

ADDRESS OF PROJECT: 0 PRINCE STREET

TAX MAP AND PARCEL: LOT 600

ZONING: WPR

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business (Please provide business name & contact person)

Name: OLD DOMINON BOAT CLUB

Address: 1 KING STREET

City: ALEXANDRIA State: VA Zip: 22314

Phone: (703) 836-5764 E-mail:

Authorized Agent (if applicable): ☐ Attorney ☒ Architect ☐

Name: GEORGE EISENBERGER Phone: (703) 519-8081

E-mail: GRE@MICHAELWINSTANLEY.COM

Legal Property Owner:

Name: OLD DOMINON BOAT CLUB

Address: 1 KING STREET

City: ALEXANDRIA State: VA Zip: 22314

Phone: (703) 836-5764 E-mail:

- ☒ Yes ☐ No Is there an historic preservation easement on this property?
☒ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☒ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

THE DSUP WAS APPROVED BY CITY COUNCIL ON MARCH 14TH, 2015

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☒ NEW CONSTRUCTION
☐ EXTERIOR ALTERATION: *Please check all that apply.*
 ☐ awning ☐ fence, gate or garden wall ☐ HVAC equipment ☐ shutters
 ☐ doors ☐ windows ☐ siding ☐ shed
 ☐ lighting ☐ pergola/trellis ☐ painting unpainted masonry
 ☐ other _____
☐ ADDITION
☒ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

NEW CONSTRUCTION: NEW BOAT CLUB AT EXISTING "BEACHCOMBER" SITE, INCORPORATING KEY MASSING AND ARCHITECTURAL FEATURES OF EXISTING BEACHCOMBER STRUCTURE. DESIGN IS CONSISTENT WITH DSUP APPROVED BY CITY COUNCIL ON MARCH 14TH, 2015.

DEMOLITION: SEE ATTACHED MEMORANDUM FOR DEMOLITION AND SUPPORTING DOCUMENT "O PRINCE STREET: A TIMELINE".

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
☐ ☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☒ ☐ Description of the reason for demolition/encapsulation.
☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
 - ☒ ☐ FAR & Open Space calculation form.
 - ☐ ☒ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
 - ☐ ☒ Existing elevations must be scaled and include dimensions.
 - ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
 - ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
 - ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☒ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Linear feet of building: Front: 33' - 10" Secondary front (if corner lot): 105' - 6 - 1/2"
 - ☐ ☒ Square feet of existing signs to remain: _____.
 - ☐ ☒ Photograph of building showing existing conditions.
 - ☒ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
 - ☒ ☐ Location of sign (show exact location on building including the height above sidewalk).
 - ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
 - ☒ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☒ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
 - ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☐ ☒ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
 - ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
 - ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☐ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
FILING FEE SHALL BE SUBMITTED WITHIN THE WEEK.
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: GEORGE EISENBERGER

Date: 08/03/2015

HART, CALLEY, GIBBS & KARP, P.C.

ATTORNEYS AND COUNSELLORS AT LAW

307 NORTH WASHINGTON STREET
ALEXANDRIA, VIRGINIA 22314-2557

Telephone (703) 836-5757
FAX (703) 548-5443

MEMORANDUM

TO: BAR Staff, BAR Old & Historic District Members
FROM: Mary Catherine Gibbs on behalf of the Old Dominion Boat Club
RE: Justification for Demolition of Existing Structure
Zero Prince Street now 200 Strand
DATE: August 3, 2015

This memorandum provides the justification for demolition of the existing Beachcomber building at what was Zero Prince Street and is now 200 Strand Street, pursuant to § 10-105(B) of the Zoning Ordinance. In filing the BAR application for Demolition, an Applicant must clearly spell out the reason for the demolition and describe any alternatives to demolition and why such alternatives are not feasible.

Reason for Demolition:

The beachcomber building was opened in 1946 and operated as a waterfront restaurant. It is a simple cinder-block building constructed originally over the water on concrete piles. On the second story, it had a three sided open porch and a rooftop terrace for outdoor dining. The restaurant ceased operation in 1954, when it experienced a fire. The building was then sold and utilized by the International Armaments Corporation, or Interarms, for storage and then for the retail sale of guns and ammunition among other sporting goods. Sheds in two different locations have been located on the property, but are now fully removed from the site. The first was approved in 1973 for selling seafood/sandwiches, which was located west of the Potomac Arms warehouse, and then a trailer for the Potomac Party Cruises, Inc, was located east of the building by 2006. In depth histories of the site can be found in "0 Prince Street: A Timeline" by Diane Ricker, 2008, and the "Documentary Study of 0 Prince Street (Old Dominion Boat Club)", by Thunderbird Archeology, March 2015. Copies of both are attached to this memorandum.

The request for demolition is based on the relocation of the Old Dominion Boat Club ("ODBC") from its current location at 1 and 2 King Streets to 200 Strand Street. The Board is aware of the plans for this relocation as it has reviewed the Concept submissions for new ODBC clubhouse on three occasions in the past few months. This Board formally endorsed the height, mass and scale of the new ODBC Clubhouse at its February 18, 2015 meeting after that third Concept Review. At each hearing, the Staff Report firmly recognized that:

In April 2012, the BAR determined that the simple vernacular materials and design of the Beachcombers Restaurant building, particularly its cinderblock construction, was not architecturally significant, may easily be replicated and did

not display a high degree of craftsmanship to make them worthy of preservation or slavish reproduction. However, the Board noted that the building did possess a high level of cultural and historic significance unique to Alexandria and specifically suited to its waterfront location. The BAR further identified that the utilitarian character of the building, with its punched windows, projecting balconies, and rooftop dining, is important. They supported the substantial reconstruction of the existing structure but strongly recommended that the building's overall form and character defining architectural features be recalled and integrated into the new building to the maximum extent reasonably possible.

These facts remain true to today. There has been further structural investigation that has revealed reuse of the building is not possible. As a result, the request is to completely demolish the structure and to rebuild an ODBC Clubhouse that incorporates the form and character of the important architectural features of the Beachcomber building.

Alternatives to Demolition:

Many alternatives to redevelopment of the property have been considered, but were rejected early on in the negotiations between the City and the ODBC based upon the deterioration of the structure of the old Beachcomber building. The only realistic alternative is incorporating the existing architectural character into the new ODBC Clubhouse, as has been endorsed by this Board, which ODBC is proposing.

Criteria for Demolition:

Section 10-105(B) of the Zoning Ordinance provides seven questions that must be answered in the negative in order to satisfy the criteria for Demolition within the Old and Historic Alexandria District. The proposal to demolish the Beachcomber building should now answer all these questions in the negative and therefore, satisfies the criteria for demolition within the Old and Historic Alexandria District.

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest? **No.** As the Board noted previously, the building is “not architecturally significant, may easily be replicated and did not display a high degree of craftsmanship to make them worthy of preservation or slavish reproduction.” However, the ODBC is seeking to incorporate the architectural character that was of interest to the Board into the new Clubhouse, and as such, the character and historical interest will be maintained in the new structure.
- (2) Is the building or structure of such interest that it could be made into an historic shrine? **No**
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty? **No,** as the Board has previously found that the building, “may easily be replicated and did not

display a high degree of craftsmanship to make them worthy of preservation or slavish reproduction the materials are very common and can be easily reproduced.”

- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway? **N/A**
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city? **No**, the Waterfront is being enhanced by the redevelopment of the Beachcomber into an active and water oriented use, which is what the Board seemed to encourage when it “supported the substantial reconstruction of the existing structure but strongly recommended that the building’s overall form and character defining architectural features be recalled and integrated into the new building to the maximum extent reasonably possible.”
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place in which to live? **No**, the replacement of the Beachcomber will reactivate this long dormant corner of the City’s waterfront, making the area a more attractive and desirable place to visit.
- (7) In the instance of a building or structure owned by the city or the redevelopment and housing authority, such building or structure having been acquired pursuant to a duly approved urban renewal (redevelopment) plan, would retention of the building or structure promote the general welfare in view of needs of the city for an urban renewal (redevelopment) project? **N/A**

- 1.) THE PROPERTY SHOWN HEREON IS IDENTIFIED ON THE CITY OF ALEXANDRIA, VIRGINIA TAX ASSESSMENT MAP AS A PORTION OF PARCEL NUMBERS 075.03-03-11, 075.03-03-12, AND 075.03-03-15, AND IS CURRENTLY ZONED W-1.
- 2.) DURING THE PROCESS OF OUR PHYSICAL SURVEY NO INDICATIONS OF A CEMETERY WAS FOUND. NO FURTHER INSPECTION OF THIS PROPERTY HAS BEEN MADE FOR POSSIBLE CEMETERIES.
- 3.) A TITLE REPORT FOR 80 PRINCE STREET WAS FURNISHED BY STEWART TITLE AND ESCROW, FILE NUMBER 1400514, DATED APRIL 16, 2014. A TITLE REPORT FOR 8200 STRAND STREET WAS FURNISHED BY STEWART TITLE AND ESCROW, FILE NUMBER 1400515, DATED APRIL 16, 2014.
- 4.) BOUNDARY AND PHYSICAL IMPROVEMENTS SHOWN HEREON IS BASED ON A CURRENT FIELD SURVEY PERFORMED BY THIS FIRM BETWEEN AUGUST 5, 2014 AND AUGUST 13, 2014.
- 5.) A.) A HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD 83) - VIRGINIA STATE GRID NORTH ZONE AS ESTABLISHED FROM A RECENT FIELD SURVEY PERFORMED BY G.P. JOHNSON & ASSOCIATES.
B.) THE VERTICAL DATUM SHOWN HEREON IS REFERENCE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AS ESTABLISHED FROM A RECENT FIELD SURVEY PERFORMED BY G.P. JOHNSON & ASSOCIATES.
- 6.) NO CERTIFICATION IS MADE AS TO THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN AS, BUT NOT LIMITED TO ELECTRIC, GAS, TELEPHONE, CATV, WATER, SANITARY AND STORM SEWERS.
- 7.) NO GEOTECHNICAL, SUBSURFACE, FIELD REVIEWS, RESEARCH, AGENCY OR GOVERNMENTAL RECORD REVIEWS, OR OTHER INVESTIGATIONS HAVE BEEN MADE FOR THE PURPOSE OF LOCATING, OR DETERMINING THE EXISTENCE OF WETLANDS, SOILS, OR OTHER MATERIALS, OR OTHER ENVIRONMENTAL CONCERNS ON SITE IN THE PERFORMANCE OF CHRISTOPHER CONSULTANTS, LTD SERVICES FOR THE PROJECT AS SHOWN HEREON.
- 8.) ALL BUILDING DIMENSIONS ARE MEASURED AT THE OUTSIDE GROUND LEVEL OF BUILDING. OVERALL SQUARE FOOTAGE HAS BEEN DETERMINED BY EXTERIOR DIMENSIONS AT GROUND LEVEL.
- 9.) THE RESOURCE PROTECTION AREA PERENNIAL STREAM 100' BUFFER SHOWN HEREON HAS BEEN MAPPED FROM TOP OF BANKS OF THE POTOMAC RIVER SURVEYED BY THIS FIRM BETWEEN AUGUST 5, 2014 AND AUGUST 13, 2014.
- 10.) LOTS AND STREET DEDICATION ARE SHOWN PER A SUBDIVISION PLAT PREPARED BY CHARLES P. JOHNSON & ASSOCIATES DATED MAY 2014, LAST REVISED JULY 16, 2014, AND APPROVED BY THE PLANNING COMMISSION OF THE CITY OF ALEXANDRIA IN SEPTEMBER 4TH, 2014.
- 11.) BASE FLOOD ELEVATION = 10.2'
- 12.) TOTAL EXISTING PARKING SPACES = 61 SPACES

THE PROPERTIES SHOWN HEREON ARE LOCATED ON THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 51581900401E, REVISED AND EFFECTIVE ON JUNE 16, 2011.

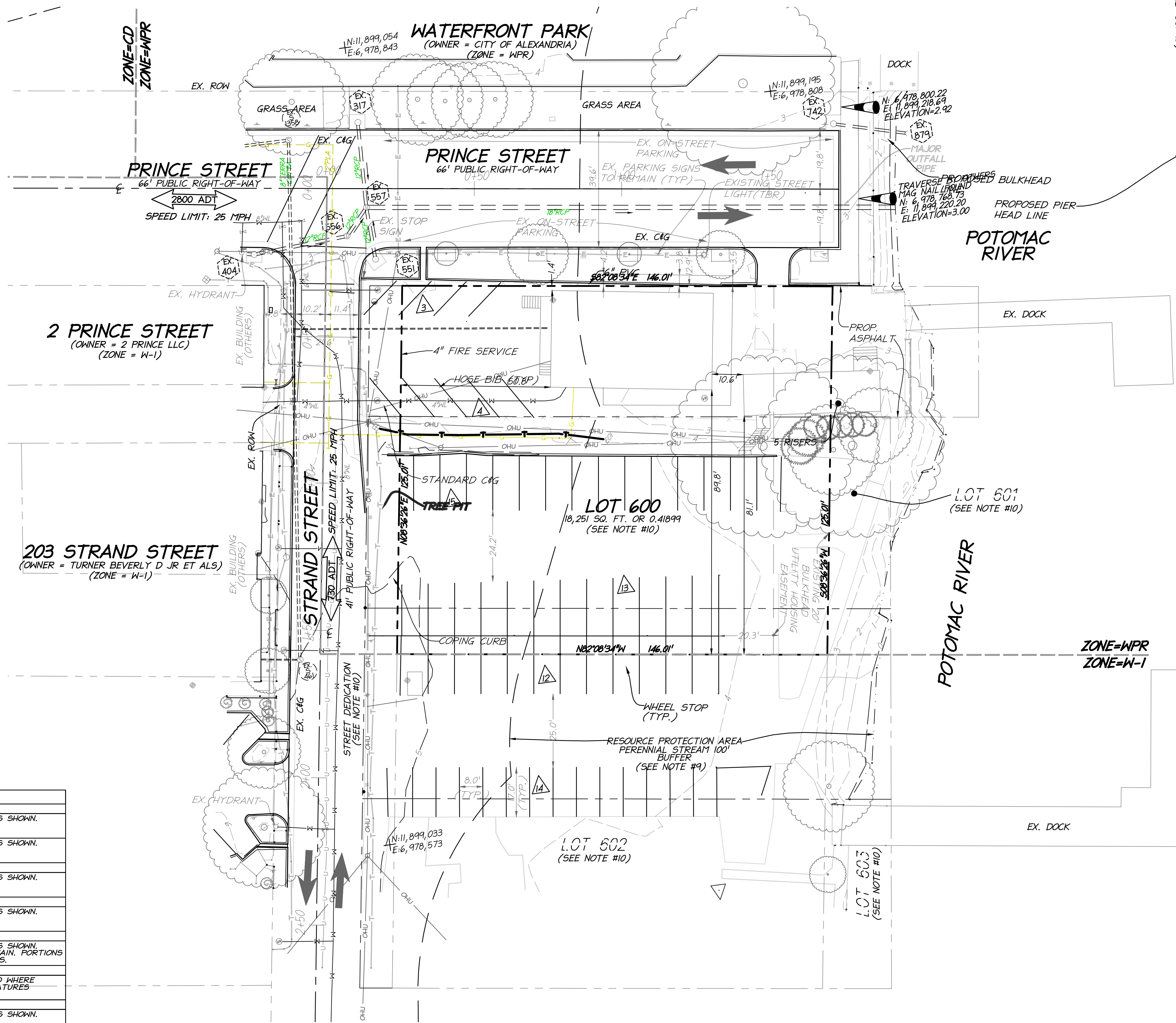
BY GRAPHIC DEPICTION ONLY (UNLESS OTHERWISE NOTED), THE PROPERTIES SHOWN HEREON ARE SUBJECT TO THE FOLLOWING:

1. FLOOD ZONE "AE" SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD BASE FLOOD AREAS DETERMINED.)

A FIELD SURVEY WAS NOT PERFORMED TO DETERMINE THE FLOOD ZONES LISTED HEREON. AN ELEVATION CERTIFICATE MAY BE NEEDED TO DETERMINE THE EXACT FLOOD ZONE VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

- 1) THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES AND SURFACE GROUND MARKINGS.
- 2) BEFORE DIGGING IN THIS AREA, CALL "MISS UTILITY" 1-800-552-7001 FOR FIELD LOCATIONS (REQUEST FOR GROUND MARKINGS) OF UNDERGROUND UTILITY LINES.
- 3) UTILITY PROFESSIONALS, INC. MARKED FOR THE HORIZONTAL LOCATION OF UNDERGROUND UTILITIES ON 08/08/14.
- 4) THIS INVESTIGATION DOES NOT INCLUDE THE USE OF GROUND PENETRATING RADAR OR INTRUSIVE METHODS OF INVESTIGATION SUCH AS TEST PITS OR BORINGS.
- 5) THIS INVESTIGATION DOES NOT INCLUDE DESIGNATING SPRINKLER OR IRRIGATION SYSTEMS, BURIED TANKS, SEPTIC SYSTEMS, OR WELLS.
- 6) DETECTING AND DESIGNATING UTILITIES THAT ARE BURIED DIRECTLY BELOW OTHER UTILITIES ARE NOT PROVIDED.

UTILITY DESCRIPTION	PLANS	MARKED	LOCATED	NOTES
COMMUNICATIONS VERIZON		X	X	MARKED AND LOCATED AS SHOWN.
COMCAST		X	X	MARKED AND LOCATED AS SHOWN.
ELECTRIC DOMINION VIRGINIA POWER		X	X	MARKED AND LOCATED AS SHOWN.
WATER VIRGINIA AMERICAN WATER		X	X	MARKED AND LOCATED AS SHOWN.
GAS WASHINGTON GAS	WG-89823	X	X	MARKED AND LOCATED AS SHOWN. UNABLE TO TRACE GAS MAIN. PORTIONS OF GAS SHOWN PER PLANS.
STORM & SANITARY SEWER CITY OF ALEXANDRIA	ALEXANDRIA SEWER VIEWER			AS BUILT DATA OBTAINED WHERE ACCESSIBLE. CERTAIN FEATURES SHOWN PER PLAN.
UNIDENTIFIED UNIDENTIFIED UTILITY LINE		X	X	MARKED AND LOCATED AS SHOWN.



STM 317
 TOP=3.18
 INV=-0.12 10° TERRACOTTA

 STM 404
 TOP=3.27
 INV=-0.47 10° TERRACOTTA

 STM 556
 TOP=3.54
 INV=-0.76 10° TERRACOTTA

 STM 557
 TOP=2.91
 UNABLE TO MEASURE DOWN
 (FULL OF SEDIMENT)

 STM 561
 TOP=3.18
 INV=-0.32 10° TERRACOTTA

STM 742
 TOP=2.84
 INV=-0.10 10° TERRACOTTA

 STM 879
 INV=-0.88 10° TERRACOTTA

 SAN 461
 TOP=0.02
 INV -IN=0.82 4° TERRACOTTA FR BLDG
 INV OUT=0.26 10° TERRACOTTA TO 135E

 SAN 135B
 TOP=2.84
 INV OUT=-0.78 10° TERRACOTTA FR 461
 INV OUT=-1.21 10° TERRACOTTA TO 135E

[illegible]

ALL CONSTRUCTION SHALL CONFORM TO THE
CURRENT CITY OF ALEXANDRIA STANDARDS AND
SPECIFICATIONS

DISTURBED AREA:
0.60 AC OR 26,213 S.F.

Utilities - Water

 WATER VALVE
 FIRE HYDRANT
 WATER METER

Utilities - Sanitary

 SANITARY MANHOLE
 CLEAN OUT

Utilities - Storm

 STORM DRAIN INLET
 STORM DRAIN MANHOLE
 STORM CATCH BASIN
 STORM INVERT

Utilities - Electric

 LIGHT POLE
 ELECTRIC MANHOLE
 ELECTRIC VAULT
 POWER POLE

Utilities - Communication

 COMMUNICATION PEDESTAL
 COMMUNICATION MANHOLE
 COMMUNICATION VAULT

Utilities - Gas

 GAS VALVE
 GAS METER

Misc. Symbols

 UNIDENTIFIED MANHOLE
 SIGN
 BOLLARD
 GROUND SPOT SHOT
 BUILDING HEIGHT MEASUREMENT
 METAL POST
 EXISTING PARCEL IDENTIFICATION
 PARKING SPACE COUNT
 STORM STRUCTURE
 SANITARY STRUCTURE
 DECIDUOUS TREE
 CONIFEROUS TREE



APPROVED	
SPECIAL USE PERMIT NO. <u>2014-0026</u>	
DEPARTMENT OF PLANNING & ZONING	
_____ DIRECTOR	_____ DATE
DEPARTMENT OF PLANNING & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
_____ CHAIRMAN, PLANNING COMMISSION	
_____ DATE	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	



christopher consultants
 engineering · surveying · land planning
 9900 main street (fourth floor) · fairfax va. 22031-3907
 703.273.6920 · fax 703.273.7636



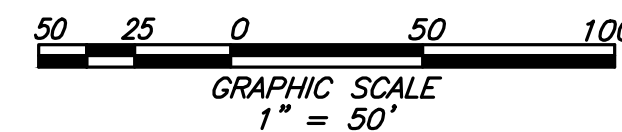
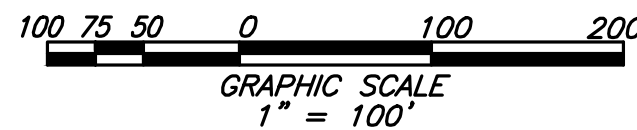
EXISTING CONDITIONS PLAN

FINAL SITE PLAN

OLD DOMINION BOAT CLUB

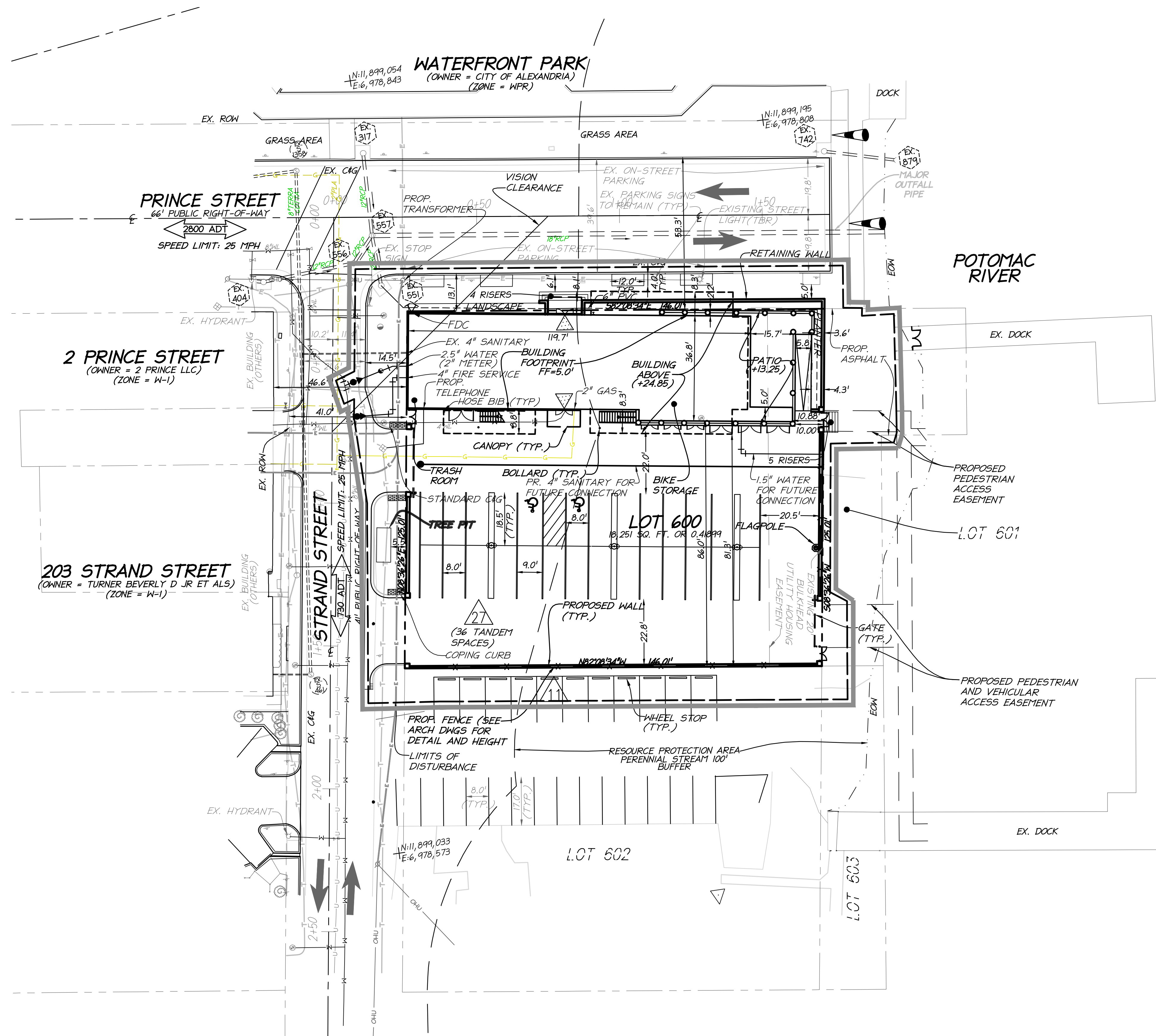
THE CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO: 14104.001.00
SCALE: 1"=20'
DATE: 04/20/15
DESIGN: JLH DRAWN: JLH CHECKED: KMW
SHEET No. C30



C4.0

XXXX	TO BE DEMOLISHED
Utilities - Water	
	WATER VALVE
	FIRE HYDRANT
	WATER METER
Utilities - Sanitary	
	SANITARY MANHOLE
	CLEAN OUT
Utilities - Storm	
	STORM DRAIN INLET
	STORM DRAIN MANHOLE
	STORM CATCH BASIN
	STORM INVERT
Utilities - Electric	
	LIGHT POLE
	ELECTRIC MANHOLE
	ELECTRIC VAULT
	POWER POLE
Utilities - Communication	
	COMMUNICATION PEDESTAL
	COMMUNICATION MANHOLE
	COMMUNICATION VAULT
Utilities - Gas	
	GAS VALVE
	GAS METER
Misc. Symbols	
	UNIDENTIFIED MANHOLE
	SIGN
	BILLBOARD
	GROUND SPOT SHOT
	BUILDING HEIGHT MEASUREMENT
	METAL POST
	EXISTING PARCEL IDENTIFICATION
	PARKING SPACE COUNT
	STORM STRUCTURE
	SANITARY STRUCTURE
	DECIDUOUS TREE
	CONIFEROUS TREE
Linetypes	
	FENCE
	CURB & GUTTER
	PROPERTY LINE
	ADJOINER LINE
	EX. INDEX CONTOUR (5')
	EX. INT. CONTOUR (1')
	EDGE OF WATER
	CENTERLINE OF R/W
	OVERHEAD UTILITY WIRE
	EXISTING GAS
	EXISTING WATERLINE
	EXISTING TELE.
	EXISTING ELEC.
	EXISTING STORM
	EXISTING SANITARY
	PROP. WATER LINE
	PROP. FENCE
	LIMITS OF DISTURBANCE
Abbreviations	
CG	CURB & GUTTER
RCP	REIN. CONC. PIPE
CLF	CHAIN LINK FENCE
W/F	WOOD FENCE
EDW	EDGE OF WATER
EOI	END OF UTILITY INFORMATION
	DENOTES NUMBER OF STANDARD PARKING SPACES
	CURB
	BUILDING ENTRANCE
	PROPOSED SITE LIGHT
	PROPOSED FLAG POLE
	PROPOSED HOSE BIB

[illegible]

ALL CONSTRUCTION SHALL CONFORM TO THE
CURRENT CITY OF ALEXANDRIA STANDARDS AND
SPECIFICATIONS

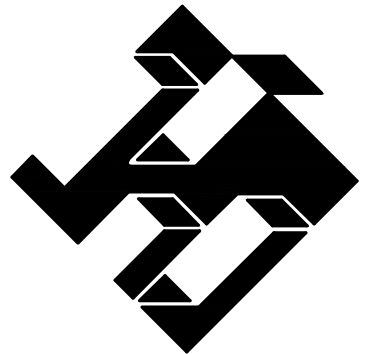
DISTURBED AREA:
0.60 AC OR 26,213 S.F.

1. THE FINAL SITE PLAN, GRADING PLAN, OR ANY OTHER PERMITS INVOLVING GROUND-DISTURBING ACTIVITIES (SUCH AS CORING, GRADING, FILLING, VEGETATION REMOVAL, UNDERGROUND UTILITIES, PILE DRIVING, LANDSCAPING AND OTHER EXCAVATIONS AS DEFINED IN SECTION 2-151 OF THE ZONING ORDINANCE) SHALL NOT BE RELEASED UNTIL THE CITY ARCHAEOLOGIST CONFIRMS THAT ALL ARCHAEOLOGICAL FIELD WORK HAS BEEN COMPLETED OR THAT AN APPROVED RESOURCE MANAGEMENT PLAN IS IN PLACE TO RECOVER ANY POTENTIAL RESOURCES IN CONJUNCTION WITH CONSTRUCTION ACTIVITIES TO CONFIRM, CALL ALEXANDRIA ARCHAEOLOGY AT (703) 746-4399.
2. THE APPLICANT / DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
3. THE APPLICANT / DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

1. ALL PROPOSED CURB RADII TO BE 6.0'.
2. FOR UTILITY OWNER INFORMATION, SEE SHEET C3.0.
3. SEE ARCHITECTURAL PLANS FOR DETAILED FLOOR PLANS AND ELEVATIONS.
4. SEE ARCHITECTURAL PLANS FOR DETAILED STOOP AND RAILING INFORMATION.
5. SEE SHEET A-501 FOR THE PARKING LOT PAVING SECTION.
6. PROPOSED TRANSFORMER TO BE LOCATED ON THE EXISTING POWER POLE AND HAS BEEN COORDINATED WITH D.V.P.
7. ALL EXISTING WATER SERVICES TO THE EXISTING BUILDING SHALL BE ABANDONED.

APPROVED	
SPECIAL USE PERMIT NO. <u>2014-0026</u>	
DEPARTMENT OF PLANNING & ZONING	
_____ DIRECTOR	_____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
_____ CHAIRMAN, PLANNING COMMISSION	
_____ DATE	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

christopher consultants
engineering • surveying • land planning
9900 main street (fourth floor) • fairfax va. 22031-3907
703.273.6820 • fax 703.273.7636



SITE PLAN

FINAL SITE PLAN
OLD DOMINION BOAT CLUB
THE CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO:14104.001.00

SCALE:
 $1''=20'$

DATE: 04/20/15

DESIGN: JLH
DRAWN: JLH
CHECKED: KMW

SHEET No.

C5.0

1. THE FINAL SITE PLAN, GRADING PLAN, OR ANY OTHER PERMITS INVOLVING GROUND-DISTURBING ACTIVITIES (SUCH AS CORING, GRADING, FILLING, VEGETATION REMOVAL, UNDERGROUNDING UTILITIES, PILE DRIVING, LANDSCAPING AND OTHER EXCAVATIONS AS DEFINED IN SECTION 2-151 OF THE ZONING ORDINANCE) SHALL NOT BE RELEASED UNTIL THE CITY ARCHAEOLOGIST CONFIRMS THAT ALL ARCHAEOLOGICAL FIELD WORK HAS BEEN COMPLETED OR THAT AN APPROVED RESOURCE MANAGEMENT PLAN IS IN PLACE TO RECOVER SIGNIFICANT RESOURCES IN CONCERT WITH CONSTRUCTION ACTIVITIES. TO CONFIRM, CALL ALEXANDRIA ARCHAEOLOGY AT (703) 746-4399.
2. THE APPLICANT / DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
3. THE APPLICANT / DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

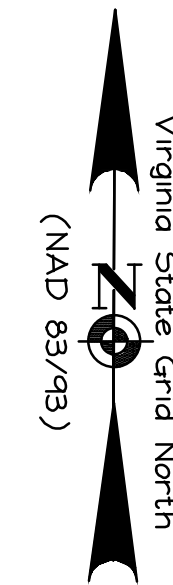
XXXX	TO BE DEMOLISHED
Utilities - Water	
	WATER VALVE
	FIRE HYDRANT
	WATER METER
Utilities - Sanitary	
	SANITARY MANHOLE
	CLEAN OUT
Utilities - Storm	
	STORM DRAIN INLET
	STORM DRAIN MANHOLE
	STORM CATCH BASIN
	STORM INVERT
Utilities - Electric	
	LIGHT POLE
	ELECTRIC MANHOLE
	ELECTRIC VAULT
	POWER POLE
Utilities - Communication	
	COMMUNICATION PEDESTAL
	COMMUNICATION MANHOLE
	COMMUNICATION VAULT
Utilities - Gas	
	GAS VALVE
	GAS METER
Misc. Symbols	
	UNIDENTIFIED MANHOLE
	SIGN
	BOLLARD
	GROUND SPOT SHOT
	BUILDING HEIGHT MEASUREMENT
	METAL POST
	EXISTING PARCEL IDENTIFICATION
	PARKING SPACE COUNT
	STORM STRUCTURE
	SANITARY STRUCTURE
	DECIDUOUS TREE
	CONIFEROUS TREE
Linetypes	
	FENCE
	CURB & GUTTER
	PROPERTY LINE
	ADJOINER LINE
	EX. INDEX CONTOUR
	EX. INT. CONTOUR
	EDGE OF WATER
	CENTERLINE OF R/W
	OVERHEAD UTILITY WIRE
	EXISTING GAS
	EXISTING WATERLINE
	EXISTING T
	EXISTING ELEC.
	EXISTING STORM
	EXISTING SANITARY
	PROP. WATER LINE
Abbreviations	LIMITS OF DISTURBANCE
CGK	CURB & GUTTER
RCP	REIN. CONC. PIPE
CLF	CHAIN LINK FENCE
WF	WOOD FENCE
EW	EDGE OF WATER
ECU	END OF UTILITY INFORMATION
	DENOTES NUMBER OF STANDARD PARKING SPACES
	CURB
	BUILDING ENTRANCE
	PROPOSED SITE LIGHT
	PROPOSED FLAG POLE
	PROPOSED HOSE BID

1. THE IMPROVEMENTS TO THE PROMENADE AS PART OF THE CITY'S FLOOD DEFENSE PLAN ARE SUBJECT TO CHANGE AND MAY REQUIRE DESIGN ALTERATIONS ON BEHALF OF THE APPLICANT IN ORDER TO COORDINATE.
2. BOAT RAMP TO BE COMPLETED ONCE THE FLOOD MITIGATION WORK IS COMPLETE.
3. SEE ARCHITECTURAL PLANS FOR DETAILED FLOOR PLANS AND ELEVATIONS.



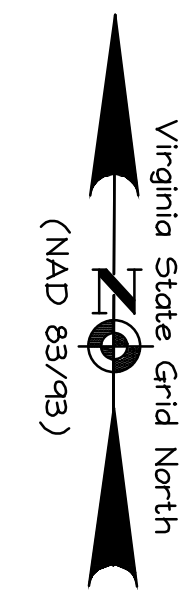
ALL CONSTRUCTION SHALL CONFORM TO THE
CURRENT CITY OF ALEXANDRIA STANDARDS AND
SPECIFICATIONS

DISTURBED AREA:
0.60 AC OR 26,213 S.F.



1. THE FINAL SITE PLAN, GRADING PLAN, OR ANY OTHER PERMITS INVOLVING CORING-DISTURBING ACTIVITIES (SUCH AS CORING, GRADING, FILLING, VEGETATION REMOVAL, UNDERGROUNDING UTILITIES, PILE DRIVING, LANDSCAPING AND OTHER EXCAVATIONS AS DEFINED IN SECTION 2-151 OF THE ZONING ORDINANCE) SHALL NOT BE RELEASED UNTIL THE CITY ARCHAEOLOGIST CONFIRMS THAT ALL ARCHAEOLOGICAL FIELD WORK HAS BEEN COMPLETED OR THAT AN APPROVED RESOURCE MANAGEMENT PLAN IS IN PLACE TO RECOVER AND MANAGE RESOURCES IN CONCERT WITH CONSTRUCTION ACTIVITIES. TO CONFIRM, CALL ALEXANDRIA ARCHAEOLOGY AT (703) 746-4399.
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3. THE APPLICANT / DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

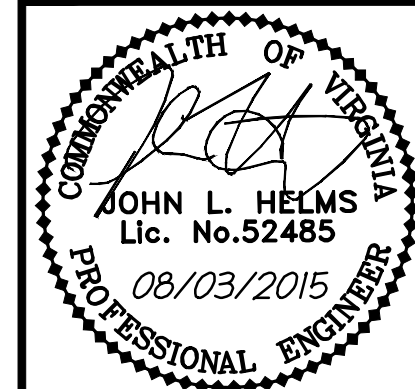
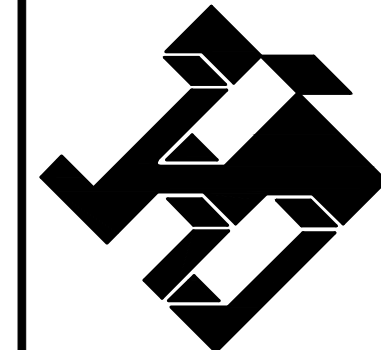
- 1.) THE IMPROVEMENTS TO THE PROMENADE AS PART OF THE CITY'S FLOOD DEFENSE PLAN ARE SUBJECT TO CHANGE AND MAY REQUIRE DESIGN ALTERATIONS ON BEHALF OF THE APPLICANT IN ORDER TO COORDINATE.
- 2.) BOAT RAMP TO BE COMPLETED ONCE THE FLOOD MITIGATION WORK IS COMPLETE.

[illegible]

ALL CONSTRUCTION SHALL CONFORM TO THE
CURRENT CITY OF ALEXANDRIA STANDARDS AND
SPECIFICATIONS

DISTURBED AREA:
0.60 AC OR 26,213 S.F.

christopher consultants
engineering · surveying · land planning
9900 main street (fourth floor) · fairfax va, 22031-3907
703.273.6820 · fax 703.273.7636



**SITE GRADING PLAN
ULTIMATE CONDITION**

FINAL SITE PLAN
OLD DOMINION BOAT CLUB
THE CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO:14104.001.00

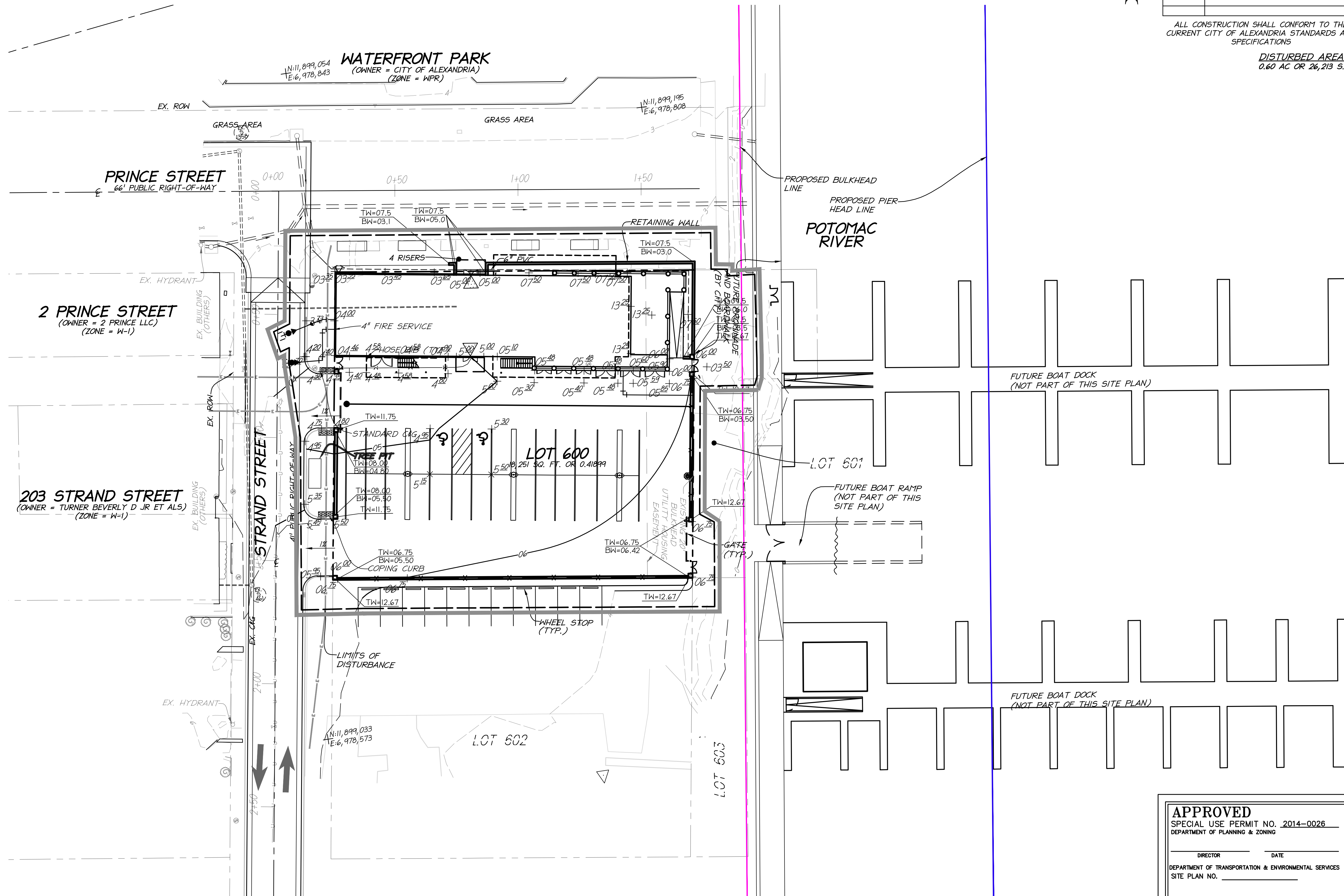
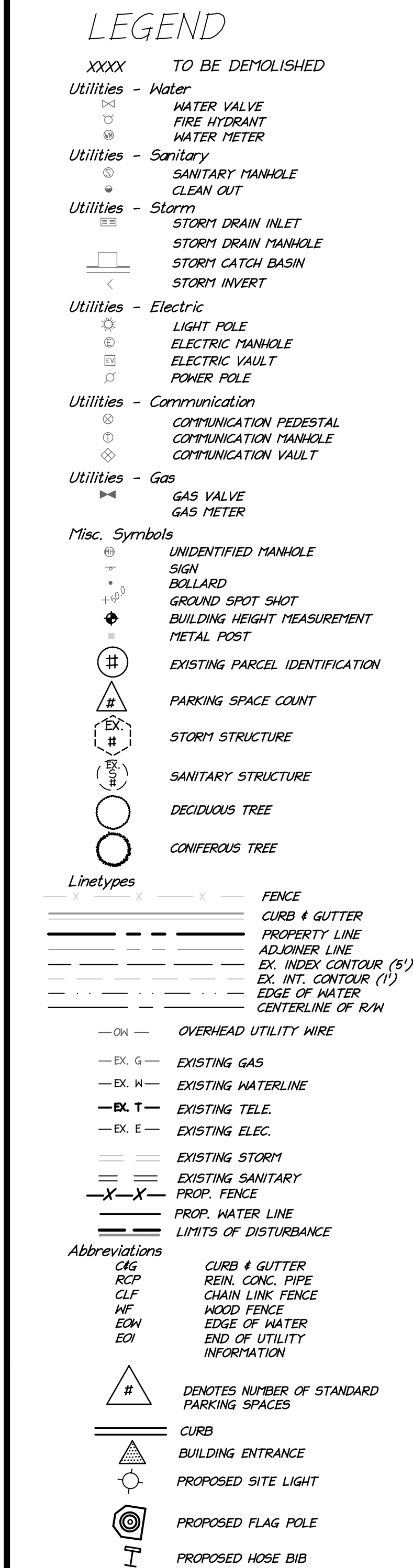
SCALE:

DATE: 04/20/15

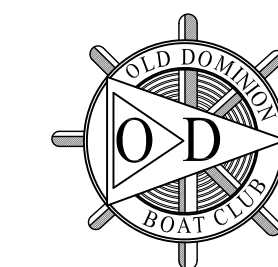
DESIGN: JLH
DRAWN: JLH
CHECKED: KMW

SHEET No.

C6.1



APPROVED		
SPECIAL USE PERMIT NO. <u>2014-0026</u>		
DEPARTMENT OF PLANNING & ZONING		
_____ DIRECTOR		_____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN NO. _____		
_____ DIRECTOR		_____ DATE
_____ CHAIRMAN, PLANNING COMMISSION		
_____ DATE RECEIVED _____		_____ DATE _____
_____ INSTRUMENT NO.	_____ DEED BOOK NO.	_____ PAGE NO.



OLD DOMINION BOAT CLUB

The City of Alexandria, Virginia



Professional Certification.
I certify that these documents were
prepared or approved by me, and that I am
a duly licensed architect under the laws of
the state of Virginia, license
number 0401012577, expiration date 08/31/2016.



REGISTRATION:

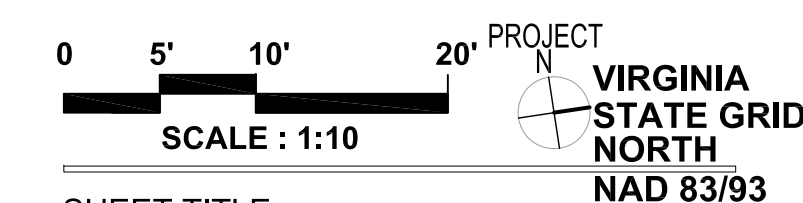
[illegible]

A/E PROJECT NO:

DRAWN BY:

CHECKED BY:

APPROVED	
SPECIAL USE PERMIT NO. 2014-0026	
DEPARTMENT OF PLANNING & ZONING	
_____ DIRECTOR	_____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
_____ _____ _____	
CHAIRMAN, PLANNING COMMISSION	_____ DATE
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____



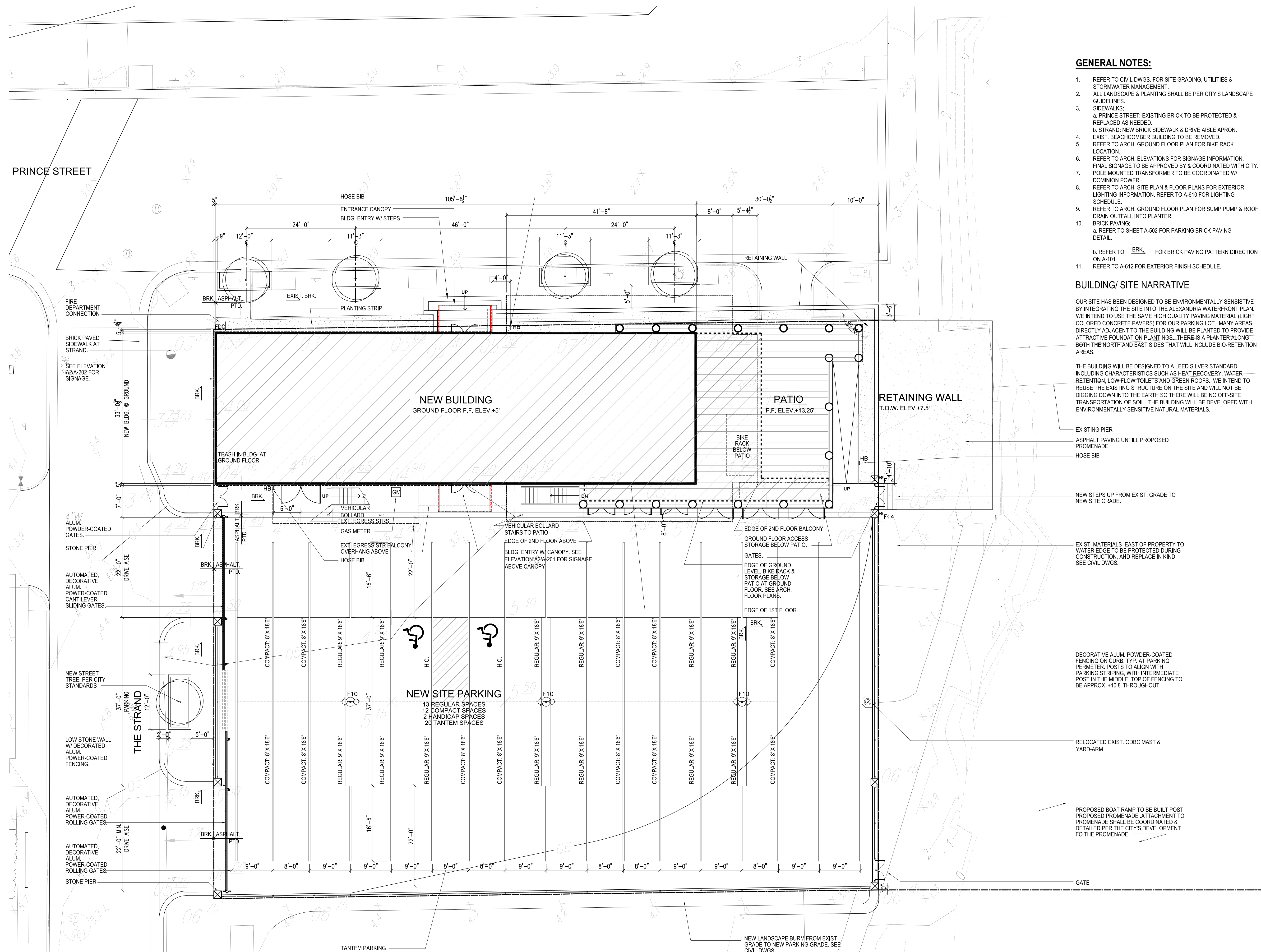
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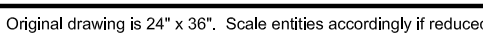
ARCHITECTURAL SITE
PLAN

SHEET NUMBER:

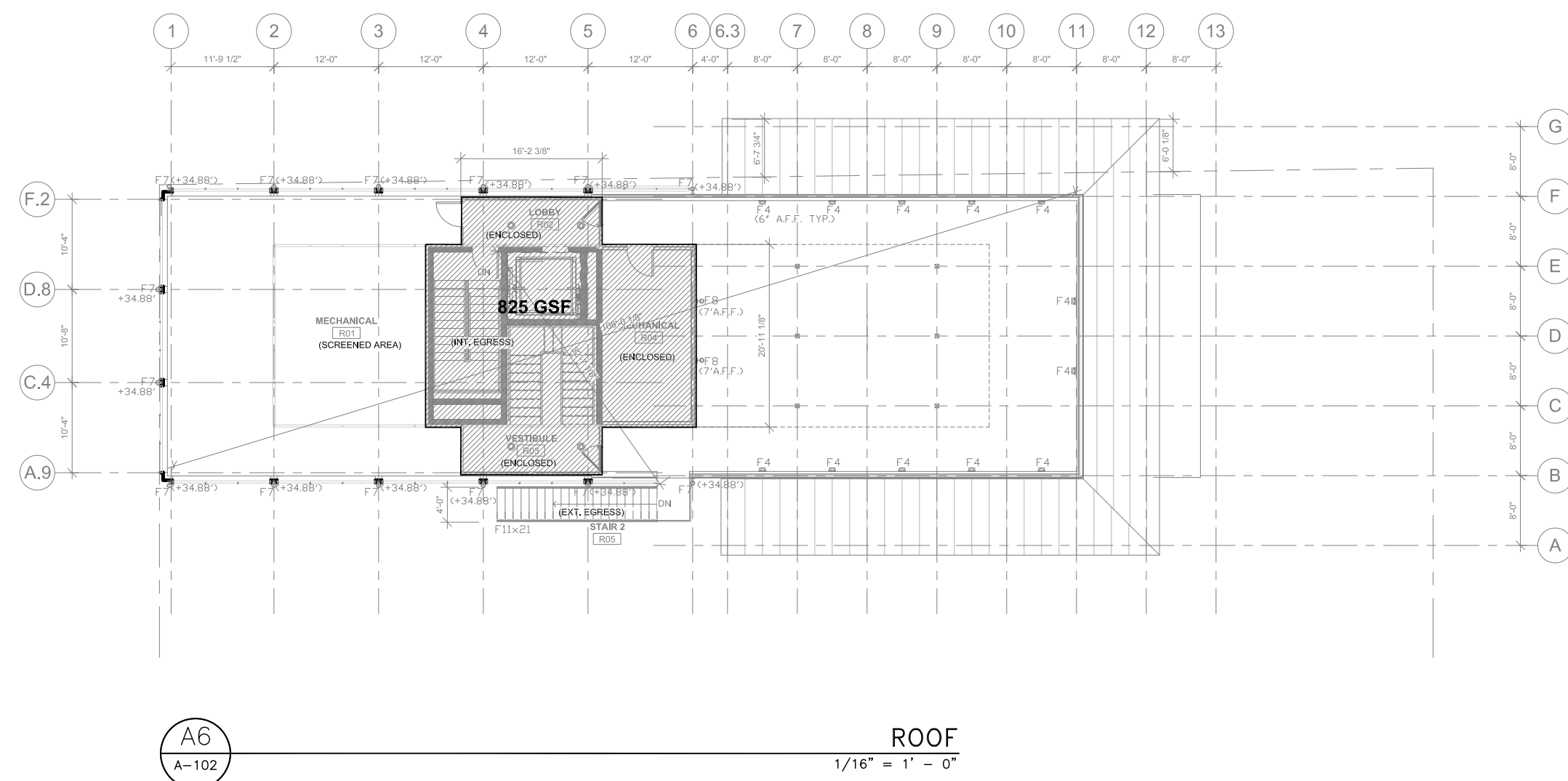
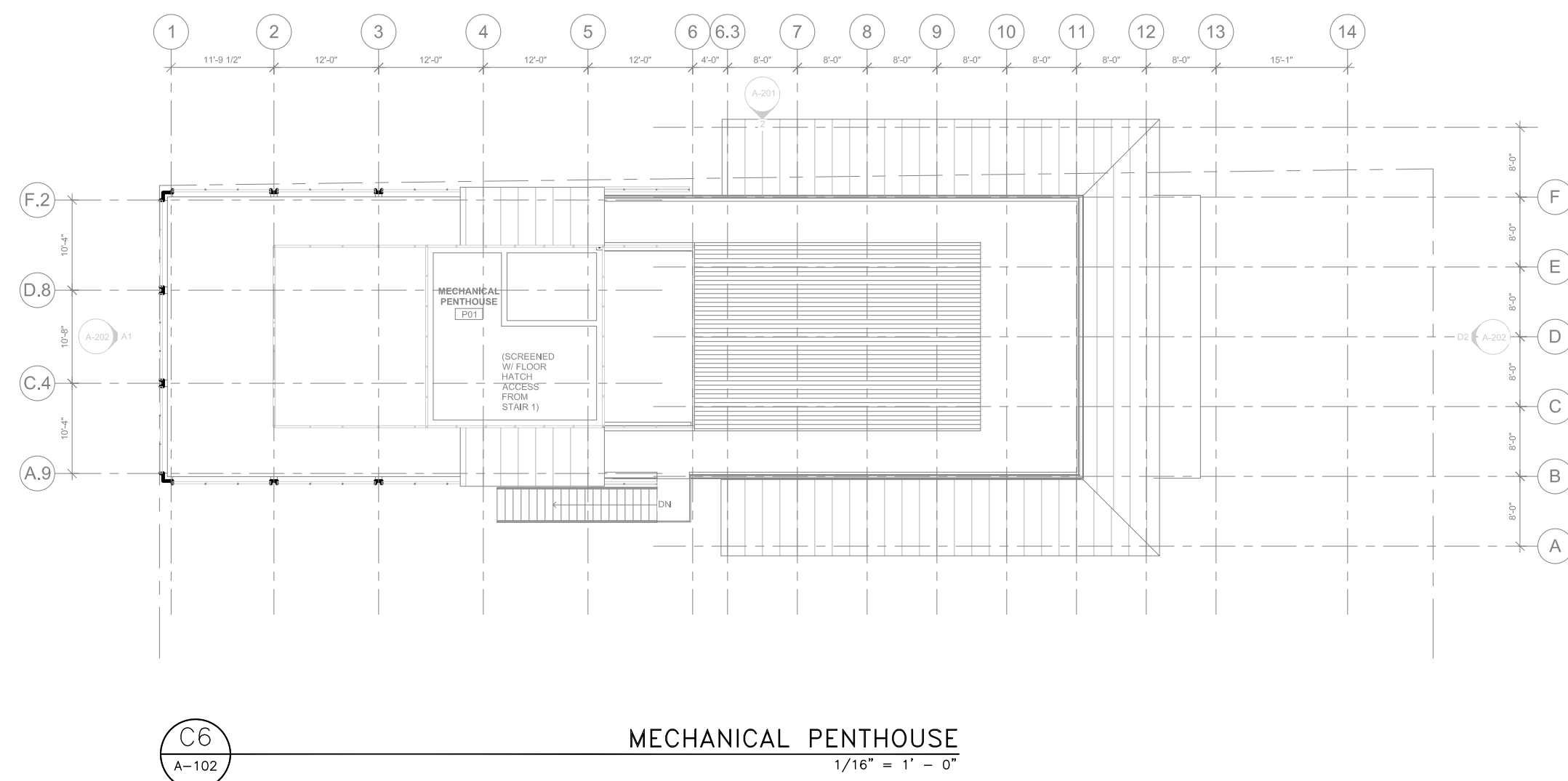
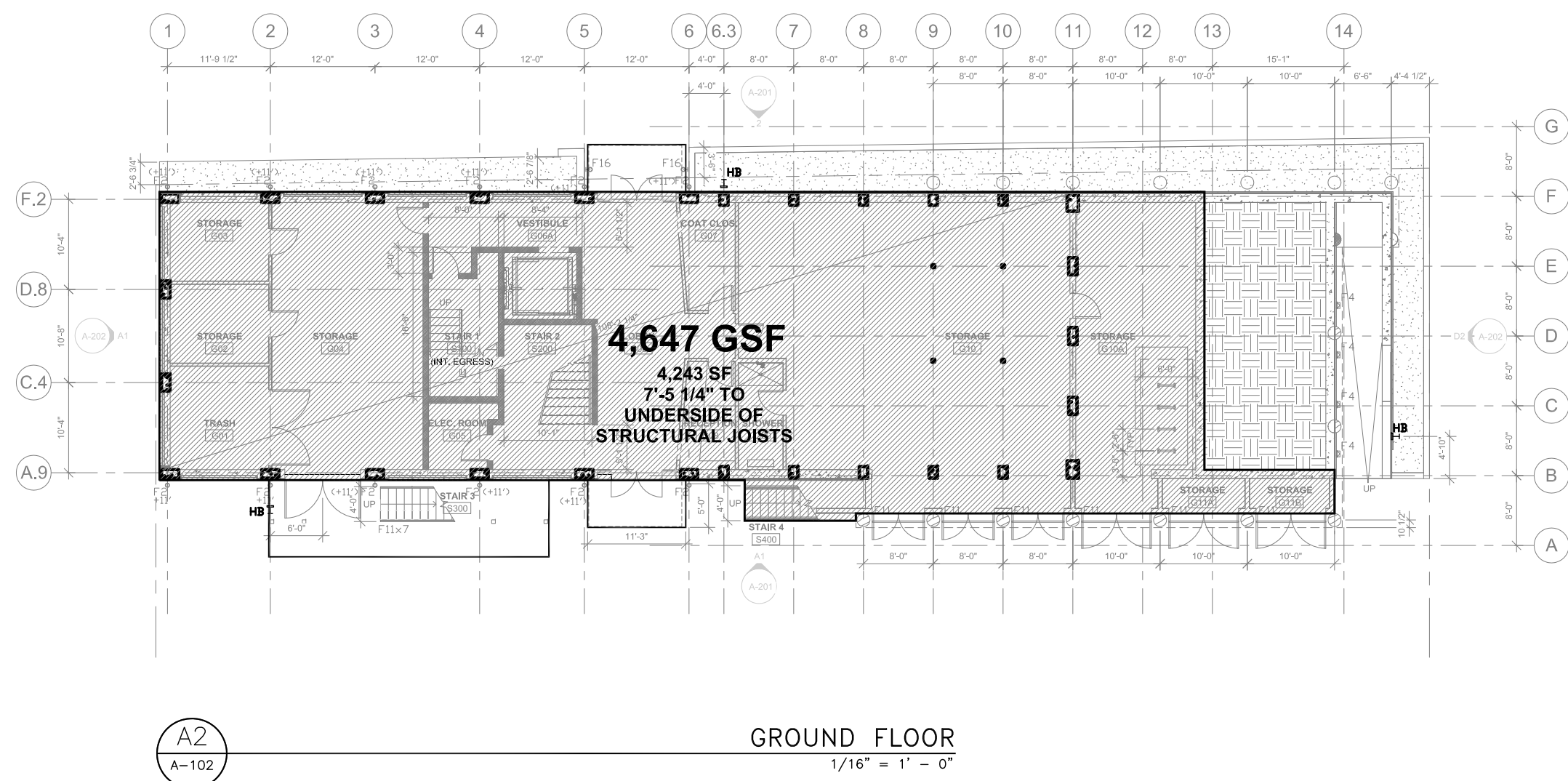
A-101

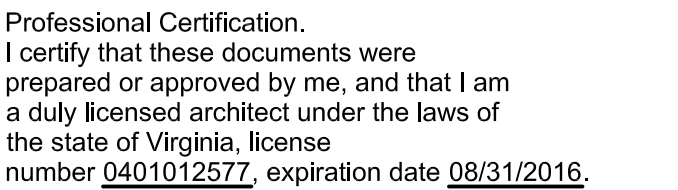
Original drawing is 24" x 36". Scale entities accordingly if reduced





1. EXCLUDE FROM NET SQUARE FEET CALCULATIONS ARE STAIR/ ELEVATOR BULKHEADS, MECHANICAL SPACES, AND GROUND LEVEL AREAS OF LESS THAN 7'-6" CEILING HEIGHT.





A/E PROJECT NO:

CHECKED BY:

0 4' 8' 16'

SCALE : 1/8" = 1'-0"

SHEET TITLE:

PROJECT

N

VIRGINIA
STATE GRID
NORTH
NAD 83/93

FLOOR PLAN

A-113

Original drawing is 24" x 36". Scale entities accordingly if reduced.

Original drawing is 24" x 36". Scale entities accordingly if reduced.

The City of Alexandria, Virginia

MICHAEL WINSTANLEY
ARCHITECTS & PLANNERS
MICHAELWINSTANLEY.COM
107 N. WEST STREET
ALEXANDRIA, VA 22314
(703) 519-8081

Professional Certification.
I certify that these documents were
prepared or approved by me, and that I am
a duly licensed architect under the laws of
the state of Virginia, license
number 0401012577, expiration date 08/31/2016.



REGISTRATION:

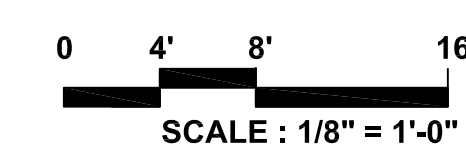
[illegible]

A/E PROJECT NO:

DRAWN BY:

CHECKED BY:

APPROVED	
SPECIAL USE PERMIT NO. 2014-0026	
DEPARTMENT OF PLANNING & ZONING	
_____ DIRECTOR	_____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
_____ CHAIRMAN, PLANNING COMMISSION	
DATE _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

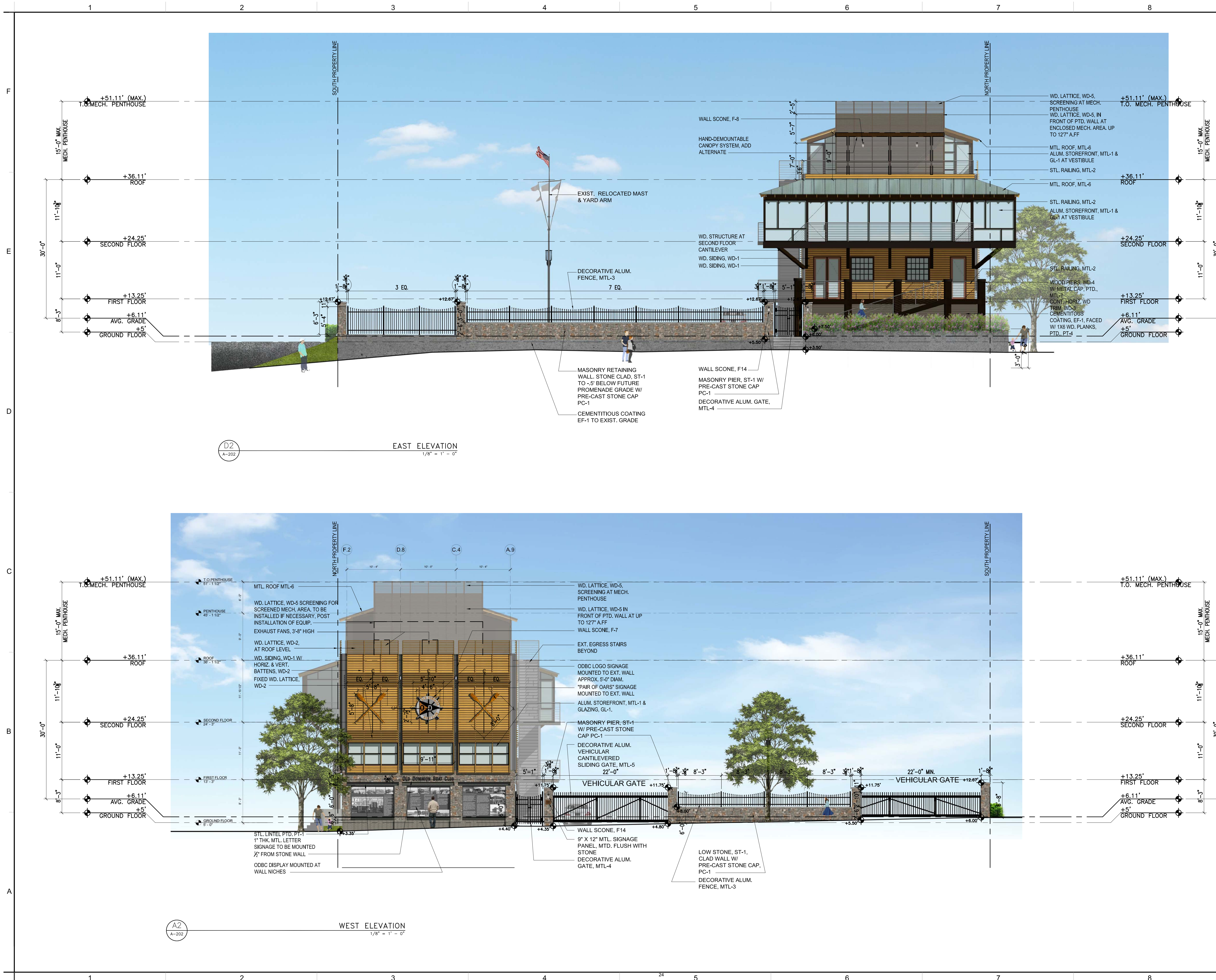


SHEET TITLE:
EXTERIOR
ELEVATIONS

SHEET NUMBER:

A-202

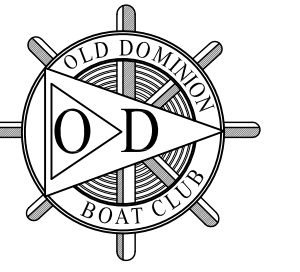
Original drawing is 24" x 36". Scale entities accordingly if reduced.



Original drawing is 24" x 36". Scale entities accordingly if reduced.

GENERAL NOTES:

1. ROOFTOP CANOPY SHALL BE SEASONAL ELEMENT WHICH IS FULLY DEMOUNTED BETWEEN NOVEMBER 15TH AND FEBRUARY 15TH WITH THE EXCEPTION OF A 24 HOUR PERIOD FOR THE SCOTTISH WALK TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND ZONING (P&Z)



OLD DOMINION BOAT CLUB

The City of Alexandria, Virginia

MICHAEL WINSTANLEY
ARCHITECTS & PLANNERS
MICHAELWINSTANLEY.COM
107 N. WEST STREET
ALEXANDRIA, VA 22314
(703) 519-8061

Professional Certification.
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2016.



REGISTRATION:

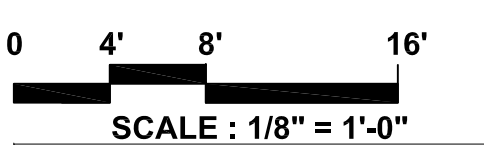
[illegible]

A/E PROJECT NO:

DRAWN BY:

CHECKED BY:

APPROVED	
SPECIAL USE PERMIT NO. <u>2014-0026</u>	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	DATE _____
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____

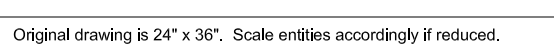


SHEET TITLE:

EXTERIOR ELEVATIONS

SHEET NUMBER:

A-203



The City of Alexandria, Virginia

MICHAEL WINSTANLEY
ARCHITECTS & PLANNERS
MICHAELWINSTANLEY.COM
107 N. WEST STREET
ALEXANDRIA, VA 22314
(703) 519-8081

Professional Certification.
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number 0401012577, expiration date 08/31/2016.



REGISTRATION:

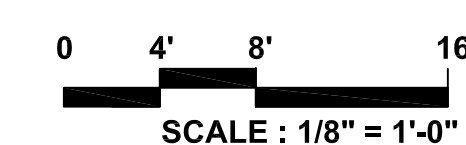
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A/E PROJECT NO:

DRAWN BY:

CHECKED BY:

APPROVED	
SPECIAL USE PERMIT NO. <u>2014-0026</u>	
DEPARTMENT OF PLANNING & ZONING	
_____ DIRECTOR	_____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
_____ CHAIRMAN, PLANNING COMMISSION	
_____ DATE	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____



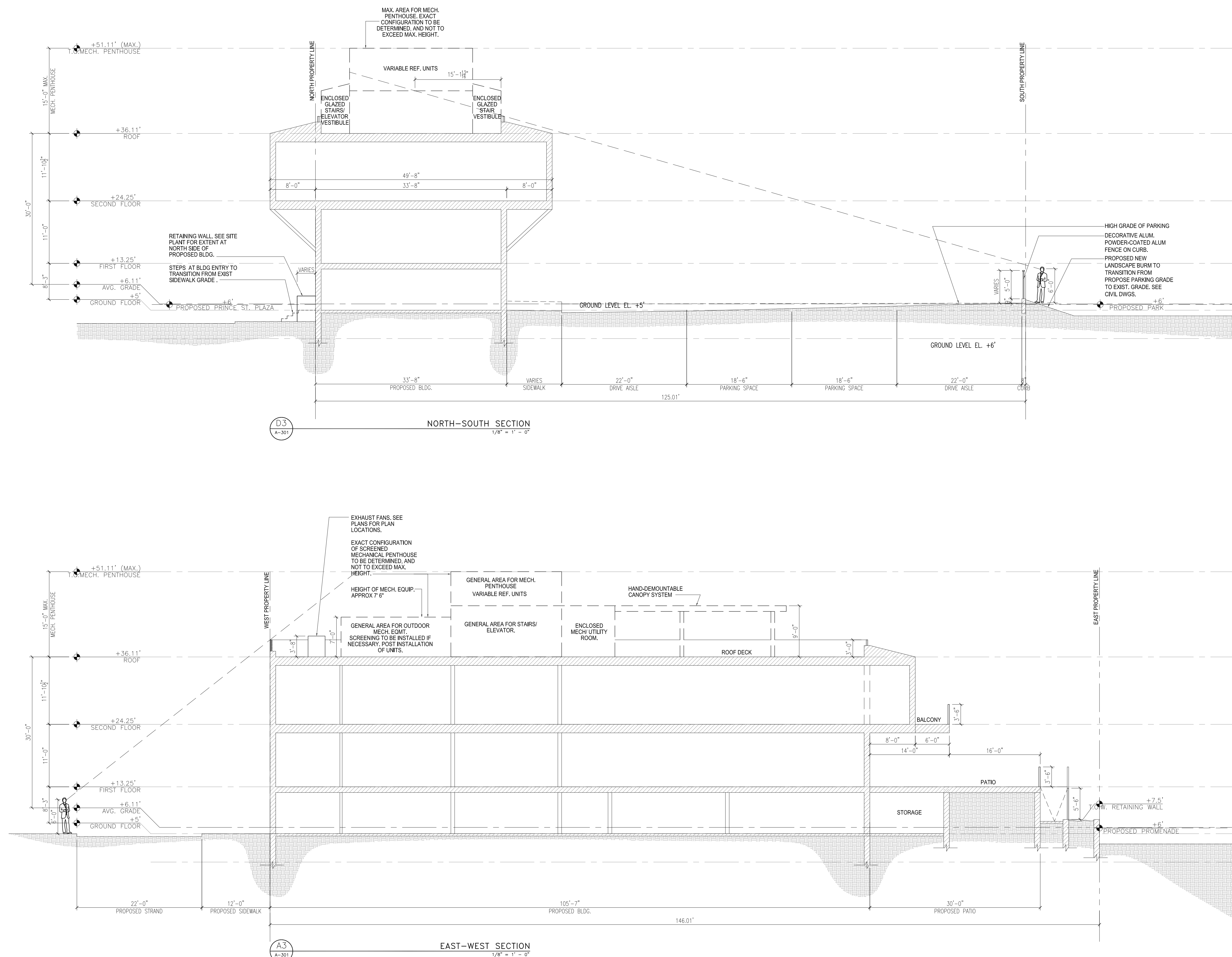
SHEET TITLE:

BUILDING/ SITE
SECTIONS

SHEET NUMBER:

A-301

Original drawing is 24" x 36". Scale entities accordingly if reduced.



REGISTRATION:

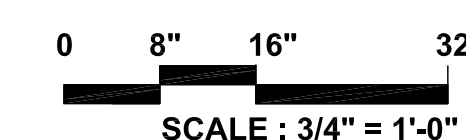
[illegible]

A/E PROJECT NO:

DRAWN BY:

CHECKED BY:

APPROVED	
SPECIAL USE PERMIT NO. 2014-0026	
DEPARTMENT OF PLANNING & ZONING	
_____ DIRECTOR	_____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
_____ _____ _____	
_____ CHAIRMAN, PLANNING COMMISSION	_____ DATE
DATE RECORDED _____	
_____ INSTRUMENT NO.	_____ DEED BOOK NO.
_____ PAGE NO.	



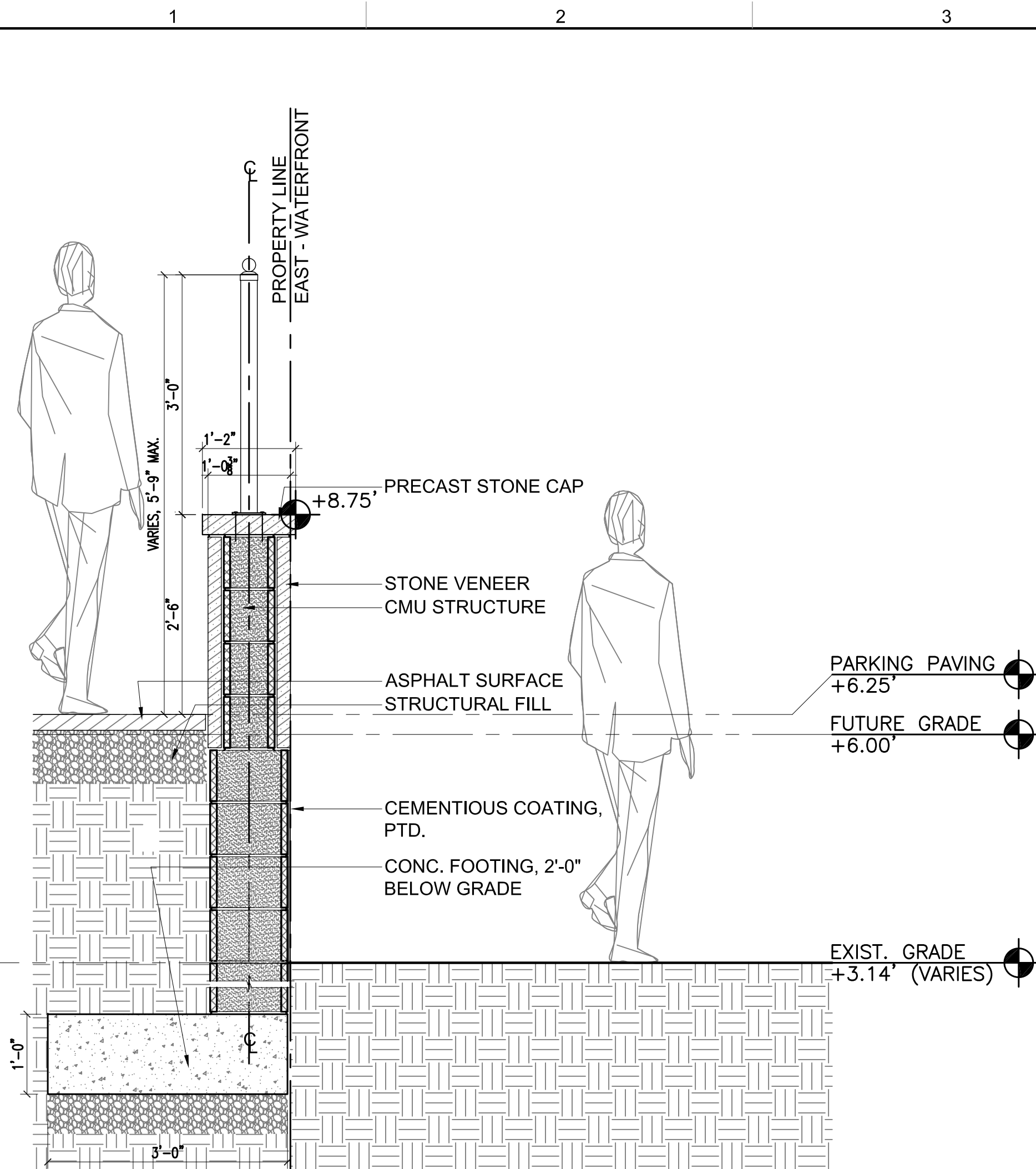
SHEET TITLE:

SITE DETAILS

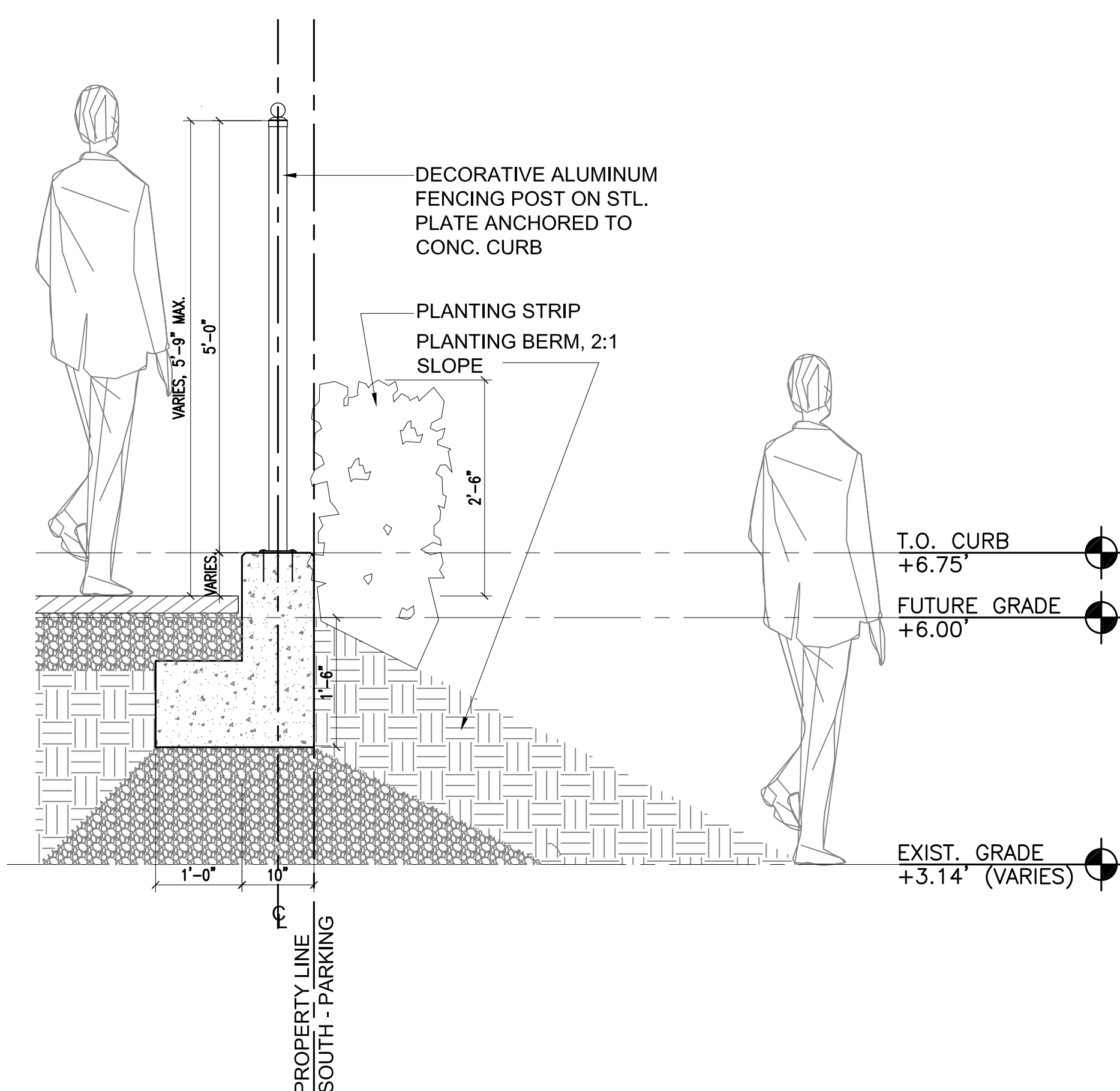
SHEET NUMBER:

A-501

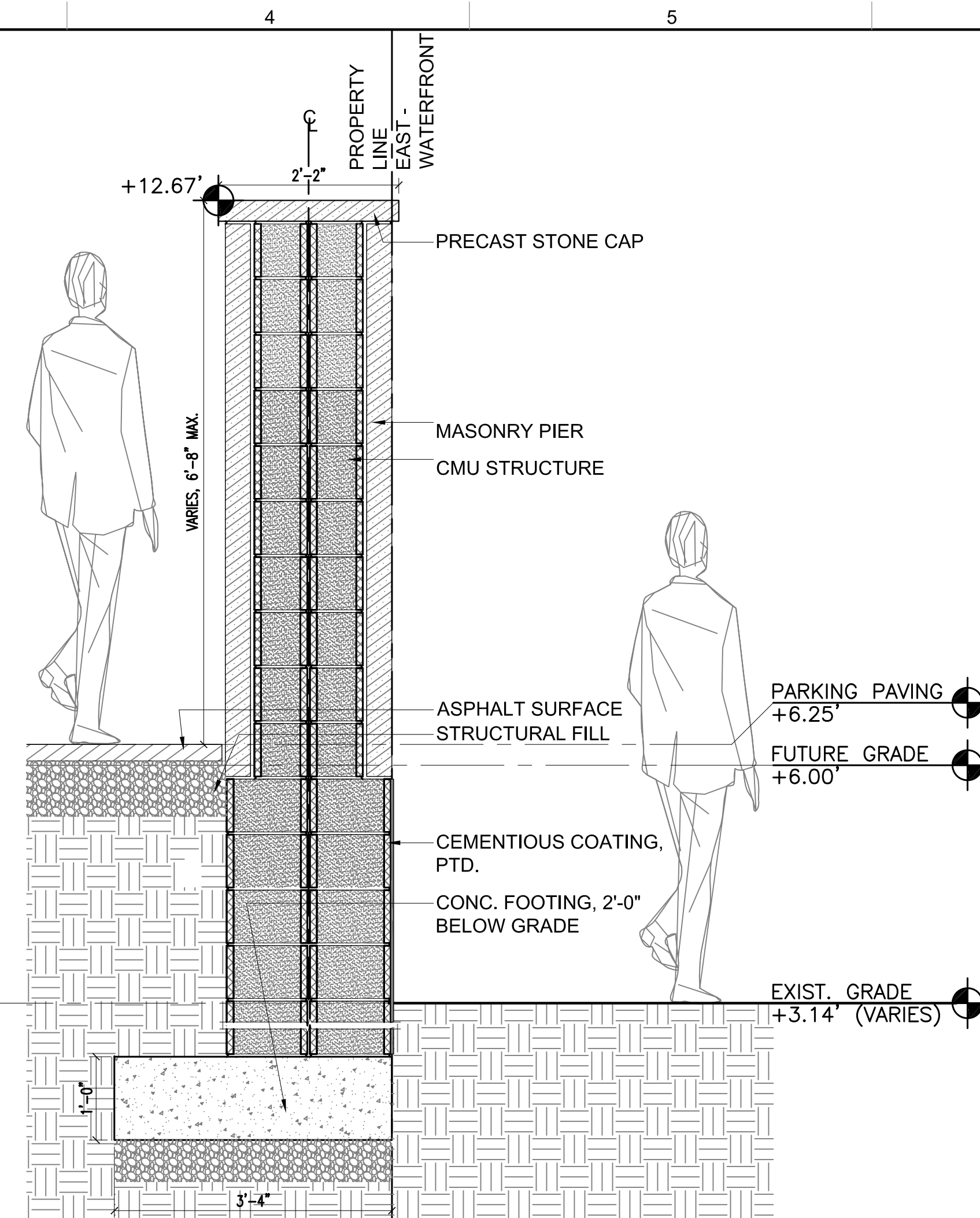
Original drawing is 24" x 36". Scale entities accordingly if reduced.



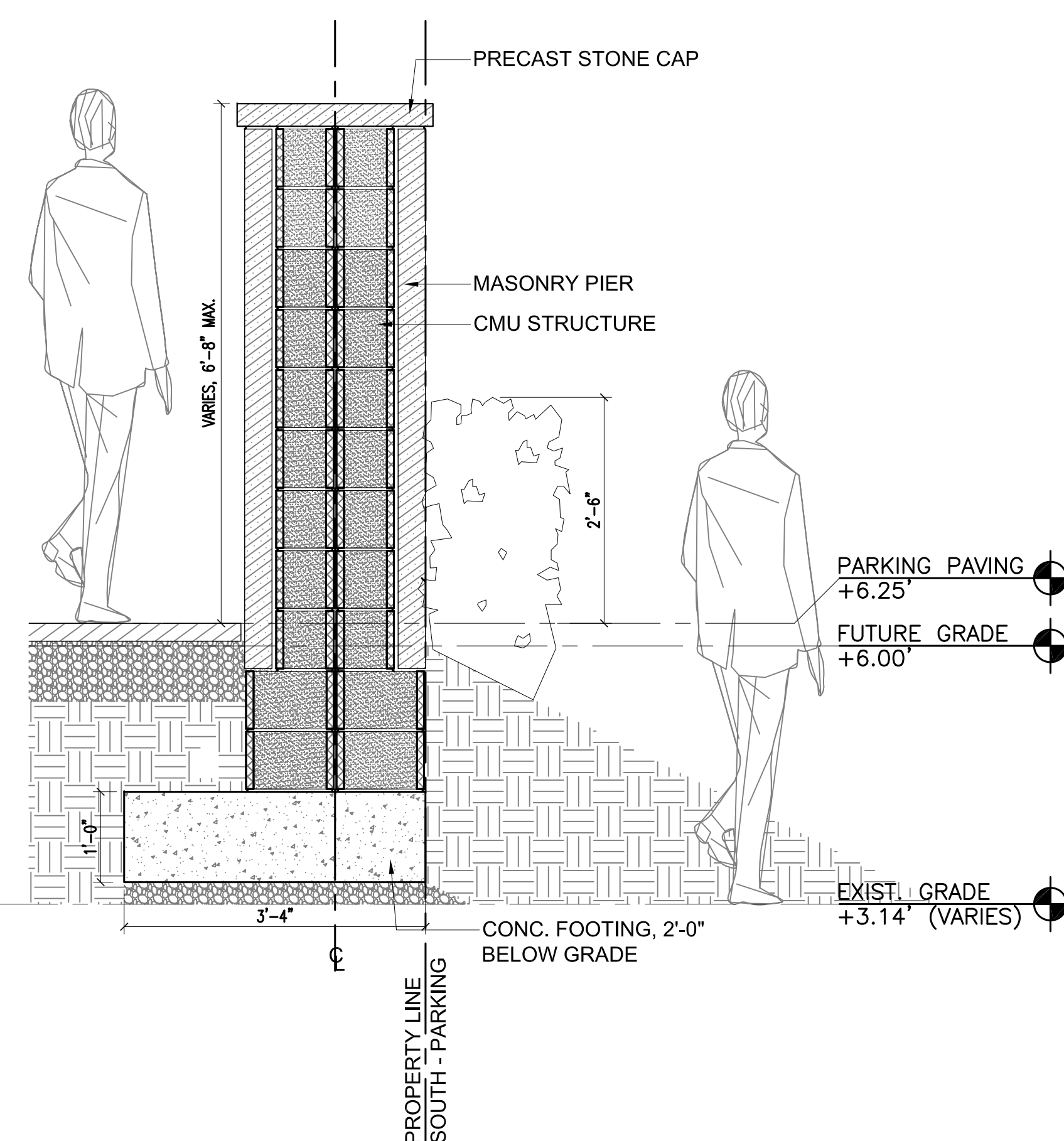
SECTION DETAIL @ EAST SIDE
FENCING ON LOW MASONRY WALL
D1 SCALE: 3/4" = 1'-0"



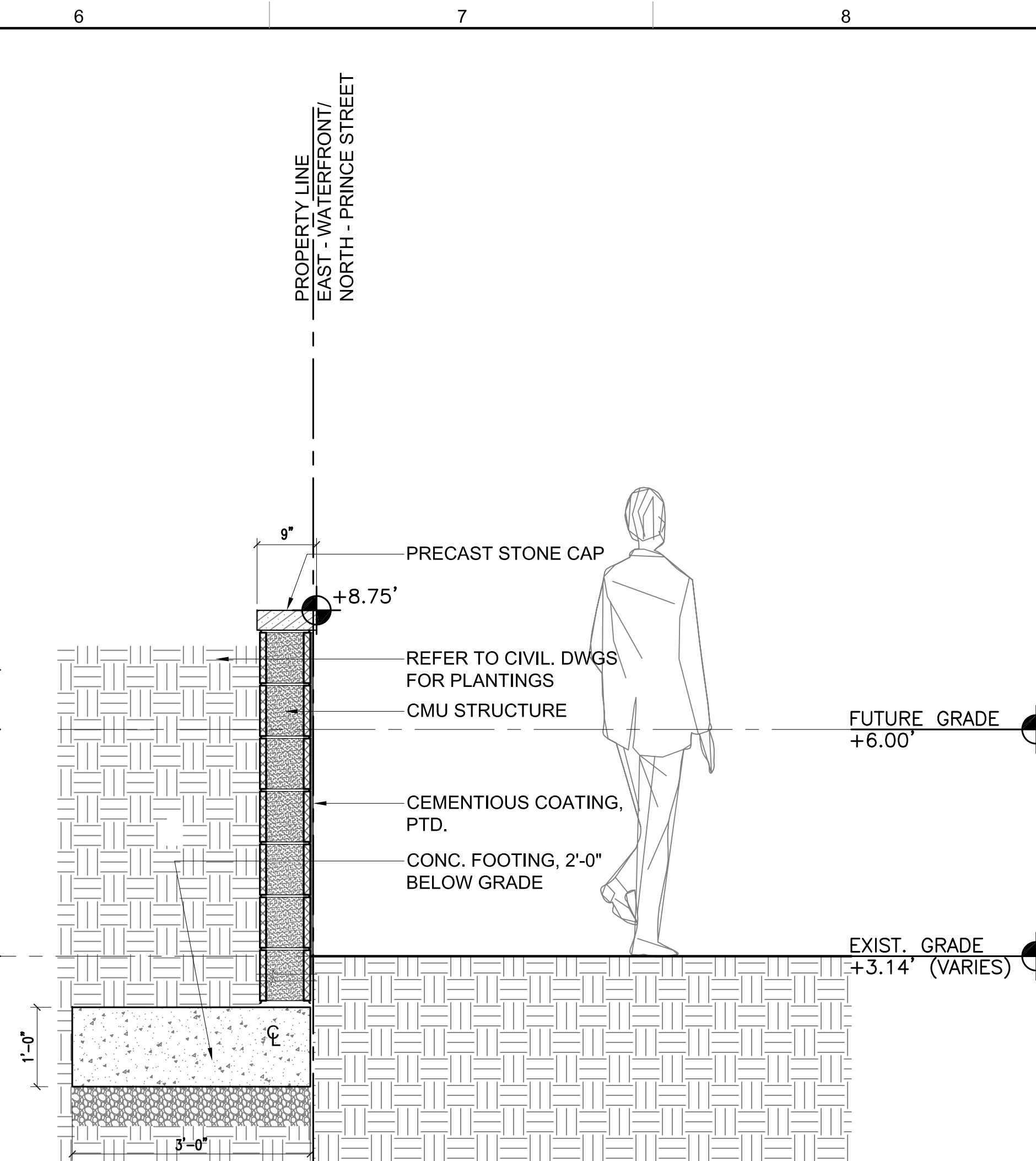
SECTION DETAIL @ SOUTH SIDE
FENCING ON CURB
A1
SCALE: 3/4"=1'-0"



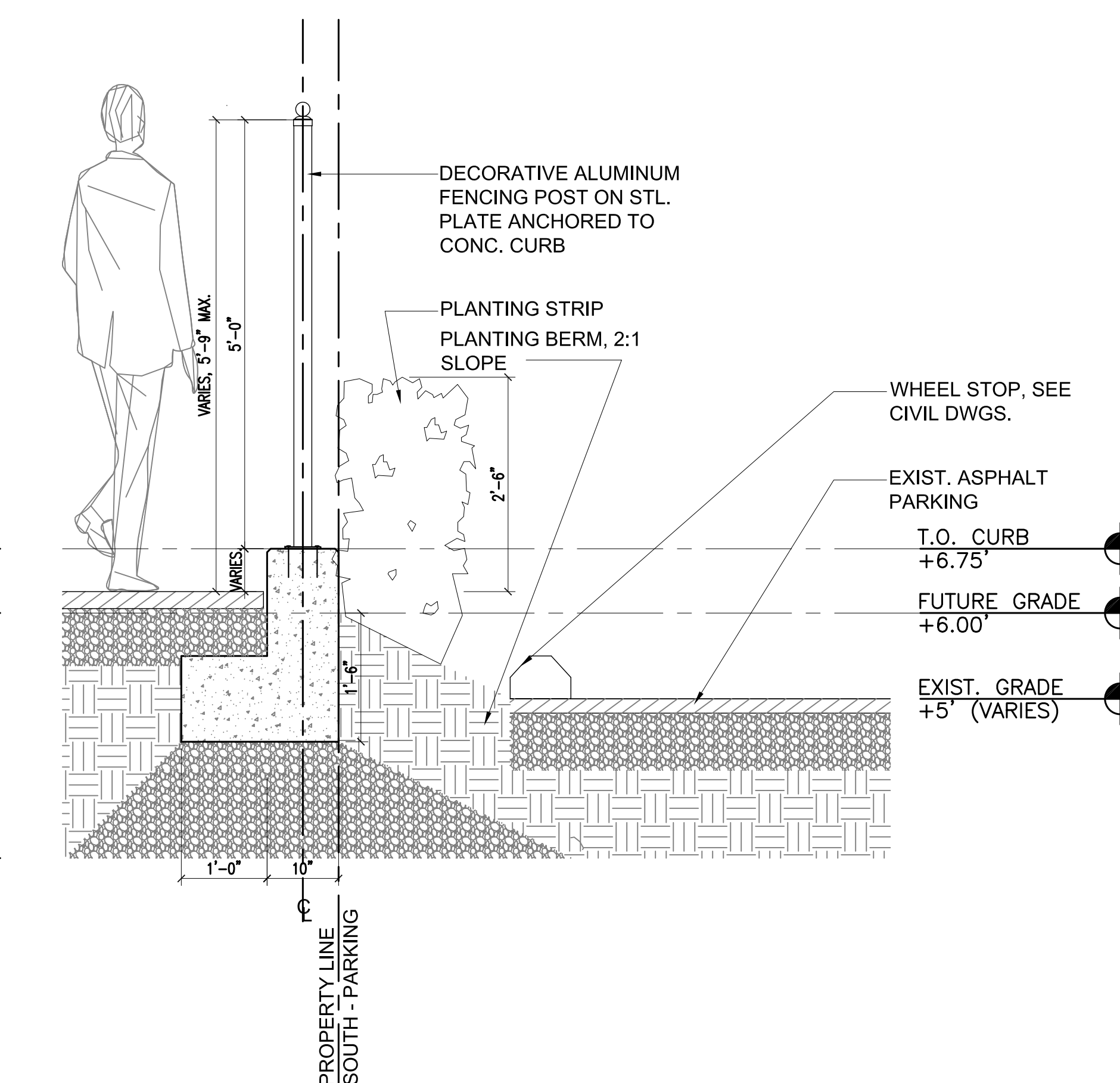
SECTION DETAIL @ EAST SIDE
MASONRY PIER
SCALE: 3/4" = 1'-0"



SECTION DETAIL @ SOUTH SIDE
MASONRY PIER
SCALE: 3/4"=1'-0"



SECTION DETAIL @ TYP.
RETAINING WALL
D6
SCALE: 3/4" = 1'-0"



SECTION DETAIL @ SOUTH SIDE
FENCING ON CURB



Professional Certification.
I certify that these documents were
prepared or approved by me, and that I am
a duly licensed architect under the laws of
the state of Virginia, license
number 0401012577, expiration date 08/31/2016.

A/E PROJECT NO:

DRAWN BY:

CHECKED BY

0 4" 8" 16"

SCALE : 1-1/2" = 1'-0"

SHEET TITLE:

SITE DETAILS

SHEET NUMBER:

A-502

EXTERIOR									
F1	TYPE NOT USED								
F1A	TYPE NOT USED								
F2		Façade	Outdoor rated surface mounted LED sconce. Sealed and gasketed housing with UV stable white acrylic diffuser and solid metal accent bars for decoration. UL listed for wet locations. Dimensions: 7-1/4" Width x 10" Height x 5-1/2" Depth	LED, 3000K 900 Lumens	Integral Electronic Driver	10W	VISA LIGHTING COLONNADE OW104B-LWWS00-VG- Horizontal Bars 3	American Glass Light BEGA	1. Architect to verify finish. 2. Electrical Engineer to specify voltage. 3. Contractor shall provide all mounting hardware and accessories as required for a complete and approved installation. 4. Manufacturer to provide dimensioned shop drawings showing all materials, finishes and components for Lighting Designer and Architect review prior to fabrication. Provide metal finish sample plates for review during shop drawing phase. 5. Architect to confirm mounting height and specific locations. 6. Contractor shall verify and coordinate fixture installation and mounting with architectural details and field conditions.
F3		Outdoor Patio	Outdoor rated recessed LED downlight. Corrosion-resistant cast aluminum housing with cover ring, silver double powder coated finish, anti glare ring with cross-baffle and non-reflective safety glass. UL listed for wet locations (IP65). Dimensions: 5-1/2" Diameter x 5-7/8" Depth	LED, 3000K 90 CRI 800 Lumens	Integral Electronic Driver	10W	ERCO 84425.023	Intense Lighting USA1	1. Architect to verify finish. 2. Electrical Engineer to specify voltage. 3. Contractor shall provide all mounting hardware and accessories as required for a complete and approved installation. 4. Manufacturer to provide dimensioned shop drawings showing all materials, finishes and components for Lighting Designer and Architect review prior to fabrication. Provide metal finish sample plates for review during shop drawing phase. 5. Architect to confirm mounting height and specific locations. 6. Contractor shall verify and coordinate fixture installation and mounting with architectural details and field conditions.
F4		Ramp and Roof Deck	Outdoor rated recessed LED step luminaire. Stainless steel gasketed housing with frosted reflector and stainless steel cover ring. UL listed for wet locations (IP68). Dimensions: 2-1/4" Diameter x 2-13/16" Depth	LED, 3000K 17 Lumens	Remote Electronic Driver	1W	ERCO 33752.023	Iuzzini ACDC	1. Architect to verify finish. 2. Electrical Engineer to specify voltage. 3. Contractor shall provide all mounting hardware and accessories as required for a complete and approved installation. 4. Architect to confirm mounting height and specific locations. 5. Contractor shall verify and coordinate fixture installation and mounting with architectural details and field conditions.
F5	TYPE NOT USED								
F5A	TYPE NOT USED								
F6	TYPE NOT USED								
F7		Façade	Outdoor rated surface mounted LED sconce. Heavy wall corrosion resistant cast aluminum housing with polyester powder coat black finish. Constant current driver. No uplight and Laser beam down. UL Listed for wet locations. Dimensions: 5.5" Height x 6" Width x 1 1/4" Depth	LED, 3000K	Integral Constant Current Driver	14W	US ARCHITECTURAL LIGHTING LASER SERIES - LED LAS5562-12LED-NB-RAL- 9005-T	BEGA Designplan	1. Architect to verify finish. 2. Electrical Engineer to specify voltage. 3. Contractor shall provide all mounting hardware and accessories as required for a complete and approved installation. 4. Contractor to verify and coordinate fixture mounting with architectural details, housing type, and field conditions.
F8		Outdoor Temporary Bar	Outdoor rated surface mounted decorative sconce. Hammered seeded mouth blown glass with die-cast aluminum cage and base. 60,000 hours. ETL listed for wet locations. IP65. Dimensions: 9-1/2" Height x 8-1/4" Width x 9-3/8" Total Depth	LED, 3000K 90CRI, 365 Delivered Lumens	Integral Electronic Driver	10W	WAC LIGHTING STEAMPUNK WVS-W24508-FINISH	Hudson Valley Lighting ELK Lighting	1. Architect to specify finish and mounting height. 2. Electrical Engineer to specify voltage. 3. Contractor shall provide all mounting hardware and accessories as required for a complete and approved installation. 4. Contractor to verify and coordinate fixture mounting with architectural details, housing type, and field conditions.
F9	TYPE NOT USED								
F10		Parking Lot	LED pole mounted luminaire. Heavy cast aluminum sealed top cover with integral LED heat dissipating pad, high impact satin ice frosted UV stabilized acrylic diffuser with a set of 8 x 3/16" cast aluminum lower blades. Cast aluminum upper hinged optical chamber housing with a cast aluminum lower electrical chamber housing. Polyester powder coat finish. Type V distribution. 14' high pole. ETL listed for wet locations. Dimensions: 12.5" Diameter x 30.375" Height	LED, 3000K 80+ CRI 200 Lumens per ft	Integral Electronic Driver	54W	LUMINIS WB02 WB02-L1W56-VOLT-FINISH- K3-EC3P	Baselite	1. Contractor shall verify and coordinate fixture location with architectural details. 2. Refer to base and anchorage detail by Architect / Civil engineer. Provide pole to meet local and AASHTO requirements for EPA of fixture configuration. Architect / Civil Engineer shall coordinate pole anchorage detail to concrete base. 3. Architect to specify finish. 4. Electrical Engineer to specify voltage. 5. Electrical Engineer shall confirm and coordinate emergency lighting as required to meet code requirements.
F11		Stairs and Storage area	Outdoor rated flexible LED linear luminaire with square extrusion. Flexible tape light with extruded aluminum profile with frosted diffuser. IP67. Dimensions: LED Tape - 0.47" Width x 0.2" Height x Length per architectural drawings. Aluminum Profile - 0.86" Width x 0.61" Height x Length per architectural drawings.	LED, 2700K 80+ CRI 200 Lumens per ft	Remote Electronic Driver	2.6 W/ft	QTRAN 10 LED Flexible Tape Light IQ67FW502.6 Aluminum Profile IQA-SOUR	Lilbend AION LED	1. Contractor shall verify and coordinate fixture installation and mounting with architectural details and field conditions. Refer to architectural drawings for length of continuous runs and details. 2. Contractor shall provide mounting clips/track if fixture is mounted to an unfinished surface. 3. Architect to confirm finish. 4. Electrical Engineer to specify voltage. 5. Locate remote drivers and/or power supplies in a secure, concealed, accessible and well ventilated location in compliance with manufacturer's recommendations. 6. Manufacturer to provide dimensioned shop drawings for approval prior to fabrication. 7. Fixture shall be ordered with necessary power supplies, drivers, leader cables, jumper cables, power feeds, terminators and control interfaces for installation of a complete system. 8. Electrical Engineer shall confirm and coordinate emergency lighting as required to meet code requirements.
F12	TYPE NOT USED								
F13		Signage	Outdoor rated LED spotlight. Aluminum housing with 360 deg horizontal and 180 deg vertical rotation. 65 deg optic. Fixture to be mounted on dual head arm. Coastal finish. Dimensions: Spotlight: 4-1/2" Length x 2-1/4" Diameter Arm: 24" Length x 15" Width	LED, 3000K 80 CRI	Remote Electronic Driver	2 x 14W	TROY RLM Spotlight: 2 x 3 - LBLED - LED14 - FINISH Arm: LB0024 - FINISH	RAB We-ef	1. Contractor shall verify and coordinate fixture installation and mounting with architectural details and field conditions. 2. Fixture to be armed on site in the presence of Architect and Lighting Designer. 3. Architect to confirm finish. 4. Electrical Engineer to specify voltage. 5. Contractor shall provide all mounting hardware and accessories as required for a complete and approved installation. 6 Light distribution to be verified during submittals review.

Type	Image	Location	Description	Lamping	Electrical	Input Wattage	Catalog Number	Alternate Manufacturers	Notes
F13A		Signage	Fixture identical to F13 except to be mounted on a single head arm	LED, 3000K 80 CRI	Remote Electronic Driver	14W	TROY RLM Spotlight: 3 - LBLED - LED14 - FINISH Arm: LC24 - FINISH	RAB We-e	1. Contractor shall verify and coordinate fixture installation and mounting with architectural details and field conditions. 2. Fixture to be aimed on site in the presence of Architect and Lighting Designer. 3. Architect to confirm finish. 4. Electrical Engineer to specify voltage. 5. Contractor shall provide all mounting hardware and accessories as required for a complete and approved installation. 6. Light distribution to be verified during submittals review.
F14		North East Entrance	Outdoor rated Incandescent wall mounted sconce. Dimensions: 12" Height x 7" Width x 9" Extension from the wall	A21 Medium Base		100W	ELK LIGHTING 42284/1	Hudson Valley Wac Lighting	1. Contractor shall verify and coordinate fixture installation and mounting with architectural details and field conditions. 2. Architect shall verify mounting height AFF. 3. Architect to confirm finish. 4. Electrical Engineer to specify voltage. 120V primary voltage necessary for 100W lamp. 5. Contractor shall provide all mounting hardware and accessories as required for a complete and approved installation. 6. Manufacturer shall provide a pre-printed, factory installed wattage restriction label for 100W maximum lamping.
F15		Second Level Balcony	Outdoor rated linear LED handrail luminaire with matte symmetric lens. ETL listed for wet location. Dimensions: 3/4" Height x 7/8" Width x Length per arch drawings Driver: 1.1" Height x 1.78" Width x 8.34" Length	LED, 3000K	Class 2 electronic driver	2 W/ft	WAGNER LULS - 30K - 20 - 70 - MS - LENGTH Driver: LED-NTA-0024-41-F-O	I-O Lighting Prolume	1. Fixture to be integrated into handrail per architectural details. 2. Refer to architectural drawings for continuous run lengths and mounting details. 3. Manufacturer to provide coordinated and dimensioned shop drawings, labeling all equipment and dimensions for all fixtures for Architect and Lighting Consultant to review. 4. Coordinate all control requirements with Electrical Engineer. 5. Wet location remote power supplies to be located in secure and accessible location and in compliance with Manufacturer's distance requirements; coordinate locations with Architectural and Electrical drawings. 6. Contractor to provide all necessary hardware and accessories for a complete and approved installation.
F16		North Entrance	Outdoor rated recessed LED step luminaire. Corrosion resistant ast-aluminum housing with wet cover ring and non-reflective glass. UL listed for wet locations (IP65). Dimensions: 7-5/8" Length x 7-1/16" height x 3-3/4" Recessed Depth	LED, 3000K 600 Lumens	Integral Electronic Driver	6W	EROO 34705.023	Iguzzini ACDC	1. Architect to verify finish. 2. Electrical Engineer to specify voltage. 3. Contractor shall provide all mounting hardware and accessories as required for a complete and approved installation. 4. Fixture to be installed minimum 1'-6" AFF. Architect to confirm mounting height and specific locations. 5. Contractor shall verify and coordinate fixture installation and mounting with architectural details and field conditions.
F17	TYPE NOT USED								
F18	TYPE NOT USED								
F19	TYPE NOT USED								

- * Electrical Engineer to specify and coordinate EM requirements.
- * All integral to luminaire, emergency ballast shall be factory-installed by luminaire manufacturer and not violate warranty or UL rating.
- * Contractor shall verify all voltages with EE before placing any orders or proceeding with any work.
- * All linear fluorescent lamps to be of the high performance, extended life type, that is, 4' super T8, 3100 lumen output, 0.95 LUD, 85+ CRI, low mercury, 40,000 hour life at 12 hr start.
- * All linear fluorescent ballasts shall have high efficiency NEMA Premium electronic programmed start. Any other ballast type shall be NEMA Premium where such designation exists.
- * All fluorescent and compact fluorescent lamps shall have a CRI of 85 or greater at the correlated color temperature specified unless otherwise noted.
- * All ballasts and transformers shall have a power factor of at least 0.90 unless otherwise noted.
- * All CFL lamps shall be of the "non-amalgam" type, to ensure fastest start and highest output at start-up.
- * Beginnings for the ballasts to be 10% of CBCSP, given in vertical degrees by horizontal degrees.
- * All luminaires and luminaire components shall be UL listed for appropriate location.
- * Contractor shall verify all voltages with EE before placing any orders or proceeding with any work.
- * Contractor to verify and coordinate fixture installation and mounting with architectural details, housing type, field conditions, and ceiling system details including ceiling type and flange requirements.
- * Contractor shall provide all mounting components necessary for installation of fixture at no additional cost, even if such components are not specifically called for in the contract documents.
- * All visible conduit, junction boxes, canopy plates, hardware, ballast containers, etc. to be painted to match adjacent surfaces. Verify all colors with Architect.
- * When requested, Contractor shall provide coordinated shop drawings showing integrated work of all trades.
- * Adjustable luminaires shall be aiming by the Contractor after dark in presence of Lighting Consultant and Architect.
- * LED luminaires shall be ordered with necessary power supplies, drivers and power feeds for installation of a complete system.
- * Coordinate remote control drive, and power supply, and accessories and well ventilated location in compliance with manufacturer's recommendations.
- * Contractor to provide all necessary lengths, feeds, connectors, supports, and other components for complete and code compliant installation.
- * For continuous linear luminaires, manufacturer to submit a layout drawing for run lengths specified on architectural drawings with shop drawings for review prior to fabrication.
- * Architect to verify all vertical mounting height AFF of suspended or wall-mounted luminaires
- * Contractor to verify run lengths prior to ordering fixtures.
- * Architect to verify luminaire finishes.
- * In circulation paths, luminaire shall be ADA compliant, ie not to exceed 4' from wall.

A



	1	2	3	4	5	6	7	8
F								
E								
D								
C								
B								
A								

EXTERIOR FINISH SCHEDULE							
DESIGNATION	DESCRIPTION	MANUFACTURER	FINISH/ STYLE	COLOR	SIZE	CONTACT	NOTES
BRK-1			EXISTING SIDEWALK BRICK PAVING			-	
BRK-2	4"X8" SIDEWALK BRICK PAVING	REDLAND	PER WATERFRONT PHASE I STANDARD	KING WILLIAM	4"X8"	-	
EF-1	CEMENTITIOUS COATING	TBD	EVEN COARSE TEXTURED, PIGMENTED	PT-2	N/A	-	
GL-1	1" CLEAR TEMPERED INSULATED LOW-E GLASS	-	SEE SPECS	SEE SPECS	SEE ELEVATIONS & DETAILS	-	
MTL-1	ALUM. WINDOW FRAMES	EFCO	433 SERIES	BLACK	2"X4-1/2"	RICK FIORE, RICK.FIORE@THESNEADCO.COM	
MTL-2	EXTERIOR MTL. RAILING	TBD	STEEL, PTD.	PT-1	SEE ELEVATIONS & DETAILS	NICK FRAMEL, NFRAMEL@AMERISTARFENCE.COM	
MTL-3	ALUM. EXTERIOR FENCING	AMERISTAR	ECHELCON CLASSIC	BLACK	SEE ELEVATIONS & DETAILS	NICK FRAMEL, NFRAMEL@AMERISTARFENCE.COM	
MTL-4	ALUM. EXTERIOR GATES	AMERISTAR	ECHELCON CLASSIC	BLACK	SEE ELEVATIONS & DETAILS	NICK FRAMEL, NFRAMEL@AMERISTARFENCE.COM	
MTL-5	ALUM. EXTERIOR VEHICULAR GATES	AMERISTAR	TRANSPORT II CANTILEVER GATE	BLACK	SEE ELEVATIONS & DETAILS	NICK FRAMEL, NFRAMEL@AMERISTARFENCE.COM	
MTL-6	STANDING SEAM ROOF	TBD	DOUBLE LOCKED SEAM	PATINA GREEN	12" WIDE PANEL, 2" HIGH SEAM		
MTL-7	MTL CAP AT PIERS	TBD	STEEL, PTD.	PT-4	SEE ELEVATIONS AND DETAIL	-	
PC-1	PRE-CAST STONE CAP AT PIERS & LOW WALL	-	-	BUFF	VARIES	-	
SF-1	SHADE FABRIC	TBD	AWNING	BLACK	N/A	-	
ST-1	2" STONE VENEER AT GROUND LEVEL EXTERIOR WALLS, PIERS & LOW WALL	CARDEROCK	CARDEROCK THIN OR THIN VENEER	-	VARIES (RANDOM SIZES)	BRIAN PORTO, BRIANPORTO@MSN.COM	
PT-1	EXTERIOR PAINT	BENJAMIN MOORE	SEE SPECS FOR FINISHES	BLACK 2132-10	N/A	-	
PT-2	EXTERIOR PAINT	SHERWIN-WILLIAMS	SEE SPECS FOR FINISHES	IRON ORE	N/A	-	
PT-3	EXTERIOR PAINT	SHERWIN-WILLIAMS	SEE SPECS FOR FINISHES	TO MATCH WD-1 COLOR	N/A	-	
PT-4	EXTERIOR PAINT	SHERWIN-WILLIAMS	SEE SPECS FOR FINISHES	TBD	N/A	-	
WD-1	CEDAR PLANK TONGUE & GROOVE	BUFFALO LUMBER	TWP 1500	1530 NATURAL	SEE ELEVATIONS & DETAILS	CHRIS BUFFALO, CHRIS@BUFFALOLUMBER.COM	
WD-2	CEDAR BATTENS	BUFFALO LUMBER	TWP 1500	1530 NATURAL	SEE ELEVATIONS & DETAILS	CHRIS BUFFALO, CHRIS@BUFFALOLUMBER.COM	
WD-3	CEDAR FASCIA	BUFFALO LUMBER	TWP 1500	11504 BLACK WALNUT	SEE ELEVATIONS & DETAILS	CHRIS BUFFALO, CHRIS@BUFFALOLUMBER.COM	
WD-4	DOUGLAS FIR COLUMNS	TBD	TBD	TO MATCH WD-3 COLOR	18" DIAM.	-	
WD-5	PRESSURE TREATED WOOD BATTENS	TBD	TBD	TO MATCH WD-3 COLOR	SEE ELEVATIONS & DETAILS	-	
WD-6	WOOD DECKING	TREX	TREK TRANSCEND	TREE HOUSE	1"X5-1/2"X 16' PLANK	-	

1. EXTERIOR FINISH SCHEDULE IS BASED ON 'BASIS-OF-DESIGN' PRODUCTS, AND IS SUBJECT TO SUSTITUTIONS AS LISTED IN COMPARABLE MANUFACTUER/PRODUCT PER ARCHITECTURAL SPECIFICATIONS.

OLD DOMINION BOAT CLUB



0 PRINCE STREET, ALEXANDRIA, VA 22314

OLD DOMINION BOAT CLUB

The City of Alexandria, Virginia



Professional Certification.
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2016.



REGISTRATION:

NO.	DATE	ISSUE DESCRIPTION
	09/26/2014	CONCEPTUAL PLAN II
	11/03/2014	BAR CONCEPT II
	11/11/2014	DSUP PRELIMINARY COMPLETENESS APPLICATION
	12/11/2014	DSUP COMPLETENESS APPLICATION
	01/20/2015	BAR SUBMISSION III
	02/06/2015	DD SUBMISSION
	04/17/2015	85% ISSUED FOR PRICING
	05/08/2015	SITE PLAN SUBMISSION I
	08/03/2015	SITE PLAN SUBMISSION II
	08/03/2015	BAR SUBMISSION

A/E PROJECT NO:

DRAWN BY:

CHECKED BY:

KEY PLAN

SHEET TITLE:

SCHEDULE - FINISHES

SHEET NUMBER:

A-612

Professional Certification.
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2016.



REGISTRATION:

[illegible]

A/E PROJECT NO:

DRAWN BY:

CHECKED BY:

APPROVED	
SPECIAL USE PERMIT NO. <u>2014-0026</u>	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____

SHEET TITLE:

BUILDING MASSING
STUDY

SHEET NUMBER:

A-801



C1
A-801

VIEW FROM NORTH-EAST

N.T.S.



C5
A-801

VIEW FROM SOUTH-WEST

N.T.S.



A1 SOUTH ELEVATION
A-801 N.T.S.



A5 NORTH ELEVATION
A-801 N.T.S.

Professional Certification.
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2016.



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SITE PLAN NO. _____		
DIRECTOR _____		DATE _____
CHAIRMAN, PLANNING COMMISSION _____		DATE _____
DATE RECORDED _____		
INSTRUMENT NO. _____	DEED BOOK NO. _____	PAGE NO. _____

SHEET TITLE:

RENDERING

SHEET NUMBER:

A-803

