISTING CREEK-OUTFALL#1. THE EXISTING CREEK TO THE SOUTH HAS AN ASSOCIATED RPA WHICH HAS BEEN FIELD LOCATED AND DELINEATED ON THE SITE PLAN SHEETS. THE PROJECT PROPOSES A REDUCTION IN IMPERVIOUS AREA IN THE RPA OVER THE EXISTING CONDITIONS-SEE SHEET 11 FOR MORE INFORMATION.

OUTFALL #1: THE PROJECT SITE GENERALLY DRAINS TO THE SOUTH VIA SHEET FLOW, EXISTING DRAINAGE SWALES, AND EXISTING ON-SITE CULVERTS. THE RUNOFF ULTIMATELY FLOWS OFF-SITE TOWARDS THE EXISTING CREEK TO THE SOUTH.

POST-DEVELOPMENT CONDITIONS:

THIS PROJECT PROPOSES TWO BUILDINGS-ONE EXISTING AND ONE PROPOSED- WHICH WILL BE USED IN THE OPERATION OF A SELF-STORAGE FACILITY. THE PROJECT ALSO PROPOSES SURFACE PARKING AND ASSOCIATED PEDESTRIAN PATHS FOR THE SELF-STORAGE FACILITY. THE SITE WILL MAINTAIN ONE OUTFALL POINT AS IN PRE-DEVELOPMENT CONDITIONS. THIS PROJECT PROPOSED AN OVERALL DECREASE OF ON-SITE IMPERVIOUS AREA.

OUTFALL #1:

RUNOFF FROM PROPOSED BUILDINGS, SURFACE PARKING AND PEDESTRIAN WALKWAYS WILL BE COLLECTED VIA PROPOSED ON-SITE STORM SEWER AND SENT TO AN ON-SITE HYDRODYNAMIC CDS UNIT. THE CDS UNIT WILL THEN DISCHARGE THE STORMWATER RUNOFF TO A LEVEL SPREADER DEVICE WHICH WILL ULTIMATELY DISCHARGE THE RUNOFF OFF-SITE VIA SHEET FLOW INTO THE EXISTING CREEK JUST THE SOUTH OF THE SITE. THE CREEK DRAINS 1,200 FT. TO THE BED AND BANKS OF CAMERON RUN.

POST-DEVELOPMENT CONDITIONS RESULT IN A DECREASE TO THE OVERALL IMPERVIOUS AREA WITHIN THE PROJECT SITE GENERATING AN OVERALL DECREASE IN RUNOFF FLOW. THEREFORE ON-SITE STORMWATER DETENTION IS NOT REQUIRED. A LEVEL SPREADER WILL BE UTILIZED AT THE SITE OUTFALL TO ENSURE NON-EROSIVE SHEET FLOW LEAVING THE SITE. THE COMBINATION OF DECREASE IN RUNOFF, UTILIZATION OF A LEVEL SPREADER, AND THE SIZE OF FLOW LEAVING THE SITE RELATIVE TO THE OVERALL WATERSHED PROVIDES FOR AN ADEQUATE OUTFALL.

CHANNEL PROTECTION STORMWATER RUNOFF COMPUTATIONS:

(RUNOFF ANALYSIS UTILIZING SCS TR-20 METHOD)

I. PROJECT AREA = 87,120 SQ.FT. OR 2.0000 ACRES

EXISTING IMPERVIOUS AREA = 83,912 SQ.FT. OR 1.92 ACRES
PROPOSED IMPERVIOUS AREA = 51,485 SQ.FT. OR 1.18 ACRES

II. WEIGHTED "CN" FACTOR CALCULATION

PRE-DEVELOPMENT "CN" = $(80 \times 0.08 + 98 \times 1.92) \div 2.00 = 97$
POST-DEVELOPMENT "CN" = $(80 \times 0.82 + 98 \times 1.18) \div 2.00 = 91$
FOREST CONDITION "CN" = 77

III. PEAK DISCHARGE FOR DESIGN STORMS ($T_c = 5$ MIN)

PEAK DISCHARGE FLOWS WERE CALCULATED USING HYDROCAD SOFTWARE/SCS TR-20 METHOD.

PRE-DEVELOPMENT
 Q_1 PRE = 7.54 CFS

POST-DEVELOPMENT
 Q_1 POST = 6.26 CFS

FOREST CONDITION CHECK
 Q_1 FOREST = 3.09 CFS

CHANNEL PROTECTION AND FLOOD PROTECTION LIMITS OF ANALYSIS NARRATIVE:

UTILIZING THE EXISTING CREEK SOUTH OF THE PROJECT OUTFALL AS A POINT OF ANALYSIS THE PROJECT AREA IS CONTAINED WITHIN AN OVERALL DRAINAGE WATERSHED WHICH IS LESS THAN OR EQUAL TO 1.0 PERCENT OF THE TOTAL WATERSHED AREA-SEE CALCULATION AND OUTFALL MAP THIS SHEET. THEREFORE THE OVERALL DRAINAGE AREA WATERSHED FROM THE EXISTING CREEK-CONTAINING THE PROJECT AREA-SHALL CONSTITUTE THE LIMITS OF ANALYSIS FOR BOTH CHANNEL PROTECTION AND FLOOD PROTECTION PER CITY CODE SECTIONS 13-109F(d)(i) AND 13-1092(c)(i) RESPECTIVELY.

CHANNEL PROTECTION CITY CODE COMPLIANCE NARRATIVE:

PER CITY CODE 13-109F(c) THE SITE OUTFALL PROVIDES ADEQUATE CHANNEL PROTECTION THROUGH ADHERENCE TO THE FOLLOWING EQUATIONS-SEE CALCULATIONS THIS SHEET:

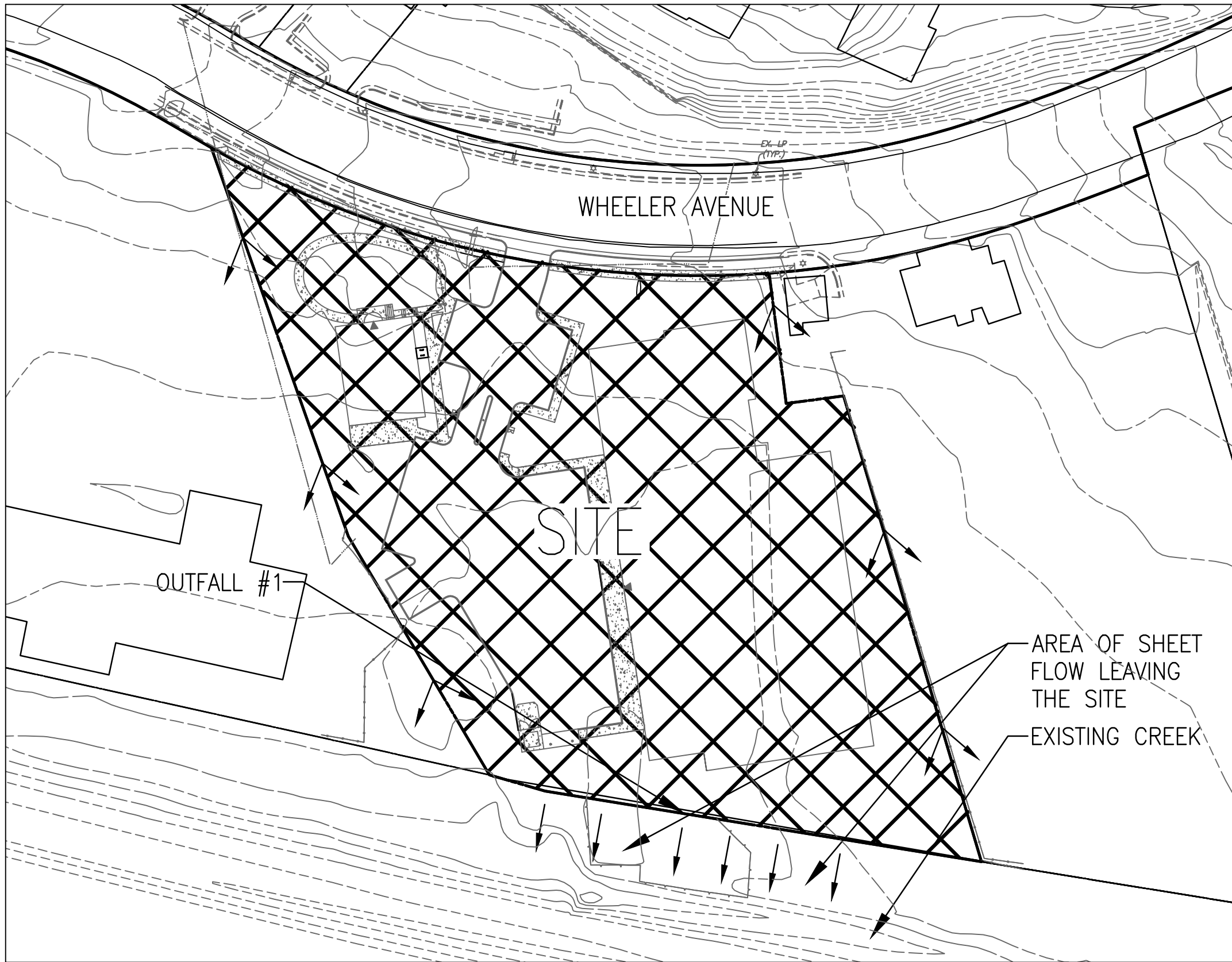
$Q_{developed} \leq 1.1 \times (Q_{pre-developed} \times R_{pre-developed}) / R_{developed}$ $(6.26 \text{ CFS}) \leq 0.8 \times (7.54 \text{ CFS} \times 0.92) / 0.62$ $6.26 \text{ CFS} \leq 8.95$
 $Q_{developed} \leq Q_{pre-developed}$ $6.26 \text{ CFS} \leq 7.54 \text{ CFS}$
 $Q_{developed} \geq (Q_{forest} \times R_{forest}) / R_{developed}$ $6.26 \text{ CFS} \geq (3.09 \text{ CFS} \times 0.05) / 0.62$ $6.26 \text{ CFS} \geq 0.249 \text{ CFS}$

FLOOD PROTECTION CITY CODE COMPLIANCE NARRATIVE:

ALL RUNOFF LEAVING THE SITE IS SHEET FLOW AND THE CALCULATED 10 YR, 24-HR POST DEVELOPMENT RUNOFF FLOW OF 13.87 CFS IS LESS THAN THE 10 YR, 24-HR PRE-DEVELOPMENT RUNOFF FLOW OF 14.88 CFS-SEE CALCULATIONS SHEET 8. THEREFORE PER CITY CODE SECTION 13-109F3 THE SITE OUTFALL PROVIDES ADEQUATE FLOOD PROTECTION.

OUTFALL DETAIL:

SCALE: 1" = 60'



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LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

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APPROVED
SPECIAL USE PERMIT NO. 2015-0002

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____

PRELIMINARY SPECIAL USE PERMIT

ezStorage FACILITY

3640 WHEELER AVENUE
CITY OF ALEXANDRIA, VIRGINIA

DATE 6/11/15 REVISION REVISED PER CITY COMMENTS

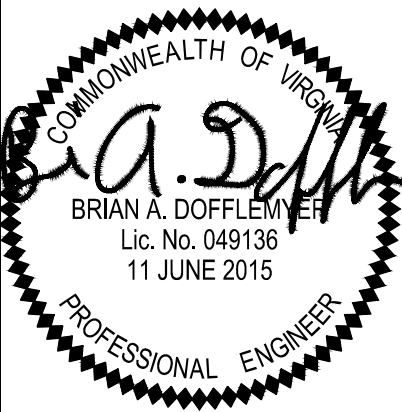
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DESIGN: ABH

SCALE: AS SHOWN

DATE: MAY 13, 2015

SHEET 10 of 13

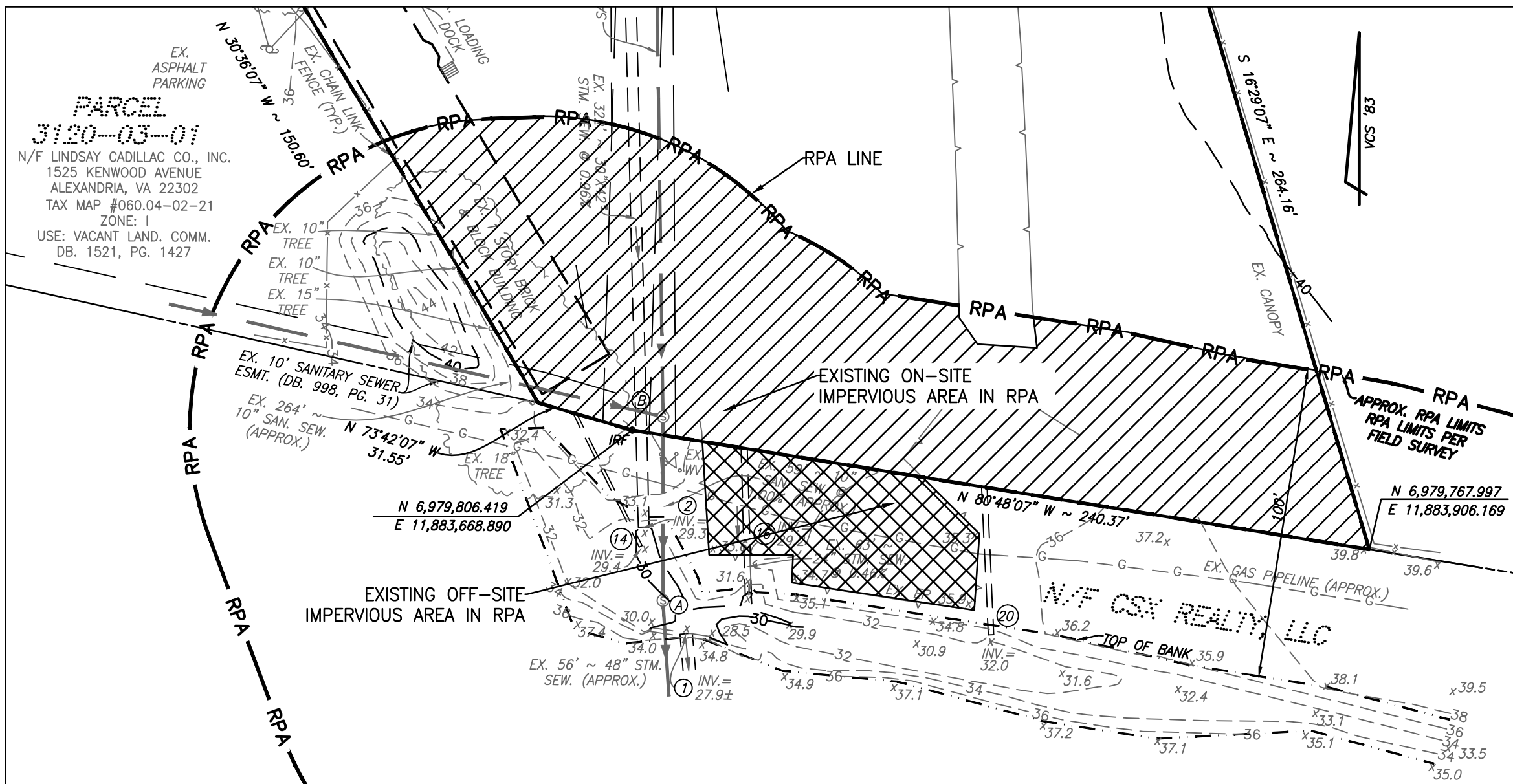
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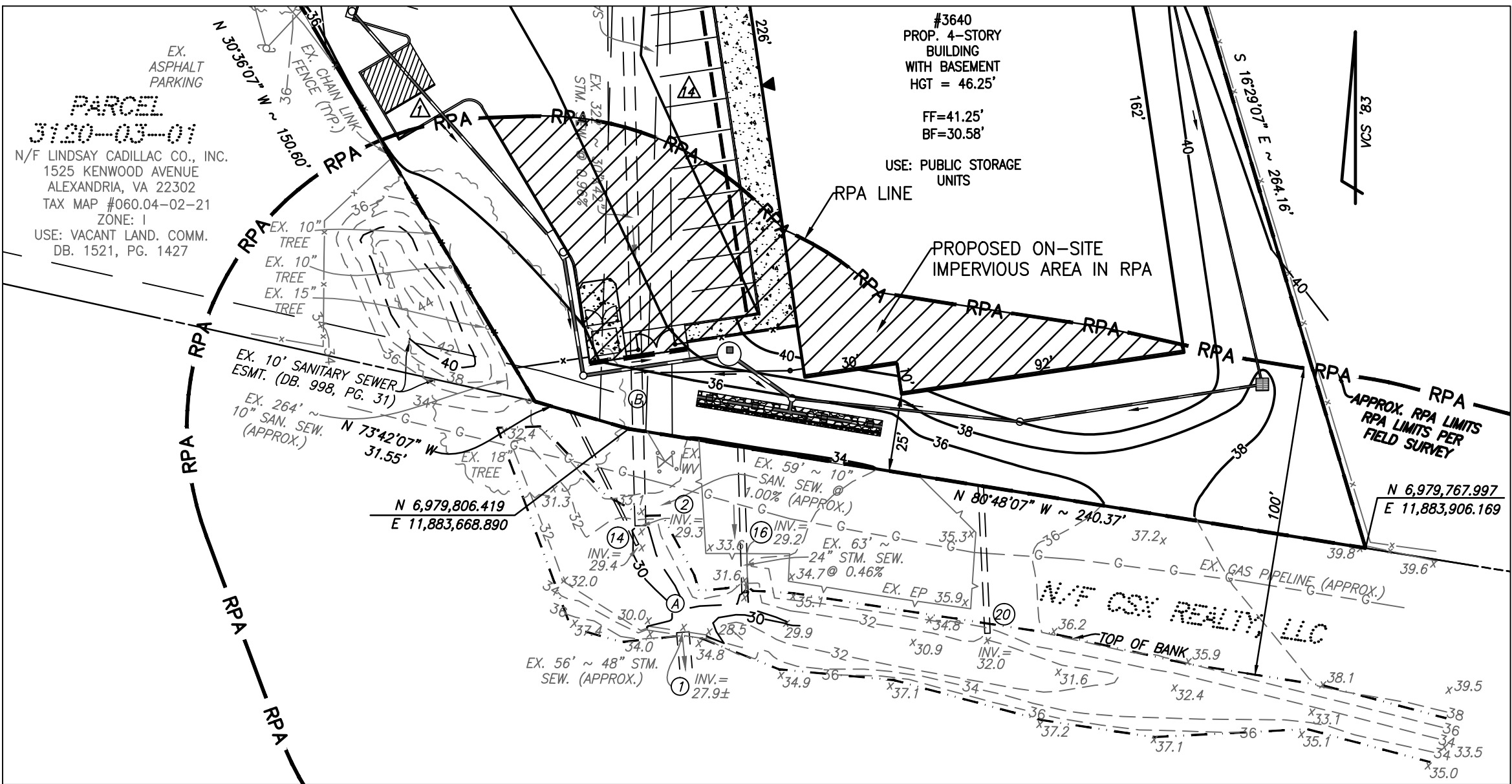
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ENGINEERING • LAND SURVEYING • PLANNING
730 S. Washington Street
Alexandria, Virginia 22314
www.rcfieldsoc.com
(703) 549-6422

OUTFALL ANALYSIS

SCALE: 1"=40



EXISTING CONDITION



PROPOSED CONDITION

1. TOTAL RPA ON-SITE = 20,023 SQ. FT. OR 0.459 AC. (23% OF SITE AREA)
2. EXISTING ON-SITE IMPERVIOUS IN RPA = 19,787 SQ. FT. OR 0.454 AC. (23% OF SITE AREA)
3. POST DEVELOPMENT IMPERVIOUS IN RPA = 7,486 SQ. FT. OR 0.172 AC. (8.5% OF SITE AREA)
4. ON-SITE IMPERVIOUS AREA REMOVED IN RPA WITH DEVELOPMENT = 12,301 SQ. FT. OR 0.282 AC.
5. OFF-SITE STORAGE YARD IMPERVIOUS REHAB AREA IN RPA = 3,225 SQ. FT. OR 0.074 AC.
6. TOTAL IMPERVIOUS AREA REMOVED (WITH DEVELOPMENT AND OFF-SITE STORAGE YARD REHAB) = 15,526 SQ. FT. OR 0.356 AC.

(IN FEET)
1 inch = 40 ft.

CALL ALEXANDRIA ARCHAEOLOGY (703-746-4399) TWO WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT AN INSPECTION OR MONITORING SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED.

CALL ALEXANDRIA ARCHAEOLOGY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

- ENVIRONMENTAL SITE ASSESSMENT**
- THERE ARE NO TIDAL WETLANDS, SHORES, NOR CONNECTED NON-TIDAL WETLANDS LOCATED ON THIS SITE. THE POTENTIAL FOR HIGHLY ERODIBLE OR PERMEABLE SOILS EXISTS ON THIS PROJECT. IF ANY WETLANDS, FLOODPLAINS OR BUFFER AREAS FOR STREAMS OR WETLANDS EXIST, ALL APPLICABLE PERMITS WILL BE OBTAINED BY THE DEVELOPER PRIOR TO DEVELOPMENT OF THIS SITE. RESOURCE PROTECTION AREAS (RPA) ARE PRESENT ON THE SITE AND ARE DEPICTED ON THIS SHEET.
- 2. EXISTING HYDROGEOLOGIC ELEMENTS**
- THE SUBJECT SITE PARCEL CURRENTLY CONTAINS A CONSTRUCTION YARD WITH ASSOCIATED BUILDINGS, PARKING AREAS, EQUIPMENT STORAGE AND CONSTRUCTION MATERIAL STOCKPILE AREAS. THE SITE IS MOSTLY COMPRISED OF IMPERVIOUS ASPHALT COVER WITH SMALL AREAS OF PERVIOUS TURF GRASS AND A FEW EXISTING TREES. THE TOPOGRAPHY OF THIS SITE IS BEST DESCRIBED AS MODERATELY SLOPING (6 TO 12%) FROM THE NORTHEAST CORNER ALONG WHEELER AVENUE DOWN TO AN EXISTING CREEK JUST SOUTH OF THE SITE. SOILS IN THIS AREA HAVE BEEN IDENTIFIED AS MARINE CLAYS BY THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES. DETAILED SOILS AND/OR GEOLOGICAL REPORTS ARE NOT PRESENTLY AVAILABLE FOR THE SITE. DUE TO THE EXTENT OF EXISTING IMPERVIOUS COVER THERE ARE PRESENTLY NO SIGNS OF ANY SIGNIFICANT EROSION ON-SITE.
- ALL STORMWATER RUNOFF FROM THE SITE DRAINS TO AN EXISTING CREEK AND THEN ULTIMATELY TO CAMERON RUN. THERE ARE NO EXISTING ON-SITE STORMWATER RUNOFF CONTROLS OR BMPs. RUNOFF FROM THE SITE DISCHARGES PRINCIPALLY THROUGH A FEW EXISTING STORM SEWER PIPES WHICH COLLECT RUNOFF FROM IMPERVIOUS AREA THROUGH AREA DRAINS AND DISCHARGE DIRECTLY INTO THE EXISTING CREEK UNCONTROLLED. RUNOFF NOT COLLECTED INTO THE STORM SEWER PIPES FLOWS UNCONTROLLED INTO THE EXISTING CREEK. EXISTING PEAK DESIGN STORM DISCHARGES FOR THIS PARCEL ARE 9.02 CFS AND 14.88 CFS FOR THE 2-YEAR AND 10-YEAR STORMS, RESPECTIVELY.
- 3. PROPOSED DEVELOPMENT**
- THIS PROJECT PROPOSES THE DEVELOPMENT OF A SELF-STORAGE FACILITY WITH ASSOCIATED SURFACE PARKING AND PEDESTRIAN WALKWAYS. THE PROPOSED SELF-STORAGE FACILITY WILL BE COMPRISED OF TWO BUILDINGS--A NEW 4 STORY STORAGE FACILITY WITH BASEMENT AND REUSE OF AN ON-SITE EXISTING HISTORIC STRUCTURE WITH BASEMENT. ALL EXISTING ON-SITE STRUCTURES, IMPERVIOUS GROUND COVER, AND TREES WILL BE REMOVED WITH THE PROPOSED IMPROVEMENTS EXCEPT FOR THE HISTORIC STRUCTURE WHICH WILL HOUSE OFFICE SPACE FOR THE SELF-STORAGE FACILITY. ADDITIONALLY, THIS PROJECT PROPOSES THE REMOVAL OF ADDITIONAL IMPERVIOUS AREA LOCATED IN THE RPA SOUTH OF THE PROJECT AREA BETWEEN THE PROJECT PARCEL'S SOUTHERN BORDER AND EXISTING WETLANDS--SEE THE RPA IMPERVIOUS REMOVAL DETAIL THIS SHEET. DUE TO THE PROPOSED REMOVAL OF IMPERVIOUS COVER WITHIN THE RPA THIS PROJECT WILL REDUCE BOTH STORMWATER RUNOFF VOLUME AND POLLUTANT LOADS FROM THE EXISTING CONDITION.
- WITH THE PROPOSED DEVELOPMENT IMPERVIOUS COVER WITHIN THE ON-SITE RPA WILL DECREASE APPROXIMATELY 0.28 ACRES OR 14 PERCENT OF THE SITE AREA. THIS DECREASE IN IMPERVIOUS AREA WILL RESULT IN A DECREASE IN RUNOFF INTO THE RPA. UTILIZING THE RUNOFF METHOD, PEAK STORM DISCHARGES FOR THE 2-YEAR AND 10-YEAR DESIGN STORMS WILL DECREASE AS FOLLOWS:
- | | | |
|---------------------|----------------------|------------------------------------|
| Q2 PRE = 9.02 CFS | Q2 POST = 7.79 CFS | THEREFORE, Q2 DECREASE = 1.23 CFS |
| Q10 PRE = 14.88 CFS | Q10 POST = 13.87 CFS | THEREFORE, Q10 DECREASE = 1.01 CFS |

THE IMPACT OF THE PROPOSED IMPROVEMENTS WILL BE FURTHER MITIGATED THROUGH THE IMPLEMENTATION OF AN ON-SITE CDS HYDRODYNAMIC BMP AND LEVEL SPREADER. USING THE VIRGINIA RUNOFF REDUCTION METHOD PRE-DEVELOPMENT PHOSPHOROUS POLLUTANT LOADS ARE CALCULATED TO BE 4.21 LBS./YR. AFTER DEVELOPMENT, THE PHOSPHOROUS POLLUTANT LOAD CALCULATED IS 3.02 LBS/YR.. THIS EQUATES TO A REMOVAL REQUIREMENT OF APPROXIMATELY 1.19 LBS/YR--SEE SHEETS 7 AND 8.

THE BIGGEST THREAT TO WATER QUALITY DURING CONSTRUCTION WILL BE THE WORK DONE DIRECTLY WITHIN THE RPA ALONG THE PARCEL'S SOUTHERN BOUNDARY. THE AREA OF DISTURBANCE WITHIN THE RPA WILL BE APPROXIMATELY 20,023 SQ. FT. OR 0.459 AC. THESE AREAS OF DISTURBANCE WITHIN THE RPA SHALL BE CONSTANTLY MONITORED FOR EROSION AND CONTROLS WILL BE PLACED AS THE FIRST STEP IN CONSTRUCTION. DENUDEED AREAS THAT REACH FINAL GRADE SHALL BE IMMEDIATELY STABILIZED WITH MULCH AND AN APPROPRIATE VEGETATIVE COVER. CONSTRUCTION AND STABILIZATION WILL BE PERFORMED IN A SWIFT MANNER TO ENSURE THE CONTAINMENT OF ANY SEDIMENTS OR POLLUTANTS THAT COULD POTENTIALLY ENTER THE CREEK WATERCOURSE. THE USE OF WIRE SUPPORT SILT FENCE, JUTE MESH OR OTHER SURFACE TREATMENT, HYDROSEEDING, ETC. ARE ALL FORESEEABLE MEASURES THAT MAY BE IMPLEMENTED.

THIS PLAN WILL NOT RESULT IN THE REDUCTION OF ANY WETLANDS NOR DOES IT PROPOSE TO REROUTE THE CREEK OR DISRUPT FLOW IN THE CREEK. THIS WORK WILL BE PERFORMED IN A TIMELY MANNER TO KEEP POSSIBLE HYDROLOGIC DISRUPTIONS TO THE CREEK TO A MINIMUM. ALL FEDERAL, STATE AND LOCAL PERMITS REQUIRED BY LAW WILL BE OBTAINED BY THE OWNER FOR THIS PROPOSED DEVELOPMENT.

4. **MITIGATION MEASURES**
- THE PROPOSED DEVELOPMENT WILL GREATLY REMEDIATE THE RPA AREA THROUGH THE REMOVAL OF IMPERVIOUS AREA BOTH ON-SITE AND IN THE AREA DIRECTLY SOUTH OF THE SITE. IN ADDITION THE PROPOSED STORMWATER MANAGEMENT SYSTEM WILL PROVIDE WATER QUANTITY AND QUALITY CONTROLS THAT WILL GREATLY REDUCE THE IMPACT OF THE PROPOSED DEVELOPMENT. THE PROPOSED LEVEL SPREADER WILL ALSO REDUCE RUNOFF VELOCITIES AND ENABLE THE COLLECTED DISCHARGES LEAVING THE SITE TO BE RELEASED AS CONTROLLED, NON-EROSIVE SHEET FLOW.
- SEVERAL MITIGATION MEASURES WILL ALSO BE EMPLOYED TO ENSURE THAT THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS WILL NOT CAUSE ANY ADVERSE IMPACTS TO THE EXISTING CREEK OR ITS ASSOCIATED RPA. LAND DISTURBANCE FOR THIS PROPOSED PROJECT WILL BE KEPT TO A MINIMUM, ESPECIALLY WITHIN THE RESOURCE PROTECTION AREA (RPA). ALL CLEARING AND GRADING WILL BE KEPT TO THE MINIMUM NECESSARY TO AFFORD THE OWNER AND THEIR CONTRACTOR SUFFICIENT SPACE TO REMOVE THE EXISTING IMPROVEMENTS AND CONSTRUCT THE PROPOSED IMPROVEMENTS. EROSION AND SEDIMENT CONTROL MEASURES WILL BE IMPLEMENTED TO ENSURE THE CONTAINMENT OF SEDIMENTS WITHIN THE PROJECT AREA AND TO KEEP THEM OUT OF THE EXISTING CREEK. DISTURBED AREAS WILL BE STABILIZED AS SOON AS FINISHED GRADES ARE ESTABLISHED. DISTURBED AREAS WITHIN THE RPA WILL BE STABILIZED IMMEDIATELY WITH A SURFACE TREATMENT SUCH AS JUTE MESH, GEOTECH MATTING, HYDROSEEDING, MULCH, ETC. THESE ARE SENSITIVE AREAS THAT WILL BE WORKED IN A TIMELY MANNER AND PREFERABLY DURING A PERIOD OF ANTICIPATED DRY WEATHER. IT WOULD BE RECOMMENDED TO PERFORM CONSTRUCTION ACTIVITY IN LATE SPRING OR EARLY SUMMER TO ENSURE AN ADEQUATE GROWING PERIOD FOR ANY VEGETATIVE MEASURES THAT WILL HAVE TO BE ESTABLISHED. THIS PROJECT SHOULD NOT BE UNDERTAKEN IN THE WINTER MONTHS OR AT THE END OF THE GROWING SEASON. ALL PERIMETER CONTROLS AND EARTH STABILIZATION MEASURES SHOULD BE INSPECTED DAILY BY A SITE SUPERINTENDENT OR OTHER QUALIFIED PROFESSIONAL THAT IS FAMILIAR WITH IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROLS.
- GIVEN THE OUTLINED MITIGATION PRACTICES TO BE UTILIZED AND THE REMEDIAL NATURE OF THE PROJECT WE ARE OF THE OPINION THAT THIS PROPOSED DEVELOPMENT WILL NOT NEGATIVELY ALTER THE EXISTING CREEK OR ITS ASSOCIATED RPA.
5. **LANDSCAPE ELEMENT**
- EXCEPT FOR A SMALL PORTION OF PERVIOUS TURF GRASS GROUND COVER, THE EXISTING ON-SITE RPA CONSISTS OF IMPERVIOUS COVER COMPRISED OF STRUCTURES AND ASPHALT DRIVEWAYS. ALL EXISTING CONDITIONS WITHIN IN THE RPA ARE SHOWN ON SHEET 3. THE PROPOSED DEVELOPMENT WILL PRODUCE POSITIVE REMEDIATION IMPACTS TO THE RPA BY INCREASING PERVIOUS AREA AND ADDING VEGETATION.
- A QUALIFIED PROFESSIONAL WILL BE EMPLOYED TO EVALUATE THE PROPOSED CONDITION AND TO RECOMMEND PLANTINGS THAT WILL BE PLANTED TO REMEDIATE AREAS OF THE RPA. THIS WILL INCLUDE TREES, UNDERSTORY PLANTS/ SHRUBS AND GROUND COVERS. A SUITABLE PERMANENT VEGETATIVE COVER WILL BE PLANTED ALONG THE SOUTHERN SLOPE ADJACENT TO THE LEVEL SPREADER FOR STABILIZATION AND REMEDIATION PURPOSES. TREES WILL BE PLACED ELSEWHERE ON-SITE FOR SCREENING AND TO MEET LANDSCAPE COVERAGE REQUIREMENTS. INDIGENOUS PLANTS WILL BE USED TO THE GREATEST EXTENT POSSIBLE. THIS SITE WILL MEET ALL MINIMUM LANDSCAPE COVERAGE REQUIREMENTS BY THE CITY OF ALEXANDRIA. WITHIN THE RPA, ALL PLANTINGS WILL BE CAREFULLY MONITORED AND MAINTAINED BY THE BUILDING AND GROUNDS STAFF OF THE SELF-STORAGE FACILITY.

GIVEN THE OUTLINED MITIGATION PRACTICES TO BE UTILIZED AND THE REMEDIAL NATURE OF THE PROJECT WE ARE OF THE OPINION THAT THIS PROPOSED DEVELOPMENT WILL NOT NEGATIVELY ALTER THE EXISTING CREEK OR ITS ASSOCIATED RPA.

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LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATION OF THE CITY OF ALEXANDRIA, VIRGINIA ©2015 R.C. FIELDS & ASSOCIATES, INC

APPROVED
SPECIAL USE PERMIT NO. 2015-0002

DEPARTMENT OF PLANNING & ZONING

DIRECTOR

DATE

SITE PLAN NO. _____

DIRECTOR

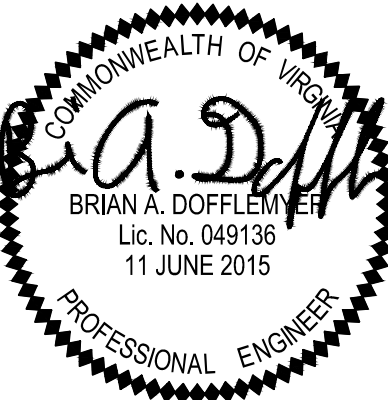
DATE

CHAIRMAN, PLANNING COMMISSION

DATE

RCFIELDS
& ASSOCIATES, inc.

ENGINEERING • LAND SURVEYING • PLANNING
www.rcfiassoc.com
730 S. Washington Street
Alexandria, Virginia 22314
(703) 549-6422



PRELIMINARY SPECIAL USE PERMIT

ezStorage FACILITY
3640 WHEELER AVENUE
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION
6/11/15	REVISED PER CITY COMMENT

CHECKED: BD

DESIGN: ABH

SCALE: 1"=40'

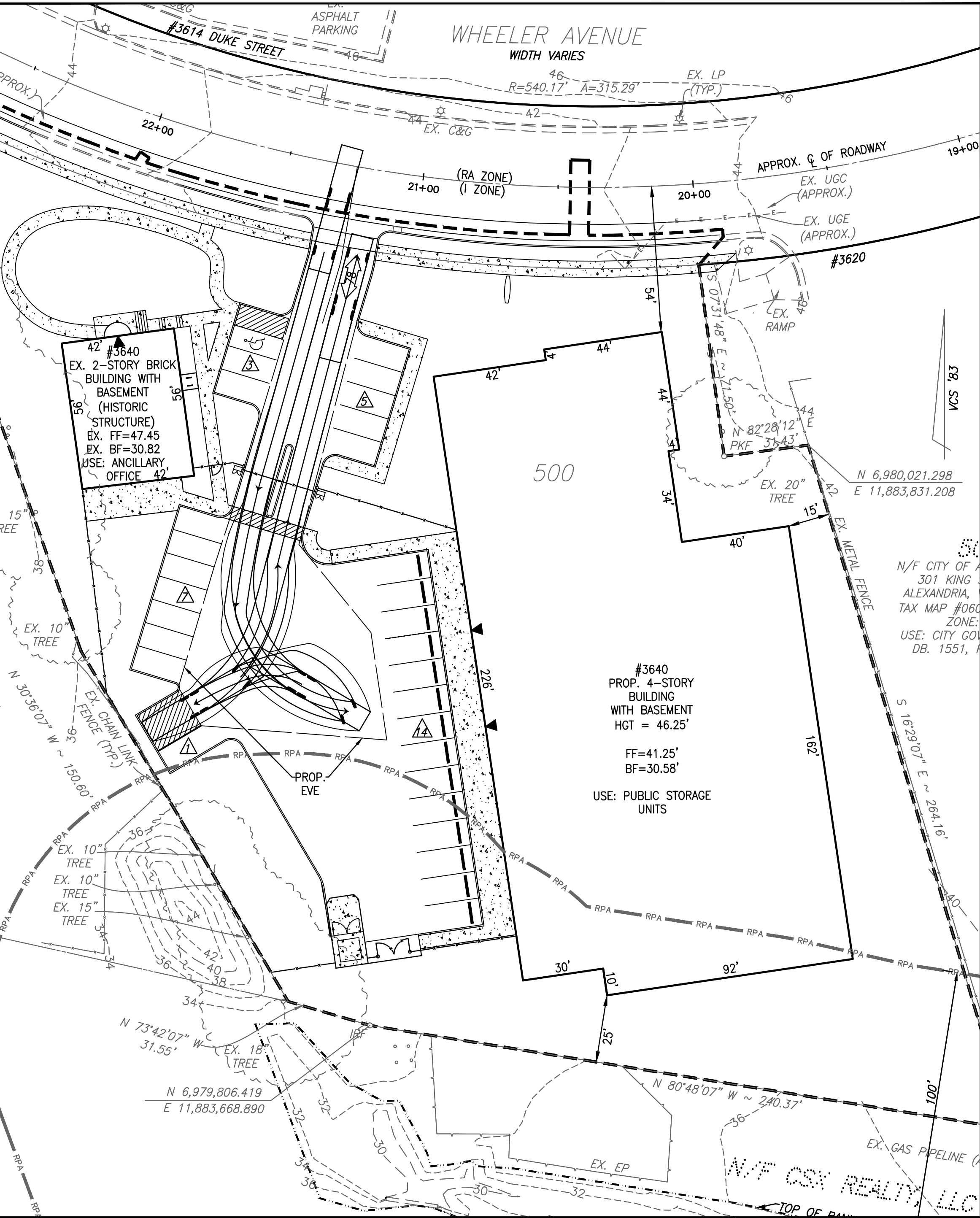
DATE: MAY 13, 2015

SHEET 11 OF 13

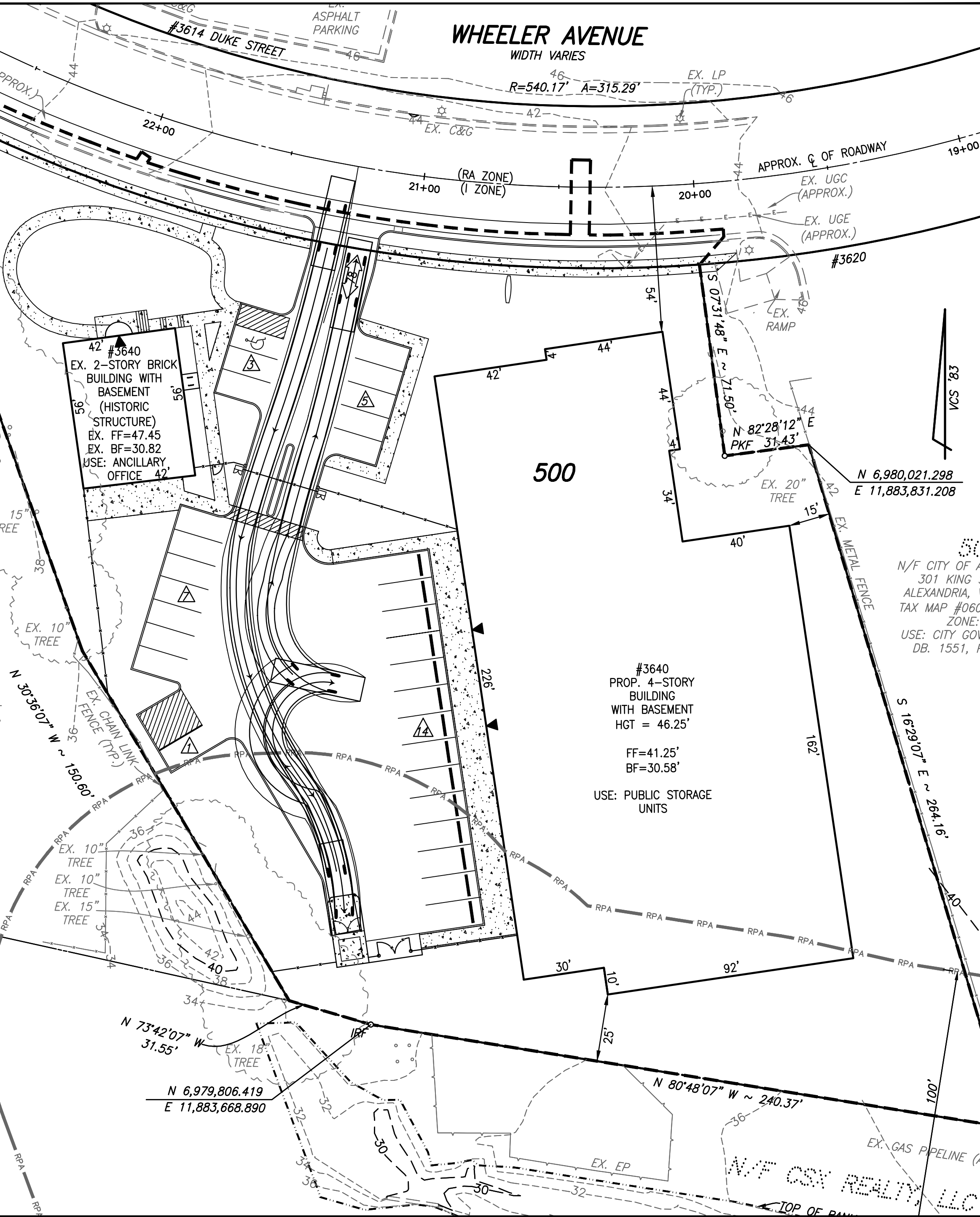
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WATER QUALITY IMPACT ASSESSMENT

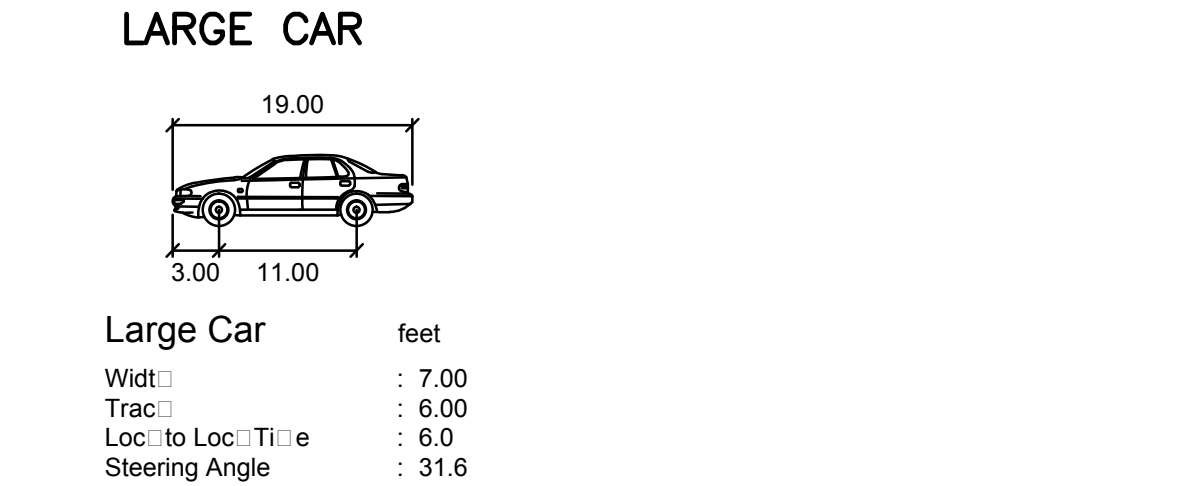
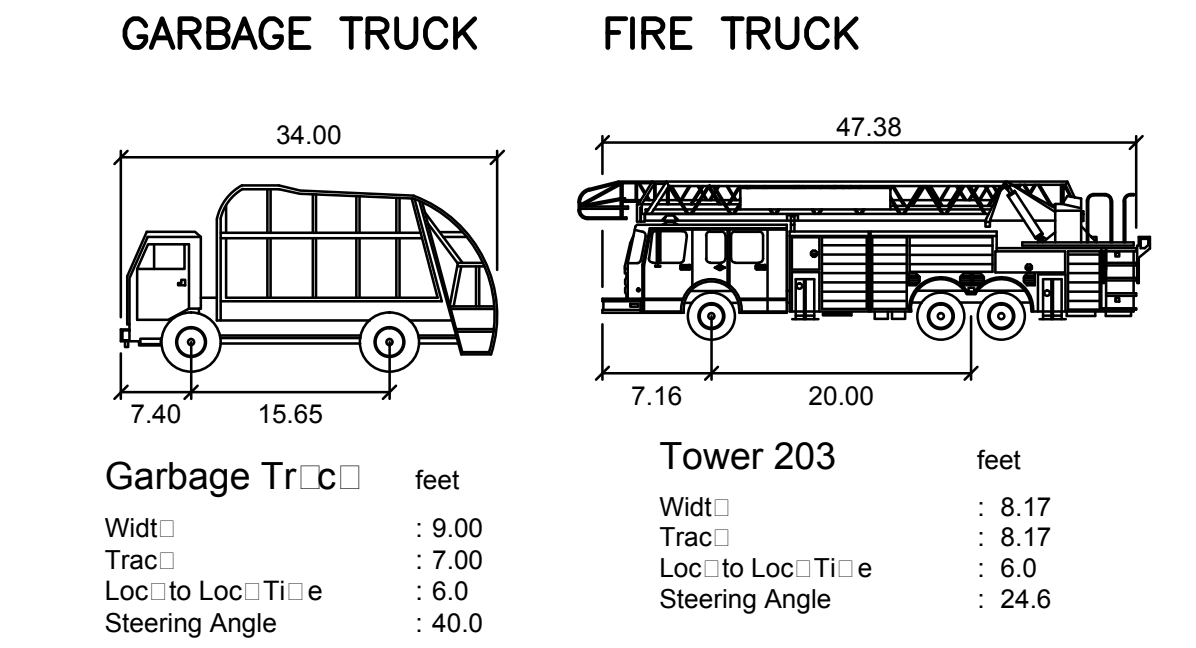
FIRE TRUCK TURNING MOVEMENT



GARBAGE TRUCK TURNING MOVEMENT



- GENERAL NOTES:
- TAX MAP: 060.04-02-22
 - ZONE: I
 - OWNER: JBJ, LLC
ATTN: WILLIAM J.M. WILLIS
FLUPPO CONSTRUCTION CO.
3820 PENN BELT PL
ALEXANDRIA, VA 22313
D.B. 431, PG. 488
 - BASE LOCATION SURVEY INFORMATION PROVIDED BY OTHERS.
HORIZONTAL COORDINATES AND BEARINGS SHOWN HEREON ARE REFERENCED TO VIRGINIA COORDINATE SYSTEM (VCS) 1983 PER THE FOLLOWING CITY OF ALEXANDRIA SURVEY CONTROL MONUMENTS:
#GPS580 NORTH 6,979,515.66 EAST 11,887,068.56 COMB. FACTOR 0.999956915
#GPS581 NORTH 6,979,564.53 EAST 11,886,292.74 COMB. FACTOR 0.999956897
 - TITLE REPORT NOT FURNISHED, THUS ALL EASEMENT MAY NOT BE SHOWN.
 - PLAT SUBJECT TO RESTRICTIONS OF RECORD.
 - TOTAL SITE AREA = 87,120 S.F. OR 2.0000 AC. (RECORD)
 - THERE ARE RESOURCE PROTECTION AREAS (RPA'S) ON THIS SITE. THERE ARE NO TIDAL WETLANDS, SHORES, TRIBUTARY STREAMS, FLOOD PLAINS, OR BUFFER AREAS FOR SHORES, WETLANDS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS OR HIGHLY ERODIBLE/PERMEABLE SOILS LOCATED ON THIS SITE.
 - THERE ARE NO KNOWN CONTAMINATED AREAS, CONTAMINATED SOILS OR ENVIRONMENTAL ISSUES ASSOCIATED WITH THIS SITE. THE SITE WILL BE ASSESSED FOR SOIL CONDITION PRIOR TO DEVELOPMENT.



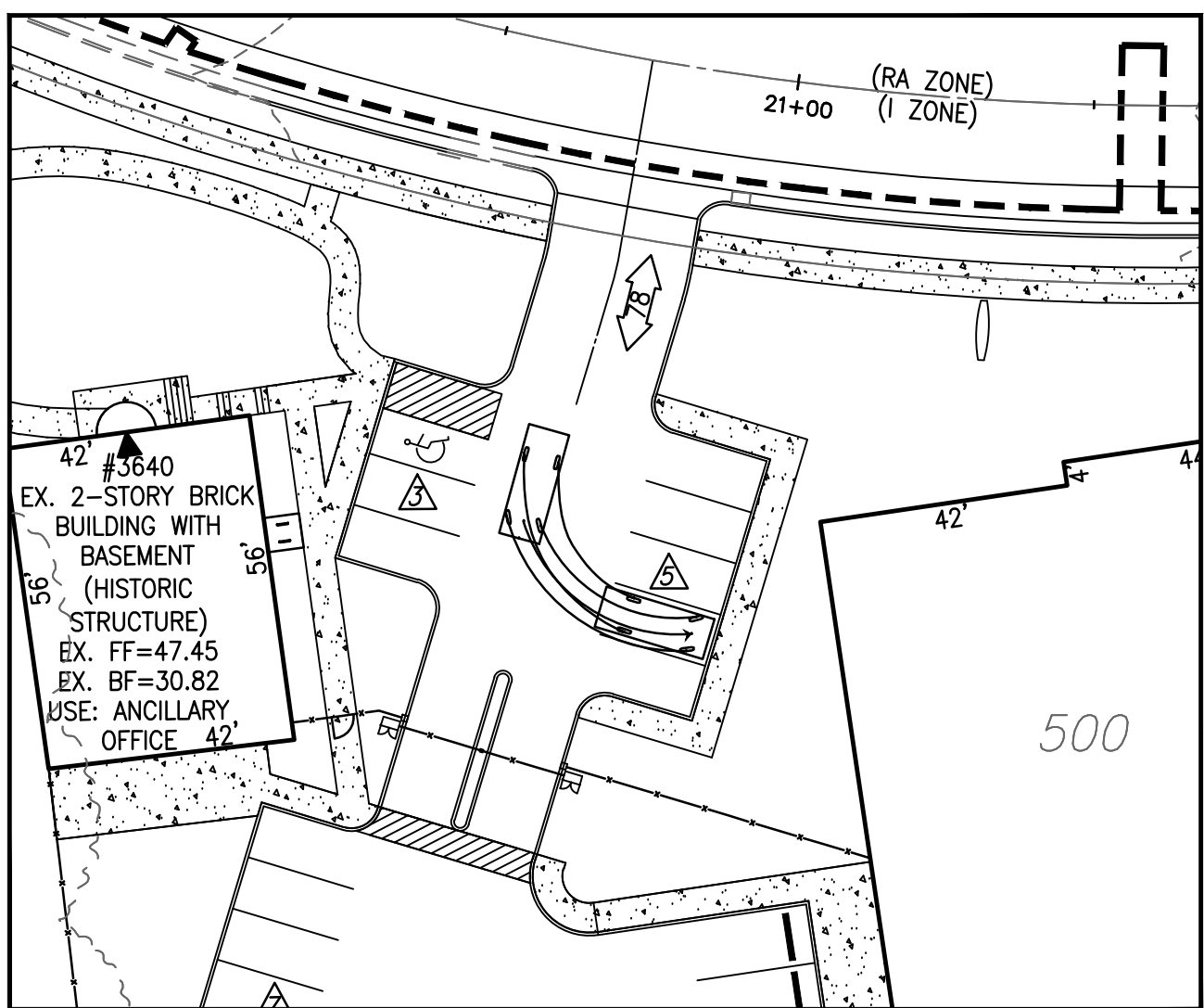
ARCHAEOLOGY NOTE:

CALL ALEXANDRIA ARCHAEOLOGY (703-746-4399) TWO WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT AN INSPECTION OR MONITORING SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED.

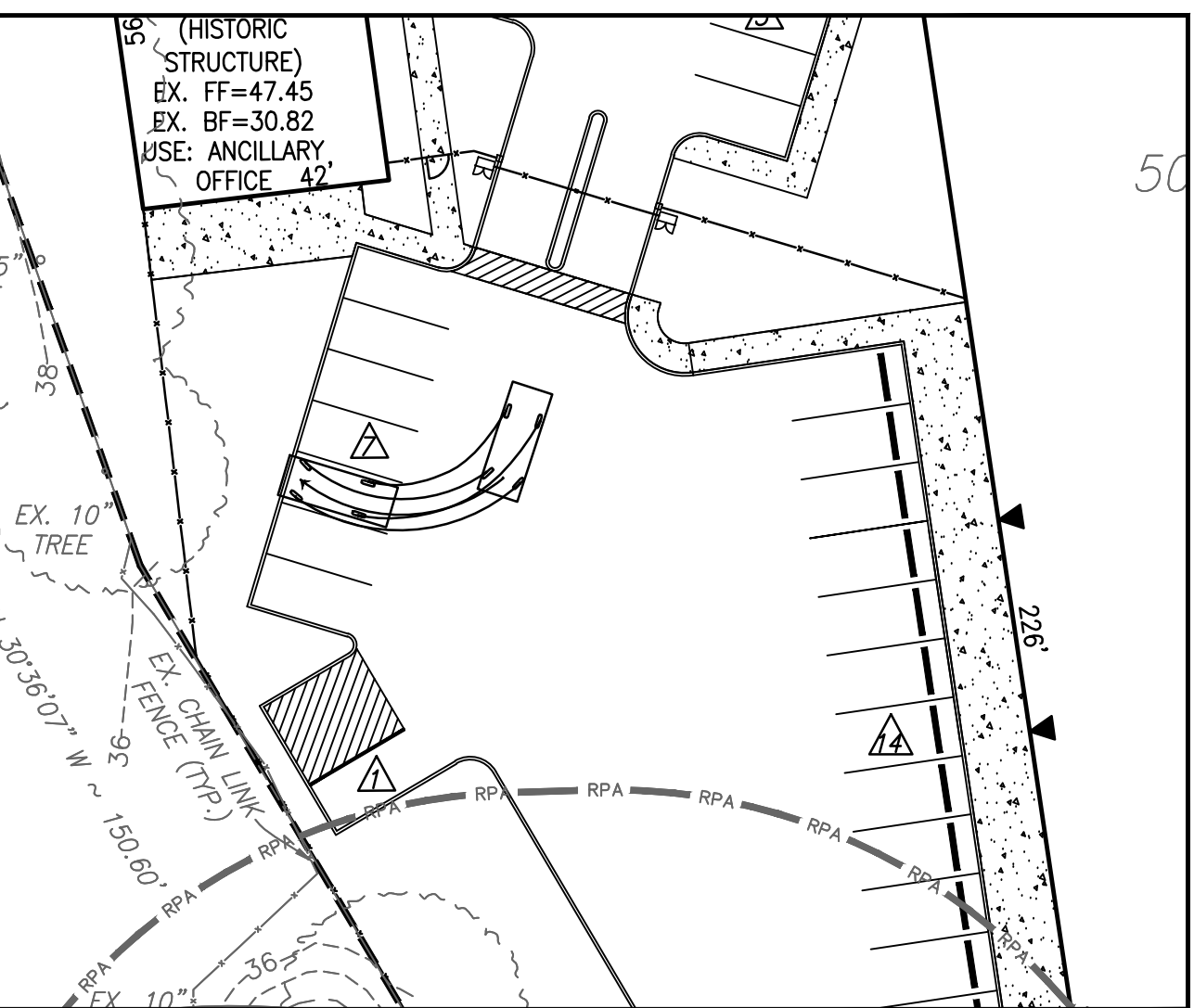
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LARGE CAR TURNING MOVEMENT 1

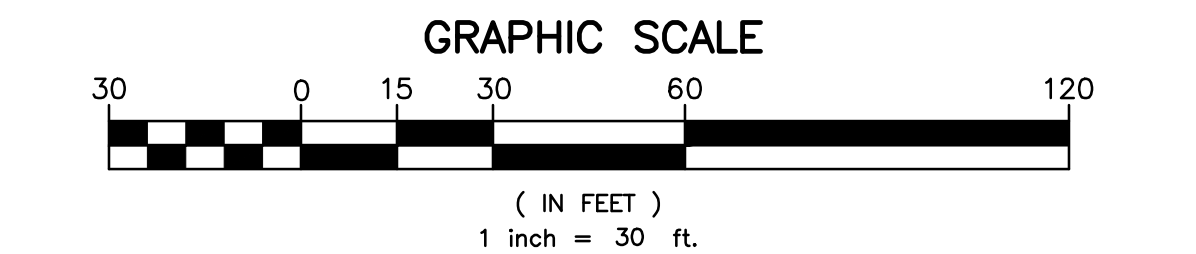


LARGE CAR TURNING MOVEMENT 2



CIVIL LEGEND:

ITEM	EXISTING	PROPOSED
CURB & GUTTER	=====	=====
CONC. WALK	-----WALK-----	-----WALK-----
FIRE HYDRANT	○	○
STRUCTURES	-----	-----
WATER MAINS	-----W-----	-----W-----
GAS MAINS	-----G-----	-----G-----
TELEPHONE LINES	-----T-----	-----T-----
STORM SEWER	-----S-----	-----S-----
SANITARY SEWER	-----S-----	-----S-----
PAVING	-----P-----	-----P-----
FENCES	-----X-----	-----X-----
POWER LINES	-----	-----
SPOT ELEVATIONS	+124.5	+124.5
CONTOURS	-----124-----	-----124-----
BUILDING ENTRANCES	▽	▽
UTILITY POLE	○	○
LIGHT POLE	☆	☆
LIMITS OF DISTURBANCE	-----	-----



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EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

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ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATION OF THE CITY OF ALEXANDRIA, VIRGINIA

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APPROVED

SPECIAL USE PERMIT NO. 2015-0002

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____

R.C. FIELDS & ASSOCIATES, INC.

ENGINEERING • LAND SURVEYING • PLANNING

www.rcfields.com (703) 549-6422

730 S. Washington Street
Alexandria, Virginia 22314

Brian A. Doffleiner
Lic. No. 049136
11 JUNE 2015
PROFESSIONAL ENGINEER

PRELIMINARY SPECIAL USE PERMIT

ezStorage Facility

3640 WHEELER AVENUE
CITY OF ALEXANDRIA, VIRGINIA

DATE: 6/11/15
REVISION: REVISED PER CITY COMMENTS

CHECKED: BD
DESIGN: ABH

SCALE: 1"=30'

DATE: MAY 13, 2015

SHEET 12 OF 13

FILE: 14-185

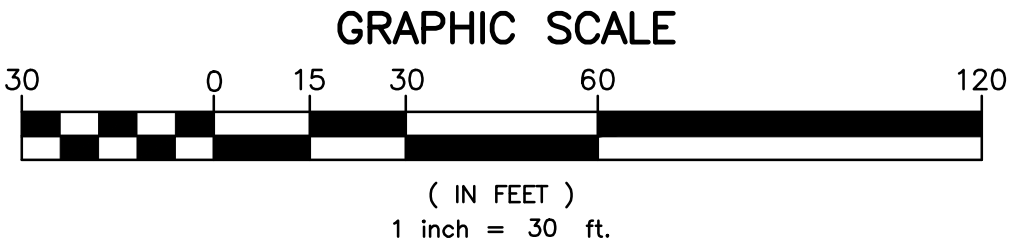
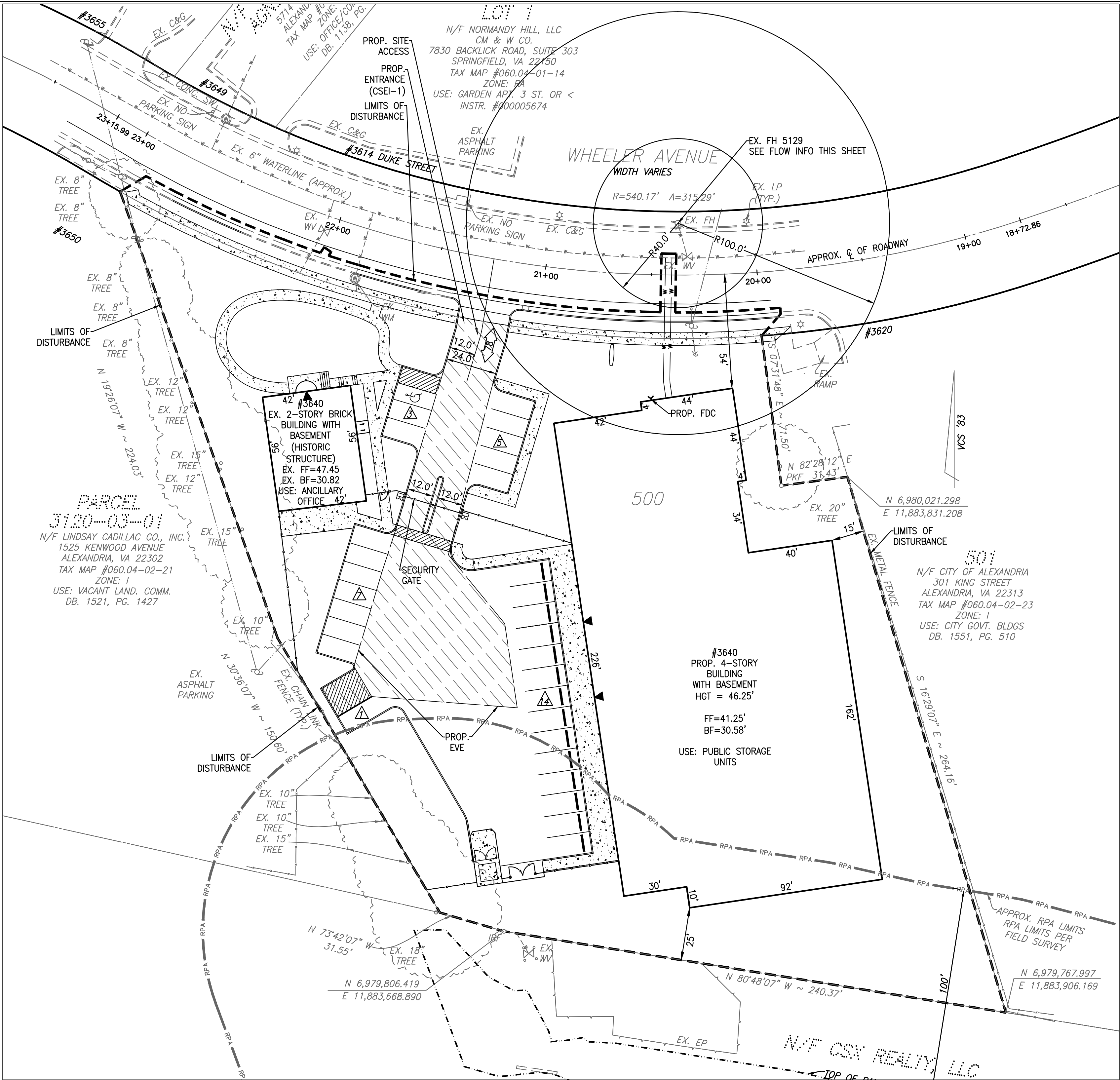
TURNING MOVEMENTS

TEXT LEGEND:

*= DEGREES
'= MINUTES (OR FEET)
"= SECONDS (OR INCHES)
%= PERCENT
#= NUMBER
@= AT
lbs.= POUNDS
A= ARC
AC.= ACRE
ADA = AMERICANS W/ DISABILITIES ACT
APPROX.=APPROXIMATE
BC= BOTTOM OF CURB
BF= BASEMENT FLOOR
BLDG.= BUILDING
BM= BENCHMARK
BOL= BOLLARD
CATV= CABLE UTILITY
CL= CLASS
CLEAR= CLEARANCE
CLF= CHAIN LINK FENCE
CMP = CORRUGATED METAL PIPE
C.I.= CURB INLET
C.O.= CLEAN OUT
CONC.= CONCRETE
C&G= CURB & GUTTER
DB= DEED BOOK
DIP= DUCTILE IRON PIPE
DOM= DOMESTIC
DSP= DEVELOPMENT SITE PLAN
DSUP= DEVELOPMENT SPECIAL USE PERMIT
DU= DWELLING UNIT
E= EAST
EBOX= ELECTRICAL BOX
ESMT.= EASEMENT
EP= EDGE OF PAVEMENT
EVE= EMERGENCY VEHICLE EASEMENT
EX=EXISTING
FDC= FIRE DEPT. CONNECTION
FF= FINISH FLOOR
FH= FIRE HYDRANT
FT.= FEET
GL = GROUND LIGHT
G/V= GAS VALVE
G/M= GAS METER
G.I.= GRATE INLET
H.C.= HEADER CURB
HDCP= HANDCAP
HDPE= HIGH DENSITY POLYETHYLENE
HPS= HIGH PRESSURE SODIUM
IPF= IRON PIPE FOUND
INV= INVERT
INSTR.= INSTRUMENT
L= LUMENS
LOC.= LOCATION
LP= LIGHT POLE
MAX.= MAXIMUM
MH= MANHOLE
MIN.= MINIMUM
MPH= MILES PER HOUR
MW= MONITORING WELL
N= NORTH
OHW= OVERHEAD WIRE
PN = PANEL
PG= PAGE
PP= POWER POLE
PROP.= PROPOSED
PVC= POLYVINYL CHLORIDE
R= RADIUS
RCP= RE-ENFORCED CONCRETE PIPE
RELOC. = RELOCATED
RET.= RETAINING
RESID.= RESIDENTIAL
R/W= RIGHT-OF-WAY
S= SOUTH
SAN= SANITARY SEWER
S.F.= SQUARE FEET
SQ.FT.= SQUARE FEET
STM.= STORM SEWER
STR.= STRUCTURE
SUB= SUBDIVISION PLAN
TBR = TO BE REMOVED
TBS = TO BE SAVED
T.M.= TAX MAP
TMH= TELEPHONE MANHOLE
TC= TOP OF CURB
TOW = TOP OF WALL
TRAF.SIG.= TRAFFIC SIGNAL
TYP= TYPICAL
UGE= UNDERGROUND ELECTRIC
UP= UTILITY POLE
VCS= VIRGINIA COORDINATE SYSTEM
VPD= VEHICLES PER DAY
W= WATT
W= WEST
W.S.E.= WATER SURFACE ELEVATION
WV= WATER VALVE
WM= WATER METER
W.W.= WINDOW WELL

CIVIL LEGEND:

ITEM	EXISTING	PROPOSED
CURB & GUTTER	=====	=====
CONC. WALK	-----WALK-----	=====WALK=====
FIRE HYDRANT	○	○
STRUCTURES	[-----]	[-----]
WATER MAINS	---W---	---W---
GAS MAINS	---G---	---G---
TELEPHONE LINES	---T---	---T---
STORM SEWER	-----⑩-----	-----●-----
SANITARY SEWER	---⊙---	---●---
PAVING	-----X-----	-----X-----
FENCES	---X---	---X---
POWER LINES	-----	-----
SPOT ELEVATIONS	+124.5	+124.5
CONTOURS	-----124-----	-----124-----
BUILDING ENTRANCES	▽	▽
UTILITY POLE	⊙	⊙
LIGHT POLE	☆	☆
LIMITS OF DISTURBANCE	=====	=====



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EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATION OF THE CITY OF ALEXANDRIA, VIRGINIA

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BUILDING INFORMATION:

USE:	STORAGE (SELF-STORAGE FACILITY)
USE GROUP:	S-1
TYPE OF CONSTRUCTION:	IIA
NUMBER OF STORIES:	BUILDING 1 (HISTORIC) = 2 STORIES; BUILDING 2 (PROPOSED) = 4 STORIES
FLOOR AREA (GROSS):	BUILDING 1 (HISTORIC) = 6,750 SF; BUILDING 2 (PROPOSED) = 129,640 SF
FLOOR AREA (NET):	BUILDING 1 (HISTORIC) = 4,104 SF; BUILDING 2 (PROPOSED) = 101,340 SF
BUILDING FOOT PRINT AREA:	BUILDING 1 (HISTORIC) = 2,250 SF; BUILDING 2 (PROPOSED) = 25,868 SF
BUILDING HEIGHT:	BUILDING 1 (HISTORIC) = 38.66'; BUILDING 2 (PROPOSED) = 46.25'
FIRE SUPPRESSION/DETECTION:	NFPA 13

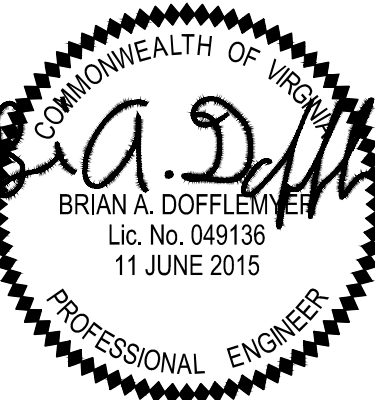
FIRE HYDRANT FLOW INFORMATION:

(PROVIDED BY VAWC)
HYDRANT NUMBER: 5129
STATIC = 108 PSI
RESIDUAL = 88 PSI
FLOW = 2,817 GPM
Q20 = 5,955 GPM

FIRE PROTECTION INFORMATION:

- ALL NEW CONSTRUCTION SHALL COMPLY WITH THE CURRENT EDITION OF THE UNIFORM STATEWIDE BUILDING CODE (USBC).
- A FIRE PREVENTION CODE PERMIT IS REQUIRED FOR THE PROPOSED OPERATION.
- THE PROPOSED BUILDINGS ARE TO BE FULLY SPRINKLERED. THE URBAN LOFT (2 OVER 2) BUILDINGS 4, 5, 7, AND 8 HAVE A COMMON SPRINKLER SYSTEM WITH A FIRE DEPARTMENT CONNECTION (FDC). THE TOWNHOUSE BUILDINGS 1, 2, 3, AND 6 HAVE INDIVIDUAL SPRINKLER SYSTEMS AND DO NOT REQUIRE A FIRE DEPARTMENT CONNECTION.
- A FINAL FIRE FLOW ANALYSIS REPORT, IN ACCORDANCE WITH CITY STANDARDS AND PREPARED BY A LICENSED ENGINEER, HAS BEEN SUBMITTED AND APPROVED BY THE CITY OF ALEXANDRIA FIRE/EMS DEPARTMENT. VERIFICATION THAT THE PROPOSED INFRASTRUCTURE IS CAPABLE OF PROVIDING THE REQUIRED FIRE FLOW IS PROVIDED IN THE REPORT.

R.C. FIELDS & ASSOCIATES, INC.
ENGINEERING • LAND SURVEYING • PLANNING
www.rcfieldsoc.com
730 S. Washington Street
Alexandria, Virginia 22314
(703) 549-6422



PRELIMINARY SPECIAL USE PERMIT
ezStorage FACILITY
3640 WHEELER AVENUE
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION
6/11/15	REVISED PER CITY COMMENTS

CHECKED: BD
DESIGN: ABH

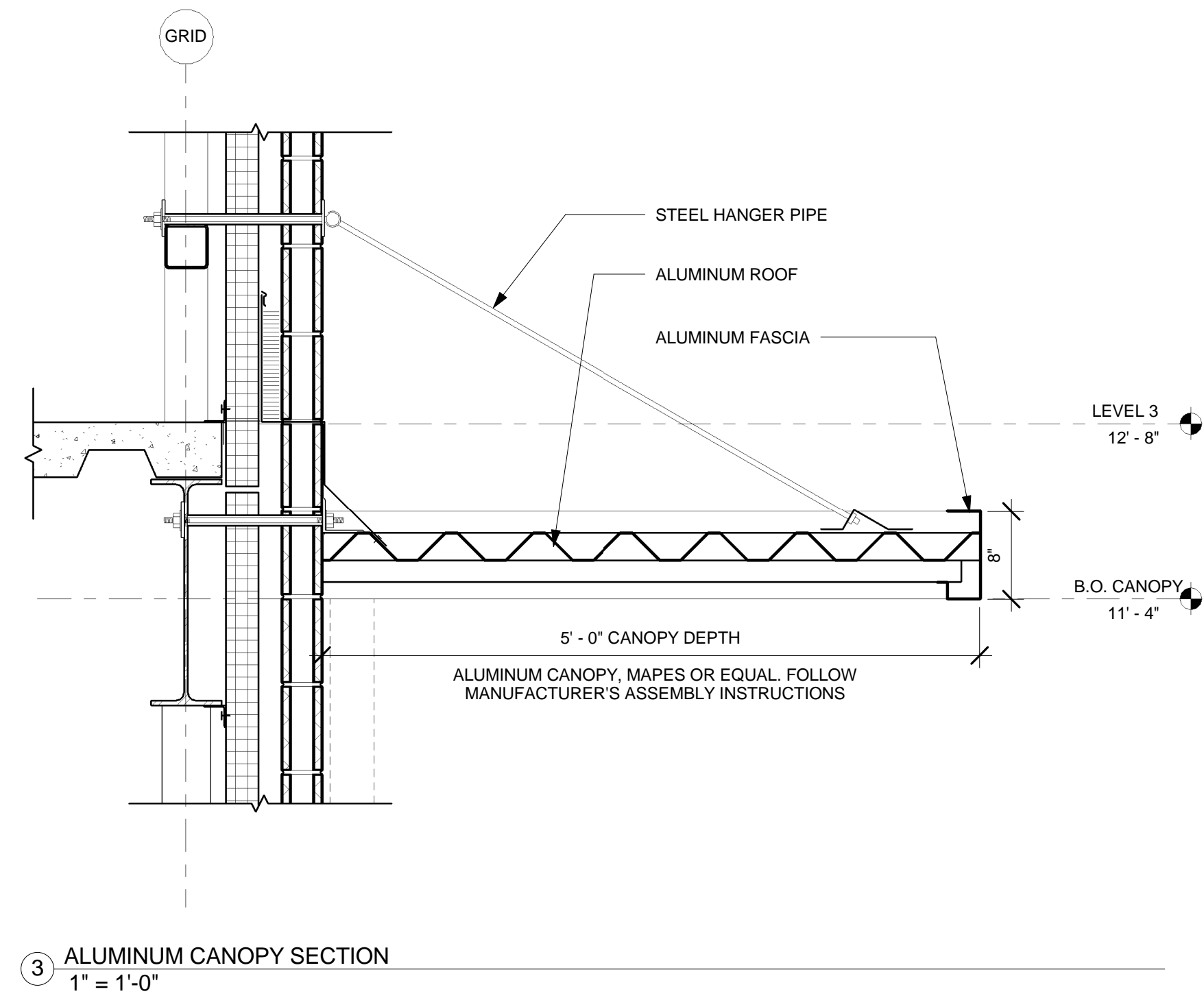
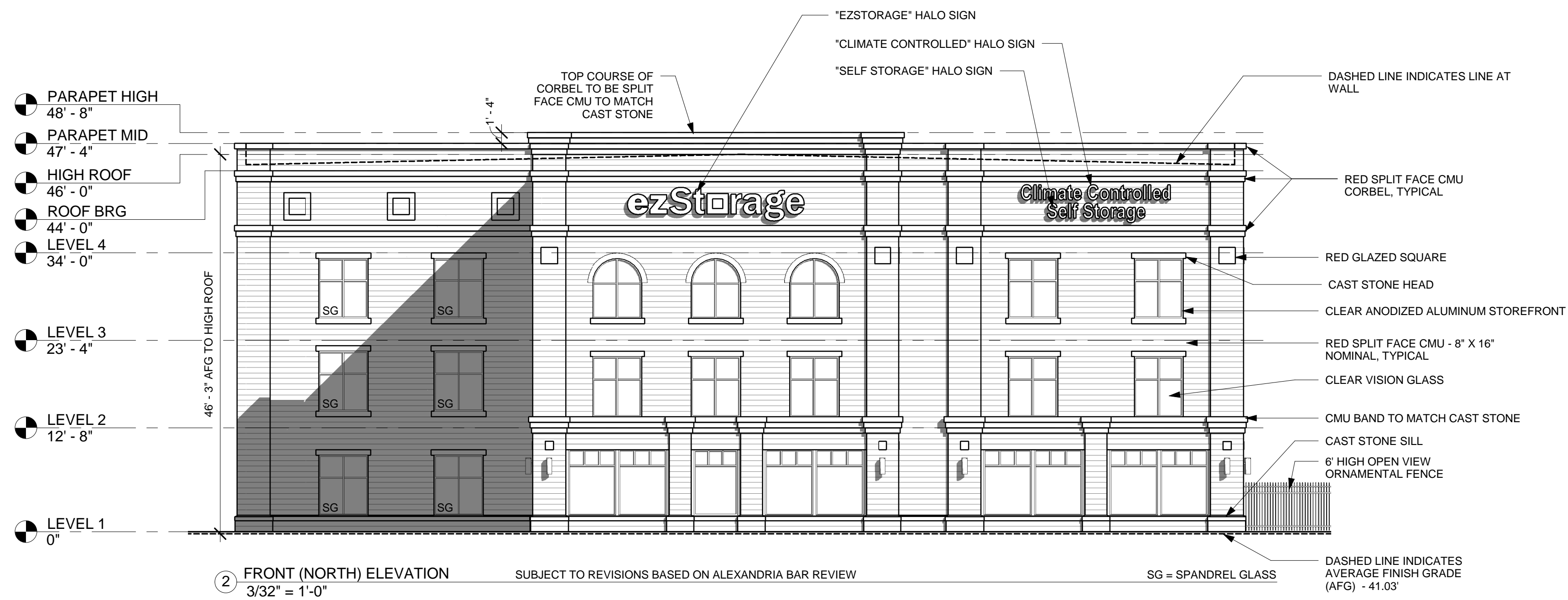
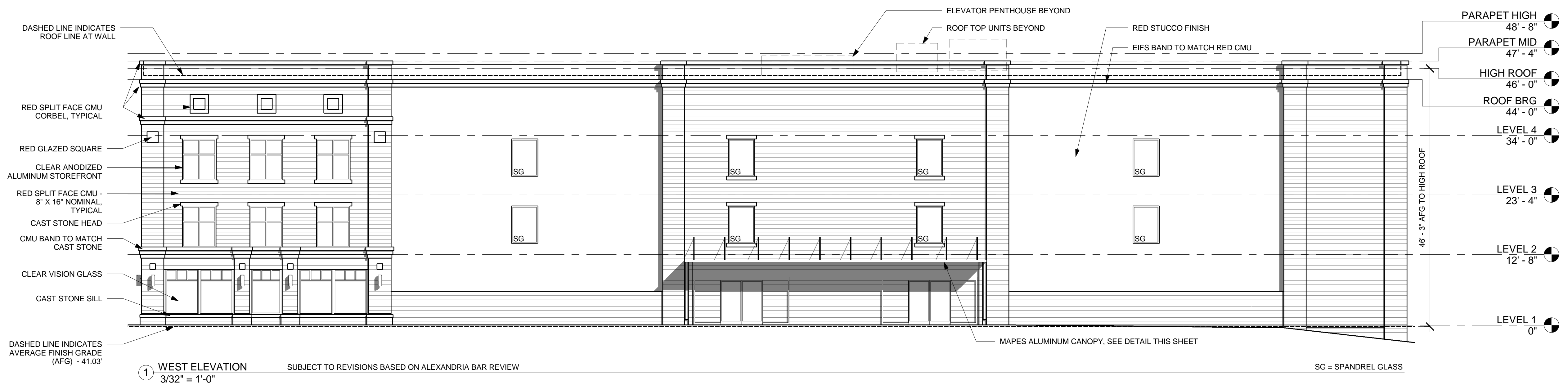
SCALE: 1"=30'
DATE: MAY 13, 2015

SHEET 13 OF 13
FILE: 14-185

APPROVED
SPECIAL USE PERMIT NO. 2015-0002

DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
	DATE

FIRE SERVICE PLAN



APPROVED	
SPECIAL USE PERMIT NO. 2015-0002	
DEPARTMENT OF PLANNING & ZONING	
INSECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED	
RESTRICTION NO.	RECORD BOOK NO.
DATE	

ezStorage ALEXANDRIA

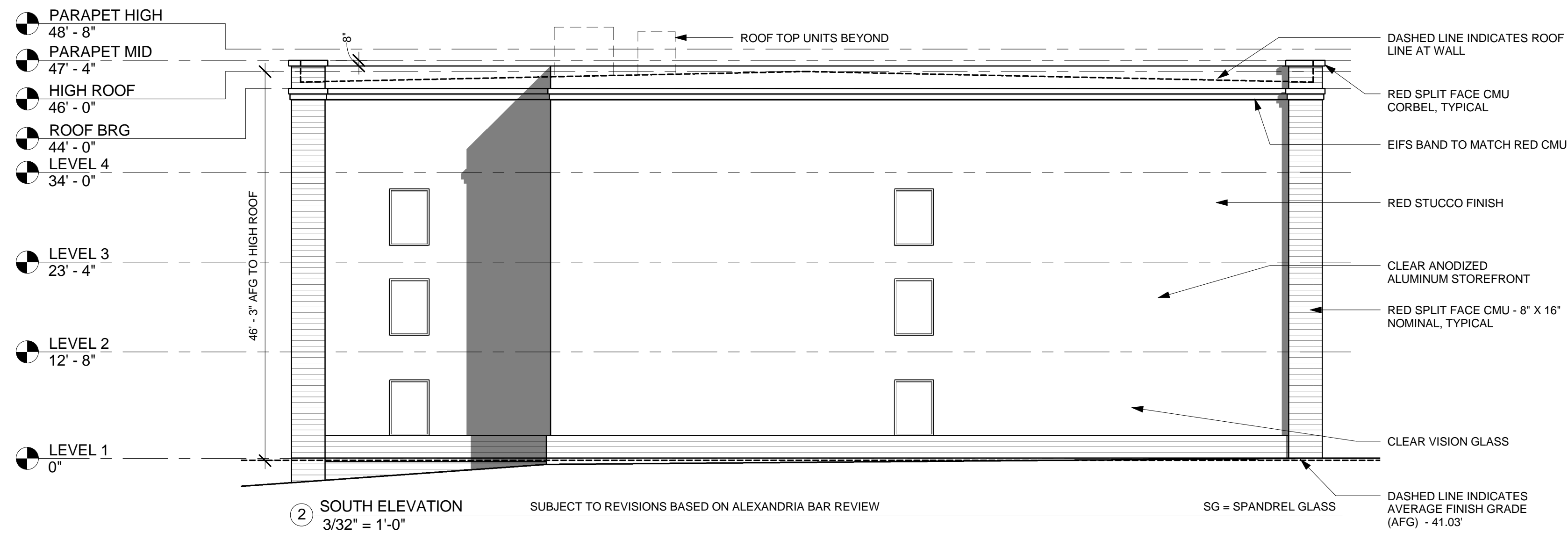
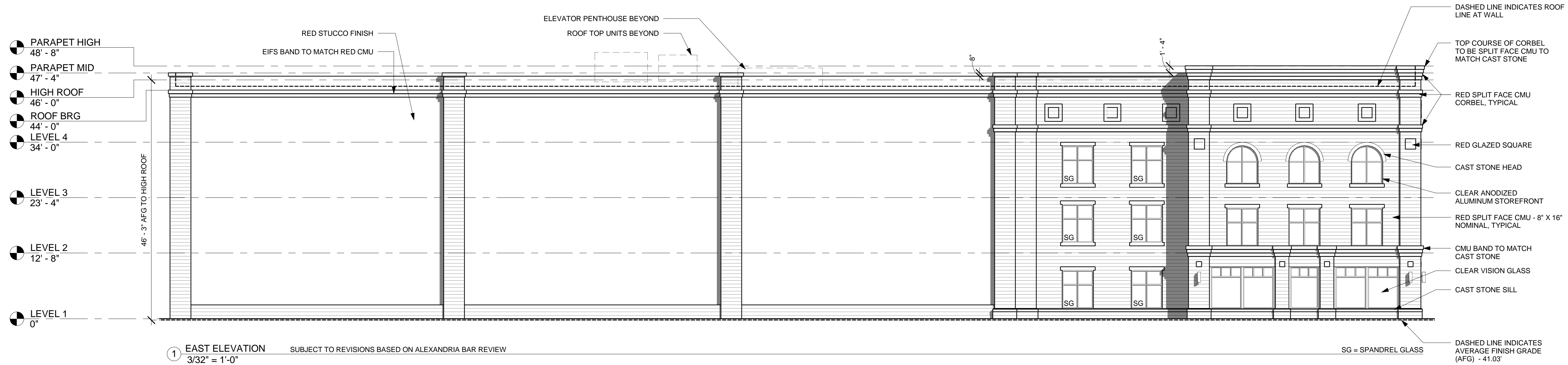
3640 WHEELER AVE
ALEXANDRIA, VA 22304

ISSUE/REVISION	DATE
PER CITY COMMENTS	06/11/15

SIENA Corporation
8221 Snowden River Parkway
Columbia, MD 21045

Date: 05/13/15

A-1



APPROVED		
SPECIAL USE PERMIT NO. 2015-0002		
DEPARTMENT OF PLANNING & ZONING		
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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN NO.		
DIRECTOR	DATE	
CHAIRMAN, PLANNING COMMISSION		
DATE RECORDED		
RESTRICTION NO.	RECORD BOOK NO.	DATE

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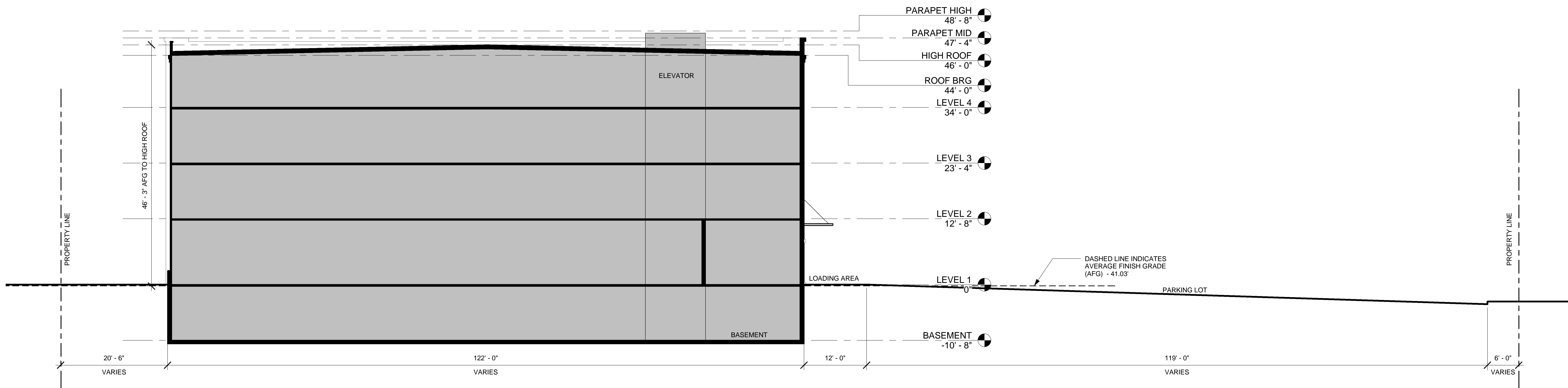
3640 WHEELER AVE
ALEXANDRIA, VA 22304

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A-2



1 SITE SECTION
1" = 10'-0"



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DEPARTMENT OF PLANNING & ZONING	
_____ DIRECTOR	_____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
_____ CHAIRMAN, PLANNING COMMISSION	_____ DATE
DATE RECORDED _____	
_____ REGISTERED NO.	_____ RECORD BOOK NO.
_____ DATE	

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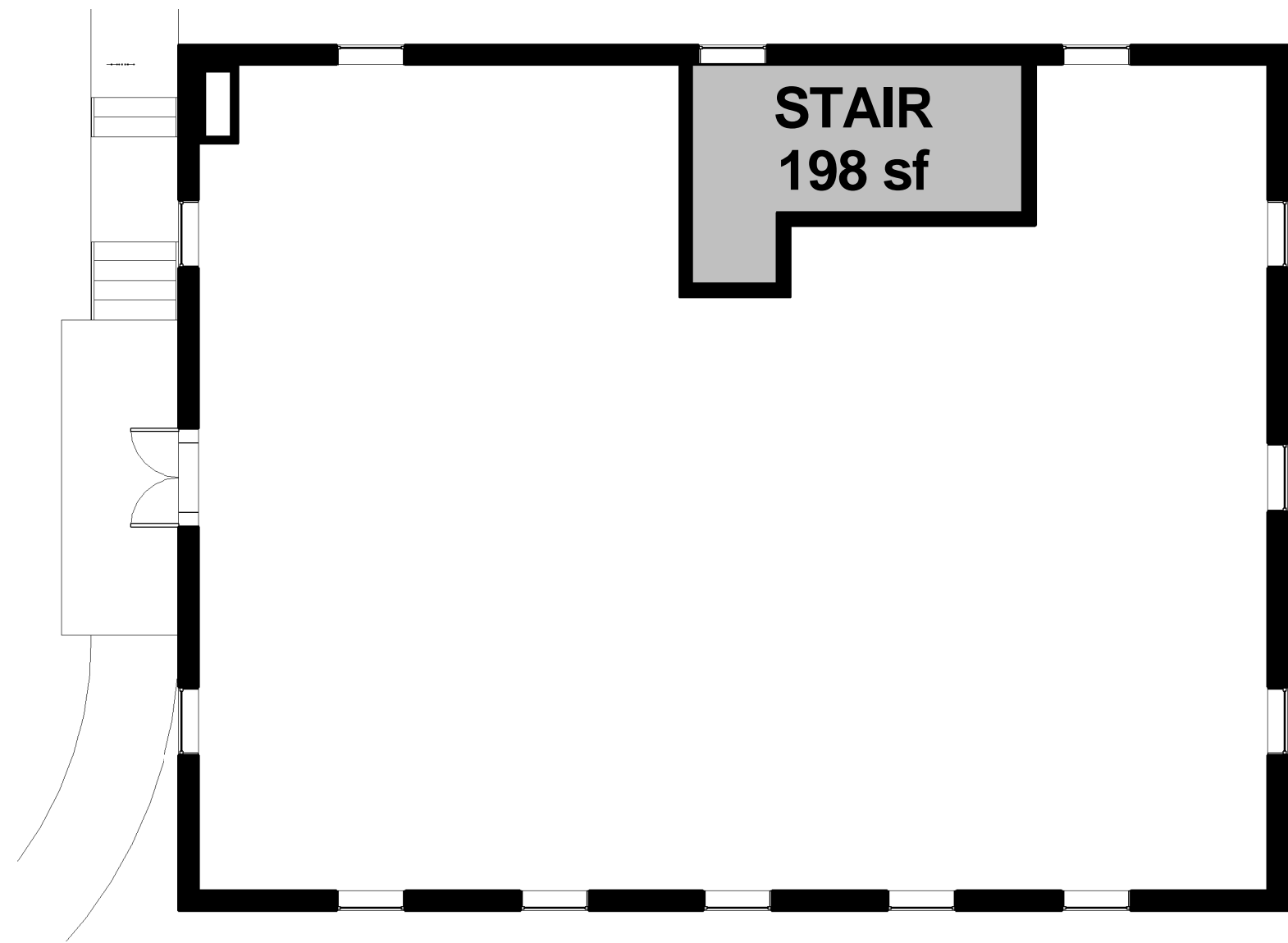
3640 WHEELER AVE
ALEXANDRIA, VA 22304

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SIENA Corporation
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Columbia, MD 21045

Date: 05/13/15

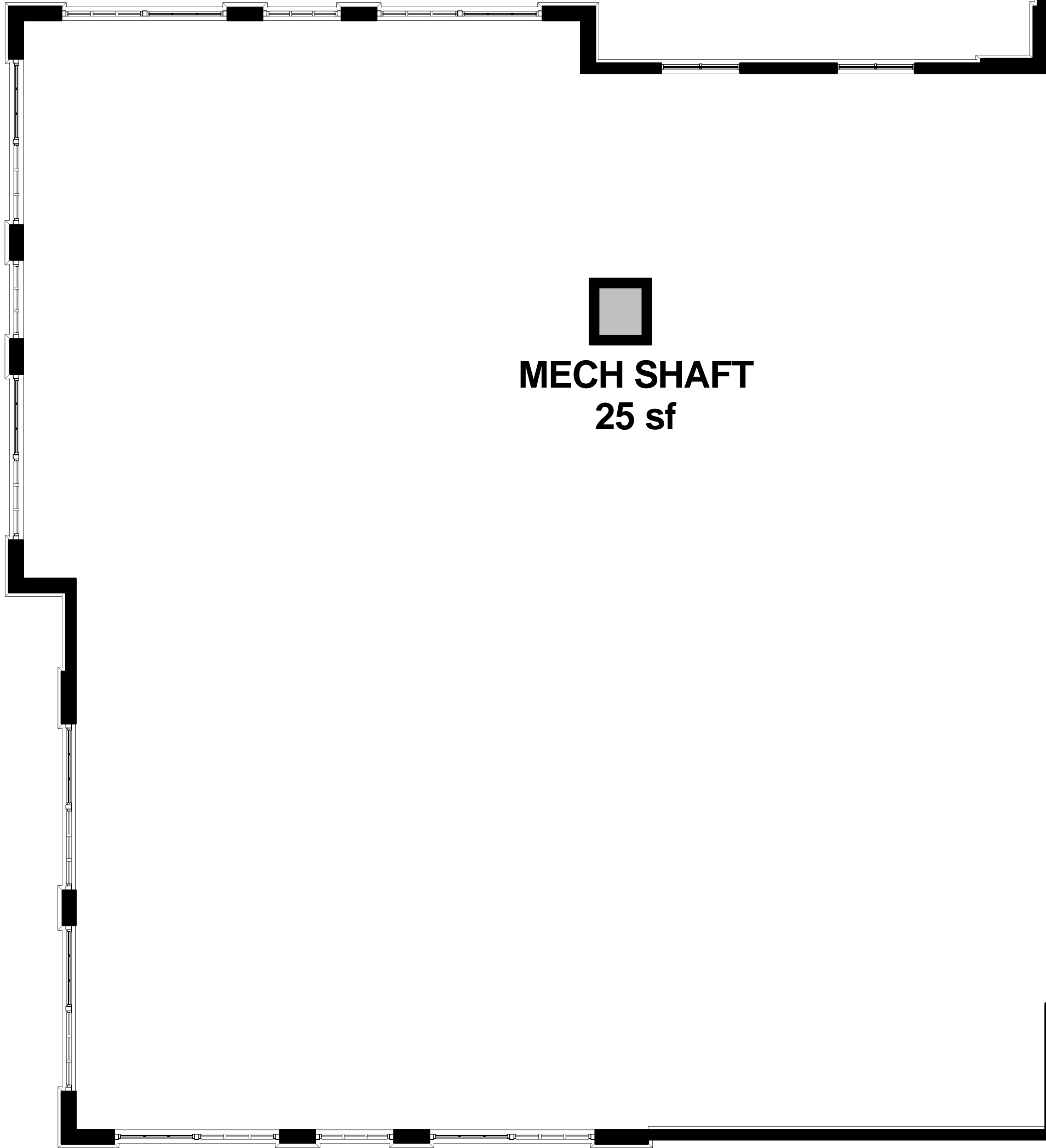
A-3



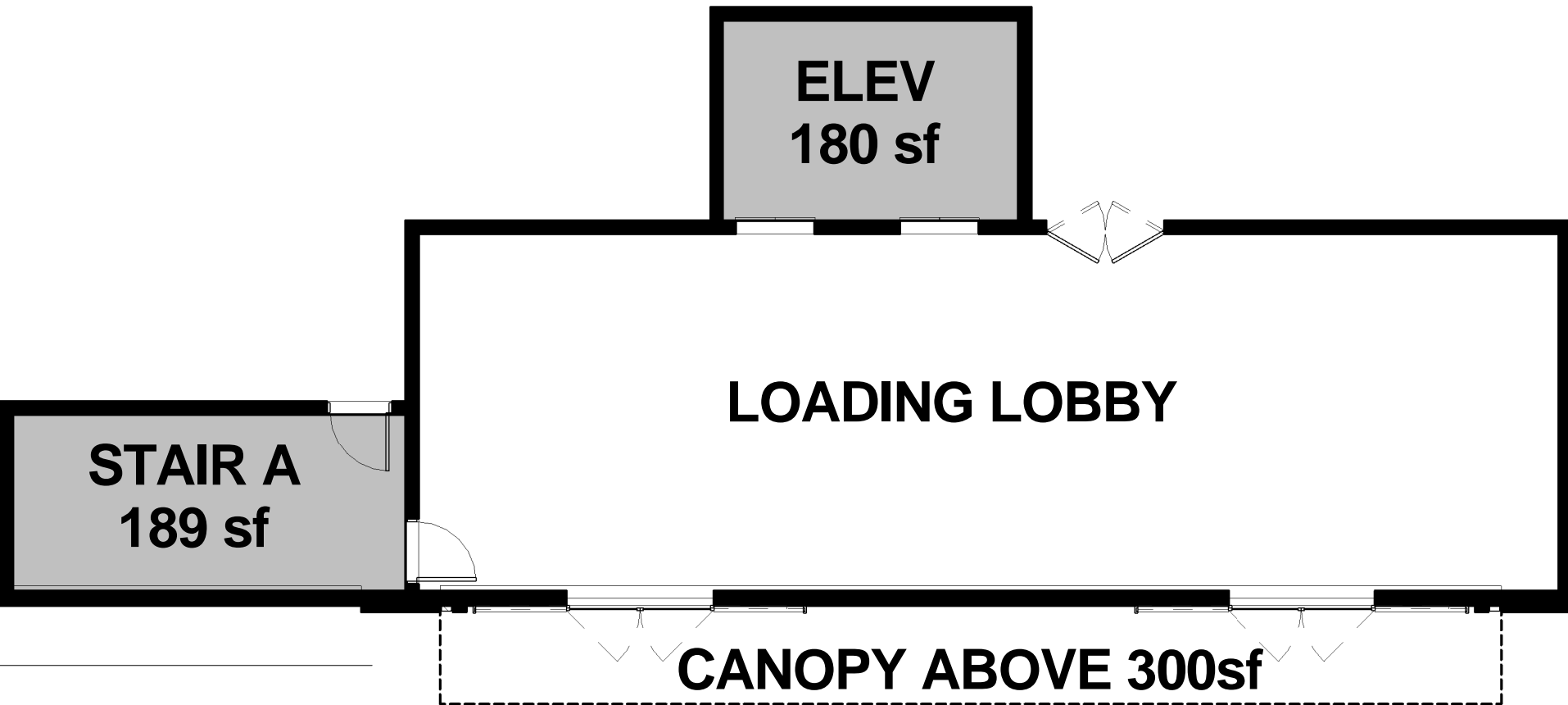
① FAR EXHIBIT PLAN - HISTORIC BUILDING
1/8" = 1'-0"

EXISTING BUILDING NET FLOOR AREA CALCULATION			
2,250 s.f. Floor Plates			
(198 s.f.) Stair	= 2,052 s.f. per Floor x 2 Floors		
TOTAL NET AREA		= 4,104 s.f.	

STORAGE BUILDING NET FLOOR AREA CALCULATION			
First Floor:	25,868 s.f. Floor Plate + 300 s.f. Canopy		
	(608 s.f.) Shafts	= 25,560 s.f.	
Upper Levels:	25,868 s.f. Floor Plates		
	(608 s.f.) Shafts	= 25,260 s.f. per Floor x 3 Floors	
TOTAL NET AREA		= 101,340 s.f.	



② FAR EXHIBIT PLAN - NEW BUILDING
1/8" = 1'-0"

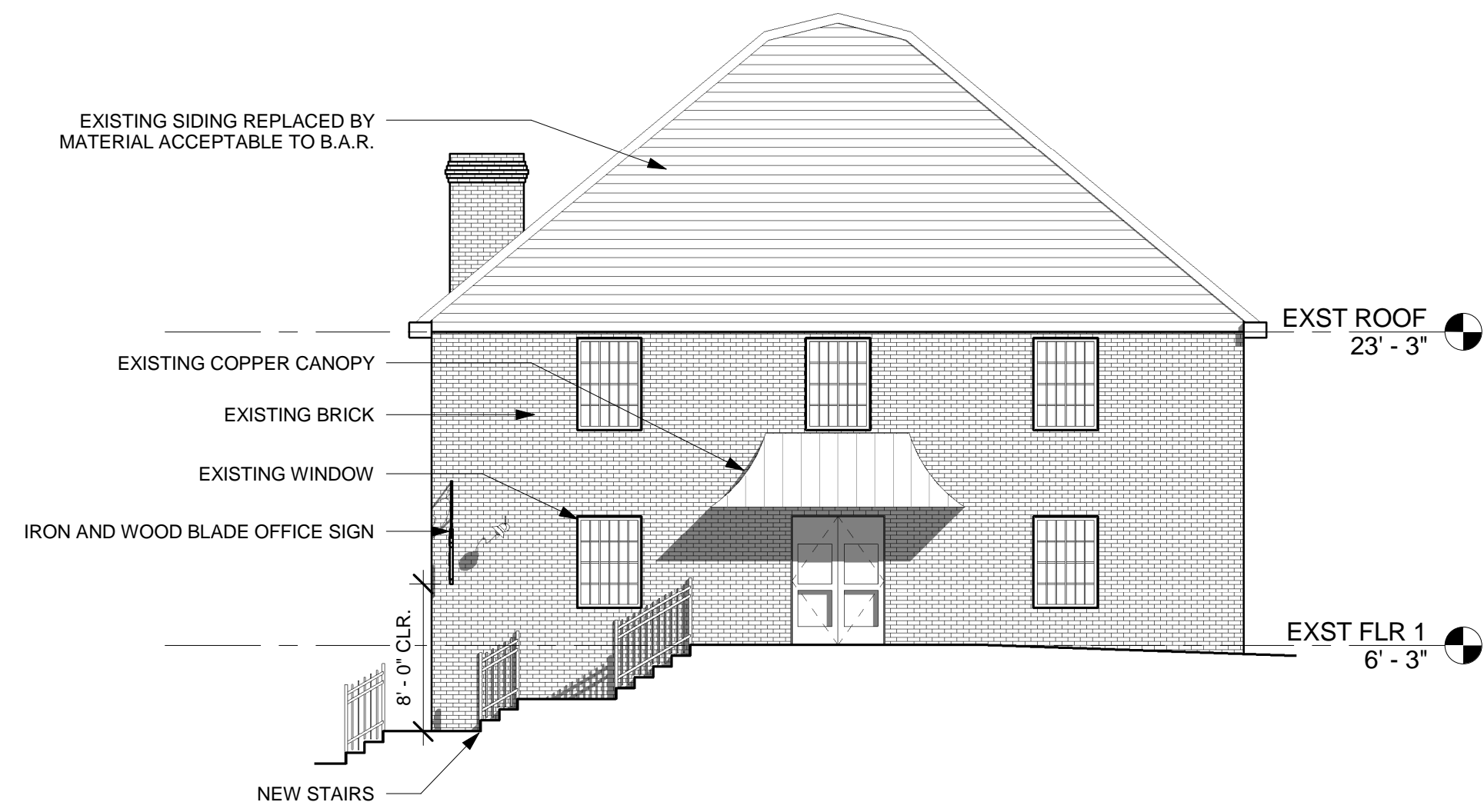


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DATE	

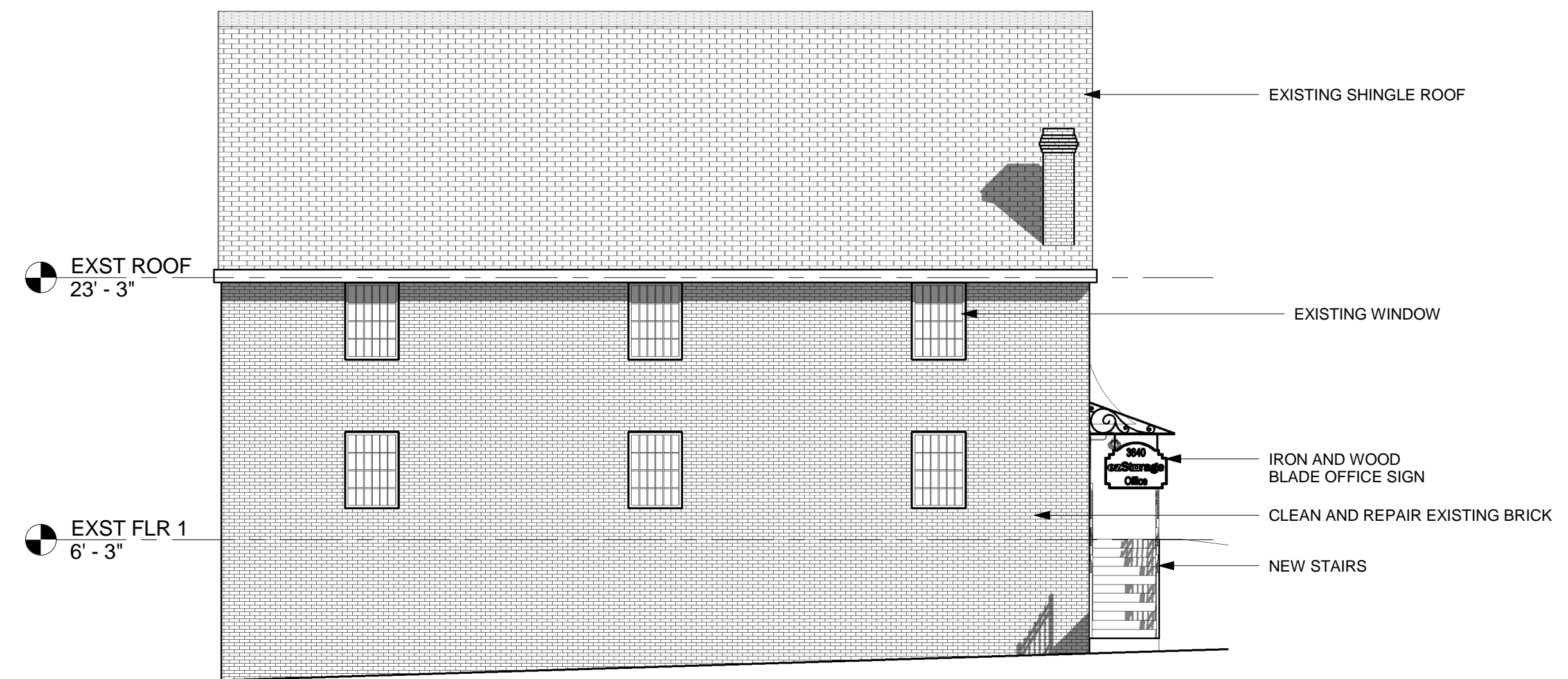
ISSUE/REVISION	DATE
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Columbia, MD 21045

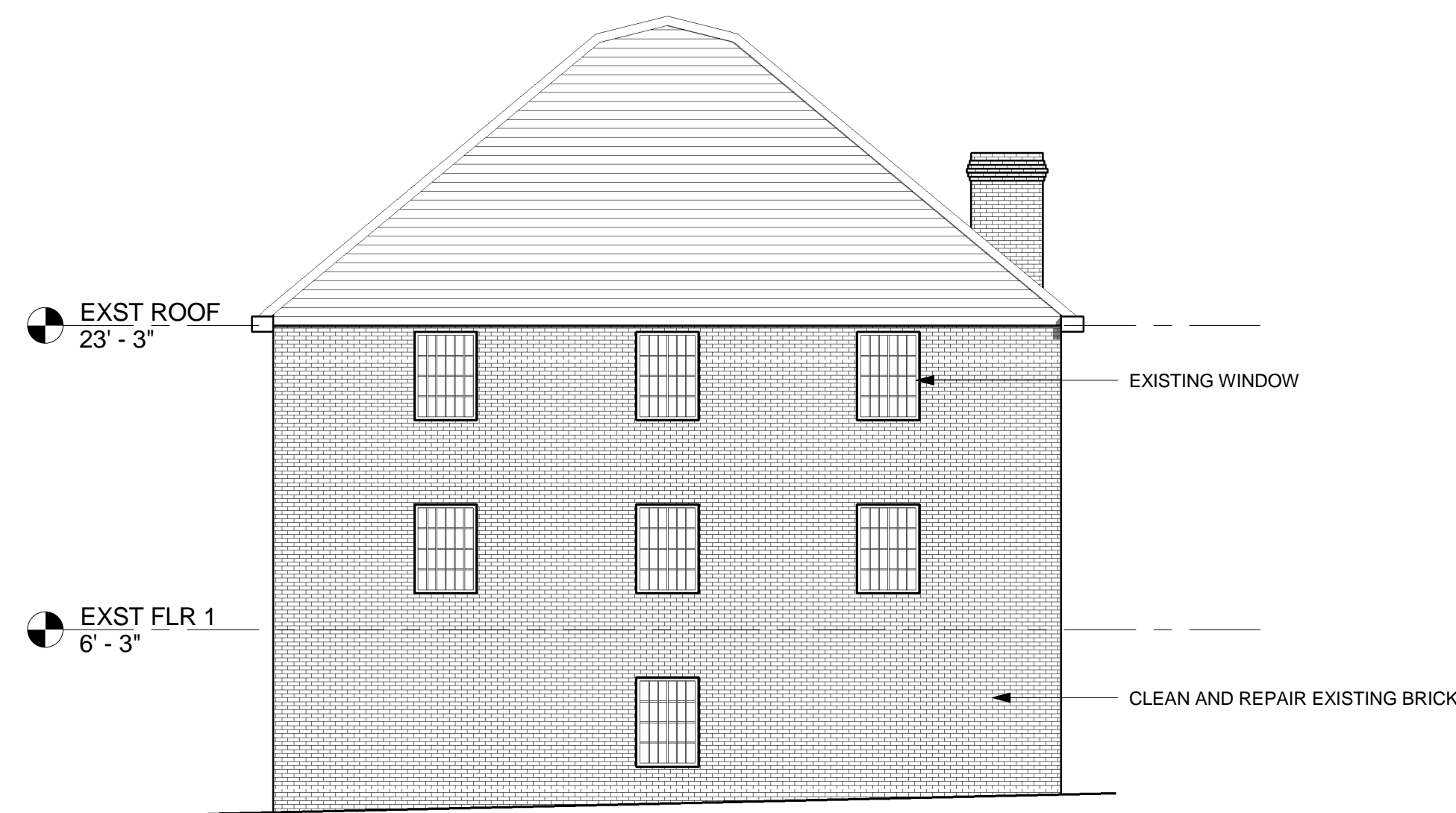
Date: 05/13/15



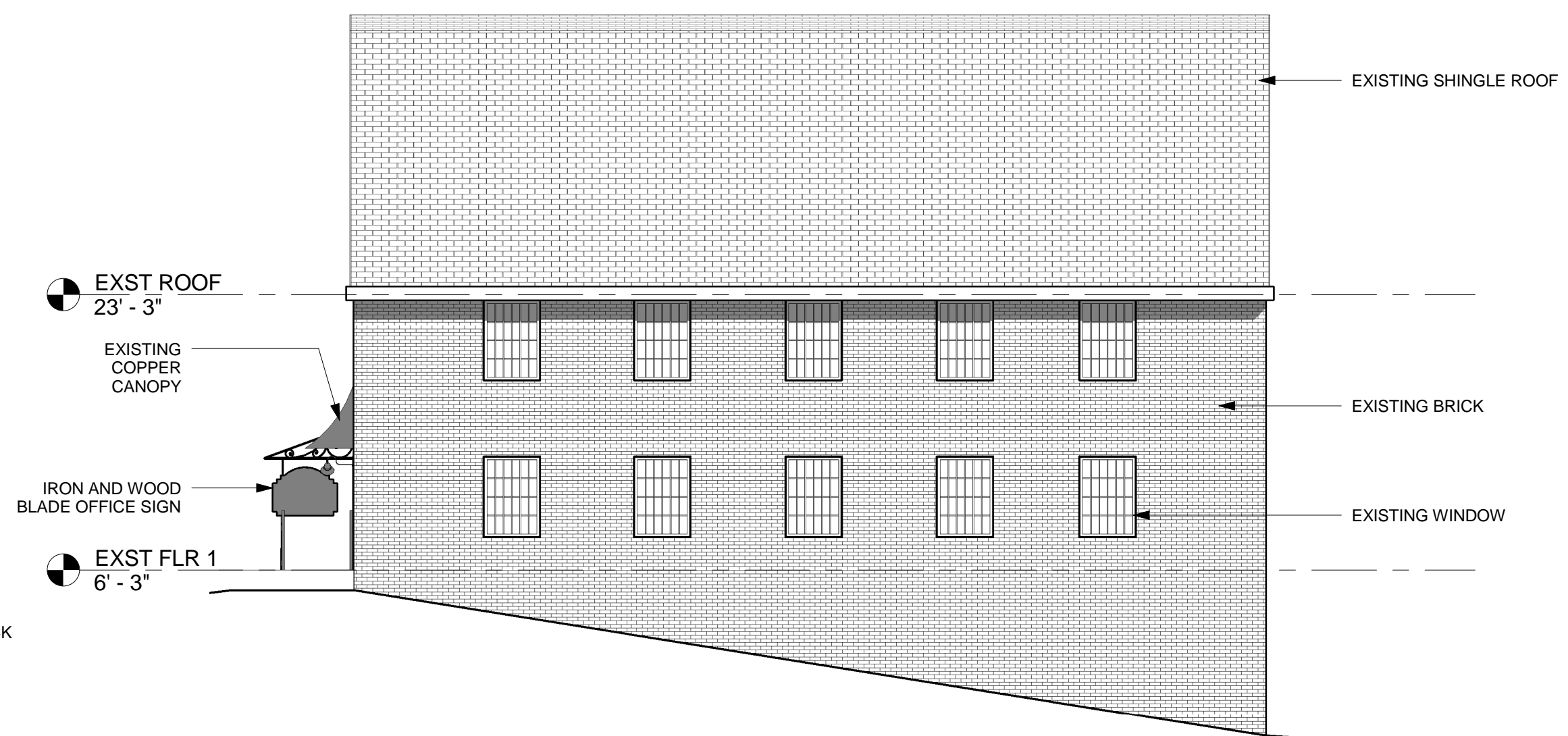
① EXISTING BUILDING FRONT ELEVATION
1/8" = 1'-0"



② EXISTING BUILDING LEFT ELEVATION
1/8" = 1'-0"



③ EXISTING BUILDING REAR ELEVATION
1/8" = 1'-0"



④ EXISTING BUILDING RIGHT ELEVATION
1/8" = 1'-0"



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DATE	

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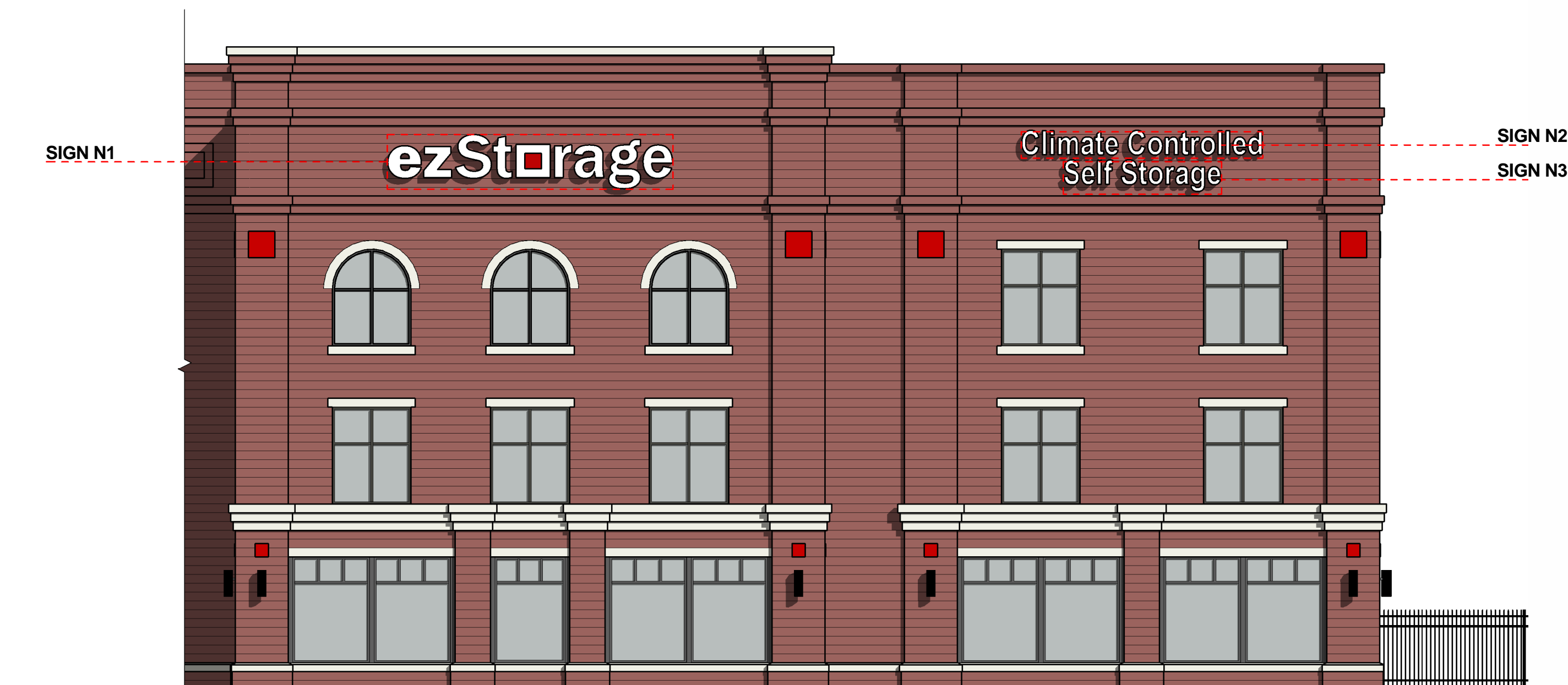
3640 WHEELER AVE
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PER CITY COMMENTS	06/11/15

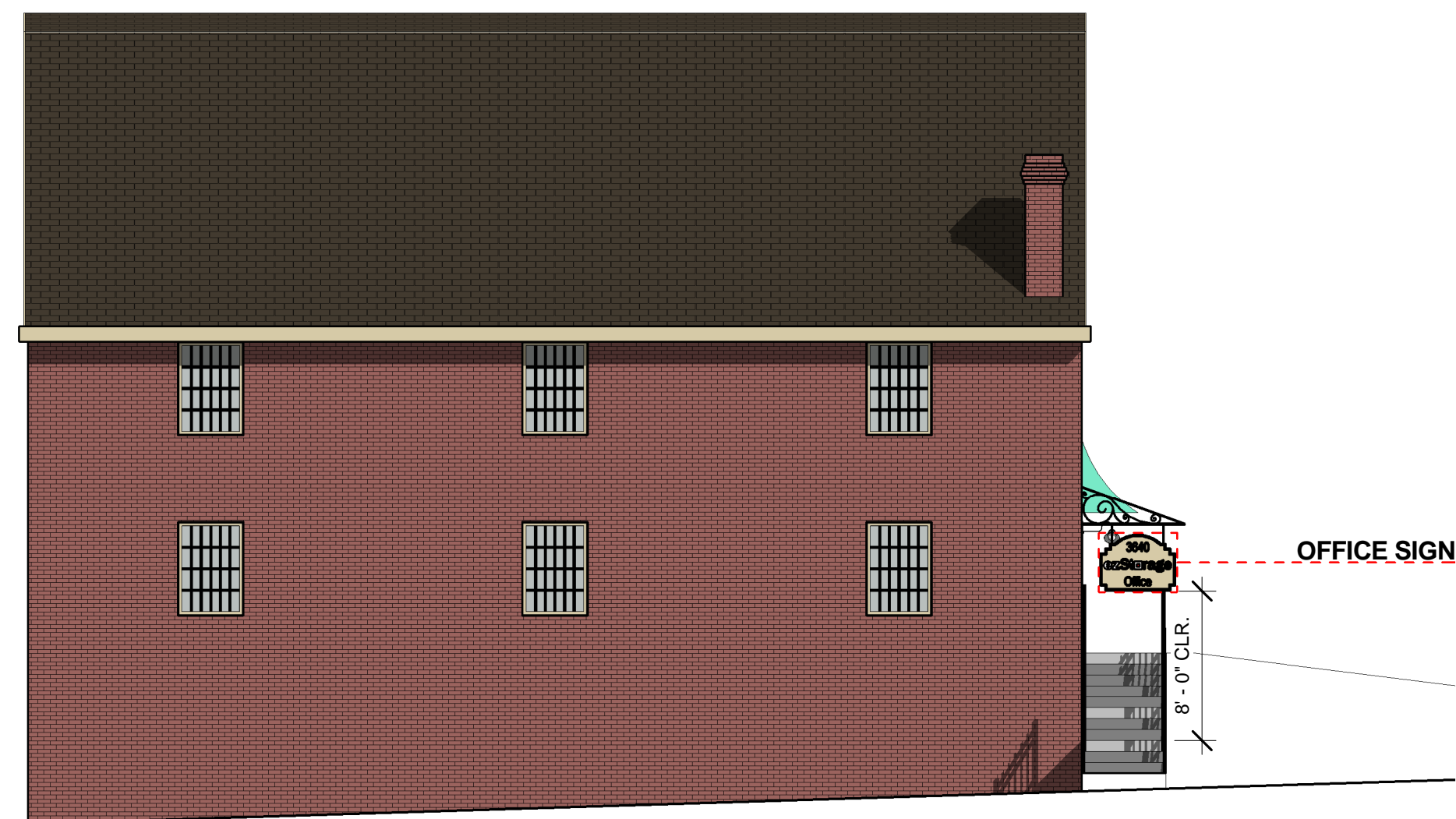
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Columbia, MD 21045

Date: 05/13/15

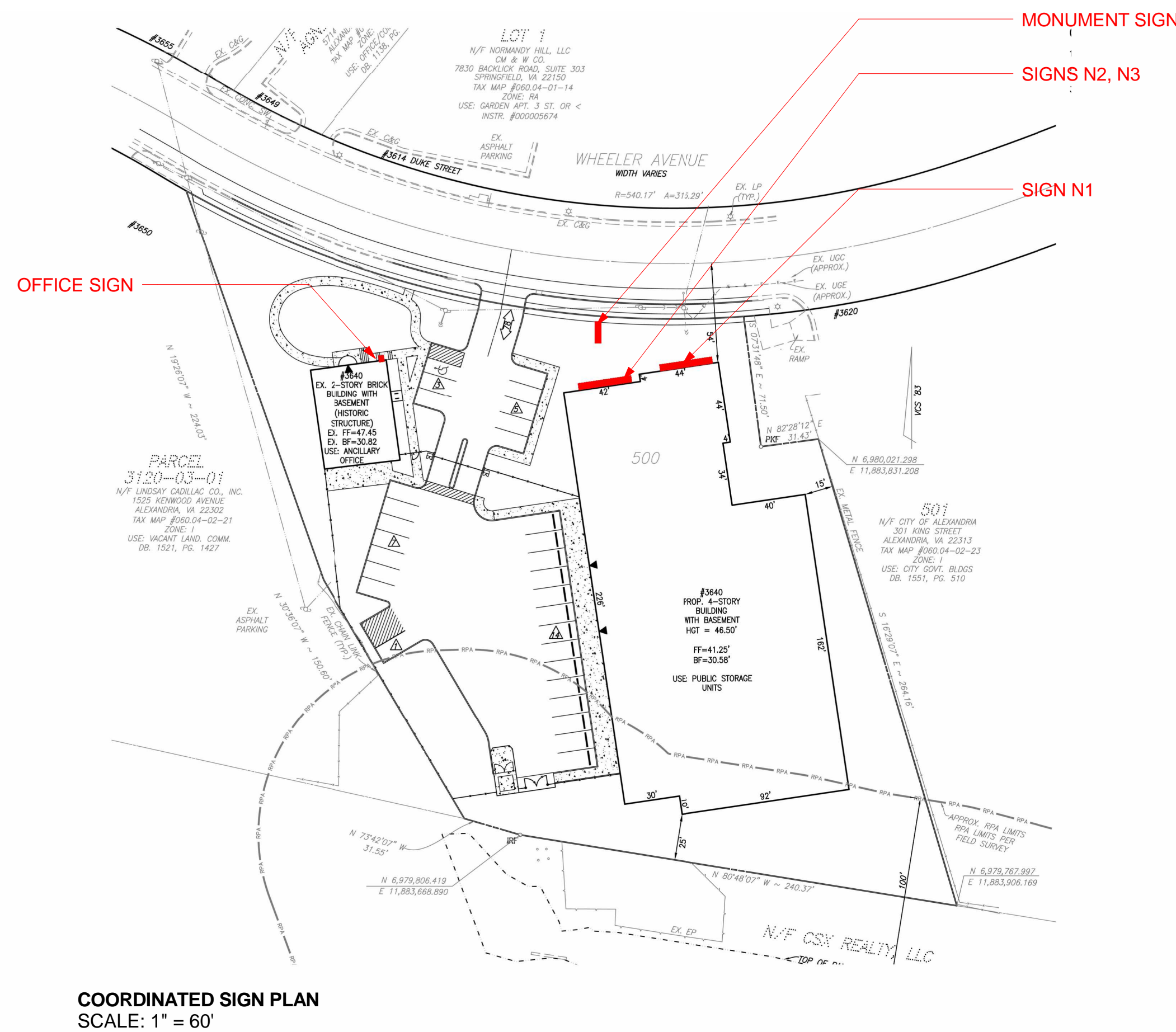
A-5



1 SIGN LOCATION ELEVATION - NORTH
1/8" = 1'-0"



2 EXISTING BUILDING LEFT ELEVATION
1/8" = 1'-0"



SIGN AREA SUMMARY			SIGNAGE CALCULATIONS		
N1	ezStorage	88 SQ. FT.	HISTORIC MILL:		
N2	Climate Controlled	34 SQ. FT.	WHEELER AVE: 42 LF x 1		
N3	Self Storage	28 SQ. FT.	PARKING LOT: 55.67 LF x 1.5		
NEW BUILDING SIGNAGE TOTAL		300 SQ. FT.	= 42 SF		
OFFICE SIGN		12 SQ. FT.	= 111.34 SF		
MONUMENT SIGN		50 SQ. FT.	TOTAL ALLOWED		
			= 153.34 SF		
			TOTAL PROVIDED		
			= 12 SF		
			STORAGE STRUCTURE:		
			WHEELER AVE: 86 LF x 1		
			PARKING LOT: 226 LF x 1.5		
			= 86 SF		
			= 339 SF		
			TOTAL ALLOWED		
			= 425 SF		
			TOTAL PROVIDED		
			= 150 SF		
			MONUMENT SIGN:		
			TOTAL ALLOWED		
			=50 SF		
			TOTAL PROVIDED		
			=50 SF		



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SPECIAL USE PERMIT NO. 2015-0002

DEPARTMENT OF PLANNING & ZONING

SECTION _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

RESTRICTION NO. _____ REEL BOOK NO. _____ DATE _____

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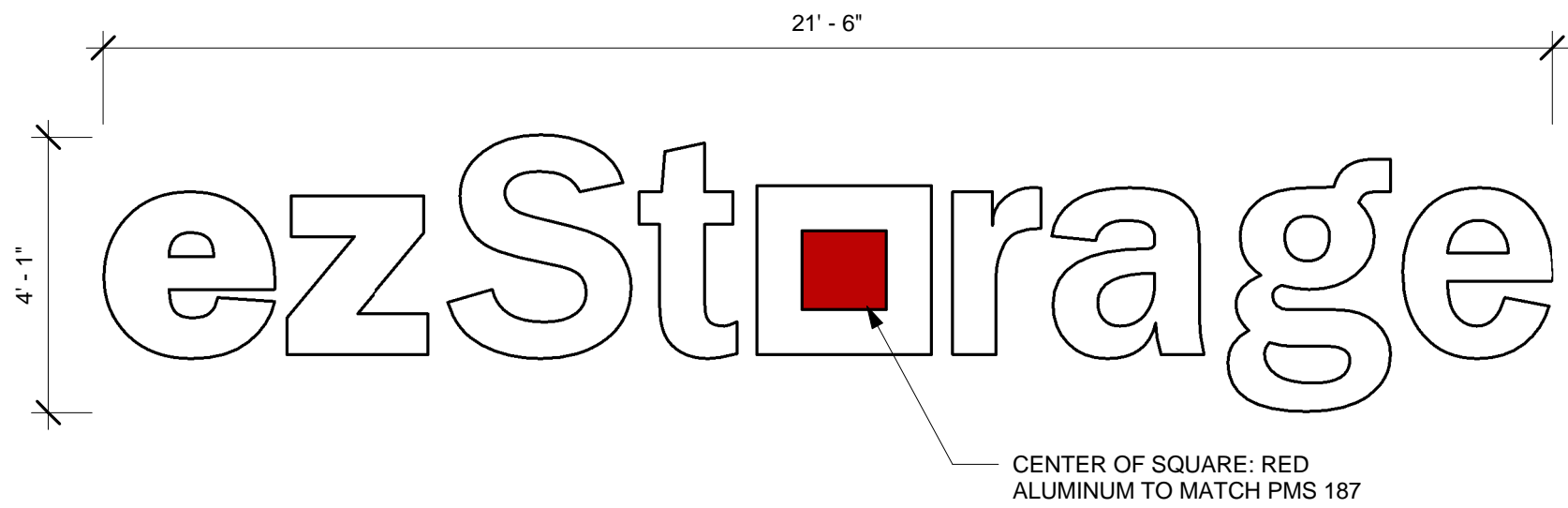
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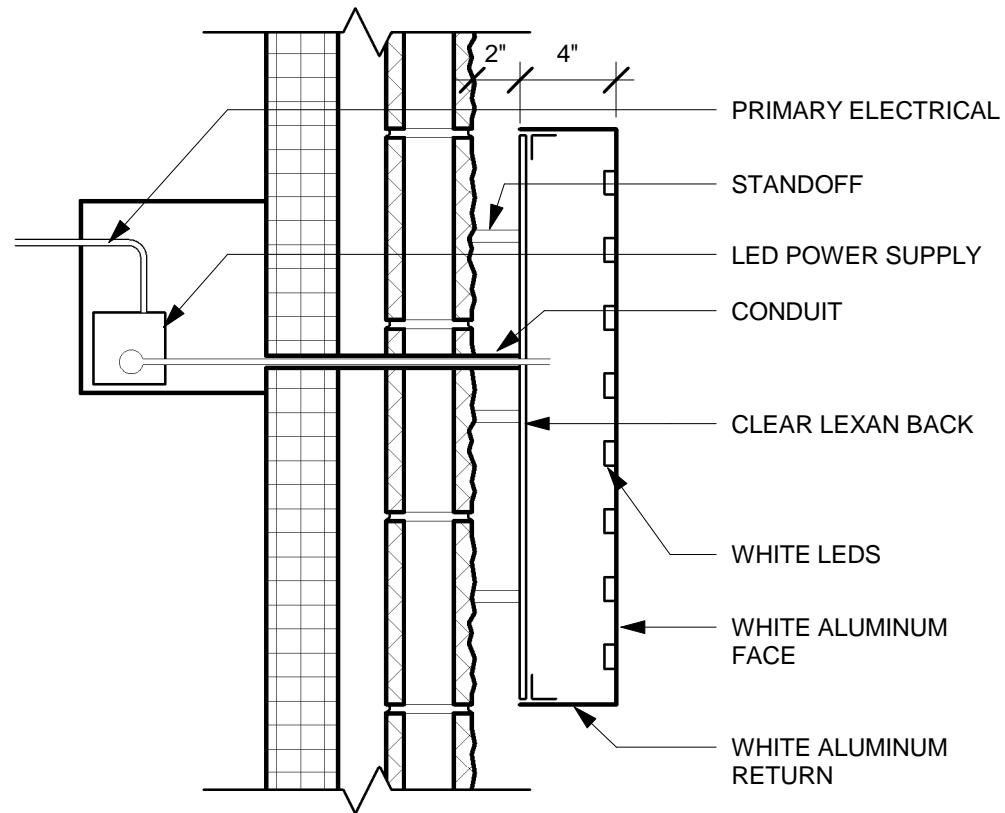
Date: 05/13/15

A-6

SIGN N1
21'-6" x 4'-1" = 88 SQ. FT.

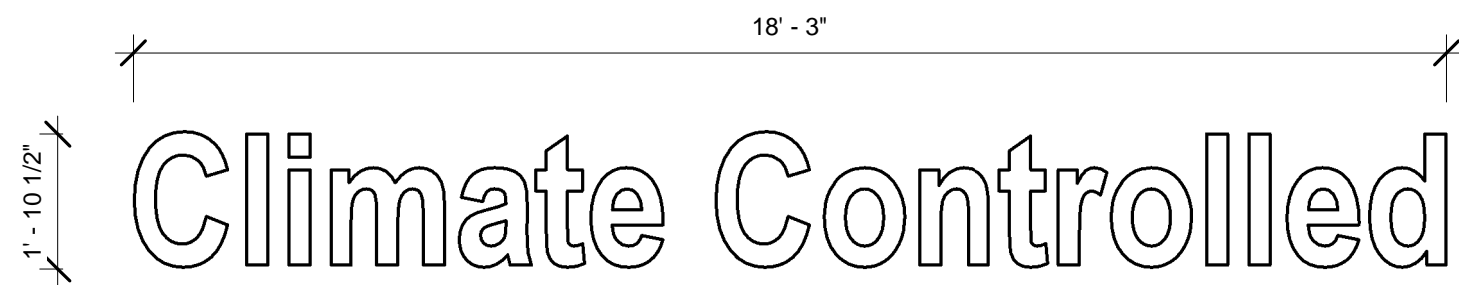


① "ezStorage" SIGN ELEVATION
3/8" = 1'-0"

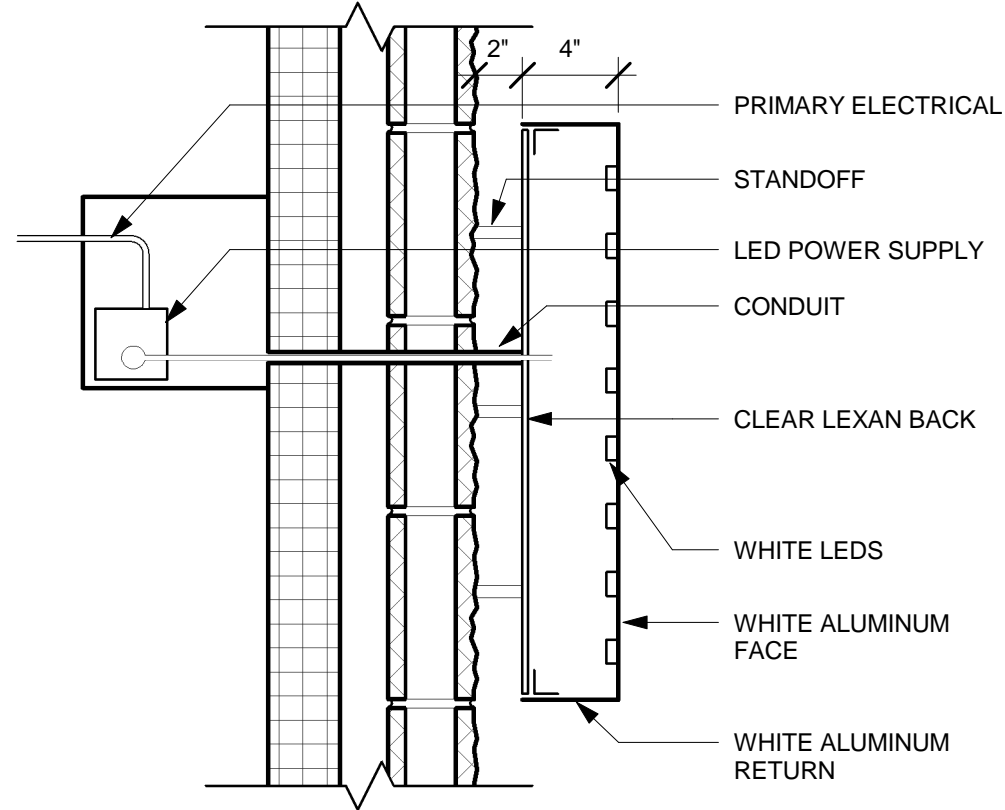


② "ezStorage" SIGN DETAIL
1 1/2" = 1'-0"

SIGN N2
18'-3" x 1'-10 1/2" = 34 SQ. FT.



③ "Climate Controlled" SIGN ELEVATION
3/8" = 1'-0"

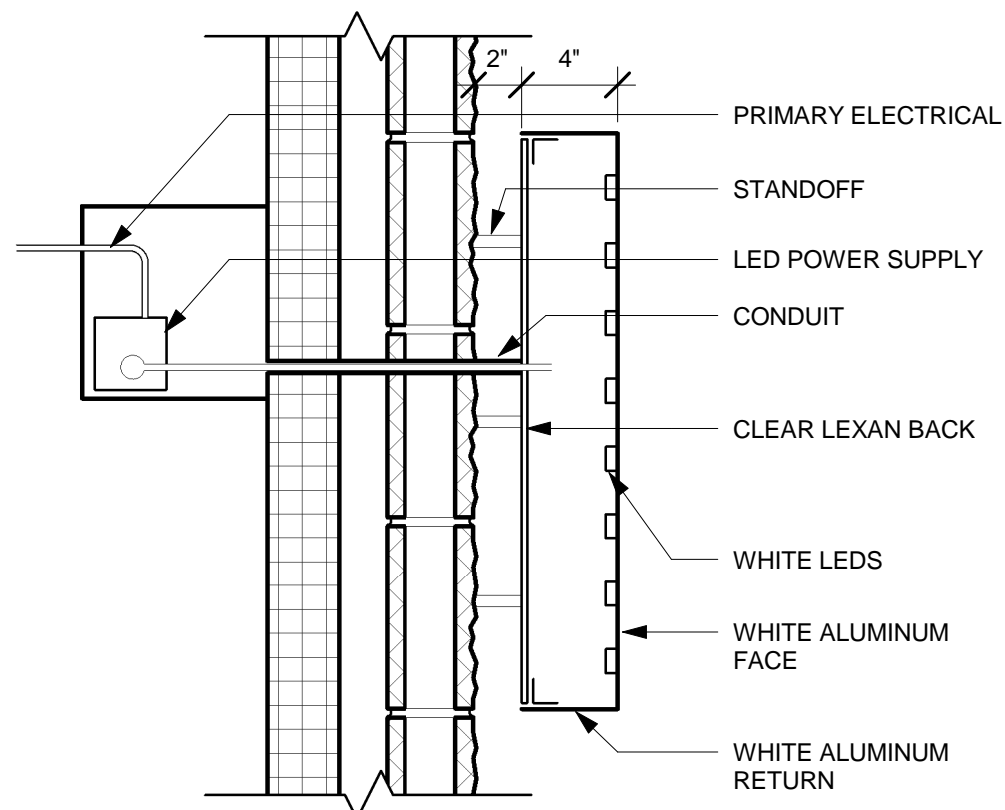


④ "Climate Controlled" SIGN DETAIL
1 1/2" = 1'-0"

SIGNS N3
11'-11" x 2'-4 1/2" = 28 SQ. FT.

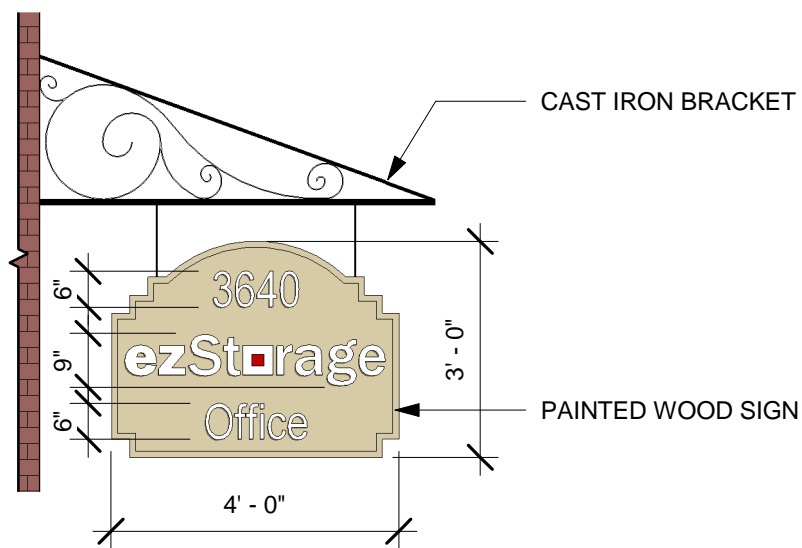


⑤ "Self Storage" SIGN ELEVATION
3/8" = 1'-0"



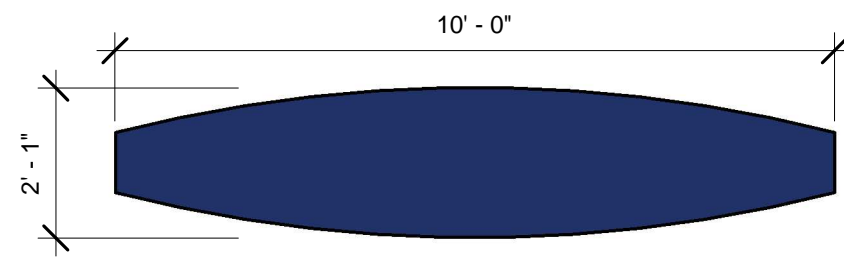
⑥ "Self Storage" SIGN DETAIL
1 1/2" = 1'-0"

OFFICE SIGN
4'-0" x 3'-0" = 12 SQ. FT.

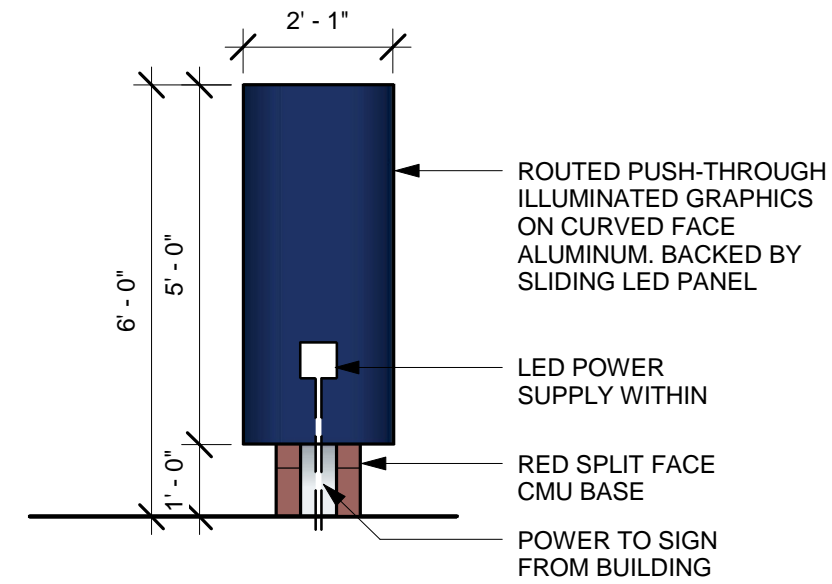


⑦ EXISTING BUILDING SIGN ELEVATION
3/8" = 1'-0"

MONUMENT SIGN
10'-0" x 5'-0" = 50 SQ. FT.



⑧ TWO-SIDED MONUMENT SIGN DETAILS
3/8" = 1'-0"



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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

RESTRICTION NO. _____ RECD BOOK NO. _____ DATE _____

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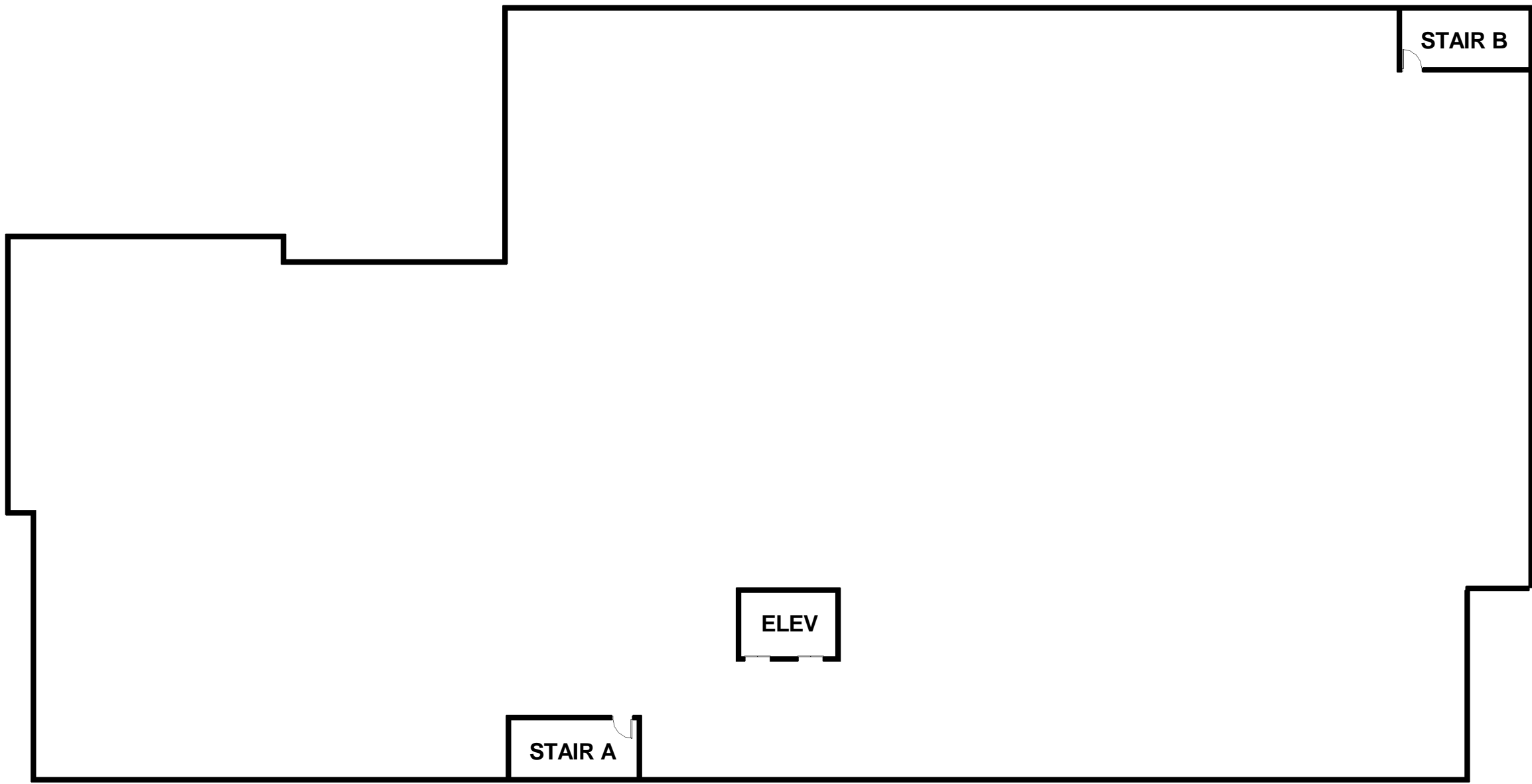
3840 WHEELER AVE
ALEXANDRIA, VA 22304

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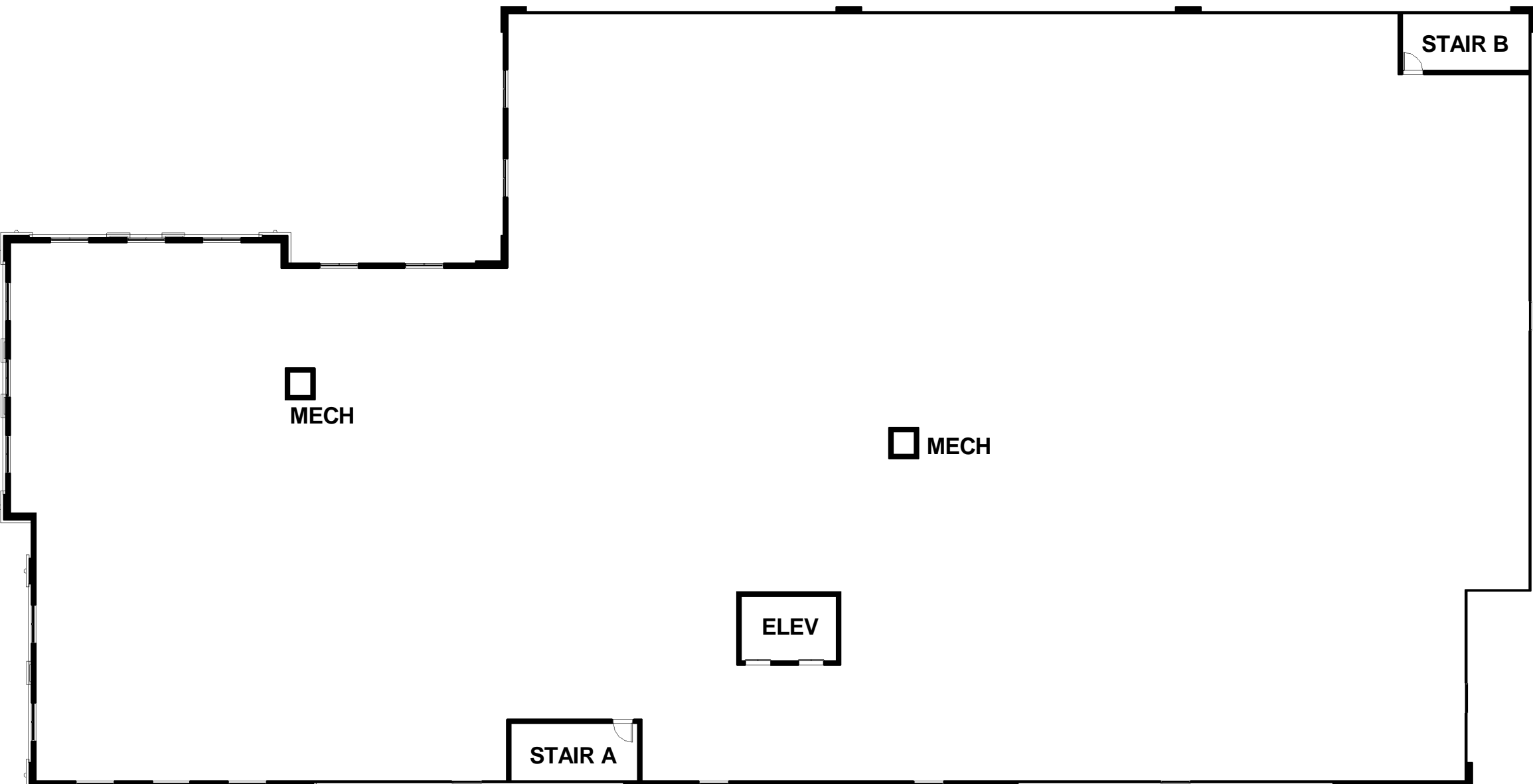
SIENA Corporation
8221 Snowden River Parkway
Columbia, MD 21045

Date: 05/13/15

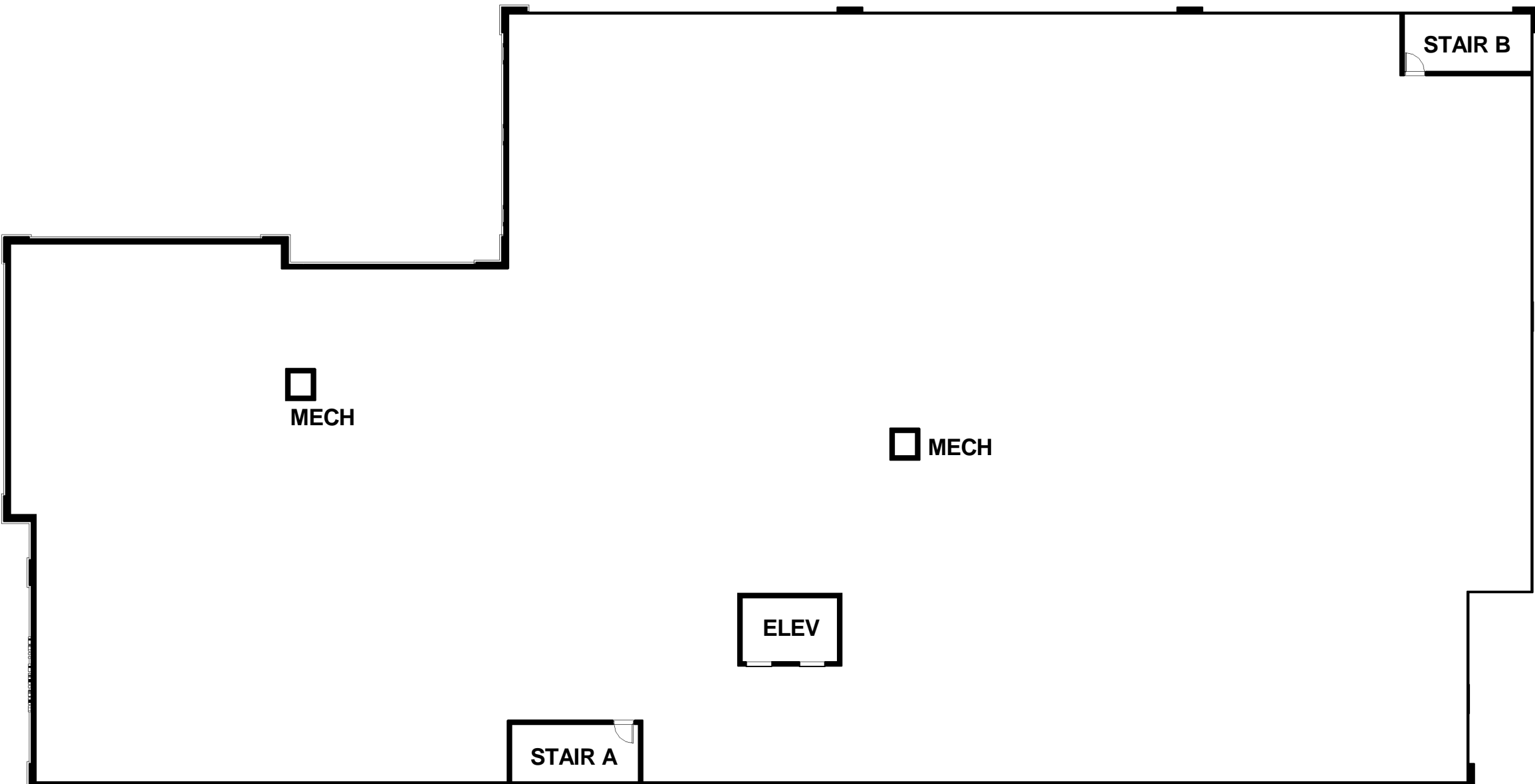
A-7



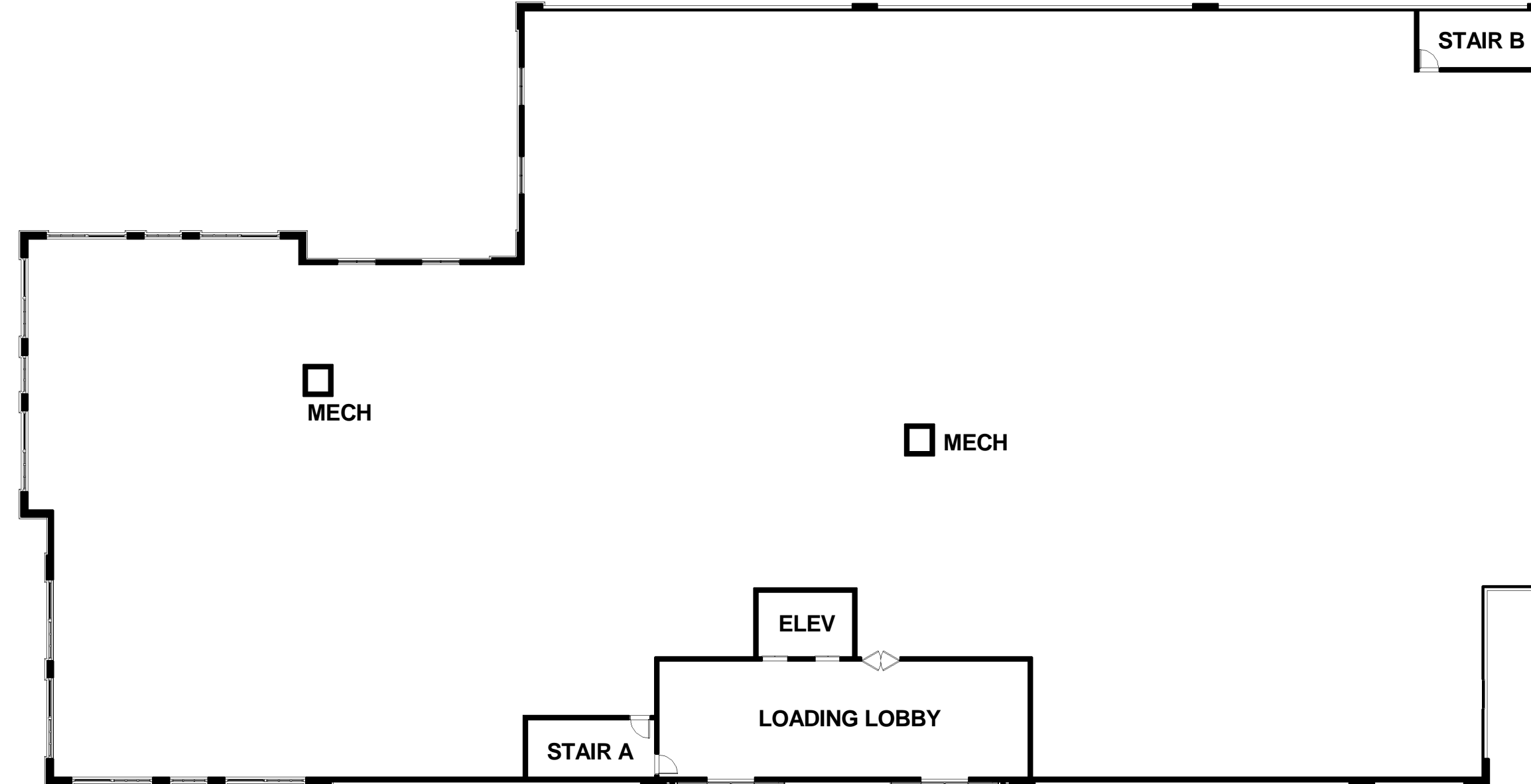
1 BASEMENT FLOOR PLAN
1" = 20'-0"



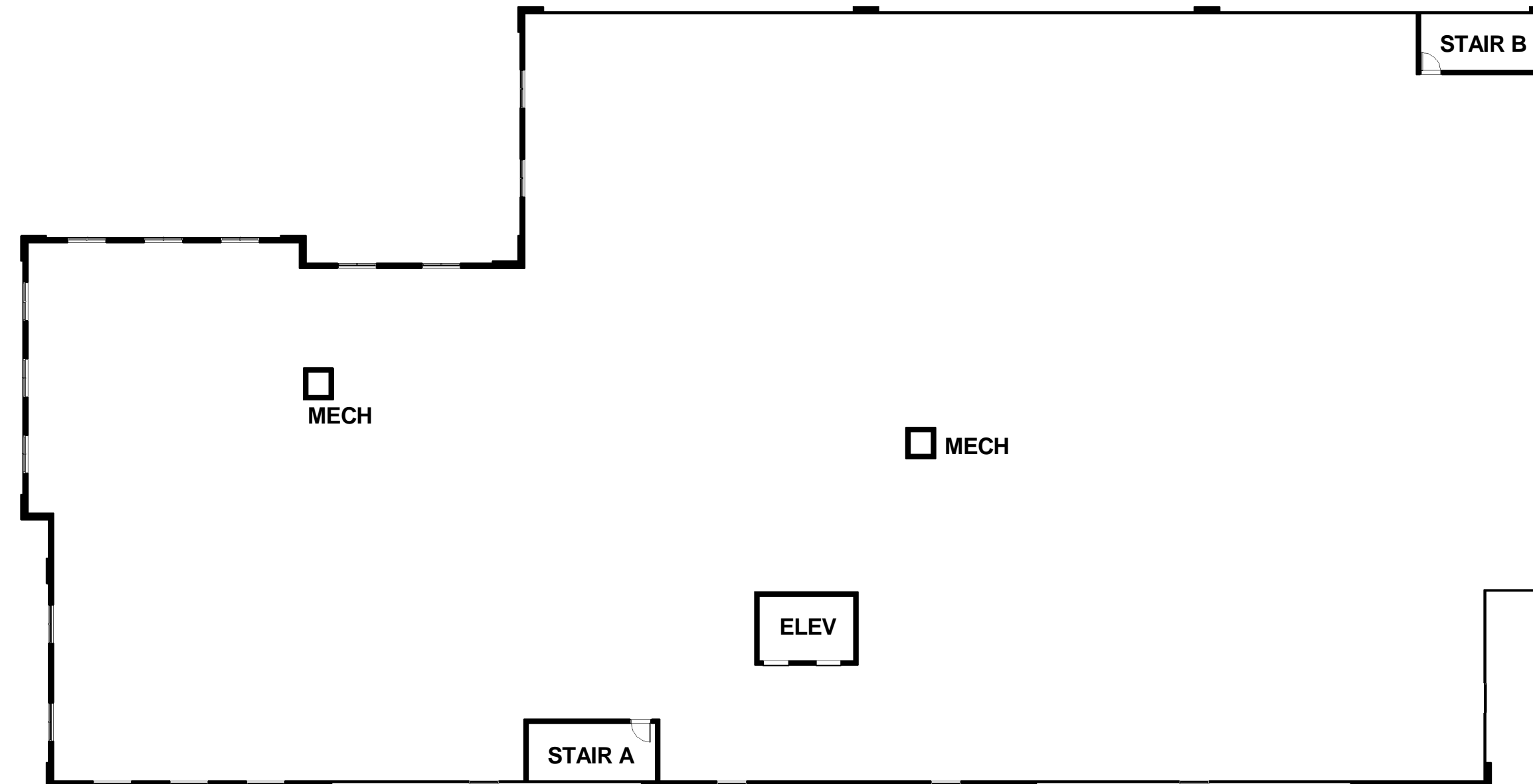
3 SECOND FLOOR PLAN
1" = 20'-0"



5 FOURTH FLOOR PLAN
1" = 20'-0"



2 FIRST FLOOR PLAN
1" = 20'-0"



4 THIRD FLOOR PLAN
1" = 20'-0"



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SPECIAL USE PERMIT NO. 2015-0002	
DEPARTMENT OF PLANNING & ZONING	
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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
CHAIRMAN, PLANNING COMMISSION	
_____ DATE RECORDED	_____ DATE
RESTRICTION NO. _____	REED BOOK NO. _____
_____ DATE	_____ DATE

ezStorage ALEXANDRIA

3640 WHEELER AVE
ALEXANDRIA, VA 22304

ISSUE/REVISION	DATE
PER CITY COMMENTS	06/11/15

SIENA Corporation
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Columbia, MD 21045

Date: 05/13/15

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p:\2015\15026 ez storage alexandria\6.0 cad files\DSUP\L0.01 GENERAL NOTES.dwg

COMMON ABBREVIATIONS			PROFESSIONAL TITLES			LEGEND			GENERAL NOTES		
A	A/C	AIR CONDITIONING	I	ID	INSIDE DIAMETER	ARCH	ARCHITECT				
	AASHTO	AMERICAN ASSOCIATION OF STATE HWY & TRANSPORTATION OFFICIALS		INSTL	INSTALLATION		CIVIL ENGINEER				
	AB	ANCHOR BOLT		INV	INVERT		ENGINEER				
	ABRSV	ABRASIVE		IP	IRON PIPE		GENERAL CONTRACTOR				
	ABV	ABOVE		J	JST		INTERIOR DESIGNER				
	AC	ACRE		JT	JOINT		MECHANICAL/ELECTRICAL/PLUMBING				
	ACD	ACCESS DOOR		L	LAM		LANDSCAPE ARCHITECT				
	AD	AREA DRAIN		LB	POUND		LANDSCAPE CONTRACTOR				
	ADA	AMERICAN WITH DISABILITIES ACT		LBR	LUMBER		STRUCTURAL ENGINEER				
	ADEN	ADDENDA, ADDENDUM		LH	LEFT HAND						
	ADD	ADDITIONAL		LD	LIMITS OF DISTURBANCE						
	ADH	ADHESIVE		LOS	LINE OF SIGHT						
	ADJ	ADJACENT		LOW	LIMITS OF WORK						
	ADJT	ADJUSTABLE		LTP	LIGHT POLE						
	A-E	ARCHITECT-ENGINEER		LP	LOW POINT						
	AFF	ABOVE FINISH FLOOR		LS	LANDSCAPE						
	AFG	ABOVE FINISH GRADE		LT	LIGHT						
	AGGR	AGGREGATE		LTG	LIGHTING						
	ALUM	ALUMINUM		LVL	LEVEL						
	ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE		M	MASONRY						
	APPROX	APPROXIMATE		MATL	MATERIAL						
B	APT	APARTMENT		MAX	MAXIMUM						
	ASPH	ASPHALT		MECH	MECHANICAL						
	ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS		MED	MEDIUM						
	AVE	AVENUE		MET	METAL						
	B&B	BALL AND BURLAP		METB	METAL BASE						
	BC	BOTTOM OF CURB, BOTTOM OF COLUMN		MFG	MANUFACTURING						
	BE	BEAM		MH	MANHOLE						
	BITUM	BITUMINOUS		MIN	MINIMUM						
	BL	BASLINE		MISC	MISCELLANEOUS						
	BLDG	BUILDING		MLDG	MOLDING						
	BLK	BLOCK		MTG	MOUNTING						
	BLVD	BOULEVARD		MULL	MULLION						
	BM	BENCHMARK		MUTCD	MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES						
	BMP	BEST MANAGEMENT PRACTICES		N	NORTH						
	BOC	BACK OF CURB		N/A	NOT APPLICABLE						
	BP	BREAK POINT		NIC	NOT IN CONTRACT						
	BRK	BRICK		NO	NUMBER						
	BRKT	BRACKET		NOM	NOMINAL						
	BRL	BUILDING RESTRICTION LINE		NTS	NOT TO SCALE						
	BS	BOTTOM OF STEP		O	OVERALL						
C	BSMT	BASEMENT		OA	ON CENTER						
	BTWN	BETWEEN		OC	OUTSIDE DIAMETER						
	BW	BOTTOM OF WALL		OD	OPENING						
	BEV	BEVEL		OPNG	OPTIONAL						
	CB	CATCH BASIN		OPT	ORIGINAL						
	CC	CENTER TO CENTER		ORIG	ORIGINAL						
	CEM	CEMENT		P	PARALLEL						
	CI	CAST IRON		PAR	PERPENDICULAR						
	CIP	CAST IRON PIPE		PERP	POINT OF INTERSECTION						
	CIPC	CAST-IN-PLACE CONCRETE		PI	PUBLIC IMPROVEMENT EASEMENT						
	CJ	CONTROL JOINT		PIE	PARKWAY						
	CL	CENTER LINE		PKWY	PROPERTY LINE						
	CLO	CLOSET		PL	PLUMBING						
	CLR	CLEAR		PLBG	PLYWOOD						
	CMU	CONCRETE MASONRY UNIT		PLYWD	PANEL						
	COL	COLUMN		PNL	PANEL						
	CONC	CONCRETE		PNT	PAINT						
	CONN	CONNECTION		POB	POINT OF BEGINNING						
	CONST	CONSTRUCTION		PR	PAIR						
	CONT	CONTINUOUS		PRCST	PRECAST						
	COORD	COORDINATE		PRELIM	PRELIMINARY						
D	DF	DRINKING FOUNTAIN		PRKG	PARKING						
	DIA	DIAMETER		PROP	PROPOSED						
	DIM	DIMENSION		PSF	POUNDS PER SQUARE FOOT						
	DIST	DISTANCE		PSI	POUNDS PER SQUARE INCH						
	DR	DRIVE		PT	PRESSURE TREATED						
	DRN	DRAIN		PTD	PAINTED						
	DWG	DRAWING		PUE	PUBLIC UTILITY EASEMENT						
	DEMO	DEMOLITION		PVMT	PAVEMENT						
	DET	DETAIL		R	RISER, RADIUS						
	DI	DROP INLET		RC	REINFORCED CONCRETE						
	DN	DOWN		RD	ROAD						
	DS	DOWNSPOUT		RDWY	ROADWAY						
	DT	DRAIN TILE		REC	RECESSED						
	DWL	DOWEL		REF	REFERENCE						
	E	EAST		REQD	REQUIRED						
	EA	EACH		RFD	ROOF DRAIN						
	ELEC	ELECTRICAL		RH	RIGHT HAND						
	ELEC P	ELECTRICAL PANEL		RIM	DRAIN INLET RIM ELEVATION						
	ELEV	ELEVATION		RLG	RAILING						
	ENCL	ENCLOSURE		RM	ROOM						
E	ENTR	ENTRANCE		RND	ROUND						
	EP	EDGE OF PAVEMENT		ROW	RIGHT OF WAY						
	EQ	EQUAL		RP	RADIUS POINT						
	EQ L SP	EQUALLY SPACED		RPA	RESOURCE PROTECTION AREA						
	EQUIP	EQUIPMENT		RTE	ROUTE						
	ESMT	EASEMENT		S	SOUTH						
	ETD	EXISTING TO BE DEMOLISHED		SD	SURFACE DRAIN						
	ETR	EXISTING TO REMAIN		SECT	SECTION						
	ETRL	EXISTING TO BE RELOCATED		SGL	SINGLE						
	ETRP	EXISTING TO BE REPLACED		SJ	SCORED JOINT						
	EW	EACH WAY		SLP	SLOPE						
	EX	EXISTING		SM	SMOOTH						
	EXP	EXPANSION		SPEC	SPECIFICATION						
	EXT	EXTERIOR		SQ FT	SQUARE FOOT						
	F	FLOOR AREA RATIO		SQ IN	SQUARE INCH						
	FBD	FIBER BOARD		SST	STAINLESS STEEL						
	FD	FLOOR DRAIN		ST	STREET						
	FDN	FOUNDATION		STA	STATION POINT						
	FFE	FINISHED FLOOR ELEVATION		STD	STANDARD						
F	FIN	FINISH		STL	STEEL						
	FIN FL	FINISH FLOOR		STM	STORM DRAIN						
	FIN GR	FINISH GRADE		SW	SIDEWALK						
	FN	FENCE		SWM	STORM WATER MANAGEMENT						
	FOC	FRONT OF CURB		T	TONGUE AND GROOVE						
	FT	FOOT/FEET		T&G	TOP OF CURB, TOP OF COLUMN						
	FTG	FOOTING		TD	TRENCH DRAIN						
	FUT	FUTURE		TEMP	TEMPORARY						
	FXTR	FIXTURE		TS	TOP OF STEP						
	G	GAUGE		TW	TOP OF WALL						
	GAB	GRADED AGGREGATE BASE		TXT	TEXT						
	GALV	GALVANIZED		TYP	TYPICAL						
	GC	GENERAL CONTRACTOR		U	UNFINISHED						
	GDR	GUARD RAIL		W	WEST						
	GFA	GROSS FLOOR AREA		WD	WOOD						
	GIP	GALVANIZED IRON PIPE		WI	WROUGHT IRON						
	GL	GLASS		WLD	WELDED						
	GP	GUTTER PAN		WP	WATER PROOFING						
	GVL	GRAVEL		WR	WATER RESISTANT						
H	HB	HOSE BIBB		WWM	WELDED WIRE MESH						
	HC	HANDICAP PARKING SPACE		WWR	WELDED WIRE REINFORCEMENT						
	HDPE	HIGH DENSITY POLYETHYLENE PIPE		Y	YARD DRAIN						
	HDWD	HARDWOOD									
	HDWE	HARDWARE									
	HT	HEIGHT									
	HNDRL	HANDRAIL									
	HORZ	HORIZONTAL									
	HP	HIGH POINT									
	HS										

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LANDSCAPE GUIDELINES:

1. ALL PROTECTION AND PRESERVATION MEASURES FOR EXISTING VEGETATION, INCLUDING MAINTENANCE SHALL BE APPROVED BY THE CITY ARBORIST IN-FIELD PRIOR TO COMMENCEMENT OF ANY SITE DISTURBING ACTIVITY.
2. SPECIFICATION FOR ALL PLANTINGS SHALL BE IN ACCORDANCE WITH THE CURRENT AND MOST UP TO DATE EDITION OF ANSI-Z60.1, THE AMERICAN STANDARD FOR NURSERY STOCK AS PRODUCED BY THE AMERICAN ASSOCIATION OF NURSEYMEN; WASHINGTON, DC.
3. THE APPLICANT HAS MADE SUITABLE ARRANGEMENTS FOR PRE-SELECTION TAGGING, PRE-CONTRACT GROWING, OR IS UNDERTAKING SPECIALIZED PLANTING STOCK DEVELOPMENT WITH A NURSERY OR GROWER THAT IS CONVENIENTLY LOCATED TO THE PROJECT SITE, OTHER PROCEDURES THAT WILL ENSURE AVAILABILITY OF SPECIFIED MATERIALS. IN THE EVENT THAT SHORTAGES AND/OR INABILITY TO OBTAIN SPECIFIED PLANTINGS OCCURS, REMEDIAL EFFORTS INCLUDING SPECIES CHANGES, ADDITIONAL PLANTINGS AND MODIFICATION TO THE LANDSCAPE PLAN SHALL BE UNDERTAKEN BY THE APPLICANT. ALL REMEDIAL EFFORTS SHALL, WITH PRIOR APPROVAL BY THE CITY, BE PERFORMED TO THE SATISFACTION OF THE DIRECTORS OF PLANNING & ZONING, RECREATION, PARKS & CULTURAL ACTIVITIES AND TRANSPORTATION & ENVIRONMENTAL SERVICES.
4. IN LIEU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA; GAITHERSBURG, MARYLAND.
5. PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATIONS, A PRE-INSTALLATION/CONSTRUCTION MEETING WILL BE SCHEDULED WITH THE CITY'S ARBORIST AND LANDSCAPE ARCHITECTS TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES.
6. MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED IN PERPETUITY. IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND/OR AS CONDITIONED BY PROJECT APPROVAL
7. A CERTIFICATION LETTER FOR TREE WELLS, TREE TRENCHES AND PLANTINGS ABOVE STRUCTURE SHALL BE PROVIDED BY THE PROJECT'S LANDSCAPE ARCHITECT. THE LETTER SHALL CERTIFY THAT ALL BELOW GRADE CONSTRUCTION IS IN COMPLIANCE WITH APPROVED DRAWINGS AND SPECIFICATIONS. THE LETTER SHALL BE SUBMITTED TO THE CITY ARBORIST AND APPROVED PRIOR TO APPROVAL OF THE LAST AND FINAL CERTIFICATE OF OCCUPANCY FOR THE PROJECT. THE LETTER SHALL BE SUBMITTED BY THE OWNER/APPLICANT/SUCCESSOR AND SEALED AND DATED AS APPROVED BY THE PROJECT'S LANDSCAPE ARCHITECT.
8. AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION/WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.

ARCHAEOLOGY NOTES

1. CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AN RECORDS THE FINDS.
2. THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.
3. ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

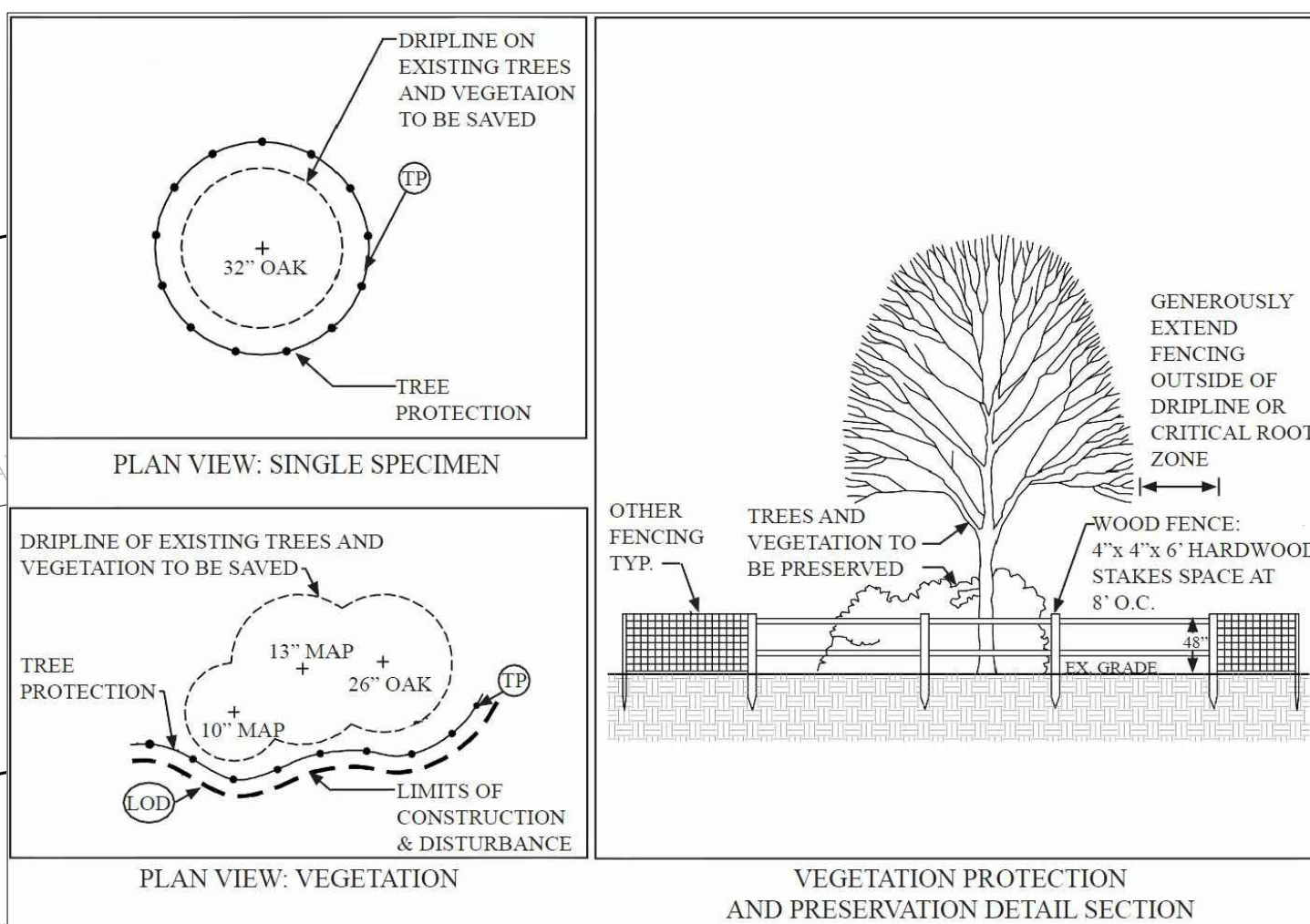
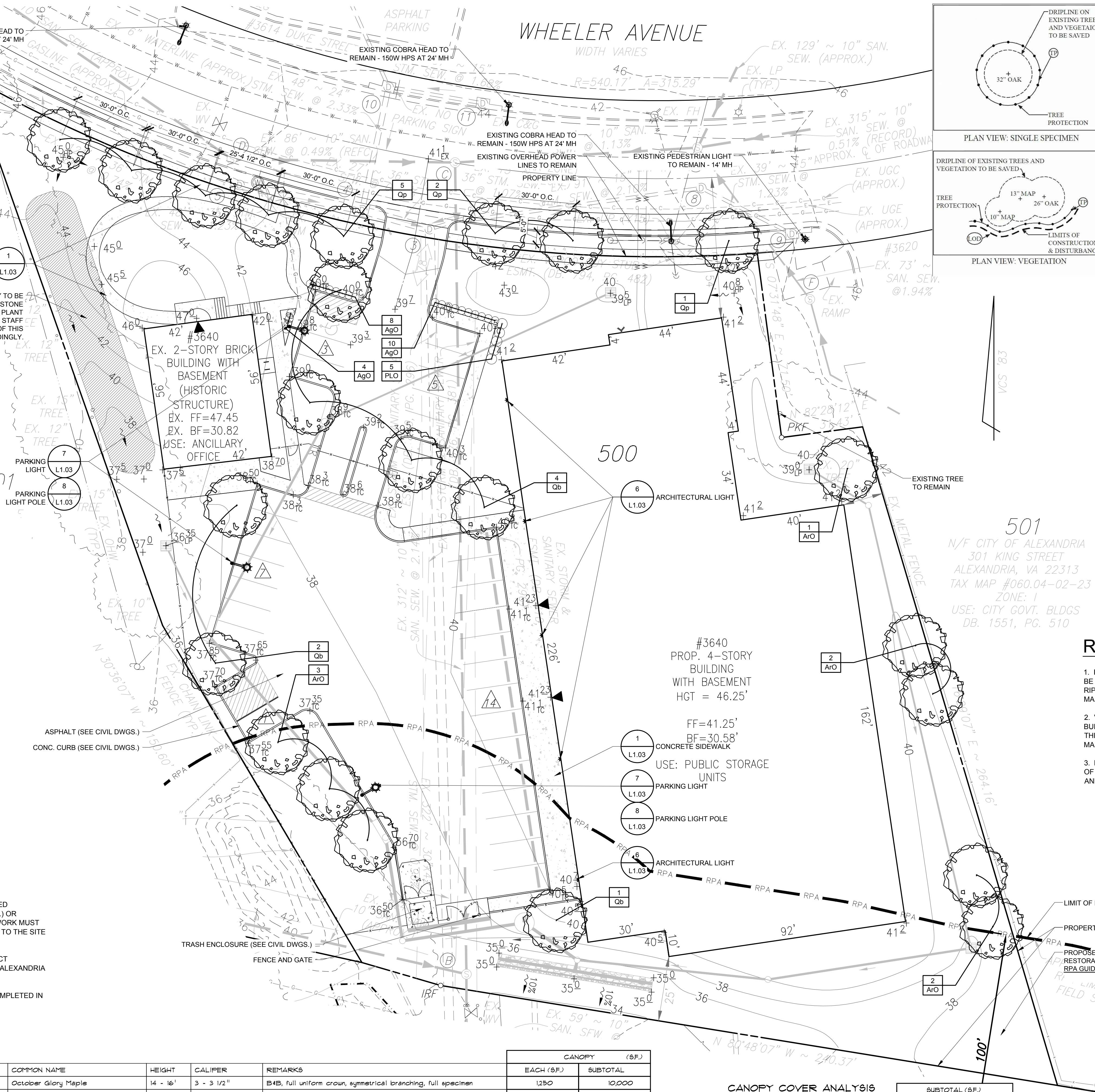
PLANT LIST

TREES

QTY	KEY	GENUS	SPECIES	VARIETY	COMMON NAME	HEIGHT	CALIPER	REMARKS	CANOPY (SF.)	
									EACH (SF.)	SUBTOTAL
8	ArO	Acer	rubrum	'October Glory'	October Glory Maple	14 - 16'	3 - 3 1/2"	B4B, full uniform crown, symmetrical branching, full specimen	1250	10,000
7	Qb	Quercus	borealis		Northern Red Oak	14 - 16'	3 - 3 1/2"	B4B, full uniform crown, symmetrical branching, full specimen	1250	8,750
8	Qp	Quercus	phellos		Willow Oak	14 - 16'	3 - 3 1/2"	B4B, full uniform crown, symmetrical branching, full specimen	1250	6,250

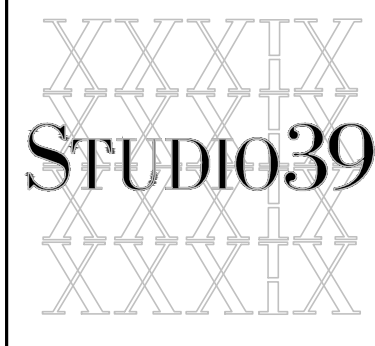
SHRUBS

QTY	KEY	GENUS	SPECIES	VARIETY	COMMON NAME	HEIGHT	CALIPER	REMARKS	EACH (SF.)	SUBTOTAL
5	FLO	Prunus	laurocerasus	'Otto Luykens'	Otto Luykens Cherry Laurel	18 - 24"	18 - 24"	#3 cont, healthy, vigorous, well-rooted & established in container	2	10
22	AgO	Abelia	x grandiflora	'Rose Creek'	Rose Creek Abelia	12 - 15"	18 - 24"	#2 cont, healthy, vigorous, well-rooted & established in container	2	44



RPA GUIDELINES & NOTES

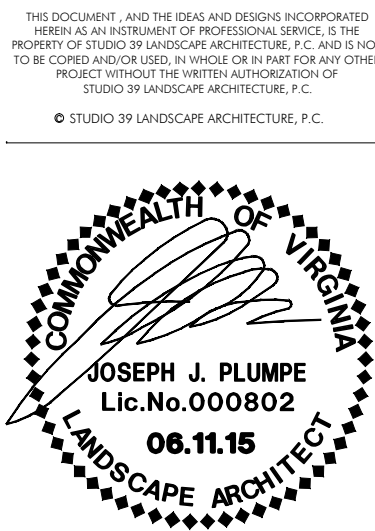
1. INVASIVE PLANTS ARE TO BE REMOVED FROM THE AREA TO BE REPLANTED WITH NATIVE SPECIES PER 'APPENDIX A' OF THE RIPARIAN BUFFERS MODIFICATION & MITIGATION GUIDANCE MANUAL.
2. VEGETATIVE RESTORATION AND ESTABLISHMENT OF THE BUFFER AREA TO FOLLOW THE STANDARDS OF 'APPENDIX D' OF THE RIPARIAN BUFFERS MODIFICATION & MITIGATION GUIDANCE MANUAL.
3. PROPOSED PLANT DENSITY WILL APPROXIMATELY CONSIST OF 25% CANOPY TREES, 25% SUB-CANOPY TREES AND SHRUBS AND 50% SHRUB/SAPPLINGS.



Landscape Architecture, P.C.

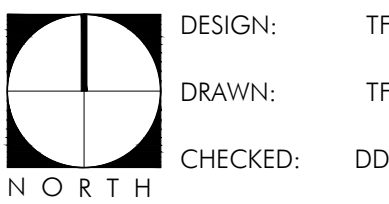
6416 Grandville Drive, Suite 100-A
Alexandria, Virginia 22310
Tel: 703.719.6500 Fax: 703.719.6503
Email: frontdesk@studio39.com

EZ STORAGE ALEXANDRIA
CITY OF ALEXANDRIA, VIRGINIA



REVISIONS:
REVISED PER
CITY COMMENTS 06.11.15

OVERALL
LANDSCAPE PLAN



SCALE: 1" = 20'-0"

PROJECT NO: 15026

DATE: 05.13.15

L1.01

DSUP

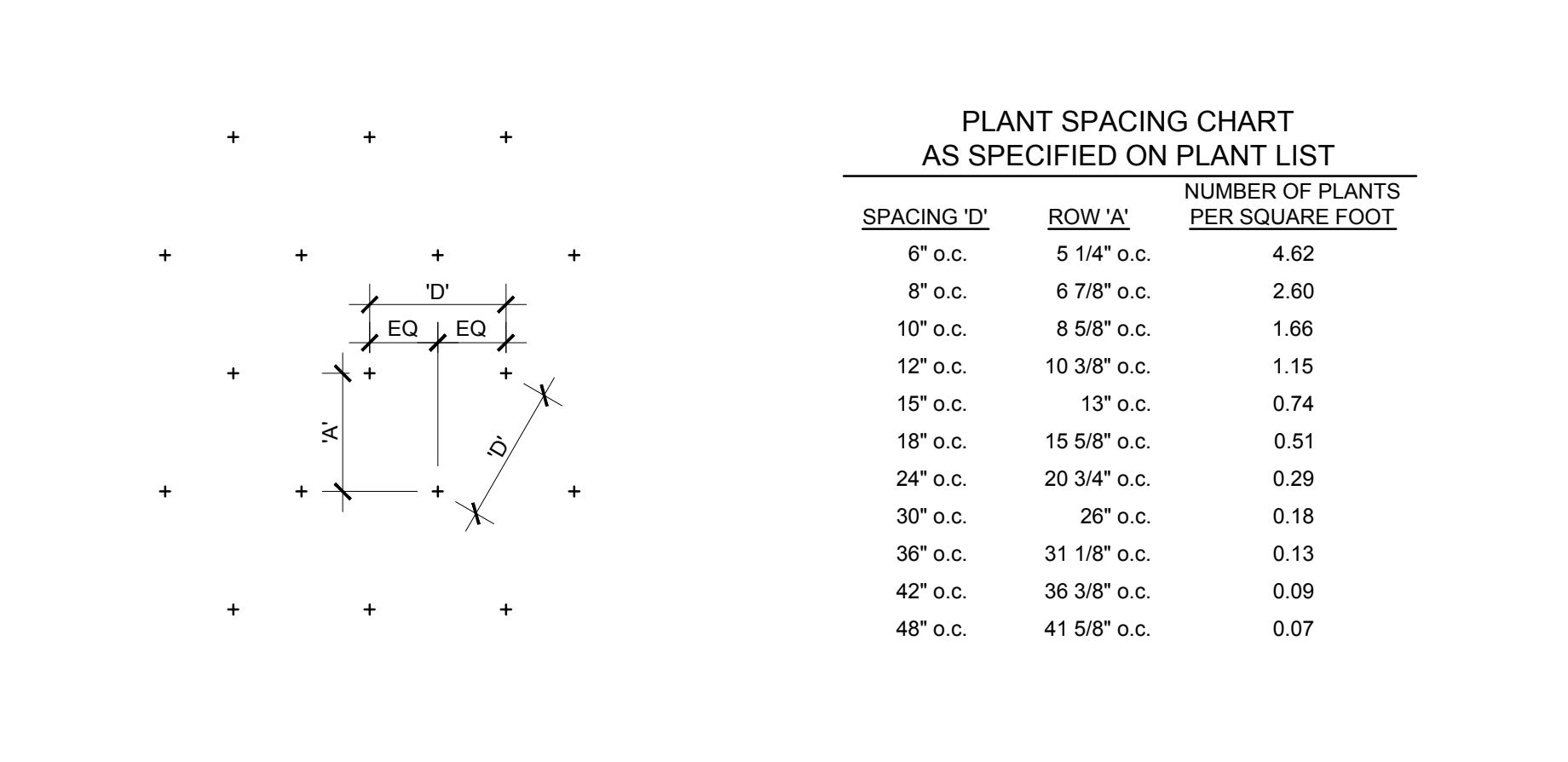
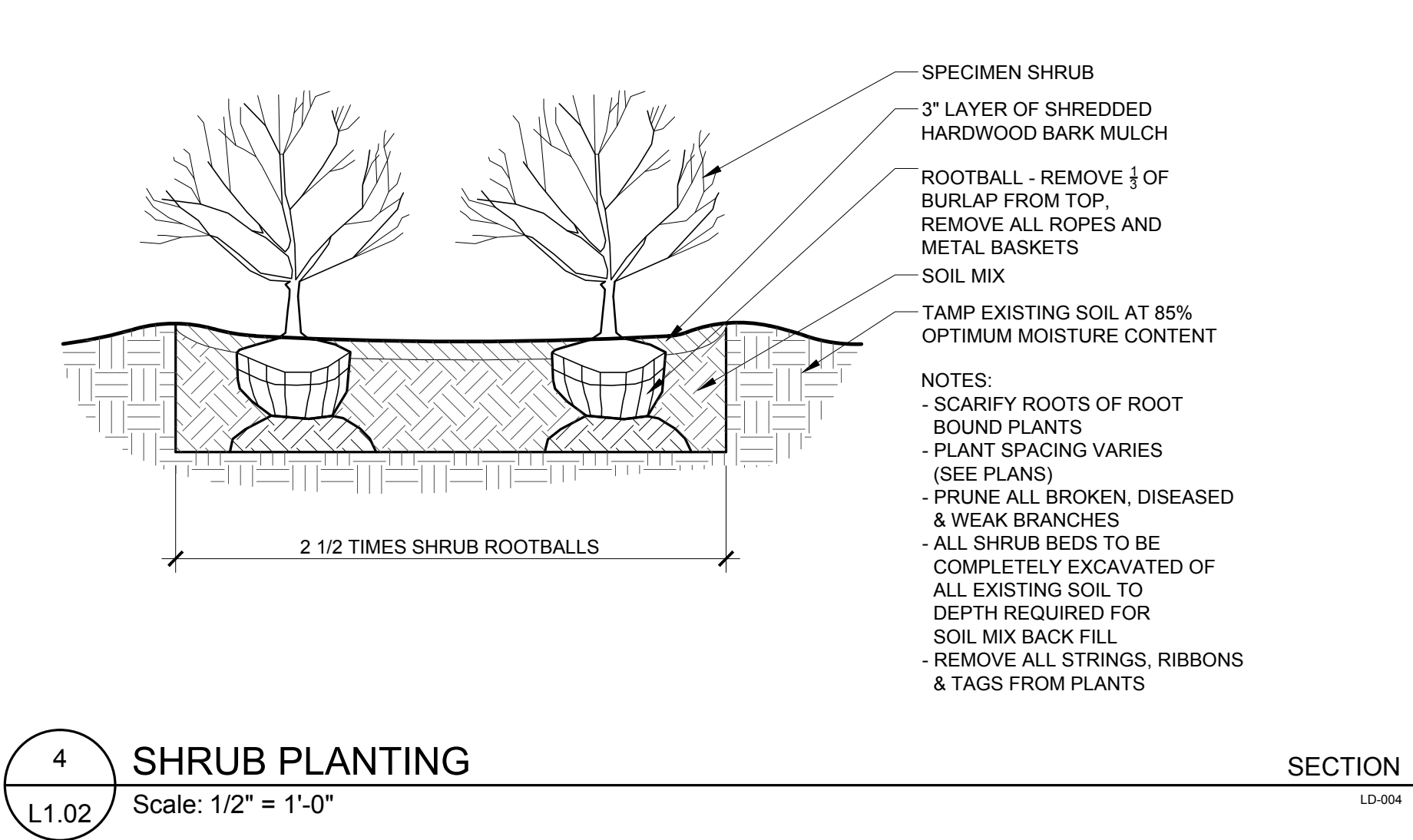
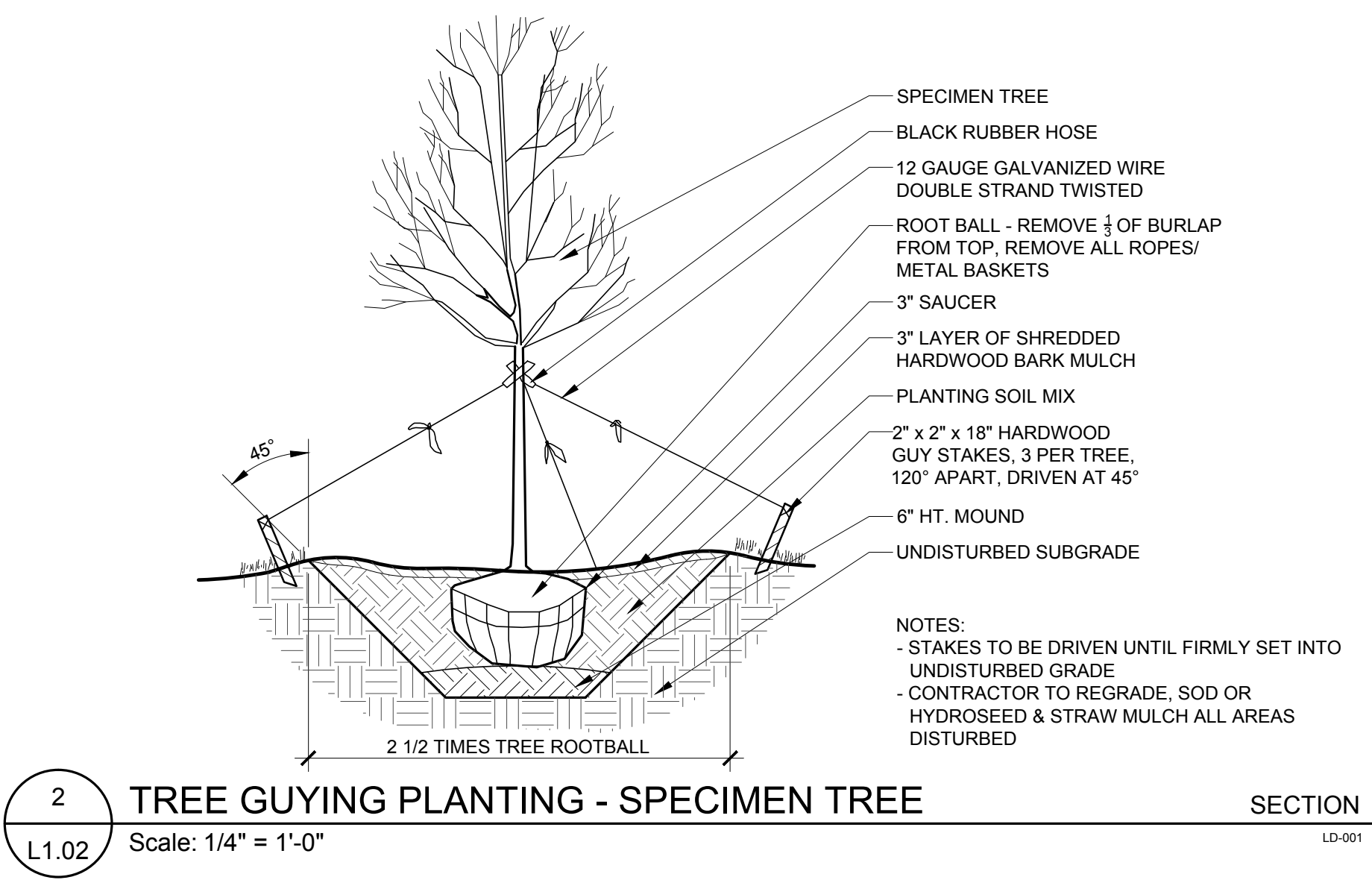
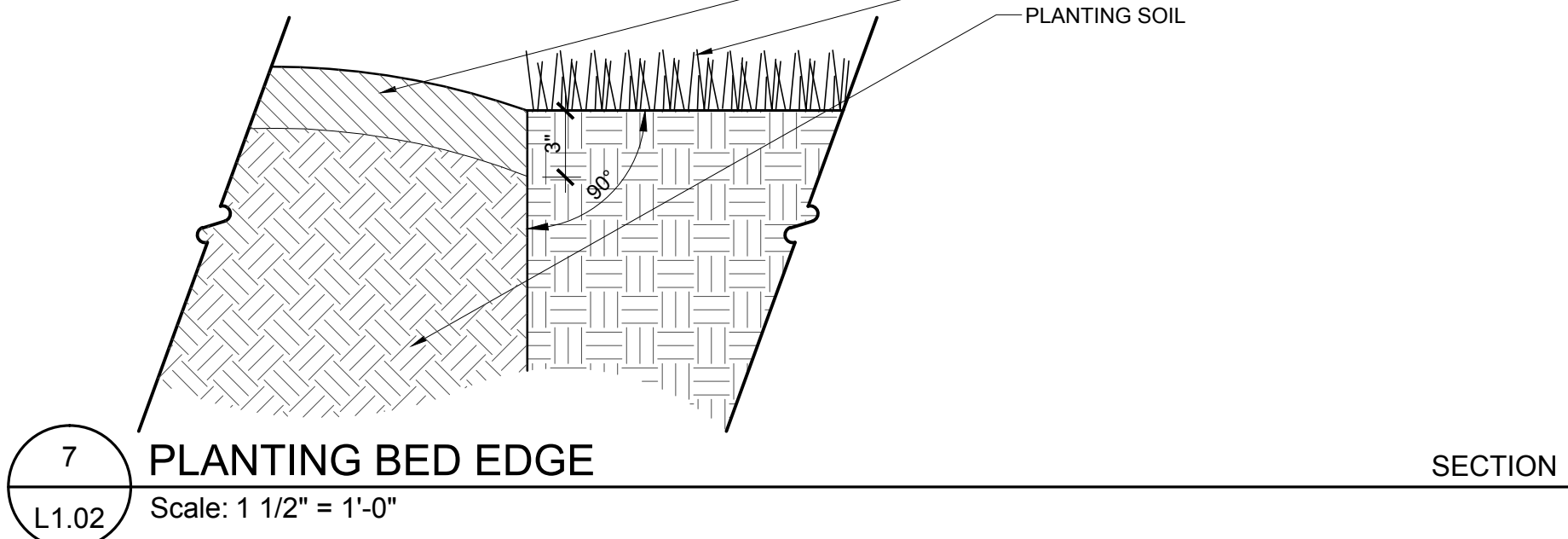
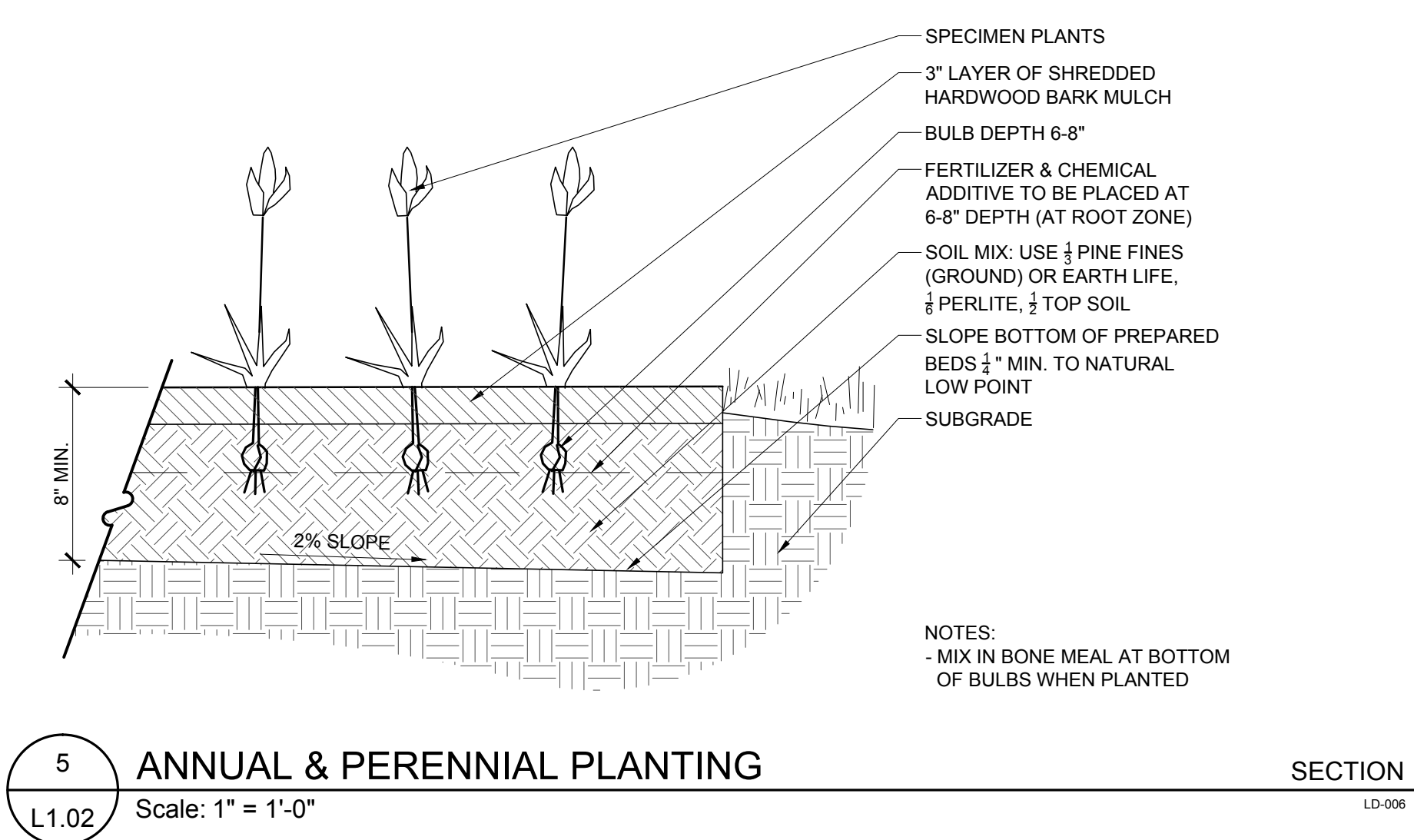
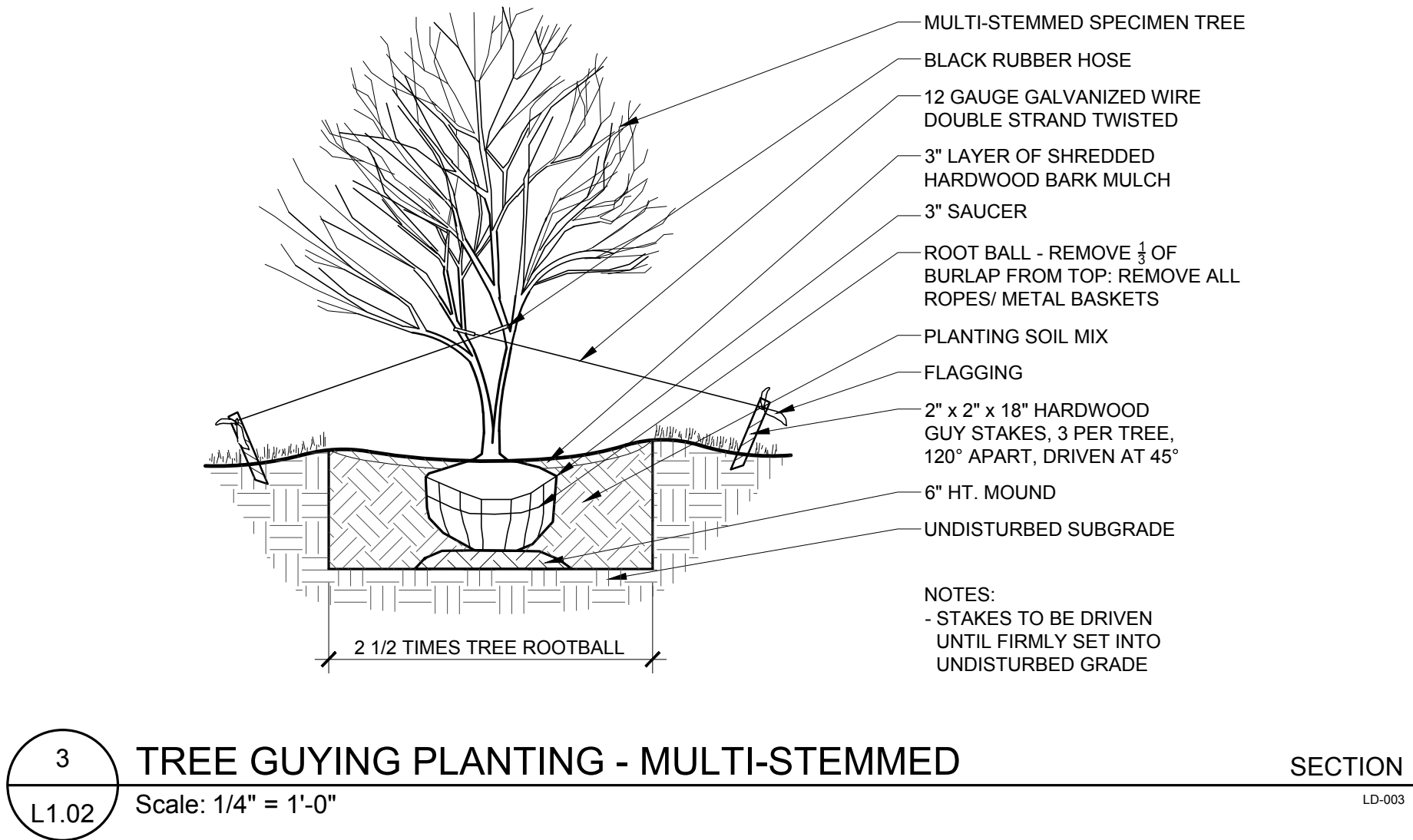
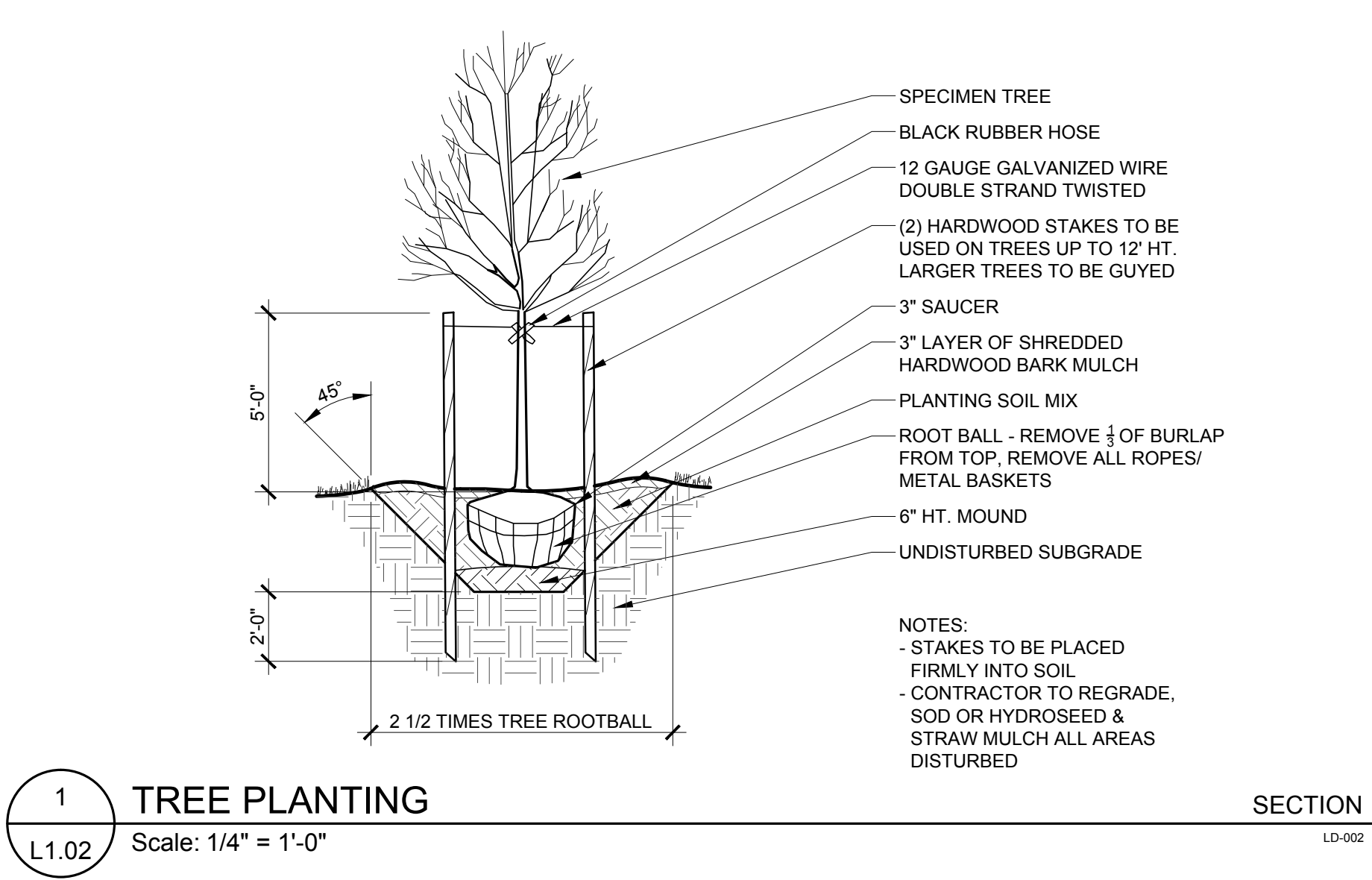
NOT RELEASED FOR CONSTRUCTION

PLANTING NOTES:

1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNERS' REPRESENTATIVE PRIOR TO INSTALLATION.
3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS, WELL-DEVELOPED DENSELY FOLIATED BRANCHES, AND VIGOROUS ROOT SYSTEMS; AND BE FREE FROM DEFECTS AND INJURIES.
4. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO GROWTH OF PLANT MATERIAL.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES, SHRUBS, GROUNDCOVER AND PERENNIALS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
6. PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY IF/WHEN PRACTICAL. IN THE EVENT THAT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE-DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD SHALL BE REJECTED, UNLESS OWNER AND CONTRACTOR PROVIDE OTHERWISE BY WRITTEN AGREEMENT.
7. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF ROOT BALL SHALL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF ANSI Z60 "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
8. ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK-FILLING PROCESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
9. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FORM THE BOTTOM OF THE BALL ONLY.
10. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOP SOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH "WILT-PRUF" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
11. NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
12. SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT A NORMAL OR NATURAL RELATIONSHIP TO THE GROUND IF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE THE PLANT IN THE CENTER OF THE PIT.
13. ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (2" CALIPER AND GREATER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES SHALL NOT BE CUT BACK. LONG SIDES BRANCHES SHALL BE SHORTENED.
14. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE THE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
15. TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. ALL TREES 6" AND GREATER IN CALIPER SHALL BE GUYED. SMALLER TREES SHALL BE STAKED. GUYING WIRES AND STAKES SHALL BE INSTALLED AS INDICATED. THE LANDSCAPE CONTRACTOR SHALL REMOVE STAKING, GUYING AND TREE WRAP AT THE END OF ONE YEAR MAINTENANCE AND GUARANTEE PERIOD.
16. ALL PLANTING BEDS SHALL BE MULCHED WITH 3" LAYER OF MULCH.
17. NEW PLANTING AREAS AND SOD SHALL BE ADEQUATELY WATERED TO ESTABLISH THE PROPOSED PLANTS AND LAWN.
18. ALL PLANTS SHOWN ON THE APPROVED LANDSCAPE PLAN SHALL BE INSTALLED, INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE. THE LANDSCAPE ARCHITECT SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD. TREES, SHRUBS, VINES AND GROUNDCOVER AS REQUIRED BY OR ASSOCIATED WITH A SUBDIVISION OR SITE PLAN APPROVED BY THE PLANNING AUTHORITIES SHALL BE INSTALLED DURING THE FOLLOWING PLANTING SEASONS: LAWNS: 03/15 TO 06/15 AND 09/15 TO 12/01. THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH PLANTING THESE TREES IN THIS SEASON: ACER RUBRUM POPULUS SPP.; BETULA SPP. PRUNUS SPP.; CARPINUS SPP.; PYRUS SPP.; CRATECUS SPP. QUERCUS SPP.; KOELREUTERIA PANICULATA SALIX SPP.; LIQUIDAMBAR STYRACIFLUA TILIA TOMENTOSA; LIRIODENDRON TULIPIFERA ZELKOVA; PLATANUS ACERIFOLIA. ANY PLANTING IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL REQUIRE THE REMOVAL OF THE PLANTING IN QUESTION. THIS REQUIREMENT DOES NOT APPLY TO SEEDING OR SODDING OR PLANTINGS SPECIFICALLY FOR SOIL STABILIZATION PURPOSES. PLANTINGS ASSOCIATED WITH ANY LOT GIVEN A CERTIFICATE OF OCCUPANCY OUTSIDE THESE PERIODS SHALL BE PROVIDED DURING THE PREVIOUS OR NEXT APPROPRIATE SEASON.
19. ALL DISTURBED AREAS SHALL BE TREATED WITH 4" TOP SOIL SODDED OR SEEDED AS NOTED IN ACCORDANCE WITH PERMANENT STABILIZATION METHODS INDICATED ON SOIL EROSION AND SEDIMENT CONTROL SHEET.
20. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL PLANT MAINTENANCE; INCLUDING SHRUBS AND GROUNDCOVER, AND SHALL MAINTAIN AREA IN A WEED AND DEBRIS FREE CONDITION THROUGHOUT THE ONE-YEAR GUARANTEE PERIOD, UNLESS OTHERWISE SPECIFIED.
21. CONTRACTOR SHALL LAYOUT AND CLEARLY STAKE ALL PROPOSED IMPROVEMENTS INCLUDED ON THIS PLAN.
22. CONTRACTOR TO VERIFY PLANT LIST TOTALS WITH QUANTITIES SHOWN ON PLAN. LANDSCAPE ARCHITECT SHALL BE ALERTED BY CONTRACTOR OF ANY DISCREPANCIES PRIOR TO FINAL BID NEGOTIATION. UNIT PRICES FOR ALL MATERIAL SHALL BE SUPPLIED TO THE OWNER AT BIDDING TIME.
23. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. OWNER SHALL RECEIVE TAG FROM EACH PLANT SPECIES AND A LIST OF PLANT SUPPLIERS. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL MEET THE NORMAL REQUIREMENTS FOR THE VARIETY PER THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN). PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
24. SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE JUDGED. FAILURE TO MEET MINIMUM SIZE ON ANY PLANT WILL RESULT IN REJECTION OF THAT PLANT.
25. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED, FREE OF DISEASE, INSECT EGGS, AND LARVAE, AND SHALL HAVE ADEQUATE ROOT SYSTEMS.
26. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
27. GROUPS OF SHRUBS SHALL BE PLACED IN A CONTINUOUS MULCH BED WITH SMOOTH CONTINUOUS LINES. ALL MULCHED BED EDGES SHALL BE CURVILINEAR IN SHAPE FOLLOWING THE CONTOUR OF THE PLANT MASS. TREES LOCATED WITHIN FOUR FEET OF SHRUB BEDS SHALL SHARE SAME MULCH BED.
28. TREES SHALL BE LOCATED A MINIMUM OF 3' - 4' FROM WALLS AND WALKS WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN ACTUAL SIZE OF AREA AND PLANS, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE OWNER OR LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS.
29. TREE STAKING AND GUYING SHALL BE DONE PER DETAILS. CONTRACTOR SHALL ENSURE THAT TREES REMAIN VERTICAL AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.
30. CROWN OF ROOT BALL SHALL BE HIGHER (AFTER SETTLING) THAN ADJACENT SOIL.
31. TAGS AND TWINE ARE TO BE REMOVED AND BURLAP IS TO BE ROLLED BACK ONE-THIRD ON ALL B&B PLANT MATERIAL. REMOVE BURLAP IF IT IS NON-BIODEGRADABLE. FOR STREET TREES TAGS, TWINE, CORD, BURLAP AND WIRE BASKET TO BE CUT 12" DOWN SIDE OF ROOT BALL AND REMOVED FROM PROJECT SITE.
32. SHRUBS AND GROUND COVERS SHALL BE TRIANGULARLY SPACED AT SPACING SHOWN ON PLANTING PLANS.
33. SHADE TREES: HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT BALL TO THE TOP OF MATURE GROWTH. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION. SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE HEIGHT OF THE TOP OF THE PLANT. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH.
34. ALL SUBSTITUTIONS OF PLANT MATERIAL ARE TO BE REQUESTED IN WRITING TO THE LANDSCAPE ARCHITECT AND APPROVED BY THE OWNER. IF CONTRACTOR FAILS TO SUBMIT A WRITTEN REQUEST, IT WILL RESULT IN LIABILITY TO THE CONTRACTOR.
35. ALL CONTRACTORS SHALL BE REQUIRED TO COMPLETELY REMOVE ALL TRASH, DEBRIS AND EXCESS MATERIALS FROM THE WORK AREA AND THE PROPERTY, ESPECIALLY AT ALL CURB, GUTTERS AND SIDEWALKS DAILY DURING INSTALLATION.
36. DEAD PLANTS ARE TO BE REMOVED FROM THE JOB BY THE CONTRACTOR WEEKLY. CONTRACTOR SHALL MAINTAIN AN UPDATED, COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED FROM THE JOB SITE. A COPY OF THE LIST IS TO BE SUBMITTED TO THE OWNER AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.
37. TOPSOIL REQUIRED FOR SOIL MIXES AND SPECIAL SEEDING AREAS SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR. CONTRACTOR MUST LOAD, HAUL, MIX, AND SPREAD ALL TOPSOIL AND OTHER SOIL ADDITIVES ARE REQUIRED.
38. CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE IMPROVEMENTS, INCLUDING SEEDING, FOR ONE FULL YEAR AS REQUIRED BY THE SPECIFICATIONS. CONTRACTOR MUST CONTACT THE OWNER AT LEAST TEN WORKING DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTION(S). CONTRACTOR MUST REPLACE ALL DEAD OR UNACCEPTABLE PLANTS DURING THE FOLLOWING RECOMMENDED PLANTING SEASON.
39. THE SPECIFICATIONS FOR ALL WORK INCLUDED IN THIS CONTRACT SHALL BE LANDSCAPE SPECIFICATIONS GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREA, CURRENT EDITION, UNLESS OTHERWISE NOTED ON THESE PLANS.

PLANTING MIX NOTES:

1. THE RECOMMENDED PLANTING MEDIUM SHOULD CONTAIN GOOD TOP SOIL THAT WILL SUSTAIN PLANT GROWTH.
2. THE TOP SOIL SHALL NOT BE LACKING IN POTASSIUM, PHOSPHORUS, MAGNESIUM OR CALCIUM. THE TOP SOIL SHALL NOT CONTAIN ANY MATERIALS TOXIC TO PLANT GROWTH.
3. THE TOP SOIL SHALL BE A SANDY CLAY LOAM OR A SILTY CLAY LOAM WITH WELL AGGREGATED CLAYS AND A MINIMUM OF 4% (FOUR PERCENT) ORGANIC MATTER.
4. THE SOILS PH RANGE SHOULD BE WITHIN 5.5 TO 7.0 AND ADJUSTED AS NECESSARY FOR INDIVIDUAL PLANT SPECIES REQUIREMENTS.
5. A SOIL TEST SHALL BE PERFORMED BY A FULL-SERVICE TESTING COMPANY AND THE RESULTS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANTING MEDIUM.
6. IF A LOCAL, REPUTABLE TESTING COMPANY CANNOT BE EMPLOYED, A&L LABS IS AVAILABLE TO CONDUCT THE TESTING. CONTACT THEM AT:
A&L ANALYTICAL LABORATORIES, INC.
2790 WHITTEN ROAD
MEMPHIS, TN 38133
1-800-264-4522
7. THE LAB SHALL PERFORM AN S1A TEST AND SUBMIT THE RESULTS TO STUDIO 39 LANDSCAPE ARCHITECTURE, P.C.



APPROVED
SPECIAL USE PERMIT NO. 2015-0002

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____

DESIGN: TF

DRAWN: TF

CHECKED: DD

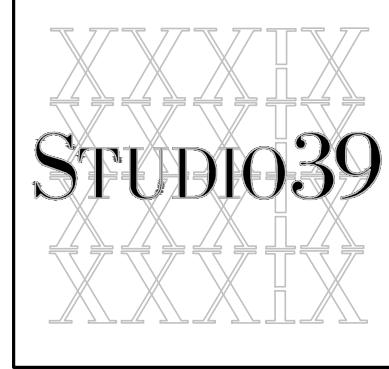
SCALE: AS SHOWN

PROJECT NO: 15026

DATE: 05.13.15

L1.02

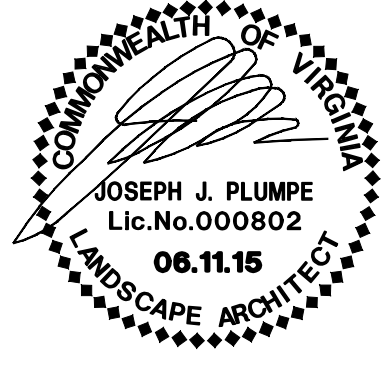
DSUP



Landscape Architecture, P.C.
6416 Greenfield Drive, Suite 100-A
Alexandria, Virginia 22310
Tel: 703.719.6500 Fax: 703.719.6503
Email: frondesk@studio39.com

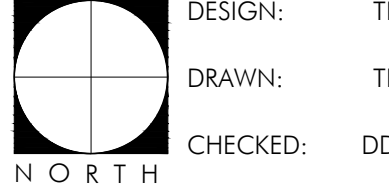
EZ STORAGE ALEXANDRIA
CITY OF ALEXANDRIA, VIRGINIA

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LANDSCAPE
NOTES AND
DETAILS

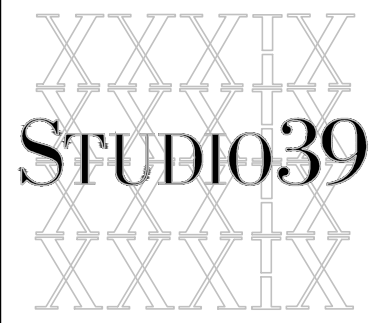


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PROJECT NO: 15026
DATE: 05.13.15

L1.02

DSUP

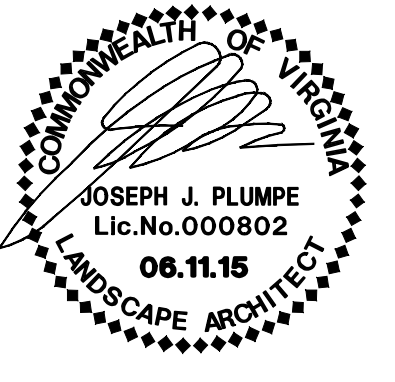


Landscape Architecture, P.C.

6416 Greendale Drive, Suite 100-A
Alexandria, Virginia 22310
Tel: 703.719.6500 Fax: 703.719.6503
Email: frontdesk@studio39.com

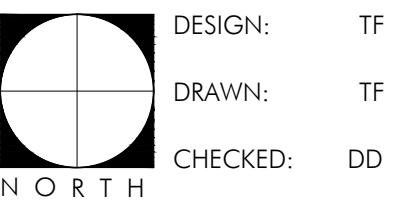
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HARDSCAPE
DETAILS



SCALE: AS SHOWN

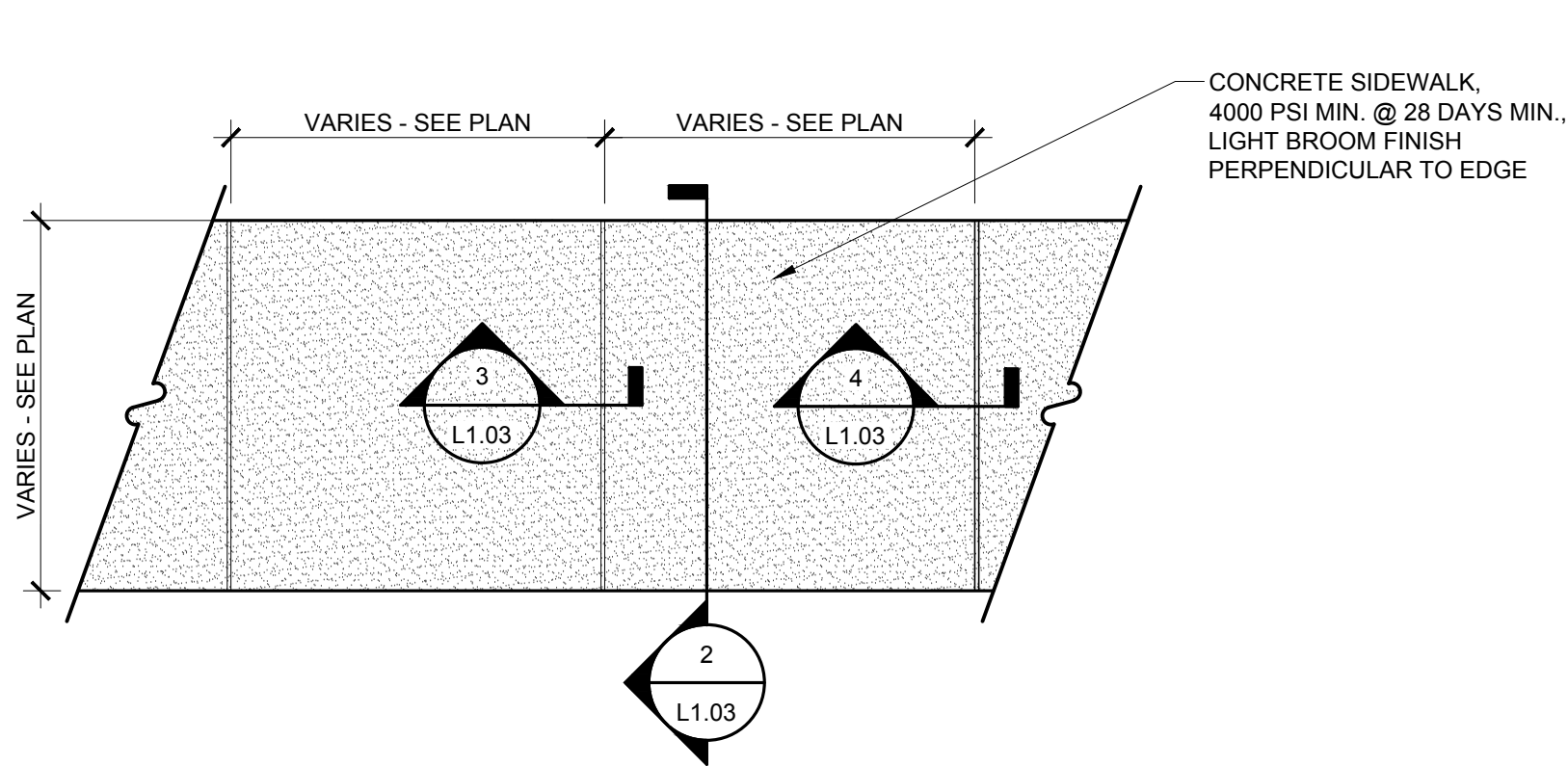
PROJECT NO: 15026

DATE: 05.13.15

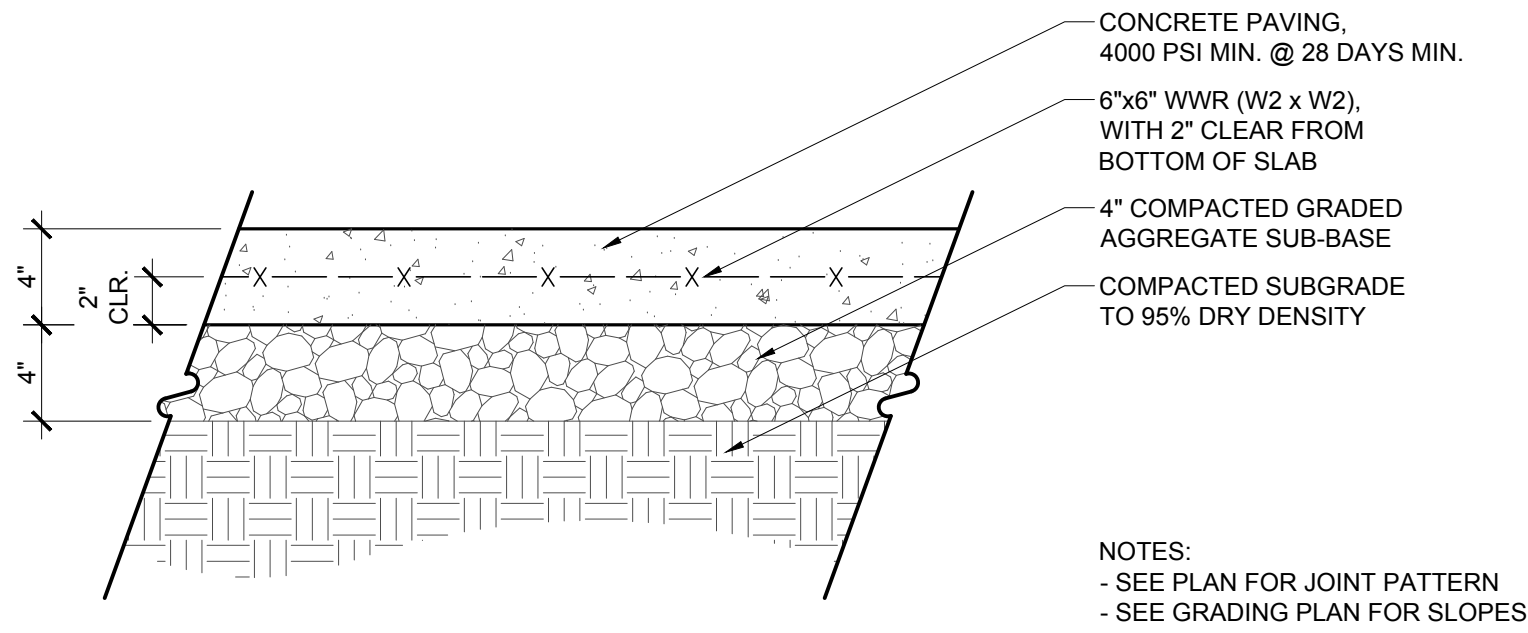
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DSUP

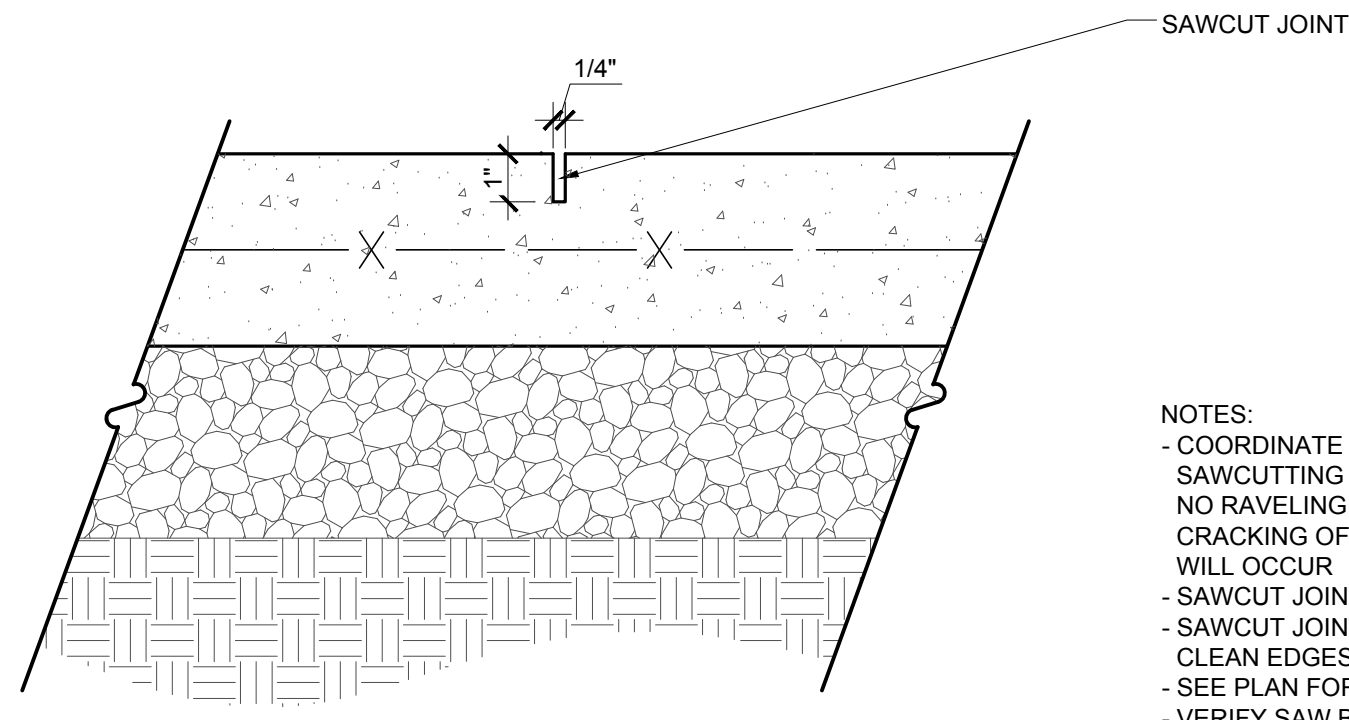
NOT RELEASED FOR CONSTRUCTION



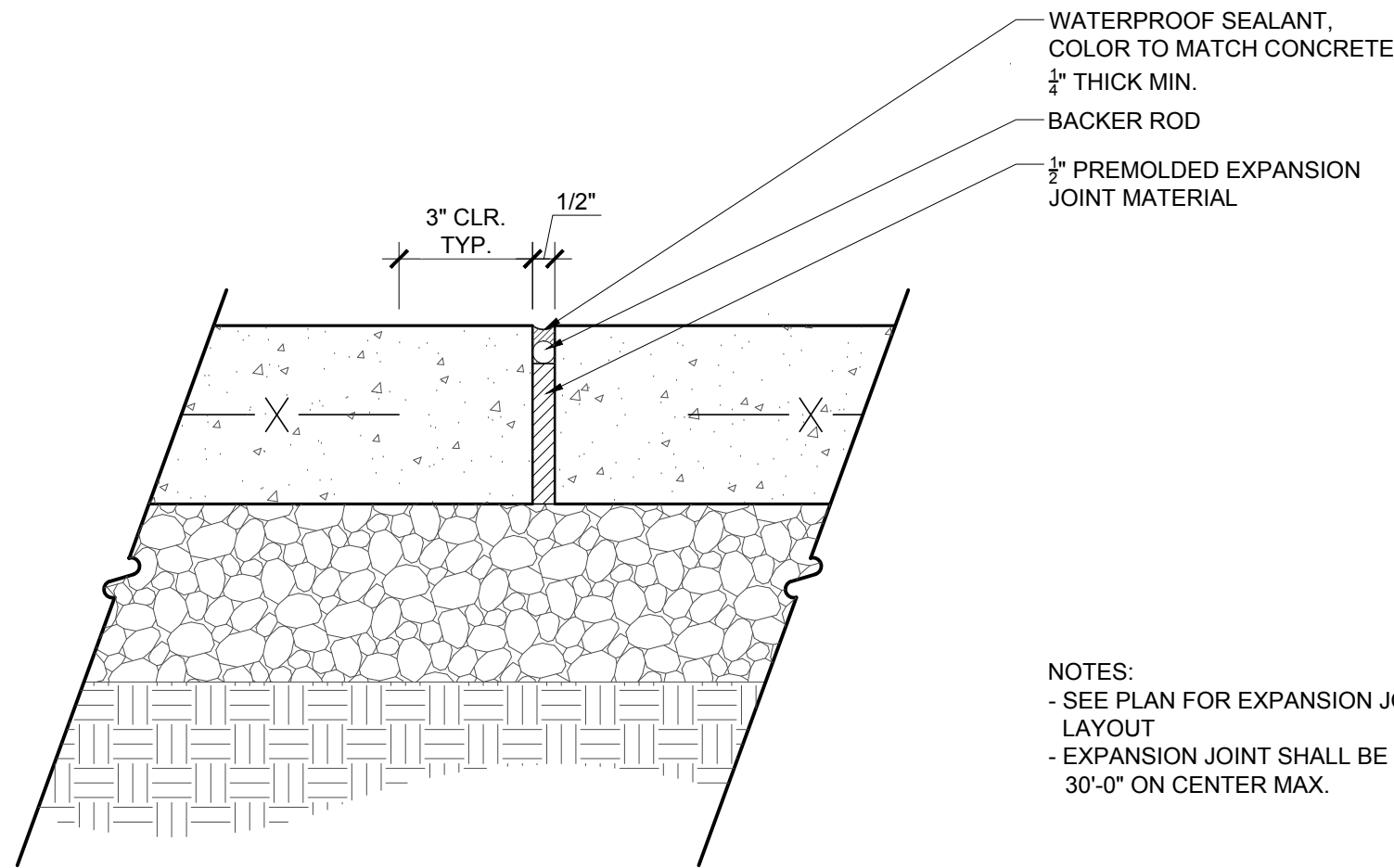
1 CONCRETE SIDEWALK
Scale: 1/2" = 1'-0" PLAN



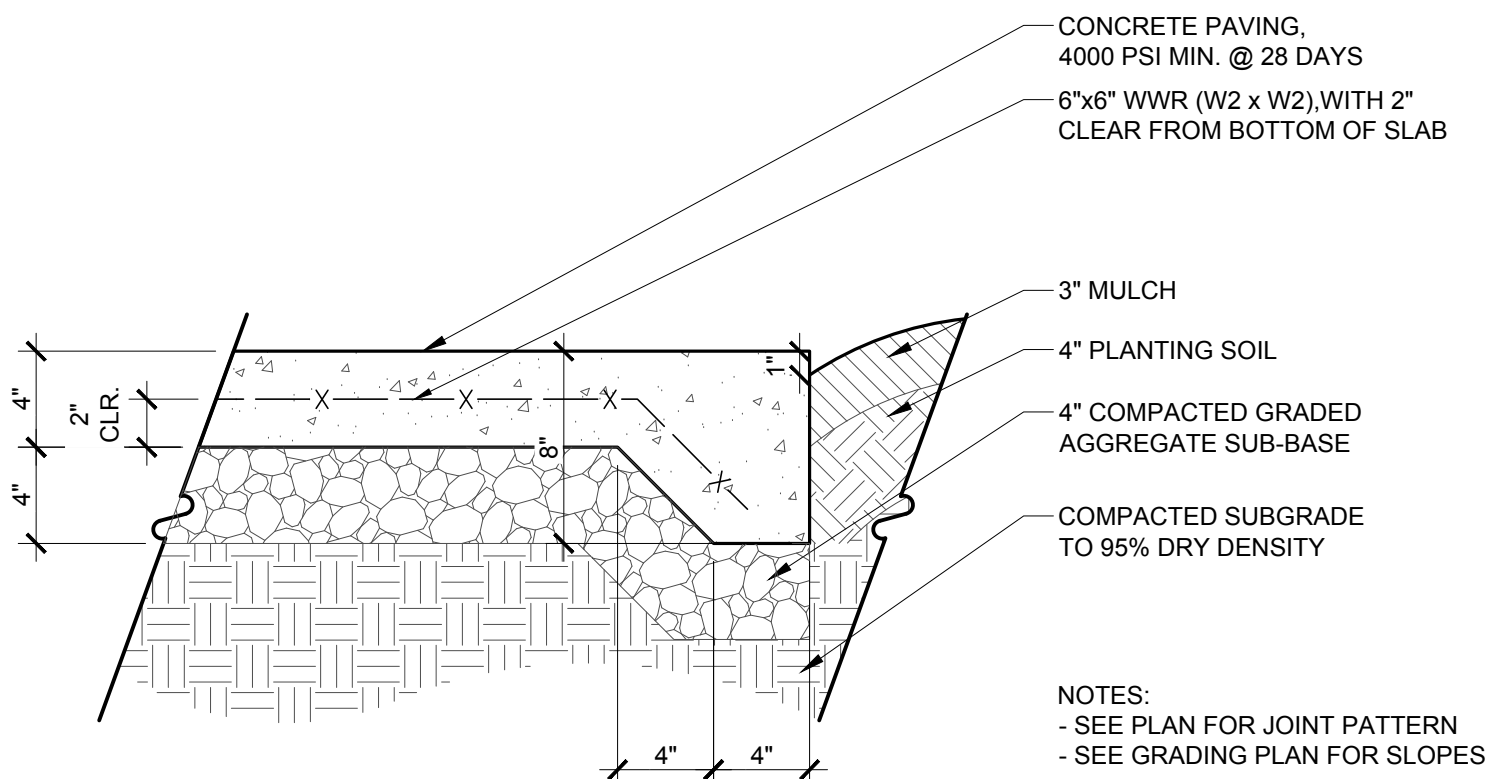
2 CONCRETE PAVING - PEDESTRIAN RATED
Scale: 1 1/2" = 1'-0" SECTION



3 SAWCUT CONTROL JOINT
Scale: 3" = 1'-0" SECTION



4 CONCRETE PAVING EXPANSION JOINT - TYPICAL
Scale: 3" = 1'-0" SECTION



5 CONCRETE SIDEWALK EDGE TREATMENT
Scale: 1 1/2" = 1'-0" SECTION



MODEL: XT0R5A
DESCRIPTION: FULL CUT OFF WALL LIGHT
MOUNTING HT: 12'-0"
COLOR: CARBON BRONZE
QUANTITY: PER PLAN
COMPANY: COOPER LIGHTING
1000 EATON BOULEVARD
CLEVELAND, OH 44122
(P) 440.523.5000
CONTACT: ERIC IMMEDIATO
CHESAPEAKE LIGHTING
(P) 310.953.2020
NOTES:
1) INSTALL PER MANUF. INSTRUCTIONS
2) SEE PLAN FOR LOCATIONS AND QUANTITY
3) OR APPROVED EQUAL

6 ARCHITECTURAL LIGHT
Scale: NTS PROD. INFO.



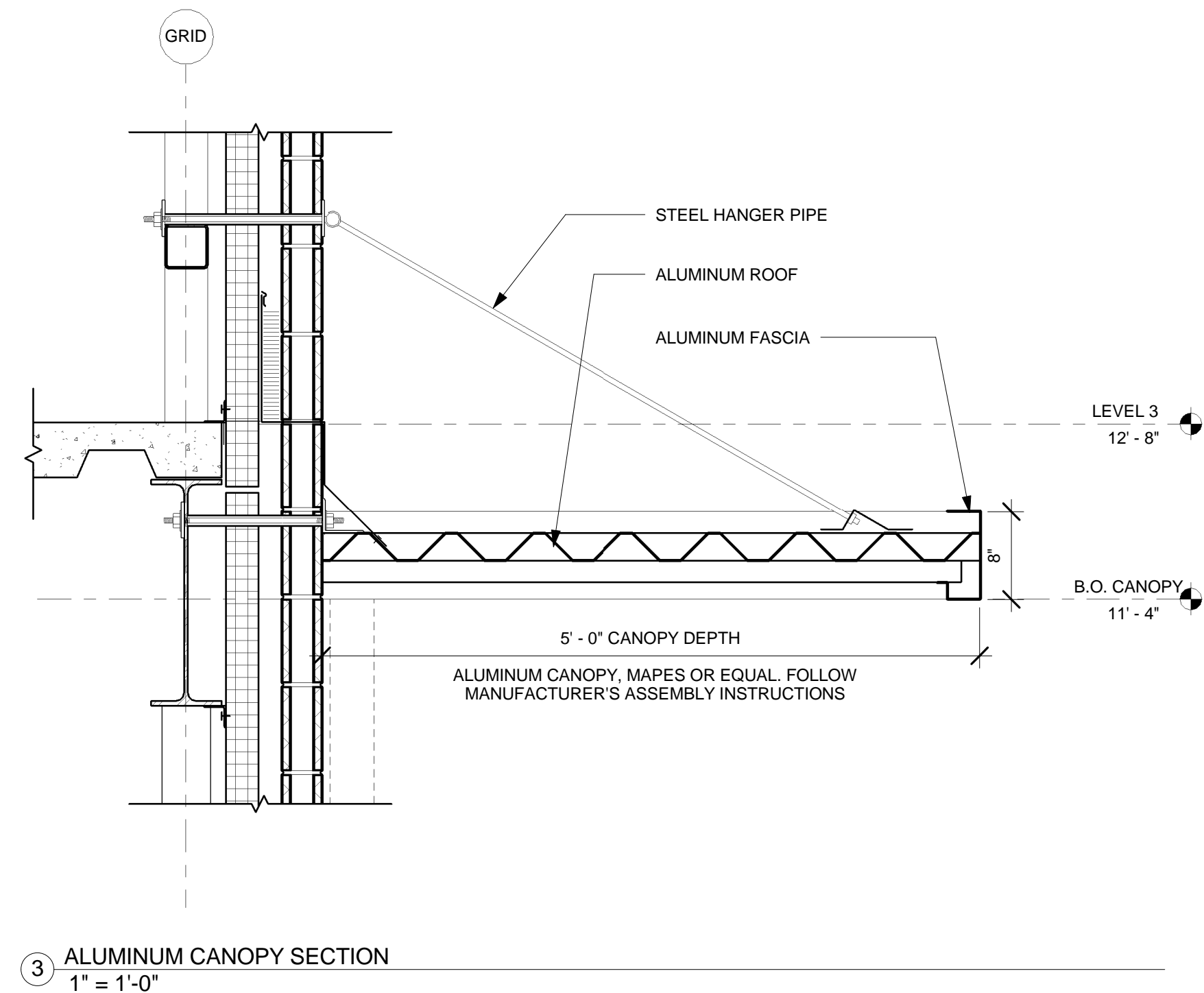
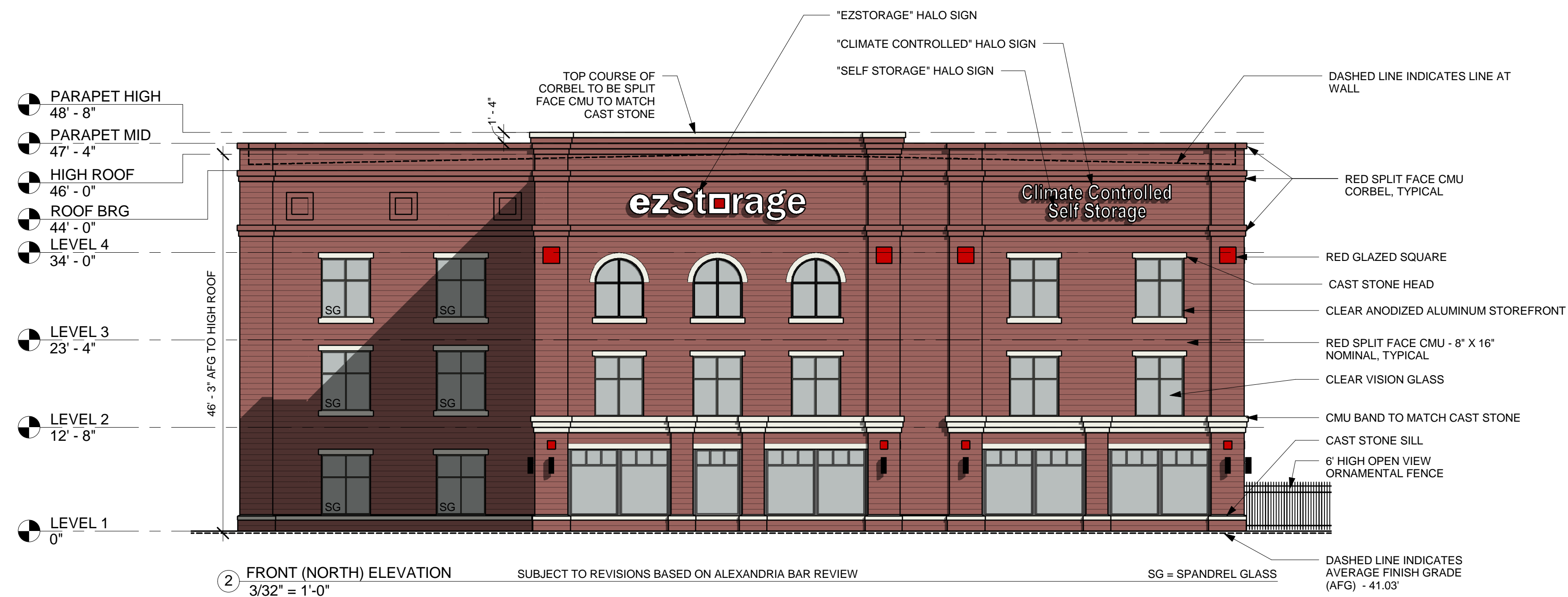
MODEL: GLEON-AE-03-LED-E1-SL4-BK
DESCRIPTION: LED PARKING LOT FIXTURE
COLOR: BLACK
QUANTITY: PER PLAN
COMPANY: COOPER LIGHTING
1000 EATON BOULEVARD
CLEVELAND, OH 44122
(P) 440.523.5000
CONTACT: ERIC IMMEDIATO
CHESAPEAKE LIGHTING
(P) 310.953.2020
NOTES:
1) INSTALL PER MANUF. INSTRUCTIONS
2) SEE PLAN FOR LOCATIONS AND QUANTITY
3) OR APPROVED EQUAL

7 PARKING LIGHT
Scale: NTS PROD. INFO.



8 PARKING LIGHT POLE
Scale: NTS PROD. INFO.

MODEL: SS4-20-AB-BLK-SMS-30
DESCRIPTION: 20' MOUNTING HEIGHT
COLOR: BLACK
QUANTITY: PER PLAN
COMPANY: W.J. WHATLEY, INC.
3550 ODESSA WAY STE A
AURORA, CO 80011
(P) 301.621.1650
CONTACT: DON HOFFMAN
NOTES:
1) INSTALL PER MANUF. INSTRUCTIONS
2) SEE PLAN FOR LOCATIONS AND QUANTITY
3) OR APPROVED EQUAL



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SPECIAL USE PERMIT NO. 2015-0002	
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SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED	
RESTRICTION NO.	RECORD BOOK NO.
DATE	

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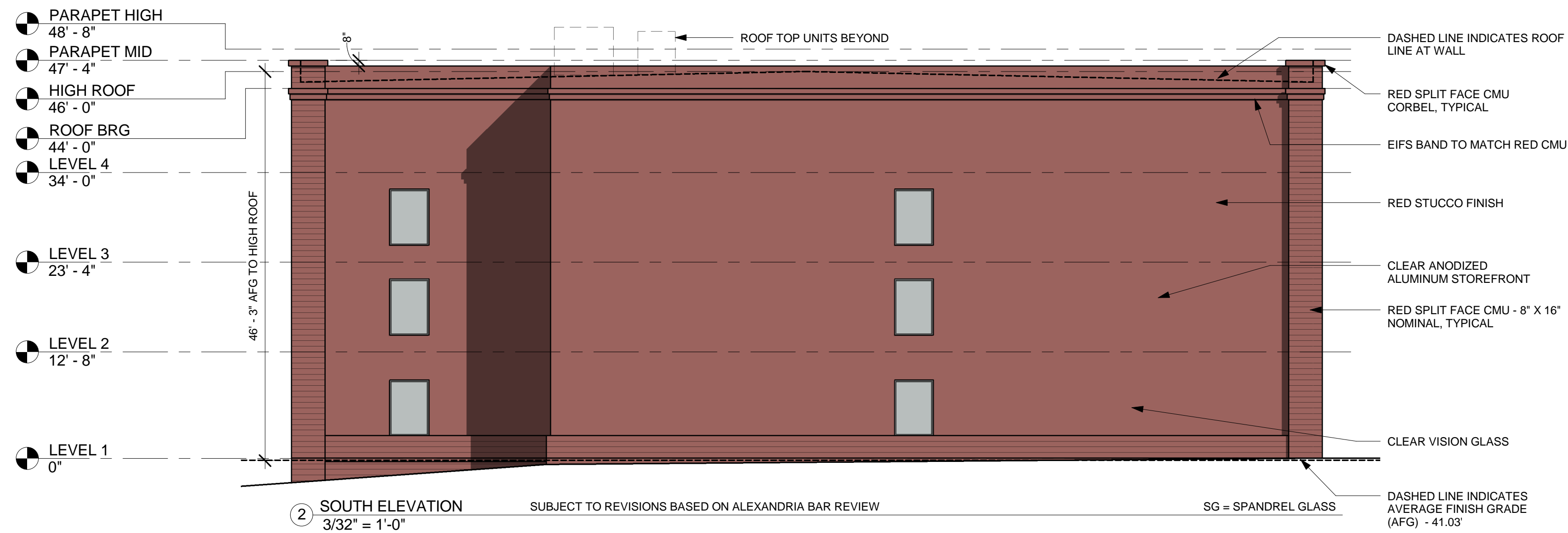
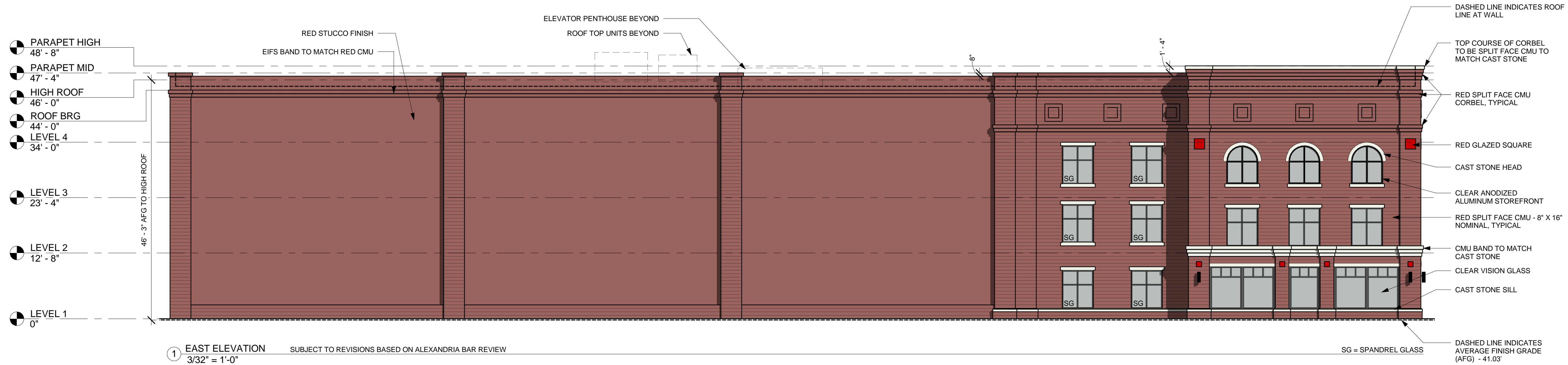
3640 WHEELER AVE
ALEXANDRIA, VA 22304

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PER CITY COMMENTS	06/11/15

SIENA Corporation
8221 Snowden River Parkway
Columbia, MD 21045

Date: 05/13/15

A-1a



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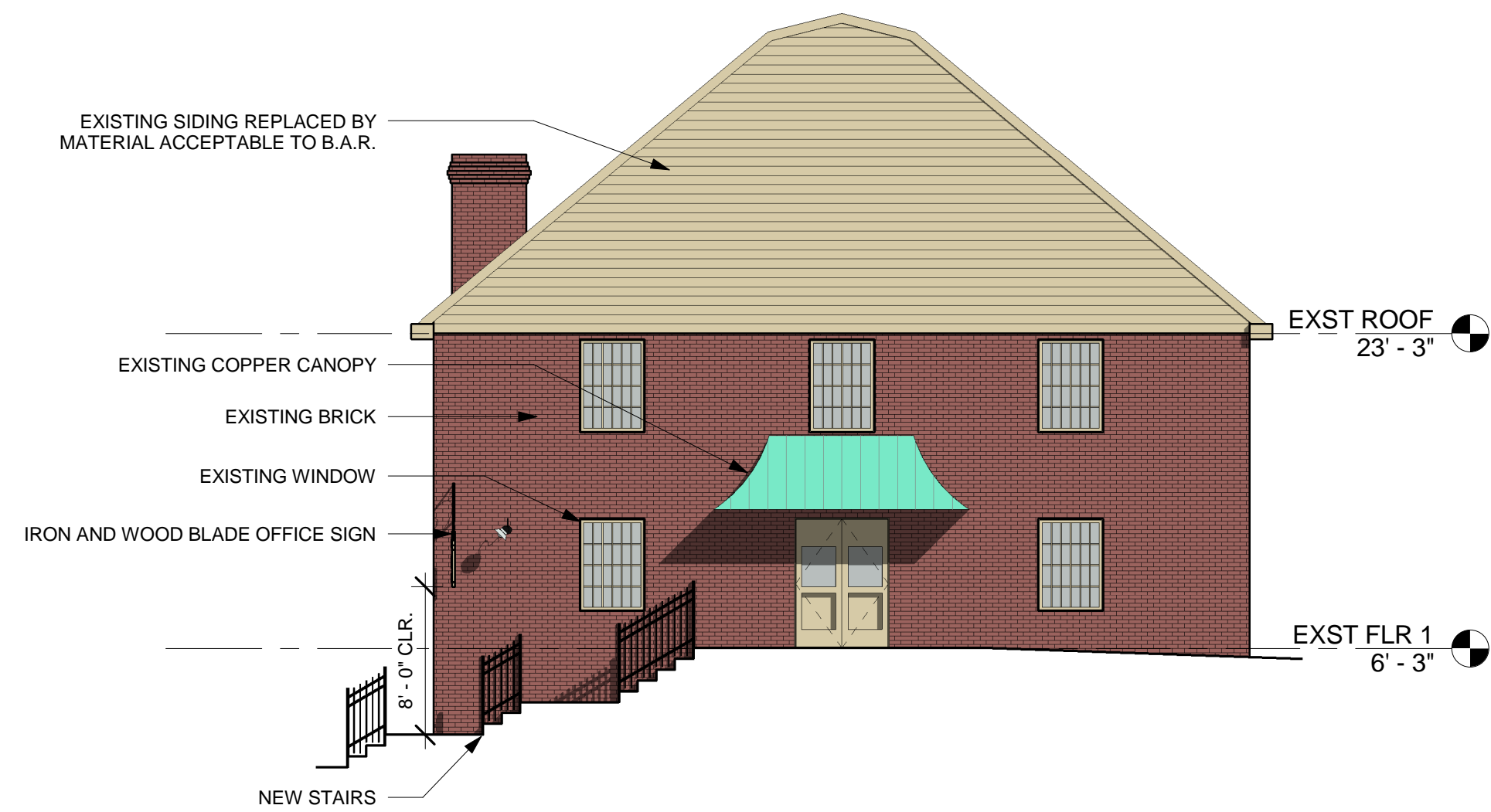
3640 WHEELER AVE
ALEXANDRIA, VA 22304

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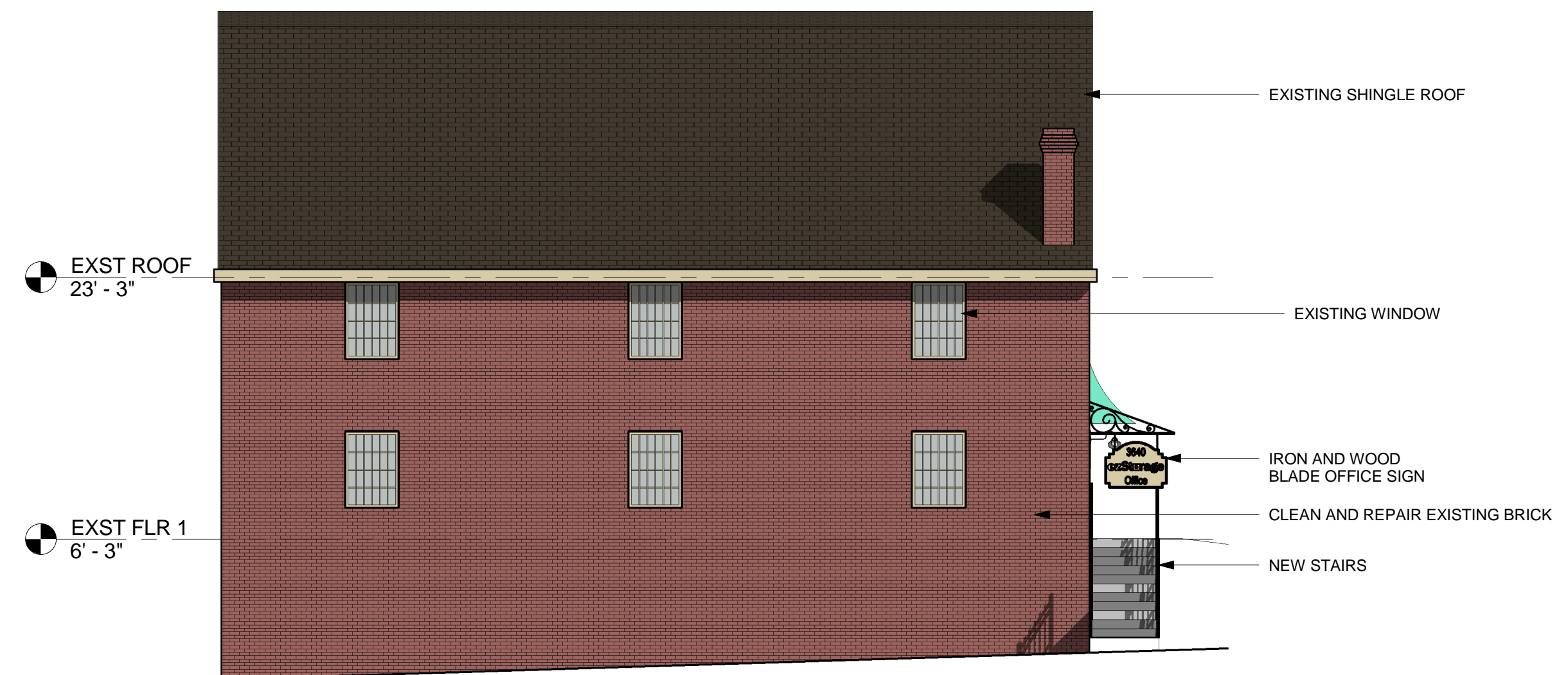
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Columbia, MD 21045

Date: 05/13/15

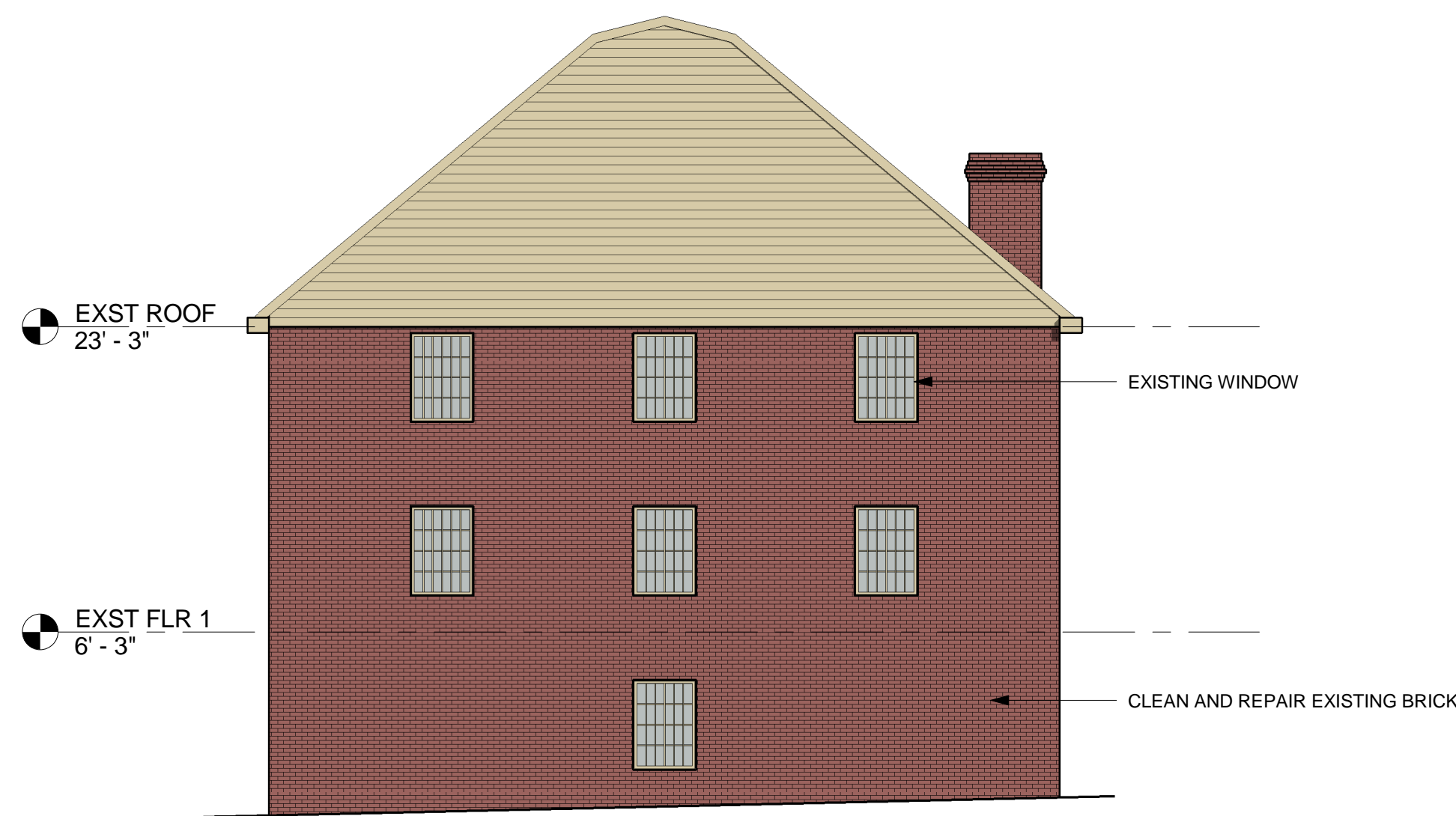
A-2a



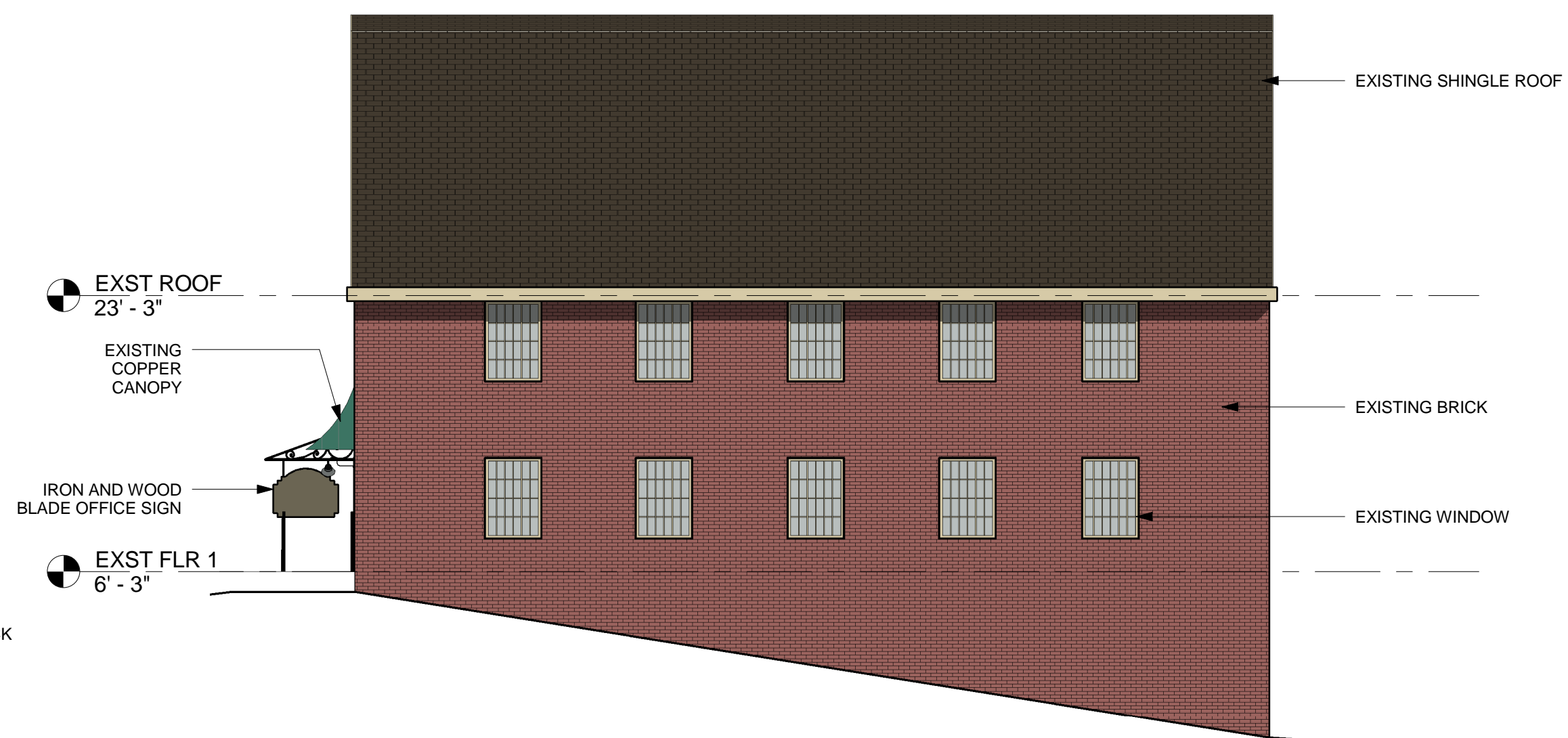
① EXISTING BUILDING FRONT ELEVATION
1/8" = 1'-0"



② EXISTING BUILDING LEFT ELEVATION
1/8" = 1'-0"



③ EXISTING BUILDING REAR ELEVATION
1/8" = 1'-0"



④ EXISTING BUILDING RIGHT ELEVATION
1/8" = 1'-0"



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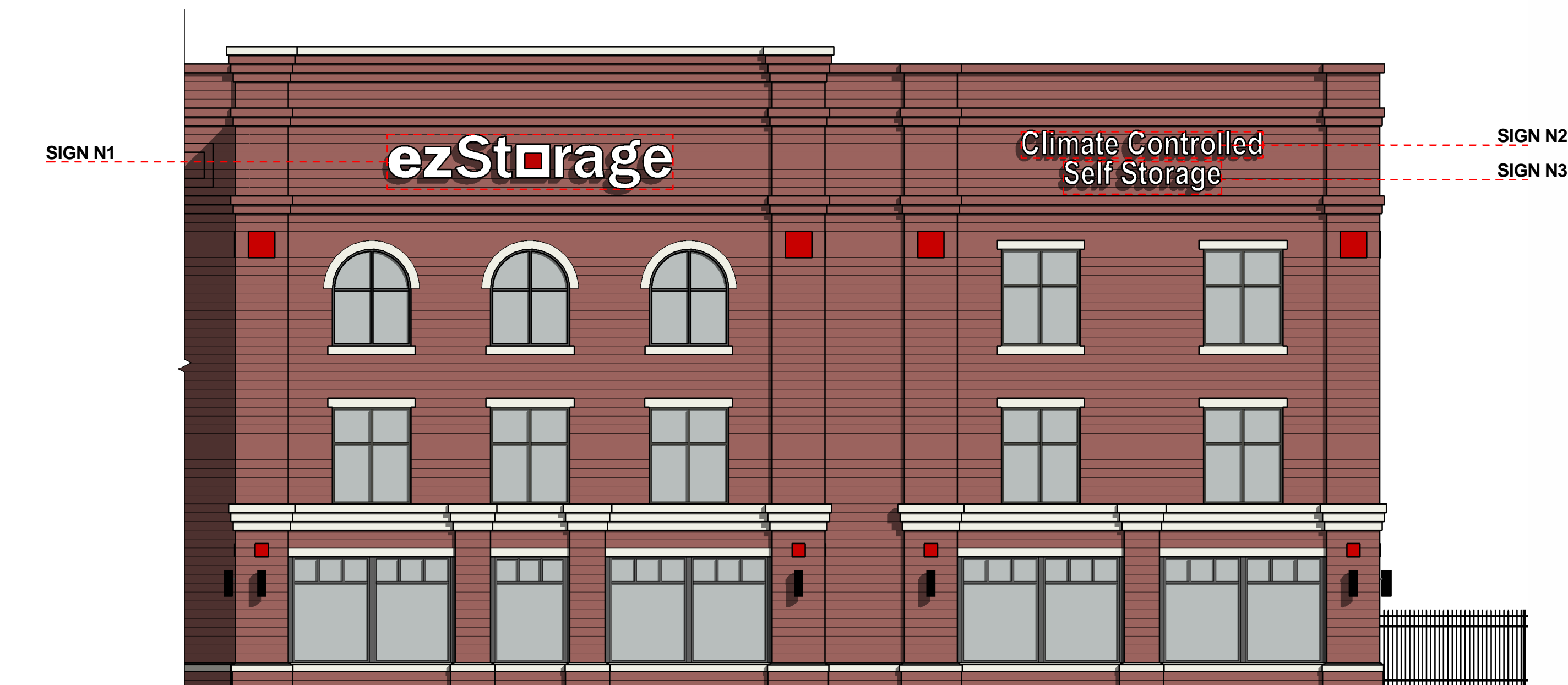
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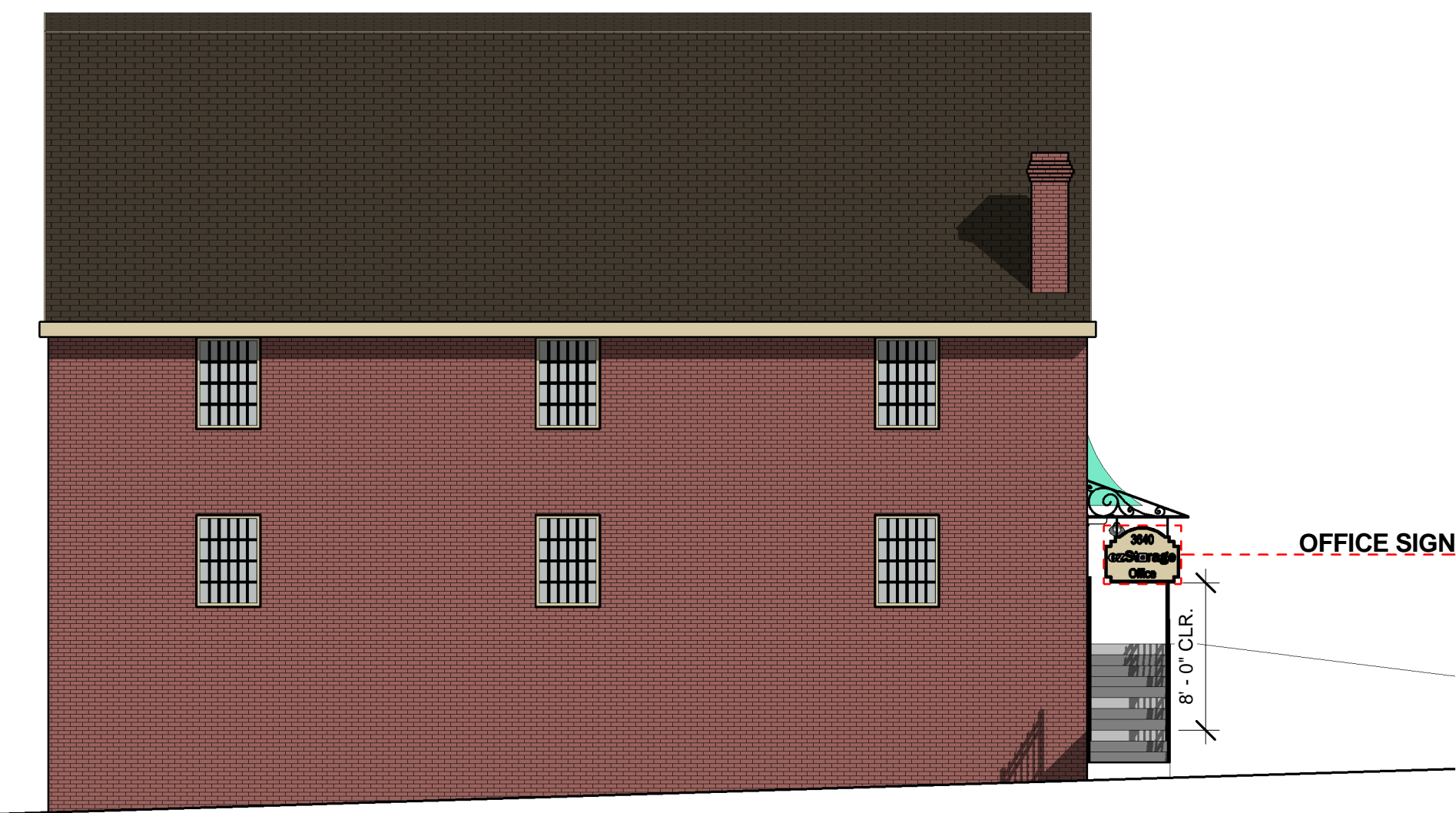
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8221 Snowden River Parkway
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Date: 05/13/15

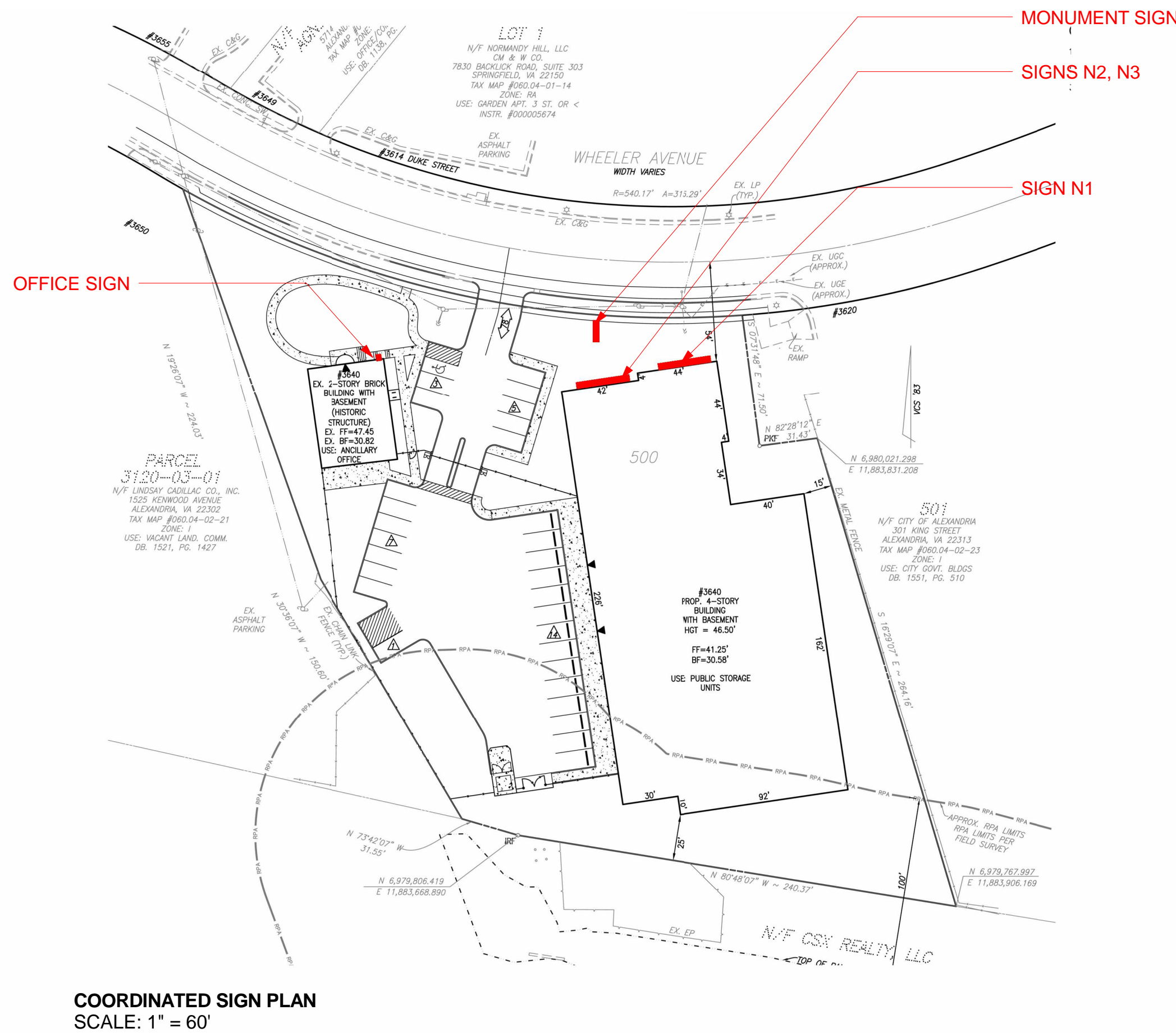
A-5a



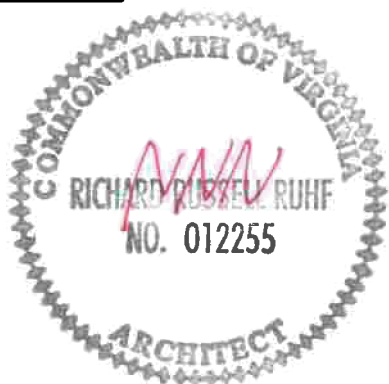
1 SIGN LOCATION ELEVATION - NORTH
1/8" = 1'-0"



2 EXISTING BUILDING LEFT ELEVATION
1/8" = 1'-0"



SIGN AREA SUMMARY		SIGNAGE CALCULATIONS	
N1	ezStorage	88 SQ. FT.	HISTORIC MILL: WHEELER AVE: 42 LF x 1 = 42 SF PARKING LOT: 55.67 LF x 1.5 = 111.34 SF TOTAL ALLOWED = 153.34 SF TOTAL PROVIDED = 12 SF
N2	Climate Controlled	34 SQ. FT.	
N3	Self Storage	28 SQ. FT.	
NEW BUILDING SIGNAGE TOTAL		300 SQ. FT.	STORAGE STRUCTURE: WHEELER AVE: 86 LF x 1 = 86 SF PARKING LOT: 226 LF x 1.5 = 339 SF TOTAL ALLOWED = 425 SF TOTAL PROVIDED = 150 SF
OFFICE SIGN		12 SQ. FT.	MONUMENT SIGN: TOTAL ALLOWED = 50 SF TOTAL PROVIDED = 50 SF
MONUMENT SIGN		50 SQ. FT.	



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DATE RECORDED _____
RESTRICTION NO. _____ REEL BOOK NO. _____ DATE _____

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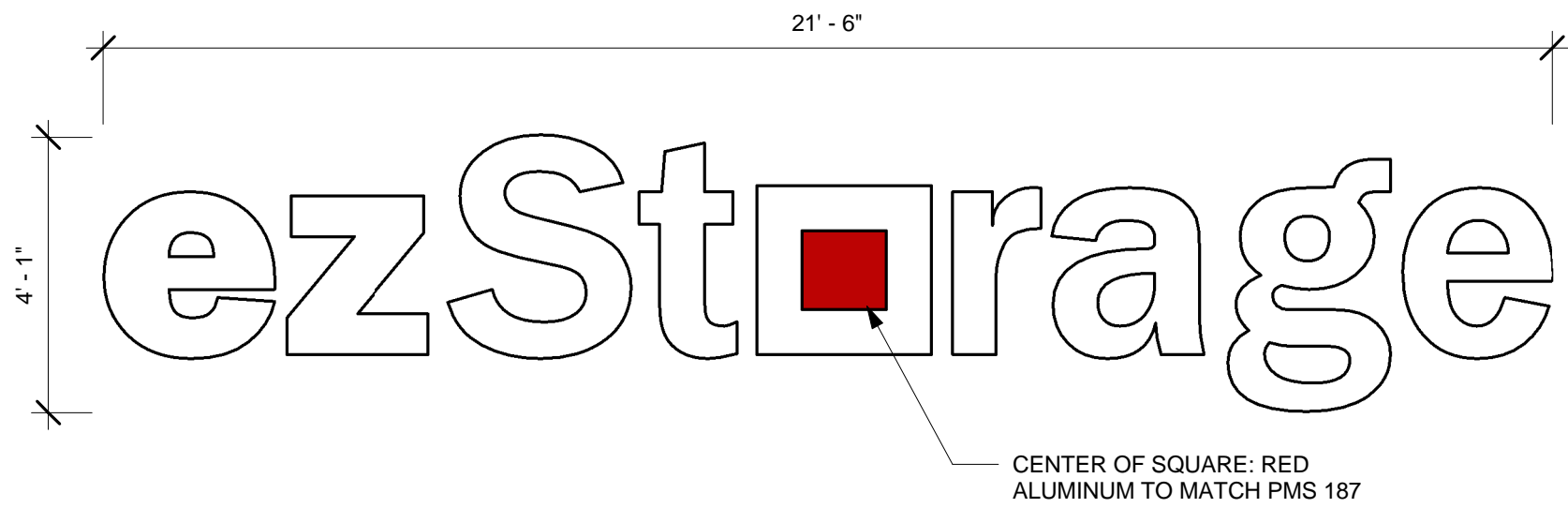
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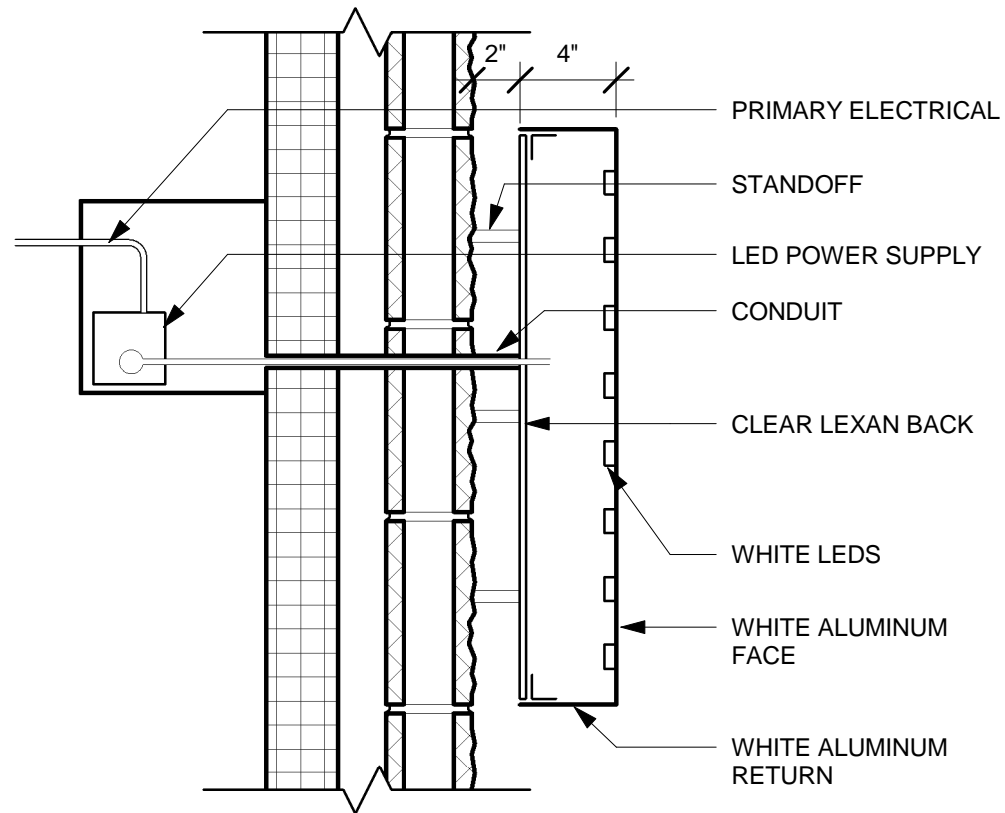
Date: 05/13/15

A-6

SIGN N1
21'-6" x 4'-1" = 88 SQ. FT.

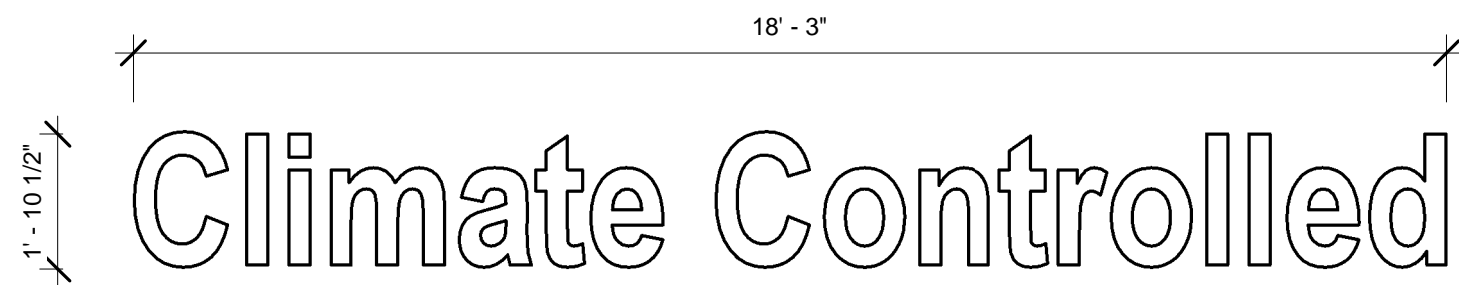


① "ezStorage" SIGN ELEVATION
3/8" = 1'-0"

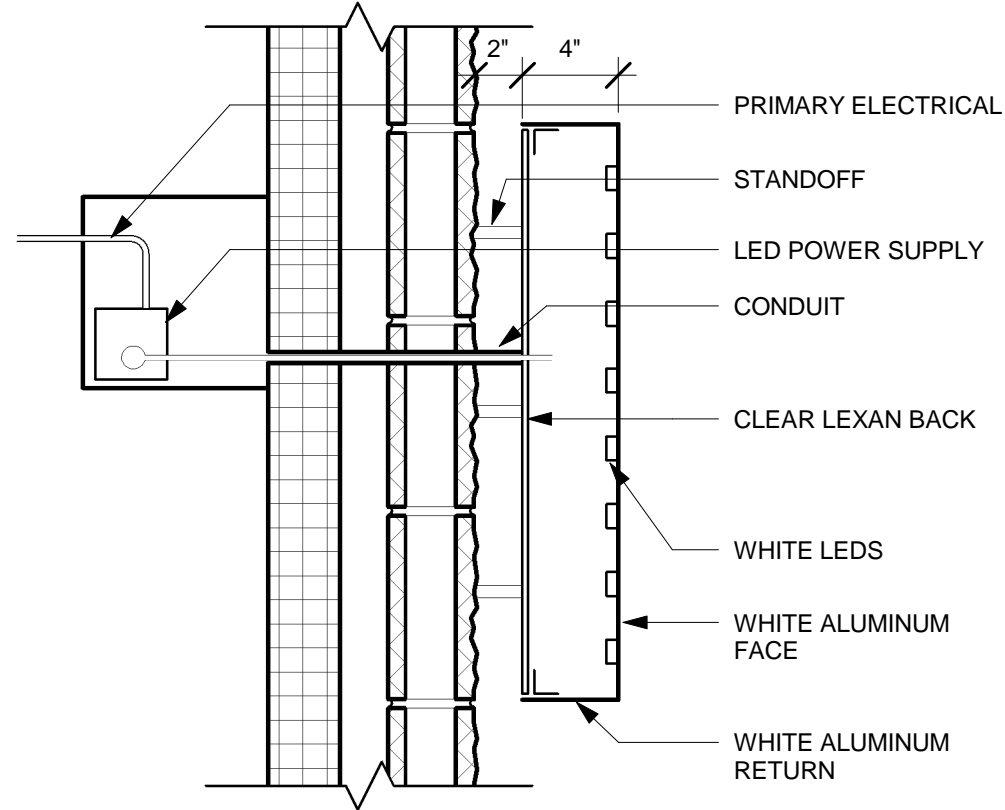


② "ezStorage" SIGN DETAIL
1 1/2" = 1'-0"

SIGN N2
18'-3" x 1'-10 1/2" = 34 SQ. FT.



③ "Climate Controlled" SIGN ELEVATION
3/8" = 1'-0"

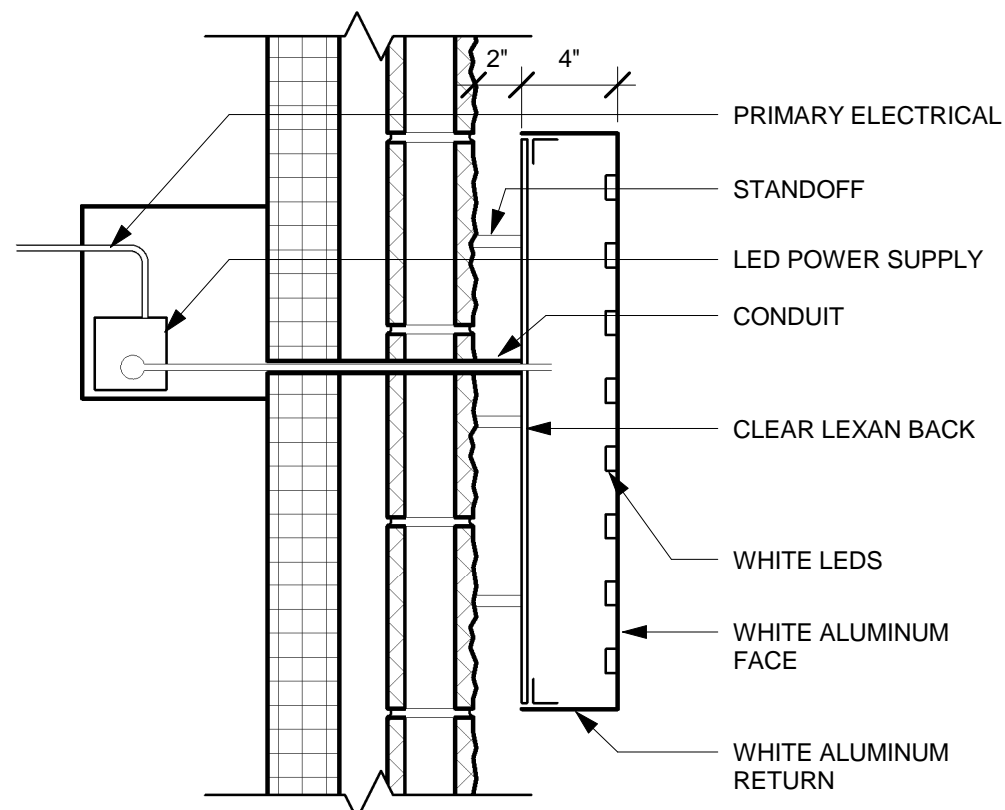


④ "Climate Controlled" SIGN DETAIL
1 1/2" = 1'-0"

SIGNS N3
11'-11" x 2'-4 1/2" = 28 SQ. FT.

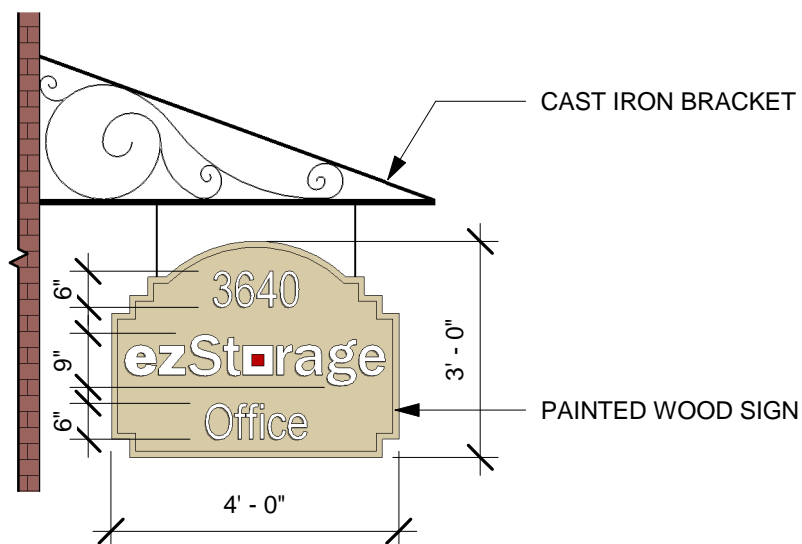


⑤ "Self Storage" SIGN ELEVATION
3/8" = 1'-0"



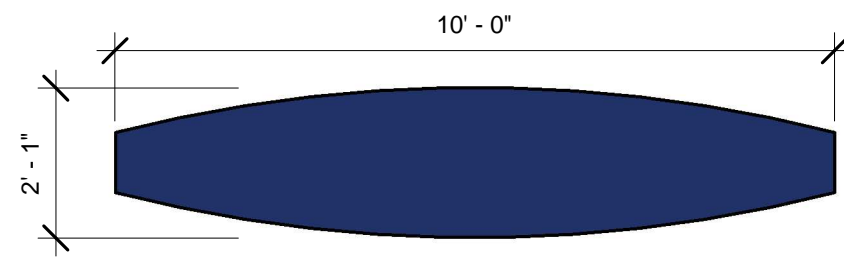
⑥ "Self Storage" SIGN DETAIL
1 1/2" = 1'-0"

OFFICE SIGN
4'-0" x 3'-0" = 12 SQ. FT.

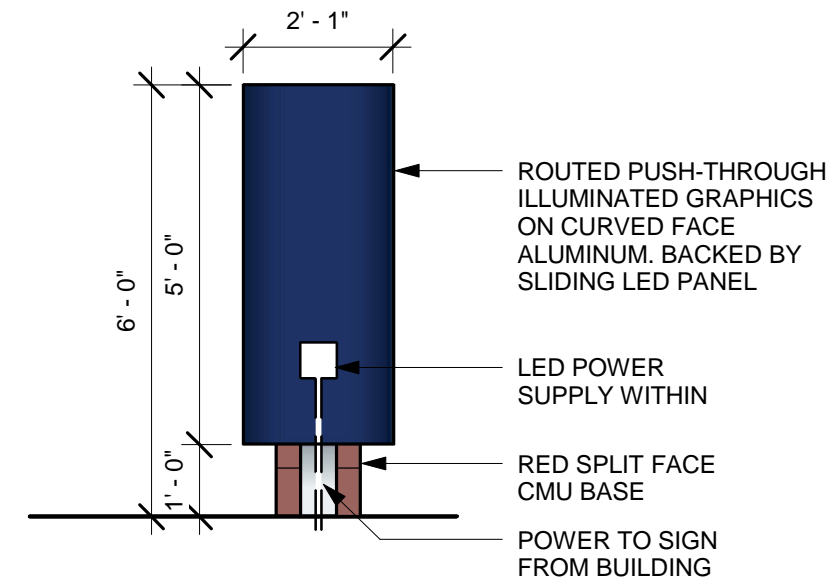


⑦ EXISTING BUILDING SIGN ELEVATION
3/8" = 1'-0"

MONUMENT SIGN
10'-0" x 5'-0" = 50 SQ. FT.



⑧ TWO-SIDED MONUMENT SIGN DETAILS
3/8" = 1'-0"



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