

ADDRESS OF PROJECT: 119 Queen St Alexandria, Va 22314

TAX MAP AND PARCEL: 065.03-05-50 ZONING: RM

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☒ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: Deborah & Kenneth Cureton

Address: 119 Queen St

City: Alexandria State: Va Zip: 22314

Phone: 703-575-7810 E-mail: debcurceton@earthlink.net

Authorized Agent *(if applicable):* ☐ Attorney ☐ Architect ☒ Contractor-DESIGNER

Name: MICHAEL DIGGS

Phone: 571-330-3257

E-mail: MICHAELDIGGS52@GMAIL.COM

Legal Property Owner:

Name: Deborah & Kenneth Cureton

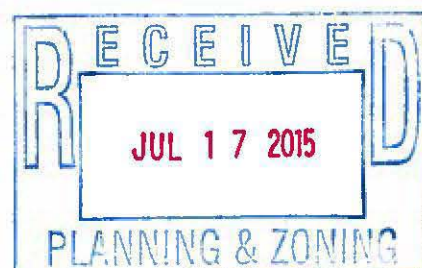
Address: 119 Queen St

City: Alexandria State: Va Zip: 22314

Phone: 703-575-7810 E-mail: debcurceton@earthlink.net

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☒ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.



NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☒ EXTERIOR ALTERATION: *Please check all that apply.*
 ☐ awning ☐ fence, gate or garden wall ☐ HVAC equipment ☐ shutters
 ☐ doors ☐ windows ☐ siding ☐ shed
 ☐ lighting ☐ pergola/trellis ☐ painting unpainted masonry
 ☒ other FRONT & REAR DORMERS
☐ ADDITION
☐ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

REMOVE A 12' x 7' SECTION OF EXISTING MANSARD METAL
 ROOF FOR THE FRONT AND REAR OF TOWNHOUSE.
 INSTALL A 12' x 7' (3 WINDOW) DORMER AS SHOWN ON
 ATTACHED DWG A-10

SUBMITTAL REQUIREMENTS:

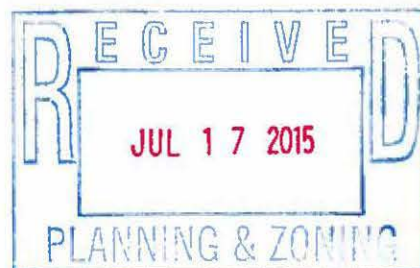
Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- ☒ ^{N/A} ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☒ ☐ Description of the reason for demolition/encapsulation.
☒ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.



Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A
- ☒ ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A
- ☐ ☒ Linear feet of building: Front: _____ Secondary front (if corner lot): _____
- ☐ ☒ Square feet of existing signs to remain: _____
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A
- ☒ ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☒ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

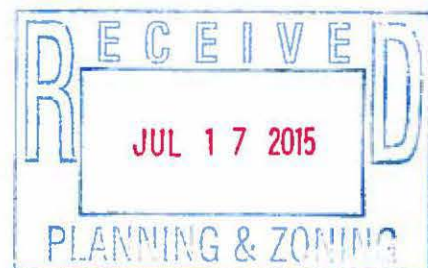
The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: _____

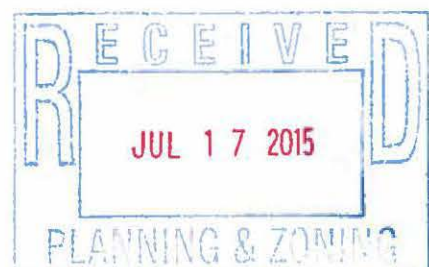
Date: _____



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APPLICANT OR AUTHORIZED AGENT:Signature: Michael DugasPrinted Name: Michael DugasDate: 7-17-2015

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. KENNETH CURETON	119 QUEEN ST	50%
2. DEBORAH CURETON	119 QUEEN ST	50%
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. KENNETH CURETON	119 QUEEN ST	50%
2. DEBORAH CURETON	119 QUEEN ST	50%
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

7-17-2015 Michael D. GGG 
Date Printed Name Signature



DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property Information

A1. Street Address 119 QUEEN ST Zone RM

A2. 1319 x 1.5 = 1979
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement		Basement** <u>1st</u>	<u>313</u>
First Floor	<u>626</u>	Stairways**	<u>112</u>
Second Floor	<u>626</u>	Mechanical**	<u>16</u>
Third Floor	<u>626</u>	Other**	<u>144</u>
Porches/ Other <u>Attic</u>	<u>626</u>	Total Exclusions	<u>585</u>
Total Gross *	<u>2504</u>		

B1. Existing Gross Floor Area *
2504 Sq. Ft.

B2. Allowable Floor Exclusions**
585 Sq. Ft.

B3. Existing Floor Area minus Exclusions
1919 Sq. Ft.
(subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement		Basement** <u>1st</u>	<u>313</u>
First Floor	<u>626</u>	Stairways**	<u>146</u>
Second Floor	<u>626</u>	Mechanical**	<u>16</u>
Third Floor	<u>626</u>	Other**	<u>60</u>
Porches/ Other <u>Attic</u>	<u>626</u>	Total Exclusions	<u>535</u>
Total Gross *	<u>2504</u>		

C1. Proposed Gross Floor Area *
2504 Sq. Ft.

C2. Allowable Floor Exclusions**
535 Sq. Ft.

C3. Proposed Floor Area minus Exclusions
1969 Sq. Ft.
(subtract C2 from C1)

D. Existing + Proposed Floor Area

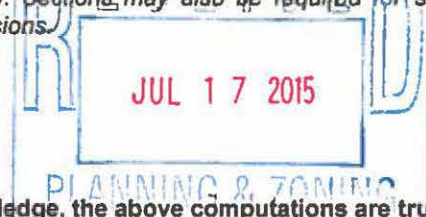
D1. Total Floor Area (add B3 and C3) _____ Sq. Ft.

D2. Total Floor Area Allowed by Zone (A2) _____ Sq. Ft.

*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.



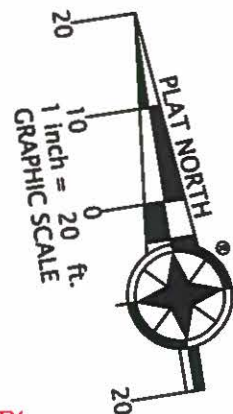
F. Open Space Calculations

Existing Open Space	<u>693</u>
Required Open Space	
Proposed Open Space	<u>693</u>

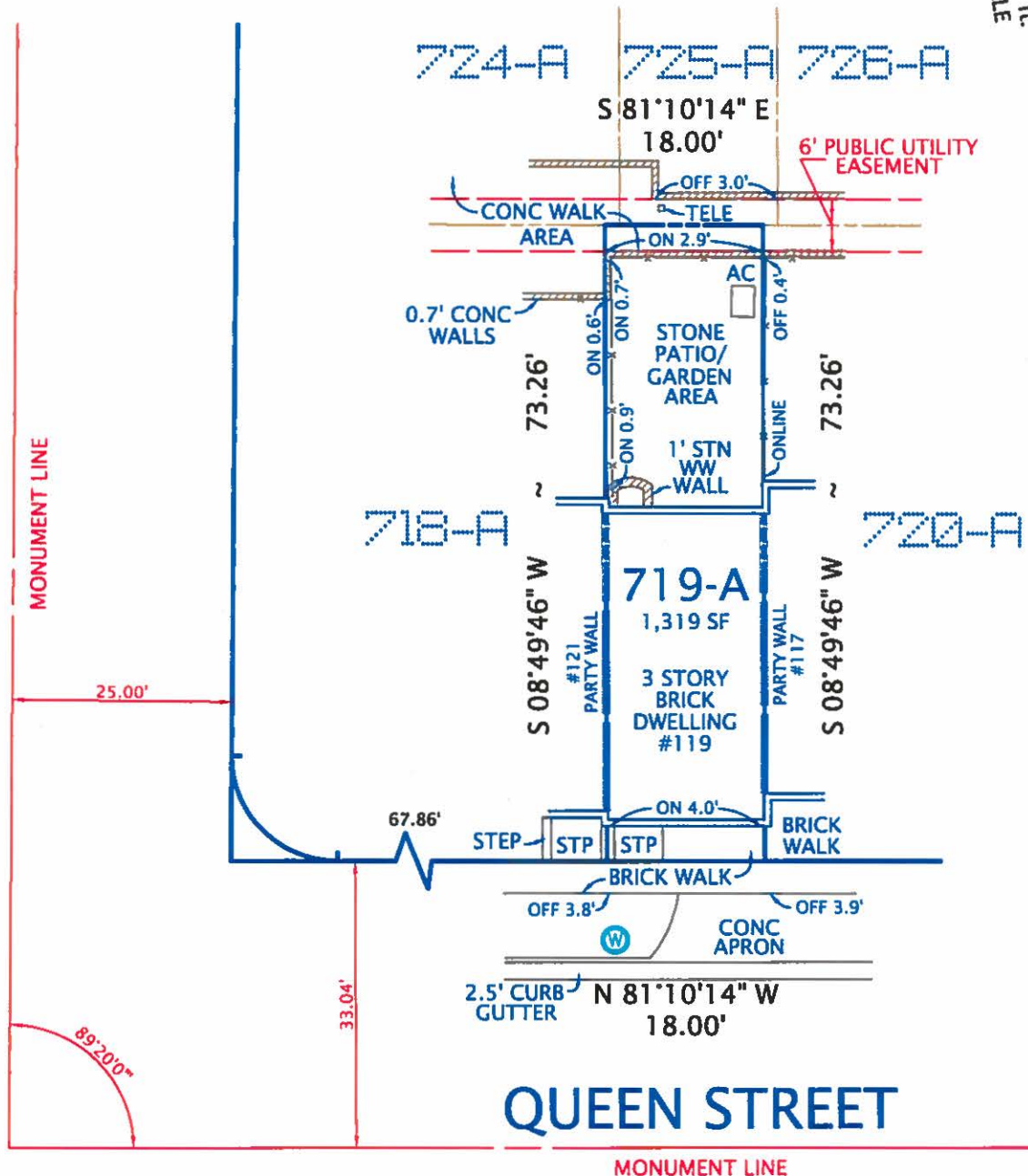
The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: [Signature] Date: 7-17-2015

- NOTES: 1. FENCES ARE FRAME.
2. UTILITIES ARE UNDERGROUND.



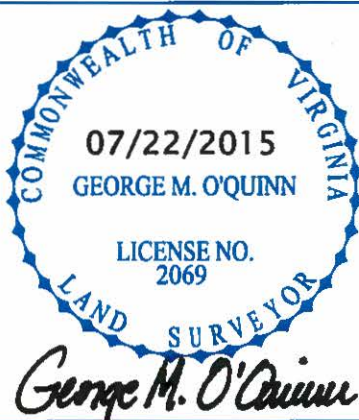
NORTH LEE STREET



PLAT
SHOWING HOUSE LOCATION ON
LOT 719-A, SECTION THREE
OF A RESUBDIVISION OF
LOTS 615 THRU 620, 624
THRU 626 & LOT 688-A &
RELOCATION OF 10' PUBLIC UTILITY ESMT
OLD TOWNE
(DEED BOOK 719, PAGE 315)
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 20' JULY 22, 2015

I HEREBY CERTIFY THAT THE POSITIONS OF
ALL THE EXISTING IMPROVEMENTS HAVE BEEN
CAREFULLY ESTABLISHED BY A CURRENT FIELD
SURVEY AND UNLESS SHOWN THERE ARE NO
VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO
RESTRICTIONS OF RECORD.
A TITLE REPORT WAS NOT FURNISHED.
NO CORNER MARKERS SET.



ORDRED BY:

CURETON
ACE DESIGNS

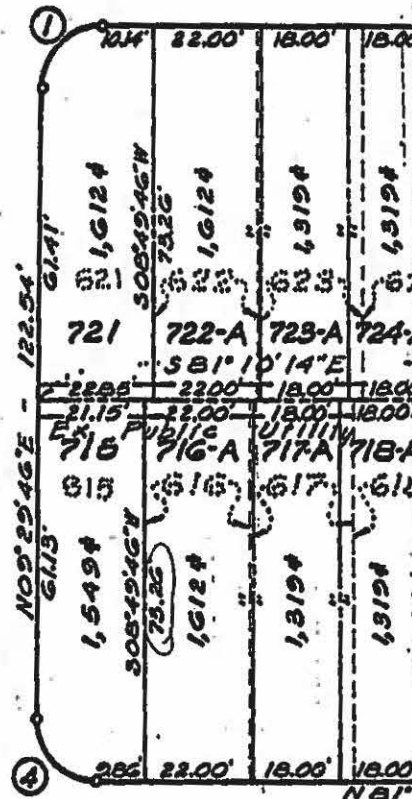
DOMINION Surveyors Inc.®
8808-H PEAR TREE VILLAGE COURT
ALEXANDRIA, VIRGINIA 22309
703-619-6555
FAX: 703-799-6412

Curve Table

NA	Radius	Delta	Arc	Tan.	Chord	Ch. Bearing
1.	12.00'	89°20'00"	18.71'	11.86'	16.87'	N54°09'46"E
2.	12.00'	90°40'00"	18.99'	12.14'	17.07'	S35°50'14"E
3.	12.00'	89°20'00"	18.71'	11.86'	16.87'	S54°09'46"W
4.	12.00'	90°40'00"	18.99'	12.14'	17.07'	N35°50'14"W

QU

Lee Street
50' R/W



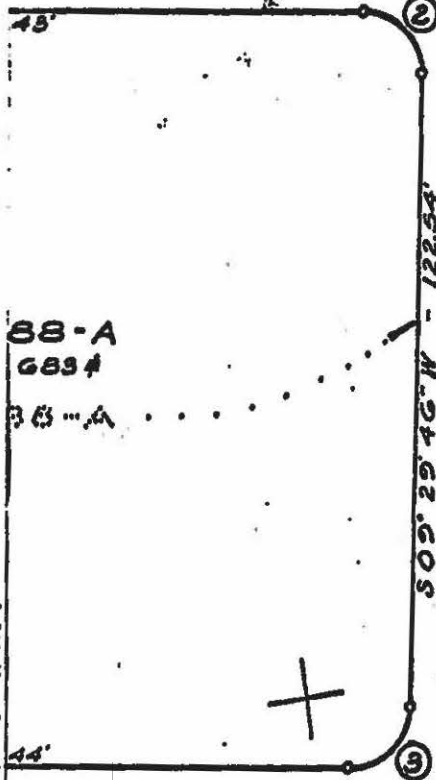
Owner & Developer

Lawrence N. Brandt et ux
4201 Conn. Ave. N.W.
Washington, D.C. 20008
D.B. 686 Pg. 441

QU

Notes:

1. The property delineated on this plat is located on Assessment Map NR150 and is zoned RM.
2. This property is subject to River Flooding up to 15.0' low water datum.



Alexandria City Code, 1963 as amended, Sec. 34-14(5)
 "Approval of a final plat shall be null and void if the plat is not recorded within ninety (90) days after date of approval..."
 Approval of this plat shall be null and void after April 27, 1974

APPROVED	
CITY PLANNING COMMISSION	
ALEXANDRIA, VA.	
1-21-71	<i>Richard E. Sumrell</i>
DATE	DIRECTOR OF PLANNING

Plat Showing
 A Resubdivision of
 Lots G15 thru G20,
 G21 thru G26 & Lot 688-A
 & Relocation of 10' Public
 Utility Easement
 Section Three
 Old Towne

City of Alexandria, Virginia
 Scale: 1" = 30' Dec. 1970
 Dewberry, Nealon & Davis
 Engineers - Planners - Surveyors
 8411 Arlington Blvd., Fairfax, Va.

Correct

P. Nealon
 and Surveyor

R.P.B.

Presenting Lincoln's New Quantum Series Double Hung!

Designed for your commercial or historical project, the Quantum Series double hung window is based on a very substantial 5 1/2" jamb. The heavy frame creates a platform perfect for the very large sizes demanded by today's commercial architecture.

Distinction Quantum Series double hungs feature a .050 extruded aluminum frame and sash available in a broad spectrum of classic and contemporary colors. For a more time-honored approach, choose the paintable Traditions Collection or Lincoln's Luxury Collection natural exterior wood product.

Unique Quantum Series features and benefits:

Feature	Benefit
Heavy 5 1/2" frame depth	Provides strong support for very large window sizes
Maximum size of 60" X 120"	Massive 5' X 10' size will accommodate nearly any opening
Tested size 54" X 96"	Light Commercial Performance Grade 25 (LC-PG25)
Surface mounted hardware	Four durable colors: Coppertone, White, Bronze or Brite Brass
Thick 1 3/4" sash dimension	Wide checkrail will accept alternate hardware
7/8" Glass thickness	Available with all Lincoln high performance glazing options
Double block & Tackle balance	Balance system engineered for heavy oversized sash
Historical 3 1/4" bottom rail	Architecturally accepted rail preserves traditional style
Matching studio picture unit	Complementing sill and sash details with matching site lines
Revitalize replacement sash kit	Alternative 4 3/4" sash pocket option used when existing frame is sound
High 14 Degree sill angle	Water is directed away from window interior, important for sizable openings
Compression style jamb liner	Weather resistant jamb liner offer tilt-in sash for cleaning by firmly depressing each side while gently pulling sash inward
Mortise and Tenon sash	Strong sash joinery with pleasing exterior cosmetics

The Quantum Series differentiates itself by being the largest operating window in the Lincoln product lineup and is completely incorporated in our 'continuity of design' thought process. Designers will enjoy matching specific options (grilles, glass, hardware and trim) through the entire project scope of products.

What does that mean?

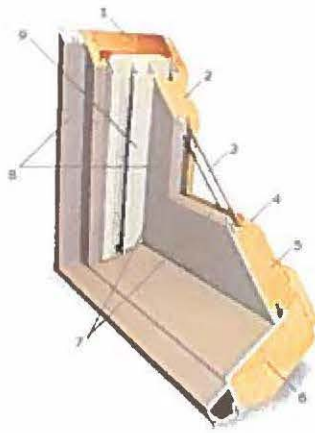
Doors, special shapes and other window choices will all compliment each other.

APPLICATION MATERIALS
BAR2015-00224/00225
119 Queen St
7/17/2015

Common Lincoln product attributes:

Feature	Benefit
6 interior wood species	Standard Pine or optional Oak, Fir, Cherry, Alder, Mahogany
Primed and First Finish interior	One or two coats of primer prep the product for paint
Updated Litebuilder software	Fast, accurate and descriptive customer pricing
Extruded .050 frame/sash cladding	Distinction collection aluminum clad in 8 Standard colors, 38 feature colors, 7 spray-on anodized or custom color match option
Optional AAMA 2605 paint	Higher performance paint option for harsh environments
Popular Simulated Divided Lite, GBG internal grills and wood removable grilles	Three popular sizes SDL sizes (mill or bronze shadow bar) measuring 7/8", 1 1/8" and 2". GBG grilles (11/16") are profiled for aesthetics and strength. Wood interior grilles are 5/8", 7/8", 1", 1 1/8" and 1 1/2".
BetterVue/UltraVue Screens	Finer fiberglass mesh for clearer view and improved air flow.
3MM double-strength glass	Energy efficient LowE 366/Neat, Low E2 and Dual LowE options
Low Maintenance and Specialty glass	Neat & Preserve, Tinted, Patterned, Laminated and Tempered glazing
Extruded Aluminum Exterior Trim	2" Brickmold, 4" Brickmold and 4" Flat casing
cPCV Exterior casing options	Trim options include standard brickmold, 3" flat casing, Williamsburg, 4 1/2" backband and custom flat casing.
Primed Frame w/clad sash	Create an Innovations Collection unit.
Interior glazing bead	Profiled interior bead design with exterior sash-to-glass sealant
Wood head parting stop	Clean looking wood ready to take stain or paint

Add the tough Quantum Series double hung to your next blueprint and enjoy a window supported by a Lincoln warranty that is as strong as our products!



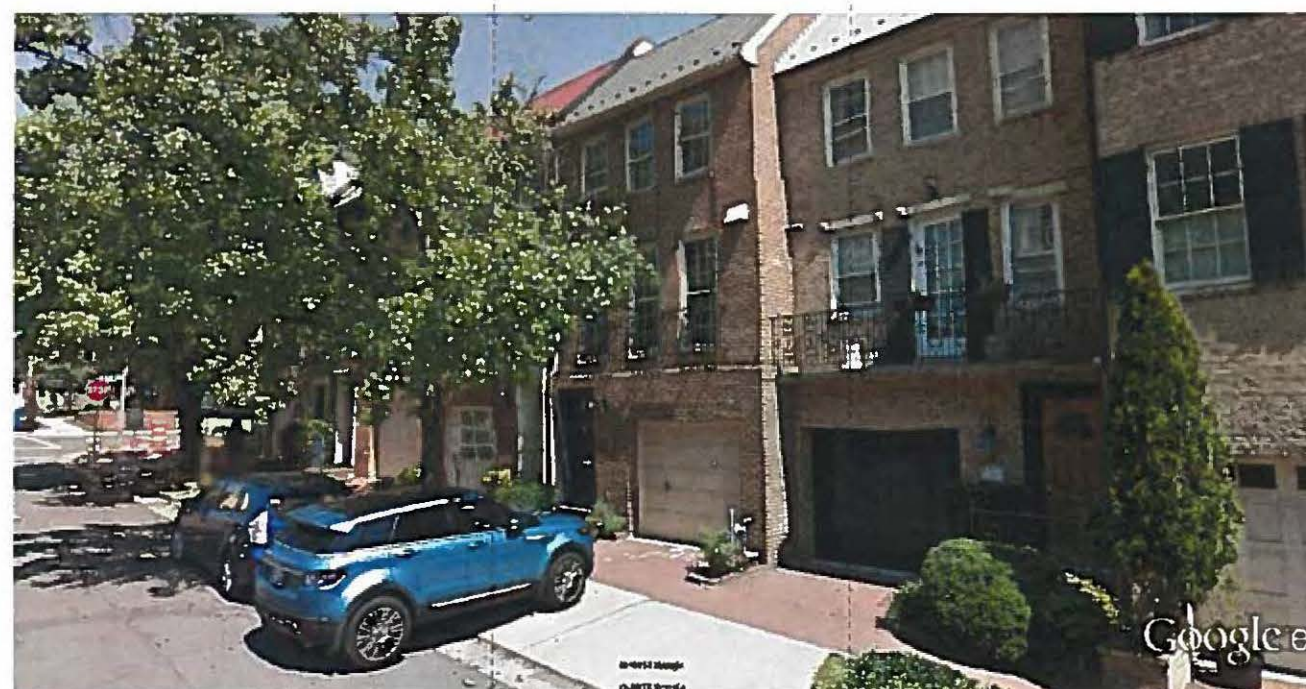
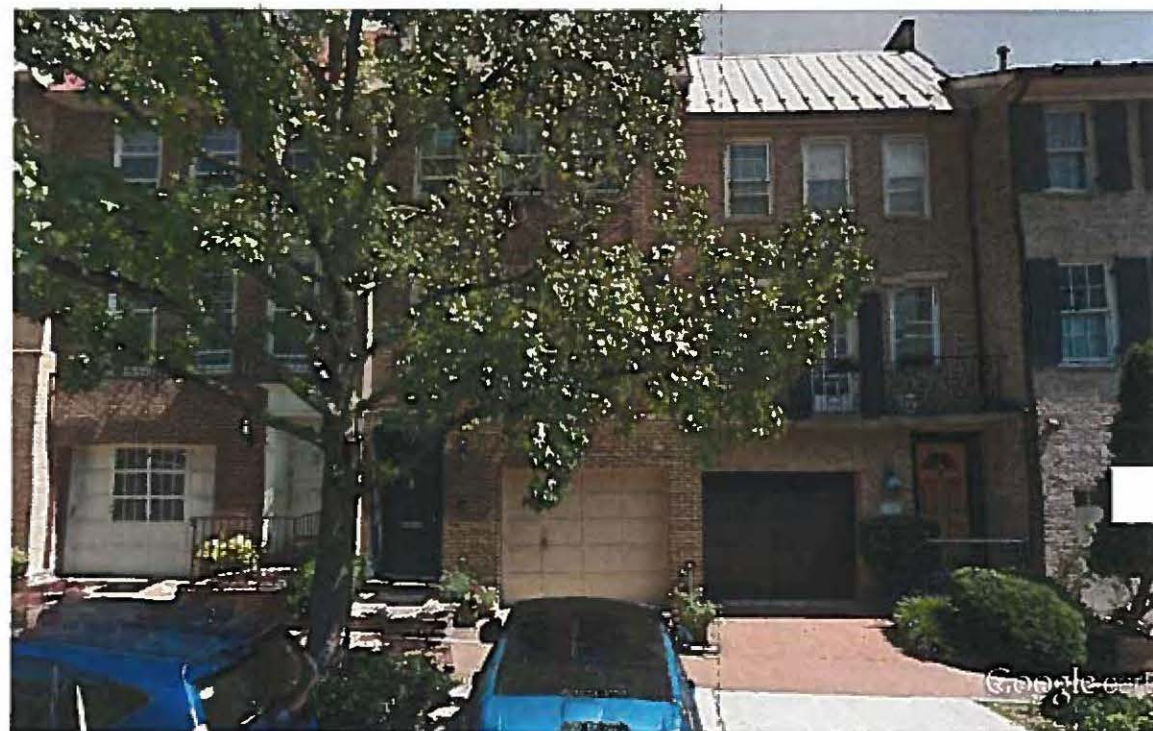
1. 5-1/2" jamb.
2. 1-3/4" thick sash
3. 7/8" warm edge insulating glass.
4. Interior glazing bead.
5. Historical 3-1/4" bottom rail.
6. 1-7/32" thick sill with 14° sill angle.
7. Mortise and tenon sash with putty-glazed style.
8. .050 extruded aluminum on sash and frame. Wood units have primed sash on the exterior with wood sill nosing and cPVC sill, blindstops and brickmould.
9. Heavy foam-backed PVC jamb liners with four block and tackle balances per sash.

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APPLICATION MATERIALS
 BAR2015-00224/00225
 119 Queen St
 7/17/2015



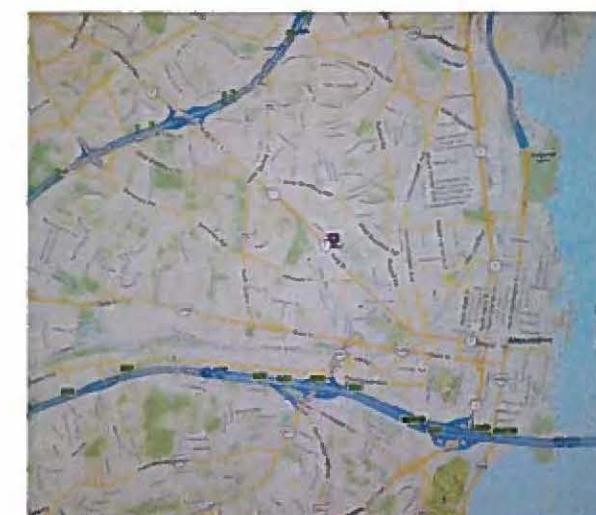
Interior Renovations and Upgrades For The Residence of **Ken and Debbie Cureton** 119 Queen Street Alexandria, Virginia 22314

GENERAL NOTES

1. EMERGENCY EGRESS WINDOWS SHALL BE IN ACCORDANCE WITH SECTION 903.1 OF THE 2004 IRC.
2. MAXIMUM HEIGHT OF EMERGENCY EGRESS WINDOWS TO BE 44" IN CONFORMANCE WITH 2004 INTERNATIONAL RESIDENTIAL CODE (IRC).
3. MAXIMUM RISER HEIGHT SHALL BE 7 3/4" AND MAXIMUM TREAD 10" FOR ALL STAIRWAYS HANDRAIL PROTECTION SHALL BE PROVIDED PER 2004 IRC.
4. ROOF SHINGLES SHALL BE INSTALLED PER 2004 IRC.
5. ROOF VENTING SHALL BE PROVIDED PER 2004 IRC.
6. GUARDRAIL HEIGHTS TO BE 36" MIN. ACCORDING WITH 2004 IRC.
7. PROVIDE GALVANIZED NAIL TIES IN ACCORDANCE WITH 2004 IRC.
8. ALL GLAZED AREAS SUBJECT TO HUMAN IMPACT SHALL BE SAFETY GLASS IN CONFORMANCE WITH SECTION 905 OF THE 2004 IRC.
9. ALL PRELAP JOINTS TO BE UL RATED AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND 2004 IRC.
10. ALL FOOTINGS TO BE EXTENDED AT LEAST 30 INCHES BELOW FINISH GRADE PER 2004 IRC.
11. ALL FRAME BEARING WALLS TO CONFORM WITH 2004 IRC.
12. PROVIDE WALL BRACING IN ACCORDANCE WITH 2004 IRC USING EITHER CONTINUOUS DIAGONAL BRACING OR APPROVED 4x8 SHEATHING PANELS APPLIED VERTICALLY.
13. PROVIDE FOUNDATION ANCHORAGE IN ACCORDANCE WITH 2004 IRC.
14. ALL TRUSSES, BRIMS, AND MICRO-LAM BEAMS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS AND 2004 IRC.
15. PLYWOOD USED FOR FLOOR AND ROOF SHEATHING SHALL CONFORM TO 2004 IRC.
16. PROVIDE FLASHING AS REQUIRED PER 2004 IRC.
17. PROVIDE SMOKE DETECTORS ON EVERY STORY INCLUDING THE BASEMENT OF EACH DWELLING UNIT AND IN ALL BEDROOMS. THE DETECTORS SHALL BE FIRED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNITS PER 2004 IRC.
18. SKYLIGHTS: SKYLIGHTS MAY BE GLAZED WITH ANY OF THE FOLLOWING MATERIALS SUBJECT TO THE NOTED LIMITATIONS AS SPECIFIED IN 2004 IRC: LAMINATED GLASS, FUSED GLASS, ANNEALED GLASS, HEAT STRENGTHENED GLASS, TEMPERED GLASS, GLASS BLOCK AND LIGHT TRANSMITTING PLASTIC.
19. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND ALL FIELD CONDITIONS PRIOR TO CONSTRUCTION AND COMMUNICATE TO THE ARCHITECT ANY DISCREPANCIES WITH THESE DRAWINGS.

Existing & Proposed Structure

3 Finished Floor Levels and Full Attic	4 Finished Floor Levels and Sitting Room
2 Bedrooms	3 Bedrooms
2 1/2 Bathrooms	3 1/2 Bathrooms
1 Car Garage	1 Car Garage
Total 1887 SF	Total 2516



VICINITY MAP

APPLICATION MATERIALS
BAR2015-00224/00225
119 Queen St
7/17/2015

DESIGNER: Michael Diggs
ADDRESS: 4037 Cressida Place
Co. & State: Lakeridge, VA 22192
EMAIL ADDRESS: MichaelDiggs52@gmail.com

Ken and Debbie Cureton
119 Queen Street
Alexandria, Virginia 22314

Elite Contractors Services, Inc.
7223 Poplar Street
Annandale, Virginia 22003
(703) 801-9564

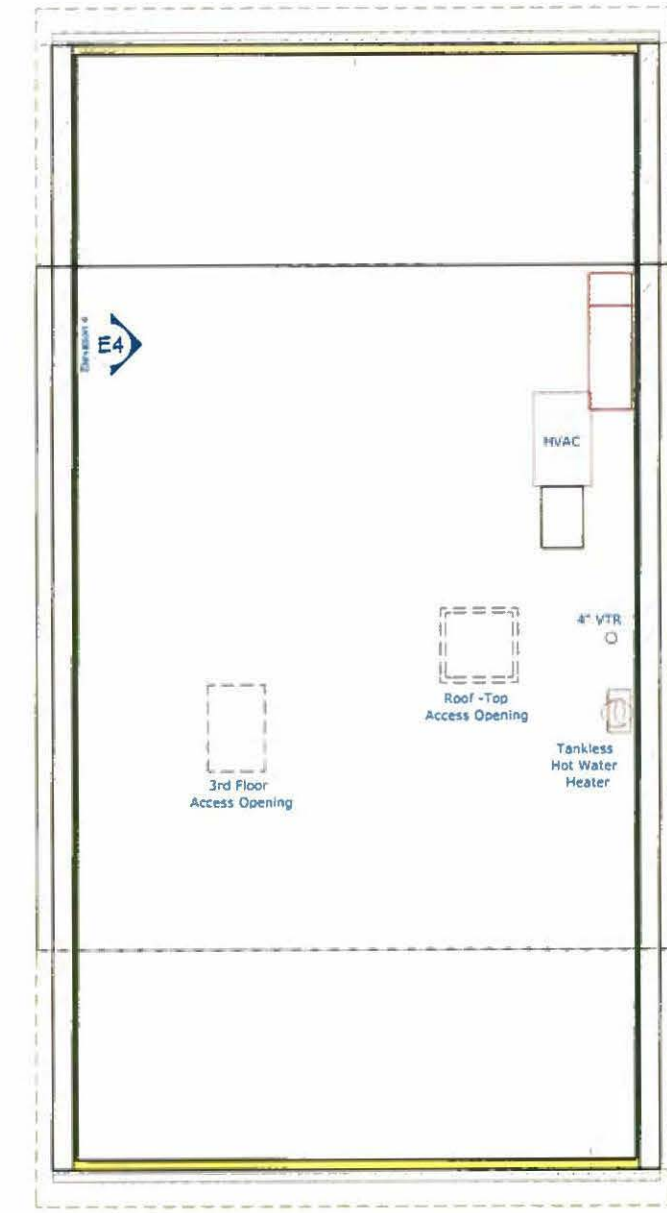
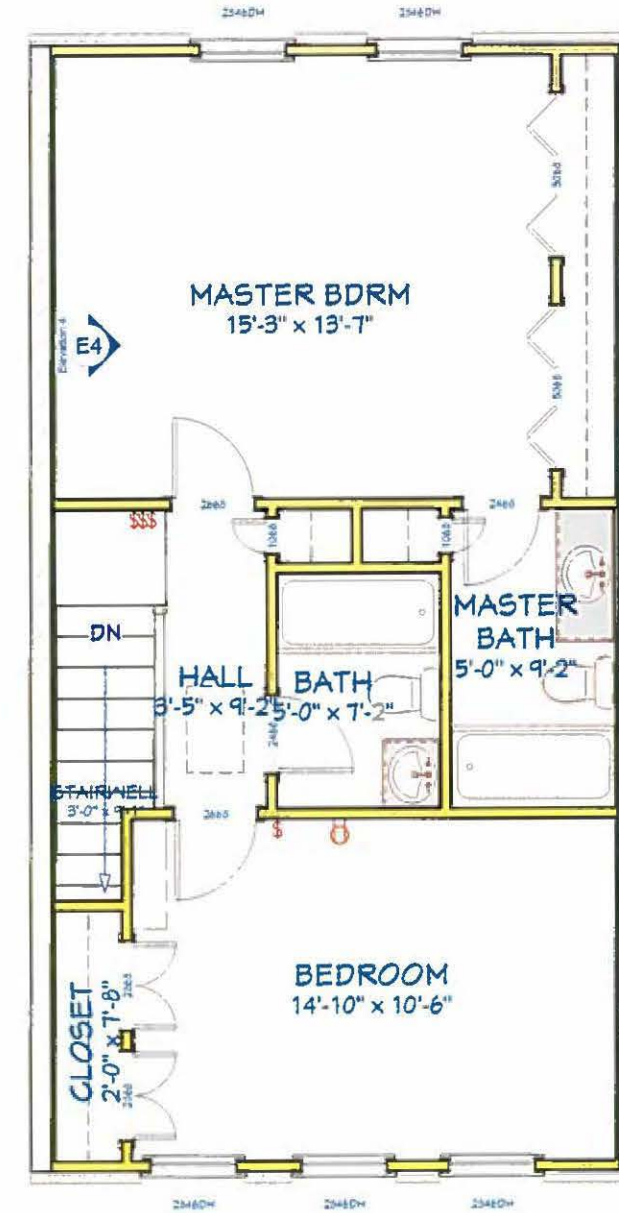
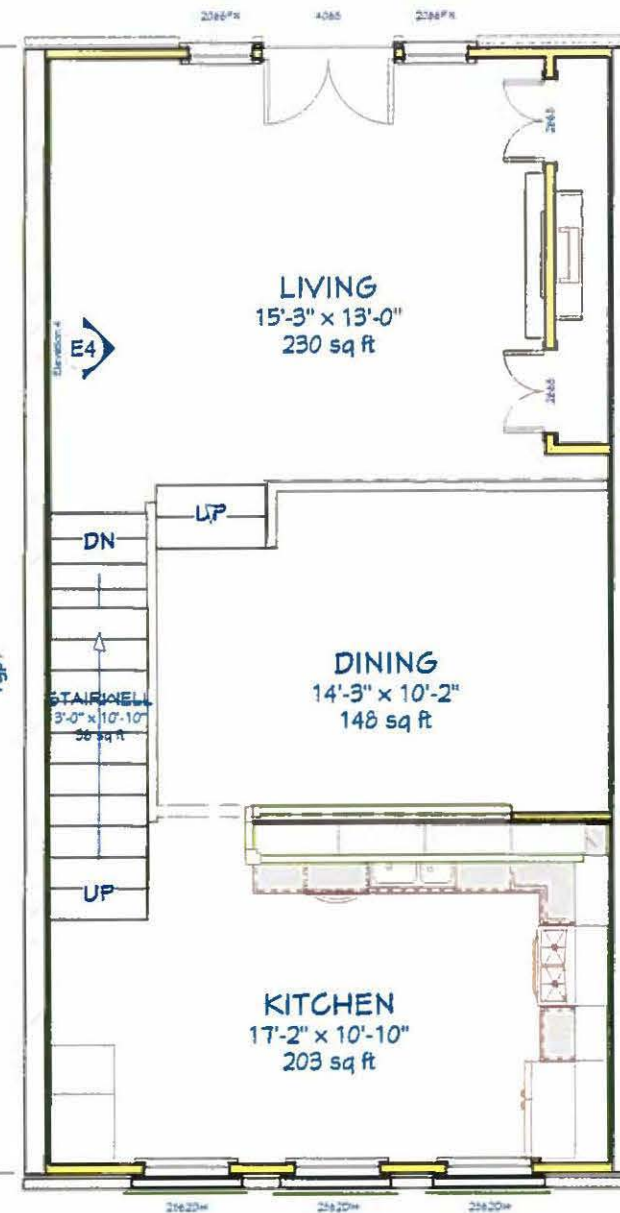
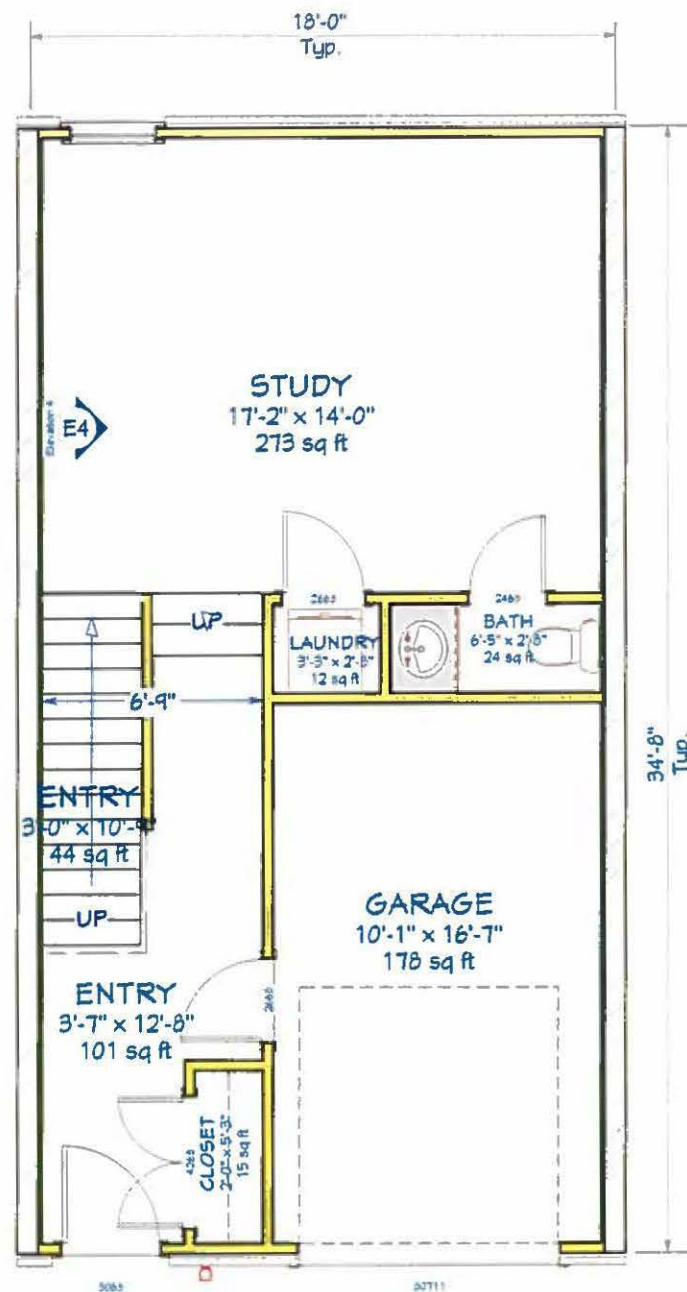
DATE:

5/18/2015

SCALE:

SHEET:

A-1

[illegible]

Ken and Debbie Cureton
119 Queen Street
Alexandria, Virginia 22314

DRAWINGS PROVIDED BY: **WJD**
Elite Contractors Services, Inc.
7223 Poplar Street
Annandale, Virginia 22003
(703) 801-9564

DATE:

7/8/2015

SCALE:

SHEET:

A-2

APPLICATION MATERIALS
BAR2015-00224/00225
119 Queen St
7/17/2015



Existing Section Thru Residence

APPLICATION MATERIALS
 BAR2015-00224/00225
 119 Queen St
 7/17/2015

NO.	DESCRIPTION	BY	DATE

Ken and Debbie Cureton
 119 Queen Street
 Alexandria, Virginia 22314

DRAWINGS PROVIDED BY: HJD
Elite Contractors Services, Inc.
 7223 Poplar Street
 Annandale, Virginia 22003
 (703) 801-9564

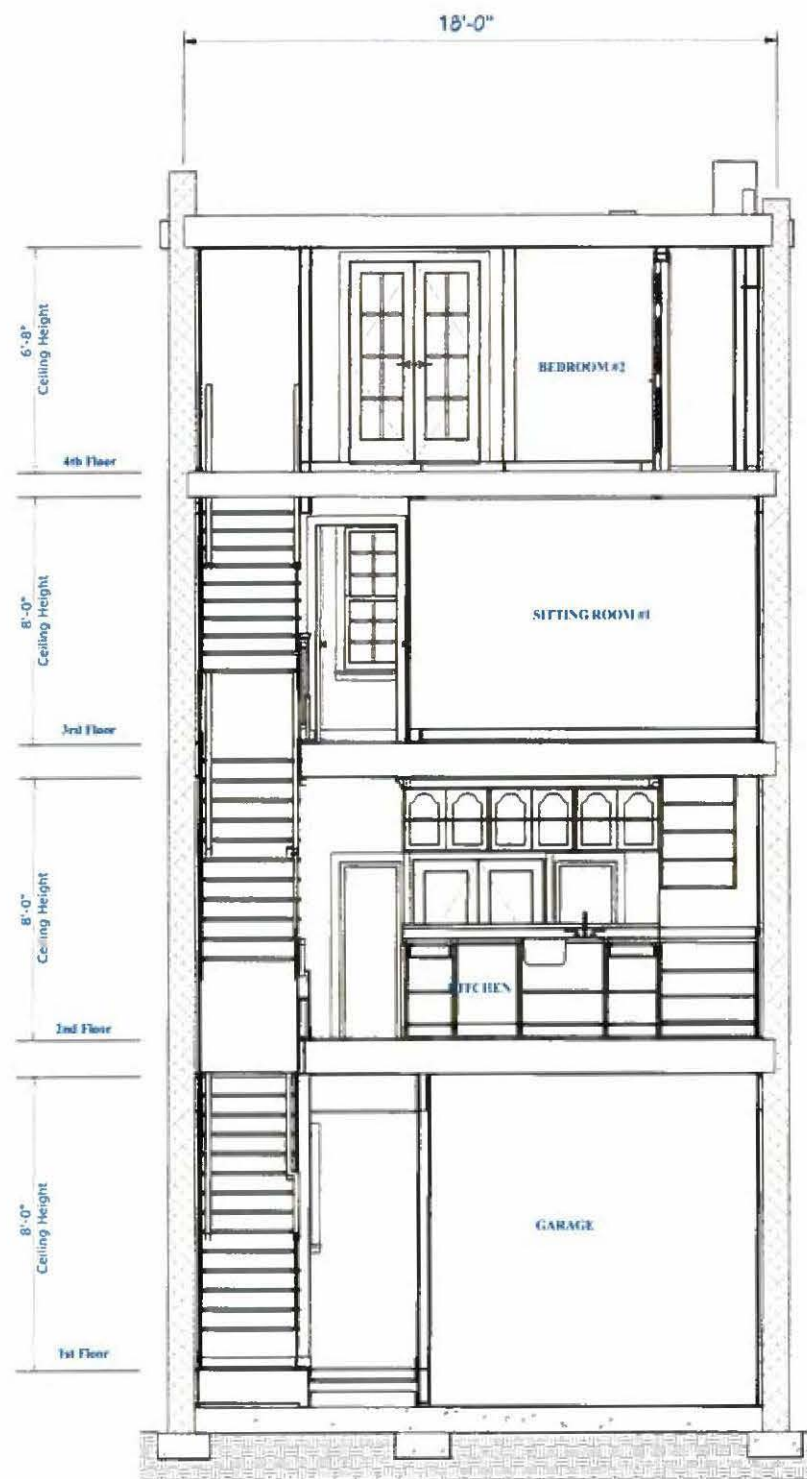
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4/6/2015

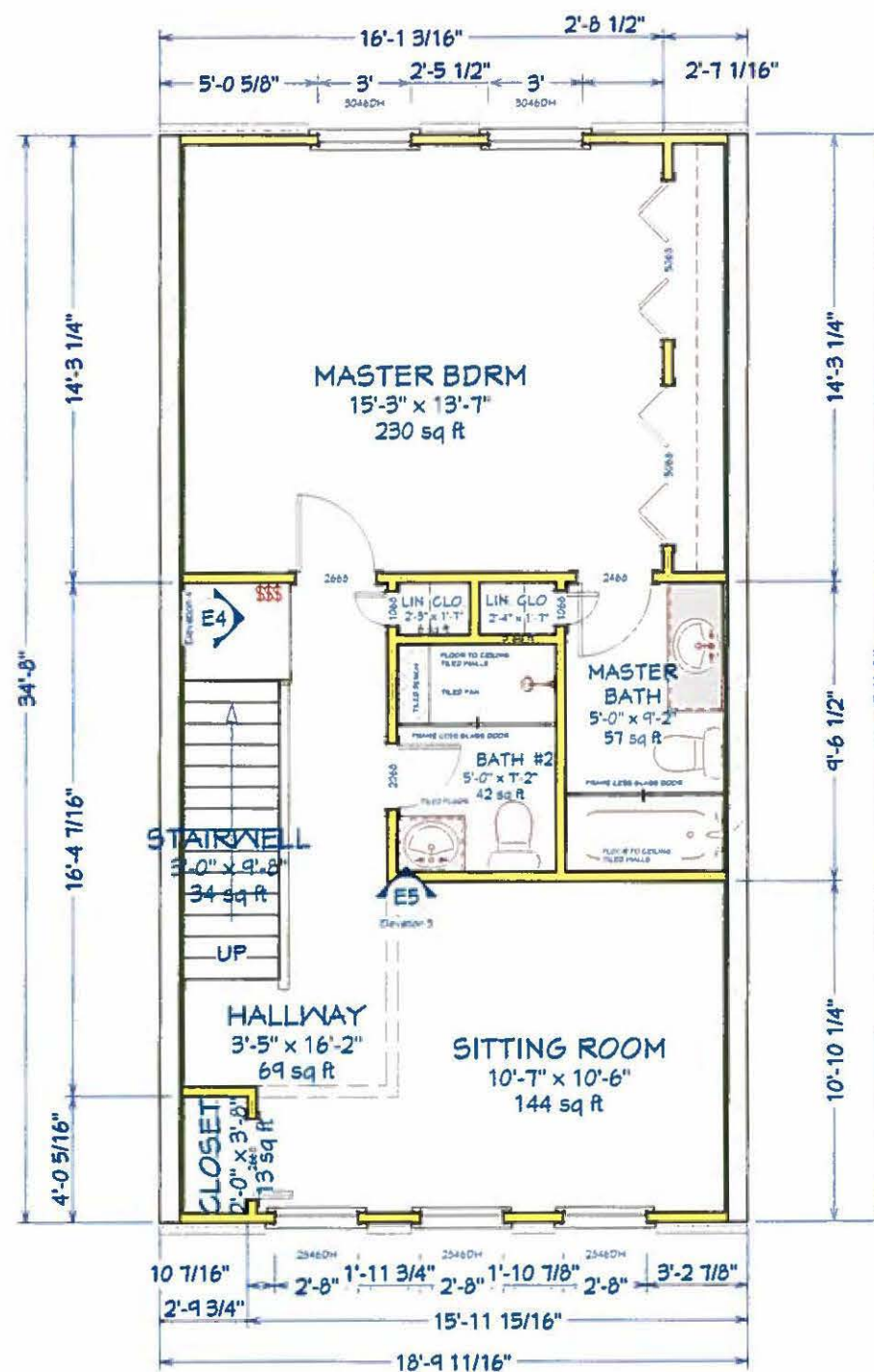
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SHEET:

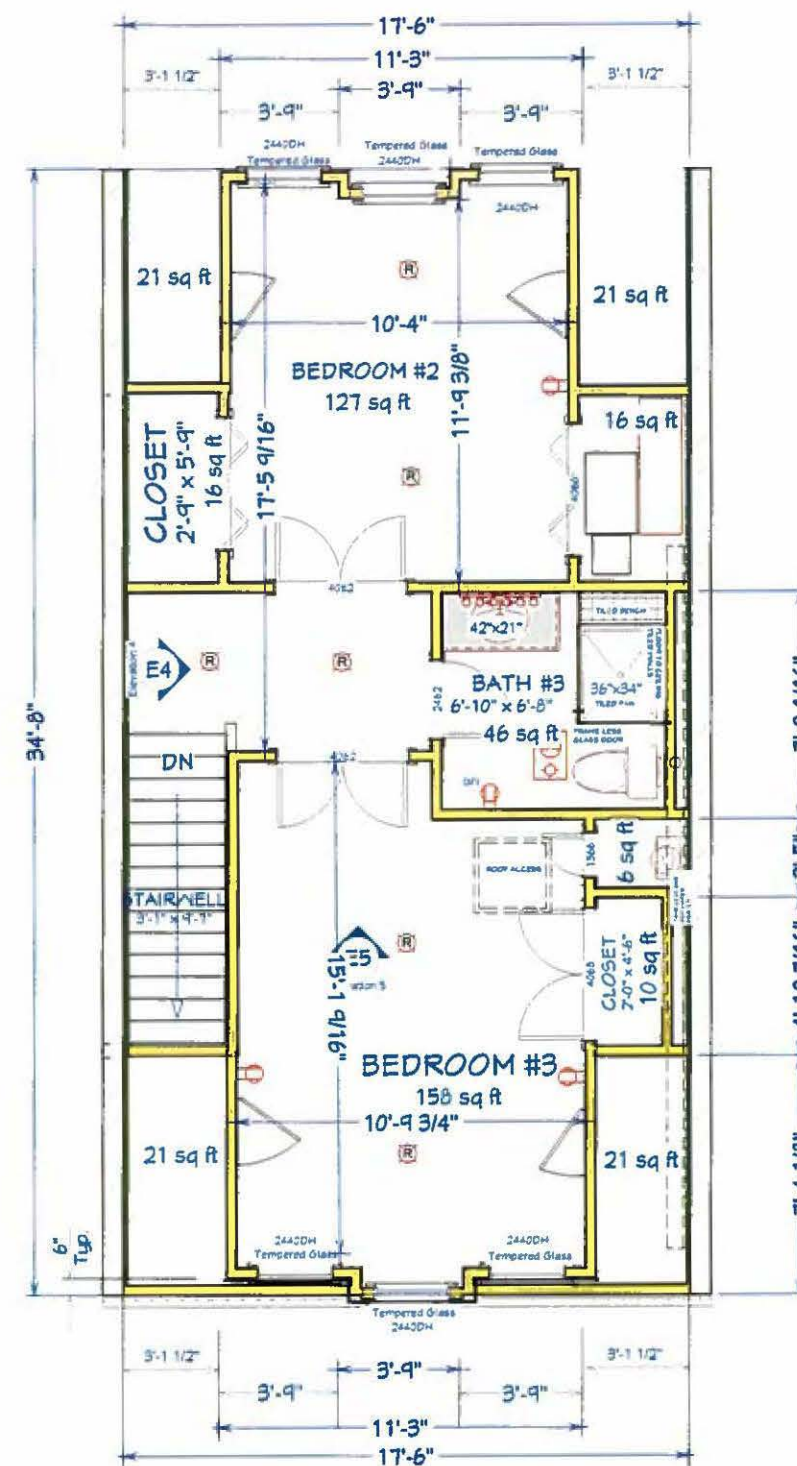
A-3



Proposed Left to Right Section



Proposed 3rd Floor - Floor Plan



Proposed 4th Floor - Floor Plan

APPLICATION MATERIALS
BAR2015-00224/00225
119 Queen St
7/17/2015

Proposed Left to Right Section
Proposed 2nd & 3rd Floor
Floor Plans

Ken and Debbie Cureton
119 Queen Street
Alexandria, Virginia 22314

DRAWINGS PROVIDED BY: **N30**
Elite Contractors Services, Inc.
7223 Poplar Street
Annandale, Virginia 22003
(703) 801-9564

DATE:
7/8/2015

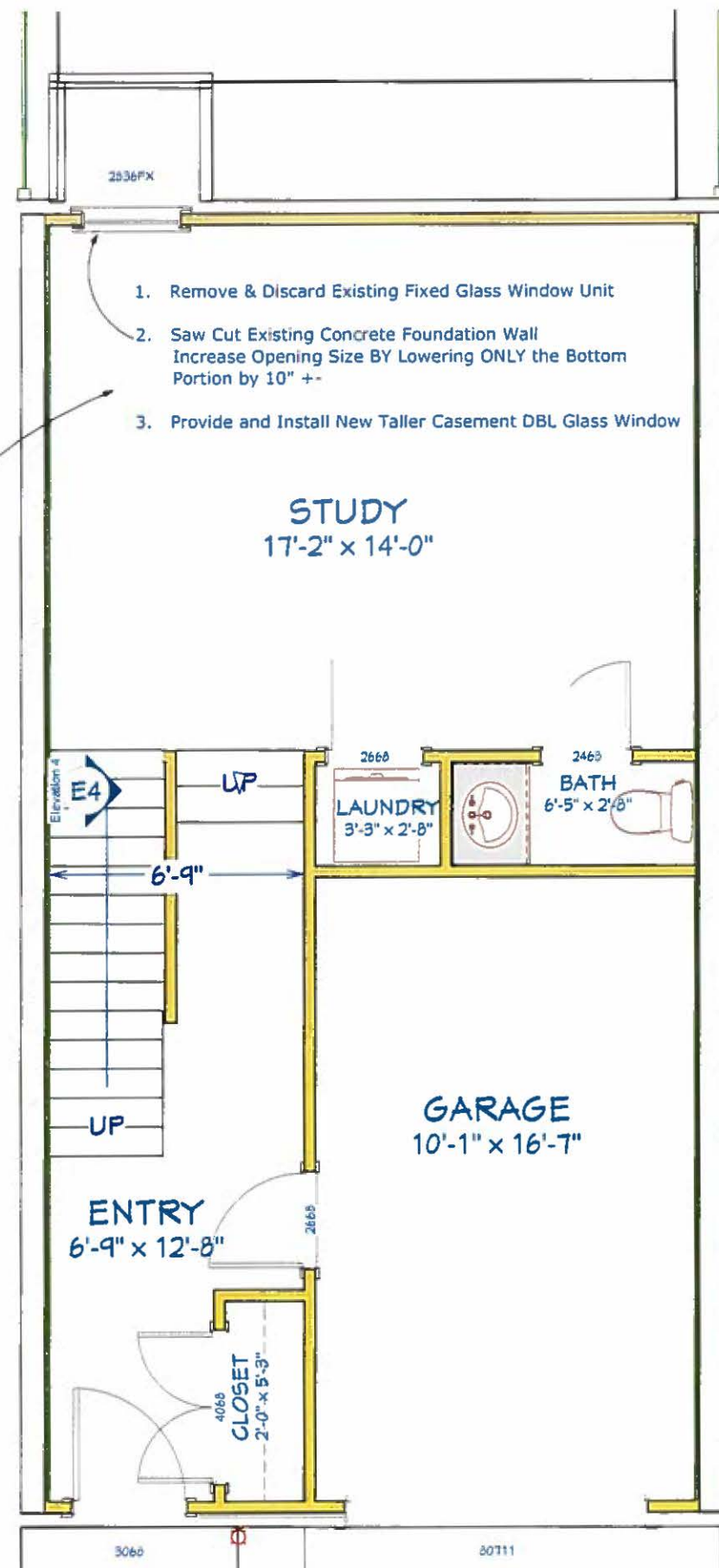
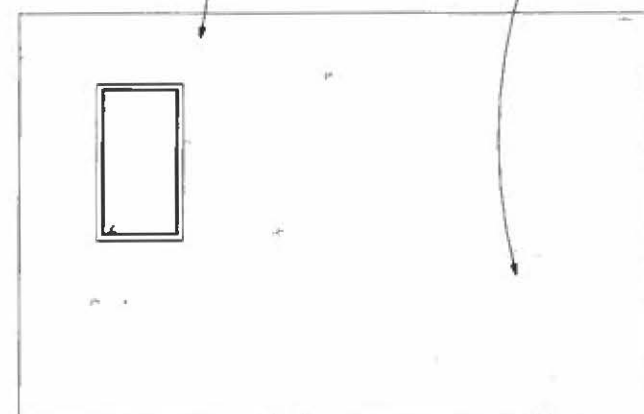
SCALE:

SHEET:

A-4



Rear Wall Elevations
NOT TO SCALE



Existing 1st Floor - Floor Plan

Design Criteria Notes:

1. All new headers ae to be Dbl 2x10 Header unless otherwise noted. All framing lumber used shall be #2 eastern pine
2. This project is designed to meet and exceed needs under the 2009 VRC Codes
 - A) Snow Loads (25 psf)
 - B) Roof 30 psf (live) + 17 (dead)
 - C) Floors 40 psf (live) + 10 psf (dead)
 - D) Design Wind Speed 90 mph/ 3 seconds gust
 - E) Minimum footer depth of 24" or on solid bearing soil was reached
 - F) Presumptive soil bearing capacity is 1500 psi at 28 days
 - G) Ice Shield underlayment required YES
 - H) Earthquake spectral response acceleration at short periods: 0.16 at 1 second period 0.053
 - I) Residential Seismic Design Category B
 - J) Weathering Probability for Concrete (severe)
 - K) Termite Infestation Probability (moderate to severe)
 - L) Decay Probability (slight to moderate)
 - M) Winter Design Temperature 17 degrees F
 - N) Mean Annual Temperature 50 degrees F
 - O) Air Freeze index < 1500 degrees F
 - P) Flood hazards (date of entry into National Flood Insurance Program) 3/5/1990
 - P) Use Group R5 Construction Type is VB Construction Type
3. Smoke detectors shall be installed in each bedroom, outside of bedrooms in hallways and on each level of the home. Smoke detectors shall be hard wired and interconnected to each other and have battery back-up.
4. Ice Shield Membrane Underlayment to be placed at all roof edges, valleys and ridge points.

DESIGN VALUES:

Elements	New Homes, Additions	Sunrooms
U-factor		
Windows/Doors	0.35	0.50
Doors	0.35	0.50
Skylights	0.60	0.75
R-value		
Ceiling	49	19
Walls (wood framed)	13	13
Walls (concrete, CMU)	5/10 ¹	5/10 ¹
Floors	19	19
Basement Walls	10/13 ²	10/13 ²
Slab-on-grade	10	10
Crawl Space Walls	10/13 ²	10/13 ²

Existing 2nd Floor
Totally Not Affected

APPLICATION MATERIALS
BAR2015-00224/00225
119 Queen St
7/17/2015

NO.	DESCRIPTION	BY	DATE

Ken and Debbie Cureton
119 Queen Street
Alexandria, Virginia 22314

DRAWINGS PROVIDED BY: MJO
Elite Contractors Services, Inc.
7223 Poplar Street
Annandale, Virginia 22003
(703) 801-9564

DATE:
5/17/2015

SCALE:

SHEET:
A-5

New HVAC System Equipment List

Reclaim existing refrigerant from existing system according to EPA standards and guidelines
Remove and discard existing HVAC system hardware

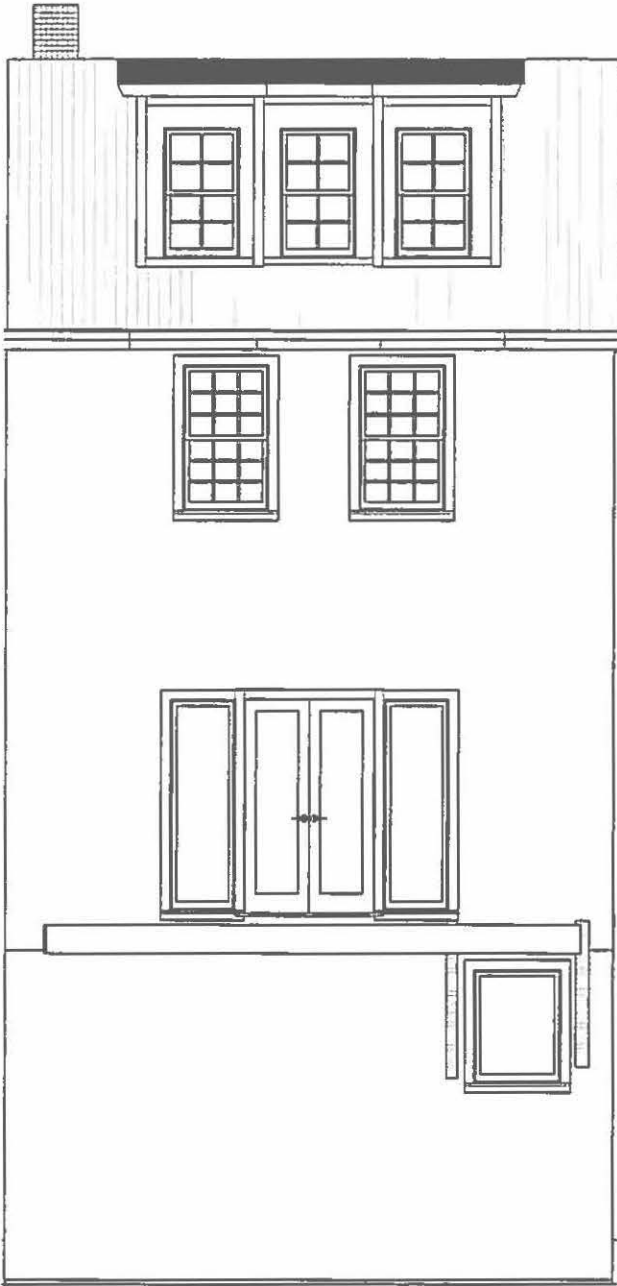
Remove existing pipe connections and electrical connections on condenser, evaporator coil and furnace

Carrier Infinity Gas Furnace 3 ton Model 59TN6
* connect to existing gas supply lines
* connect to low voltage and power to the unit

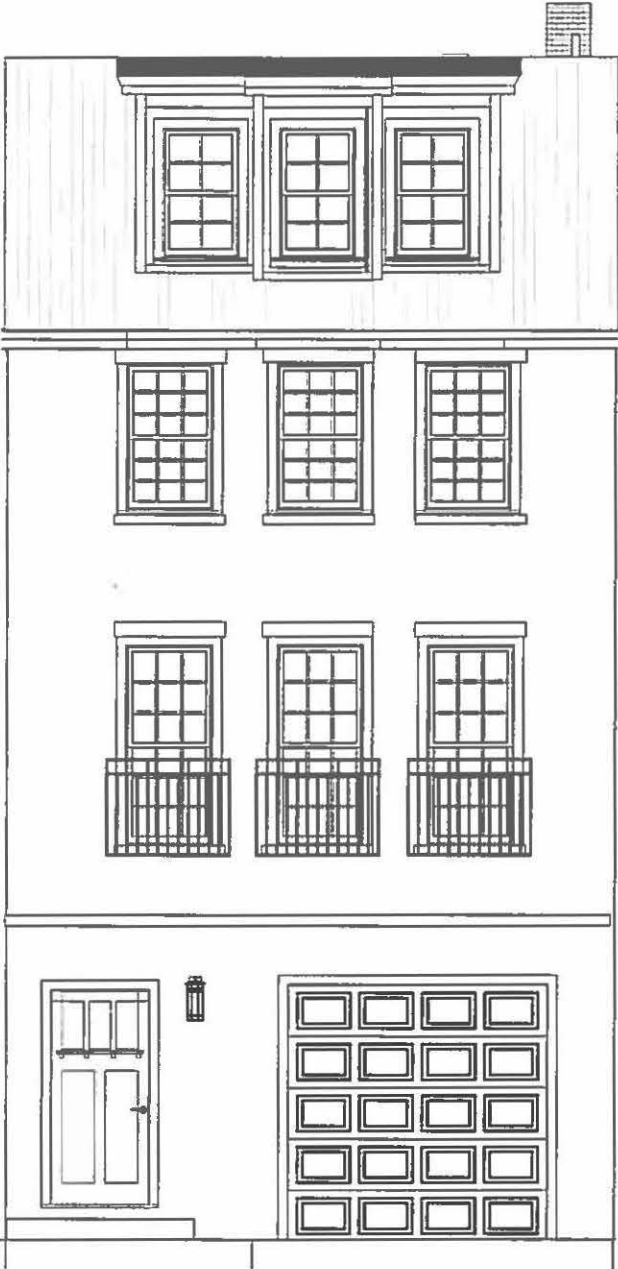
Carrier Infinity Air Conditioner 3 ton 17.0 SEER Model 36ANB6
* connect to existing piping and electrical connections
* vacuum to a minimum of 500 microns
* insulate exposed piping and charge unit to factory specs with R410a refrigerant

Carrier Infinity 3 ton N-coil
Carrier Infinity Digital Thermostat

Run New metal duct work for the 3rd and 4th floors
Follow MEP design and connect unit to trunk-line that feeds rest of residence
Provide and install dampers on main feed for summer / winter to help distribute air properly



Proposed Rear Elevation



Proposed Front Elevation

APPLICATION MATERIALS
BAR2015-00224/00225
119 Queen St
7/17/2015

NO.	DESCRIPTION	BY	DATE

HVAC Equipment List
Proposed Elevations

Ken and Debbie Cureton
119 Queen Street
Alexandria, Virginia 22314

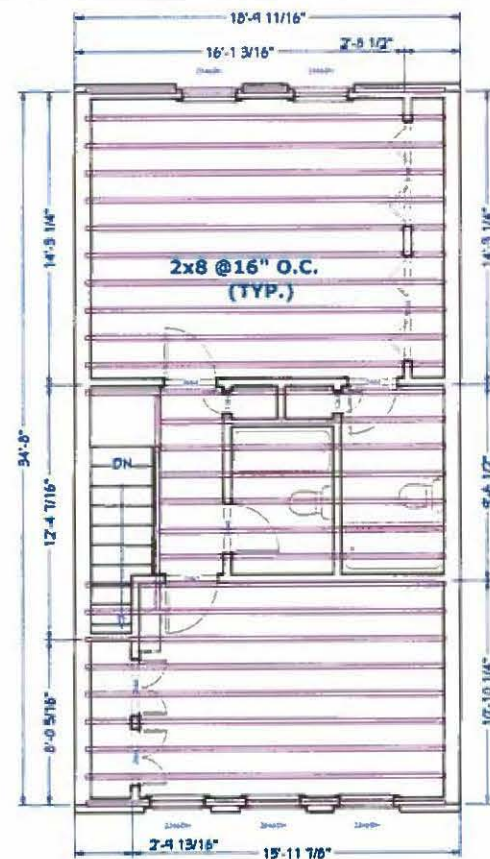
DRAWINGS PROVIDED BY: MJD
Elite Contractors Services, Inc.
7223 Poplar Street
Annandale, Virginia 22003
(703) 801-9564

DATE:
6/22/2015

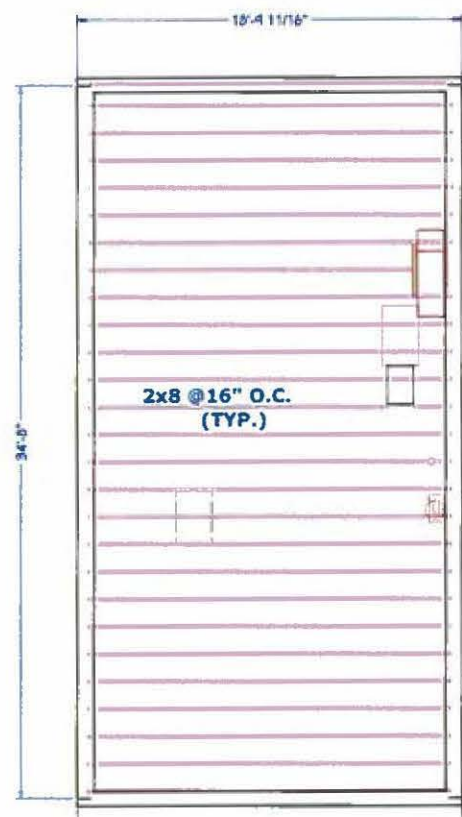
SCALE:

SHEET:

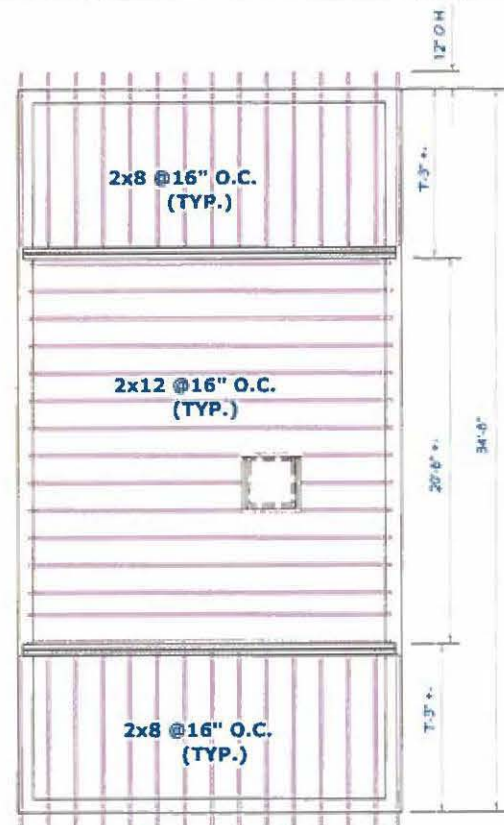
A-6



**Existing 3rd Floor
Floor Framing Plan**



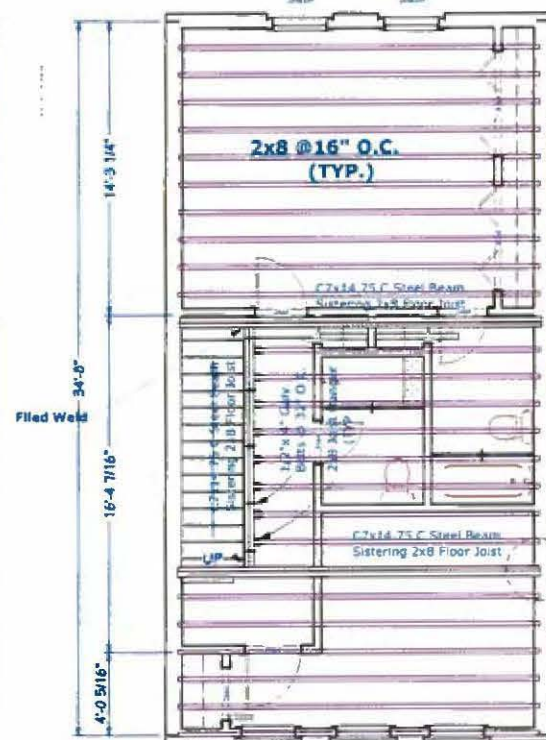
**Existing Attic Space
Floor Framing Plan**



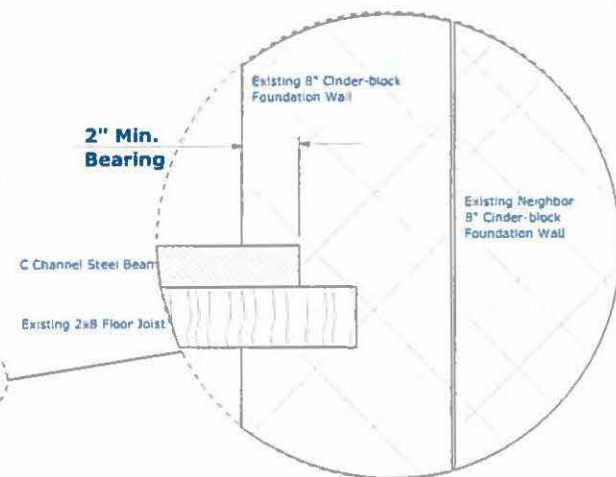
**Existing Attic Space
Roof Framing Plan**



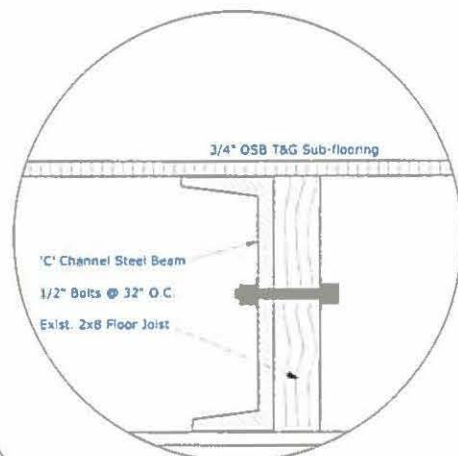
**Proposed 3rd Floor
Floor Plan**



**Proposed 4th Floor
Floor Framing Plan**



**Proposed Bearing Point Detail
TYP.
NOT TO SCALE**



**Typical Section Thru
Joist/Beam Detail
NOT TO SCALE**

NOTES:

STRUCTURAL STEEL SHALL BE IN CONCORDANCE WITH THE LATEST AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL. FOR BUILDINGS 60' OR MORE HEIGHTS, ALL CONNECTIONS SHALL BE WELDED OR MADE WITH 5/8\"/>

ALL ROOFING MATERIALS TO HAVE ICE DAMMING PROTECTION.

WOOD SPECIES AND GRADE: DEN-PR (SURFACED DRY OR SURFACED GREEN) USED AT 1 1/2\"/>

$P_d = 1,150 \text{ PSI}$ (SINGLE MEMBER)
 $P_v = 19 \text{ PSI}$
 $P_c = 825 \text{ PSI}$
 $E = 1,400,000 \text{ PSI}$

LAMINATED VENEER LUMBER, MICRO-LAM LUMBER OR BETTER WITH THE FOLLOWING DESIGN PROPERTIES:

$P_d = 2,000 \text{ PSI}$
 $P_v = 205 \text{ PSI}$
 $P_c = 2,100 \text{ PSI}$
 $E = 2,000,000 \text{ PSI}$

VERTICAL LOAD TRANSFER: ALL STRUCTURAL POSTS MUST BE VERTICALLY ALIGNED AND BLOCKED TO PROVIDE CONTINUOUS BEARING TO FOUNDATION.

IF A DOUBLE TOP PLATE OF LESS THAN 3x8 OR 3x4 IS USED FLOOR JOISTS (AND TRUSSES) MUST BE CENTERED DIRECTLY OVER AND BELOW BEARING STUDS UNLESS CENTERED BY STRUCTURAL ENGINEER.

UNFINISHED INTERIOR BEARING WALLS: AT LEAST ONE SIDE OF THE ALL SHEATHED WITH A MINIMUM OF 1/2\"/>

HOT ROLLED STRUCTURAL SHAPES

STRUCTURAL CHANNELS ASTM A-36 Stock Length 20 Ft and 40 Ft				Weight, Lbs			
Size X Wt. Per Ft.	A Depth in Inches	B Flange Width Inches	C Web Thickness Inches	Per Ft.	20-Ft Length	40-Ft Length	
C 3 x 4.1	3	1.410	.170	4.1	82	164	
C 3 x 5	3	1.498	.258	5	100	200	
C 3 x 6	3	1.586	.356	6.0	120	240	
C 3 x 8	4	1.584	.52	8.0	160	320	
C 4 x 7.25	4	1.721	.331	7.25	145	290	
C 5 x 8.7	5	1.750	.190	8.7	174	348	
C 5 x 9	5	1.885	.325	9.0	180	360	
C 6 x 8.2	6	1.920	.200	8.2	164	328	
C 6 x 10.5	6	2.034	.314	10.5	210	420	
C 6 x 13	6	2.157	.437	13.0	260	520	
C 7 x 8.9	7	2.060	.210	8.9	178	356	
C 7 x 12.25	7	2.266	.314	12.25	245	490	
C 7 x 14.75	7	2.295	.419	14.75	295	590	
C 8 x 11.5	8	2.280	.230	11.5	230	460	
C 8 x 13.75	8	2.343	.303	13.75	275	550	
C 8 x 16.75	8	2.517	.427	16.75	335	670	
C 9 x 13.4	9	2.433	.223	13.4	268	536	
C 9 x 15	9	2.485	.282	15.0	300	600	
C 9 x 20	9	2.648	.448	20.0	400	800	
C 10 x 15.3	10	2.660	.290	15.3	306	612	
C 10 x 20	10	2.736	.375	20.0	400	800	
C 10 x 25	10	2.886	.526	25.0	500	1000	
C 10 x 30	10	3.033	.673	30.0	600	1200	
C 12 x 20.7	12	2.862	.282	20.7	414	828	
C 12 x 25	12	3.087	.37	25.0	500	1000	
C 12 x 30	12	3.170	.510	30.0	600	1200	
C 15 x 33.9	15	3.400	.400	33.9	678	1356	
C 15 x 40	15	3.520	.501	40.0	800	1600	
C 15 x 50	15	3.718	.718	50.0	1000	2000	

TECHNICAL DATA

HOT ROLLED BAR AND STRUCTURAL SHAPES ASTM A-36					
When the greatest dimension of a steel shape is less than 2" it is classified as a "Bar Shape." When at least one dimension is 2" or greater it is classified a "Structural Shape."					
CHEMICAL ANALYSIS					
Carbon (%C)	Phosphorus (%P)	Sulfur (%S)			
.28	.035	.035			
MECHANICAL PROPERTIES					
The following values are average and should be determined by inspection of the grade.					
Tensile Strength (F _U)	F _U Strength (F _U)				
58,000 psi	58,000 psi				
STRUCTURAL DESIGNATION					
The American Iron and Steel Institute (AISI) has established the following identification designations to identify the various grades of steel.					
White Flange Beam	W				
Structural Tee Cut from W Beam	WT				
American Standard Beam	S				
Structural Tee Cut from S Beam	ST				
American Standard Channel	C				
Monotube Channel	MC				
Angle-Bar and Structural	L				
Monotube Shape	M				
www.aisi.org					
Excellent Resistance from all types of weathering processes, produces high quality welds and joints.					

APPLICATION MATERIALS
 BAR2015-00224/00225
 119 Queen St
 7/17/2015

NO.	DESCRIPTION	BY	DATE

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 Alexandria, Virginia 22314

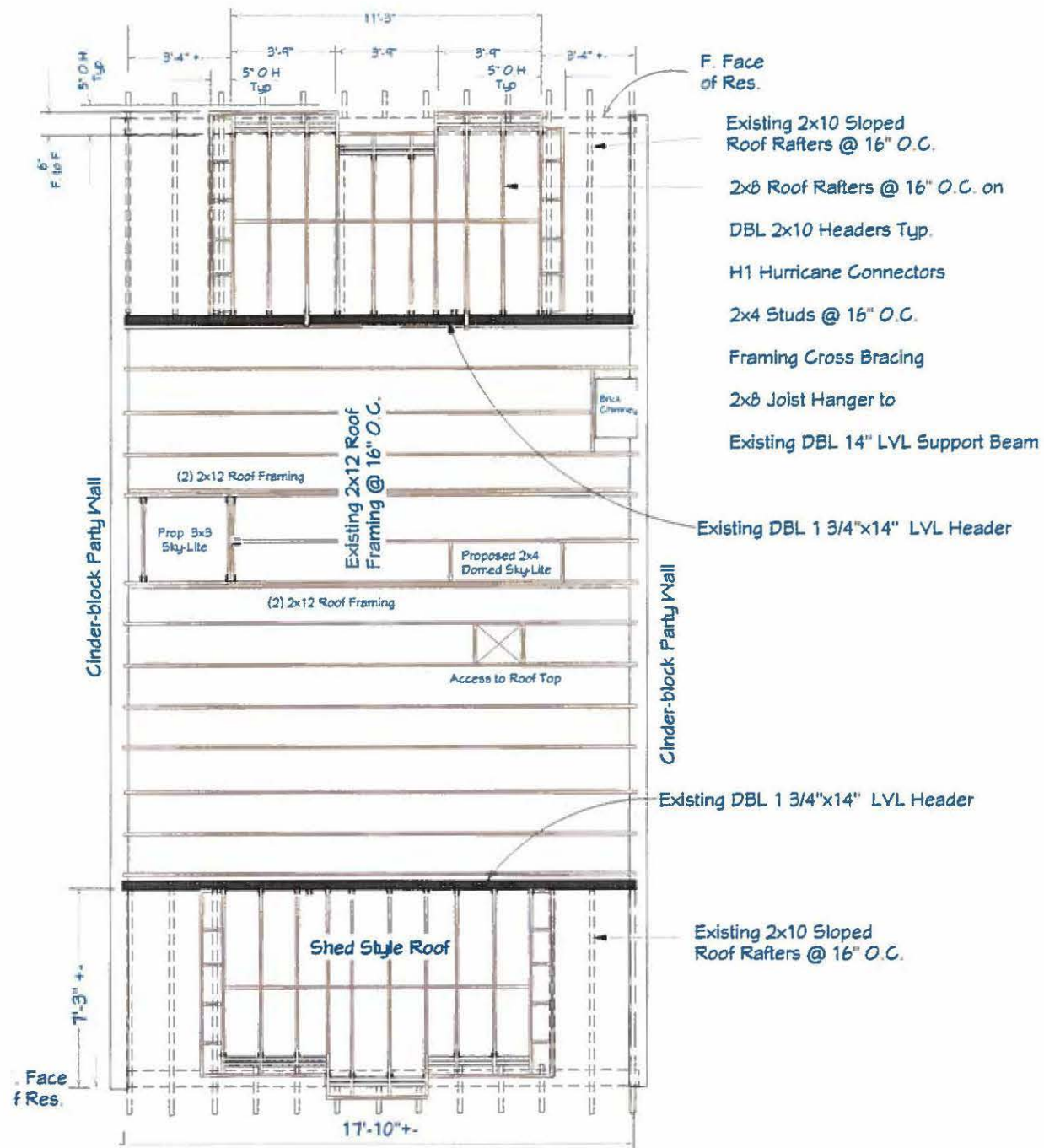
Elite Contractors Services, Inc.
 7223 Poplar Street
 Amandale, Virginia 22003
 (703) 801-9564

DRAWINGS PROVIDED BY: **KJB**

DATE: 5/18/2015

SCALE:

SHEET: **A-8**



Proposed (Dormers &) Roof Framing Plan

APPLICATION MATERIALS
 BAR2015-00224/00225
 119 Queen St
 7/17/2015

Proposed Hardie Smooth Finish
 1/2" x 8" Fascia Trim Board
 1/2" x 5" Horz. Trim Board
 1/2"x 2 1/2" Vert. Corner Trim Board (TYP.)
 Smooth (1 pc.) Siding

Top of Fin. Floor

Rear Dormer - Front Face Elevation

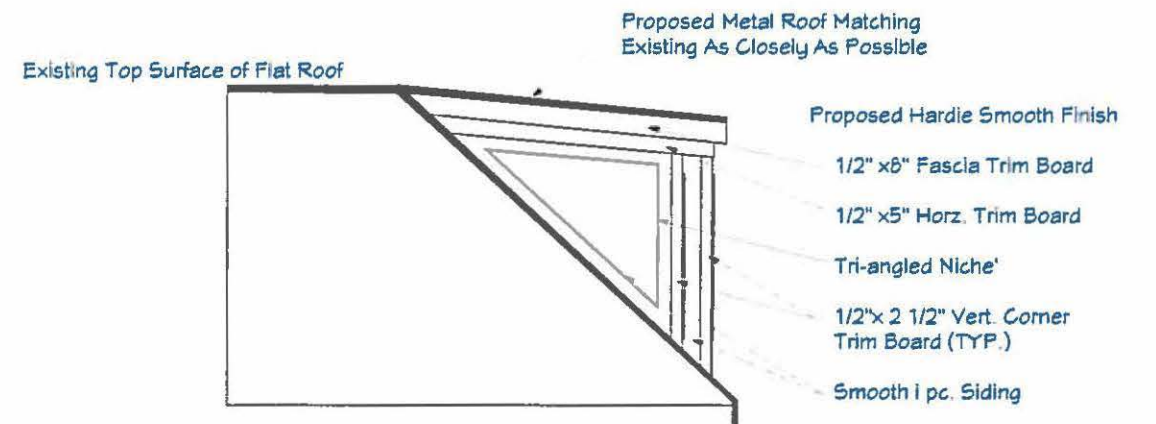
Scale 1/2" = 1'-0"

Proposed Hardie Smooth Finish
 1/2" x 8" Fascia Trim Board
 1/2" x 5" Horz. Trim Board
 1/2"x 2 1/2" Vert. Corner Trim Board (TYP.)
 Smooth (1 pc.) Siding

Top of Fin. Floor

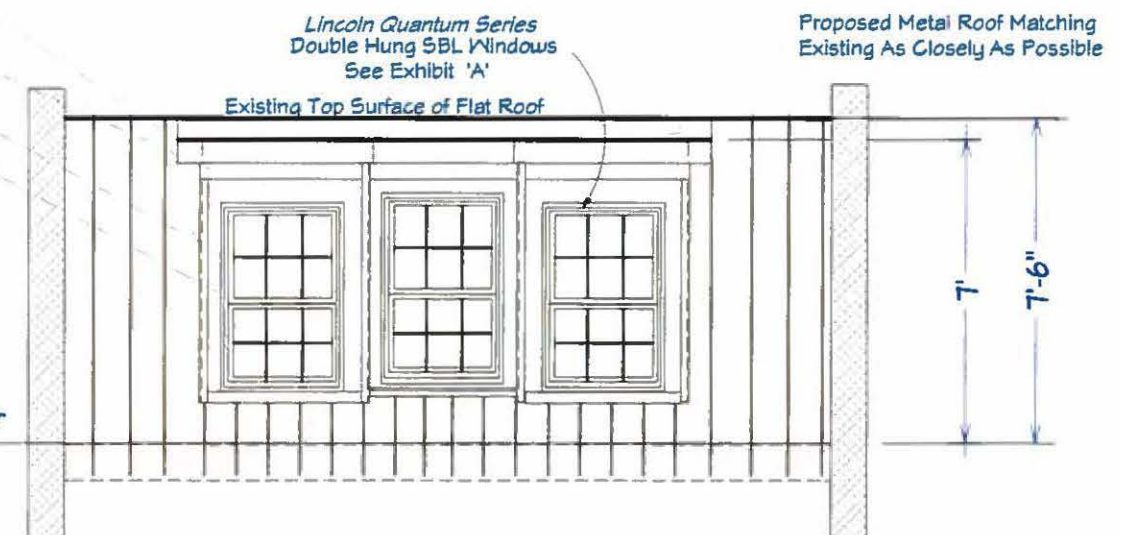
Front Dormer - Front Face Elevation

Scale 1/2" = 1'-0"



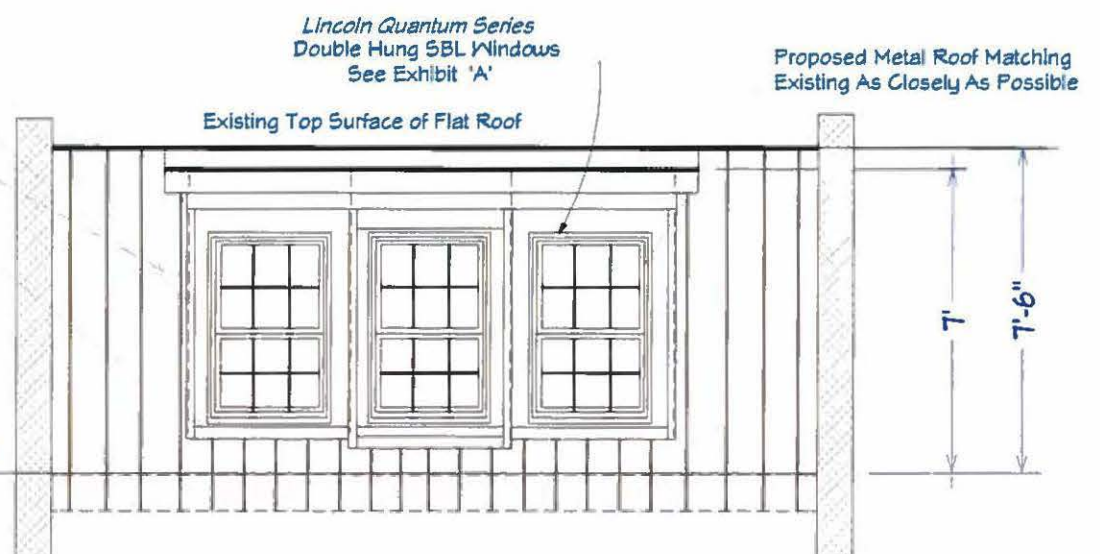
Dormers Side Face Elevations

Typ.



Rear Dormer - Front Face Elevation

Scale 1/2" = 1'-0"



Front Dormer - Front Face Elevation

Scale 1/2" = 1'-0"

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 119 Queen Street
 Alexandria, Virginia 22314

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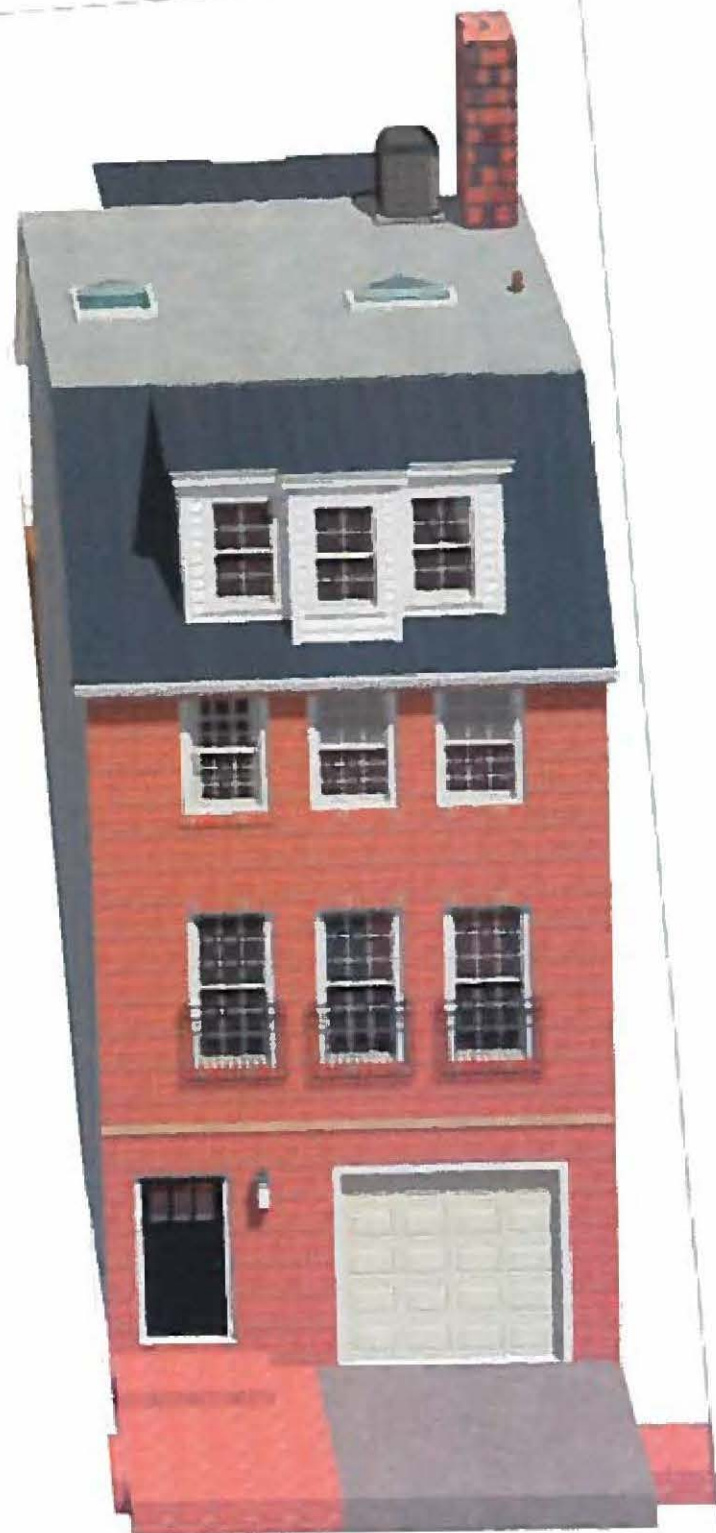
DRAWINGS PROVIDED BY: HJD

DATE:
 7/16/2015

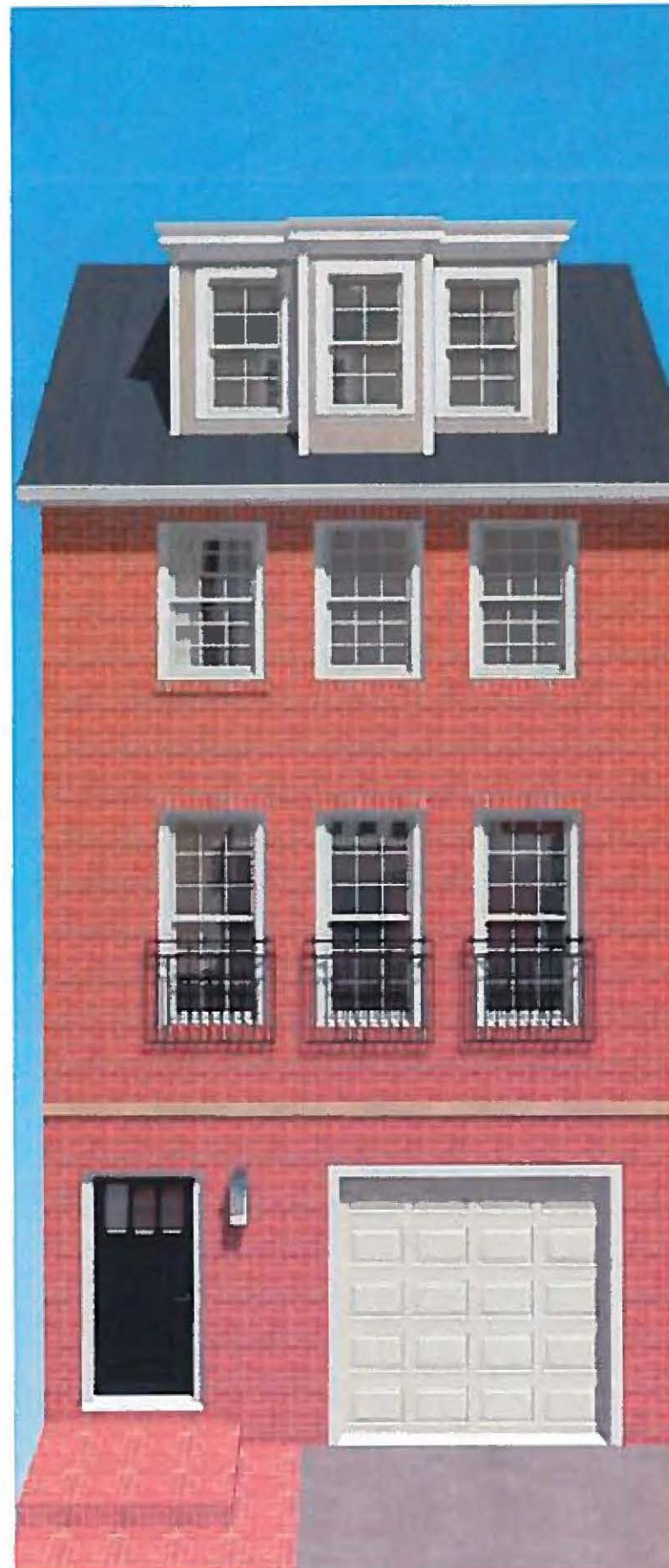
SCALE:

SHEET:

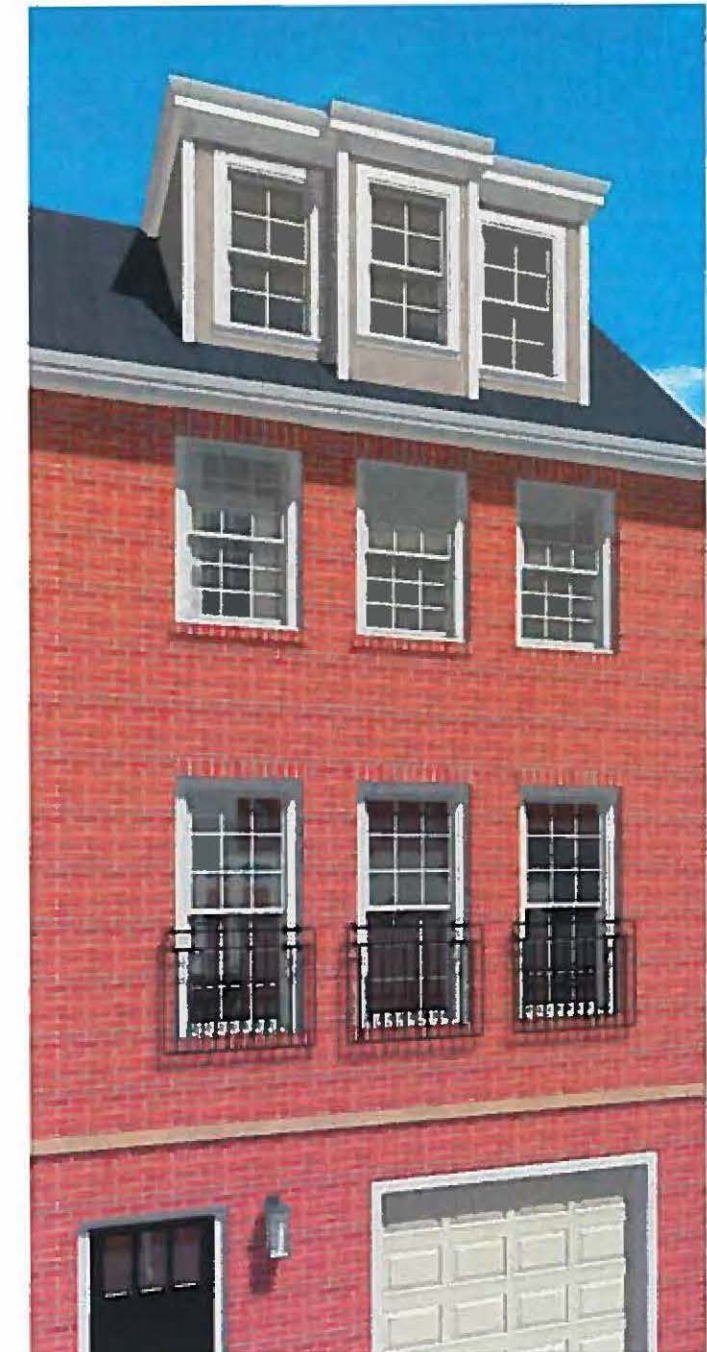
A-9



Angled Rear Elevation



Proposed Front Elevation



Partial Front Elevation

APPLICATION MATERIALS
BAR2015-00224/00225
119 Queen St
7/17/2015

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7223 Poplar Street
Annandale, Virginia 22003
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Ken and Debbie Cureton
119 Queen Street
Alexandria, Virginia 22314

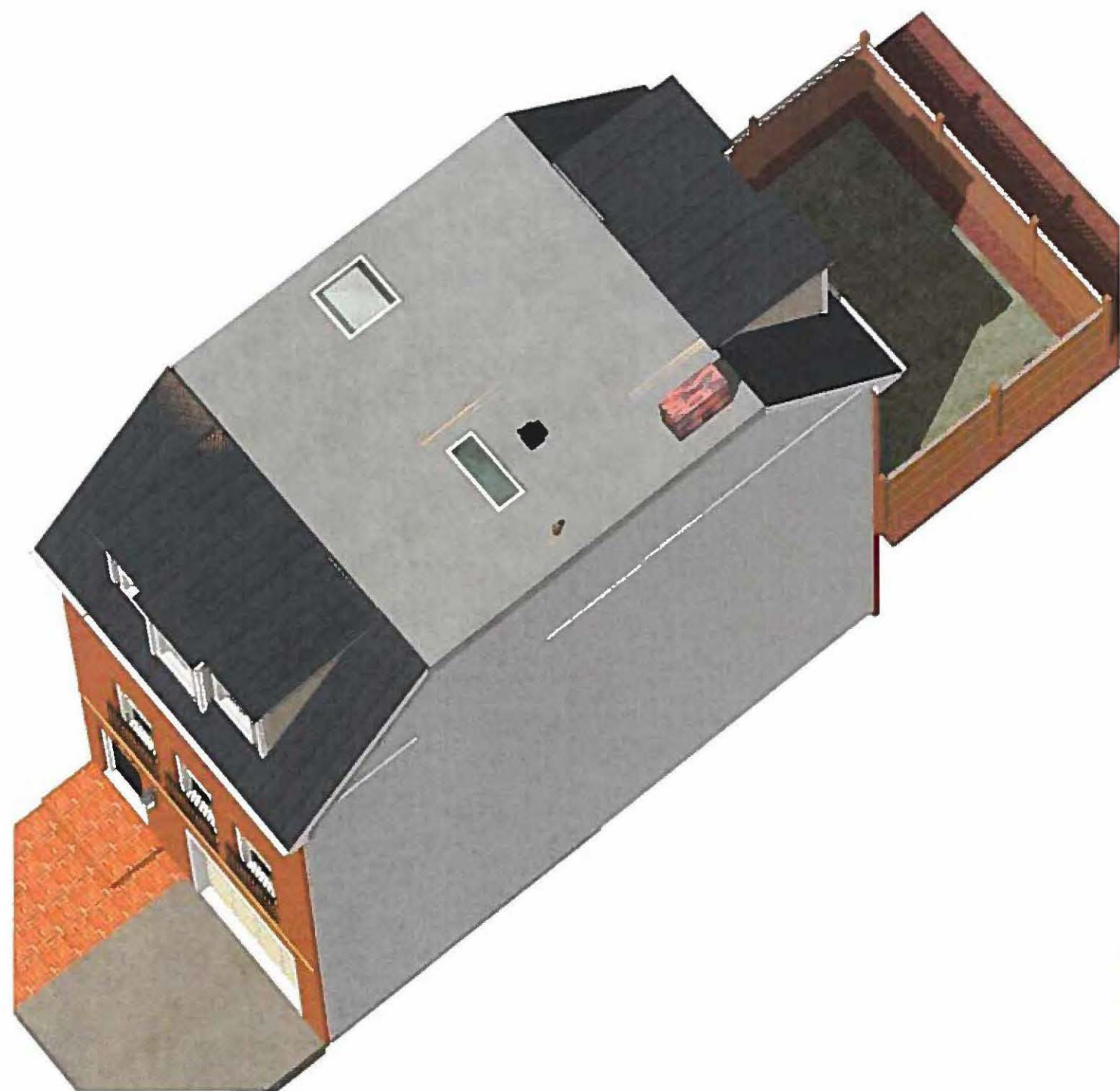
DATE:

7/16/2015

SCALE:

SHEET:

A-10



Proposed Elevations Birds Eye View

APPLICATION MATERIALS
 BAR2015-00224/00225
 119 Queen St
 7/17/2015

NO.	DESCRIPTION	BY	DATE

Ken and Debbie Cureton
 119 Queen Street
 Alexandria, Virginia 22314

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Elite Contractors Services, Inc.
 7223 Poplar Street
 Annandale, Virginia 22003
 (703) 801-9564

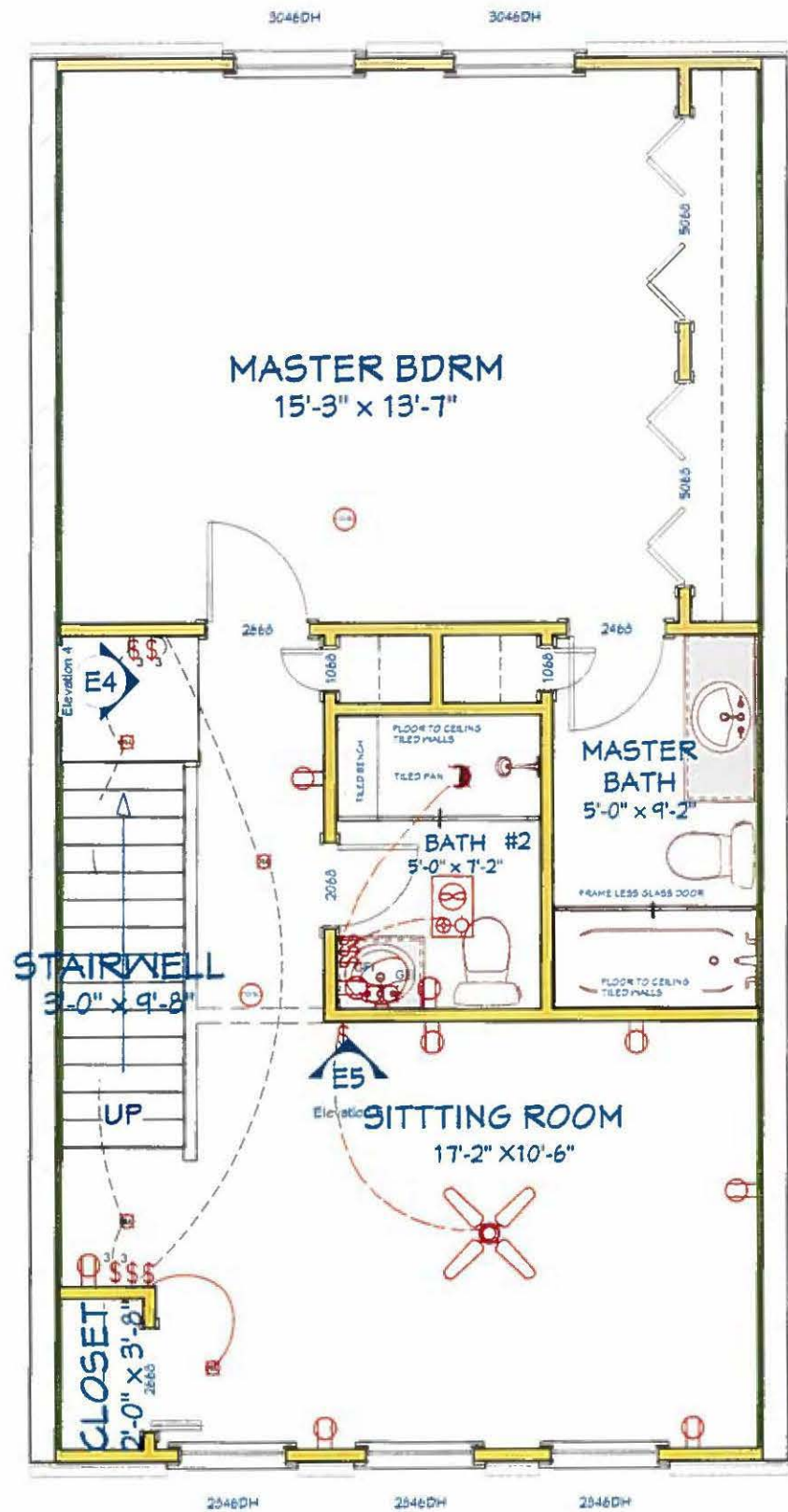
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6/17/2015

SCALE:

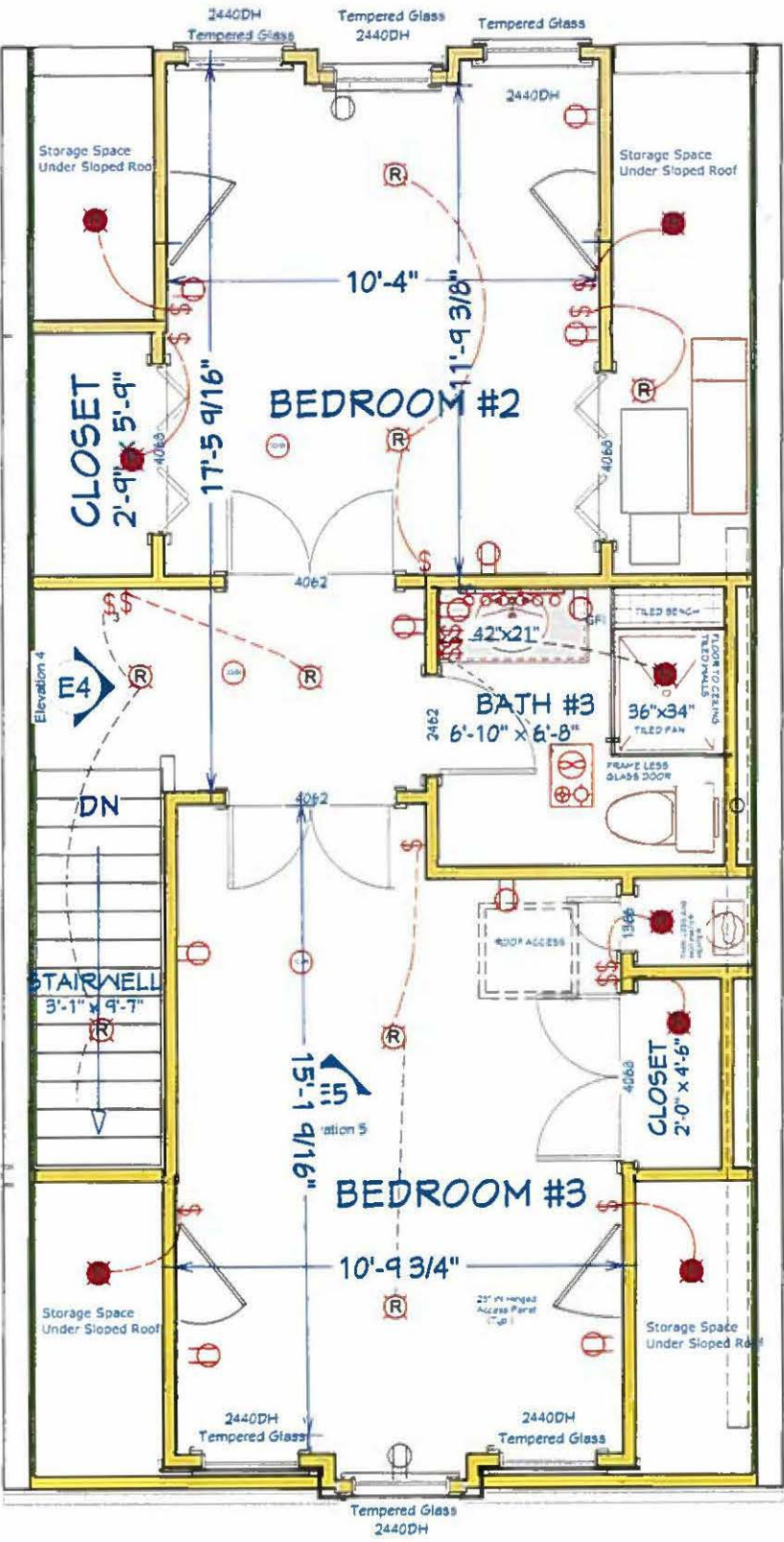
SHEET:

A-11



Proposed 3rd Floor Electrical Plan

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Ceiling Mounted Carbon Monoxide Smoke Detectors: Hardwired Interconnected with Battery Back-up
	Electrical Breaker Panel



Proposed 4th Floor Electrical Plan

NO.	DESCRIPTION	BY	DATE

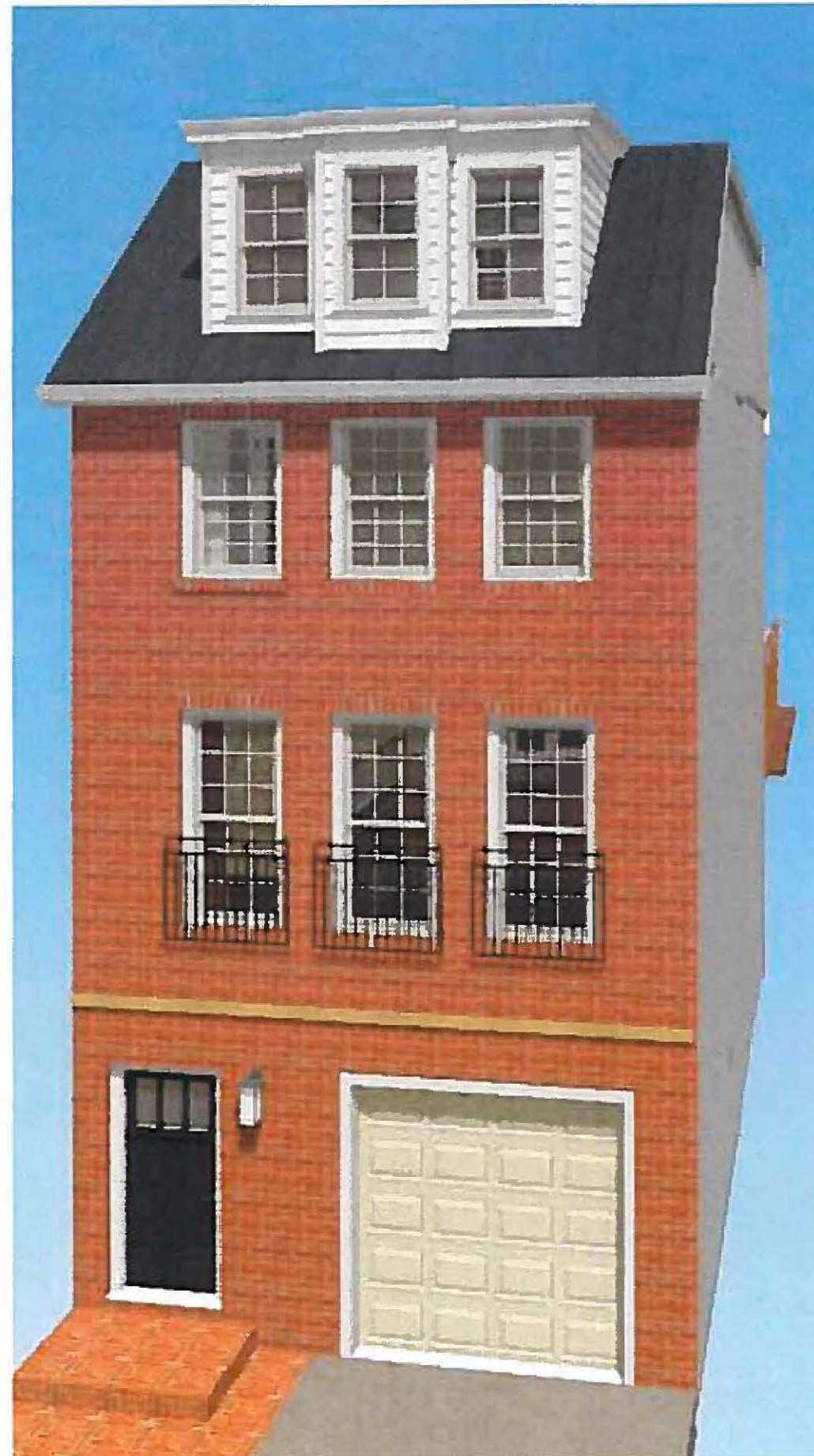
Ken and Debbie Cureton
119 Queen Street
Alexandria, Virginia 22314

DRAWINGS PROVIDED BY: HJD
Elite Contractors Services, Inc.
7223 Poplar Street
Annandale, Virginia 22003
(703) 801-9564

DATE:
6/20/2015
SCALE:
SHEET:
A-12



APPLICATION MATERIALS
 BAR2015-00224/00225
 119 Queen St
 7/17/2015



NO.	DESCRIPTION	BY	DATE

Ken and Debbie Cureton
 119 Queen Street
 Alexandria, Virginia 22314

DRAWINGS PROVIDED BY: HJD
Elite Contractors Services, Inc.
 7223 Poplar Street
 Annandale, Virginia 22003
 (703) 801-9564

DATE:

6/12/2015

SCALE:

SHEET:

A-15