

ADDRESS OF PROJECT: 2 and 3A Duke Street

TAX MAP AND PARCEL: 075.03-04-01, 04

ZONING: W-1

APPLICATION FOR: (Please check all that apply)

☒ CONCEPT REVIEW WORK SESSION

CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business (Please provide business name & contact person)

Name: RTS Associates LLC (Contract Purchaser)

Address: c/o EYA, Inc., 4800 Hampden Lane, Suite 300

City: Bethesda State: MD Zip: 20814

Phone: (301) 634-8600 E-mail: gshron@eya.com

Authorized Agent (if applicable): ☒ Attorney ☐ Architect ☐ _____

Name: Attorney: Jonathan P. Rak
Architect: Patrick Burkhart

Phone: Attorney: (703) 712-5411
Architect: (202) 342-2200

E-mail: Attorney: jrak@mcguirewoods.com
Architect: pburkhart@sbarnes.com

Legal Property Owner:

Name: Graham Holdings Company

Address: 1300 17th Street North

City: Arlington State: VA Zip: 22209

Phone: (202) 334-6000 E-mail: _____

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
☐ Yes ☒ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☒ No Is there a homeowner's association for this property?
☐ Yes ☒ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☒ **NEW CONSTRUCTION**
☐ **EXTERIOR ALTERATION:** *Please check all that apply.*
 ☐ awning ☐ fence, gate or garden wall ☐ HVAC equipment ☐ shutters
 ☐ doors ☐ windows ☐ siding ☐ shed
 ☐ lighting ☐ pergola/trellis ☐ painting unpainted masonry
 ☐ other _____
☐ **ADDITION**
☐ **DEMOLITION/ENCAPSULATION**
☐ **SIGNAGE**

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

This site consists of tax map 075.03-04-01 and 075.03-04-04 and is identified as a redevelopment site under the Waterfront Small Area Plan which is zoned W-1 / Waterfront Mixed Use. This application is for a concept review work session of the project's historical interpretation and site features. The design team worked diligently to incorporate feedback and requirements from the Waterfront Plan, DSUP #2014-0006 and BAR to blend "modern design inspired by historic precedent" with traditional materials. This resulted in features with a contemporary edge which honor the historical significance of the waterfront such as the: 1) industrial use time line, 2) historic shoreline and 3) seating inspired by the structure and materials of the ship building industry.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☒ Survey plat showing the extent of the proposed demolition/encapsulation.
☐ ☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☐ ☒ Description of the reason for demolition/encapsulation.
☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☒ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
 - ☐ ☒ FAR & Open Space calculation form.
 - ☐ ☒ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
 - ☐ ☒ Existing elevations must be scaled and include dimensions.
 - ☐ ☒ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
 - ☐ ☒ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
 - ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☒ Linear feet of building: Front: _____ Secondary front (if corner lot): _____
 - ☐ ☒ Square feet of existing signs to remain: _____
 - ☐ ☒ Photograph of building showing existing conditions.
 - ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
 - ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
 - ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
 - ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☒ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
 - ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☐ ☒ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
 - ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
 - ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
*Filing fee not applicable
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: Jonathan P. Rak

Date: June 29, 2015

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. See attachment		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. See attachment		
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. See attachment		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

June 29, 2015
Date

Jonathan P. Rak
Printed Name


Signature

Disclosure Attachment for Robinson Terminal South
Application, Board of Architectural Review
Permit to Demolish

Property Owner

Graham Holdings Company (GHC), formerly known as the Washington Post Company
(publicly traded company; 100% owner of the property)*
1300 17th Street North, Arlington, Virginia 22209

Donald E. Graham (Owner of 22.2% of GHC)
1300 17th Street North, Arlington, Virginia 22209

Applicant

RT South Associates LLC, A Delaware limited liability company
Address: c/o EYA, Inc.
4800 Hampden Lane, Suite 300, Bethesda, MD 20814

RT Member LLC, a Delaware limited liability company (100% owner of Applicant)
Address: c/o EYA, Inc.
4800 Hampden Lane, Suite 300, Bethesda, MD 20814

EYA RT Investments LLC, a Delaware limited liability company
(17% owner of RT Member LLC)
Address: c/o EYA, Inc.
4800 Hampden Lane, Suite 300, Bethesda, MD 20814

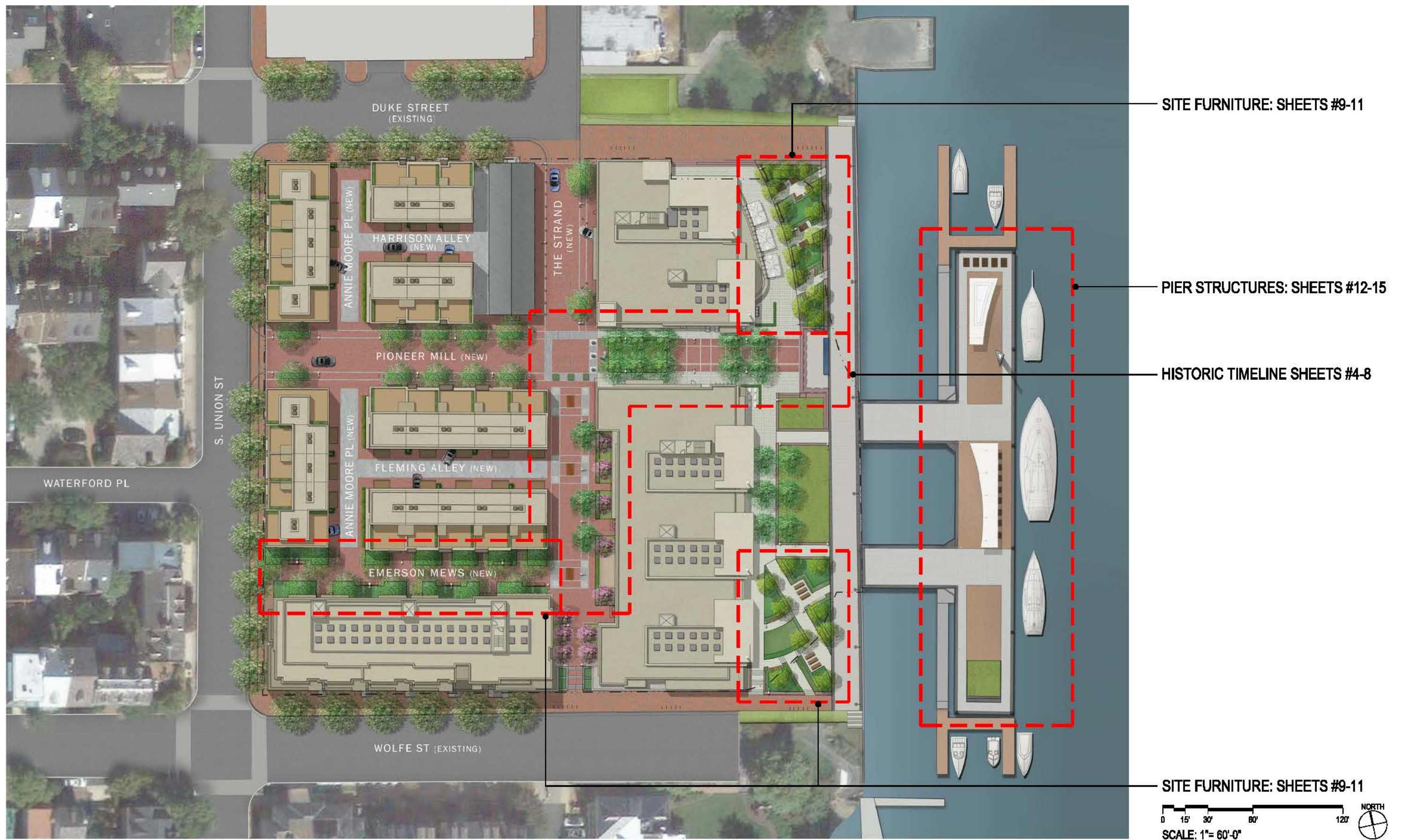
JBG/RT member, L.L.C., a Delaware limited liability company
(83% owner of RT Member LLC)
Address: c/o The JBG Companies
4445 Willard Avenue, Suite 400, Chevy Chase, Maryland 20815

*Tax map indicates that Robinson Terminal Warehouse LLC (formerly subsidiary of
GHC) owns the 226 Strand parcel. GHC is now the owner of this parcel.

ROBINSON TERMINAL SOUTH

Alexandria, VA

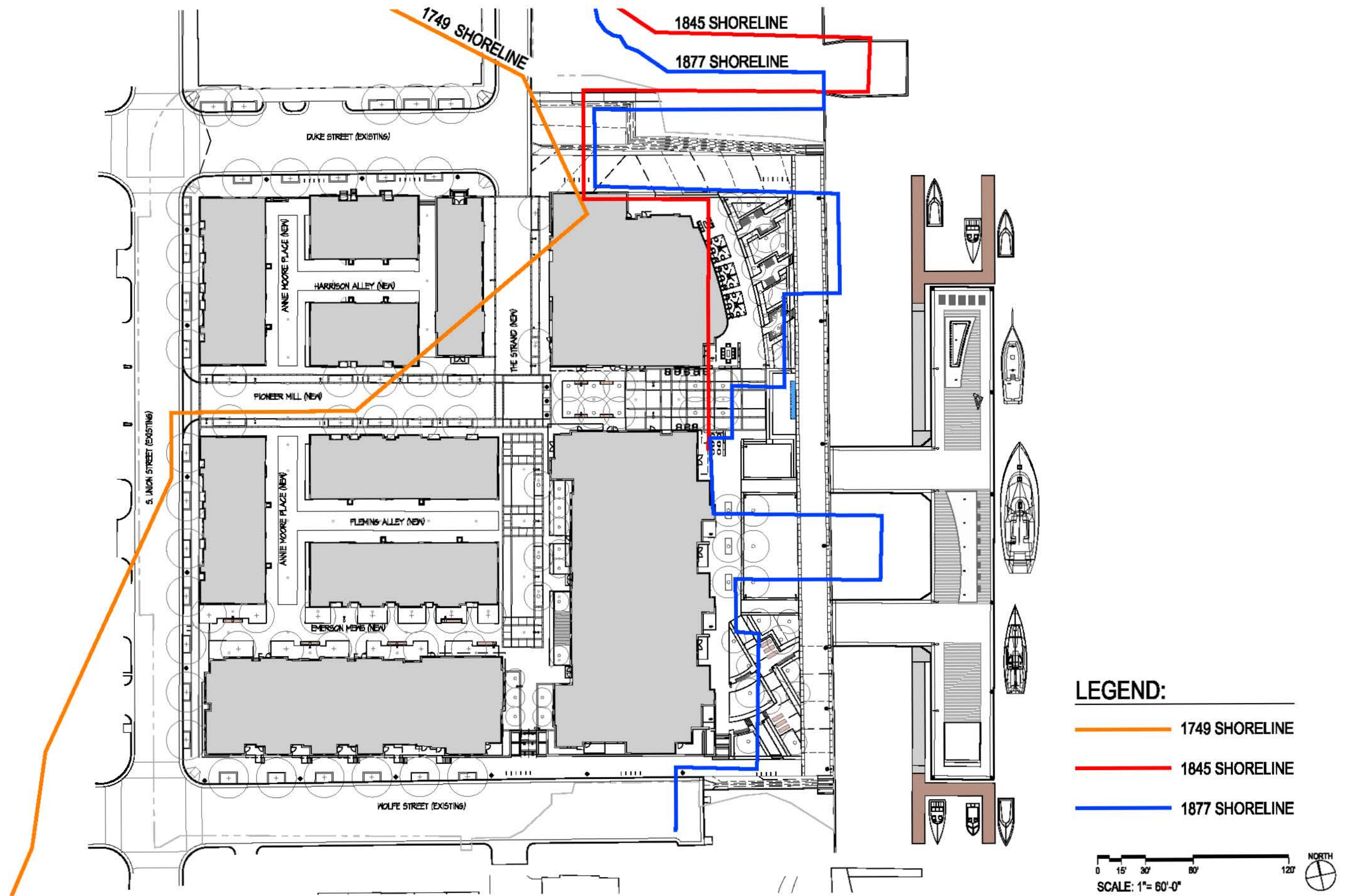
HISTORIC INTERPRETATION AND SITE FINISHES

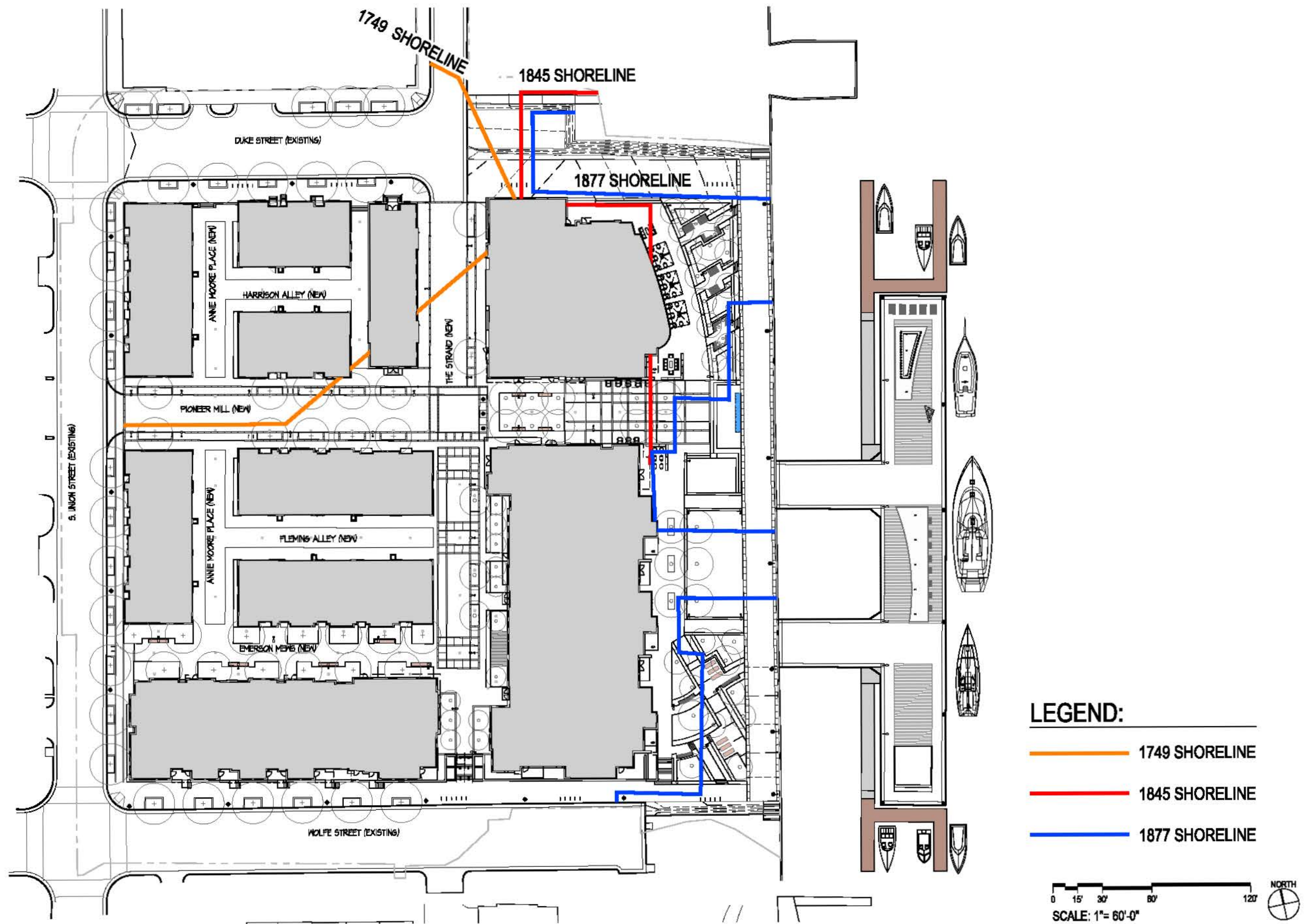


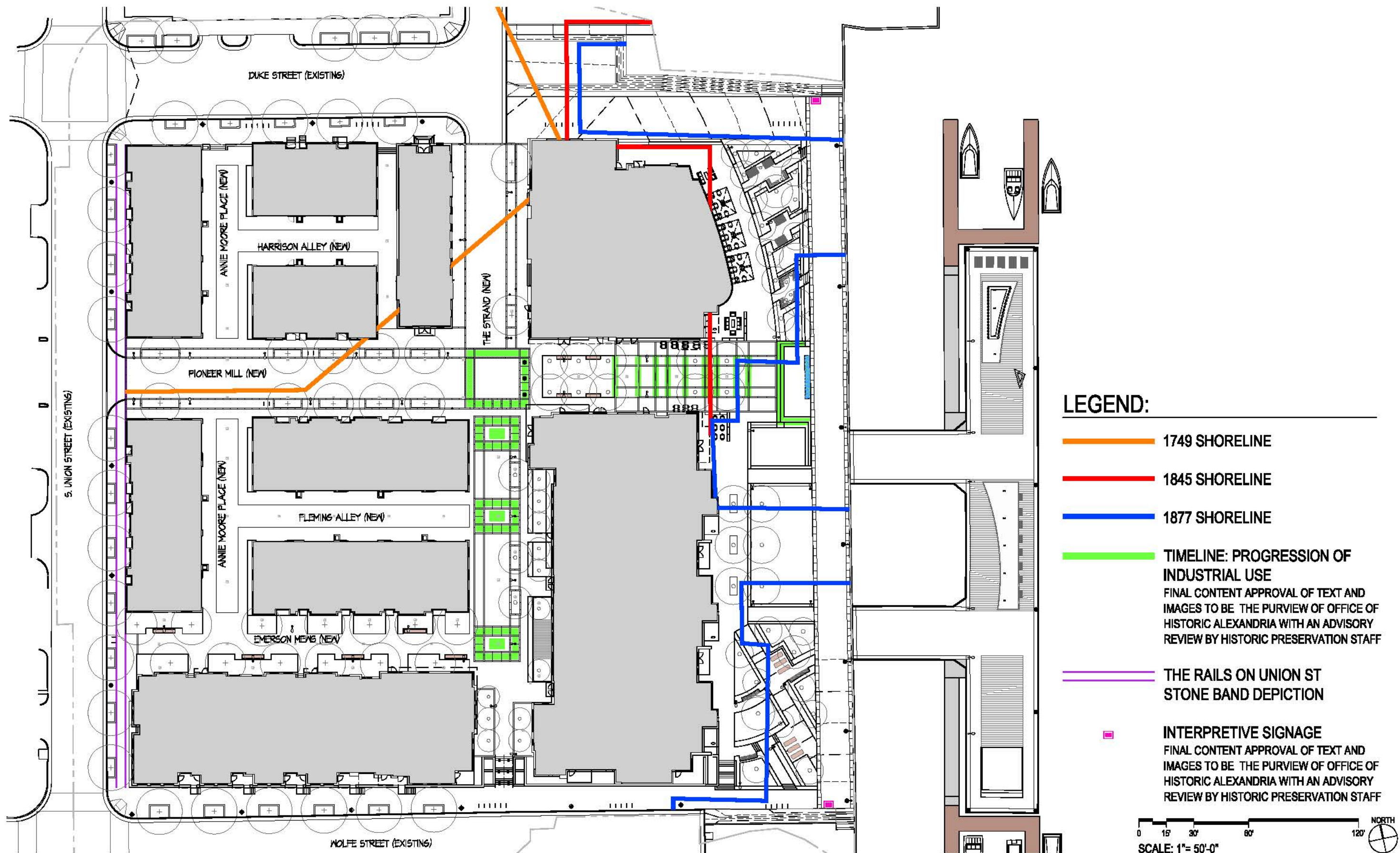
ROBINSON TERMINAL SOUTH - ALEXANDRIA, VA

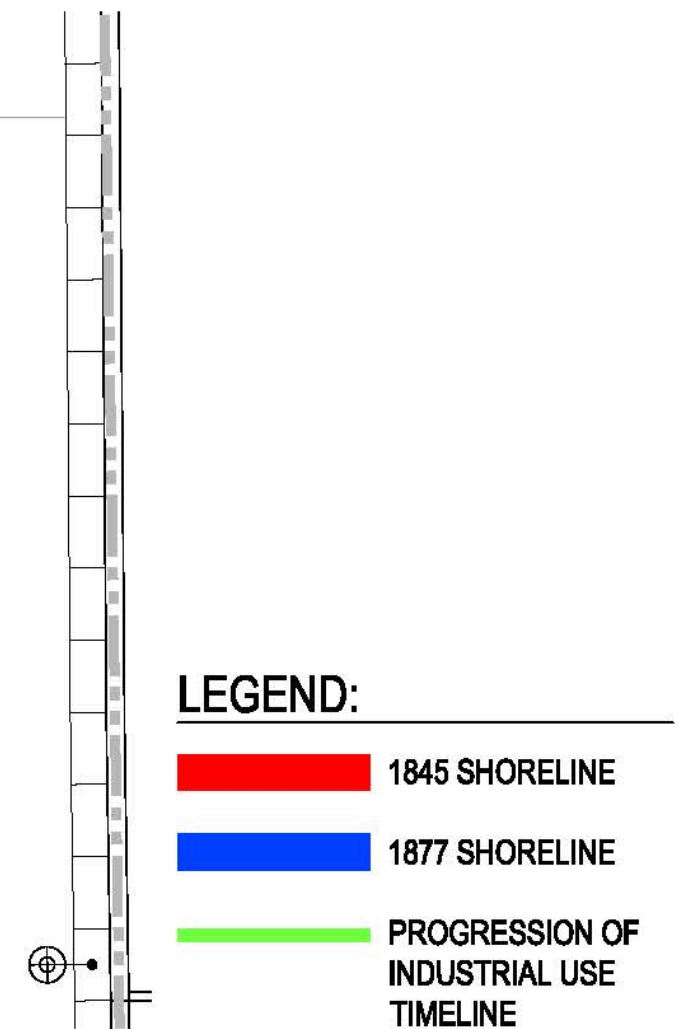
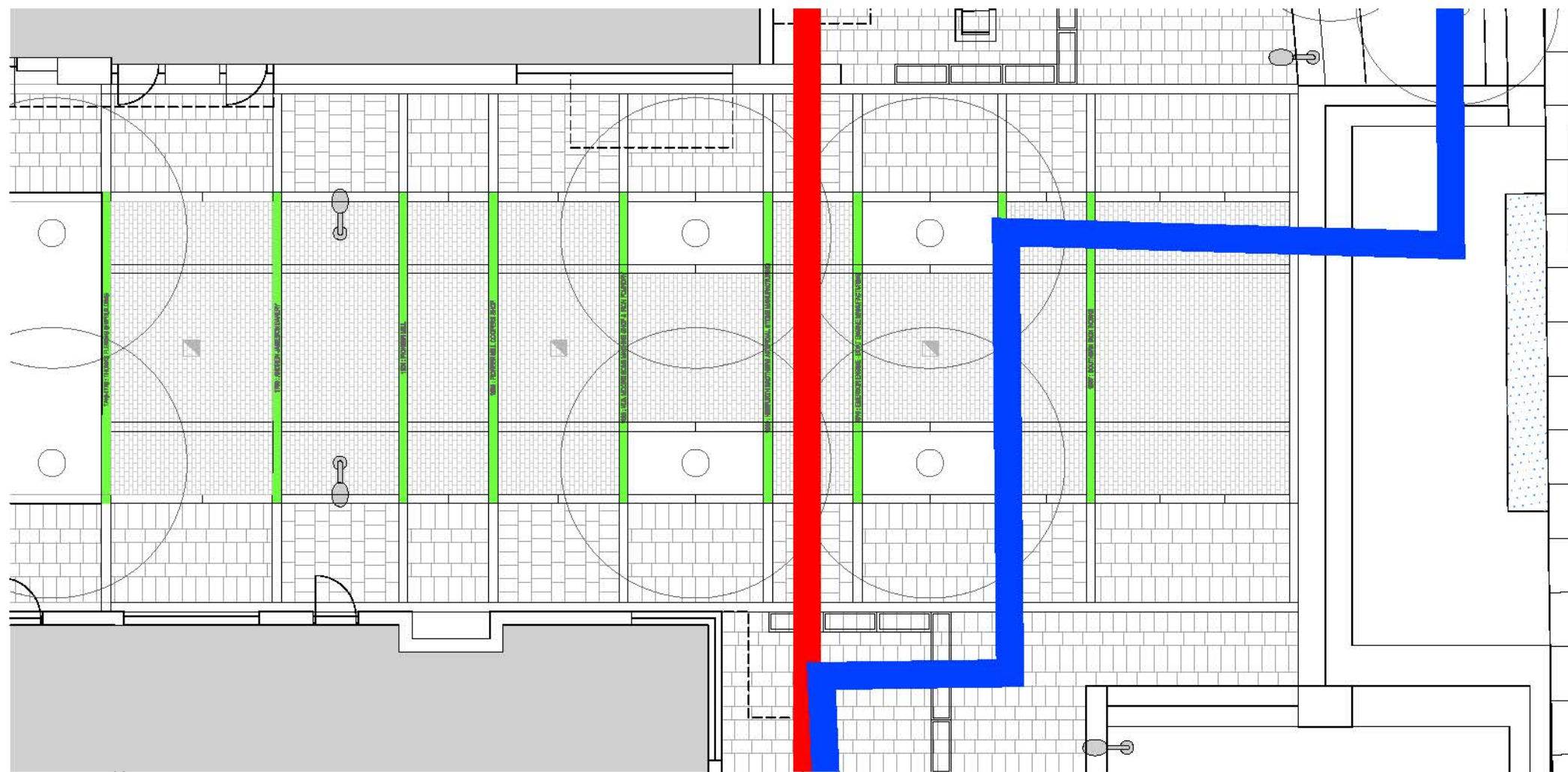
BOARD OF ARCHITECTURAL REVIEW: CERTIFICATE OF APPROPRIATENESS

SITE PLAN | 1





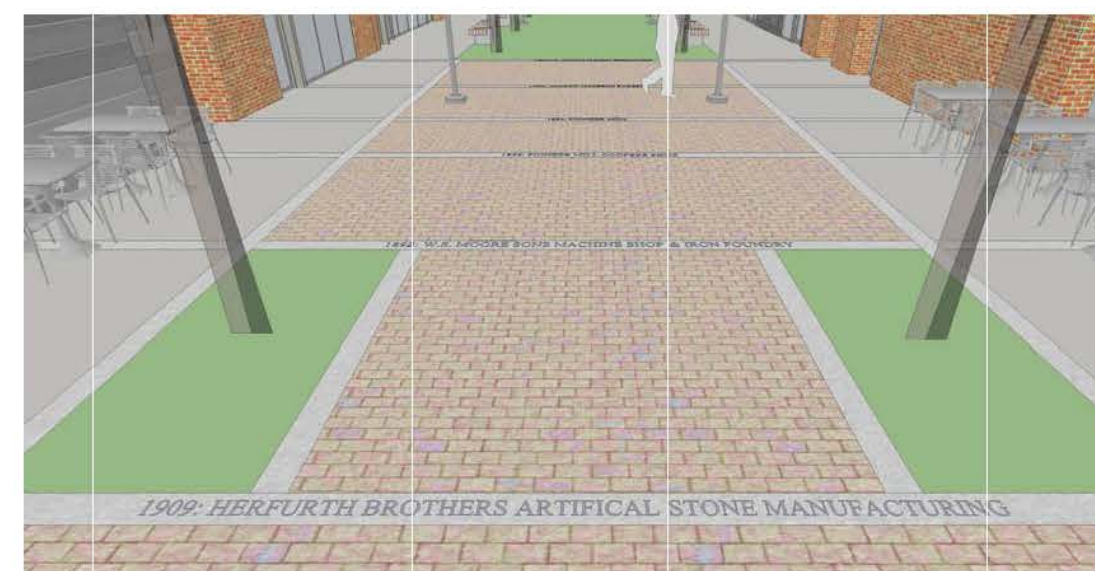




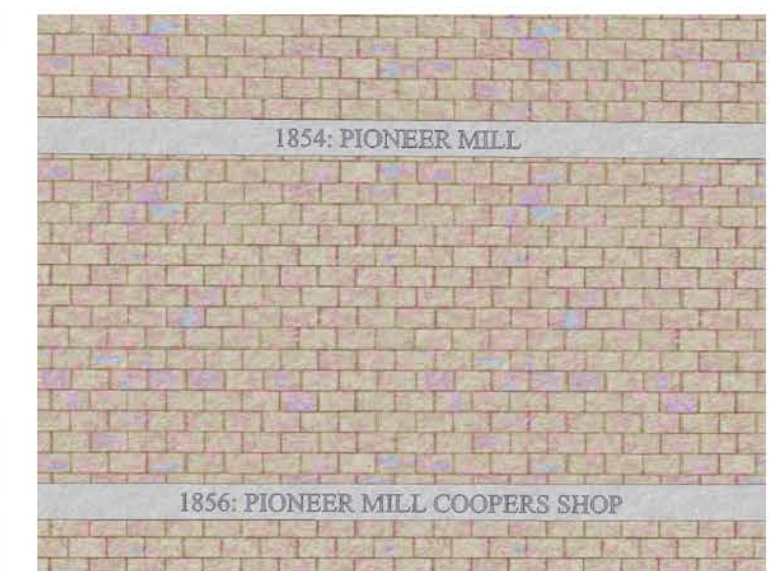
1 PROGRESSION OF INDUSTRIAL USE TIMELINE
SCALE: 3/32"=1'-0"



2 TIMELINE-VIEW FROM STRAND EXTENSION
SCALE: NTS

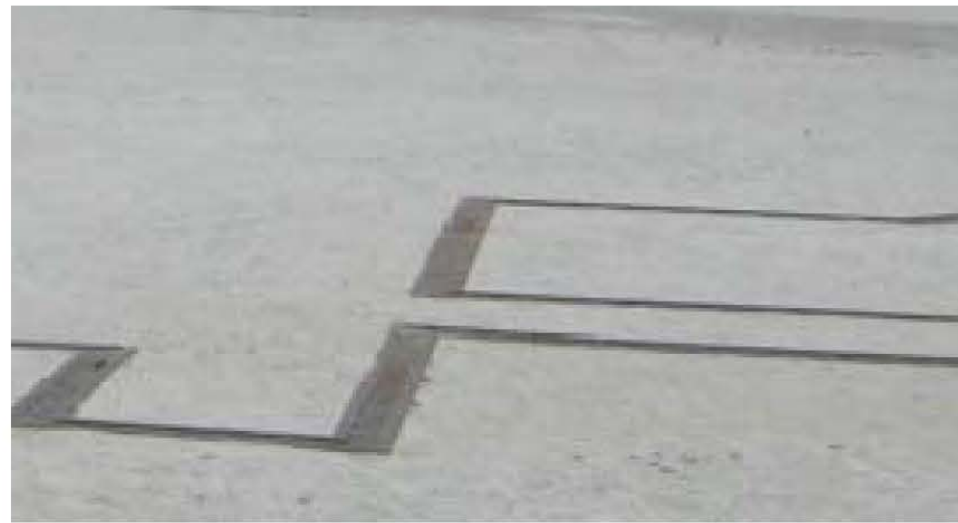


3 VIEW OF TIMELINE
SCALE: NTS



4 VIEW OF TIMELINE
SCALE: NTS

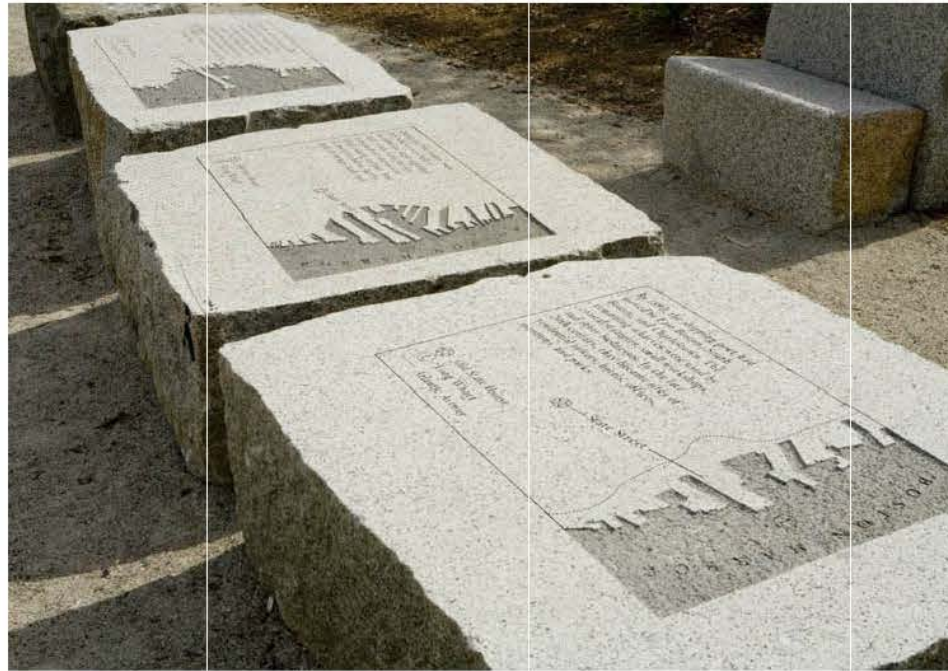




HISTORIC EVENTS & SHORELINE IN PAVEMENT COMMEMORATION - METAL PRECEDENT



HISTORIC EVENTS & SHORELINE IN PAVEMENT COMMEMORATION - STONE PRECEDENT



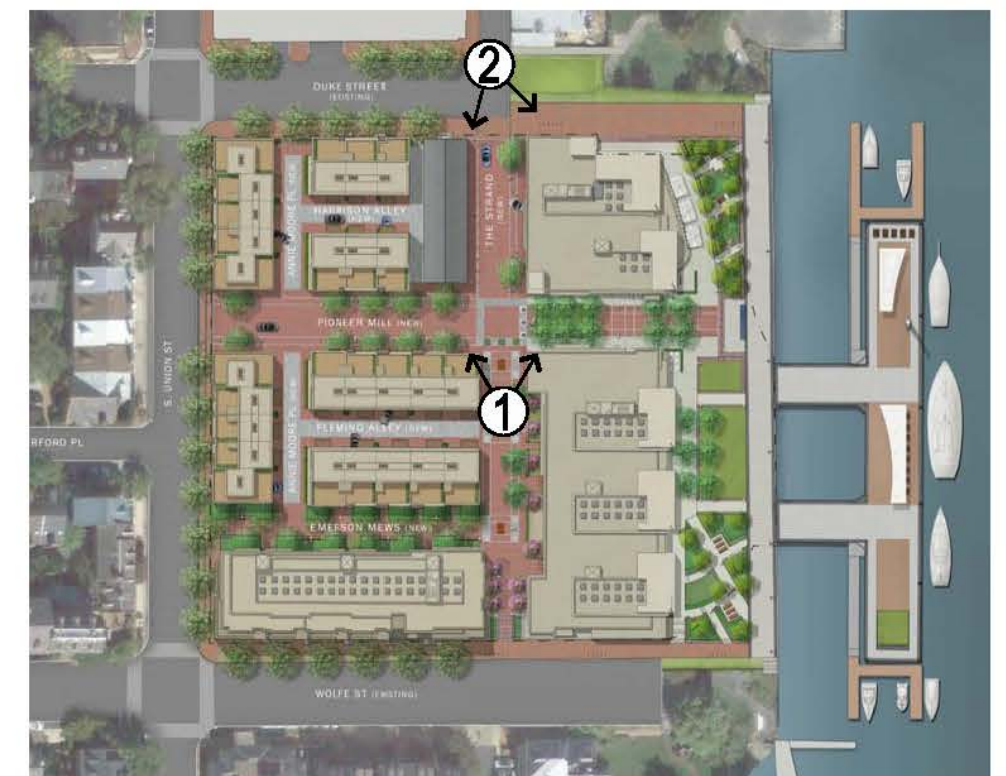
SITE SEATWALLS, STEPS AND FOUNTAIN COMMEMORATION - STONE PRECEDENT



1 AERIAL VIEW OF HISTORIC SHORELINE
SCALE: NTS



2 AERIAL VIEW OF HISTORIC SHORELINE
SCALE: NTS



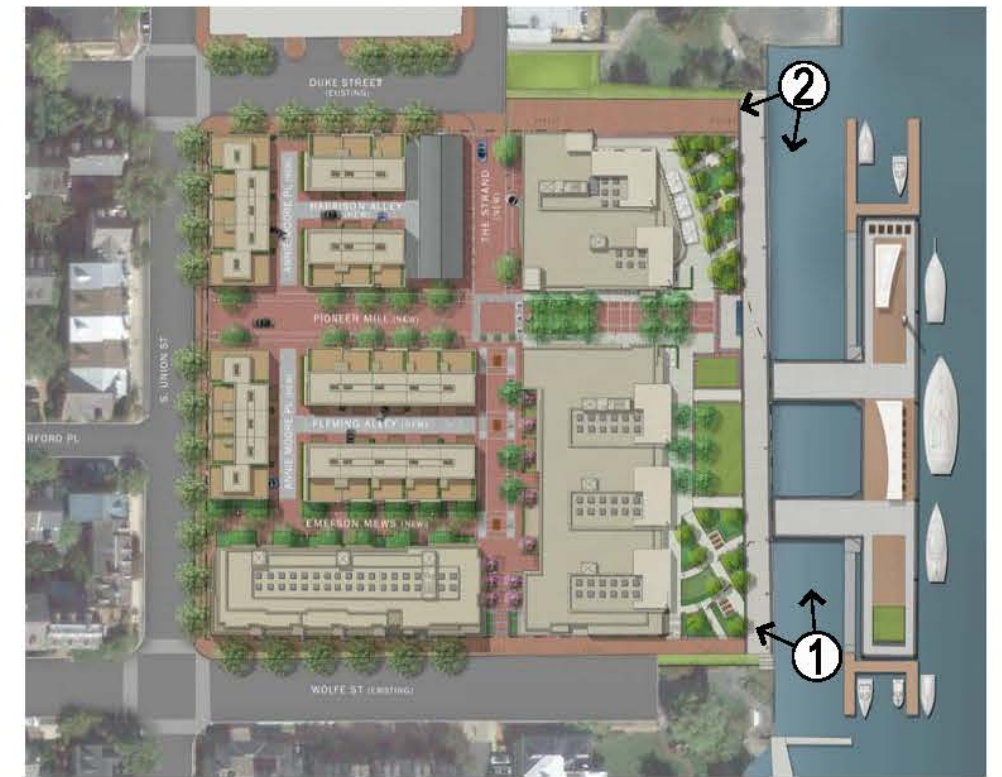
KEY PLAN



1 AERIAL VIEWS OF HISTORIC SHORELINE DELINEATION
SCALE: NTS



2 AERIAL VIEWS OF HISTORIC SHORELINE DELINEATION
SCALE: NTS



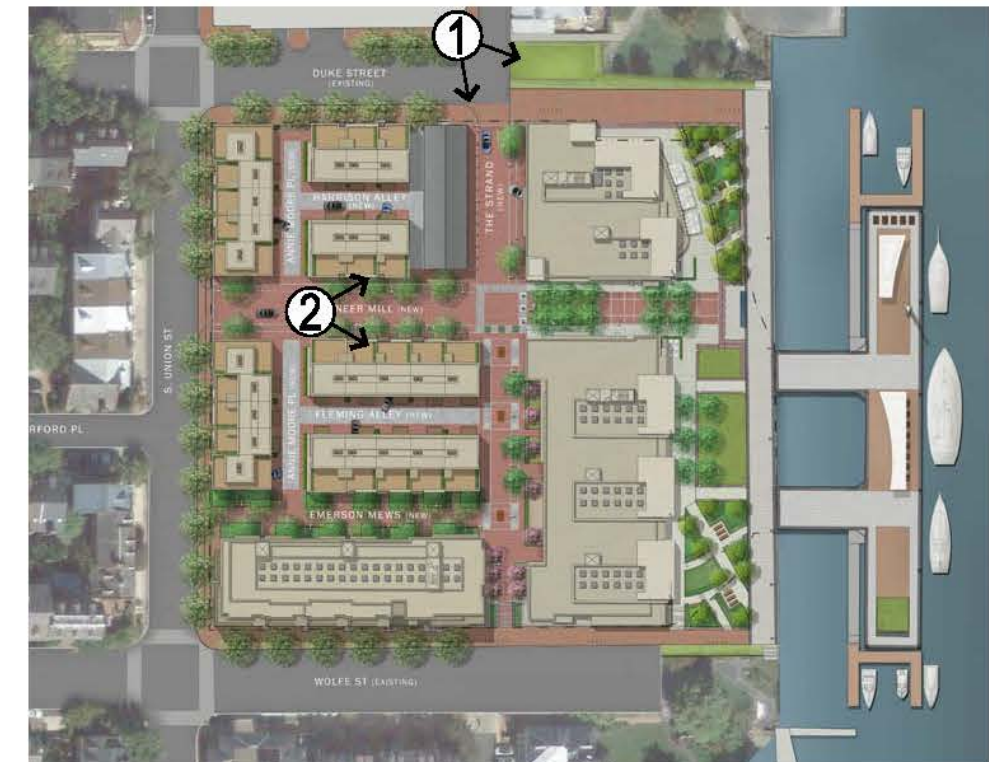
KEY PLAN NORTH



1 THE EXPERIENCE OF THE HISTORIC SHORELINE – DUKE & STRAND
SCALE: NTS



2 THE EXPERIENCE OF THE HISTORIC SHORELINE AT THE STRAND
SCALE: NTS



KEY PLAN
NORTH



1 THE RAILS ON UNION STREET – AERIAL
SCALE: NTS



2 THE EXPERIENCE OF THE RAILS ON UNION STREET
SCALE: NTS



3 THE EXPERIENCE OF THE RAILS ON UNION STREET
SCALE: NTS



KEY PLAN





● BOLLARD
TYPE: B1 SERIES - COLOR TBD
MFR: FAIR WEATHER SITE
FURNISHING - CITY
STANDARD
LOCATION: THE STRAND



● NAUTICAL BOLLARD - INSPIRATIONS
TYPE: TBD
MFR: TBD
LOCATION: INTERSECTION OF PIONEER MILL
AND THE STRAND



● NAUTICAL BOLLARD - INSPIRATIONS
TYPE: TBD
MFR: RELIANCE FOUNDRY OR EQ
LOCATION: PIER



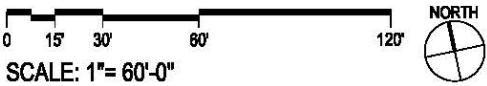
●● TRASH AND RECYCLING RECEPTACLES
TYPE: SD - 42 LITTER RECEPTACLE
MFR: VICTOR STANLEY - CITY STANDARD
LOCATION: INTERSECTION OF UNION WITH DUKE AND WOLFE (R.O.W.)



● BIKE RACK
TYPE: BK-6 BIKE RACK
MFR: VICTOR STANLEY - CITY OF
ALEXANDRIA APPROVED
VENDORS LIST
LOCATION: UNION, DUKE AND WOLFE
PIONEER MILL



●● TRASH AND RECYCLING RECEPTACLES
TYPE: PARC VUE LITTER RECEPTACLE
MFR: LANDSCAPE FORMS
LOCATION: PIONEER MILL, MEWS, WATERFRONT GARDENS





CANTO LED PEDESTRIAN POLE LIGHT
 POLE: 18'-0" STRAIGHT
 MFR: HESS AMERICA
 LOCATION: STRAND, MEWS, WATERFRONT GARDENS

CANTO G 450 LED PEDESTRIAN POLE LIGHT
 POLE: 17'-0" ARCHING
 MFR: HESS AMERICA
 LOCATION: PIER

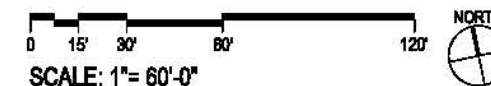
CANTO 450 LED WALL MOUNTED LIGHT
 POLE: N/A
 MFR: HESS AMERICA
 LOCATION: ALLEYS



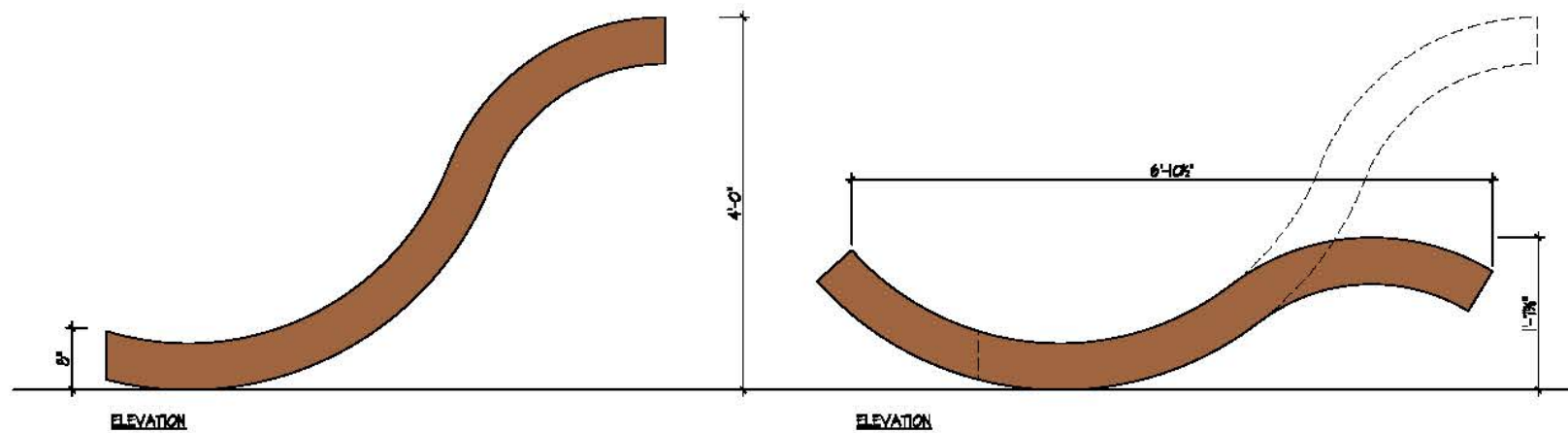
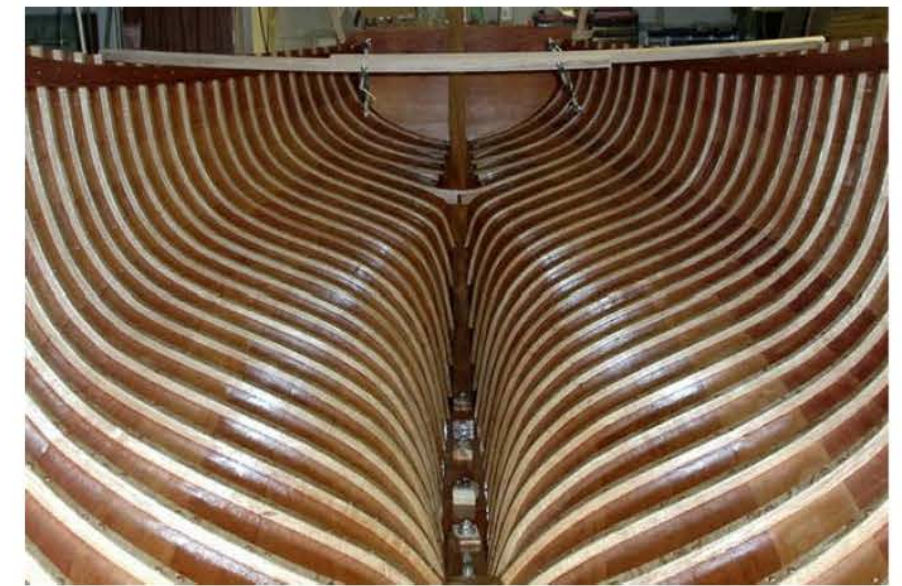
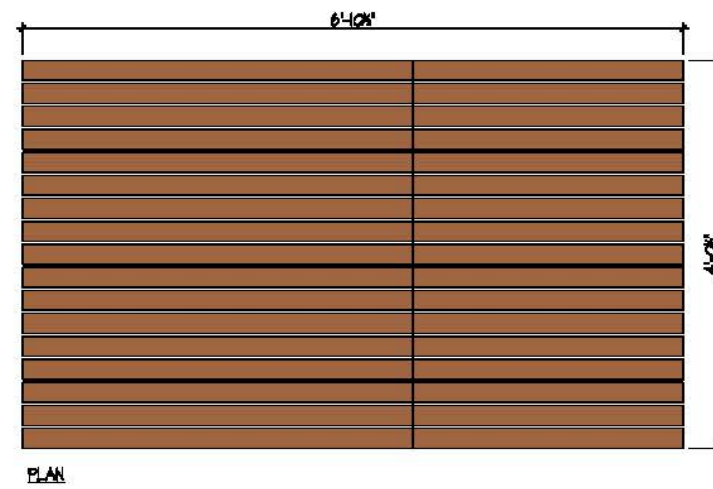
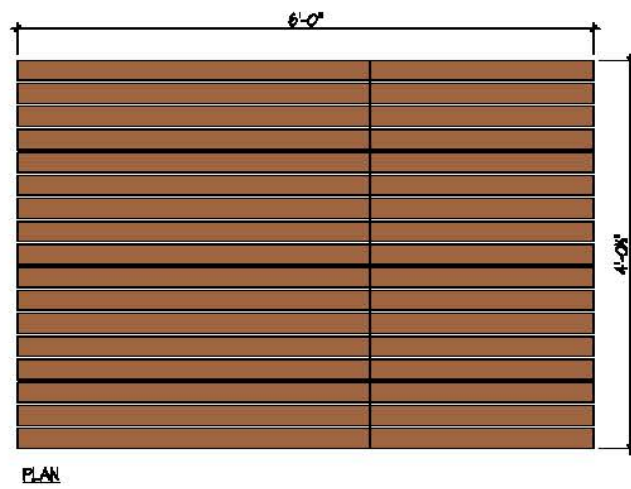
GADSBY CITY OF ALEXANDRIA GAS STREET LIGHT
 POLE: VIRGINIA DOMINION POWER FLUTED STREET POLE
 MFR: HADCO
 LOCATION: UNION, DUKE, WOLFE STREETS (R.O.W.)

MUNICH PENDANT POLE LIGHT - ALT A
 POLE: 12'-0" HIGH CENTRAL PARK
 MFR: ANTIQUE STREET LAMPS
 LOCATION: PROMENADE (BY OLIN)

TEAR DROP - ALT B
 POLE: ALEXANDRIA STANDARD
 MFR: HADCO
 LOCATION: PROMENADE (BY OLIN)



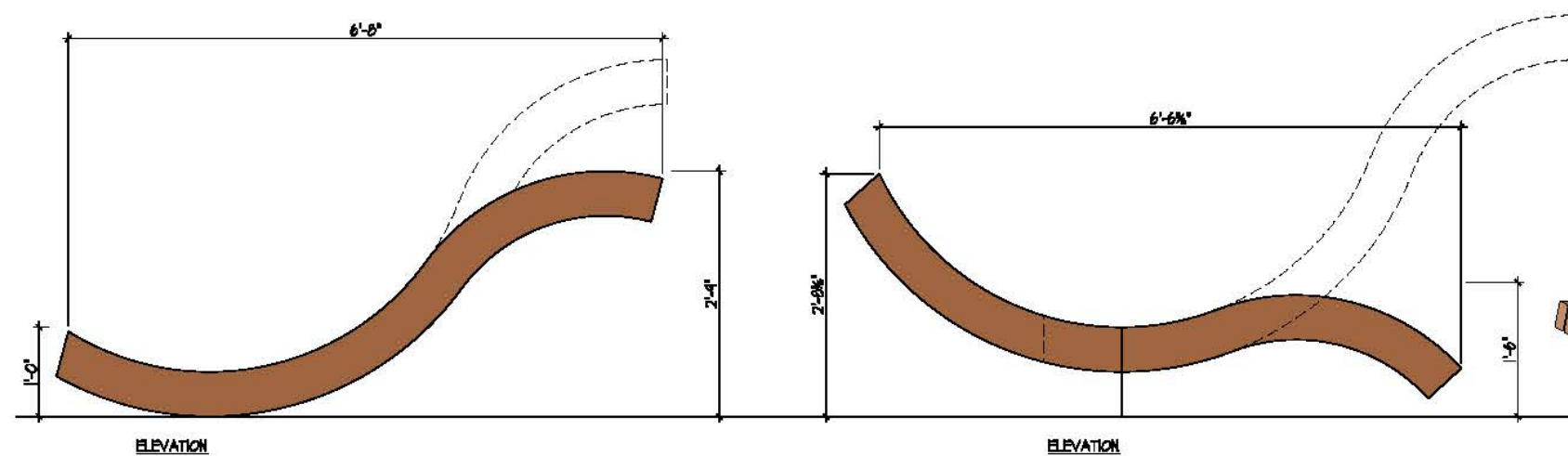




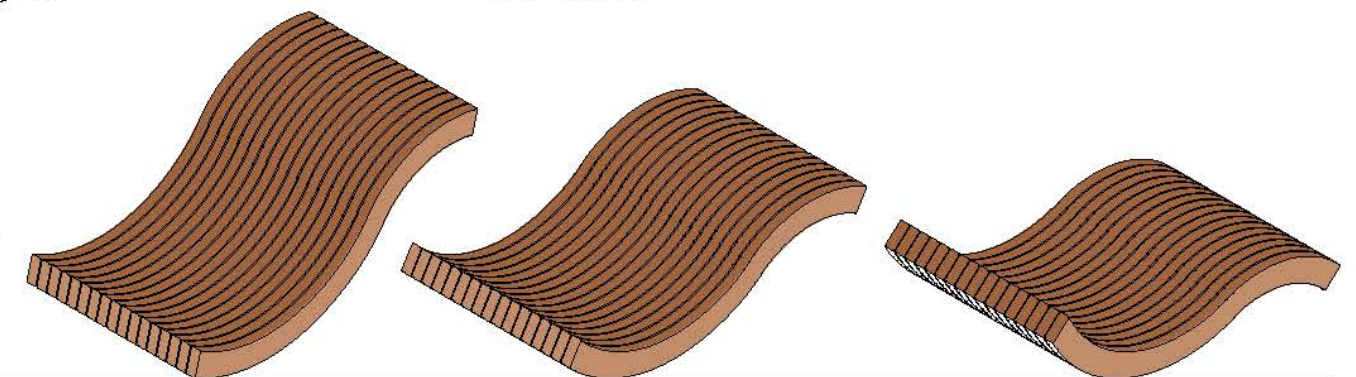
1 SHIP BUILDING STRUCTURE STUDIES
SCALE: 1/2"=1'-0"



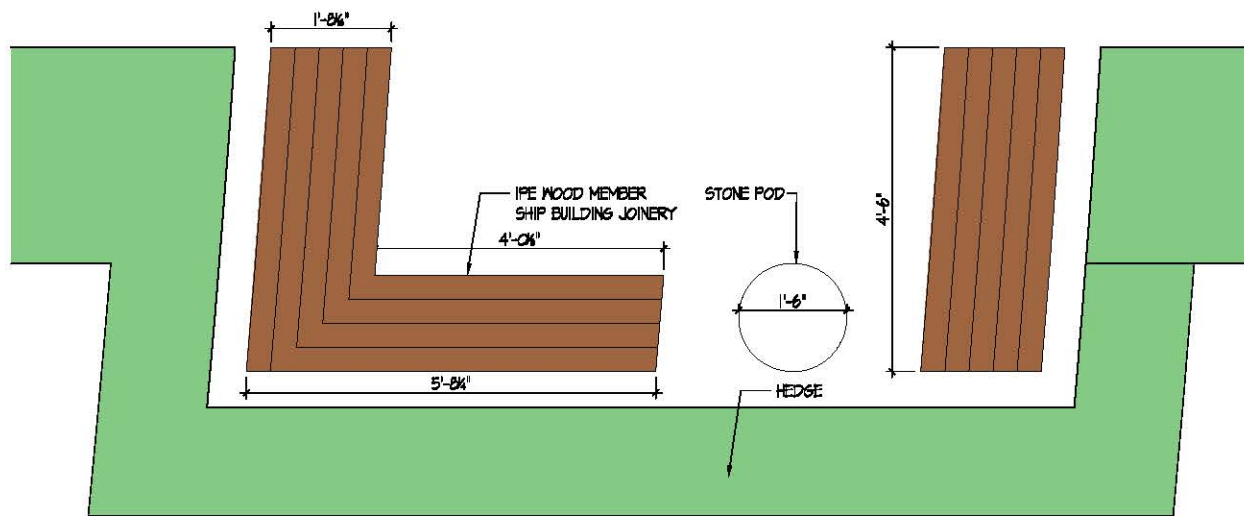
1A SHIP BUILDING STRUCTURES INSPIRATION IMAGES
SCALE: NTS



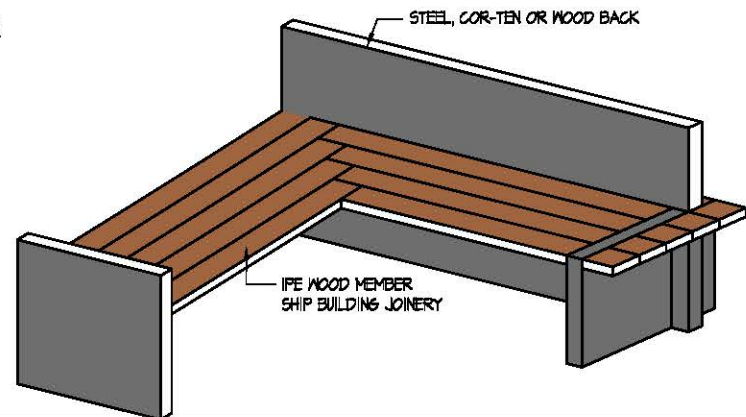
2 SHIP BUILDING STRUCTURE STUDIES
SCALE: 1/2"=1'-0"



2A SHIP BUILDING STRUCTURE STUDIES
SCALE: NTS



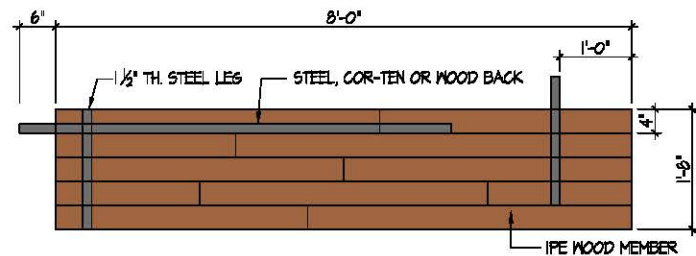
PLAN



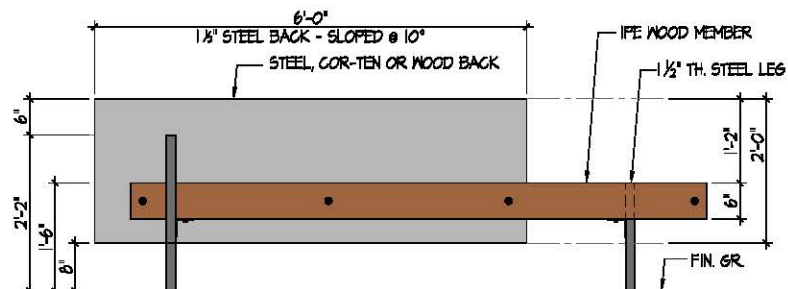
ISOMETRIC

1 SHIP BUILDING WOOD JOINERY & IRON FURNITURE STUDIES

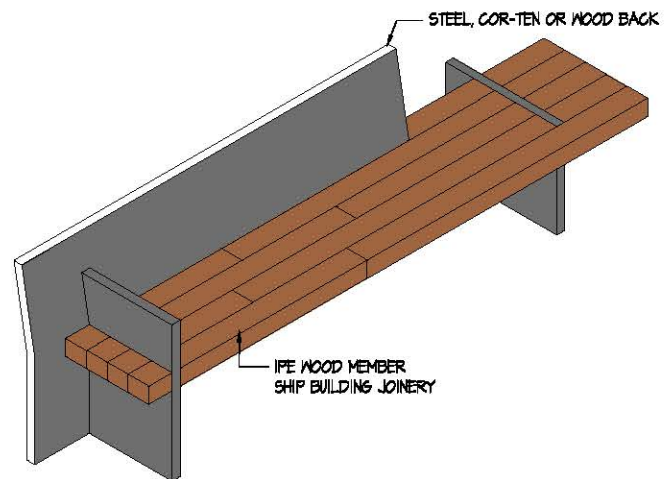
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PLAN



SECTION / ELEVATION



ISOMETRIC

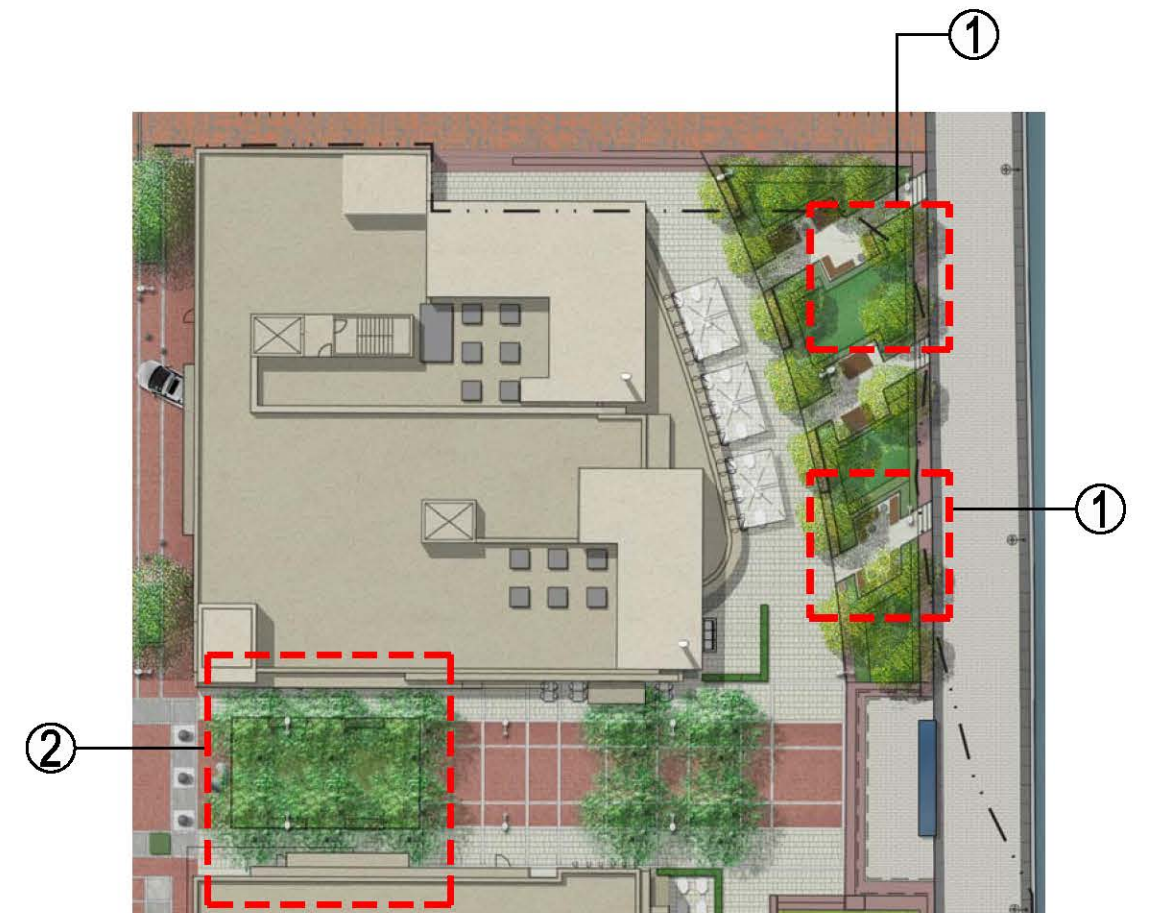
2 SHIP BUILDING WOOD JOINERY & IRON FURNITURE STUDIES

SCALE: 3/8"=1'-0"



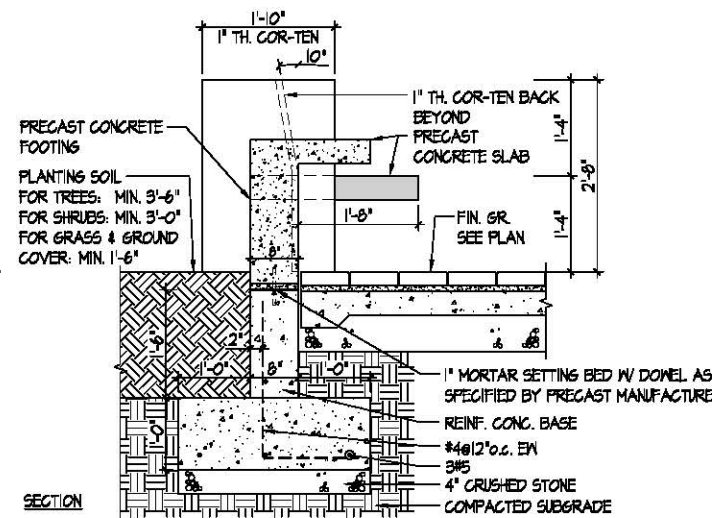
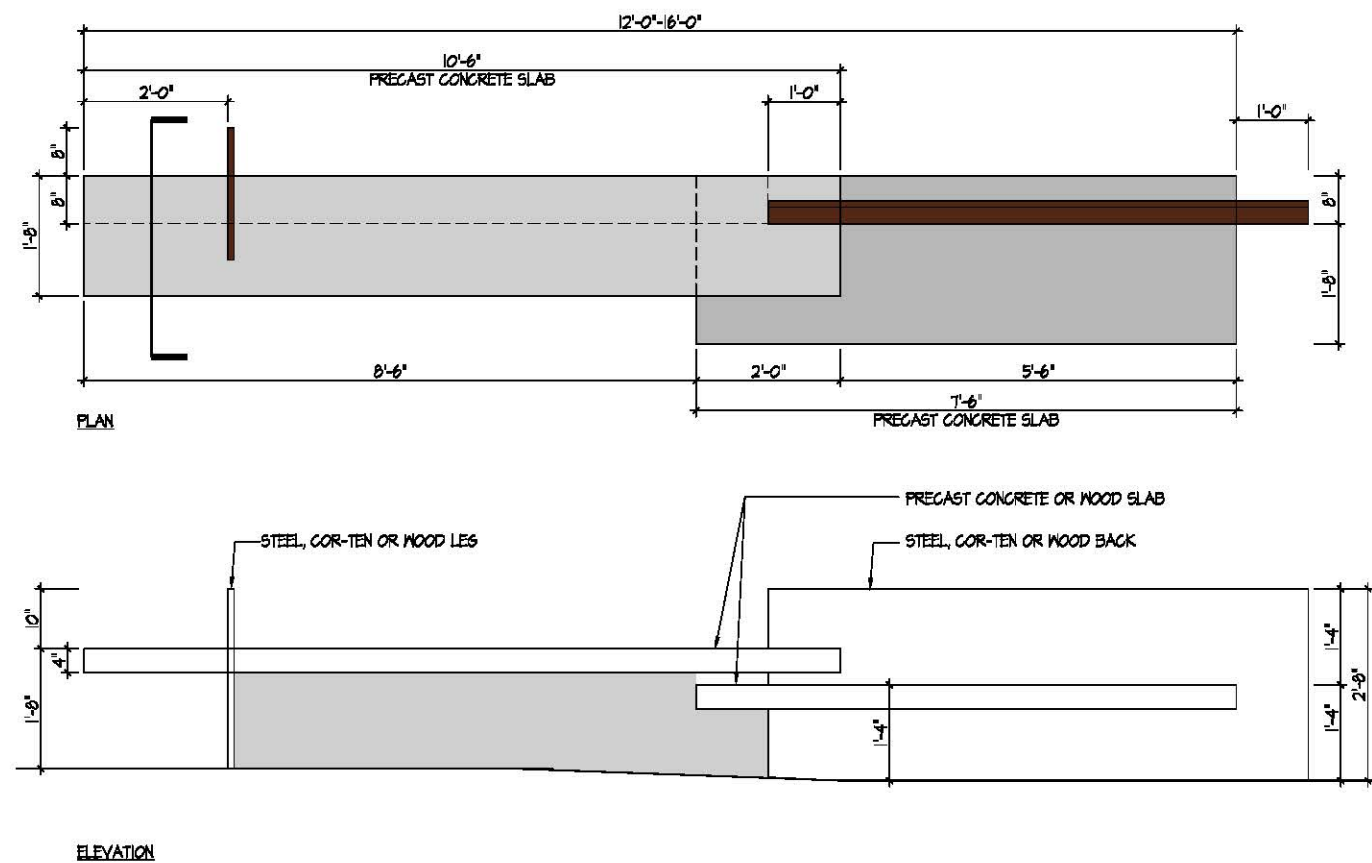
1A SHIP BUILDING WOOD JOINERY INSPIRATION IMAGES

SCALE: NTS



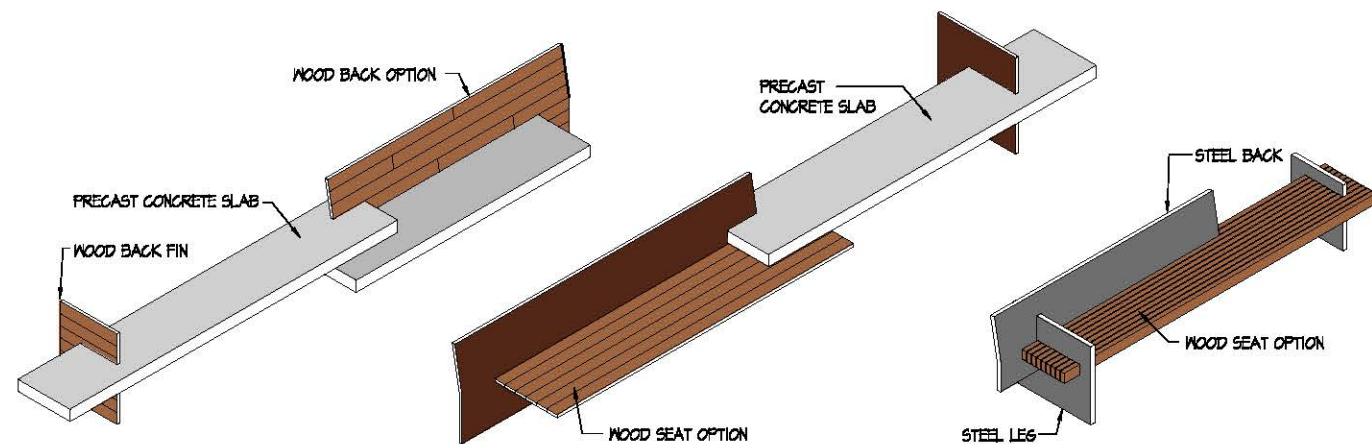
KEY PLAN





1 SHIP BUILDING WOOD JOINERY & IRON FURNITURE STUDIES
SCALE: 3/8"=1'-0"

1A SHIP BUILDING WOOD JOINERY INSPIRATION IMAGES
SCALE: NTS



1B SHIP BUILDING WOOD JOINERY & IRON FURNITURE STUDIES
SCALE: NTS



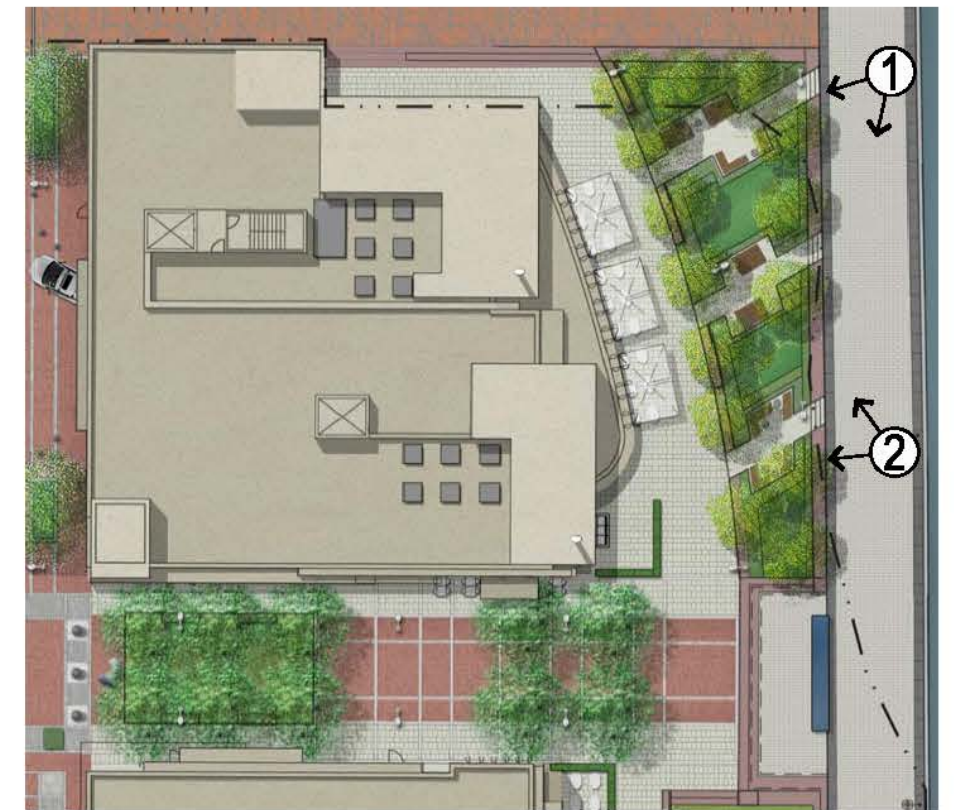
KEY PLAN



1 NORTH GARDENS VIEW FROM PROMENADE
SCALE: NTS



2 NORTH GARDENS VIEW FROM PROMENADE
SCALE: NTS



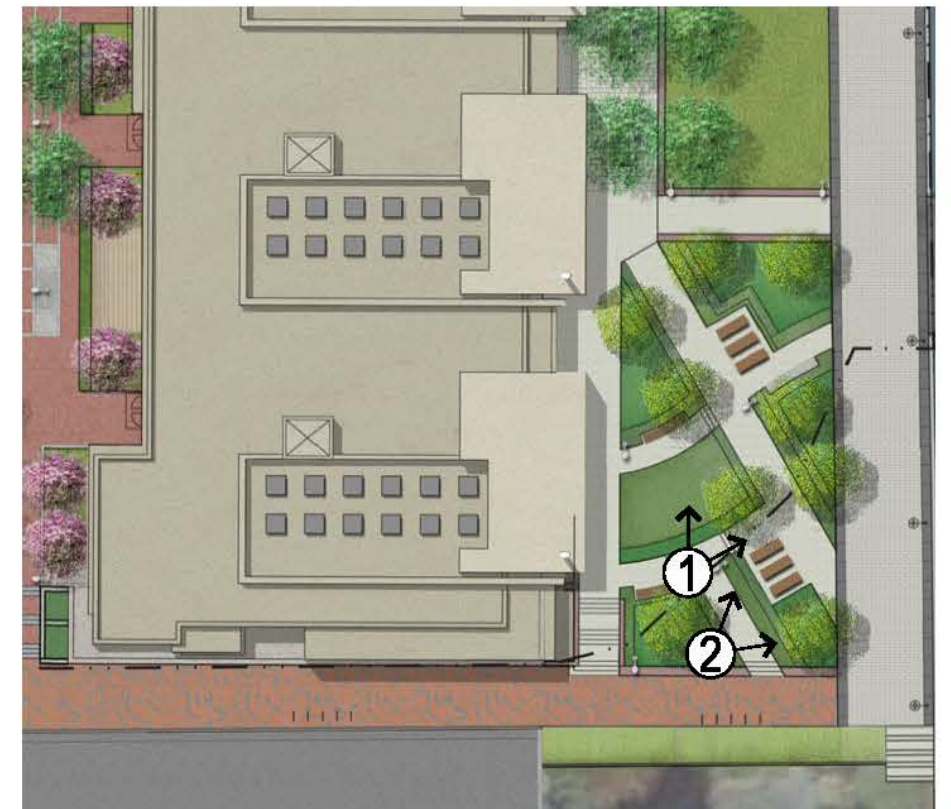
KEY PLAN



1 SOUTH GARDENS VIEWS FROM PROMENADE
SCALE: NTS



2 SOUTH GARDENS VIEWS FROM PROMENADE
SCALE: NTS



KEY PLAN 

ROBINSON TERMINAL SOUTH - ALEXANDRIA, VA | BOARD OF ARCHITECTURAL REVIEW: CERTIFICATE OF APPROPRIATENESS

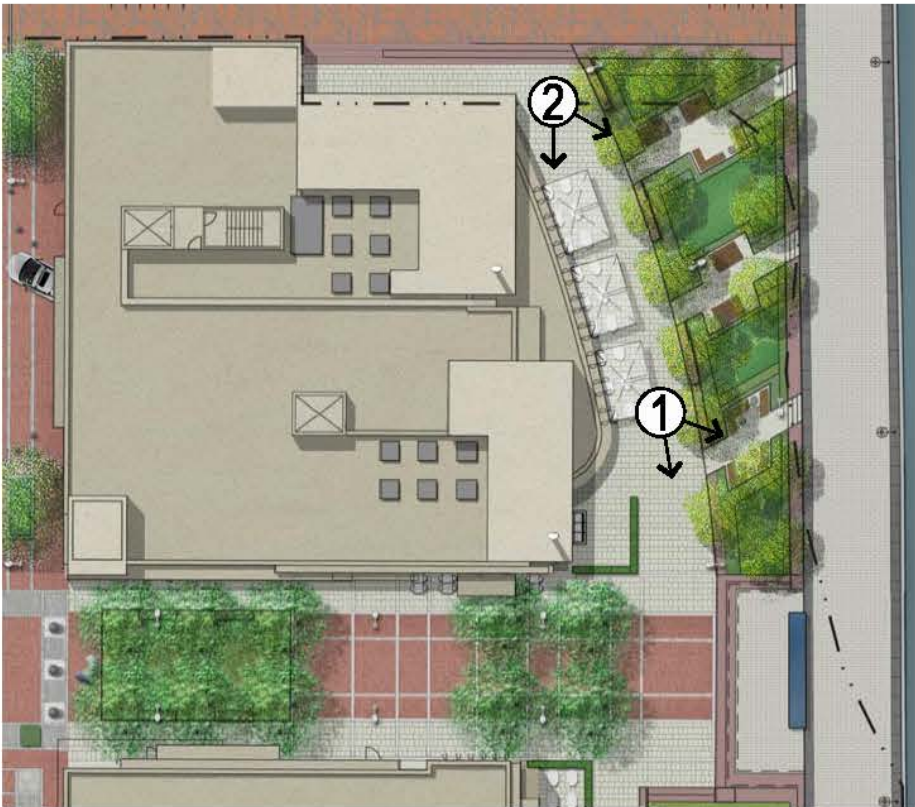
SITE FURNITURE PLACEMENT 11.3



1 SOUTH GARDENS VIEW TO PROMENADE
SCALE: NTS



2 SOUTH GARDENS VIEW TO PROMENADE
SCALE: NTS



KEY PLAN



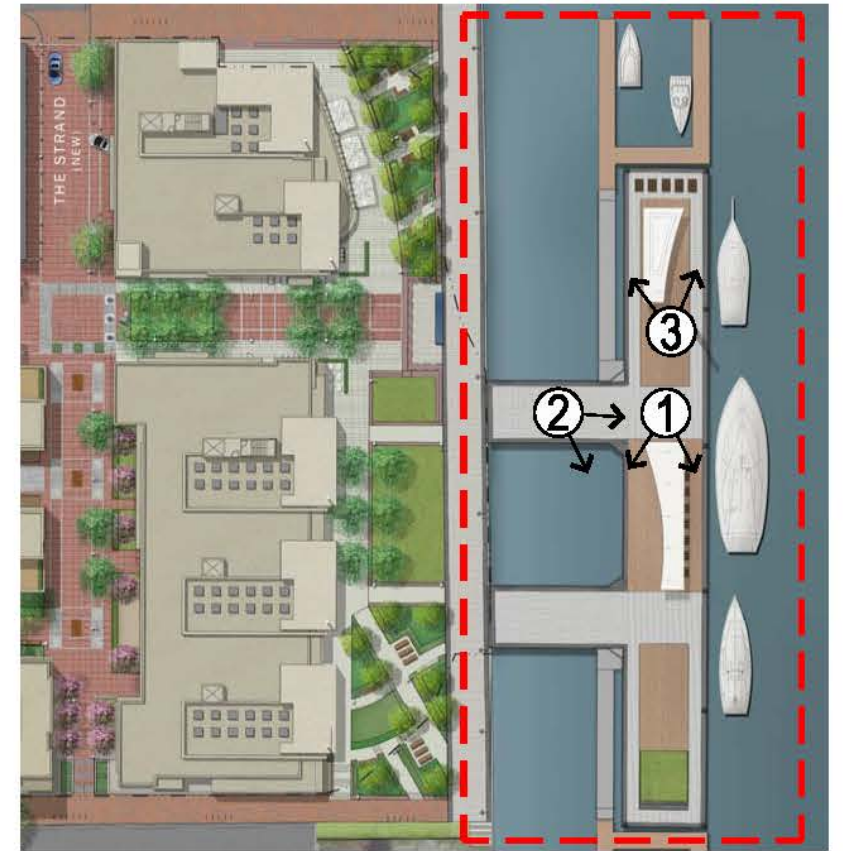
1 EXISTING PIER - LOOKING SOUTH
SCALE: NTS



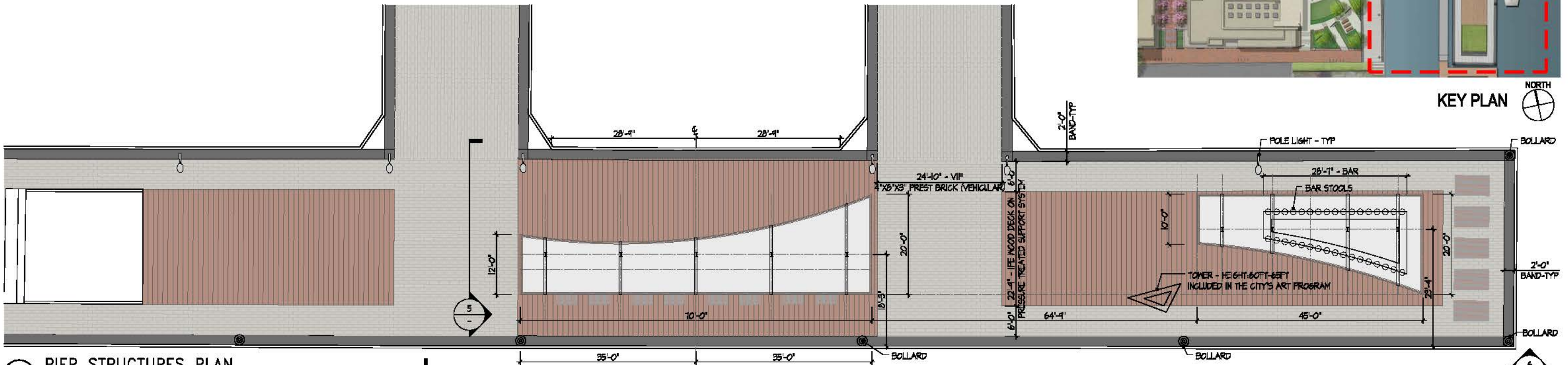
2 EXISTING PIER -LOOKING SOUTH/EAST
SCALE: NTS



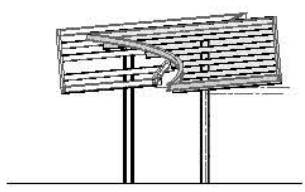
3 EXISTING PIER -LOOKING NORTH
SCALE: NTS



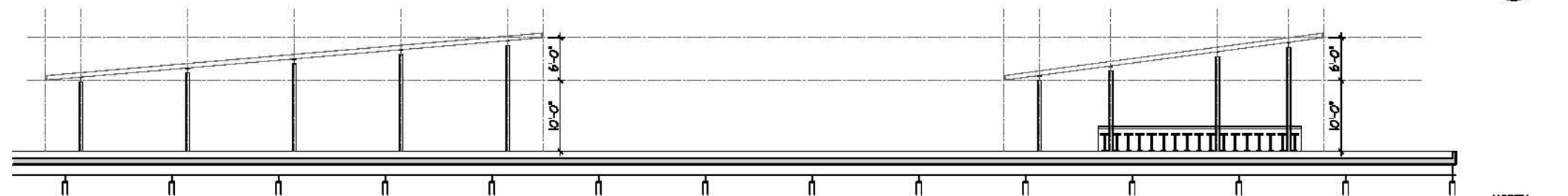
KEY PLAN
NORTH



4 PIER STRUCTURES PLAN
SCALE: 1"=20'-0"



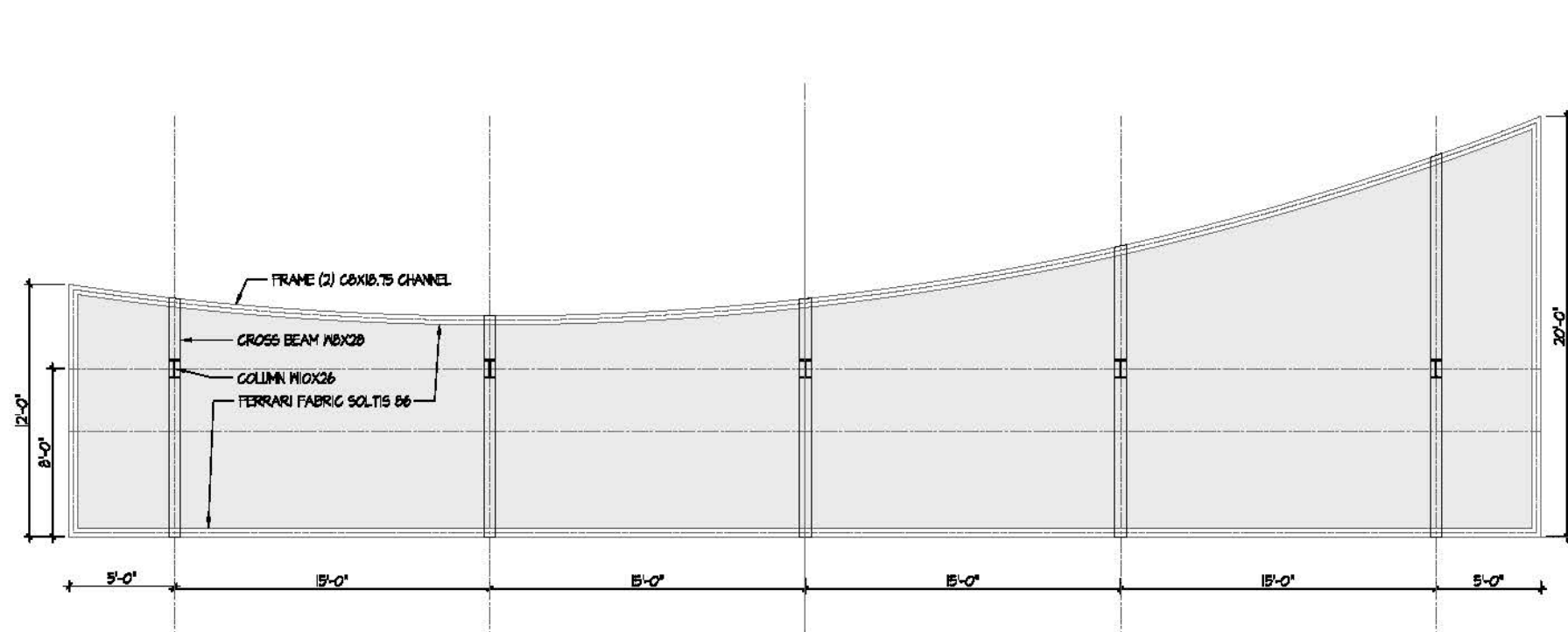
5 PIER STRUCTURES SIDE ELEVATION
SCALE: 1"=20'-0"



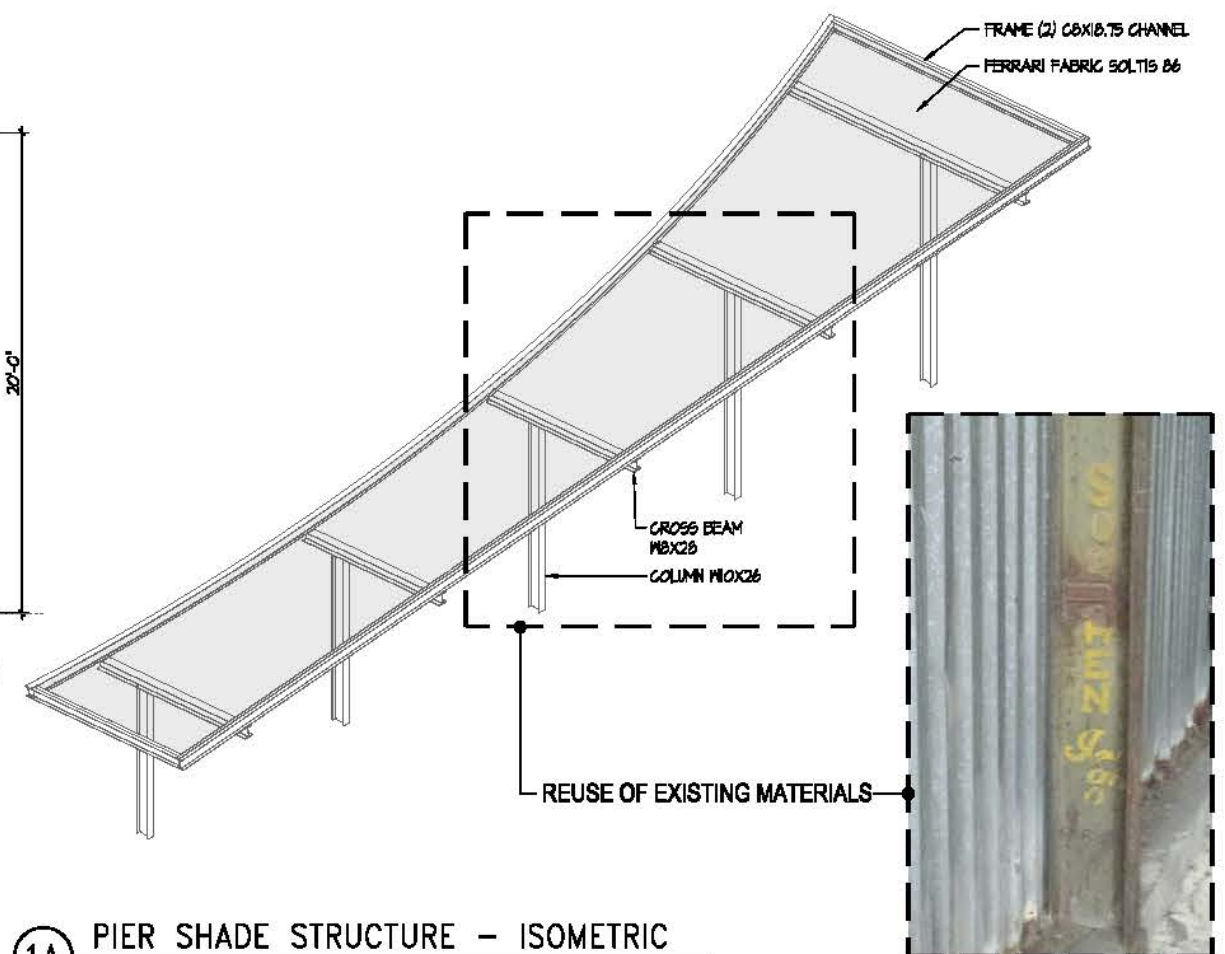
6 PIER STRUCTURES FRONT ELEVATION
SCALE: 1"=20'-0"

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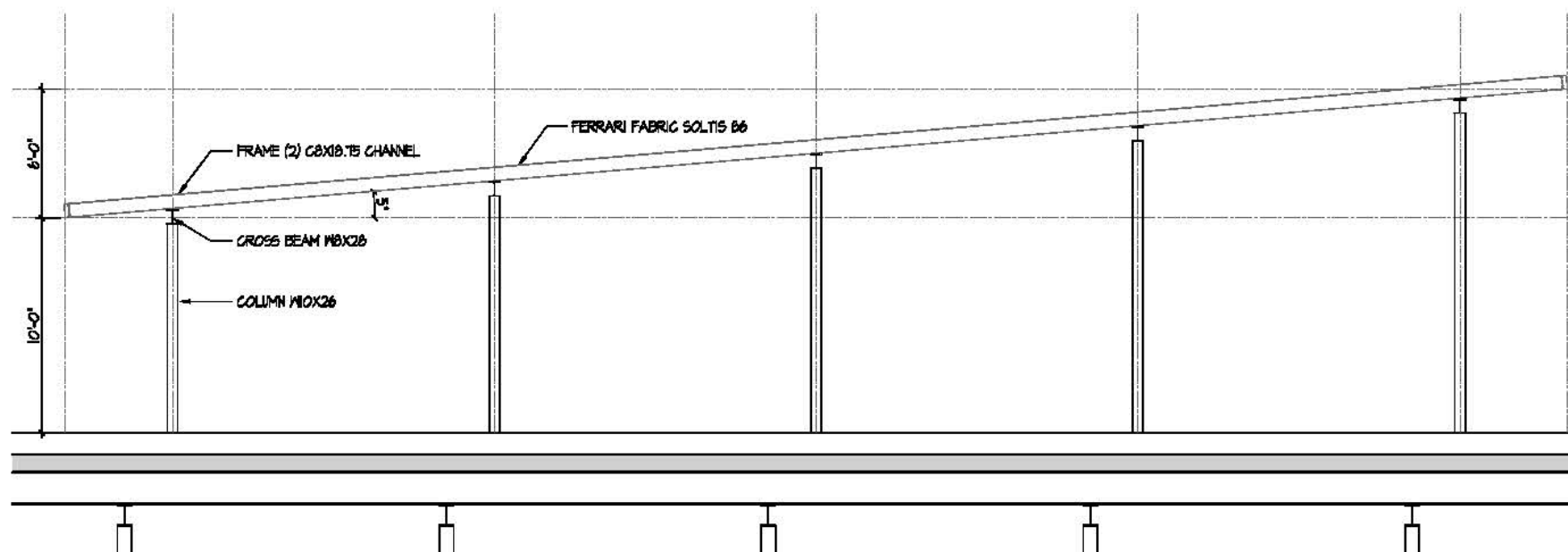
PIER STRUCTURES | 12



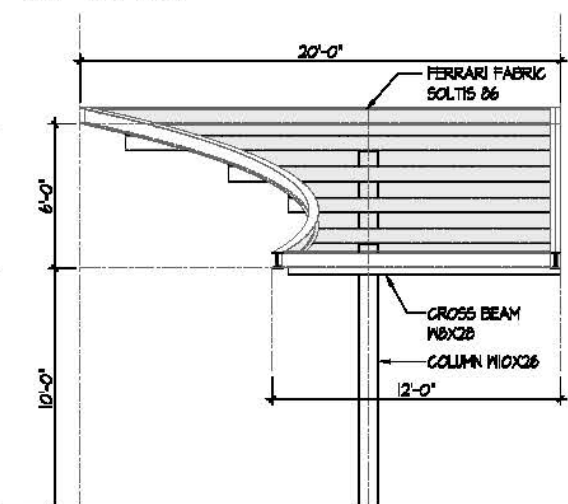
1 PIER SHADE STRUCTURE PLAN
SCALE: 1/8"=1'-0"



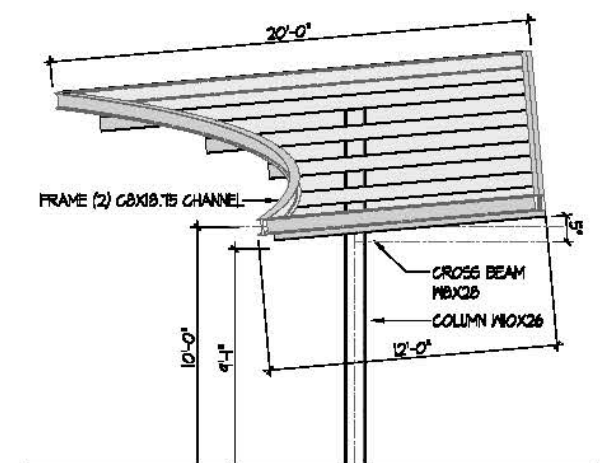
1A PIER SHADE STRUCTURE - ISOMETRIC
SCALE: NTS



2 PIER SHADE STRUCTURE FRONT ELEVATION
SCALE: 1/8"=1'-0"

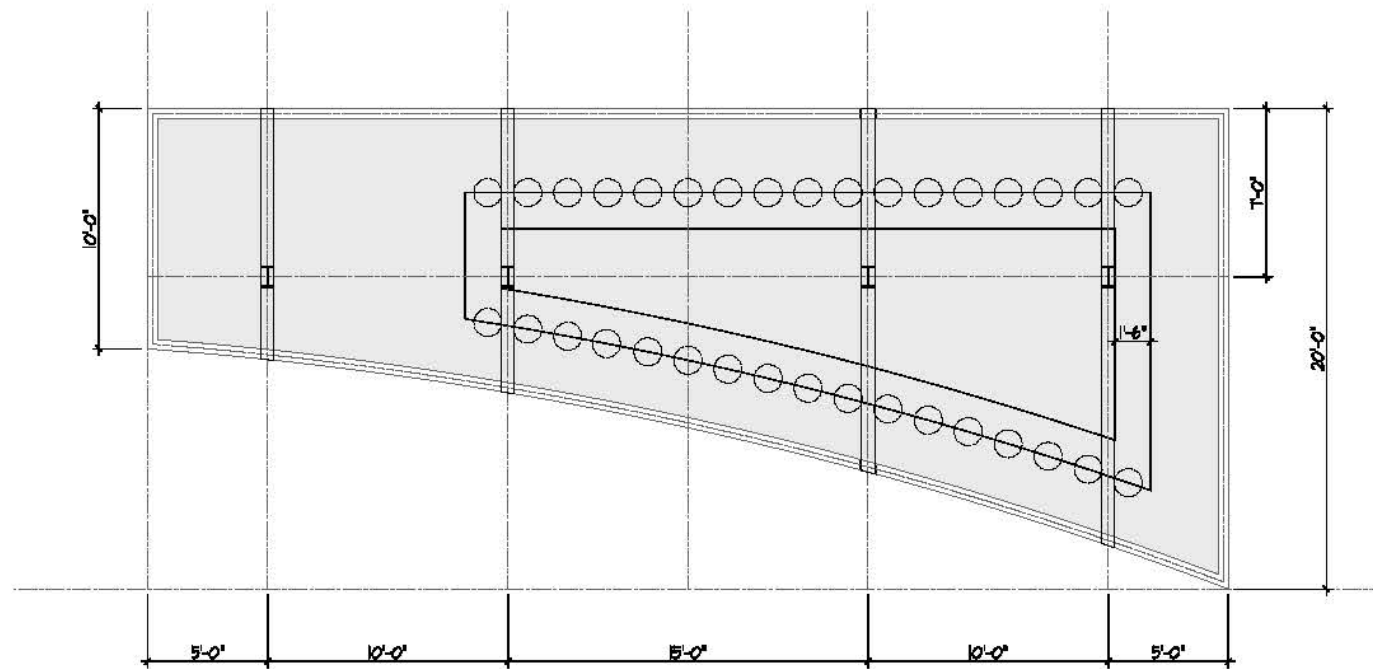


3 SIDE ELEVATION-STRAIGHT OPTION
SCALE: 1/8"=1'-0"

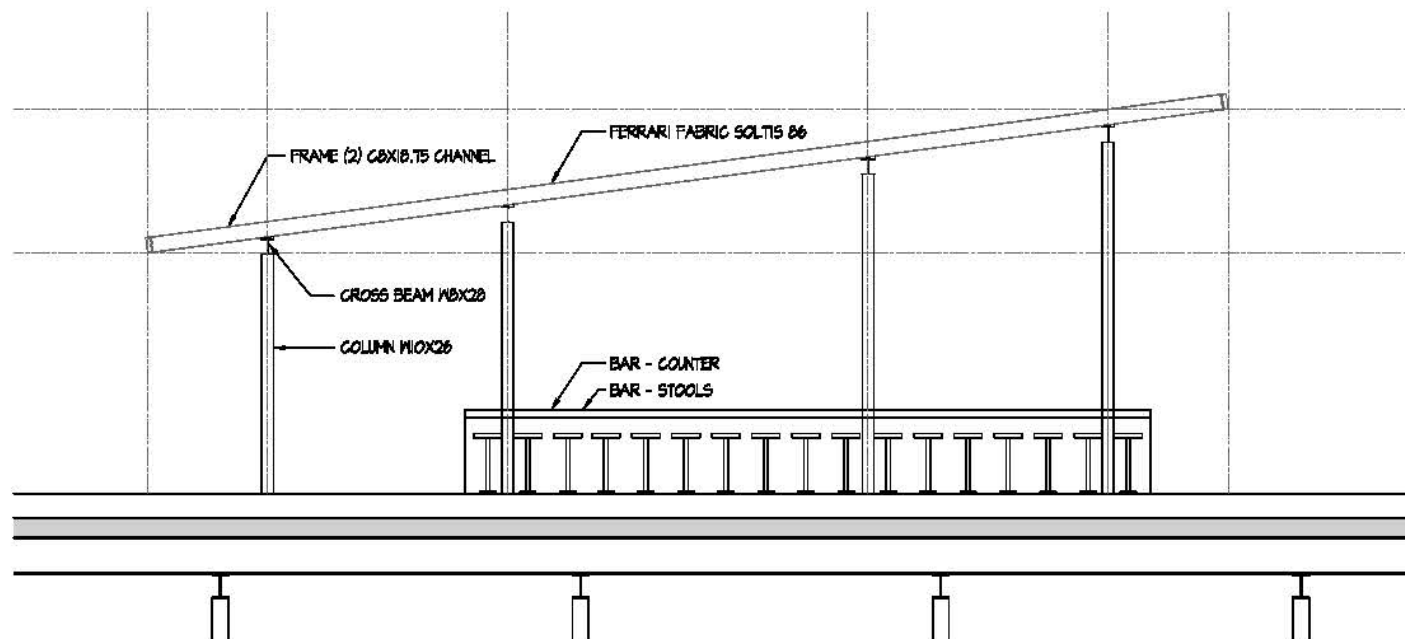


3A SIDE ELEVATION-TILT OPTION
SCALE: 1/8"=1'-0"

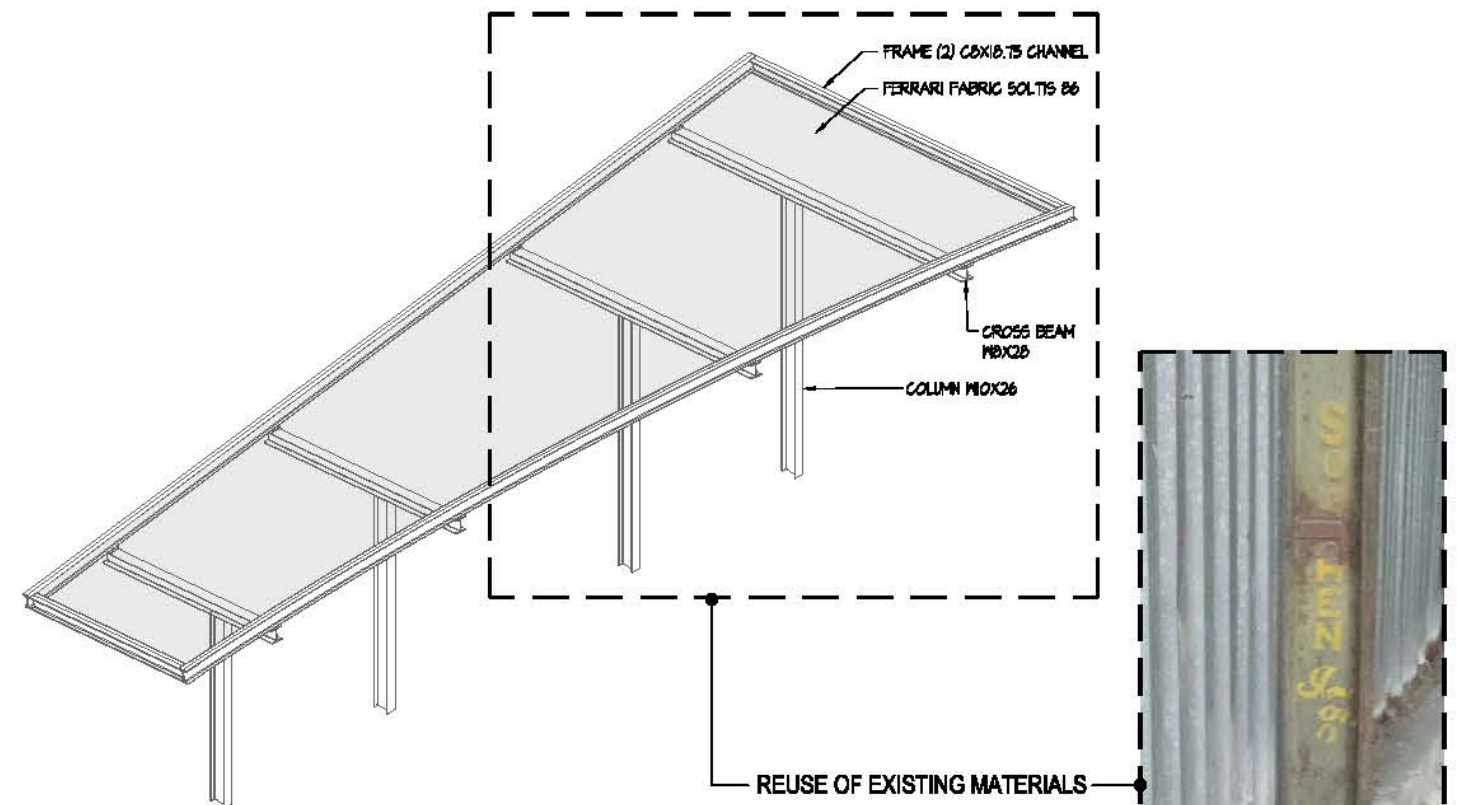




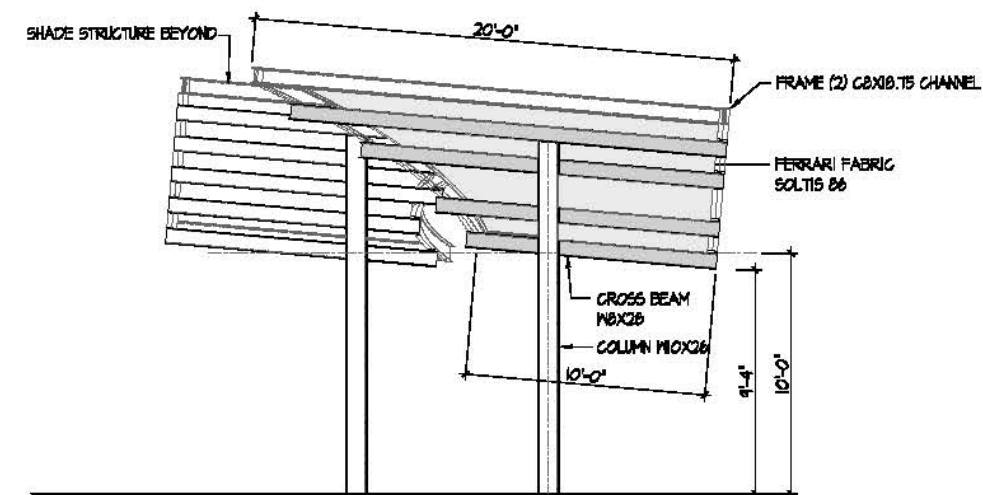
1 PIER CAFE STRUCTURE PLAN
SCALE: 1/8"=1'-0"



2 PIER CAFE STRUCTURE FRONT ELEVATION
SCALE: 1/8"=1'-0"



1A PIER CAFE STRUCTURE - ISOMETRIC
SCALE: NTS



3 SIDE ELEVATION - TILT OPTION
SCALE: 1/8"=1'-0"





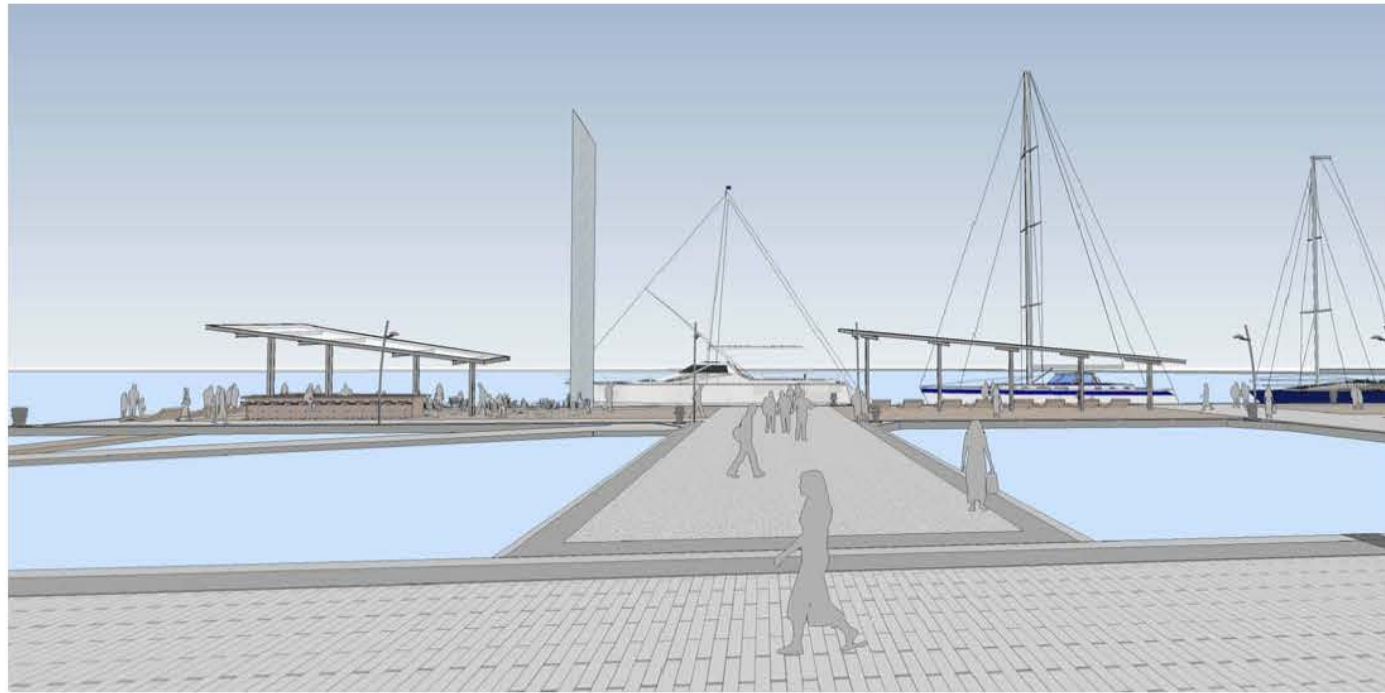
1 PIER STRUCTURES AERIAL VIEWS
SCALE: NTS



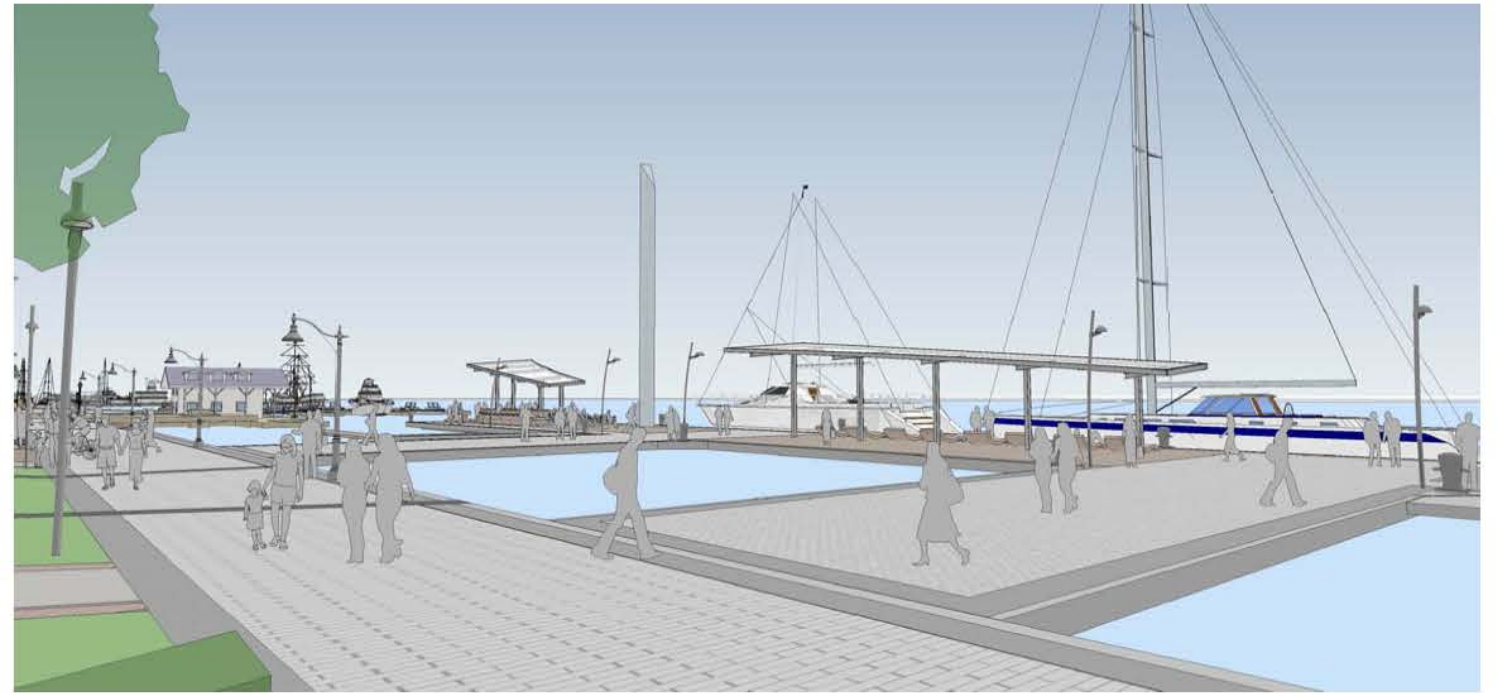
2 PIER STRUCTURES AERIAL VIEWS
SCALE: NTS



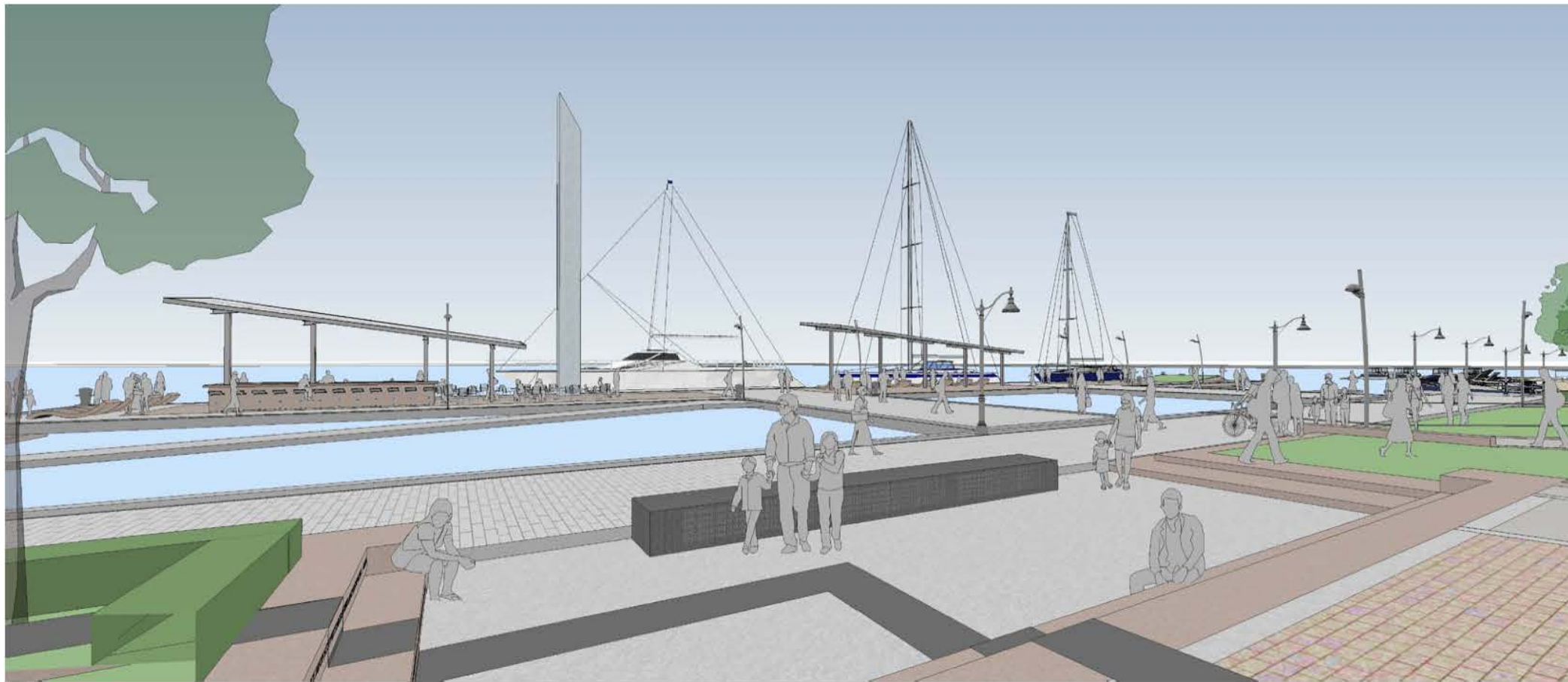
KEY PLAN NORTH



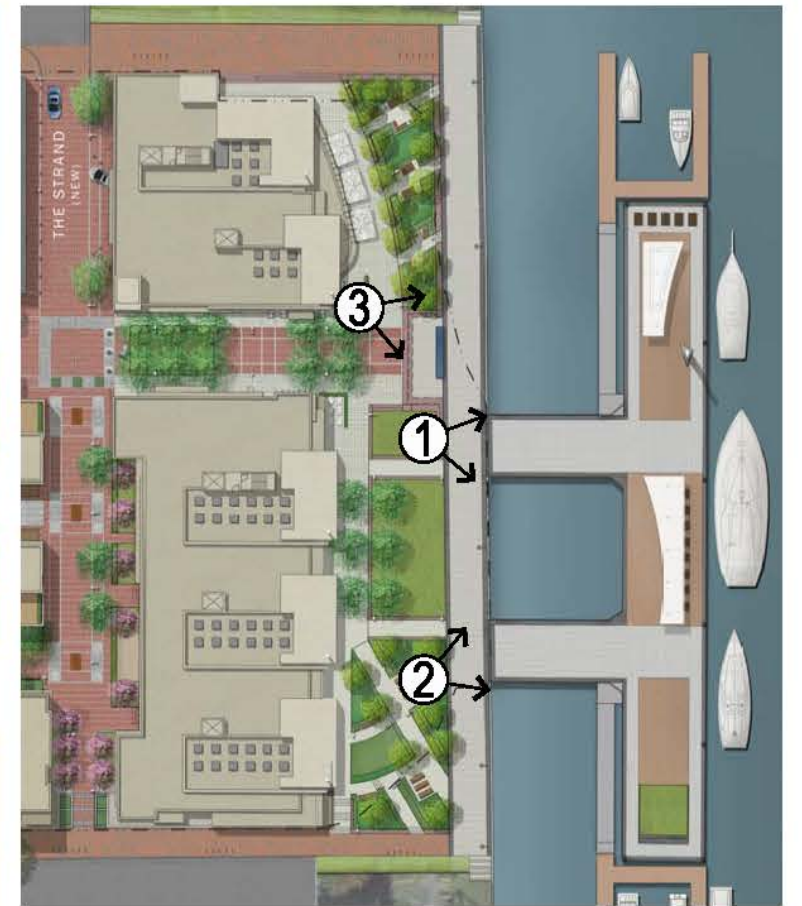
1 PIER STRUCTURES AS VIEWED FROM PROMENADE
SCALE: NTS



2 PIER STRUCTURES AS VIEWED FROM PROMENADE
SCALE: NTS



3 PIER STRUCTURES AS VIEWED FROM PROMENADE
SCALE: NTS



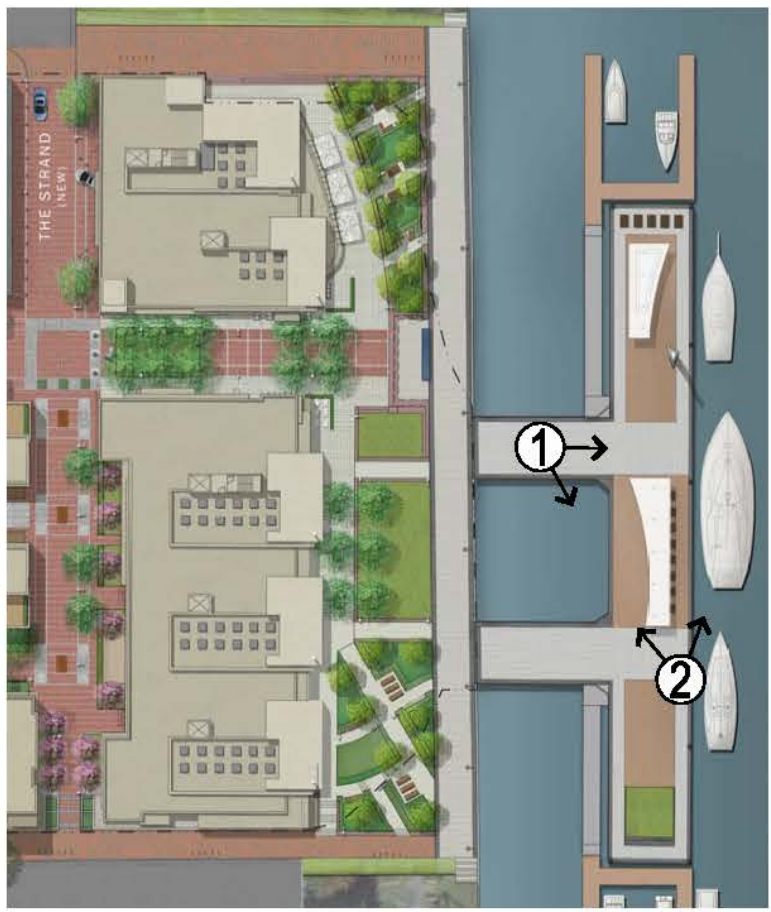
KEY PLAN NORTH



1 SHADE STRUCTURE AS VIEWED FROM THE PIER
SCALE: NTS



2 SHADE STRUCTURE AS VIEWED FROM THE PIER
SCALE: NTS



KEY PLAN NORTH



1 SHADE STRUCTURE AS VIEWED FROM THE OUTDOOR CAFE
SCALE: NTS



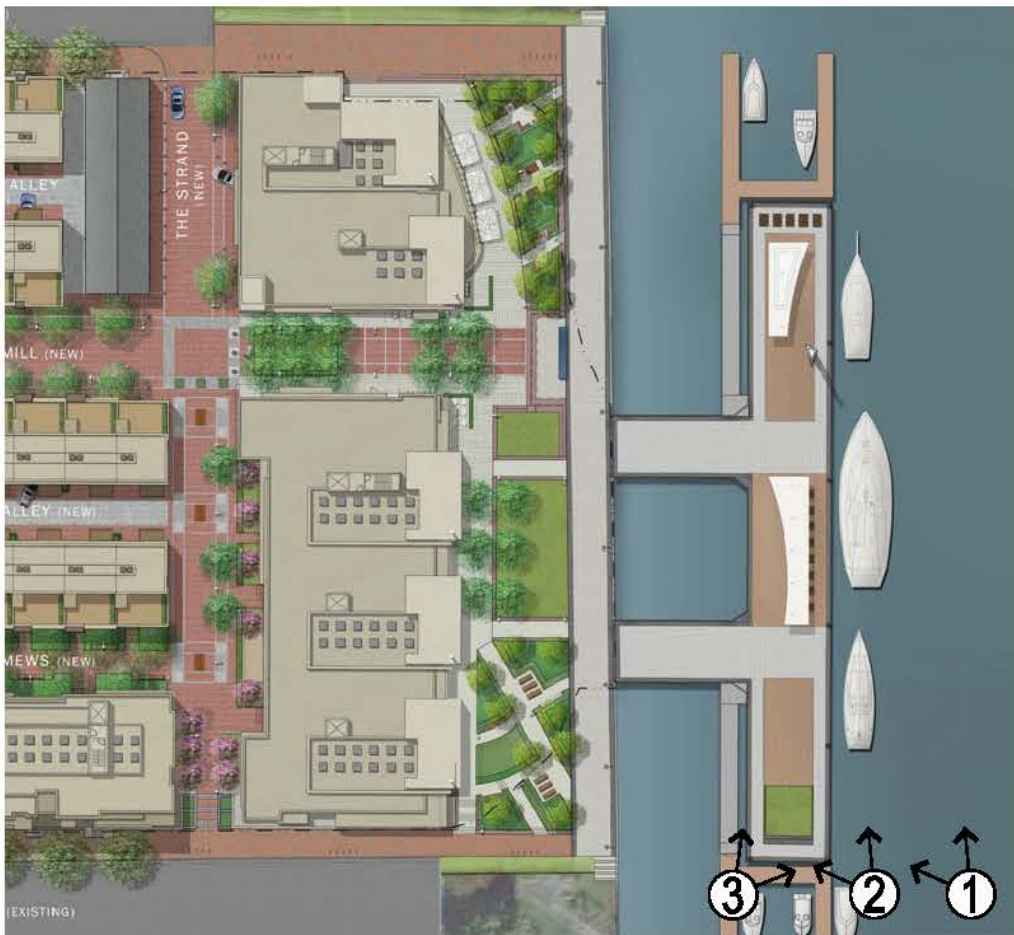
2 CAFE STRUCTURE AS VIEWED FROM THE PIER
SCALE: NTS



KEY PLAN NORTH



1 PIER SOUTH END AERIAL VIEW
SCALE: NTS



KEY PLAN



2 SHIP STRUCTURE LOUNGE CHAISE WITH LAWN BERM
SCALE: NTS



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PIER STRUCTURES 15.4