ADDRESS OF PROJECT: 0 PRINCE STREET
TAX MAP AND PARCEL: LOT 600 ZONING: WPR
APPLICATION FOR: (Please check all that apply)
PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH (Required if more than 25 square feet of a structure is to be demolished/impacted)
WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT (Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)
Applicant: X Property Owner Business (Please provide business name & contact person)
Name: OLD DOMINON BOAT CLUB
Address: 1 KING STREET
City: ALEXANDRIA State: VA Zip: 22314
Phone: (703) 836-5764
Authorized Agent (if applicable): Attorney X Architect
Name: GEORGE EISENBERGER Phone: (703) 519-8081
E-mail: GRE@MICHAELWINSTANLEY.COM
Legal Property Owner:
Name: OLD DOMINON BOAT CLUB
Address: 1 KING STREET
City: ALEXANDRIA State: VA Zip: 22314
Phone: (703) 836-5764 E-mail:
Yes No Is there an historic preservation easement on this property? Yes No If yes, has the easement holder agreed to the proposed alterations? Yes No Is there a homeowner's association for this property? Yes No If yes, has the homeowner's association approved the proposed alterations?
If you answered yes to any of the above, please attach a copy of the letter approving the project.
THE DSUP WAS APPROVED BY CITY COUNCIL ON MARCH 14TH, 2015

BAR Case # 2015-00248/00249

NATURE OF PROPOSED WORK: Please check all that apply

 ■ NEW CONSTRUCTION ■ EXTERIOR ALTERATION: Please check all that apply. □ awning □ doors □ dighting □ pergola/trellis □ other □ ADDITION ■ DEMOLITION/ENCAPSULATION □ SIGNAGE
DESCRIPTION OF PROPOSED WORK: Please describe the proposed work in detail (Additional pages may be attached). NEW CONSTRUCTION: NEW BOAT CLUB AT EXISTING "BEACHCOMBER" SITE, INCORPORATING KEY MASSING AND ARCHITECTURAL FEATURES OF EXISTING BEACHCOMBER STRUCTURE.DESIGN IS CONSISTENT WITH DSUP APPROVED BY CITY COUNCIL ON MARCH 14TH, 2015. DEMOLITION: SEE ATTACHED MEMORANDUM FOR DEMOLITION AND SUPPORTING DOCUMENT "O PRINCE STREET: A TIMELINE".
SUBMITTAL REQUIREMENTS: Items listed below comprise the minimum supporting materials for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the Design Guidelines for further information on appropriate treatments.
Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.
Electronic copies of submission materials should be submitted whenever possible.
Demolition/Encapsulation: All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.
N/A Survey plat showing the extent of the proposed demolition/encapsulation. Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation. Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished. Description of the reason for demolition/encapsulation. Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

	N/A	Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted
X	X	equipment. FAR & Open Space calculation form. Clear and labeled photographs of the site, surrounding properties and existing structures, if
X		applicable. Existing elevations must be scaled and include dimensions. Proposed elevations must be scaled and include dimensions. Include the relationship to
K		· · · · · · · · · · · · · · · · · · ·
K		samples may be provided or required. Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows,
<u>K</u>		doors, lighting, fencing, HVAC equipment and walls. For development site plan projects, a model showing mass relationships to adjacent properties and structures.
illun	ninat	& Awnings: One sign per building under one square foot does not require BAR approval unless ed. All other signs including window signs require BAR approval. Check N/A if an item in this section does to your project.
		Linear feet of building: Front: 33'-10" Secondary front (if corner lot): 105'-6-1/2" Square feet of existing signs to remain: Photograph of building showing existing conditions. Dimensioned drawings of proposed sign identifying materials, color, lettering style and text. Location of sign (show exact location on building including the height above sidewalk). Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable). Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.
Alt	erat	ions: Check N/A if an item in this section does not apply to your project.
		Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
	X	doors, lighting, fencing, HVAC equipment and walls.
	×	overall dimensions. Drawings must be to scale.
	X	An official survey plat showing the proposed locations of HVAC units, fences, and sheds. Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL	APPLICATIONS: Please read and check that you have read and understand the following items:
	I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.) FILING FEE SHALL BE SUBMITTED WITHIN THE WEEK.
X	I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
X	I, the applicant, or an authorized representative will be present at the public hearing.
X	I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED/AGENT:

Signature:

Printed Name:

EISENBERGER

Date: 08/03/2015

HART, CALLEY, GIBBS & KARP, P.C.

ATTORNEYS AND COUNSELLORS AT LAW

307 NORTH WASHINGTON STREET ALEXANDRIA, VIRGINIA 22314-2557

Telephone (703) 836-5757 FAX (703) 548-5443

MEMORANDUM

TO: BAR Staff, BAR Old & Historic District Members

FROM: Mary Catherine Gibbs on behalf of the Old Dominion Boat Club

RE: Justification for Demolition of Existing Structure

Zero Prince Street now 200 Strand

DATE: August 3, 2015

This memorandum provides the justification for demolition of the existing Beachcomber building at what was Zero Prince Street and is now 200 Strand Street, pursuant to § 10-105(B) of the Zoning Ordinance. In filing the BAR application for Demolition, an Applicant must clearly spell out the reason for the demolition and describe any alternatives to demolition and why such alternatives are not feasible.

Reason for Demolition:

The beachcomber building was opened in 1946 and operated as a waterfront restaurant. It is a simple cinder-block building constructed originally over the water on concrete piles. On the second story, it had a three sided open porch and a rooftop terrace for outdoor dining. The restaurant ceased operation in 1954, when it experienced a fire. The building was then sold and utilized by the International Armaments Corporation, or Interarms, for storage and then for the retail sale of guns and ammunition among other sporting goods. Sheds in two different locations have been located on the property, but are now fully removed from the site. The first was approved in 1973 for selling seafood/sandwiches, which was located west of the Potomac Arms warehouse, and then a trailer for the Potomac Party Cruises, Inc, was located east of the building by 2006. In depth histories of the site can be found in "0 Prince Street: A Timeline" by Diane Ricker, 2008, and the "Documentary Study of 0 Prince Street (Old Dominion Boat Club)", by Thunderbird Archeology, March 2015. Copies of both are attached to this memorandum.

The request for demolition is based on the relocation of the Old Dominion Boat Club ("ODBC") from its current location at 1 and 2 King Streets to 200 Strand Street. The Board is aware of the plans for this relocation as it has reviewed the Concept submissions for new ODBC clubhouse on three occasions in the past few months. This Board formally endorsed the height, mass and scale of the new ODBC Clubhouse at its February 18, 2015 meeting after that third Concept Review. At each hearing, the Staff Report firmly recognized that:

In April 2012, the BAR determined that the simple vernacular materials and design of the Beachcombers Restaurant building, particularly its cinderblock construction, was not architecturally significant, may easily be replicated and did

not display a high degree of craftsmanship to make them worthy of preservation or slavish reproduction. However, the Board noted that the building did possess a high level of cultural and historic significance unique to Alexandria and specifically suited to its waterfront location. The BAR further identified that the utilitarian character of the building, with its punched windows, projecting balconies, and rooftop dining, is important. They supported the substantial reconstruction of the existing structure but strongly recommended that the building's overall form and character defining architectural features be recalled and integrated into the new building to the maximum extent reasonably possible.

These facts remain true to today. There has been further structural investigation that has revealed reuse of the building is not possible. As a result, the request is to completely demolish the structure and to rebuild an ODBC Clubhouse that incorporates the form and character of the important architectural features of the Beachcomber building.

Alternatives to Demolition:

Many alternatives to redevelopment of the property have been considered, but were rejected early on in the negotiations between the City and the ODBC based upon the deterioration of the structure of the old Beachcomber building. The only realistic alternative is incorporating the existing architectural character into the new ODBC Clubhouse, as has been endorsed by this Board, which ODBC is proposing.

Criteria for Demolition:

Section 10-105(B) of the Zoning Ordinance provides seven questions that must be answered in the negative in order to satisfy the criteria for Demolition within the Old and Historic Alexandria District. The proposal to demolish the Beachcomber building should now answer all these questions in the negative and therefore, satisfies the criteria for demolition within the Old and Historic Alexandria District.

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest? **No**. As the Board noted previously, the building is "not architecturally significant, may easily be replicated and did not display a high degree of craftsmanship to make them worthy of preservation or slavish reproduction." However, the ODBC is seeking to incorporate the architectural character that was of interest to the Board into the new Clubhouse, and as such, the character and historical interest will be maintained in the new structure.
- (2) Is the building or structure of such interest that it could be made into an historic shrine? **No**
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty? **No**, as the Board has previously found that the building, "may easily be replicated and did not

- display a high degree of craftsmanship to make them worthy of preservation or slavish reproduction the materials are very common and can be easily reproduced."
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway? **N/A**
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city? **No**, the Waterfront is being enhanced by the redevelopment of the Beachcomber into an active and water oriented use, which is what the Board seemed to encourage when it "supported the substantial reconstruction of the existing structure but strongly recommended that the building's overall form and character defining architectural features be recalled and integrated into the new building to the maximum extent reasonably possible."
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place in which to live? **No,** the replacement of the Beachcomber will reactivate this long dormant corner of the City's waterfront, making the area a more attractive and desirable place to visit.
- (7) In the instance of a building or structure owned by the city or the redevelopment and housing authority, such building or structure having been acquired pursuant to a duly approved urban renewal (redevelopment) plan, would retention of the building or structure promote the general welfare in view of needs of the city for an urban renewal (redevelopment) project? **N/A**

VIRGINIA TAX ASSESSMENT MAP AS A PORTION OF PARCEL NUMBERS 075,03-03-11, 075.03-03-12, AND 075.03-03-15, AND IS CURRENTLY ZONED W-I.

2.) DURING THE PROCESS OF OUR PHYSICAL SURVEY NO INDICATIONS OF A CEMETERY WAS FOUND. NO FURTHER INSPECTION OF THIS PROPERTY HAS BEEN MADE FOR

3.) A TITLE REPORT FOR #0 PRINCE STREET WAS FURNISHED BY STEWART TITLE AND ESCROW, FILE NUMBER 1400514, DATED APRIL 16, 2014. A TITLE REPORT FOR #200 STRAND STREET WAS FURNISHED BY STEWART TITLE AND ESCROW, FILE NUMBER 1400515, DATED APRIL 16, 2014.

4.) BOUNDARY AND PHYSICAL IMPROVEMENTS SHOWN HEREON IS BASED ON A CURRENT FIELD SURVEY PERFORMED BY THIS FIRM BETWEEN AUGUST 5, 2014 AND

5.) A.) HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD 83) - VIRGINIA STATE GRID NORTH ZONE AS ESTABLISHED FROM A RECENT FIELD SURVEY PERFORMED BY C.P. JOHNSON & ASSOCIATES. B.) THE VERTICAL DATUM SHOWN HEREON IS REFERENCE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AS ESTABLISHED FROM A

RECENT FIELD SURVEY PERFORMED BY C.P. JOHNSON & ASSOCIATES.

6.) NO CERTIFICATION IS MADE AS TO THE LOCATIONS OF UNDERGROUND UTILITIES SUCH AS, BUT NOT LIMITED TO ELECTRIC, GAS, TELEPHONE, CATV, WATER, SANITARY AND STORM SEWERS.

7,) NO GEOTECHNICAL, SUBSURFACE, FIELD REVIEWS, RESEARCH, AGENCY OR GOVERNMENTAL RECORD REVIEWS, OR OTHER INVESTIGATIONS HAVE BEEN MADE FOR THE PURPOSE OF LOCATING, OR DETERMINING THE EXISTENCE OF WETLANDS. HAZARDOUS MATERIALS, OR OTHER ENVIRONMENTAL CONCERNS ON SITE IN THE PERFORMANCE OF CHRISTOPHER CONSULTANTS, LTD SERVICES FOR THE PROJECT

8.) ALL BUILDING DIMENSIONS ARE MEASURED AT THE OUTSIDE GROUND LEVEL OF BUILDING. OVERALL SQUARE FOOTAGE HAS BEEN DETERMINED BY EXTERIOR DIMENSIONS AT GROUND LEVEL.

9.) THE RESOURCE PROTECTION AREA PERENNIAL STREAM 100' BUFFER SHOWN HEREON HAS BEEN MAPPED FROM TOP OF BANKS OF THE POTOMAC RIVER SURVEYED BY THIS FIRM BETWEEN AUGUST 5, 2014 AND AUGUST 13, 2014.

10.) LOTS AND STREET DEDICATION ARE SHOWN PER A SUBDIVISION PLAT PREPARED BY CHARLES P. JOHNSON & ASSOCIATES DATED MAY 2014, LAST REVISED JULY 16, 2014, AND APPROVED BY THE PLANNING COMMISION OF THE CITY OF ALEXANDRIA IN SEPTEMBER 4TH, 2014.

II.) BASE FLOOD ELEVATION = 10.2'

12.) TOTAL EXISTING PARKING SPACES = 61 SPACES

FLOOD ZONE NOTE

THE PROPERTIES SHOWN HEREON ARE LOCATED ON THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 5155190041E, REVISED AND EFFECTIVE ON JUNE 16, 2011.

BY GRAPHIC DEPICTION ONLY (UNLESS OTHERWISE NOTED), THE PROPERTIES SHOWN HEREON ARE SHOWN IN: • FLOOD ZONE "AE", SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD -BASE FLOOD AREAS DETERMINED.)

A FIELD SURVEY WAS NOT PERFORMED TO DETERMINE THE FLOOD ZONES LISTED HEREON. AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

UTILITY MARKING NOTES:

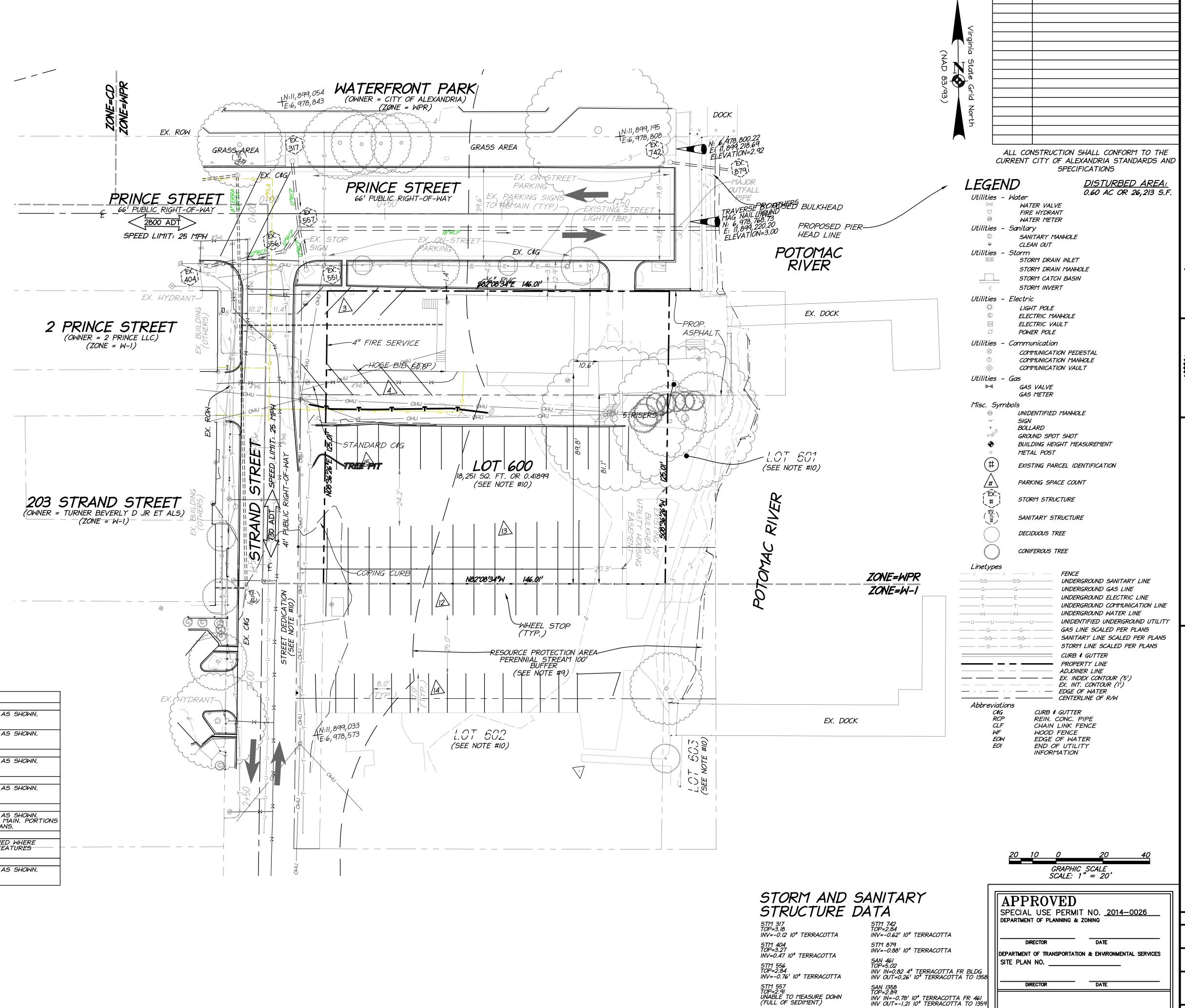
I) THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES AND SURFACE GROUND MARKINGS.

2) BEFORE DIGGING IN THIS AREA, CALL "MISS UTILITY" I-800-552-7001 FOR FIELD LOCATIONS (REQUEST FOR GROUND MARKINGS) OF UNDERGROUND UTILITY LINES.

3) UTILITY PROFESSIONALS, INC. MARKED FOR THE HORIZONTAL LOCATION OF UNDERGROUND UTILITIES ON 08/08/14.

4) THIS INVESTIGATION DOES NOT INCLUDE THE USE OF GROUND PENETRATING RADAR OR INTRUSIVE METHODS OF INVESTIGATION SUCH AS TEST PITS OR BORINGS.

6) DETECTING AND DESIGNATING OTHER UTILITIES ARE NOT PI		AT ANL BONIL	D DIRECTET E	<i></i>
UTILITY DESCRIPTION	PLANS	MARKED	LOCATED	NOTES
COMMUNICATIONS	, _, .,			1.0 / 20
VERIZON		×	×	MARKED AND LOCATED AS SHOWN.
COMCAST		X	X	MARKED AND LOCATED AS SHOWN.
ELECTRIC			- '	
DOMINION VIRGINIA POWER		X	X	MARKED AND LOCATED AS SHOWN.
WATER				
VIRGINIA AMERICAN WATER		×	×	MARKED AND LOCATED AS SHOWN.
GAS				
WASHINGTON GAS	WG-89823	X	X	MARKED AND LOCATED AS SHOWN. UNABLE TO TRACE GAS MAIN. PORTIONS OF GAS SHOWN PER PLANS.
STORM & SANITARY SEWER	!			
CITY OF ALEXANDRIA	ALEXANDRI SEWER VIEWER	A		AS BUILT DATA OBTAINED WHERE ACCESSIBLE. CERTAIN FEATURES SHOWN PER PLAN.
UNIDENTIFIED				
UNIDENTIFIED UTILITY LINE		X	X	MARKED AND LOCATED AS SHOWN.



STM 551 TOP=3.18 INV=-0.32 IO" TERRACOTTA

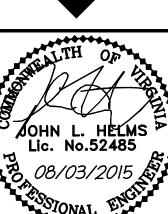
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DATE

SUBMISSION

stoph C





PROJECT NO:14104.001.00 SCALE: 1"=20'

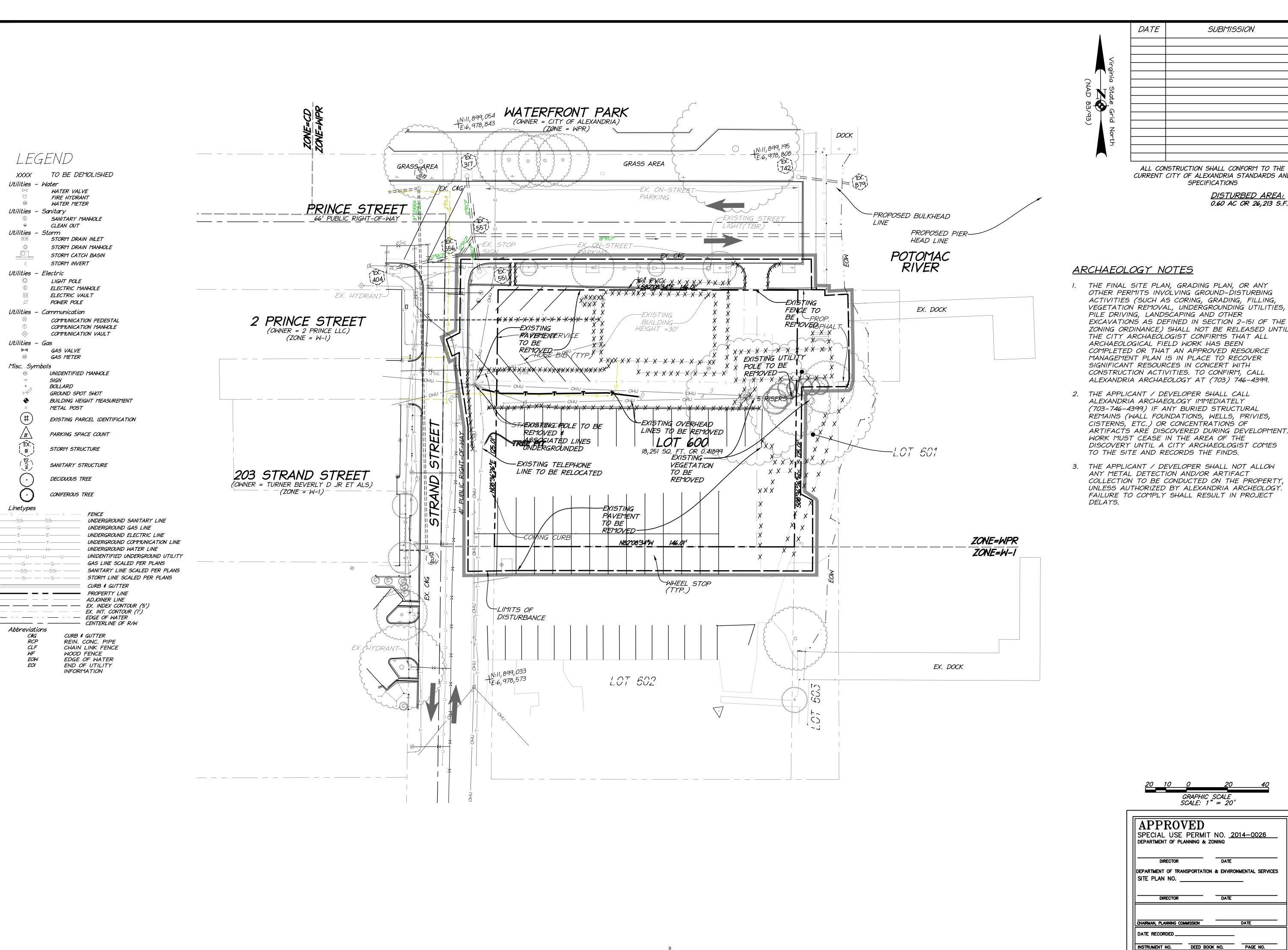
04/20/15 DESIGN: JLH

DRAWN: JLH CHECKED: KMW SHEET No.

DATE

DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. PAGE NO.



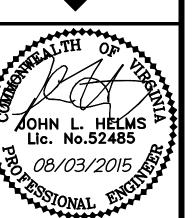
ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ALEXANDRIA STANDARDS AND

- OTHER PERMITS INVOLVING GROUND-DISTURBING ACTIVITIES (SUCH AS CORING, GRADING, FILLING, VEGETATION REMOVAL, UNDERGROUNDING UTILITIES, EXCAVATIONS AS DEFINED IN SECTION 2-151 OF THE ZONING ORDINANCE) SHALL NOT BE RELEASED UNTIL THE CITY ARCHAEOLOGIST CONFIRMS THAT ALL COMPLETED OR THAT AN APPROVED RESOURCE ALEXANDRIA ARCHAEOLOGY AT (703) 746-4399.
- REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES
- COLLECTION TO BE CONDUCTED ON THE PROPERTY UNLESS AUTHORIZED BY ALEXANDRIA ARCHEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT

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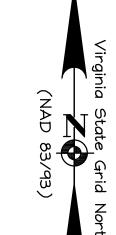
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PROJECT NO:14104.001.00 SCALE: 1"=20' DATE: 04/20/15 DESIGN: JLH DRAWN: JLH CHECKED: KMW

SHEET No.





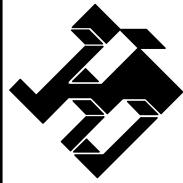
OWNERSHIP INFORMATION

- I. WATERFRONT PARK
 IA PRINCE STREET
 USE: OPEN SPACE
 ZONE: WPR
- 2. AMERICAN MEDICAL GROUP ASSOCIATION
 I PRINCE STREET
 USE: OFFICE
 ZONE: CD
- 110 S UNION STREET LLC 110 S UNION STREET LLC USE: OFFICE ZONE: CD
- 4. 2 PRINCE LLC 2 PRINCE STREET USE: GENERAL COMMERCIAL ZONE: W-I
- 5. CITY OF ALEXANDRIA
 200 STRAND STREET
 USE: CITY PKS/PLAYGROUNDS
 ZONE: W-I
- 6. MANN ANITA L 204 STRAND STREET USE: VACANT LAND - COMMERCIAL ZONE: W-I
- 7. SWEENEY JANE CASTER
 208 STRAND STREET
 USE: VACANT LAND COMMERCIAL
 ZONE: W-I
- 8. TURNER BEVERLY D JR ET ALS
 203 STRAND STREET
 USE: RESTAURANT/FST FOOD
 ZONE: W-I
- 9. CUMMINGS INVESTMENT ASSOCIATES INC 220 S UNION STREET USE: HOTEL AND MOTEL ZONE: W-I
- 10. CITY OF ALEXANDRIA #0 PRINCE STREET USE: RESTAURANT (VACANT) ZONE: WPR

DATE	SUBMISSION

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS

> <u>DISTURBED AREA:</u> 0.60 AC OR 26,213 S.F.



Consultar

JOHN L. HELMS Lic. No.52485
0,08/03/20/5

ONTEXTUAL PLAN

DOMINION BOAT CLU

APPROVE	D
	RMIT NO. <u>2014–0026</u>
DEPARTMENT OF PLANNING	· · · · · · · · · · · · · · · · · · ·
DIRECTOR	DATE
525	DATE TATION & ENVIRONMENTAL SERV

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CHECKED: KMW
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PROJECT NO:14104.001.00

SEE DWG

24.0

APPROVED SUBDIVISION

- PRINCE-STREET

LOT 600

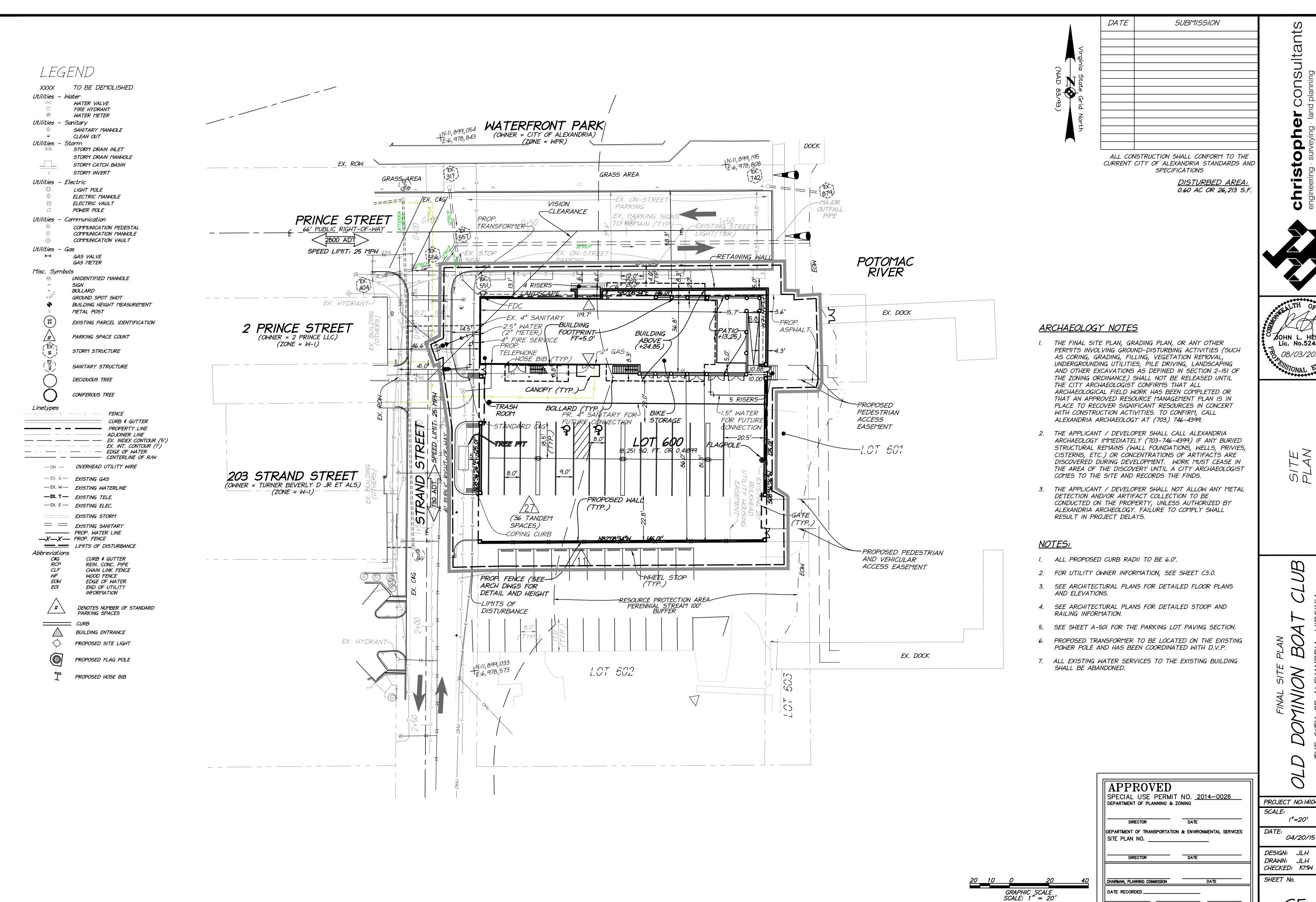
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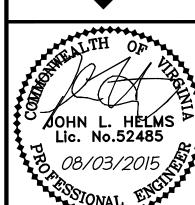
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1.07 602

GRAPHIC SCALE 1" = 50'



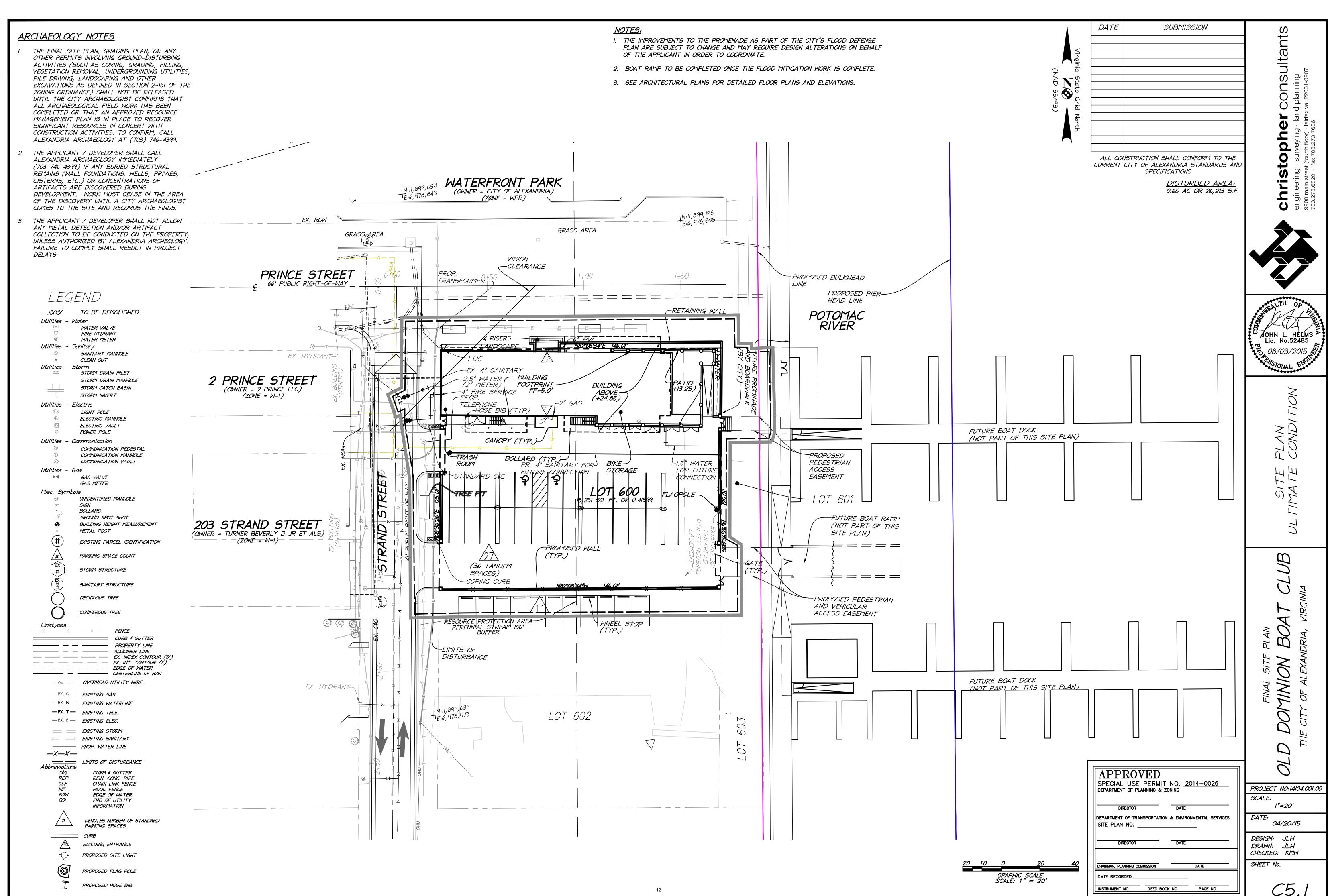


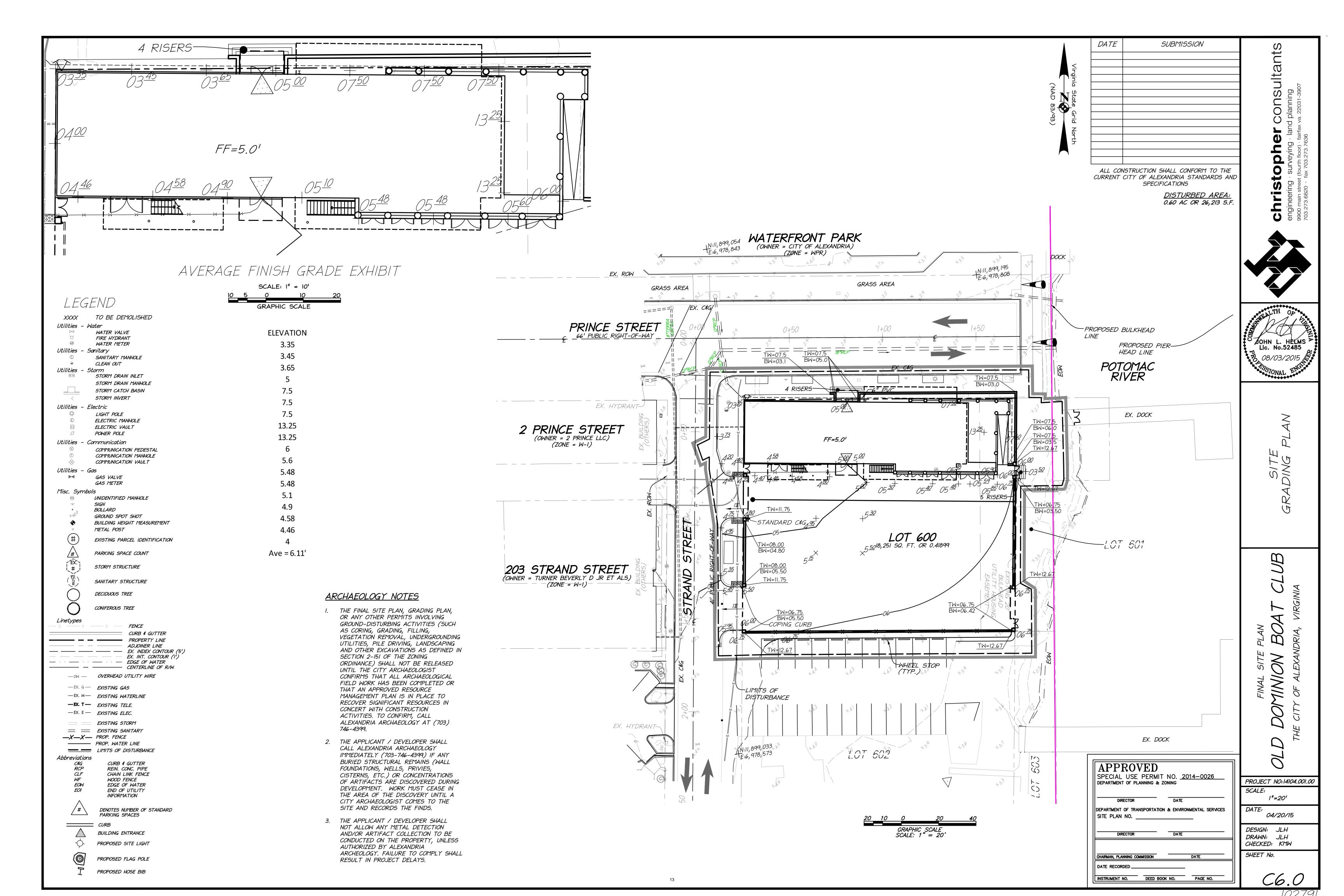


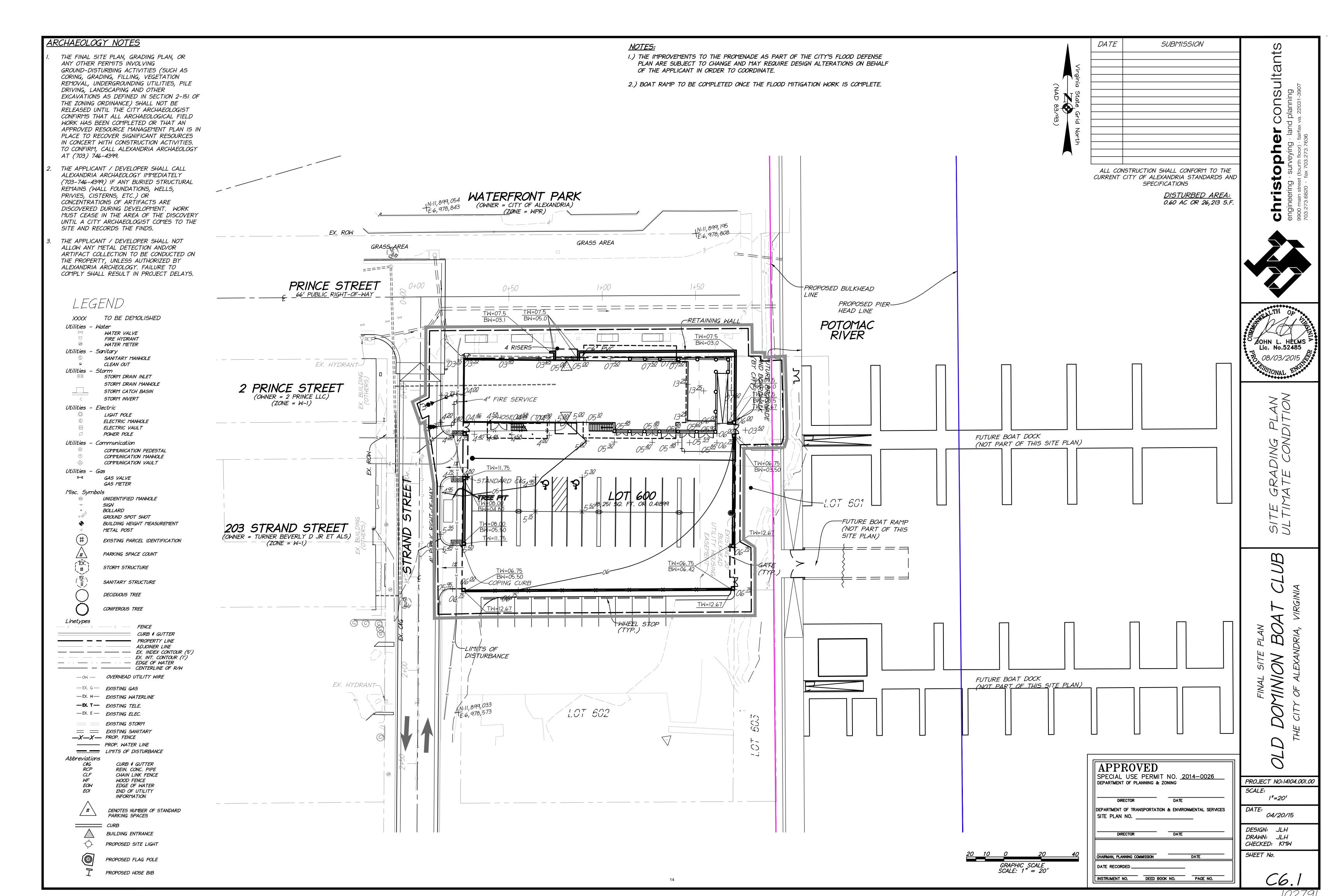
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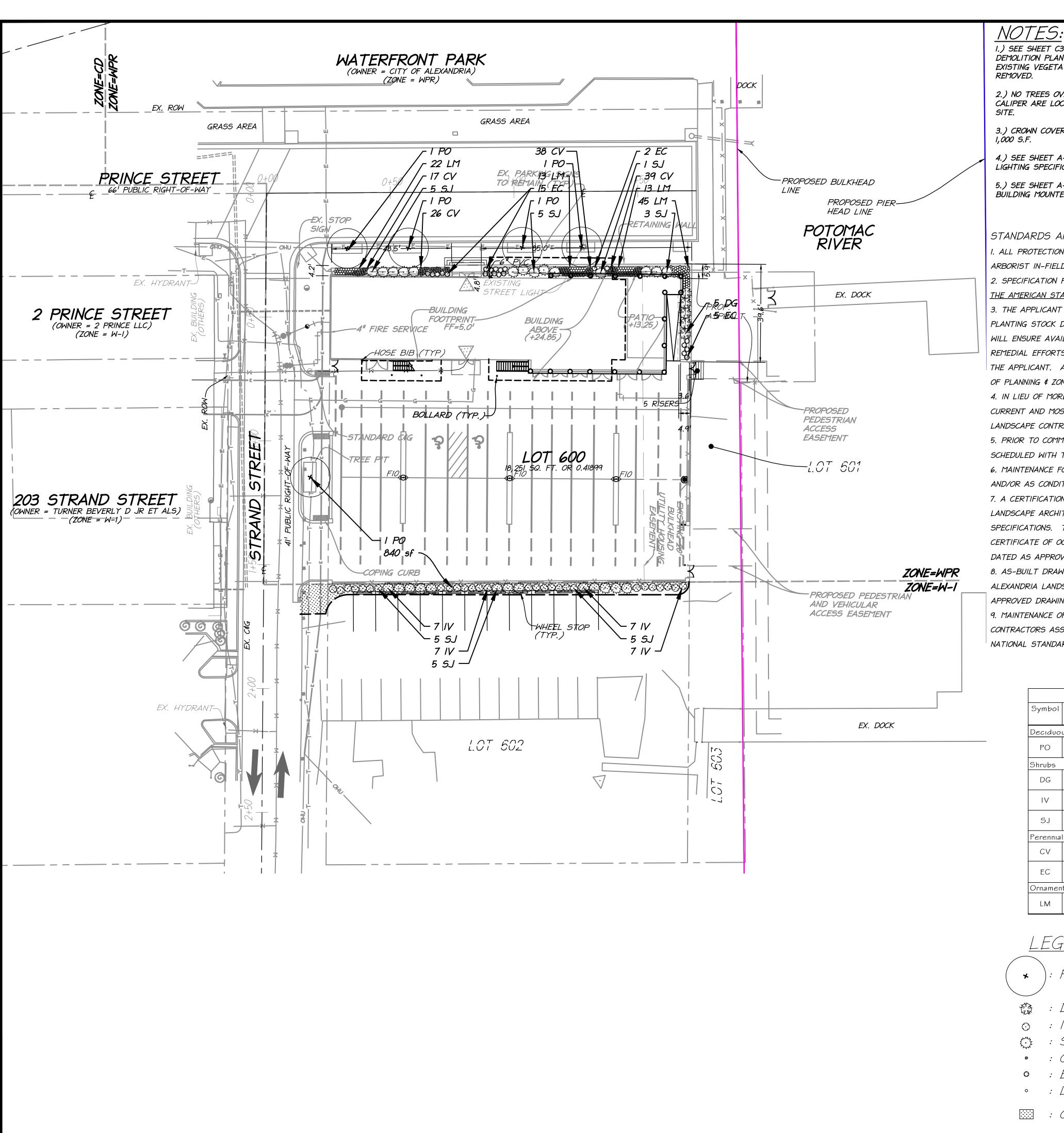
04/20/15

INSTRUMENT NO. DEED BOOK NO. PAGE NO.









I.) SEE SHEET C3.1 -

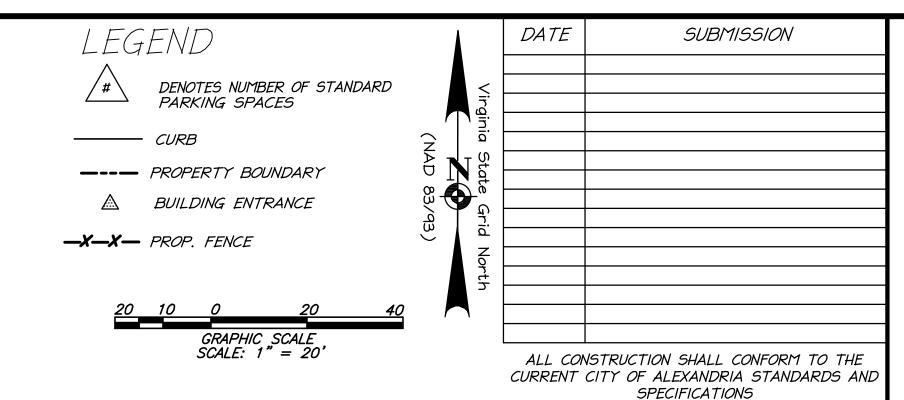
DEMOLITION PLAN FOR THE EXISTING VEGETATION TO BE

2.) NO TREES OVER 6" IN CALIPER ARE LOCATED ON

3.) CROWN COVERAGE =

4.) SEE SHEET A-610 FOR LIGHTING SPECIFICATIONS.

5.) SEE SHEET A-102 FOR BUILDING MOUNTED LIGHTING.



STANDARDS AND REQUIREMENTS

DISTURBED AREA: 0.60 AC OR 26,213 S.F.

I. ALL PROTECTION AND PRESERVATION MEASURES FOR EXISTING VEGETATION, INCLUDING MAINTENANCE SHALL BE APPROVED BY THE CITY ARBORIST IN-FIELD PRIOR TO COMMENCEMENT OF ANY SITE DISTURBING ACTIVITY.

2. SPECIFICATION FOR ALL PLANTINGS ¢ MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION OF ANSI-Z60.1, THE AMERICAN STANDARD FOR NURSERY STOCK AS PRODUCED BY THE AMERICAN ASSOCIATION OF NURSERYMEN; WASHINGTON, DC.

3. THE APPLICANT HAS MADE SUITABLE ARRANGEMENTS FOR PRE-SELECTION TAGGING, PRE-CONTRACT GROWING, OR IS UNDERTAKING SPECIALIZED PLANTING STOCK DEVELOPMENT WITH A NURSERY OR GROWER THAT IS CONVENIENTLY LOCATED TO THE PROJECT SITE, OTHER PROCEDURES THAT WILL ENSURE AVAILABILITY OF SPECIFIED MATERIALS. IN THE EVENT THAT SHORTAGES AND/OR INABILITY TO OBTAIN SPECIFIED PLANTINGS OCCURS, REMEDIAL EFFORTS INCLUDING SPECIES CHANGES, ADDITIONAL PLANTINGS AND MODIFICATION TO THE LANDSCAPE PLAN SHALL BE UNDERTAKEN BY THE APPLICANT. ALL REMEDIAL EFFORTS SHALL, WITH PRIOR APPROVAL BY THE CITY, BE PERFORMED TO THE SATISFACTION OF THE DIRECTORS OF PLANNING & ZONING, RECREATION, PARKS & CULTURAL ACTIVITIES AND TRANSPORTATION & ENVIRONMENTAL SERVICES.

4. IN LIEU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE IWTH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA; GAITHERSBURG, MARYLAND.

- 5. PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATIONS, A PRE-INSTALLATION/CONSTRUCTION MEETING WILL BE SCHEDULED WITH THE CITY'S ARBORIST AND LANDSCAPE ARCHITECTS TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES. 6. MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED IN PERPETUITY, IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES
- AND/OR AS CONDITIONED BY PROJECT APPROVAL. 7. A CERTIFICATION LETTER FOR TREE WELLS, TREE TRENCHES AND PLANTINGS ABOVE STRUCTURE SHALL BE PROVIDED BY THE PROJECT'S
- LANDSCAPE ARCHITECT. THE LETTER SHALL CERTIFY THAT ALL BELOW GRADE CONSTRUCTION IS IN COMPLIANCE WITH APPROVED DRAWINGS AND SPECIFICATIONS. THE LETTER SHALL BE SUBMITTED TO THE CITY ARBORIST AND APPROVED PRIOR TO APPROVAL OF THE LAST AND FINAL CERTIFICATE OF OCCUPANCY FOR THE PROJECT. THE LETTER SHALL BE SUBMITTED BY THE OWNER/APPLICANT/SUCCESSOR AND SEALED AND DATED AS APPROVED BY THE PROJECT'S LANDSCAPE ARCHITECT.
- 8. AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION/WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.
- 9. MAINTENANCE OF ALL TREES AND LANDSCAPE MATERIALS SHALL CONFORM TO ACCEPTED INDUSTRY STANDARDS SET FORTH BY THE LANDSCAPE CONTRACTORS ASSOCIATION, AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, THE INTERNATIONAL SOCIETY OF ARBORICULTURE, AND THE AMERICAN NATIONAL STANDARDS INSTITUTE.

		1			E AND TAB	1		1	
Symbol	Botanical	Common	Quantity	Minimum	Mınımum	Condition	Tree Cover	10 Year Tree	Comments
	Name	Name		Caliper	Height		Credit (SF)	Canopy (SF)	
Deciduoi	ıs Trees								
РО	Platanus occidentalis	Sycamore	5	2-2.5"	-	B≰B	200	1000	
Shrubs									
DG	Deutzia gracilis 'Nikko'	Slender deutzia	5	-	12-18"	Container	-	-	
IV	ltea virginica 'Sprich'	Little Henry Virginia sweetspire	28	1	12-18"	Container	-	-	
SJ	Skimmia japonica	Japanese skimmia	29	-	12-18"	Container	-	-	
Perennial	5	1		•					
CV	Chrysogonum virginianum	Green and gold	120	-	1-3"	Flats	-	-	10" OC spacino
EC	Eupatorium coelestinum	Mistflower	22	1	3-6"	Container	-	-	12" OC spacino
Ornament	tal Grasses			•				,	
LM	Liriope muscari 'Samantha'	Lily turf	93	-	3-6"	Container	-	-	12" OC spacino

LEGEND

: PLATANUS OCCIDENTALIS - SYCAMORE

台 : DEUTZIA GRACILIS - SLENDER DEUTZIA

: ITEA VIRGINICA 'SPRICH' - LITTLE HENRY VIRGINI

: SKIMMIA JAPONICA - JAPANESE SKIMMIA

· : CHRYSOGONUM VIRGINIANUM - GREEN AND GOLD

· : EUPATORIUM COELESTINUM - MISTFLOWER · : LIRIOPE MUSCARI 'SAMANTHA' - LILY TURF

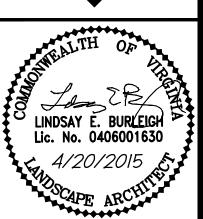
: GRASS SEED

APPROVEI SPECIAL USE PERI) MIT NO. <u>2014–0026</u>
DEPARTMENT OF PLANNING	& ZONING
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTA	ATION & ENVIRONMENTAL SERVICE
SITE PLAN NO.	
SITE PLAN NO	DATE
DIRECTOR	

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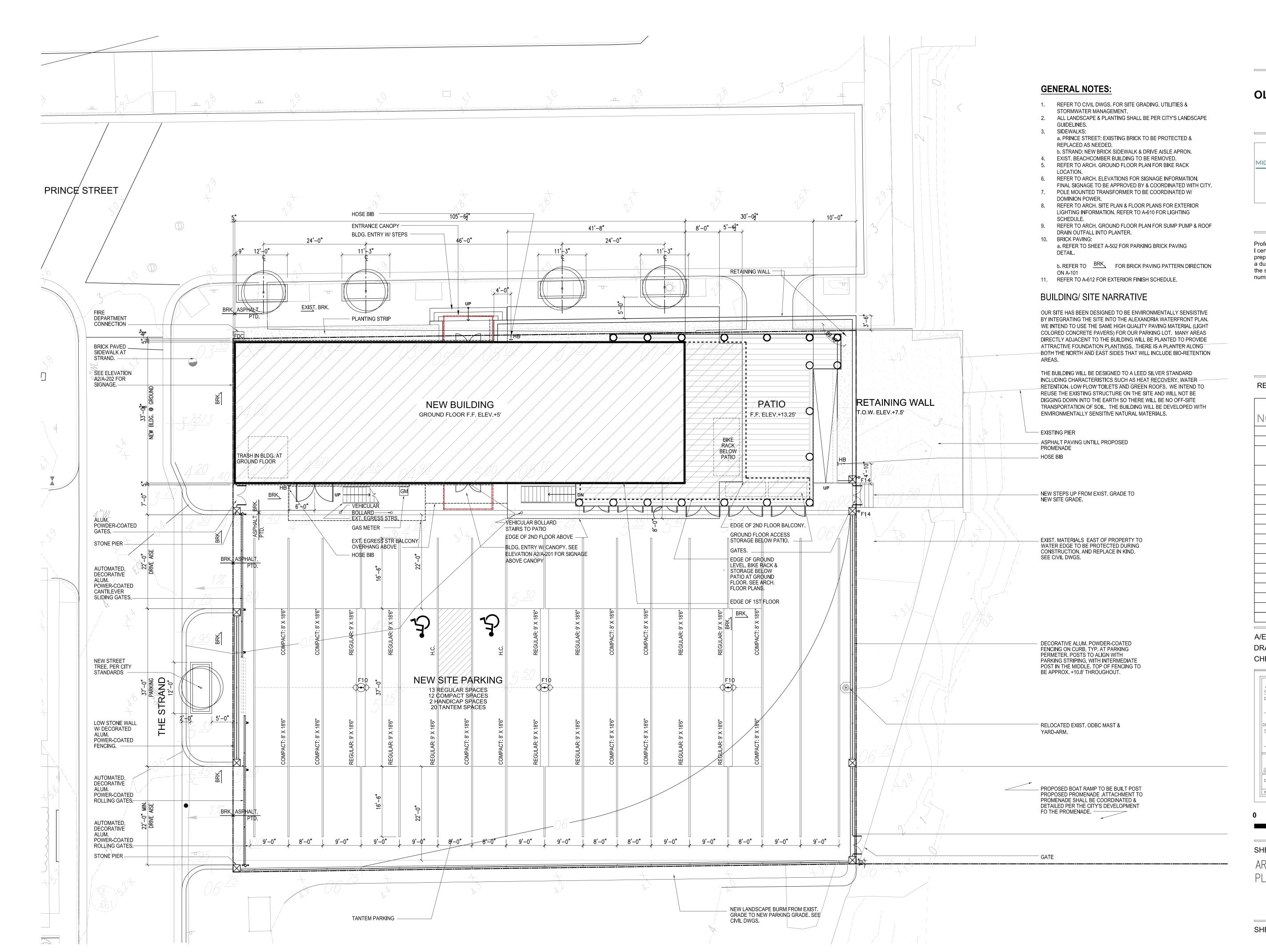




PROJECT NO:14104.001.00 1"=20'

DATE: 04/20/15 DESIGN: JLH DRAWN: JLH

CHECKED: KMW SHEET No.





The City of Alexandria, Virgina



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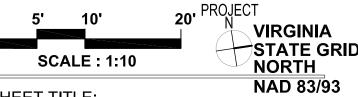


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	01/20/2015	BAR SUBMISSION III
	04/17/2015	85% ISSUED FOR PRICING
	05/08/2015	SITE PLAN SUBMISSION I
	08/03/2015	SITE PLAN SUBMISSION II
	08/03/2015	BAR SUBMISSION

A/E PROJECT NO: DRAWN BY: CHECKED BY:

APPROV	
SPECIAL USE	PERMIT NO. <u>2014-0026</u>
DEFAITIMENT OF FE	ANNING & ZONING
DIRECTOR	DATE
DEPARTMENT OF TRAI	NSPORTATION & ENVIRONMENTAL SERVICES
CITE DI ANI NO	
SITE PLAN NO.	
SITE PLAN NO	
DIRECTOR	DATE
DIRECTOR	DATE
	DATE
DIRECTOR CHAIRMAN, PLANNING COI	DATE MMISSION DATE
DIRECTOR	DATE MMISSION DATE

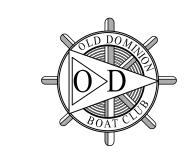


SHEET TITLE:

ARCHITECTURAL SITE PLAN

SHEET NUMBER:

OPEN SPACE TABULATION PER FLOOR							
GROUND FLOOR	0 SF						
FIRST FLOOR	731 SF						
SECOND FLOOR	0 SF						
ROOF	0 SF						
MECHANICAL PENTHOUSE	0 SF						
TOTAL	731 SF						



The City of Alexandria, Virgina



MICHAELWINSTANLEY.COM 107 N. WEST STREET ALEXANDRIA, VA 22314 (703) 519 - 8081

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	08/03/2015	BAR SUBMISSION
A/F DD	O IECT NO:	

A/E PROJECT NO: DRAWN BY: CHECKED BY:

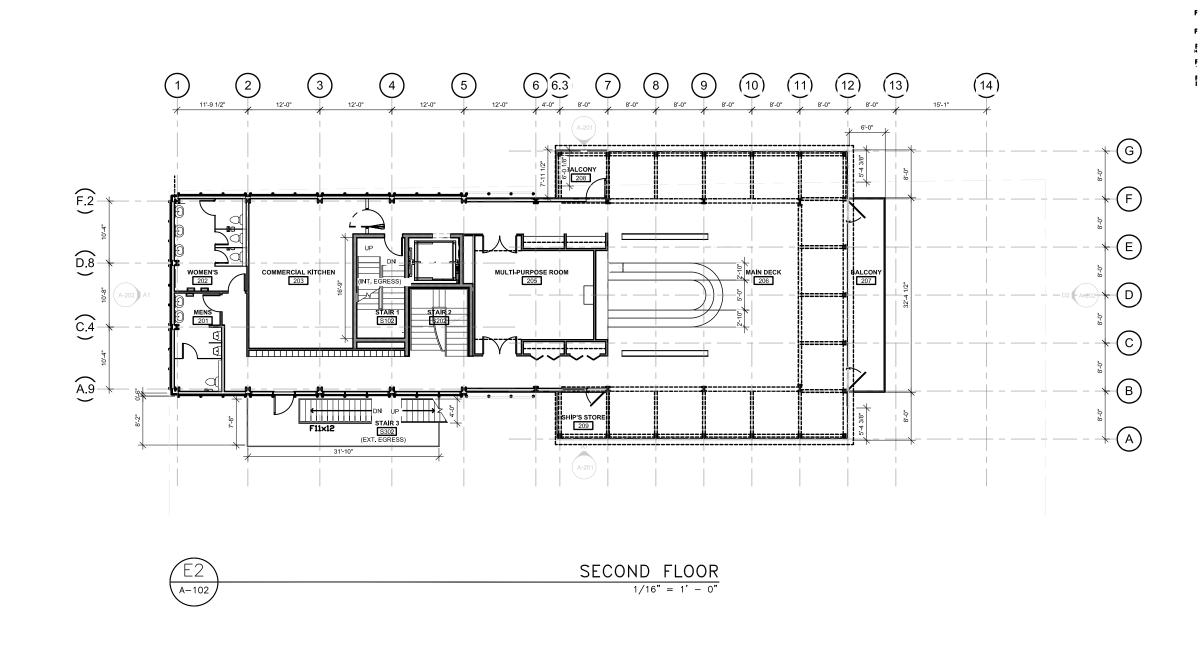


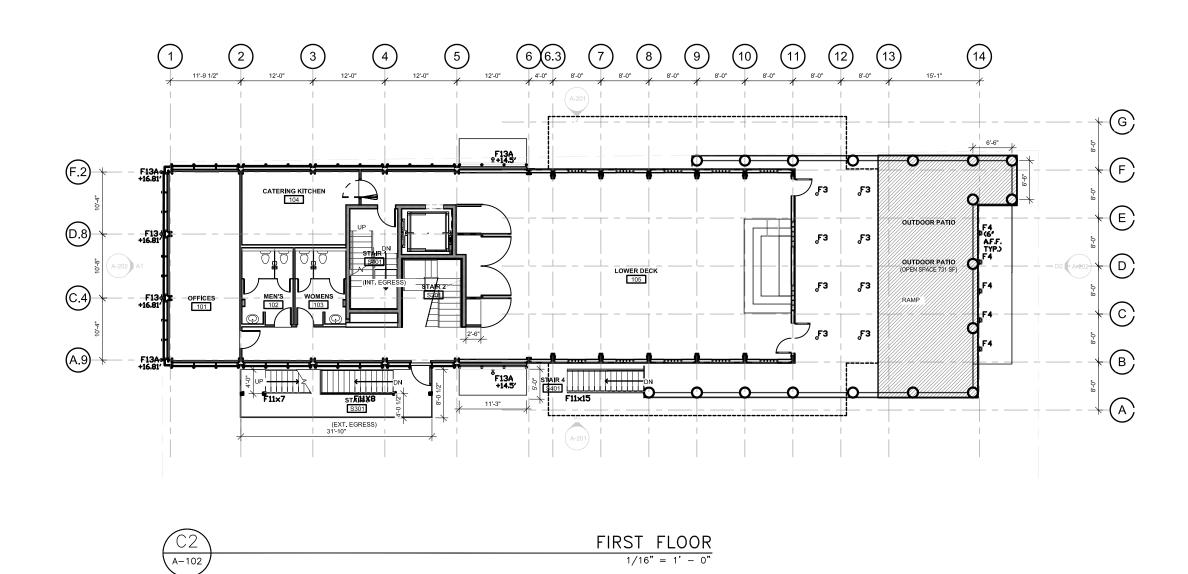
8' 16'	32'	PROJECT
SCALE : 1/16" =	1'-0"	

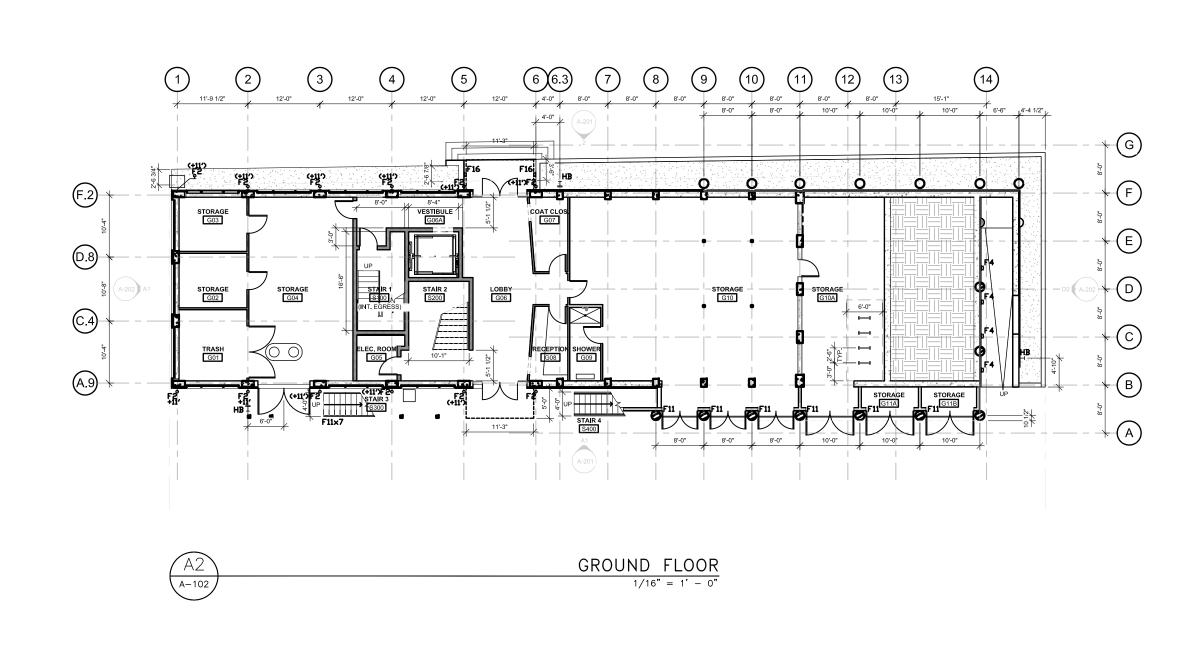
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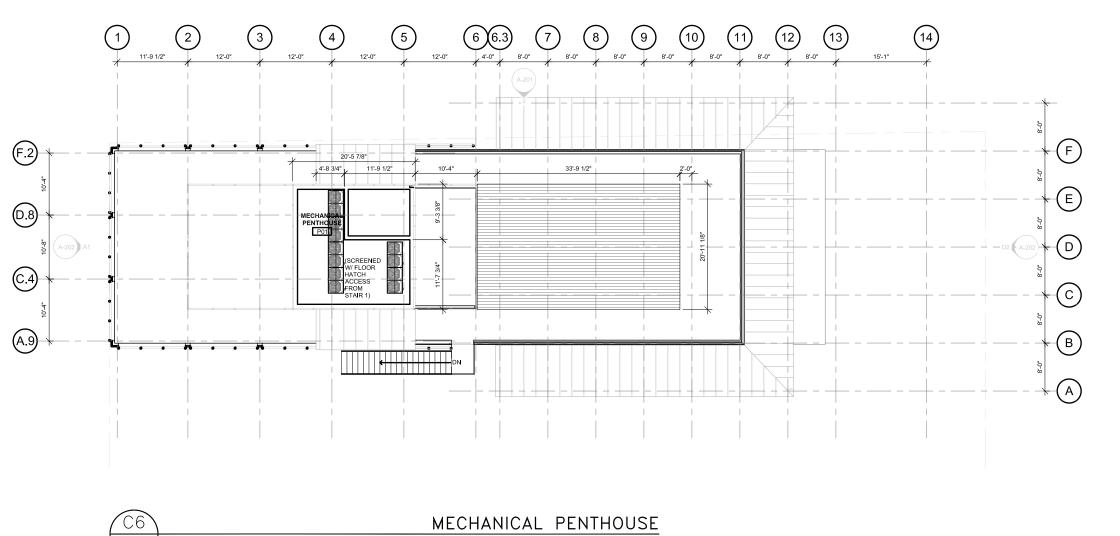
OPEN SPACE PLAN

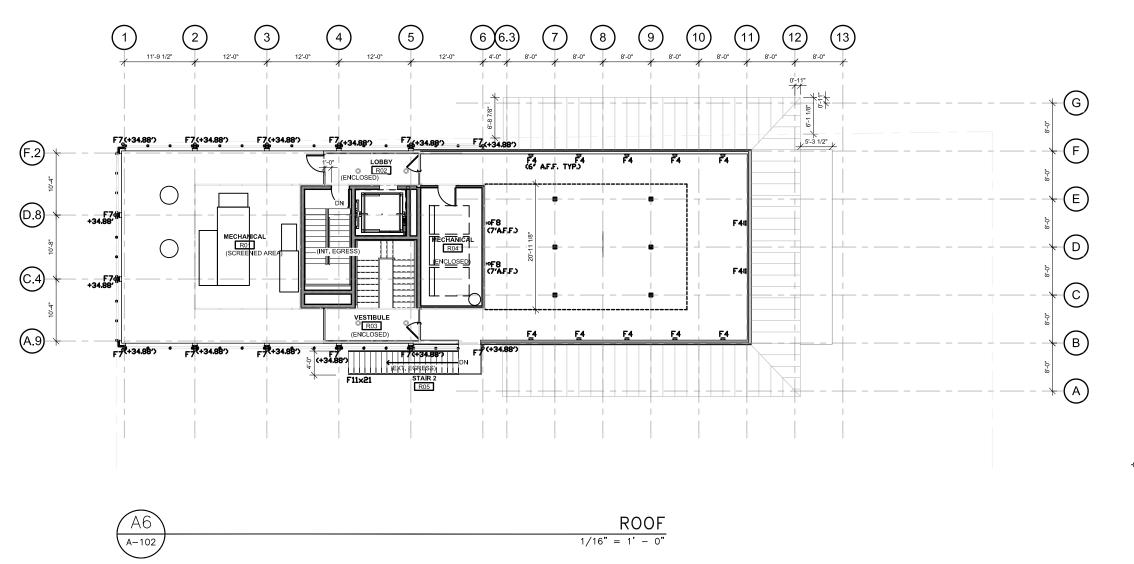
SHEET NUMBER:



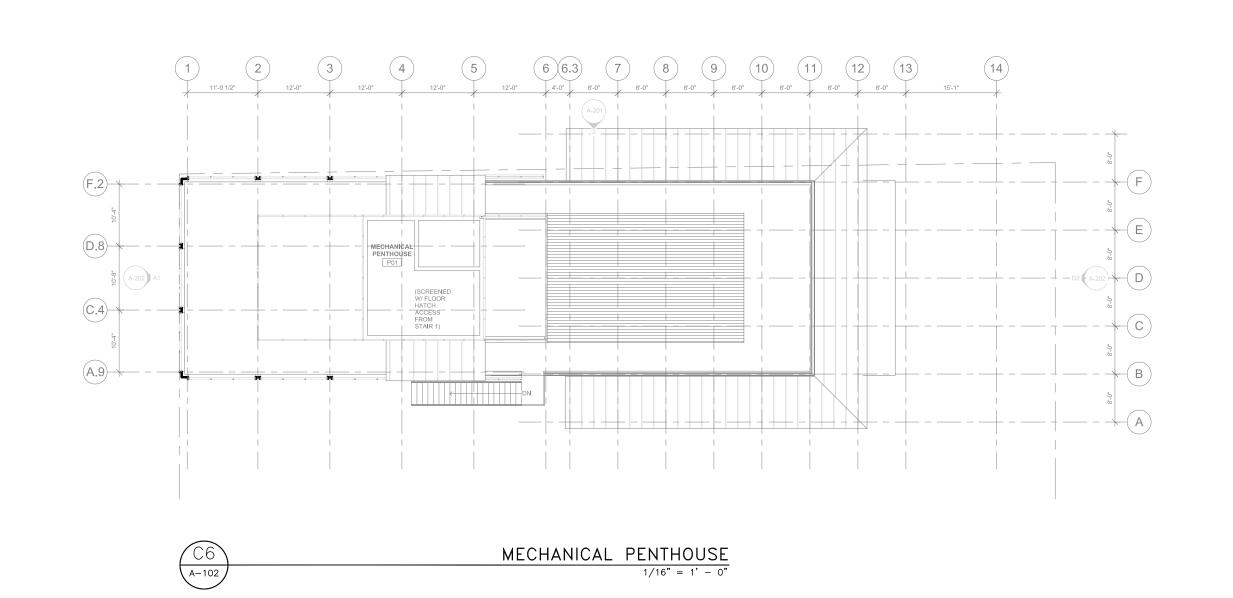


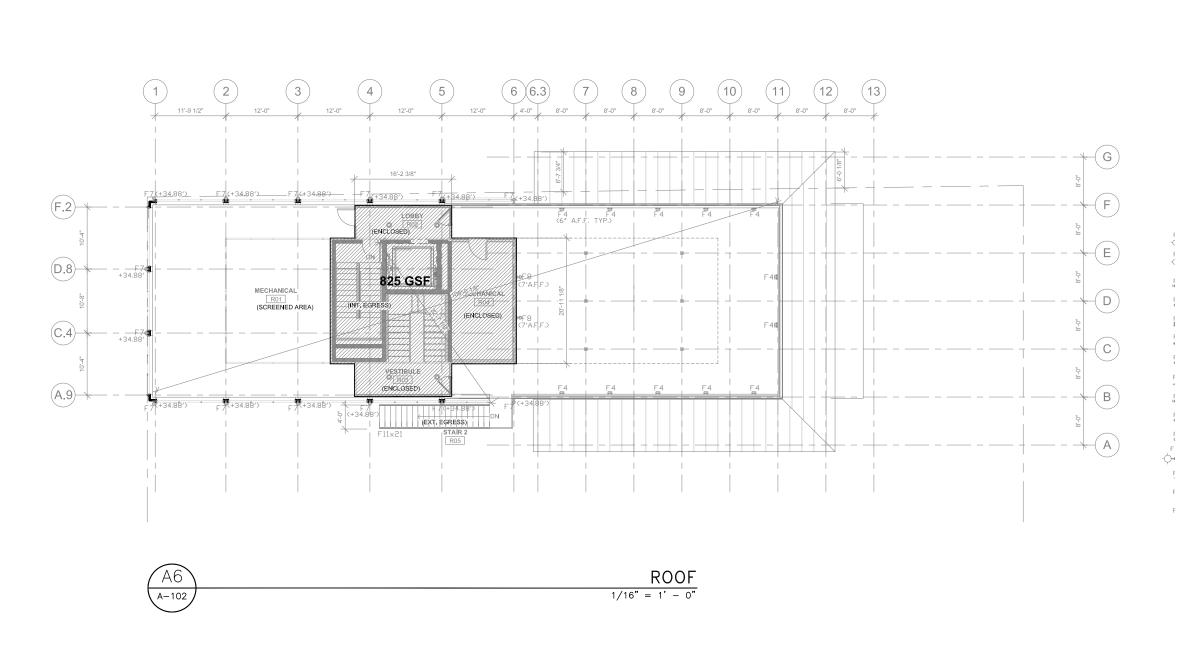






CLOSETS & BAR/RESTAURANT SERVICE AREA. —	
1 2 3 4 5 6 6.3 7 8 9 10 11 12 13 14 15 15 15 15 15 15 15 15 15 15 15 15 15	G
SECOND FLOOR 1/16" = 1' - 0"	







PROPOSED GROSS FLOOR AREA

4,647 SF

4,998 SF

4,736 SF

825 SF

15,206 SF

ELEVATOR BULKHEADS, MECHANICAL SPACES, AND GROUND LEVEL AREAS OF

1. EXCLUDE FROM NET SQUARE FEET CALCULATIONS ARE STAIR/

0 SF

LEVELS

ROOF

TOTAL

GROUND FLOOR

SECOND FLOOR

MECHANICAL PENTHOUSE

GENERAL NOTES:

LESS THAN 7'-6" CEILING HEIGHT.

FIRST FLOOR

PROPOSED ALLOWABLE PROPOSED GROSS AREA EXCLUSIONS NET AREA

721 SF

615 SF

825 SF

0 SF

6,404 SF

4,277 SF

4,121 SF

8,802 SF

0 SF

0 SF

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The City of Alexandria, Virgina

MICHAEL WINSTANLEY

ARCHITECTS & PLANNERS

MICHAELWINSTANLEY.COM 107 N. WEST STREET ALEXANDRIA, VA 22314 (703) 519 - 8081

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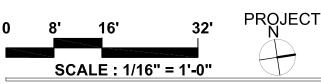


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APPROV SPECIAL USE DEPARTMENT OF PLA	PERMIT N	O. <u>2014-0026</u> NG
DIRECTOR		DATE
DEPARTMENT OF TRAN SITE PLAN NO.		ENVIRONMENTAL SERVICE
SITE I LAN NO		
DIRECTOR		DATE
DIRECTOR		
	IMISSION	DATE DATE



SHEET TITLE:

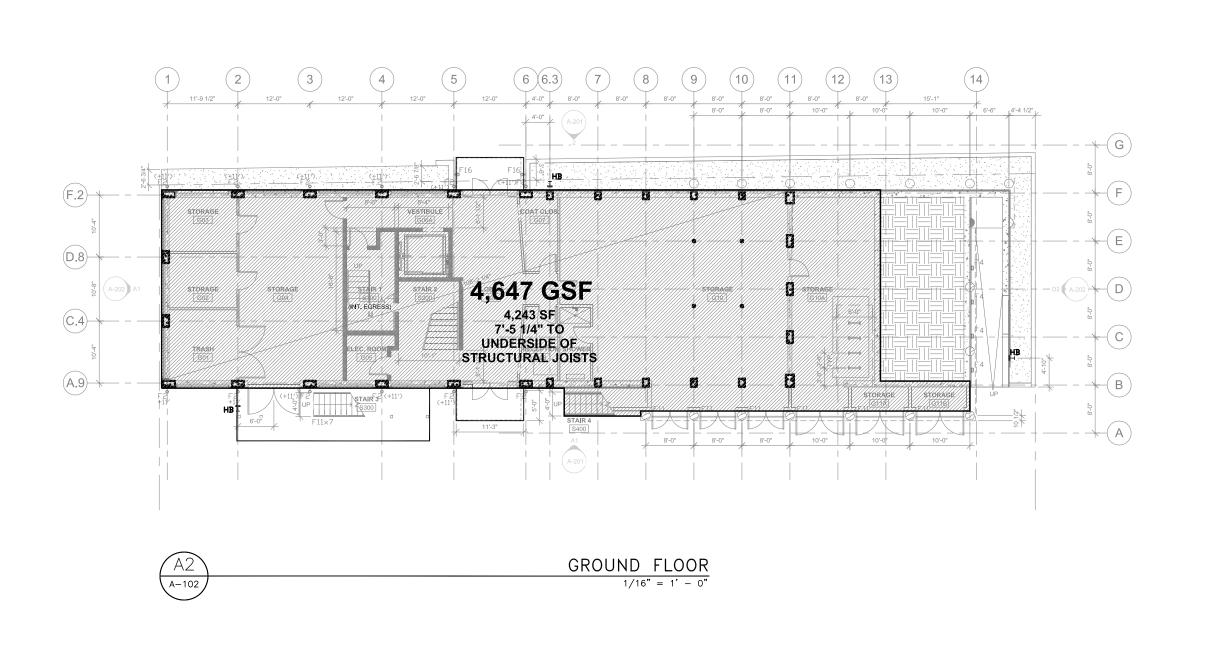
SQUARE FOOTAGE Tabulations

SHEET NUMBER:

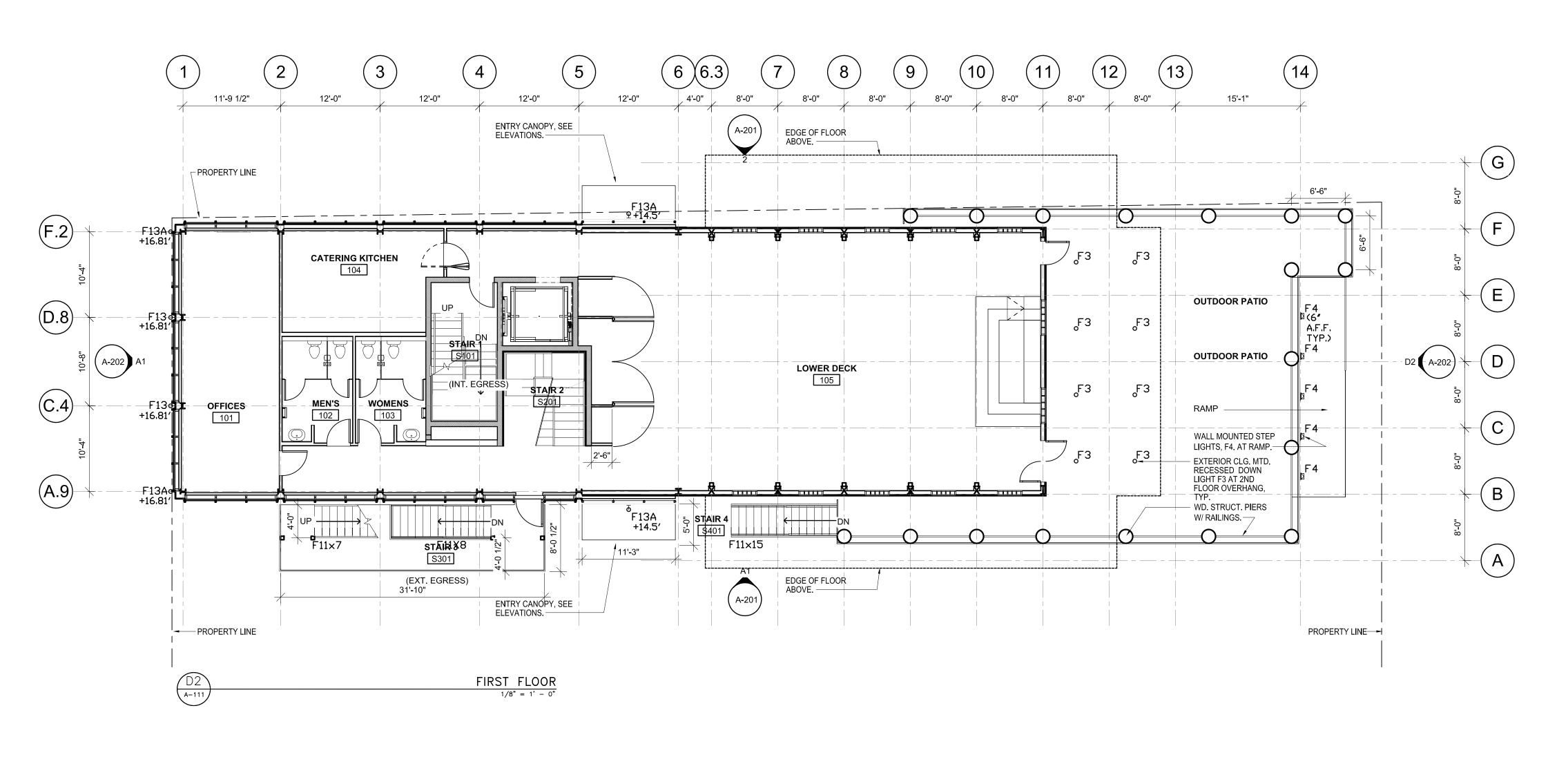
A-100

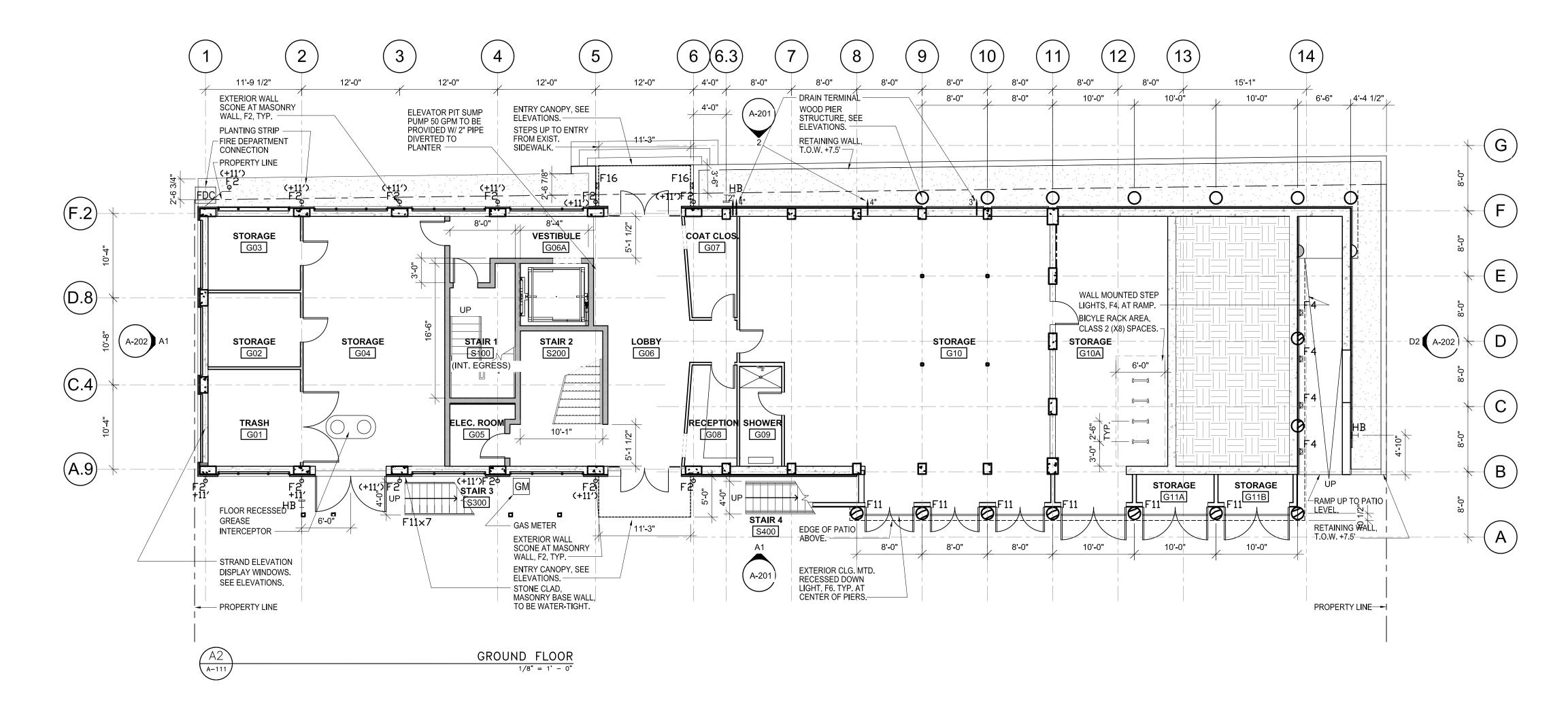
Original drawing is 24" x 36". Scale entities accordingly if reduced.

520		F13A 9+14.5'				6-6"	č à
F.2) - F13A-F16.811	CATERING KITCHEN		Ÿ Ÿ	£3	,F3	1 59 9	0-,8
- 	411.SE	1016	4,998 GSF	, F3	oF3 OUTDOOR P	1	.0.,8
A-202 A1 -F13-02 -FFICES	MEN'S WOMENS WOMENS		LOWER DECK		F3 OUTDOOR P	PATIO Pr 4	— D2 (-A=202)
7.4 F13cm OFFICES- +16.81' 101	MEN'S WOMENS [103]	2-6"		F3	F3 RAMP	F4- T	
1.9 - F13A		8 1 2 1 1 1 1 1 1 1 1 1 1				F4	
	258 SF	F13A +14.5' b S01 11'-3" F11x15	52 SF				
	31 <u>-10".</u> EGRESS)	A-201					



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2

GENERAL NOTES:

- 1. REFER TO ARCH. GROUND FLOOR PLAN FOR BIKE RACK LOCATION.
- 2. REFER TO ARCH. SITE PLAN, FLOOR PLANS AND ELEVATIONS FOR PRELIMINARY EXTERIOR LIGHTING INFORMATION.
- 3. REFER TO ARCH. ELEVATIONS FOR PRELIMINARY SIGNAGE INFORMATION.
- 4. CLASS 2 BICYCLE PARKING TO PROVIDED AT GROUND FLOOR, AT NO LESS THAN 15% OF AUTOMOBILE PARKING SPACES. SEE ARCH. PLANS FOR DETAILED LAYOUT.
- 5. REFER TO A-610 FOR EXTERIOR LIGHTING SCHEDULE. LIGHT FIXTURES WALL MOUNTING HEIGHTS ARE TO C.L. OF FIXTURE U.O.N.
- 6. ROOF CANOPY SHALL BE A SEASONAL ELEMENT WHICH IS FULLY DEMOUNTED BTW. NOVEMBER 15TH TO FEBRUARU 15TH, WITH THE EXCEPTION OF A 24 HOUR PERIOD FOR THE SCOTTISH WALK TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND ZONING (P&Z).

LIGHT FIXTURE LEGEND

- F1 NOT USED.
- F1A NOT USED.
- F2 EXTERIOR LED UP & DOWNLIGHT WALL SCONCE.
- EXTERIOR CLG. MTD. RECESSED LED DOWNLIGHT AT SECOND FLOOR OVERHANG.
- F4 EXTERIOR LED WALL MTD. RECESSED STEP LIGHT AT
- RAMP & ROOF DECK.
- F5A NOT USED.
- F6 NOT USED.
- F7 EXTERIOR LED DOWNLIGHT WALL SCONCE.
- F8 EXTERIOR DOWNLIGHTS OR PENDANTS F8 AT MECH.
- RM. WALL.

 F9 CLG. MTD. RECESSED LED DOWNLIGHTS.
- F10 POLE MOUNTED PARKING LIGHTS
- F11 EXTERIOR LED LINEAR LIGHT AT ENTRY CANOPIES.
- F12 EXTERIOR LED FLOODLIGHT AT ENTRY CANOPIES.
- F13 EXTERIOR LED SPOTLIGHT MTD. ON DUAL HEAD ARM.
- EXTERIOR LED SPOTLIGHT MTD. ON SINGLE HEAD F13A ARM.
- F14 EXTERIOR WALL SCONCE AT STONE PIER.
- F15 EXTERIOR LINEAR LED HANDRAIL LUMINAIRE
- F16 EXTERIOR LED WALL MTD. RECESSED STEP LIGHT AT NORTH ENTRY



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The City of Alexandria, Virgina



Professional Certification.
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the state of Virginia, license

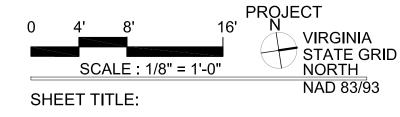


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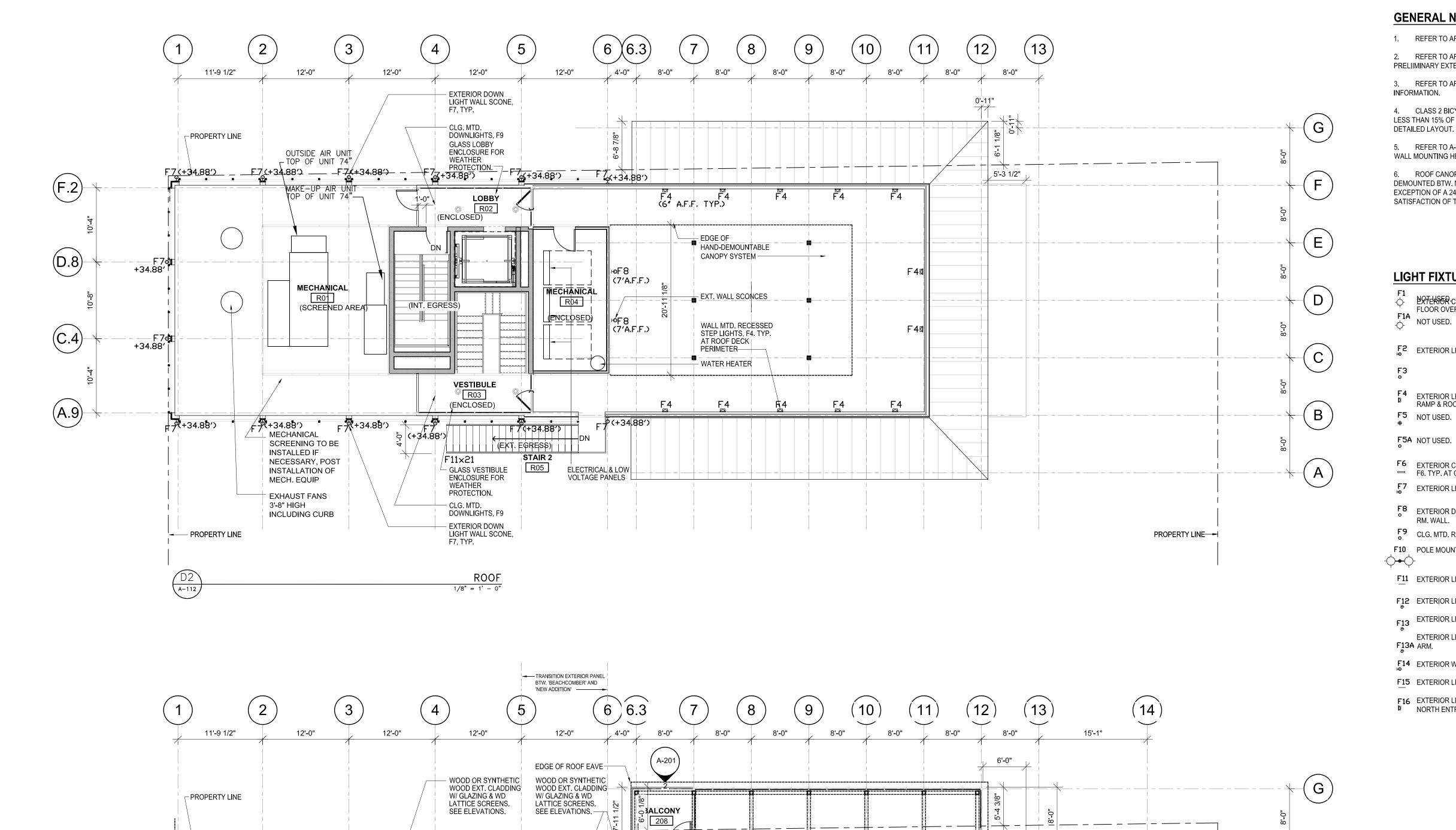
SPECIAL USE DEPARTMENT OF PLA		2014-0026
DIRECTOR	DA	TE
DEPARTMENT OF TRAN SITE PLAN NO.	NSPORTATION & EN	VIRONMENTAL SERVIC
_		
DIRECTOR	DA	TE
DIRECTOR CHAIRMAN, PLANNING COM		TE DATE
	MISSION	2

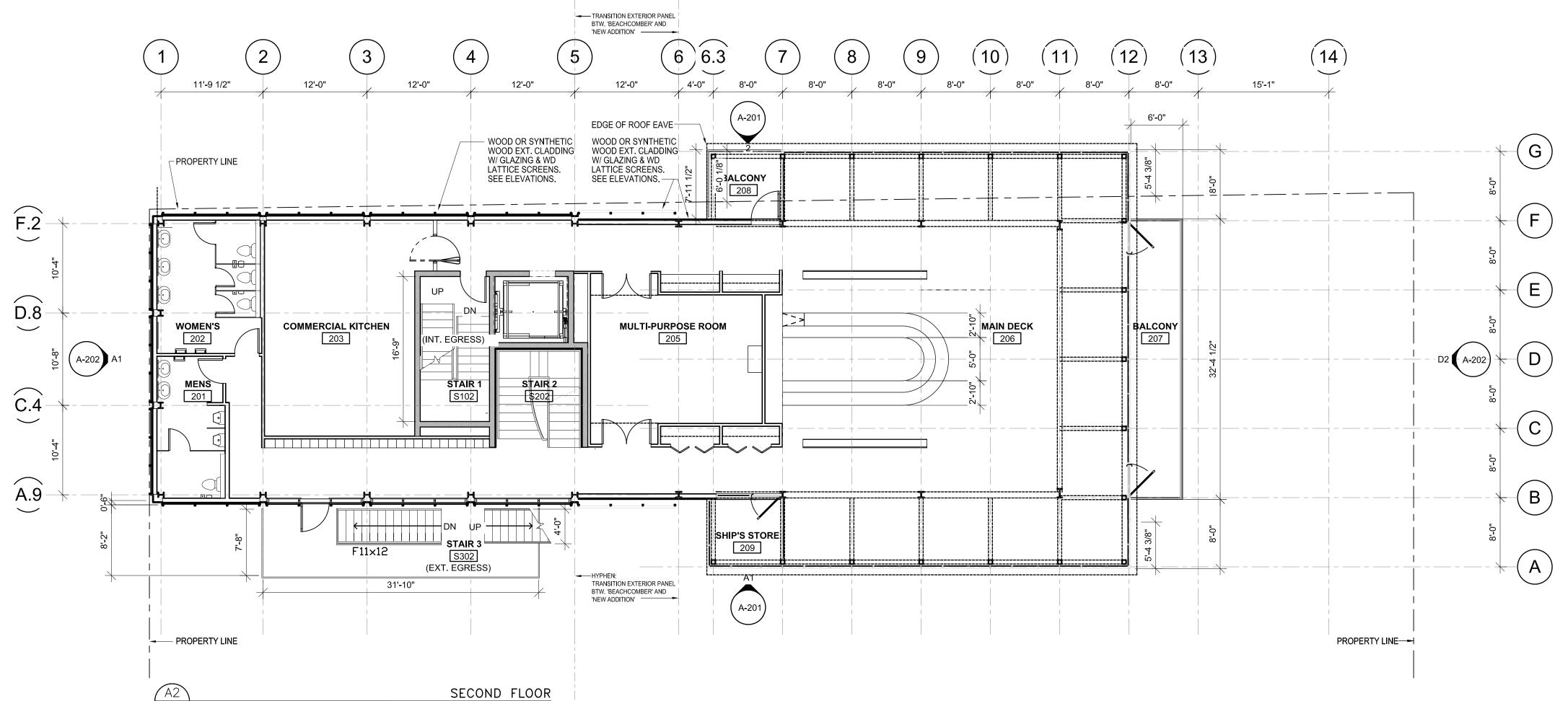


FLOOR PLANS

SHEET NUMBER:

 $\triangle - 11$





GENERAL NOTES:

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LIGHT FIXTURE LEGEND

- PATERISE CLG. MTD. RECESSED LED DOWNLIGHT AT SECOND FLOOR OVERHANG.
- F1A NOT USED.
- F2 EXTERIOR LED UP & DOWNLIGHT WALL SCONCE.
- F4 EXTERIOR LED WALL MTD. RECESSED STEP LIGHT AT RAMP & ROOF DECK.
- F5A NOT USED.
- F6 EXTERIOR CLG. MTD. RECESSED LINEAR LED LIGHT, F6. TYP. AT CENTER OF PIERS.
- F7 EXTERIOR LED DOWNLIGHT WALL SCONCE.
- F8 EXTERIOR DOWNLIGHTS OR PENDANTS F8 AT MECH.
- RM. WALL. F9 CLG. MTD. RECESSED LED DOWNLIGHTS.
- F10 POLE MOUNTED PARKING LIGHTS
- F11 EXTERIOR LED LINEAR LIGHT AT ENTRY CANOPIES.
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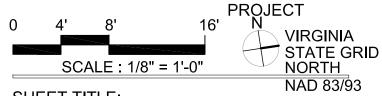


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	08/03/2015	BAR SUBMISSION

A/E PROJECT NO: DRAWN BY: CHECKED BY:





SHEET TITLE:

FLOOR PLANS

SHEET NUMBER:

F13 EXTERIOR LED SPOTLIGHT MTD. ON DUAL HEAD ARM. F14 EXTERIOR WALL SCONCE AT STONE PIER. F15 EXTERIOR LINEAR LED HANDRAIL LUMINAIRE F16 EXTERIOR LED WALL MTD. RECESSED STEP LIGHT AT NORTH ENTRY 8'-0" ′ A-201) 4'-8 3/4" 11'-9 1/2" 10'-4" 33'-9 1/2" 2'-0" MECHANICAL PENTHOUSE SEE ROOF PLAN ¬ | (A-202) A¹ D2/A-112 FOR EQUIPMENT LAYOUT A-202) -(SCREENED W/ FLOOR (C.4)HATCH ACCESS FROM STAIR 1) - VARIABLE REFRIGERANT FLOW UNITS HAND-DEMOUNTABLE TOP OF UNIT 70" (A.9)PROPERTY LINE PROPERTY LINE—— MECHANICAL PENTHOUSE

GENERAL NOTES:

- 1. REFER TO ARCH. GROUND FLOOR PLAN FOR BIKE RACK LOCATION.
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F11 EXTERIOR LED LINEAR LIGHT AT ENTRY CANOPIES.

F12 EXTERIOR LED FLOODLIGHT AT ENTRY CANOPIES.

EXTERIOR LED SPOTLIGHT MTD. ON SINGLE HEAD

F7 EXTERIOR LED DOWNLIGHT WALL SCONCE.

F9 CLG. MTD. RECESSED LED DOWNLIGHTS.

F10 POLE MOUNTED PARKING LIGHTS

EXTERIOR CLG. MTD. RECESSED LED DOWNLIGHT AT SECOND FLOOR OVERHANG.

NOT USED.

F1A NOT USED.

F5 NOT USED.

F5A NOT USED.

RM. WALL.

-

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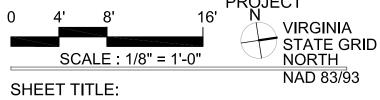


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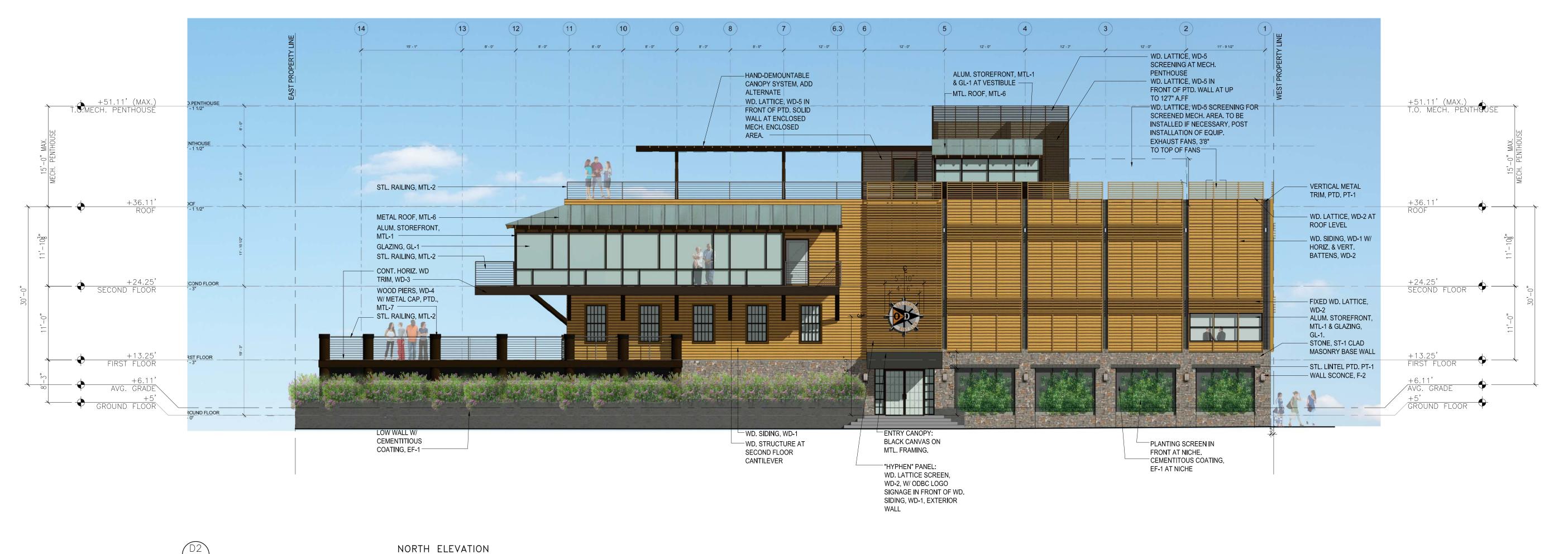
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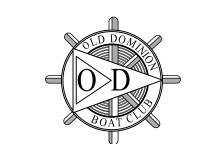




FLOOR PLAN

SHEET NUMBER:





The City of Alexandria, Virgina

MICHAEL WINSTANLEY

ARCHITECTS & PLANNERS

MIDHAELWINSTANLEY.DDM

107 N. WEST STREET

ALEXANDRIA, VA 22314

(703) 519 - 8081

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A/E PROJECT NO: DRAWN BY: CHECKED BY:



4' 8' 16' SCALE : 1/8" = 1'-0"

SHEET TITLE:

EXTERIOR ELEVATIONS

SHEET NUMBER:

A-20

Original drawing is 24" x 36". Scale entities accordingly if reduced.

11'-9 1/2" W.D. LATTICE, ŴĎ-5 ALUM. STOREFRONT, MTL-1 SCREENING AT MECH. & GL-1 AT VESTIBULE —— PENTHOUSE -HAND-DEMOUNTABLE WD. LATTICE, WD-5 IN MTL. ROOF, MTL-6 —— CANOPY SYSTEM, ADD FRONT OF PTD. WALL AT UP ALTERNATE -TO 12'7" A.FF — +51.11' (MAX.)
T. MECH. PENTHOUSE +51.11' (MAX.) T.O. MECH. PENTHOUSE WD. LATTICE, WD-5 IN WD. LATTICE, WD-5 SCREENING FOR FRONT OF PTD. SOLID SCREENED MECH. AREA. TO BE WALL AT ENCLOSED INSTALLED IF NECESSARY, POST MECH. ENCLOSED INSTALLATION OF EQUIP. AREA. EXHAUST FANS, 3'8" TO TOP OF FANS WD. LATTICE, WD-2 AT ROOF LEVEL ----VERTICAL METAL STL. RAILING, MTL-2 TRIM, PTD. PT-2 +36.11' ROOF +36.11' ROOF WALL SCONCE, F-7 ---- METAL ROOF, MTL-6 ALUM. STOREFRONT, MTL-1 WD. SIDING, WD-1 W/ HORIZ. & VERT. _ GLAZING, GL-1 BATTENS, WD-2 — STL. RAILING, MTL-2 - CONT. HORIZ. WD TRIM, WD-3 +24.25' SECOND FLOOR • -+24.25'
SECOND FLOOR WOOD PIERS, WD-4 FIXED WD. LATTICE, W/ METAL CAP, PTD., WD-2 ---MTL-7 STL. RAILING, MTL-2 ALUM. STOREFRONT, MTL-1 & GLAZING, STONE, ST-1 CLAD MASONRY BASE WALL-+13.25' FIRST FLOOR +13.25' FIRST FLOOR STL. LINTEL PTD. PT-1-WALL SCONCE, F-2 EXT. DOORS TO GROUND LEVEL STORAGE. SEE FLOOR PLANS EXT. STEEL EGRESS— H.M. FRAME W/ WD. -CEMENTITOUS ENTRY CANOPY: WD. SIDING, WD-1 STAIRS. DOOR, FACED W/ 1X6 COATING, EF-1, FACED **BLACK CANVAS ON** — WD. STRUCTURE AT RETAINING WALL W/ WD. PLANKS, PTD. W/ 1X6 WD. PLANKS, MTL. FRAMING. SECOND FLOOR CEMENTITIOUS PTD., PT-4 CANTILEVER -"HYPHEN" PANEL: COATING, EF-1 -WD. LATTICE SCREEN, H.M. FRAME W/ WD. DOOR, EXT. STEEL EGRESS WD-2, W/ ODBC LOGO FACED W/ 1X6 WD. PLANKS, STAIRS, PTD., PT-2 SIGNAGE IN FRONT OF WD. PTD. PT-4 SIDING, WD-1, EXTERIOR SOUTH ELEVATION

1/8" = 1' - 0"

1/8" = 1' - 0"





The City of Alexandria, Virgina

MICHAEL WINSTANLEY

MIDHAELWINSTANLEY.COM 107 N. WEST STREET ALEXANDRIA, VA 22314 (703) 519 - 8081

ARCHITECTS & PLANNERS

Professional Certification. I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2016.



REGISTRATION:

		ISSUE
NO.	DATE	DESCRIPTION
	09/26/2014	CONCEPTUAL PLAN II
	11/03/2014	BAR CONCEPT II
	11/11/2014	DSUP PRELIMINARY COMPLETENESS APPLICATION
12/11/2014		DSUP COMPLETENESS APPLICATION
	01/20/2015	BAR SUBMISSION III
	04/17/2015	85% ISSUED FOR PRICING
	05/08/2015	SITE PLAN SUBMISSION I
	08/03/2015	SITE PLAN SUBMISSION II
	08/03/2015	BAR SUBMISSION

APPROV SPECIAL USE	PERMIT		2014-0026
DEPARTMENT OF PLA	anning & z	ZONING	
DIRECTOR		DATE	
DEPARTMENT OF TRAN	NSPORTATION	v & FNVIR	ONMENTAL SERVICE
SITE PLAN NO.			
SITE PLAN NO			
SITE PLAN NO		DATE	
		DATE	
DIRECTOR		DATE	DATE
	MMISSION		DATE

KEY NOTES:

- NO GLAZING BEHIND WD. LATTICE.
- FIXED WD. LATTICE I.L.O. OF DEMOUNTABLE WD. LATTICE.
- WD. CEDAR SIDING I.L.O. OF GLAZING.
- REDUCED WINDOW SIZE.
- FIXED STOREFRONT I.L.O. OF CASEMENT
- STL. PIPE RAILING, PTD. I.L.O. OF S.S. CABLE RAILING W/ WD. TOP RAIL.
- OF STL. CANOPY.

FABRIC CANVAS 'AWNING' TYPE CANOPY I.L.O.

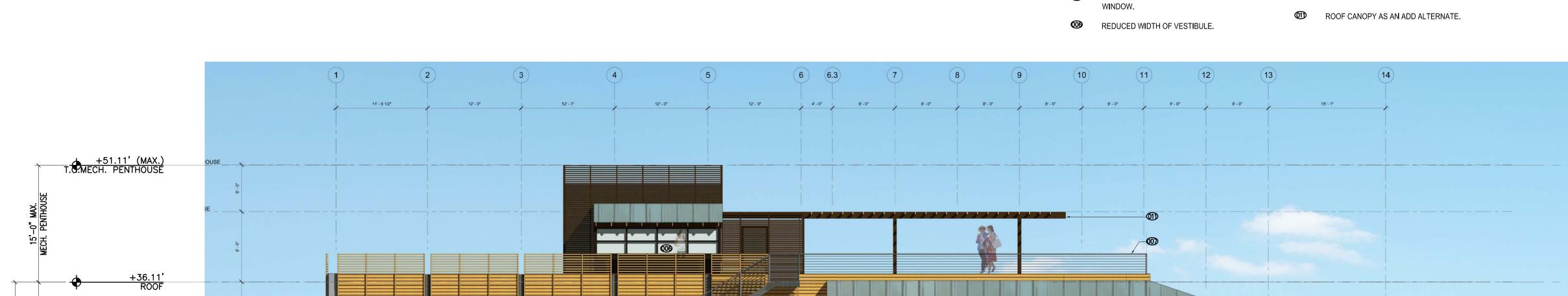
- MOUNTED DISPLAY I.L.O. OF STOREFRONT
- FIXED FENCING I.L.O. OF VEHICULAR GATE.
- STL. POST (APPROX. 3'-8" BEYOND OUTER EDGE OF AISLE) ADDED TO EXTERIOR EGRESS STAIRS I.L.O. OF CANTILEVERED STAIRS.
- © CEMENTITOUS COATING, EF-1, FACED W/ 1X6 WD. PLANKS, PTD., PT-4, I.L.O. OF ALUM./ GL. STOREFRONT.

+51.11' (MAX.) T.O. MECH. PENTHOUSE

+24.25'
SECOND FLOOR

+13.25'
FIRST FLOOR

STOREFRONT AT BALCONY ALIGNED WITH STOREFRONT ON EITHER SIDES I.L.O. OF BEING RECESSED 12".



SOUTH ELEVATION

1/8" = 1' - 0"

2

+13.25' FIRST FLOOR

NORTH ELEVATION

SHEET NUMBER:

Original drawing is 24" x 36". Scale entities accordingly if reduced.

ELEVATIONS

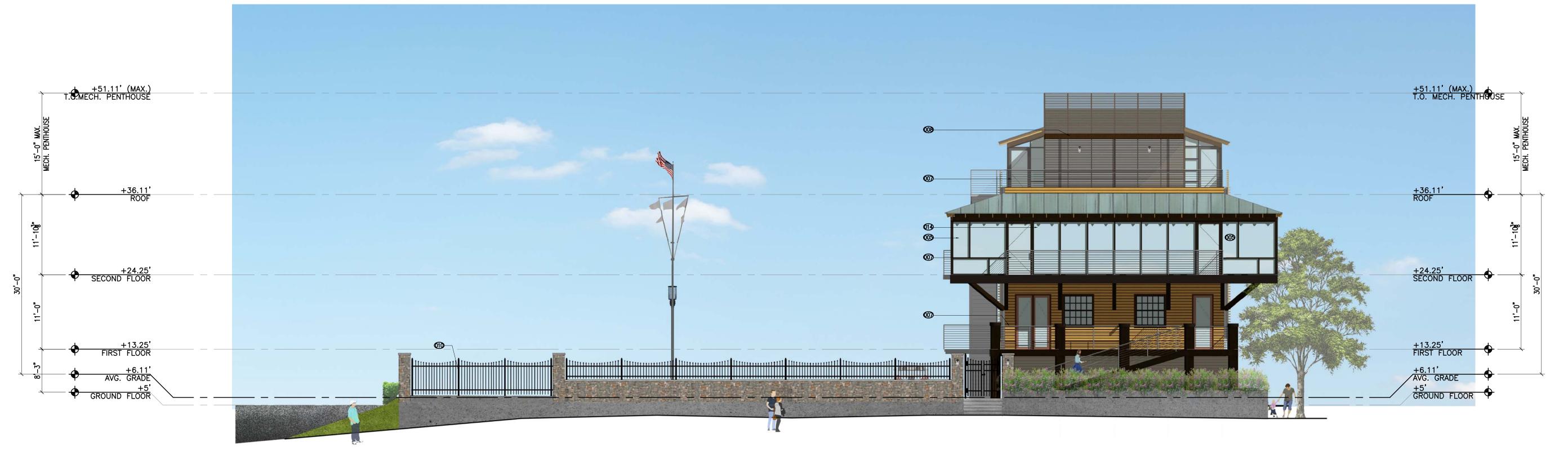
SHEET TITLE: EXTERIOR

A/E PROJECT NO: DRAWN BY: CHECKED BY:



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	08/03/2015	BAR SUBMISSION

SPECIAL USE PERMI DEPARTMENT OF PLANNING &	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATI SITE PLAN NO.	ON & ENVIRONMENTAL SERVICES
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
INSTRUMENT NO. DEED B	OOK NO. PAGE NO.





The City of Alexandria, Virgina

MICHAEL WINSTANLEY

ARCHITECTS & PLANNERS MICHAELWINSTANLEY.COM 107 N. WEST STREET ALEXANDRIA, VA 22314 (703) 519 - BOB1

Professional Certification. I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/201<u>6</u>.



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	05/08/2015	SITE PLAN SUBMISSION I
	08/03/2015	SITE PLAN SUBMISSION II
	08/03/2015	BAR SUBMISSION

A/E PROJECT NO: DRAWN BY:





SHEET TITLE:

EXTERIOR ELEVATIONS

SHEET NUMBER:

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KEY NOTES:

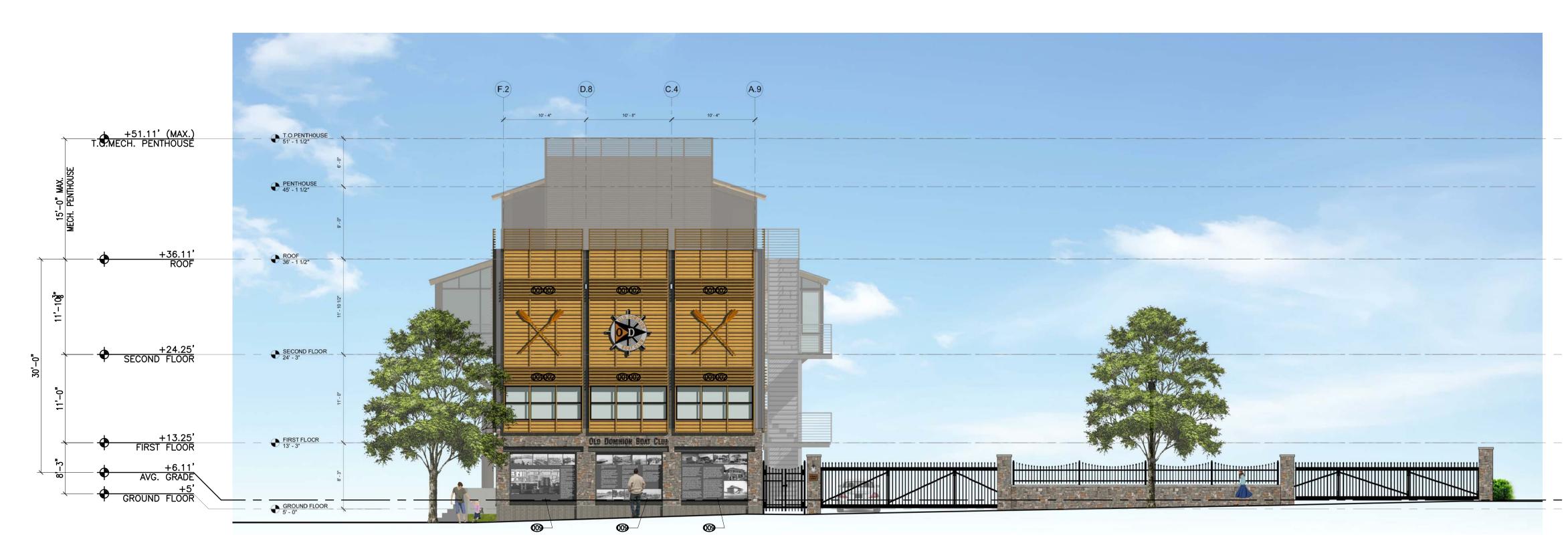
- NO GLAZING BEHIND WD. LATTICE.
- FIXED WD. LATTICE I.L.O. OF DEMOUNTABLE WD. LATTICE.
- WD. CEDAR SIDING I.L.O. OF GLAZING.
- REDUCED WINDOW SIZE.
- FIXED STOREFRONT I.L.O. OF CASEMENT WINDOW.
- REDUCED WIDTH OF VESTIBULE.
- STL. PIPE RAILING, PTD. I.L.O. OF S.S. CABLE RAILING W/ WD. TOP RAIL.
- FABRIC CANVAS 'AWNING' TYPE CANOPY I.L.O. OF STL. CANOPY.
- MOUNTED DISPLAY I.L.O. OF STOREFRONT
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- © CEMENTITOUS COATING, EF-1, FACED W/ 1X6 WD. PLANKS, PTD., PT-4, I.L.O. OF ALUM./ GL. STOREFRONT.

+51.11' (MAX.) T.O. MECH. PENTHOUSE

+24.25'
SECOND FLOOR

+6.11' AVG. GRADE

STOREFRONT AT BALCONY ALIGNED WITH STOREFRONT ON EITHER SIDES I.L.O. OF BEING RECESSED 12".



EAST ELEVATION

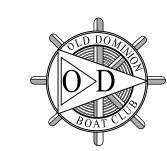
1/8" = 1' - 0"

WEST ELEVATION 1/8" = 1' - 0"

2

GENERAL NOTES:

1. ROOFTOP CANOPY SHALL BE SEASONAL ELEMENT WHICH IS FULLY DEMOUNTED BETWEEN NOVEMBER 15TH AND FEBRUARY 15TH WITH THE EXCEPTION OF A 24 HOUR PERIOD FOR THE SCOTTISH WALK TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND ZONING (P&Z)



OLD DOMINION BOAT CLUB

The City of Alexandria, Virgina



107 N. WEST STREET ALEXANDRIA, VA 22314 (703) 519 - 8081

Professional Certification. I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2016.

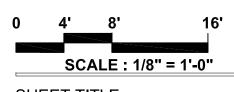


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04/17/2015 05/08/2015 08/03/2015		85% ISSUED FOR PRICING SITE PLAN SUBMISSION I				
			08/03/2015	BAR SUBMISSION		

A/E PROJECT NO: DRAWN BY: CHECKED BY:





SHEET TITLE: EXTERIOR

ELEVATIONS

SHEET NUMBER:

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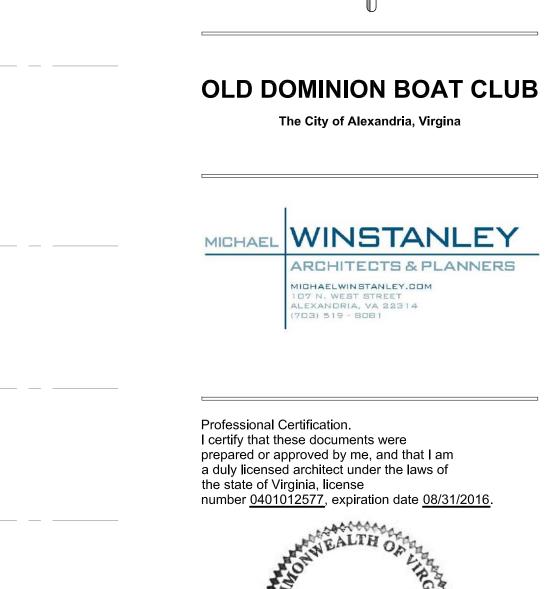
SOUTH ELEVATION

1/8" = 1' - 0"



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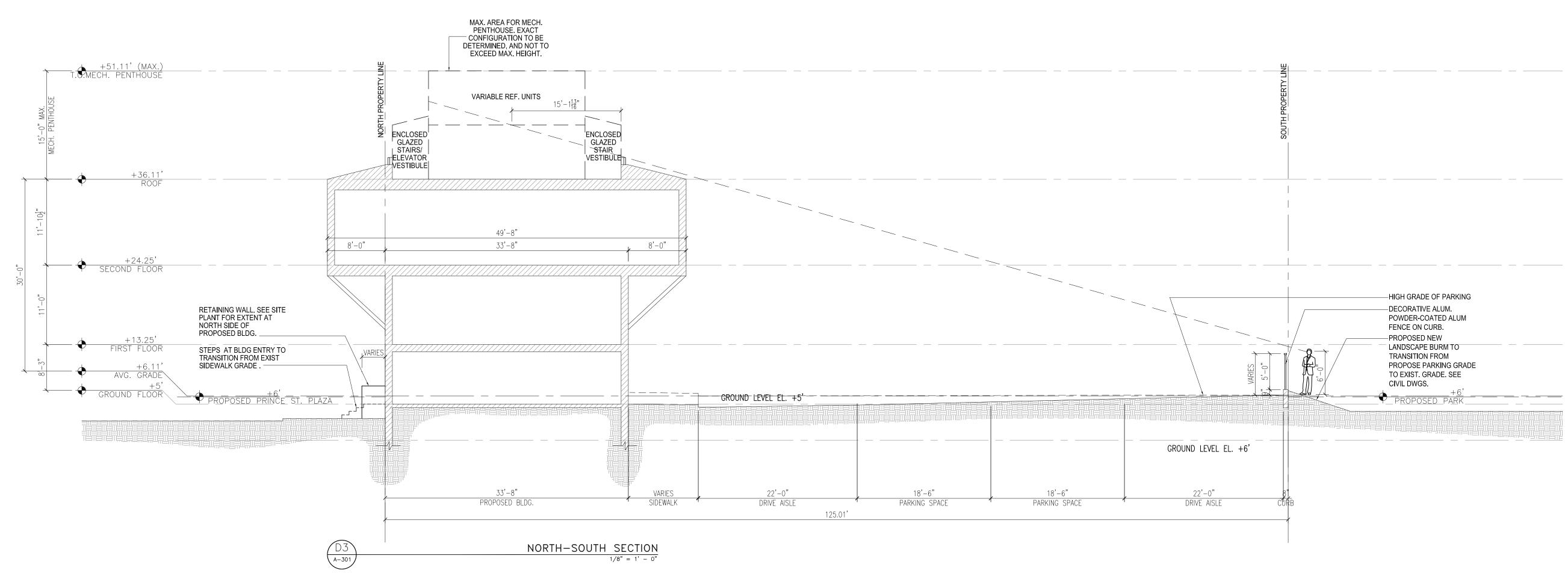
APPROV	TED .		
SPECIAL USE DEPARTMENT OF PLA	PERMIT I		026
DIRECTOR		DATE	
DEPARTMENT OF TRAN	SPORTATION	& ENVIRONMENTAL	. SERVICE
SITE PLAN NO			
SITE PLAN NO		DATE	
		DATE DATE	
DIRECTOR	MISSION	DATE	

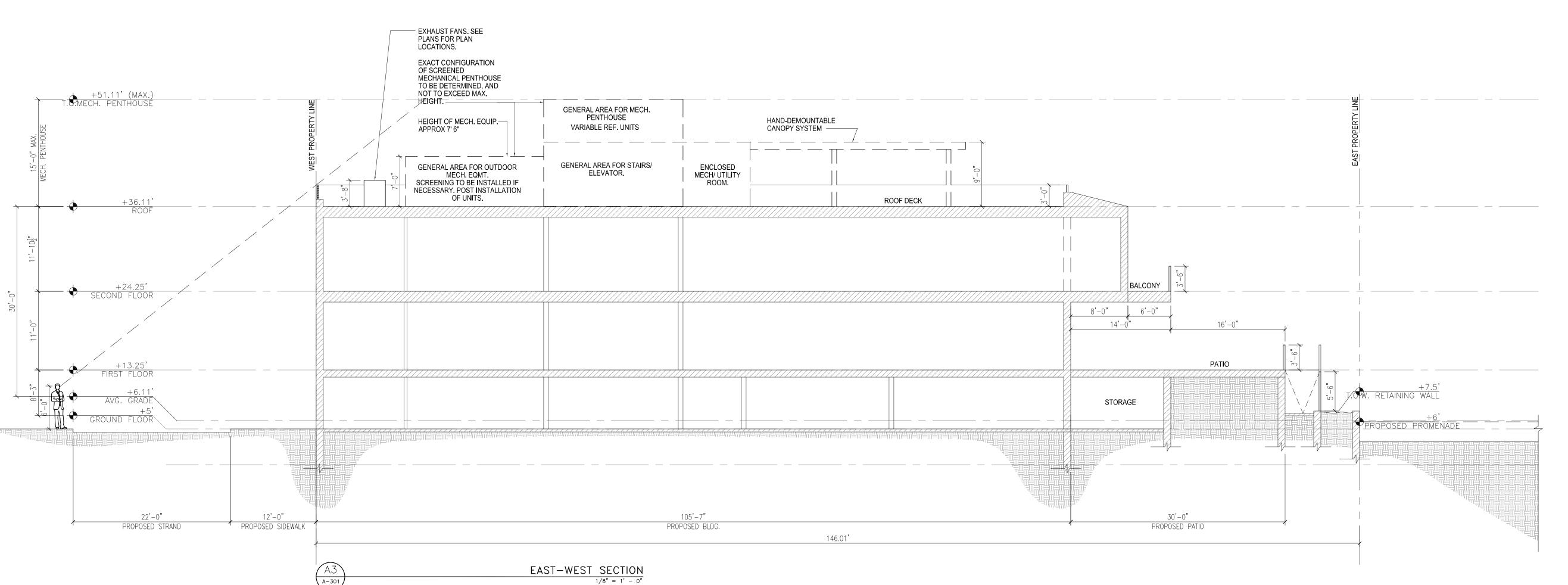


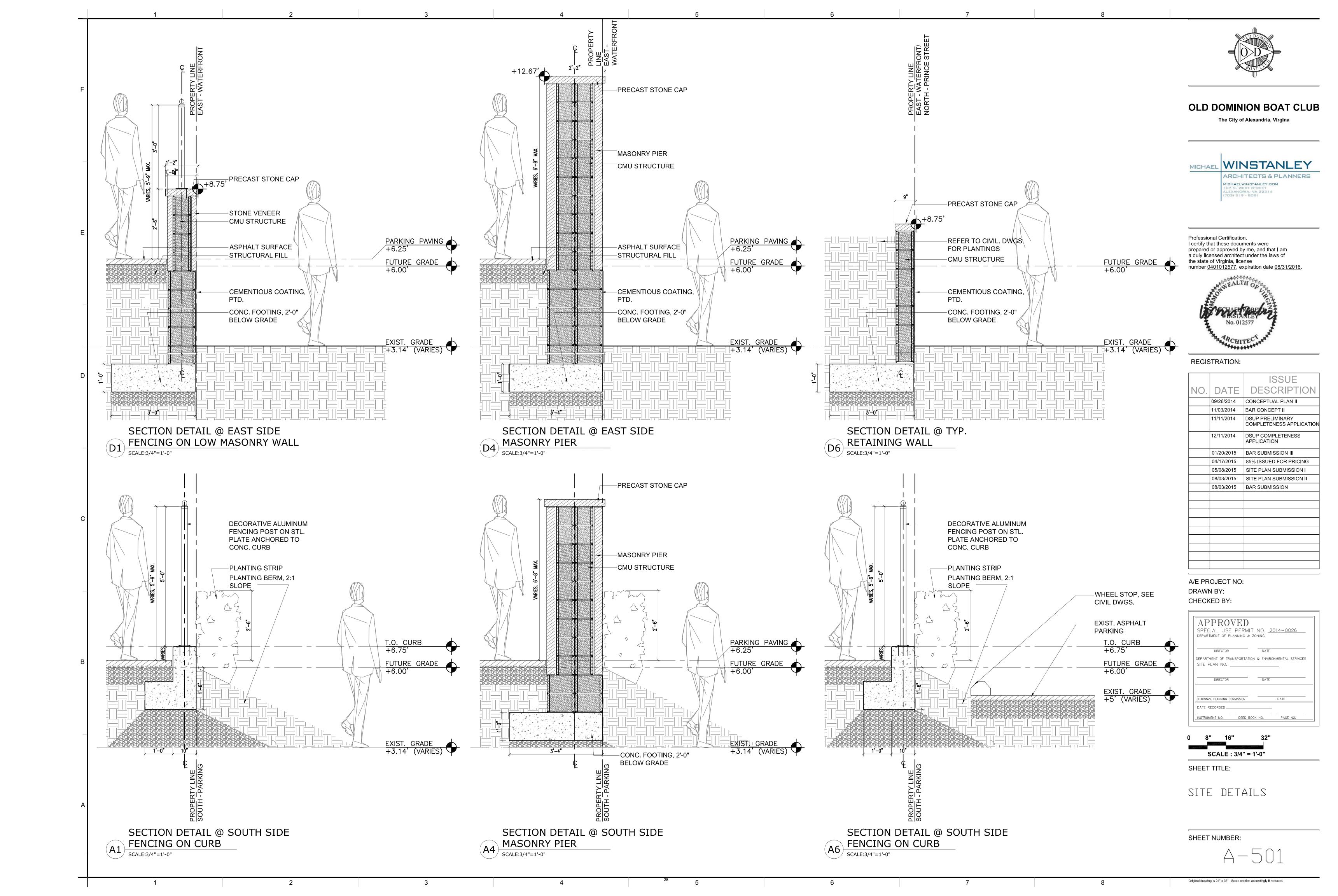
SHEET TITLE:

BUILDING/ SITE SECTIONS

SHEET NUMBER:









The City of Alexandria, Virgina

MICHAEL WINSTANLEY ARCHITECTS & PLANNERS MICHAELWINSTANLEY.COM

107 N. WEST STREET ALEXANDRIA, VA 22314 (703) 519 - 8081

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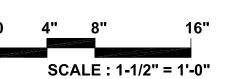
A/E PROJECT NO: DRAWN BY: CHECKED BY:

—2" ASPHALT SURFACE

-8" STRUCTURAL FILL

-COMPACTED SUB-GRADE





SHEET TITLE:

SITE DETAILS

SHEET NUMBER:

2" ASPHALT SURFACE SLOPE PER SLOPE PER CIVIL DWGS. CIVIL DWGS. -BRICK PAVERS W/ 3/8" JT. T.B.D. -3/4" TO 1" SAND SET -4" CONC. SLAB -4" AGGREGRATE SUB-BASE 8" STRUCTURAL FILL CONC. CURB COMPACTED SUB-GRADE SECTION DETAIL @ SECTION DETAIL @ DETAIL @ BRICK TO A4 BRICK PAVED PARKING

SCALE:1-1/2"=1'-0"

A6 ASPHALT TRANSITION

SCALE:1-1/2"=1'-0"

A7 ASPHALT PARKING

SCALE:1-1/2"=1'-0"

2

EXTERIOR LIGHTING SCHEDULE

Туре	Image	Location	Description	Lamping	Electrical	Input Wattage	Catalog Number	Alternate Manufacturers	Notes
EXTERIOR									
F1	TYPE NOT USED								
F1A	TYPE NOT USED								
F2		Façade	Outdoor rated surface mounted LED sconce. Sealed and gasketed housing with UV stable white acrylic diffuser and solid metal accent bars for decoration. UL listed for wet locations. Dimensions: 7-1/4" Width x 16" Height x 5-1/2" Depth	LED, 3000K 900 Lumens	Integral Electronic Driver	10W	VISA LIGHTING COLONNADE OW1048-LWW900-VG- Horizontal Bars 3	American Glass Light BEGA	1. Architect to verify finish. 2. Electrical Engineer to specify voltage. 3. Contractor shall provide all mounting hardware and accessories as required for a complete and approved installation. 4. Manufacturer to provide dimensioned shop drawings showing all materials, finishes and components for Lighting Designer and Architect review prior to fabrication. Provide metal finish sample plates for review during shop drawing phase. 5. Architect to confirm mounting height and specific locations. 6. Contractor shall verify and coordinate fixture installation and mounting with architectural details and field conditions.
F3		Outdoor Patio	Outdoor rated recessed LED downlight. Corrosion-resistant cast aluminum housing with cover ring, silver double powder coated finish, anti glare ring with cross-baffle and non-reflective safety glass. UL listed for wet locations (IP65). Dimensions: 5-1/2" Diameter x 5-7/8" Depth	LED, 3000K 90 CRI 800 Lumens	Integral Electronic Driver	10W	ERCO 84425.023	Intense Lighting USAI	1. Architect to verify finish. 2. Electrical Engineer to specify voltage. 3. Contractor shall provide all mounting hardware and accessories as required for a complete and approved installation. 4. Manufacturer to provide dimensioned shop drawings showing all materials, finishes and components for Lighting Designer and Architect review prior to fabrication. Provide metal finish sample plates for review during shop drawing phase. 5. Architect to confirm mounting height and specific locations. 6. Contractor shall verify and coordinate fixture installation and mounting with architectural details and field conditions.
F4	6	Ramp and Roof Deck	Outdoor rated recessed LED step luminaire. Stainless steel gasketed housing with frosted reflector and stainless steel cover ring. UL listed for wet locations (IP68). Dimensions: 2-1/4" Diameter x 2-13/16" Dpeth	LED, 3000K 17 Lumens	Remote Electronic Driver	1W	ERCO 33752.023	lguzzini ACDC	Architect to verify finish. Electrical Engineer to specify voltage. Contractor shall provide all mounting hardware and accessories as required for a complete and approved installation. Architect to confirm mounting height and specific locations. Contractor shall verify and coordinate fixture installation and mounting with architectural details and field conditions.
F5	TYPE NOT USED								
F5A	TYPE NOT USED								
F6	TYPE NOT USED								
F7		Façade	Outdoor rated surface mounted LED sconce. Heavy wall corrosion resistant cast aluminum housing with polyester powder coat black finish. Constant current driver. No uplight and Laser beam down. UL Listed for wet locations. Dimensions: 6.5" Height x 6" Width x 11" Depth	LED, 3000K	Integral Constant Current Driver	14W	US ARCHITECTURAL LIGHTING LASER SERIES - LED LAS5562-12LED-NB-RAL- 9005-T	BEGA Designplan	Architect to verify finish. Electrical Engineer to specify voltage. Contractor shall provide all mounting hardware and accessories as required for a complete and approved installation. Contractor to verify and coordinate fixture mounting with architectural details, housing type, and field conditions.
F8		Outdoor Temporary Bar	Outdoor rated surface mounted decorative sconce. Hammered seeded mouth blown glass with die-cast aluminum cage and base. 80,000 hours. ETL listed for wet locations. IP65. Dimensions: 9-1/2" Heigh x 8-1/4" Width x 9-3/8" Total Depth	LED, 3000K 90CRI. 365 Delivered Lumens	Integral Electronic Driver	10W	WAC LIGHTING STEAMPUNK WS-W24509-FINISH	Hudson Valley Lighting ELK Lighting	Architect to specify finish and mounting height. Electrical Engineer to specify voltage. Contractor shall provide all mounting hardware and accessories as required for a complete and approved installation. Contractor to verify and coordinate fixture mounting with architectural details, housing type, and field conditions.
F9	TYPE NOT USED								
F10		Parking Lot	LED pole mounted luminaire. Heavy cast aluminum sealed top cover with integral LED heat dissipating pad, high impact satin ice frosted UV stabilized acrylic diffuser with a set of 8 x 3/16" cast aluminum louver blades. Cast aluminum upper hinged optical chamber housing with a cast aluminum lower electrical chamber housing. Polyester powder coat finish. Type V distribution. 14' high pole. ETL listed for wet locations. Dimensions: 12.5" Diameter x 30.375" Height	LED, 3000K	Integral Electronic Driver	54W	LUMINIS W602 W602-L1W56-VOLT-FINISH- K3-EC3P	Baselite	1. Contractor shall verify and coordinate fixture location with architectural details. 2. Refer to base and anchorage detail by Architect / Civil engineer. Provide pole to meet local and AASHTO requirements for EPA of fixture configuration. Architect / Civil Engineer shall coordinate pole anchorage detail to concrete base. 3. Architect to specify finish. 4. Electrical Engineer to specify voltage. 5. Electrical Engineer shall confirm and coordinate emergency lighting as required to meet code requirements.
F11	The Part of the Pa	Stairs and Storage area		LED, 2700K 80+ CRI 200 Lumens per ft	Remote Electronic Driver	2.6 W/ft	QTRAN IQ LED Flexible Tape Light IQ67WW502.6 Aluminum Profile IQA-SQUR	Lilibend AION LED	1. Contractor shall verify and coordinate fixture installation and mounting with architectural details and field conditions. Refer to architectural drawings for length of continuous runs and details. 2. Contractor shall provide mounting clips/track if fixture is mounted to an unfinished surface 3. Architect to confirm finish. 4. Electrical Engineer to specify voltage. 5. Locate remote drivers and/or power supplies in a secure, concealed, accessible and well ventilated location in compliance with manufacturer's recommendations. 6. Manufacturer to provide dimensioned shop drawings for approval prior to fabrication. 7. Fixture shall be ordered with necessary power supplies, drivers, leader cables, jumper cables, power feeds, terminators and control interfaces for installation of a complete system. 8. Electrical Engineer shall confirm and coordinate emergency lighting as required to meet code requirements.
F12	TYPE NOT USED								
F13		Signage	Outdoor rated LED spotlight. Aluminum housing with 360 deg horizontal and 180 deg vertical rotation. 65 deg optic. Fixture to be mounted on dual head arm. Coastal finish. Dimensions: Spotlight: 4-1/2" Length x 2-1/4" Diameter Arm: 24" Length x 15" Width	LED, 3000K 80 CRI	Remote Electronic Driver	2 x 14W	TROY RLM Spotlight: 2 x 3 - LBLED - LED14 - FINISH Arm: LBD024 - FINISH	RAB We-ef	1. Contractor shall verify and coordinate fixture installation and mounting with architectural details and field conditions. 2. Fixture to be aimed on site in the presence of Architect and Lighting Designer. 3. Architect to confirm finish. 4. Electrical Engineer to specify voltage. 5. Contractor shall provide all mounting hardware and accessories as required for a complete and approved installation. 6 Light distribution to be verified during submitals review.

EXTERIOR LIGHTING SCHEDULE

Гуре	Image	Location	Description	Lamping	Electrical	Input Wattage	Catalog Number	Alternate Manufacturers	Notes
F13A		Signage	Fixture identical to F13 except to be mounted on a single head arm	LED, 3000K 80 CRI	Remote Electronic Driver		TROY RLM Spotlight: 3 - LBLED - LED14 - FINISH Arm: LC24 - FINISH	RAB We-ef	1. Contractor shall verify and coordinate fixture installation and mounting with architectural details and field conditions. 2. Fixture to be aimed on site in the presence of Architect and Lighting Designer. 3. Architect to confirm finish. 4. Electrical Engineer to specify voltage. 5. Contractor shall provide all mounting hardware and accessories as required for a complete and approved installation. 6 Light distribution to be verified during submitals review.
F14		North East Entrance	Outdoor rated Incandescent wall mounted sconce. Dimensions: 12" Height x 7" Width x 9" Extension from the wall	A21 Medium Base			ELK LIGHTING 42284/1	Hudson Valley Wac Lighting	Contractor shall verify and coordinate fixture installation and mounting with architectural details and field conditions. Architect shall verify mounting height AFF. Architect to confirm finish. Electrical Engineer to specify voltage. 120V primary voltage necessary for 100W lamp. Contractor shall provide all mounting hardware and accessories as required for a complete and approved installation. Manufacturer shall provide a pre-printed, factory installed wattage restriction label for 100W maximum lamping.
F15		Second Level Balcony	Outdoor rated linear LED handrail luminaire with matte symmetric lens. ETL listed for wet location. Dimensions: 3/4" Height x 7/8" Width x Length per arch drawings Driver: 1.1" Height x 1.76" Width x 8.34" Length	LED, 3000K	Class 2 electronic driver	2 W/ft	WAGNER LULS - 30K - 20 - 70 - MS - LENGTH Driver: LED-INTA-0024-41-F-O	I-O Lighting Prolume	1. Fixture to be integrated into handrail per architectural details. 2. Refer to architectural drawings for continuous run lengths and mounting details. 3. Manufacturer to provide coordinated and dimensioned shop drawings, labeling all equipment and dimensions for all fixtures for Architect and Lighting Consultant to review. 4. Coordinate all control requirements with Electrical Engineer 5. Wet-location remote power supplies to be located in secure and accessible location and in compliance with Manufacturer's distance requirements; coordinate locations with Architectural and Electrical drawings. 6. Contractor to provide all necessary hardware and accessories for a complete and approved installation.
F16		North Entrance		LED, 3000K 600 Lumens	Integral Electronic Driver	6W	ERCO 34705.023	lguzzini ACDC	Architect to verify finish. Electrical Engineer to specify voltage. Contractor shall provide all mounting hardware and accessories as required for a complete and approved installation. Fixture to be installed minimum 1'-6" AFF. Architect to confirm mounting height and specific locations. Contractor shall verify and coordinate fixture installation and mounting with architectural details and field conditions.
F17	TYPE NOT USED								
-18	TYPE NOT USED								
F19	TYPE NOT USED								

- * Electrical Engineer to specify and coordinate EM requirements.
- * If integral to luminaire, emergency ballast shall be factory-installed by luminaire manufacturer and not violate warranty or UL rating.
- * Contractor shall verify all voltages with EE before placing any orders or proceeding with any work.
- * All linear fluorescent lamps to be of the high-performance, extended life type, that is, 4' super T8, 3100 lumen output, 0.95 LLD, 85+ CRI, low mercury, 40,000 hour life at 12 hr start.

 * All linear fluorescent ballasts shall be high efficiency NEMA Premium electronic programmed start. Any other ballast type shall be NEMA Premium where such designation exists.
- * All fluorescent and compact fluorescent lamps shall have a CRI of 85 or greater at the correlated color temperature specified unless otherwise noted.
- * All ballasts and transformers shall have a power factor of at least 0.90 unless otherwise noted.
- * All CFL lamps shall be of the "non-amalgam" type, to ensure fastest start and highest output at start-up.
- * Beamspreads are for the beam to 10% of CBCP, given in vertical degrees by horizontal degrees. * All luminaires and luminaire components shall be UL listed for appropriate location.
- * Contractor shall verify all voltages with EE before placing any orders or proceeding with any work. Contractor to verify and coordinate fixture installation and mounting with architectural details, housing type, field conditions, and ceiling system details including ceiling type and flange requirements.
- * Contractor shall provide all mounting components necessary for installation of fixture at no additional cost, even if such components are not specifically called for in the contract documents.
- * All visible conduit, junction boxes, canopy plates, hardware, ballast containers, etc. to be painted to match adjacent surfaces. Verify all colors with Architect.
- * When requested, Contractor shall provide coordinated shop drawings showing integrated work of all trades. * Adjustable luminaires shall be aiming by the Contractor after dark in presence of Lighting Consultant and Architect.
- * LED luminaires shall be ordered with necessary power supplies, drivers and power feeds for installation of a complete system.
- * Locate remote transformer, drivers, and/or power supplies in a secure, concealed, accessible and well ventilated location in compliance with manufacturer's recommendations. * Contractor to provide all necessary lengths, feeds, connectors, supports, and other components for complete and code compliant installation. * For continuous linear luminaires, manufacturer to submit a layout drawing for run lengths specified on architectural drawings with shop drawings for review prior to fabrication.
- * Architect to verify all vertical mounting height AFF of suspended or wall-mounted luminaires
- * Contractor to field verify run lengths prior to ordering fixtures.
- * Architect to verify luminaire finishes. * In circulation paths, luminaire shall be ADA compliant, ie not to exceed 4" from wall.

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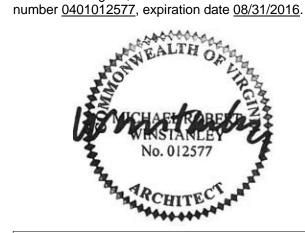
0 PRINCE STREET, ALEXANDRIA, VA 22314

OLD DOMINION BOAT CLUB

The City of Alexandria, Virgina

MICHAEL WINSTANLE ARCHITECTS & PLANNERS MICHAELWINSTANLEY.COM 107 N. WEST STREET ALEXANDRIA, VA 22314 (703) 519 - 8081

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	08/03/2015	SITE PLAN SUBMISSION II
	08/03/2015	BAR SUBMISSION

A/E PROJECT NO: DRAWN BY: CHECKED BY:

KEY PLAN

SHEET TITLE:

SCHEDULES -EXTERIOR LIGHTING

SHEET NUMBER:

Original drawing is 24" x 36". Scale entities accordingly if reduced.

A-610

PHOTOMETRIC STUDIES

CALCULATION RESULTS

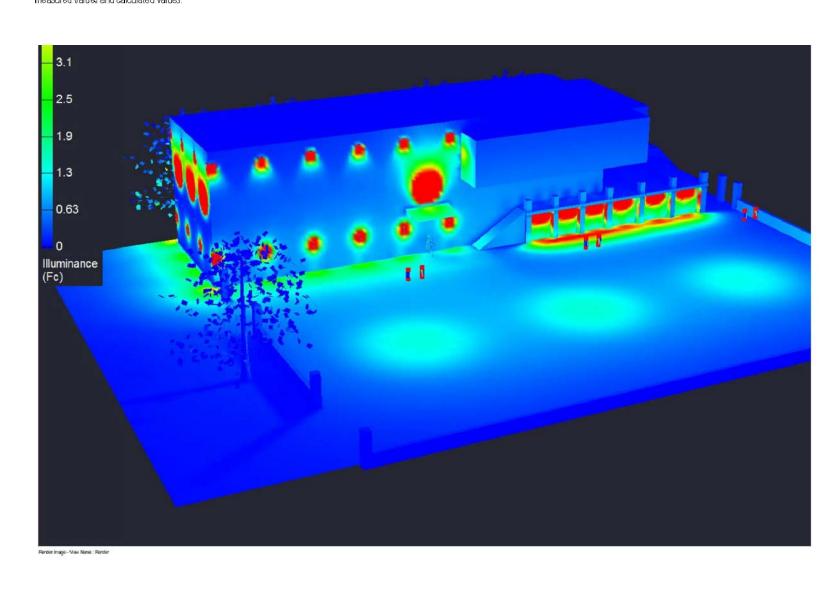
Luminaire							
Scene: 3	Poles		<i>p</i>	23 2	4		
Symbol	Qty	Label	Description	LLD	Total Watts	Lum. Watt	s Luni. Lumens
0	6	F10	W602-£1W56	0.800	322.68	53.78	2975
•	15	F2	LED Wall Sconce	0.800	1200	80	717
•	5	F4	LED Recessed Step Light	0.800	5	1	7
0	8	F13	LBLED	0.800	112	14	812
	15	F7	LED Sconce	0.800	135	9	384
H	54	F11	1Q67-28-50-80-2_6	0.800	69,66	1.29	98
T I	2	F16	34705023 V01	0.800	16	8	335

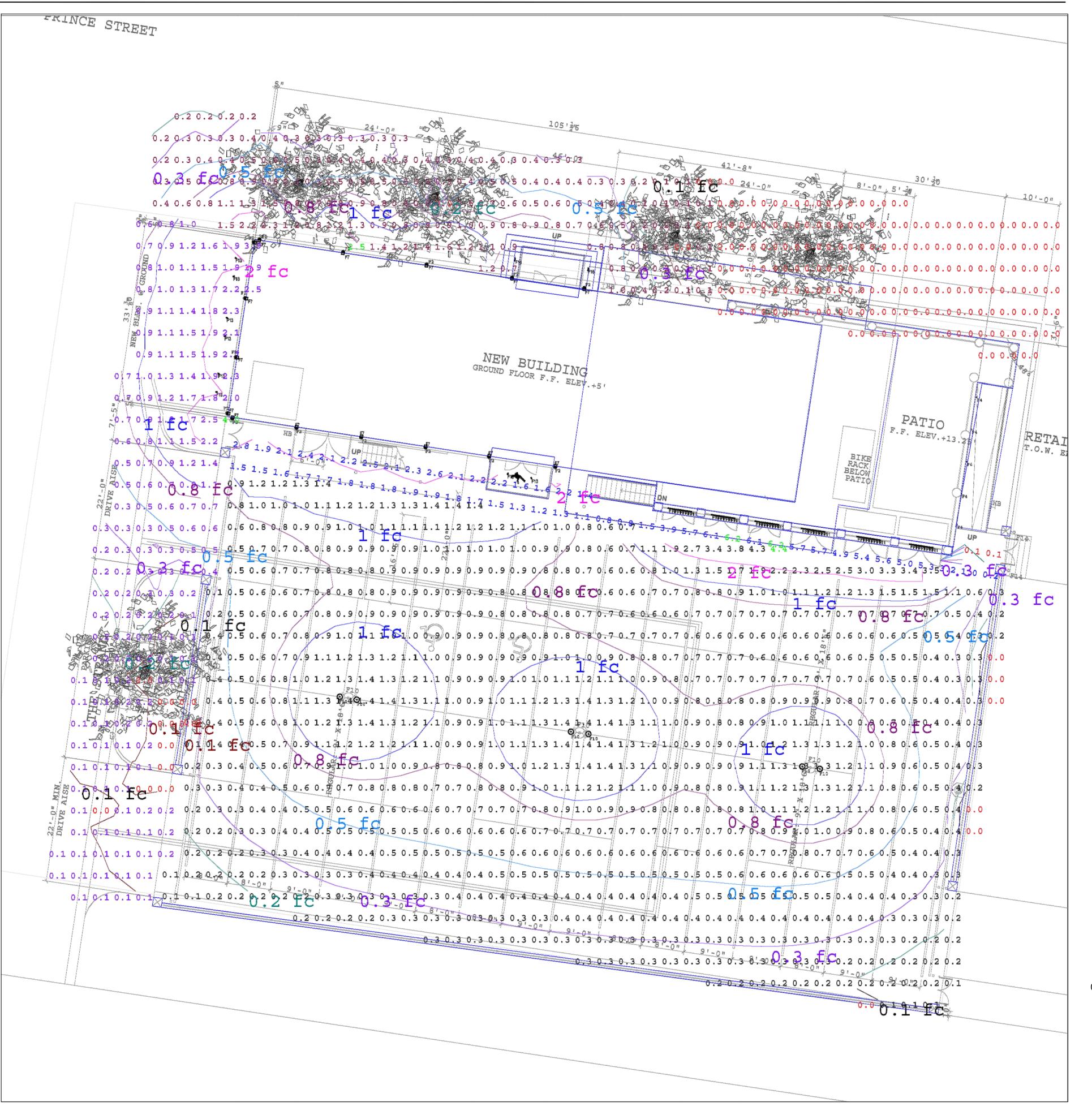
Scene: 3 Poles						
Label	CalcType	Units	Avg	iVlax	Min	Avg/Mir
Internal Sidewalk	Illuminance	Fc	2.60	6.2	0.1	26.00
North Entrance - Step	Illuminance	Fc	1.10	1.2	1.0	1.10
North Entrance - Step_1	Illuminance	Fc	1.61	1.8	1.4	1.15
North Entrance - Step_2	Illuminance	Fc	2.47	2.8	2.2	1.12
North Entrance - Step_3	Illuminance	Fc	4.70	11.8	1.9	2.47
Parking Lot_Floor	Illuminance	Fc	0.74	4.4	0.0	N.A.
Prince	Illuminance	Fc	0.33	2.5	0.0	N.A.
Strand	Illuminance	Fc	0.67	4.0	0.0	N.A.

Special Notes

Job Number: Cld Dominion	Tabai Gilb 14208.00
Calculation grid at parking	efined with a LLD of 0.80. All levels are measured at "end of life". Iot and internal sidewalk is located @ floor level and vertical calculation grid is located @ 4' AFF ne concerns expressed by the City of Alexandria by providing lower light levels in the parking lot but still complying with IESNA recommended levels
Standard Reflectances As	sumed
Building Walls:50% Parking Lot Floor: 20% Internal Sidewalk Floor:	20%

Illuminance or luminance calculations are for lighting design aid purposes only. All calculations performed by Horton Lees Brogden Lighting Design have been based on IESNA standards, lighting manufacturers' data and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between







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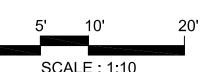


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	08/03/2015	BAR SUBMISSION

A/E PROJECT NO: DRAWN BY: CHECKED BY:

APPROV			
SPECIAL USE F			014-0026
DEL ARTHUEITT OF TEAT	William & Z	3141140	
DIRECTOR		DATE	
DEPARTMENT OF TRANS	PORTATION	& FNVIRO	NMENTAL SERVICE
SITE PLAN NO.			
		DATE	
SITE PLAN NO			
SITE PLAN NO			
SITE PLAN NO			DATE
SITE PLAN NO DIRECTOR CHAIRMAN, PLANNING COMM	IISSION		
SITE PLAN NO	IISSION		



SHEET TITLE:

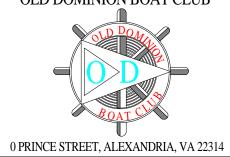
PHOTOMETRIC STUDIES

SHEET NUMBER:

EXTERIOR	FINISH SCHEDULE						
ESIGNATION	DESCRIPTION	MANUFACTURER	FINISH/ STYLE	COLOR	SIZE	CONTACT	NOTES
SRK-1			EXISTING SIDEWALK BRICK PAVING			-	
BRK-2	4"X8" SIDEWALK BRICK PAVING	REDLAND	PER WATERFRONT PHASE I STANDARD	KING WILLIAM	4"X8"	-	
F-1	CEMENTITIOUS COATING	TBD	EVEN COARSE TEXTURED, PIGMENTED	PT-2	N/A	-	
iL-1	1" CLEAR TEMPERED INSULATED LOW-E GLASS	-	SEE SPECS	SEE SPECS	SEE ELEVATIONS & DETAILS	-	
ITL-1	ALUM. WINDOW FRAMES	EFCO	433 SERIES	BLACK	2"X4-1/2"	RICK FIORE, RICK.FIORE@THESNEADCO.COM	
1TL-2	EXTERIOR MTL. RAILING	TBD	STEEL, PTD.	PT-1	SEE ELEVATIONS & DETAILS	NICK FRAMEL, NFRAMEL@AMERISTARFENCE.COM	
/ITL-3	ALUM. EXTERIOR FENCING	AMERISTAR	ECHELCON CLASSIC	BLACK	SEE ELEVATIONS & DETAILS	NICK FRAMEL, NFRAMEL@AMERISTARFENCE.COM	
1TL-4	ALUM. EXTERIOR GATES	AMERISTAR	ECHELCON CLASSIC	BLACK	SEE ELEVATIONS & DETAILS	NICK FRAMEL, NFRAMEL@AMERISTARFENCE.COM	
ITL-5	ALUM. EXTERIOR VEHICULAR GATES	AMERISTAR	TRANSPORT II CANTILEVER GATE	BLACK	SEE ELEVATIONS & DETAILS	NICK FRAMEL, NFRAMEL@AMERISTARFENCE.COM	
1TL-6	STANDING SEAM ROOF	TBD	DOUBLE LOCKED SEAM	PATINA GREEN	12" WIDE PANEL, 2" HIGH SEAM		
MTL-7	MTL CAP AT PIERS	TBD	STEEL, PTD.	PT-4	SEE ELEVATIONS AND DETAIL	-	
C-1	PRE-CAST STONE CAP AT PIERS & LOW WALL	-	-	BUFF	VARIES	-	
F-1	SHADE FABRIC	TBD	AWNING	BLACK	N/A	-	
T-1	2" STONE VENEER AT GROUND LEVEL EXTERIOR WALLS, PIERS & LOW WALL	CARDERROCK	CARDEROCK THIN OR THIN VENEER	-	VARIES (RANDOM SIZES)	BRIAN PORTO, BRIANPORTO@MSN.COM	
T-1	EXTERIOR PAINT	BENJAMIN MOORE	SEE SPECS FOR FINISHES	BLACK 2132-10	N/A	-	
T-2	EXTERIOR PAINT	SHERWIN-WILLIAMS	SEE SPECS FOR FINISHES	IRON ORE	N/A	-	
Г-3	EXTERIOR PAINT	SHERWIN-WILLIAMS	SEE SPECS FOR FINISHES	TO MATCH WD-1 COLOR	N/A	-	
T-4	EXTERIOR PAINT	SHERWIN-WILLIAMS	SEE SPECS FOR FINISHES	TBD	N/A	-	
/D 1	CED AD DI ANIX TONICHE & CDOOME	DUESALO LUNADED	TWD 1500	1520 NATURAL	CEE ELEVATIONS & DETAILS	CURIC RUSEALO, CURICORUSEALOU MARER COM	
VD-1	CEDAR PLANK TONGUE & GROOVE	BUFFALO LUMBER	TWP 1500	1530 NATURAL	SEE ELEVATIONS & DETAILS	CHRIS BUFFALO, CHRIS@BUFFALOLUMBER.COM	
/D-2	CEDAR BATTENS	BUFFALO LUMBER	TWP 1500	1530 NATURAL	SEE ELEVATIONS & DETAILS	CHRIS BUFFALO, CHRIS@BUFFALOLUMBER.COM	
VD-3	CEDAR FASCIA	BUFFALO LUMBER	TWP 1500	11504 BLACK WALNUT	SEE ELEVATIONS & DETAILS	CHRIS BUFFALO, CHRIS@BUFFALOLUMBER.COM	
VD-4	DOUGLAS FIR COLUMNS	IRD	IRD	TO MATCH WD-3 COLOR	18" DIAM.	<u> </u>	
WD-5	PRESSURE TREATED WOOD BATTENS	IBD	TBD TRANSCEND	TO MATCH WD-3 COLOR	SEE ELEVATIONS & DETAILS	<u> </u>	
WD-6	WOOD DECKING	TREX	TREK TRANSCEND	TREE HOUSE	1"X5-1/2"X 16' PLANK	<u> </u>	
	1	1	I .	1	I I	1	

1. EXTERIOR FINISH SCHEDULE IS BASED ON 'BASIS-OF-DESIGN' PRODUCTS, AND IS SUBJECT TO SUSTITUTIONS AS LISTED IN COMPARABLE MANUFACTUER/PRODUCT PER ARCHITECTURAL SPECIFICATIONS.

OLD DOMINION BOAT CLUB



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	08/03/2015	BAR SUBMISSION
	•	•

A/E PROJECT NO: DRAWN BY: CHECKED BY:

KEY PLAN

SHEET TITLE:

SCHEDULE -FINISHES

SHEET NUMBER:

A-612



The City of Alexandria, Virgina

MICHAEL WINSTANLEY

ARCHITECTS & PLANNERS MICHAELWINSTANLEY.COM 107 N. WEST STREET ALEXANDRIA, VA 22314 (703) 519 - 8081

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A/E PROJECT NO: DRAWN BY: CHECKED BY:



INSTRUMENT NO. DEED BOOK NO. PAGE NO.

SHEET TITLE:

BUILDING MASSING STUDY

SHEET NUMBER:

Original drawing is 24" x 36". Scale entities accordingly if reduced.





C5 A-801

VIEW FROM SOUTH-WEST





NORTH ELEVATION N.T.S.

SOUTH ELEVATION N.T.S.

C1 A-801

VIEW FROM NORTH-EAST N.T.S.



The City of Alexandria, Virgina

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MICHAELWINSTANLEY.DOM
107 N. WEST STREET
ALEXANDRIA, VA 22314
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APPRO	VED		
SPECIAL USE DEPARTMENT OF P			014-0026
DIRECTOR		DATE	
DEPARTMENT OF TRA		& ENVIRO	DNMENTAL SERVICES
DIRECTOR		DATE	
CHAIRMAN, PLANNING C	OMMISSION		DATE
DATE RECORDED			

SHEET TITLE:

RENDERING

SHEET NUMBER:

A-802



A-801

FROM NORTH-WEST CORNER
N.T.S.



The City of Alexandria, Virgina

MICHAEL WINSTANLEY

ARCHITECTS & PLANNERS

MIGHAELWINSTANLEY.COM
107 N. WEST STREET
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SPECIAL DEPARTMENT				014-0026
DIRE	CTOR		DATE	
DEPARTMENT C SITE PLAN N		ATION &	ENVIRO	NMENTAL SERVICE —
DIRE	CTOR		DATE	
DIRE			DATE	DATE

SHEET TITLE:

RENDERING

SHEET NUMBER:

A-803





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DIRECTOR		DATE		
CHAIRMAN, PLANNING COM	MNISSION		DATE	
DATE RECORDED			52	1
INSTRUMENT NO.	DEED BOO	K NO.	PAGE NO.	

SHEET TITLE:

RENDERING

SHEET NUMBER:



FROM SOUTH-EAST CORNER N.T.S.