

Docket Item # 6  
BAR CASE # 2015-0171

BAR Meeting  
July 15, 2015

**ISSUE:** Permit to Demolish/Capsulate for an Addition/Alterations

**APPLICANT:** Christine Jobes by Christine Kelly

**LOCATION:** 217 North Pitt Street

**ZONE:** RM / Residential Zone

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**STAFF RECOMMENDATION**

Staff recommends approval of the Permit to Demolish with the following archaeology conditions:

The conditions below shall appear in the General Notes of all site plans and construction drawings that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:

- a. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

## **GENERAL NOTES TO THE APPLICANT**

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR2015-00171



**\*Note:** *This item requires a roll call vote.*

## I. ISSUE

The applicant is requesting approval of a Permit to Demolish/Capsulate for the construction of a new, one-story rear addition (191 sq. ft.) with roof deck set upon a raised pier foundation and the alteration of the existing window on second floor rear wall to create a door. The rear alley is private and the new addition will not be visible from a public way. The existing building's first floor foundation wall will remain intact.



Figure 1: Areas to be Demolished/Capsulated

## II. HISTORY

The collection of four, three-story, three-bay frame rowhouses at 215-221 North Pitt Street were constructed in 1854 by William Gregory according to Ethelyn Cox in *Alexandria Street by Street* (p.105). The alterations and window replacement on the rear elevation of the subject building at 217 North Pitt Street date to the mid to late 20<sup>th</sup> century though, staff was not able to locate any associated building permits.



Figure 2: Existing Conditions - Rear Elevation

### **III. ANALYSIS**

#### **Permit to Demolish**

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

The scope of the proposed demolition/capsulation is located entirely on the first and second floors of the historic structure's rear elevation wall surface, which was previously altered during a mid to late 20<sup>th</sup> century renovation.<sup>1</sup> The magnitude of these previous changes has compromised the integrity of the first and second floors of this rear wall, and little to no historic fabric remains. Therefore, staff finds that none of the criteria for demolition/capsulation are met and the Permit to Demolish/Capsulate should be granted.

Staff recommends approval of the Permit to Demolish/Capsulate with the above referenced archaeology conditions.

#### **STAFF**

Michele Oaks, Historic Preservation Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

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<sup>1</sup> Building Permit #1336, August 28, 1935: Repairs and Alterations to windows; Building Permit #8800155, December 15, 1988: Alterations to framing on the first and second floor.



#### IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

##### Zoning Comments

C-1 Proposed addition complies with zoning.

##### Code Administration

- F-1 The following comments are for site plan review only. Once the applicant has filed for a building permit and additional information has been provided, code requirements will be based upon the building permit plans and the additional information submitted. If there are any questions, the applicant may contact Charles Cooper, Plan Review Division at Charles.cooper@alexandriava.gov or 703-746-4197.
- C-1 Building and trades permits are required for this project. Five sets of *construction documents* that fully detail the construction as well as layout and schematics of the mechanical, electrical, and plumbing systems shall accompany the permit application(s) The building official shall be notified in writing by the owner if the registered design professional in the responsible charge is changed or is unable to continue to perform the duties.
- C-2 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-5 Required means of egress shall be maintained at all times during construction, demolition, remodeling or alterations and additions to any building.
- C-6 Waste materials shall be removed in a manner which prevents injury or damage to persons, adjoining properties and public rights-of-way.
- C-7 Construction equipment and materials shall be stored and placed so as not to endanger the public, the workers or adjoining property for the duration of the construction project, materials and equipment shall not be placed or stored so as to obstruct access to fire hydrants, standpipes, fire or police alarm boxes, catch basins or manholes,
- C-8 During Construction sites shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible for the street or road fronting the property.
- C-9 The temporary use of streets or public property for the storage or handling of materials or of equipment required for construction or demolition, and the protection provided to the public shall comply with provisions of the applicable governing authority and the building code.

**Transportation and Environmental Services**

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:  
For a Public Alley - The applicant shall contact T&ES, Construction Management & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.  
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

**Alexandria Archaeology**

- F-1 According to Ethelyn Cox in her book *Historic Alexandria Virginia Street by Street*, William Gregory built “four fine frame buildings” at 215, 217, 219, and 221 North Pitt Street in 1854. The property at 217 N. Pitt St. could contain significant archaeological resources that pertain to growth and prosperity of the city in the nineteenth century.
- R-1 The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
- a. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
  - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

**V. ATTACHMENTS**

*1 – Supplemental Materials*

*2 – Application for BAR2015-0171; 217 North Pitt Street*





## DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

**A. Property Information**A1. Street Address 217 North Pitt StreetZone RMA2. 1826x 1.5= 2739Total Lot AreaFloor Area Ratio Allowed by ZoneMaximum Allowable Floor Area**B. Existing Gross Floor Area**

Existing Gross Area*		Allowable Exclusions	
Basement	525	Basement**	
First Floor	525	Stairways**	110
Second Floor	525	Mechanical**	
Third Floor	525	Other**	
Porches/ Other		Total Exclusions	110
<b>Total Gross *</b>	<b>2100</b>		

B1. Existing Gross Floor Area \*  
2100 Sq. Ft.B2. Allowable Floor Exclusions\*\*  
110 Sq. Ft.B3. Existing Floor Area minus Exclusions  
1990 Sq. Ft.  
(subtract B2 from B1)**C. Proposed Gross Floor Area (does not include existing area)**

Proposed Gross Area*		Allowable Exclusions	
Basement	<u>153</u>	Basement**	
First Floor	153	Stairways**	
Second Floor	0	Mechanical**	
Third Floor	0	Other**	
Porches/ Other	0	Total Exclusions	
<b>Total Gross *</b>	<b><u>306</u></b>		

C1. Proposed Gross Floor Area \*  
306 Sq. Ft.C2. Allowable Floor Exclusions\*\*  
0 Sq. Ft.C3. Proposed Floor Area minus Exclusions  
306 Sq. Ft.  
(subtract C2 from C1)**D. Existing + Proposed Floor Area**D1. Total Floor Area (add B3 and C3) 2296 Sq. Ft.D2. Total Floor Area Allowed by Zone (A2) 2739 Sq. Ft.

\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

**F. Open Space Calculations**

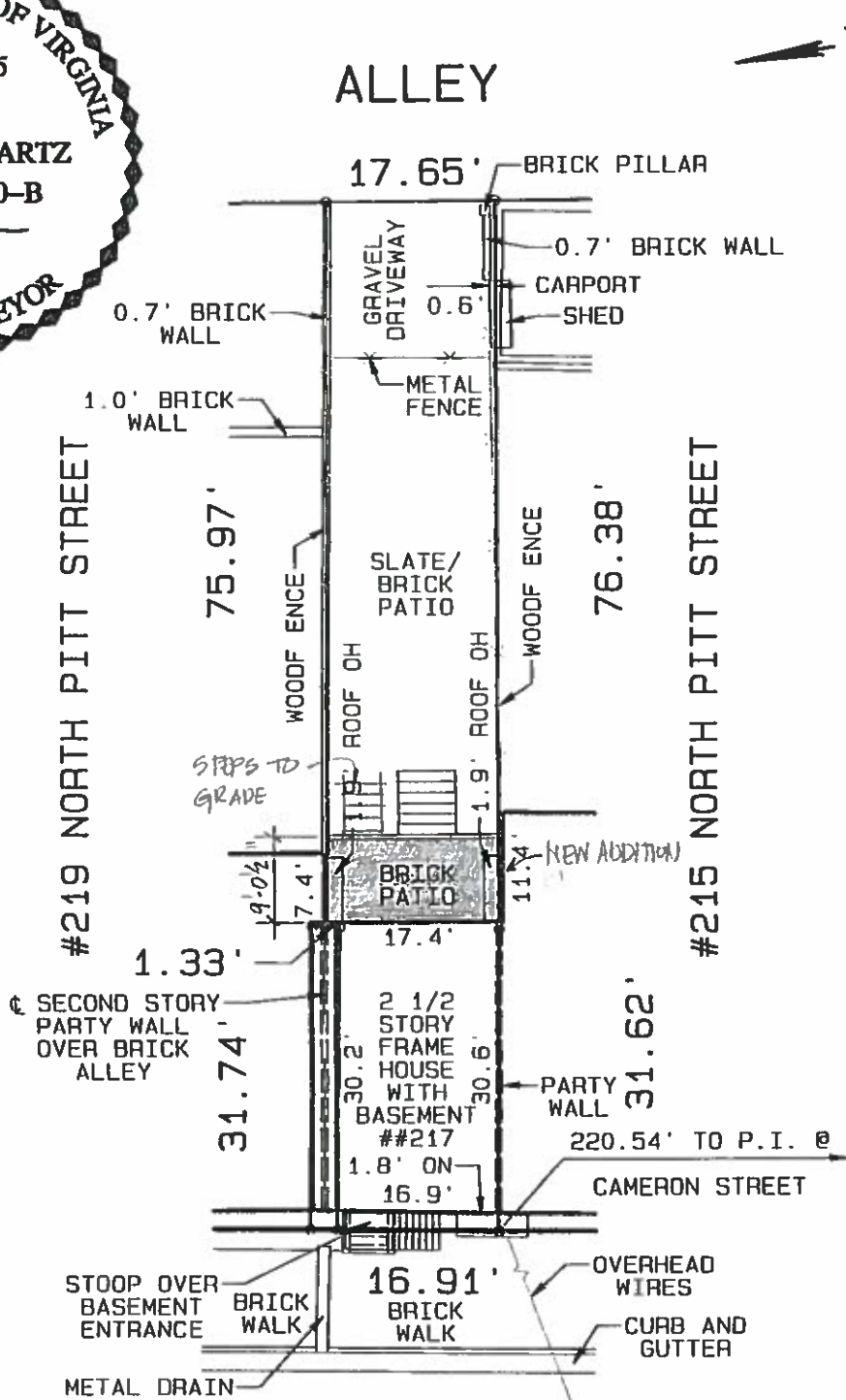
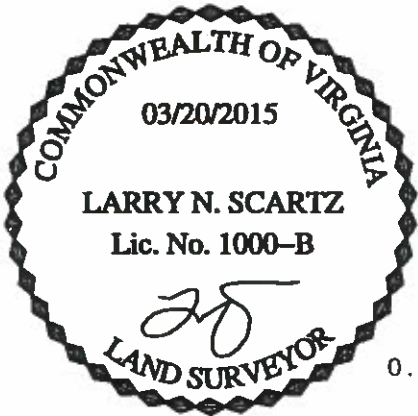
Existing Open Space	<u>794</u>
Required Open Space	639
Proposed Open Space	<u>794</u>

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

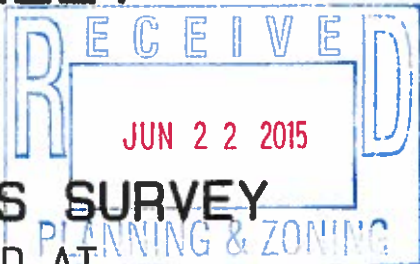
Signature: Date: 6/22/20156/26/2015 Revised

Updated July 10, 2008

COPYRIGHT SCARTZ SURVEYS - THIS IS A SERVICE DOCUMENT AND IS VALID FOR SIX MONTHS FROM DATE ISSUED.  
THIS SURVEY WAS PERFORMED ACCORDING TO THE STANDARDS SET FORTH IN VIRGINIA CODE SECTION 54.1-407.



NORTH PITT STREET



PHYSICAL IMPROVEMENTS SURVEY  
ON THE PROPERTY LOCATED AT  
**#217 NORTH PITT STREET**

CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1"=20'      DATE: MARCH 20, 2015

CASE NAME: HASKELL TRUST  
TO JOBES (OTAW1502089)



NO TITLE REPORT FURNISHED.  
PLAT SUBJECT TO RESTRICTIONS & EASEMENTS OF RECORD OR OTHERWISE.  
FENCE LOCATIONS, IF SHOWN, ARE APPROXIMATE ONLY  
AND DO NOT CERTIFY AS TO OWNERSHIP.

SCARTZ SURVEYS

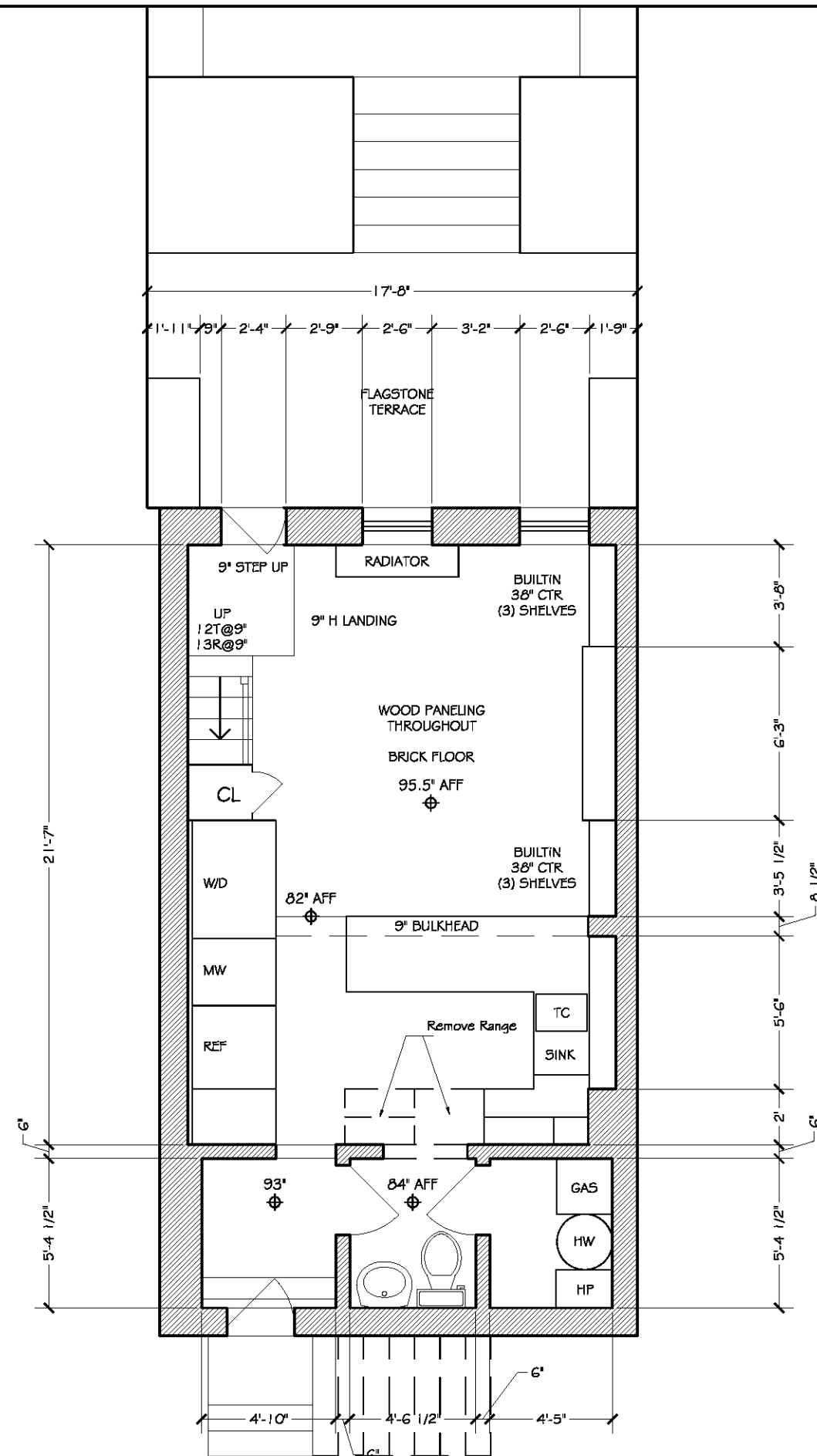
LARRY N. SCARTZ      LOCAL (703) 494-4181  
CERTIFIED LAND SURVEYOR      FAX (703) 494-3330  
WOODBIDGE, VIRGINIA      LARRY.SCARTZ@SCARTZ.COM



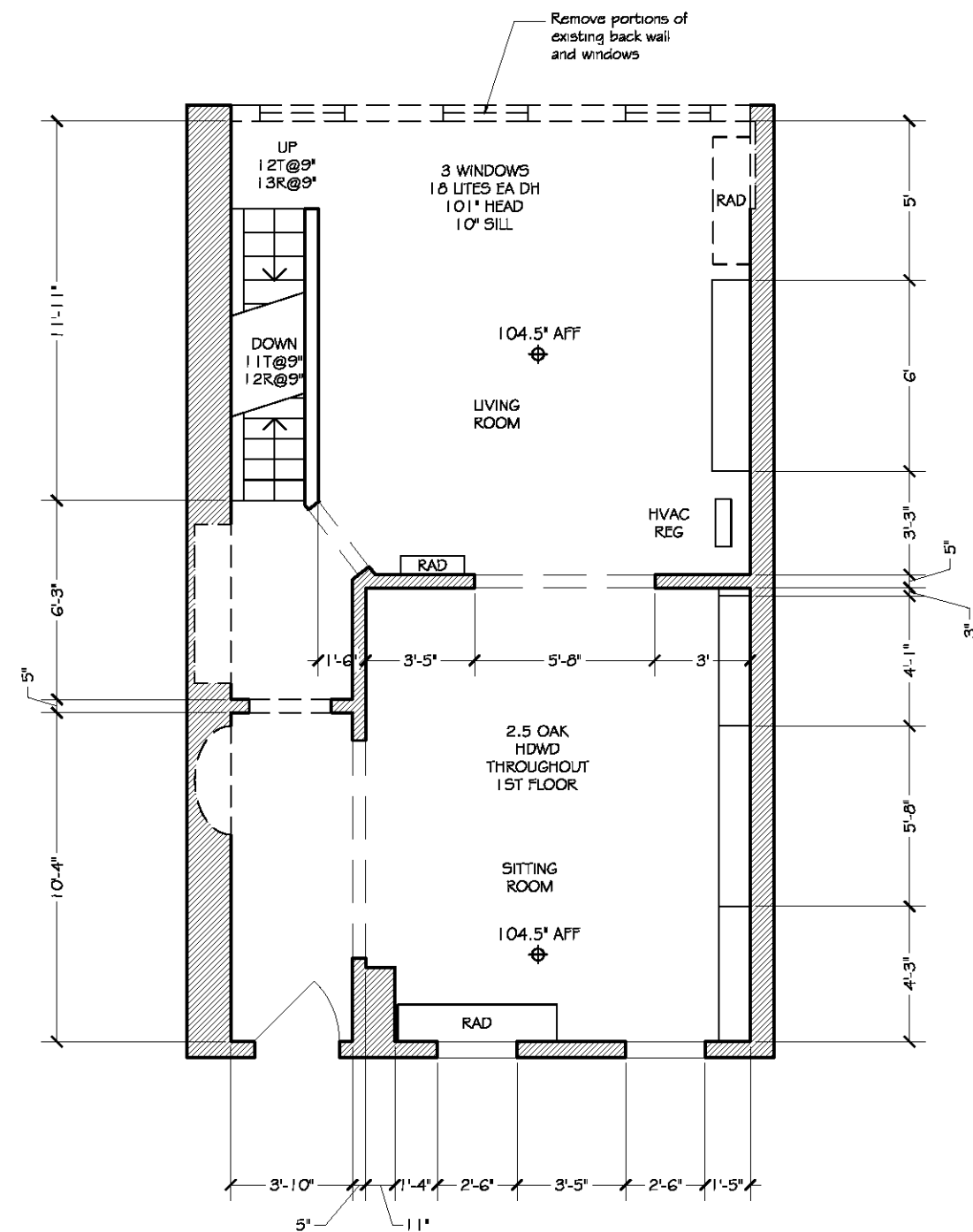


217 N PITT ST

REMOVE PORTION  
OF WALL AND WINDOWS



2 Basement Demolition Plan  
SCALE: 3/16" = 1'-0"



1 First Floor Demolition Plan  
SCALE: 3/16" = 1'-0"



PROJECT

Jobes Residence  
217 North Pitt Street  
Alexandria, VA 22314

DRAWING

Existing Elevations

SUBMISSION

BAR Review

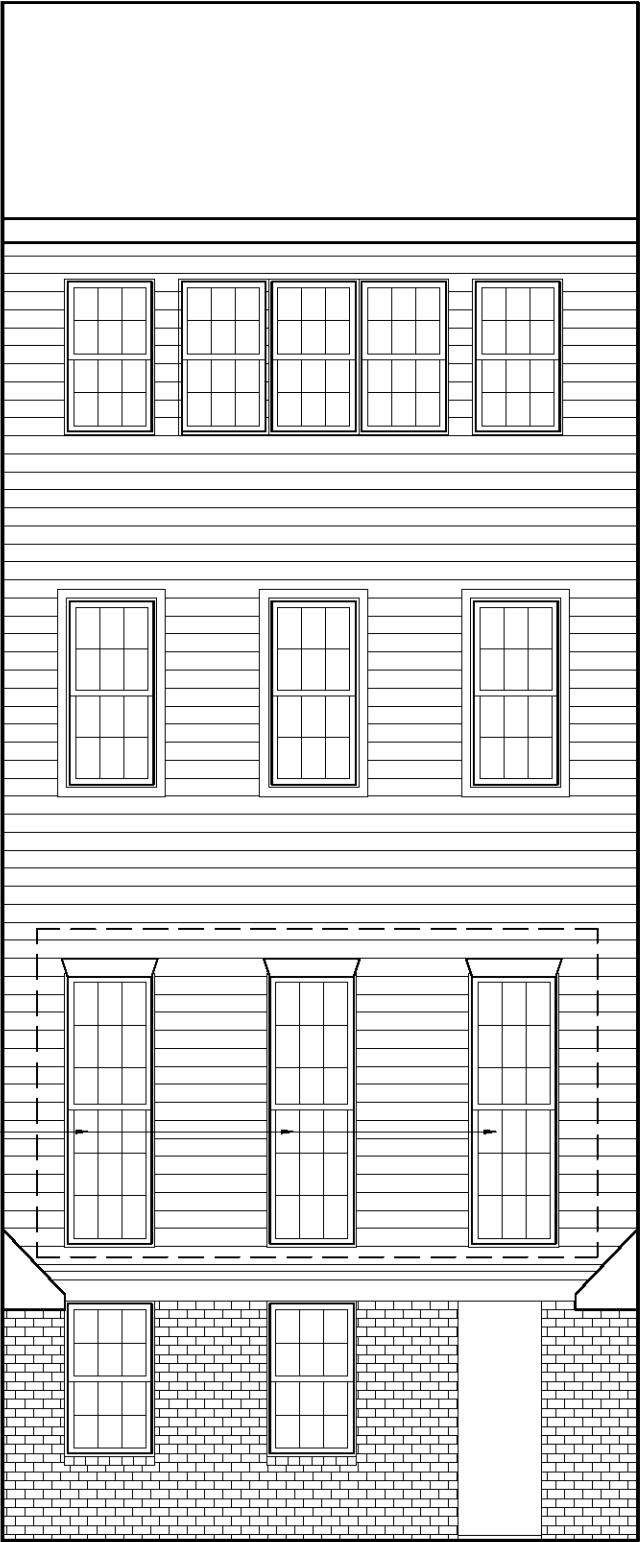
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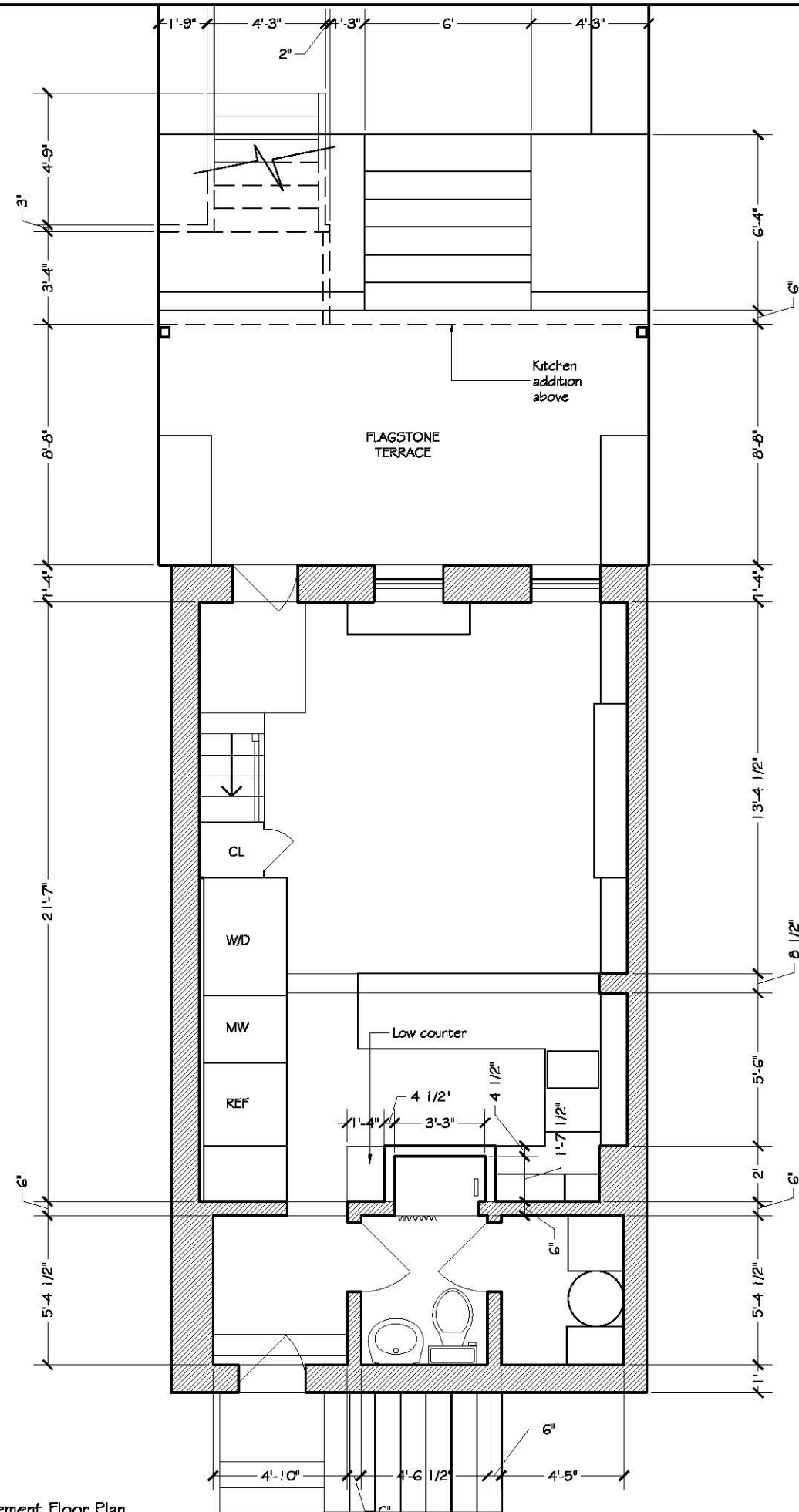
06-01-05

SHEET

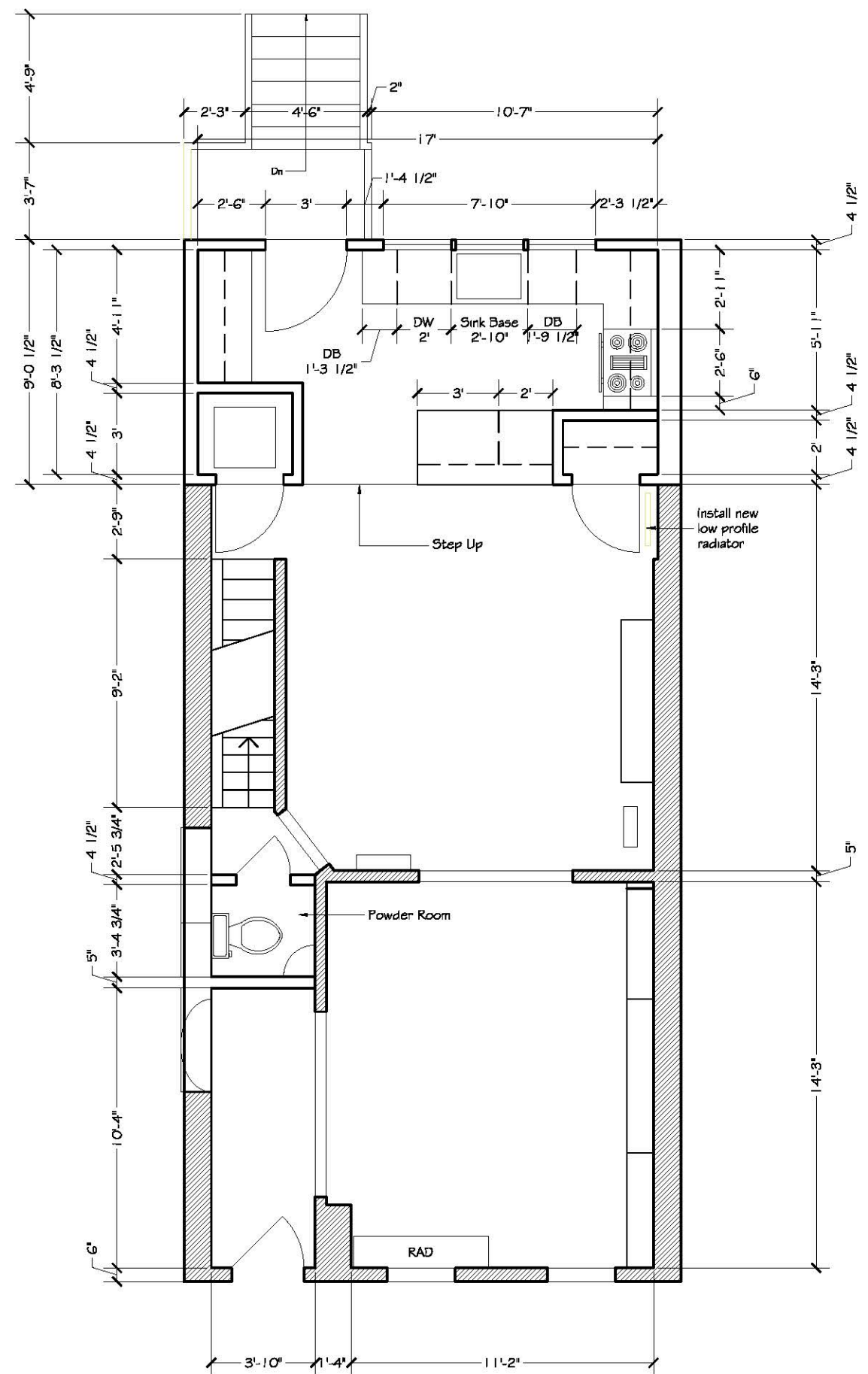
D2

Existing Windows and  
portions of existing  
wall to be removed

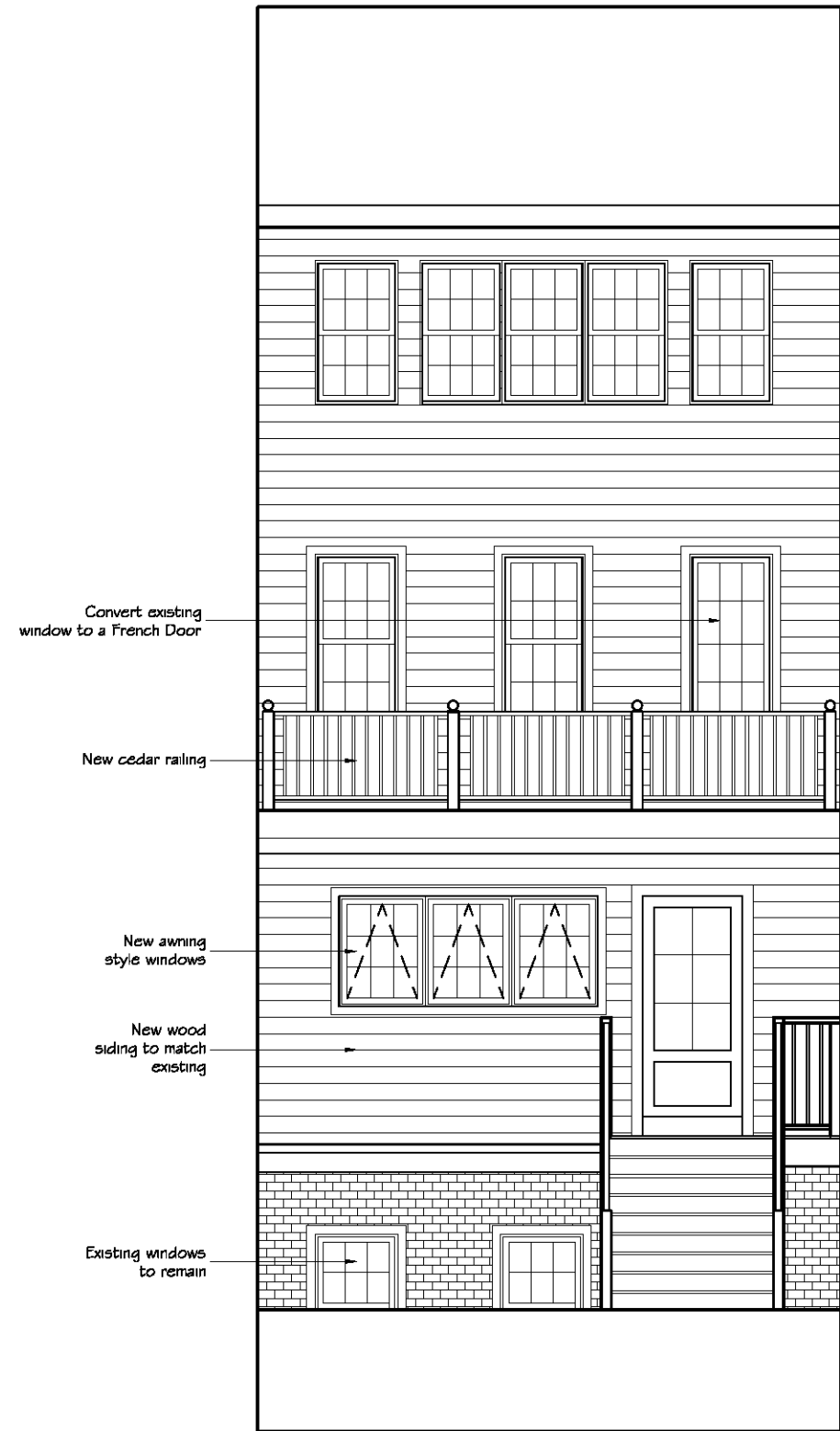




2 Basement Floor Plan  
SCALE: 3/16" = 1'-0"



1 First Floor Plan  
SCALE: 3/16" = 1'-0"



1 Proposed Elevation  
SCALE: 3/16" = 1'-0"

PROJECT

Jobes Residence  
217 North Pitt Street  
Alexandria, VA 22314

DRAWING

Proposed Elevations

SUBMISSION

BAR Review

DATE

06-01-05

SHEET



ADDRESS OF PROJECT: 217 N. PITT STREET  
 TAX MAP AND PARCEL: 0104.04-10-46 ZONING: RM

## APPLICATION FOR: (Please check all that apply)

- ☐ CERTIFICATE OF APPROPRIATENESS
- ☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
 (Required if more than 25 square feet of a structure is to be demolished/impacted)
- ☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
- ☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
 (Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☒ Business (Please provide business name & contact person)

Name: Christine JOBES

Address: 217 N. PITT

City: Alexandria State: VA Zip: 22314

Phone: \_\_\_\_\_ E-mail: christine@craftedarchitecture.com

Authorized Agent (if applicable): ☐ Attorney ☒ Architect ☐ \_\_\_\_\_

Name: Christine Kelly

Phone: 703-768-7371

E-mail: christine@craftedarchitecture.com

## Legal Property Owner:

Name: Christine Jones

Address: 217 N Pitt Street

City: Alexandria State: VA Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☒ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☐ NEW CONSTRUCTION  
☐ EXTERIOR ALTERATION: *Please check all that apply.*  
     ☐ awning                      ☐ fence, gate or garden wall    ☐ HVAC equipment                      ☐ shutters  
     ☐ doors                        ☐ windows                              ☐ siding                                      ☐ shed  
     ☐ lighting                      ☐ pergola/trellis                      ☐ painting unpainted masonry  
     ☐ other \_\_\_\_\_  
☐ ADDITION  
☒ DEMOLITION/ENCAPSULATION  
☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

REMOVE A PORTION OF THE EXISTING REAR WALL AND WINDOWS TO PERMIT CONSTRUCTION OF A NEW ONE STORY KITCHEN ADDITION.

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☒ Survey plat showing the extent of the proposed demolition/encapsulation.  
☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.  
☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.  
☒ ☐ Description of the reason for demolition/encapsulation.  
☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☒ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_
- ☐ ☒ Square feet of existing signs to remain: \_\_\_\_\_
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**Signature: COlesPrinted Name: Christine KellyDate: 6/1/2015



# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

	Name	Address	Percent of Ownership
1.	Christine Jones	217 N Pitt Street	100%
2.			
3.			

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 217 N Pitt Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

	Name	Address	Percent of Ownership
1.	Christine Jones	217 N Pitt St.	100%.
2.			
3.			

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.


	Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.			
2.			
3.			

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

6/1/2015  
Date

Christine Kelly  
Printed Name

  
Signature