

City of Alexandria, Virginia

MEMORANDUM

DATE: JULY 1, 2015

TO: CHAIRMAN AND MEMBERS OF THE
OLD AND HISTORIC ALEXANDRIA DISTRICT
BOARD OF ARCHITECTURAL REVIEW

FROM: HISTORIC PRESERVATION STAFF

SUBJECT: 2ND CONCEPT REVIEW OF 3640 WHEELER AVENUE
(THE MILL BUILDING)
BAR CASE # 2015-0049

Minutes from the previous work session to discuss the proposed development project at **3640 Wheeler Avenue on April 15, 2015:**

PUBLIC COMMENT:

Gail Rothrock, Historic Alexandria Foundation (HAF), said she supported the staff recommendation and would also encourage the removal of the aluminum siding on the gambrel end of the mill. She said that the mill building would be eligible for a plaque from HAF and that she supported reduced parking in front. She commended the applicant for their restoration of the mill building.

SPEAKERS:

Cathy Puskar, attorney representing the applicant, said that they were happy to be able to make improvements to the historic mill building as part of the EZ Storage project and that they were looking forward to receiving the Board's feedback. She said that they would restudy the sign, ramp/lift on the historic building and the sign and frieze band proportions, but that moving the front parking lot toward the back of the lot would be difficult because of the space needed for maneuvering moving trucks. She said that they would continue to work with Staff.

BOARD DISCUSSION:

Ms. Finnegan said that she had found some historic photos of the mill and suggested that a historic structure report be completed prior to any work on the building. (Staff noted that a student volunteer was looking for a building needing a HSR. The applicant welcomed this help and agreed that the student would be provided access to the building.) Ms. Finnegan encouraged the applicant to consider additional restoration on the building and removal of some of the inappropriate later alterations, using the historic photos as a guide. She asked about the

visibility of the historic mill from Wheeler Avenue once the new storage building was constructed and expressed that it shouldn't compete with the historic building.

Mr. Carlin said that he supported the overall mass, scale, height and general architectural character of the new building, as well as the demolition of the 20th century additions on the mill building. He said that perhaps sometime in the future there may be a better use for the mill building, but that the work being done by the applicant now would preserve it for future uses. Mr. Carlin said that perhaps a sign band on the mill building might be more appropriate than the proposed box sign, and that the materials on the two buildings should relate to one another.

Mr. von Senden said that this was an important historic site in a portion of the city that is largely made up of 20th century construction and that the history of the area needed to be recognized, especially the original mill race. He suggested that the signs on the mill building be simplified and that a blade sign might be more appropriate. He said that he was less concerned about the handicap ramp than staff, and that landscaping and grading could be used to minimize the size of the ramp. He said that the vertical proportions on the new building should be restudied and that the proposed project would be a big improvement in the area.

Mr. Neale agreed with all of the previous comments. He encouraged the applicant to remove the later portico and aluminum siding on the mill in order to bring it back to its historic appearance. He agreed that the proportions on the new building should be restudied, as well as the size of the windows on the different floors. He said that the frieze band on the building was too large.

Ms. Miller said that the mill building's history should be preserved as much as possible.

Ms. Roberts said that she liked the idea of a blade sign on the mill building instead of the proposed illuminated box sign and that she could support either a lift or ramp. She said that the architecture of the new building shouldn't compete with the historic building.

Mr. Fitzgerald said that it seemed the Board was in support of the height, mass, scale and general architectural character of the new building, but that the proportions needed to be restudied. He noted that there was full support for demolition of the 20th century additions on the historic mill.

Ms. Puskar said that she was encouraged by the Board's comments and that she thought they would be relatively easy to address.

On a motion by Mr. von Senden, seconded by Mr. Neale, the BAR unanimously endorsed the height, scale, mass and general architectural character of the new building, as well as the treatment of the historic building, in concept. They also said that they were in support of the removal of the 20th century additions to the mill. The Board said that they would like to see a historic structures report of the mill before the applicant returns to the BAR.

I. UPDATE

Since the April work session the applicant has continued to work with staff to address some of the concerns raised by the Board at the April work session.

Site

There are very few changes to the proposed site plan, with the exception of the area around the mill building where the earth will be re-graded to interpret the historic mill race and to allow for an at-grade, handicap accessible entrance to the office in the mill. The re-grading will allow for the removal of the inappropriate brick stoop. In addition, pending future archaeological investigation, the original mill race to the west of the site may be further interpreted using natural stone elements and native plants. The large ramp and office entrance formerly proposed for the east side of the mill building has been removed.



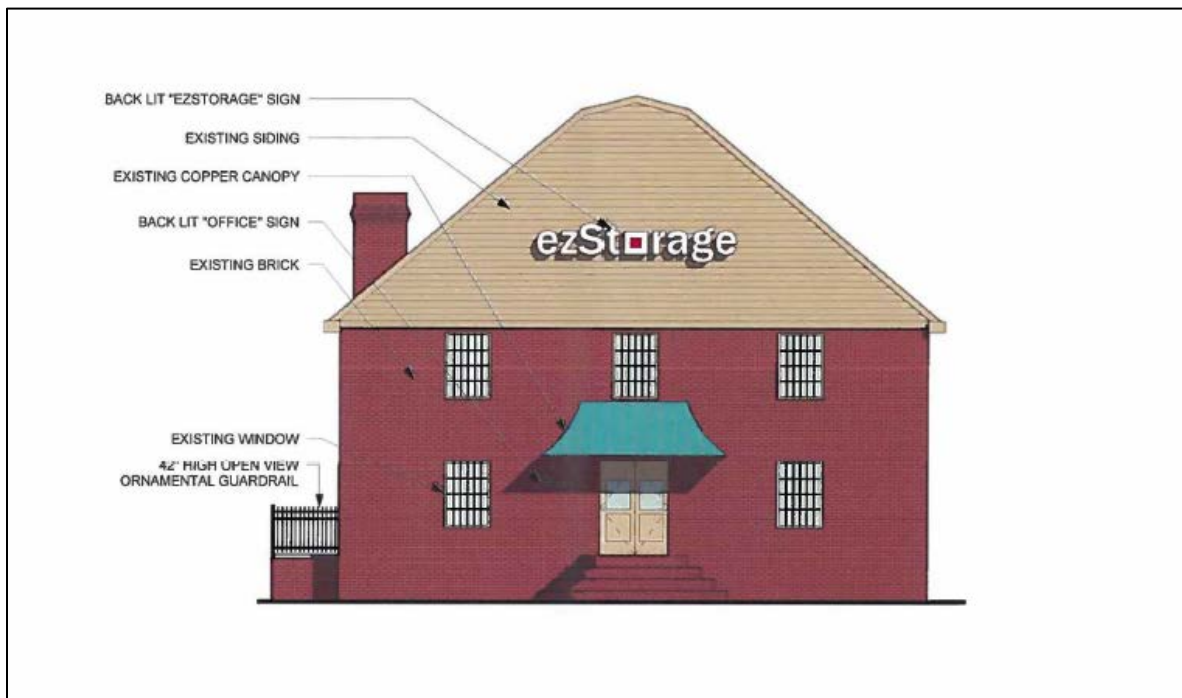
Figure 1: Proposed landscape site plan

Historic Mill

The revised plans for the historic mill building are not only historically appropriate, but also minimize the addition of new features, allowing for greater visibility and interpretation of the building. The Board will notice the following changes:

- The box sign on the front of the gambrel roof has been removed.
- The long handicap ramp on the east elevation has been deleted.
- The aluminum siding on the front gambrel end will be restored or replaced with a historically appropriate material (wood).
- The inappropriate 20th century brick stoop at the main entrance will be removed.
- A new stair with metal railings will be installed to connect the new parking lot with the front entrance.
- A new sidewalk in front of the main entrance will provide handicap access from the parking lot.
- An iron and wood hanging blade sign will be installed near the building corner, illuminated by a single spotlight.

Since the applicant was last before the Board, a student volunteer has undertaken a Historic Structures Report (HSR) for the mill building as part of her graduate thesis. The applicant has worked closely with the student to provide access to the building whenever necessary. The Board will receive a copy of the report with the Certificate of Appropriateness application.



Concept #1 (April 15th)



Concept #2

ezStorage Building

The applicant has made a number of relatively minor, but cumulatively significant, changes to the proposed ezStorage Building in order to address the Board's concerns about the building's proportions and stylistic details. The frieze band and parapet have been reduced in height and the light color concrete masonry unit (CMU) has been replaced with the same split-face red CMU used on the majority of the building. This helps to reduce the perceived height of the windowless fourth floor so that the building no longer appears top heavy and emphasizes the larger windows and stronger cornice at the ground level. Decorative masonry panels aligned with fenestration below are included in the frieze locations where there is no sign. The roof parapets have also been subtly stepped (within the zoning ordinance limitations) and the corbeled cornice is now carried around the entire building.

The front portion of the building facing Wheeler Avenue will contain the building signage which now features halo illuminated letters rather than the previous back lit plastic. The primary entrance to the facility on the west elevation has been shifted to the south, creating a more balanced facade. Finally, the false windows on the east elevation facing the Police Headquarters have been removed and a regular pattern of CMU piers and synthetic stucco have been added to this secondary elevation.



Concept #1 (April 15, 2015)



Concept #2

II. STAFF ANALYSIS

The BAR's purview in this concept review work session is limited to providing guidance on height, scale, mass and general architectural character, and providing feedback on the proposed changes to the historic mill building. Following approval of the DSUP, the applicant will return to the Board for formal approval of a Permit to Demolish to remove the one-story addition and the freestanding structure, as well as a Certificate of Appropriateness for alterations to the historic mill building and the new freestanding, self-storage facility.

Staff strongly supports the proposed rehabilitation of the historic building and the removal of the inappropriate 20th century additions. Although there have been many changes to the building since its construction – new portico, stairs and windows in particular – the mill retains its brick

construction and character defining gambrel roof. Staff also commends the applicant for returning much of the site to landscaped green space and for the mill race interpretation. The additional changes proposed by the applicant at this concept 2 phase further help to remove some of the later, inappropriate additions to the building. It is Staff's hope that eventually the portico can be removed and more appropriate windows can be installed.

Likewise, Staff strongly supports the design refinements to the storage building, which address the majority of the Board's prior concerns. The revised building has more studied classical facade proportions which will complement the adjacent historic mill. Staff continues to note that the signs on the east side of the building do not face a street, alley or parking area on this site and are not permitted by the zoning ordinance, though staff would support a freestanding monument sign of reasonable size and material so that westbound drivers on Wheeler Avenue can see the name of the facility.

Staff looks forward to the return of this project for final Board approval and believes it will be a significant improvement to this now vacant industrial site along Wheeler Avenue.

IV. STAFF RECOMMENDATION

Staff recommends that the Board endorse the revised concept plans.

V. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Zoning

Previous Comments

C-1 Applicant must submit FAR calculation form that corresponds to the provide floor plans (as shown on sheet A-4) with all deductions shows per floor for the main and accessory building. Area under proposed canopy must be included in the FAR calculation.

Completed.

C-2 Maximum building height in the Industrial zone is 50'.

- 1) Building height must be taken from the average finished grade per section 2-154 of the zoning ordinance. Indicate average finished grade on the elevations sheets. As noted in response height is being taken from average finished grade, but location of average finished grade is not shown on elevations.
- 2) Section 2-154(D) states that in the case of a flat roof with a parapet wall which is three feet in height or less, the highest point shall be the roof line. Therefore, in instances where the parapet is taller than 3', the building height shall be the top of the parapet wall. All proposed parapet walls exceed 3', resulting in areas of the building where the height measured to the top of the parapet wall exceeds 50' and does not comply with zoning.

Corrected.

C-3 Staff cannot determine zoning compliance for proposed signs. Applicant must address the following issues related to signs:

- 1) Portions of the proposed sign is located above the roofline. Rooftop signs are not permitted.
- 2) Applicant must submit dimensions of all proposed signs and building widths for all elevations were signs are proposed.
- 3) Lighted signs facing and in close proximity to land zoned for residential use shall not be illuminated between 10:30 p.m. and 6:30 a.m. Such signs shall be constructed so that the lighting elements are shielded from view of the residential zone by nontransparent or translucent material or other means designed to eliminate glare.

Completed.

F-1 The zone transition setback will apply to the RA zoned property across the street. The applicant is currently proposing 54' to the zone line change, which based on the maximum allowable building height of 50' will comply.

Information only.

New Comment

C-4 Bottom of proposed hanging sign must be at least 8' above the sidewalk.

Alexandria Archaeology

- F-1 Historic Brown's Mill is located on the property, only one of two mills standing in Alexandria. It was built by either William Hartshorne or George Gilpin between 1776 and 1812 and was known simply as a "water grist mill." The mill operated into at least the late 19th century and was known at various times as "Phoenix Mill," "Old Dominion Mill" and "Brown's Mill." In addition, this land is just north of Cameron Run and near the location of a tributary stream. Prehistoric sites have been found in Alexandria in similar environments. The property therefore has potential to contain archaeological resources that could provide insight into Native American life prior to European contact and into nineteenth and twentieth-century mill activities.
- F-2 If this project is a federal undertaking or involves the use of any federal funding, the applicant shall comply with federal preservation laws, in particular Section 106 of the National Historic Preservation Act of 1966. The applicant will coordinate with the Virginia Department of Historic Resources and the federal agency involved in the project, as well as with Alexandria Archaeology.
- C-1 All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

Archaeology Comments

Hire an archaeological consultant to complete a Documentary Study and an Archaeological Evaluation. If significant resources are discovered, the consultant shall complete a Resource Management Plan, as outlined in the City of Alexandria Archaeological Standards. Preservation measures presented in the Resource Management Plan, as approved by the City Archaeologist, will be implemented. (Archaeology)

The Final Site Plan, Grading Plan, or any other permits involving ground disturbing activities (such as coring, grading, filling, vegetation removal, undergrounding utilities, pile driving, landscaping and other excavations as defined in Section 2-151 of the Zoning Ordinance) shall not be released until the City archaeologist confirms that all archaeological field work has been completed or that an approved Resource Management Plan is in place to recover significant resources in concert with construction activities. * (Archaeology)

Call Alexandria Archaeology (703/746-4399) two weeks before the starting date of any ground disturbance so that an inspection or monitoring schedule for city archaeologists can be arranged. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)

Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)

The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)

Certificates of Occupancy shall not be issued for this property until interpretive elements have been constructed, interpretive markers have been erected, and the final archaeological report has been received and approved by the City Archaeologist.*** (Archaeology)

Open Space and Landscaping

Hire a professional consultant to work with staff and the landscape designers to incorporate and interpret elements of the historical character and archaeological findings into the design of the open space and to prepare interpretive elements, which shall be erected as part of the development project. The site plan shall indicate themes and locations of interpretive elements. Prior to release of the final site plan, the consultant shall provide text and graphics for the signage subject to approval by the Office of Historic Alexandria/Alexandria Archaeology and the Directors of P&Z and/or RP&CA.* (Arch)(P&Z)(RP&CA)

Signage

Design and develop a coordinated sign plan, which includes a color palette, for all proposed signage, including, but not limited to site-related signs, way-finding graphics, business signs, and interpretive signage that highlights the history and archaeology of the site. The plan shall be included as part of the Final Site Plan and shall coordinate the location, scale, massing and character of all proposed signage to the satisfaction of the Directors of Archaeology, P&Z, and/or RP&CA, and T&ES.*

Transportation and Environmental Services (T&ES)

R-1 Comply with all requirements of DSP2015-00002 (TES)

R-2 The Final Site Plan must be approved and released and a copy of that plan must be attached to the demolition permit application. No demolition permit will be issued in advance of the building permit unless the Final Site Plan includes a demolition plan which clearly represents the demolished condition. (T&ES)

ATTACHMENTS

1 – Supporting Materials

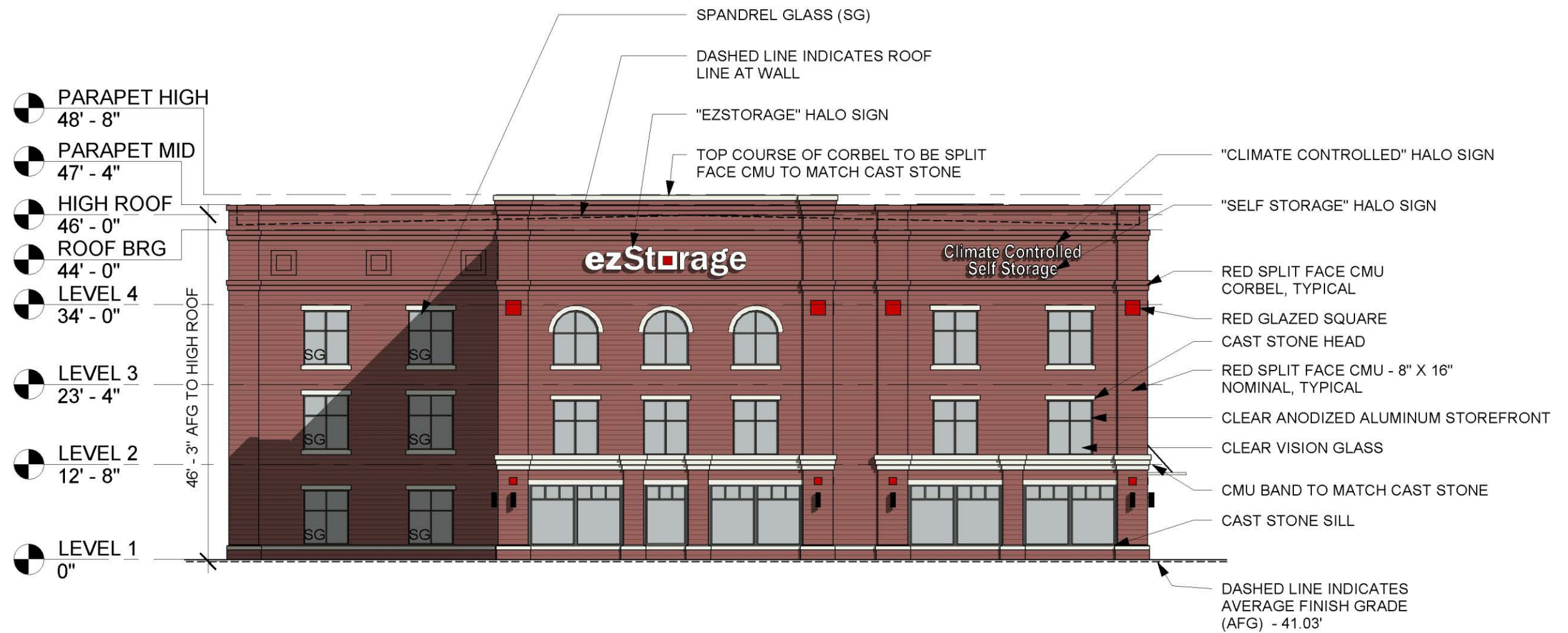
2 – Application for 3640 Wheeler Avenue Concept Review Work Session #2



WHEELER AVENUE STREETSCAPE

ALEXANDRIA

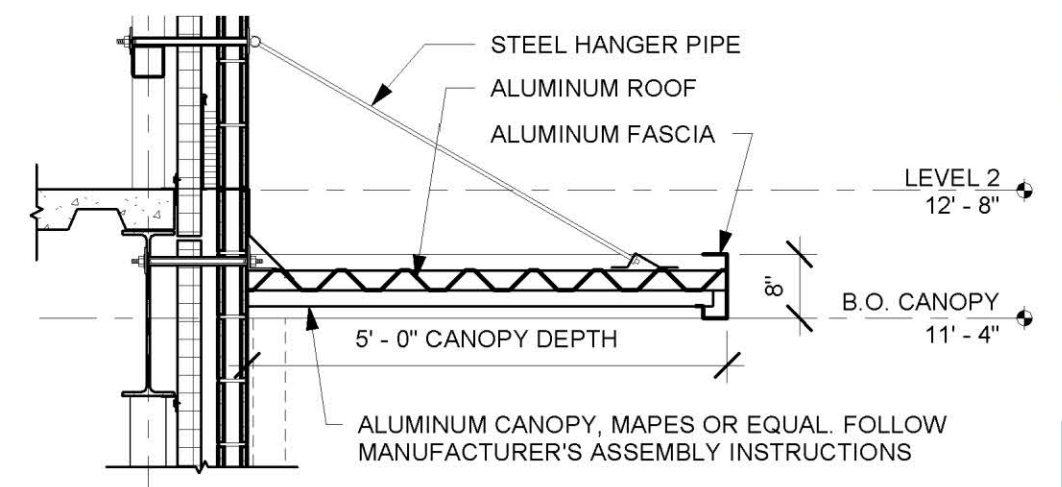
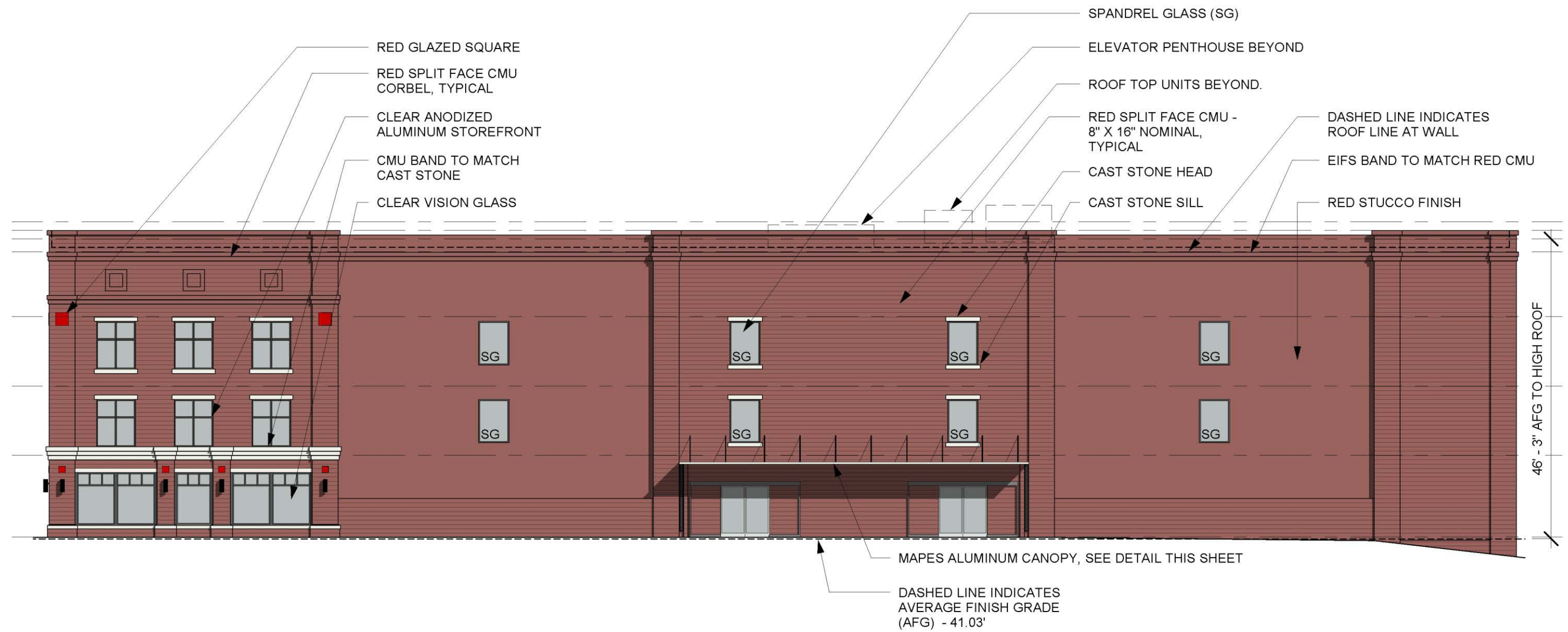
ezStorage



PROPOSED STRUCTURE - FRONT ELEVATION

ALEXANDRIA

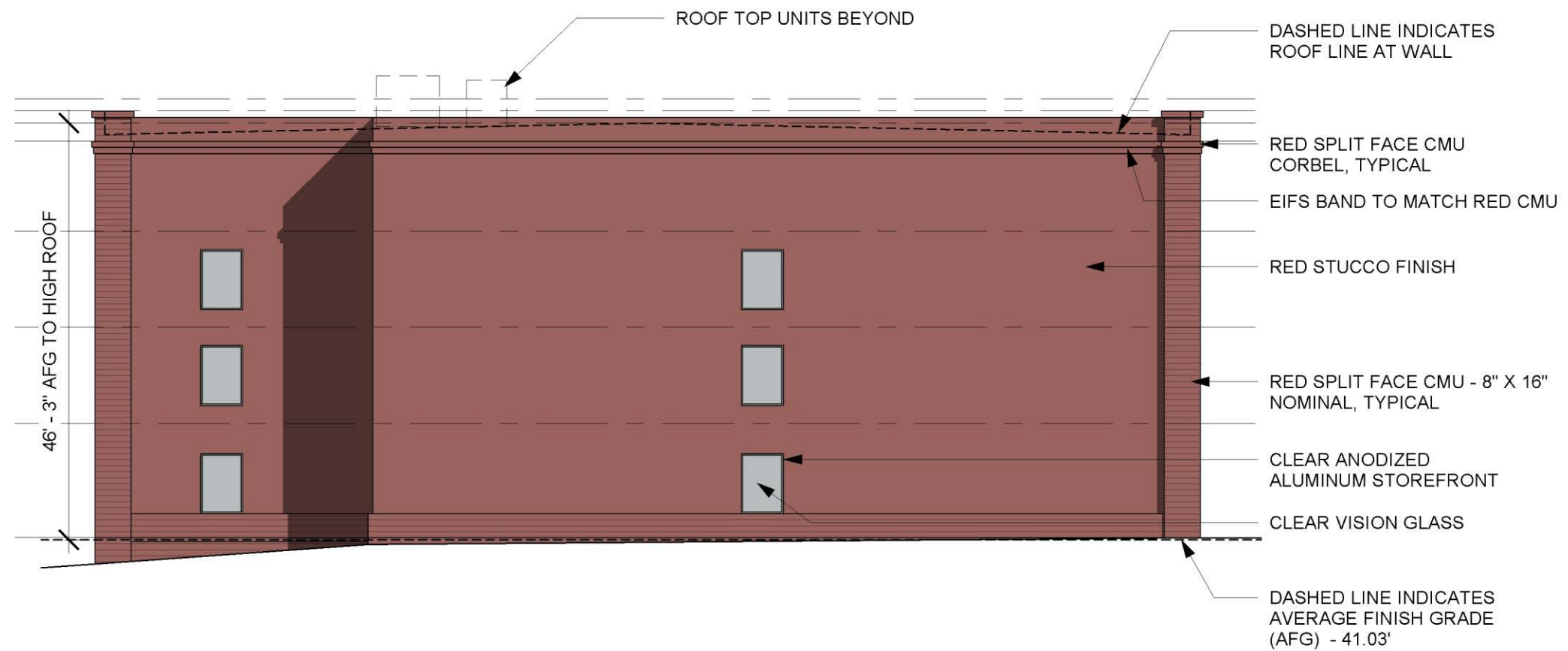
ezStorage



PROPOSED STRUCTURE - WEST ELEVATION

ALEXANDRIA

ezStorage

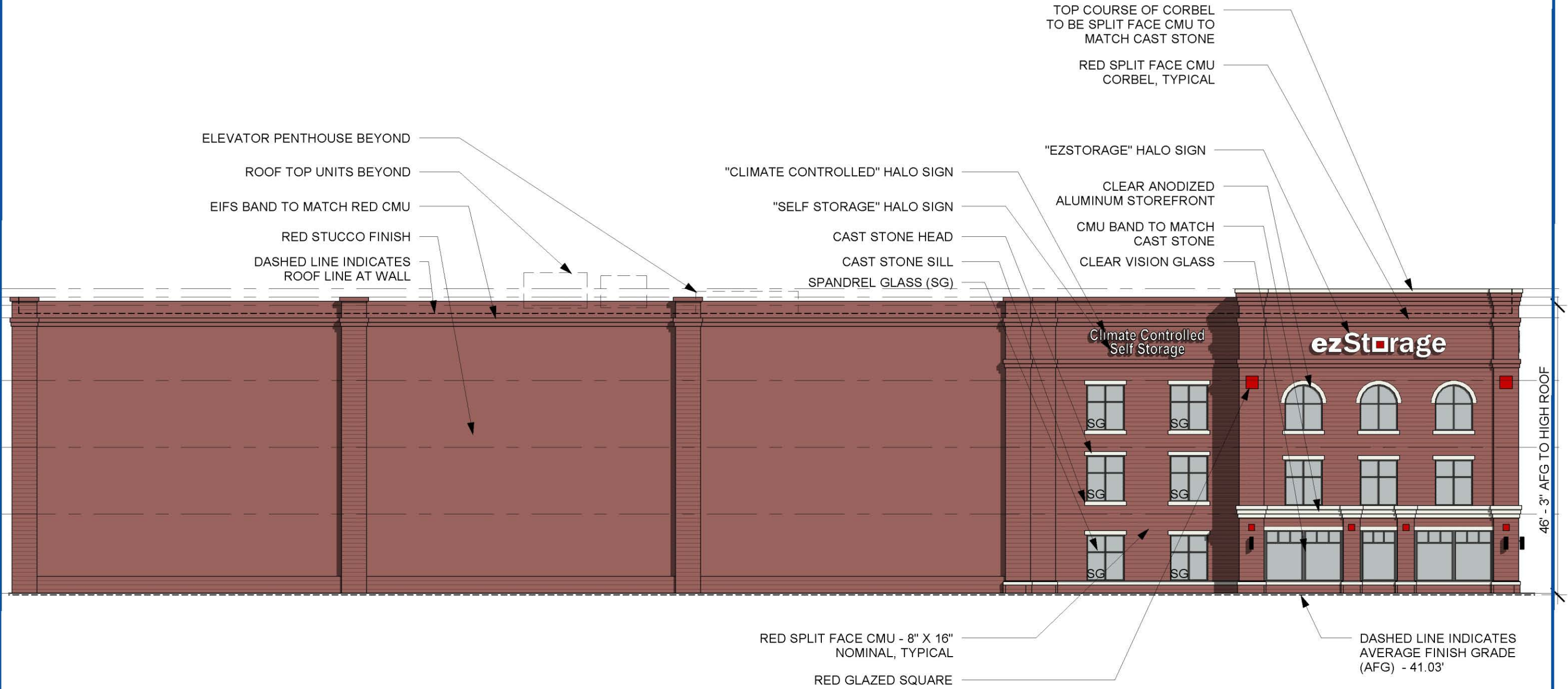


PROPOSED STRUCTURE - SOUTH (REAR) ELEVATION

ALEXANDRIA

1/16" = 1'-0"

ezStorage



PROPOSED STRUCTURE - EAST ELEVATION

ALEXANDRIA

ezStorage

1/16" = 1'-0"

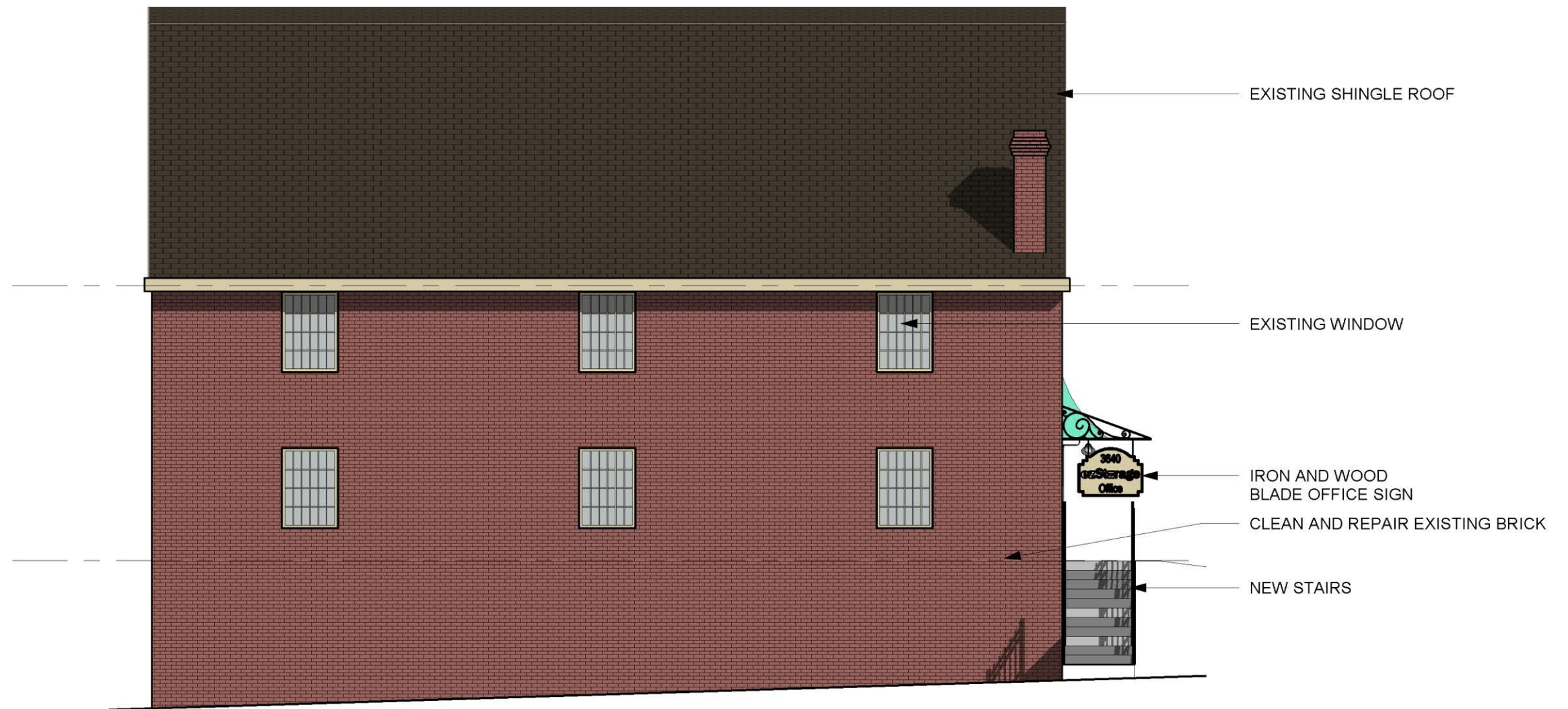


HISTORIC STRUCTURE - FRONT ELEVATION

ALEXANDRIA

1/8" = 1'-0"

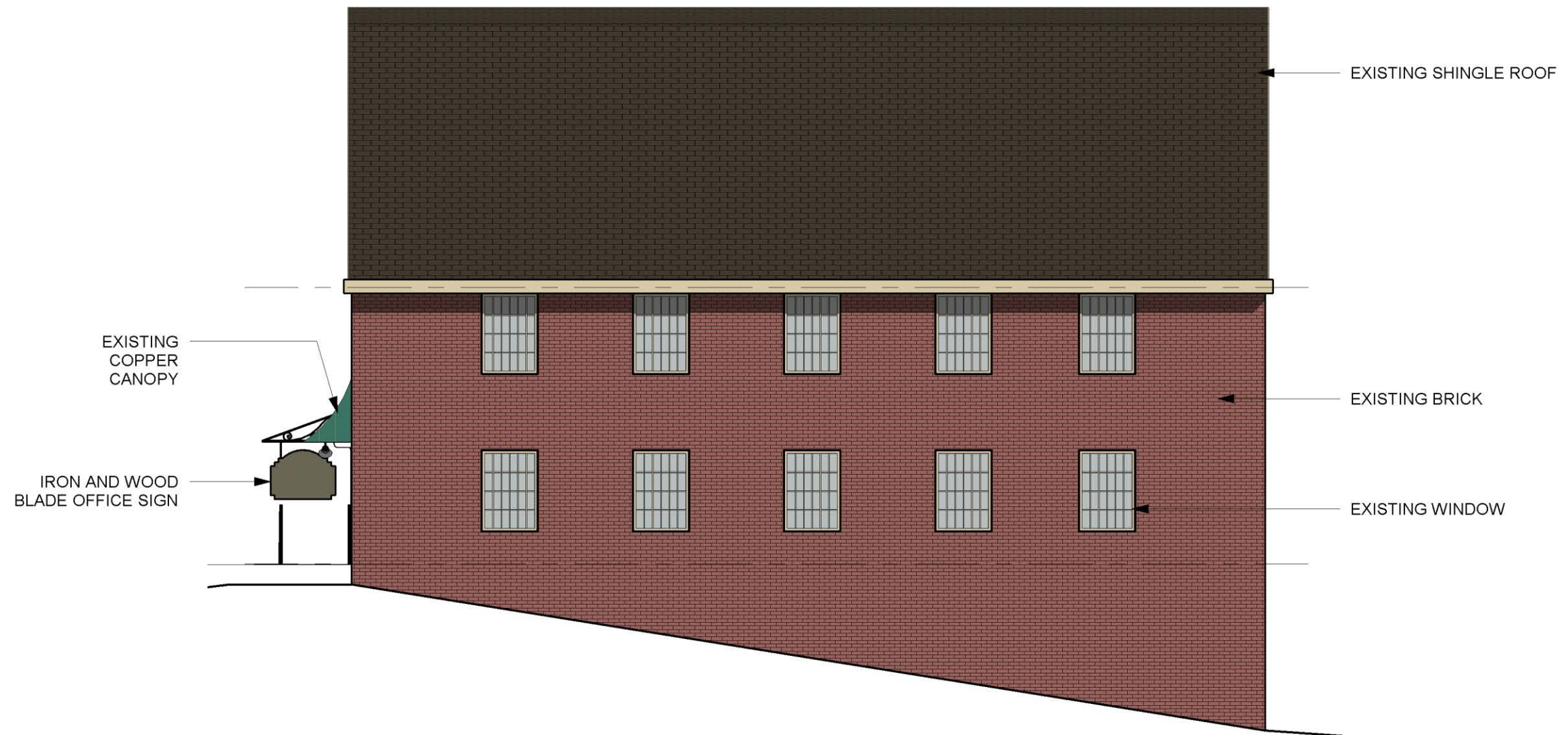
ezStorage



HISTORIC STRUCTURE - EAST ELEVATION

ALEXANDRIA

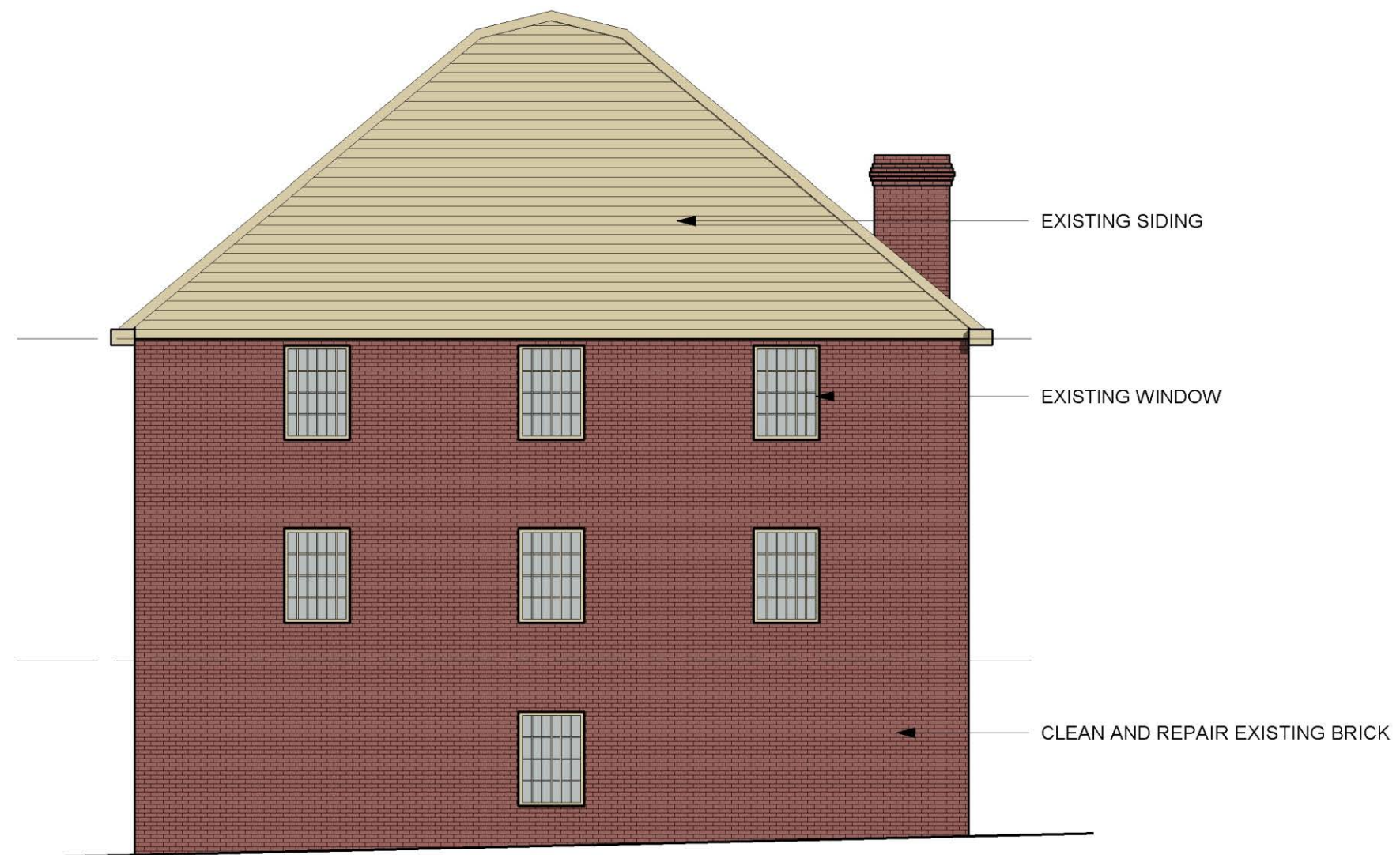
ezStorage



HISTORIC STRUCTURE - WEST ELEVATION

ALEXANDRIA

ezStorage



HISTORIC STRUCTURE - SOUTH (REAR) ELEVATION

ALEXANDRIA

ezStorage

P:\2015\15026 EZ storage alexandria\6.0 CAD Files\DSUP\L1.01 OVERALL LANDSCAPE PLAN.dwg

LANDSCAPE GUIDELINES:

1. ALL PROTECTION AND PRESERVATION MEASURES FOR EXISTING VEGETATION, INCLUDING MAINTENANCE SHALL BE APPROVED BY THE CITY ARBORIST IN-FIELD PRIOR TO COMMENCEMENT OF ANY SITE DISTURBING ACTIVITY.
2. SPECIFICATION FOR ALL PLANTINGS SHALL BE IN ACCORDANCE WITH THE CURRENT AND MOST UP TO DATE EDITION OF ANSI-Z60.1, THE AMERICAN STANDARD FOR NURSERY STOCK AS PRODUCED BY THE AMERICAN ASSOCIATION OF NURSEYMEN; WASHINGTON, DC.
3. THE APPLICANT HAS MADE SUITABLE ARRANGEMENTS FOR PRE-SELECTION TAGGING, PRE-CONTRACT GROWING, OR IS UNDERTAKING SPECIALIZED PLANTING STOCK DEVELOPMENT WITH A NURSERY OR GROWER THAT IS CONVENIENTLY LOCATED TO THE PROJECT SITE, OTHER PROCEDURES THAT WILL ENSURE AVAILABILITY OF SPECIFIED MATERIALS. IN THE EVENT THAT SHORTAGES AND/OR INABILITY TO OBTAIN SPECIFIED PLANTINGS OCCURS, REMEDIAL EFFORTS INCLUDING SPECIES CHANGES, ADDITIONAL PLANTINGS AND MODIFICATION TO THE LANDSCAPE PLAN SHALL BE UNDERTAKEN BY THE APPLICANT. ALL REMEDIAL EFFORTS SHALL, WITH PRIOR APPROVAL BY THE CITY, BE PERFORMED TO THE SATISFACTION OF THE DIRECTORS OF PLANNING & ZONING, RECREATION, PARKS & CULTURAL ACTIVITIES AND TRANSPORTATION & ENVIRONMENTAL SERVICES.
4. IN LIEU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA; GAITHERSBURG, MARYLAND.
5. PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATIONS, A PRE-INSTALLATION/CONSTRUCTION MEETING WILL BE SCHEDULED WITH THE CITY'S ARBORIST AND LANDSCAPE ARCHITECTS TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES.
6. MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED IN PERPETUITY. IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND/OR AS CONDITIONED BY PROJECT APPROVAL
7. A CERTIFICATION LETTER FOR TREE WELLS, TREE TRENCHES AND PLANTINGS ABOVE STRUCTURE SHALL BE PROVIDED BY THE PROJECT'S LANDSCAPE ARCHITECT. THE LETTER SHALL CERTIFY THAT ALL BELOW GRADE CONSTRUCTION IS IN COMPLIANCE WITH APPROVED DRAWINGS AND SPECIFICATIONS. THE LETTER SHALL BE SUBMITTED TO THE CITY ARBORIST AND APPROVED PRIOR TO APPROVAL OF THE LAST AND FINAL CERTIFICATE OF OCCUPANCY FOR THE PROJECT. THE LETTER SHALL BE SUBMITTED BY THE OWNER/APPLICANT/SUCCESSOR AND SEALED AND DATED AS APPROVED BY THE PROJECT'S LANDSCAPE ARCHITECT.
8. AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION/WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.

ARCHAEOLOGY NOTES

1. CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AN RECORDS THE FINDS.
2. THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.
3. ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

PLANT LIST

TREES

QTY	KEY	GENUS	SPECIES	VARIETY	COMMON NAME	HEIGHT	CALIPER	REMARKS	CANOPY (\$F.)	
									EACH (\$F.)	SUBTOTAL
8	ArO	Acer	rubrum	'October Glory'	October Glory Maple	14 - 16'	3 - 3 1/2"	B4B, full uniform crown, symmetrical branching, full specimen	1250	10,000
8	GbA	Ginkgo	biloba	'Autumn Gold'	Ginkgo	14 - 16'	3 - 3 1/2"	B4B, full uniform crown, symmetrical branching, full specimen	750	3,750
7	Ob	Quercus	borealis		Northern Red Oak	14 - 16'	3 - 3 1/2"	B4B, full uniform crown, symmetrical branching, full specimen	1250	8,750

SHRUBS

QTY	KEY	GENUS	SPECIES	VARIETY	COMMON NAME	HEIGHT	CALIPER	REMARKS	EACH (\$F.)	SUBTOTAL
5	FLO	Prunus	laurocerasus	'Otto Luykens'	Otto Luykens Cherry Laurel	18 - 24"	18 - 24"	#3 cont, healthy, vigorous, well-rooted 4 established in container	2	10
22	AGR	Abelia	x grandiflora	'Rose Creek'	Rose Creek Abelia	12 - 15"	18 - 24"	#2 cont, healthy, vigorous, well-rooted 4 established in container	2	44

CANOPY COVER ANALYSIS

	SUBTOTAL (\$F.)
TOTAL SITE AREA	81,120
TREE COVER REQUIRED (25%)	21,780
TREE COVER PROVIDED	22,500
SHRUB COVER PROVIDED	54
TOTAL COVER PROVIDED	22,554 (25.2%)
STREET TREE CANOPY (NOT INCLUDED)	2,250

APPROVED

SPECIAL USE PERMIT NO. 2015-0002

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____



Landscape Architecture, P.C.

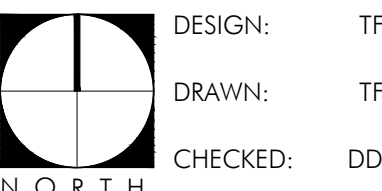
6416 Granddale Drive, Suite 100-A
Alexandria, Virginia 22310
Tel: 703.719.6500 Fax: 703.719.6503
Email: frontdesk@studio39.com

EZ STORAGE ALEXANDRIA
CITY OF ALEXANDRIA, VIRGINIA



REVISIONS:

OVERALL
LANDSCAPE PLAN



SCALE: 1" = 20'-0"

PROJECT NO: 15026

DATE: 05.13.15

L1.01

DSUP

NOT RELEASED FOR CONSTRUCTION

PROPOSED MILL RACE DRAINAGE WAY TO BE CONSTRUCTED WITH APPROPRIATE NATURE STONE ELEMENTS ACCOMPANIED WITH NATIVE PLANT MATERIAL AS PER RECOMMENCED BY CITY STAFF ARCHEOLOGY REPORT. FINAL GRADING OF THIS AREA TO BE FINALIZED ACCORDINGLY.

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8. AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION/WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.

ARCHAEOLOGY NOTES

1. CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AN RECORDS THE FINDS.
2. THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.
3. ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

PLANT LIST

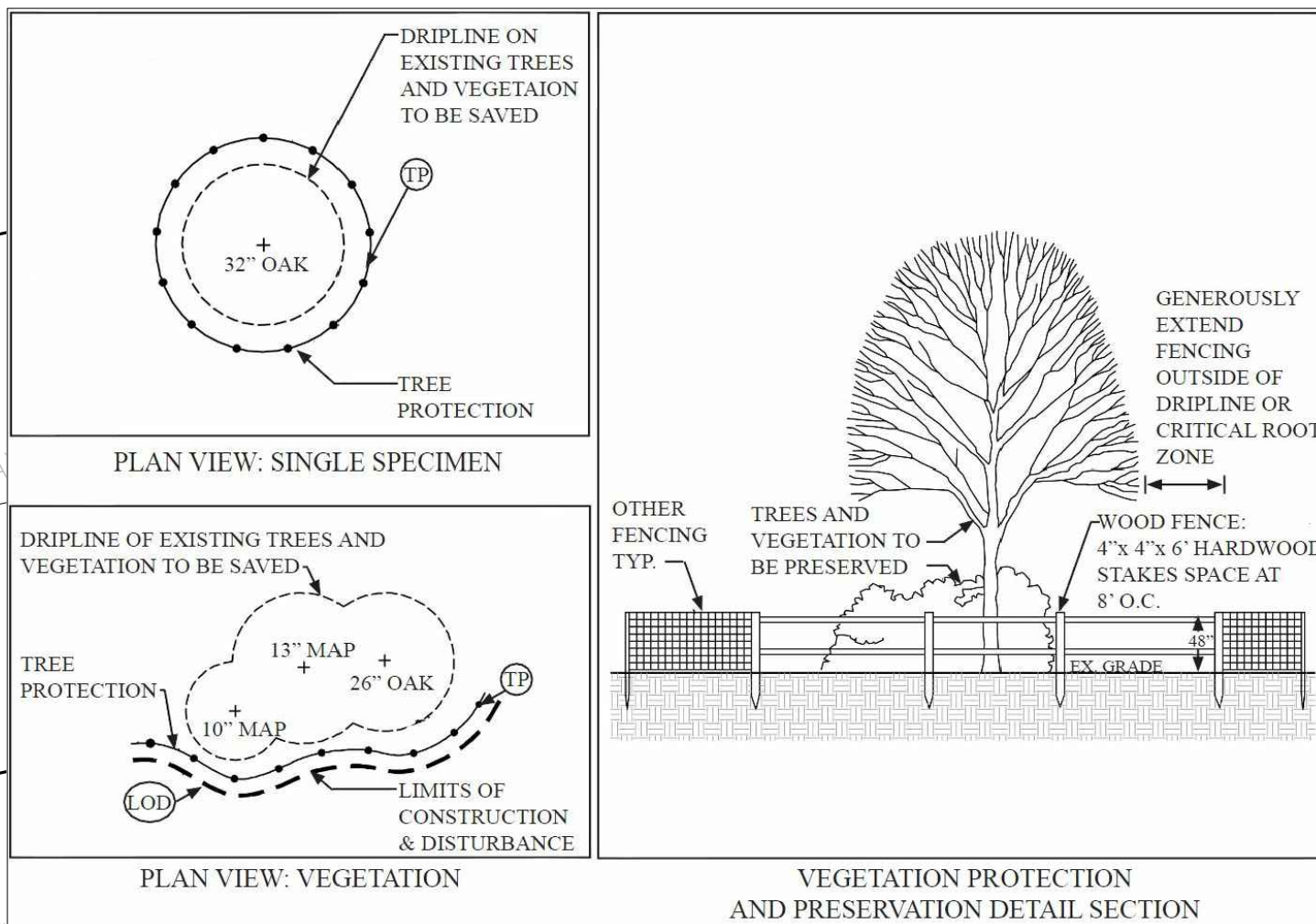
TREES

QTY	KEY	GENUS	SPECIES	VARIETY	COMMON NAME	HEIGHT	CALIPER	REMARKS	CANOPY (SF.)	
									EACH (SF.)	SUBTOTAL
8	ArO	Acer	rubrum	'October Glory'	October Glory Maple	14 - 16'	3 - 3 1/2"	B4B, full uniform crown, symmetrical branching, full specimen	1250	10,000
8	GbA	Ginkgo	biloba	'Autumn Gold'	Ginkgo	14 - 16'	3 - 3 1/2"	B4B, full uniform crown, symmetrical branching, full specimen	750	3,750
7	Ob	Quercus	borealis		Northern Red Oak	14 - 16'	3 - 3 1/2"	B4B, full uniform crown, symmetrical branching, full specimen	1250	8,750

SHRUBS

QTY	KEY	GENUS	SPECIES	VARIETY	COMMON NAME	HEIGHT	CALIPER	REMARKS	EACH (SF.)	SUBTOTAL
5	FLO	Prunus	laurocerasus	'Otto Luykens'	Otto Luykens Cherry Laurel	18 - 24"	18 - 24"	#3 cont, healthy, vigorous, well-rooted & established in container	2	10
22	AGR	Abelia	x grandiflora	'Rose Creek'	Rose Creek Abelia	12 - 15"	18 - 24"	#2 cont, healthy, vigorous, well-rooted & established in container	2	44

WHEELER AVENUE
WIDTH VARIES



VEGETATION PROTECTION AND PRESERVATION DETAIL SECTION

RPA GUIDELINES & NOTES

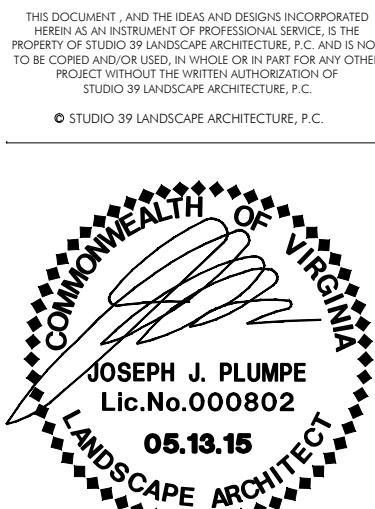
1. INVASIVE PLANTS ARE TO BE REMOVED FROM THE AREA TO BE REPLANTED WITH NATIVE SPECIES PER 'APPENDIX A' OF THE RIPARIAN BUFFERS MODIFICATION & MITIGATION GUIDANCE MANUAL.
2. VEGETATIVE RESTORATION AND ESTABLISHMENT OF THE BUFFER AREA TO FOLLOW THE STANDARDS OF 'APPENDIX D' OF THE RIPARIAN BUFFERS MODIFICATION & MITIGATION GUIDANCE MANUAL.
3. PROPOSED PLANT DENSITY WILL APPROXIMATELY CONSIST OF 25% CANOPY TREES, 25% SUB-CANOPY TREES AND SHRUBS AND 50% SHRUB/SAPPLINGS.



Landscape Architecture, P.C.

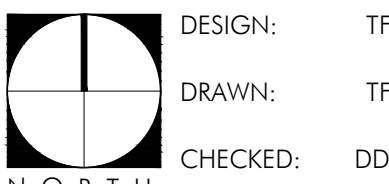
6416 Grandville Drive, Suite 100-A
Alexandria, Virginia 22310
Tel: 703.719.6500 Fax: 703.719.6503
Email: frontdesk@studio39.com

EZ STORAGE ALEXANDRIA
CITY OF ALEXANDRIA, VIRGINIA



REVISIONS:

OVERALL
LANDSCAPE PLAN



SCALE: 1" = 20'-0"

PROJECT NO: 15026

DATE: 05.13.15

L1.01

DSUP

BAR Case # 2015-00049

ADDRESS OF PROJECT: 3640 Wheeler Ave.

TAX MAP AND PARCEL: 060.04-02-22

ZONING: I/Industrial

APPLICATION FOR: (Please check all that apply)

BAR CONCEPT REVIEW SUBMISSION

☐ CERTIFICATE OF APPROPRIATENESS☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☐ Property Owner ☒ Business (Please provide business name & contact person)

Name: Siena Corporation / Craig Pittinger

Address: 8221 Snowden River Parkway

City: Columbia

State: MD

Zip: 21045

Phone: (443) 539-3070

E-mail: Pitt@sienacorp.com

Authorized Agent (if applicable): ☒ Attorney ☐ Architect ☐

Name: Walsh, Colucci, Lubeley & Walsh, P.C./By: M. Catharine Puskar Phone: 703-528-4700

E-mail: cpuskar@thelandlawyers.com

Legal Property Owner:

Name: JBJ LLC

Address: Attn: Jim Willis Flippo Construction Co. 3820 Belt Pl.

City: Forrestville

State: MD

Zip: 20747

Phone: _____

E-mail: _____

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☒ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☒ **NEW CONSTRUCTION**

☒ **EXTERIOR ALTERATION:** *Please check all that apply.*

☐ awning

☐ fence, gate or garden wall

☐ HVAC equipment

☐ shutters

☐ doors

☐ windows

☐ siding

☐ shed

☐ lighting

☐ pergola/trellis

☐ painting unpainted masonry

☒ other See attached description

☐ **ADDITION**

☒ **DEMOLITION/ENCAPSULATION**

☒ **SIGNAGE**

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

See attached description.

SUBMITTAL REQUIREMENTS:
BAR CONCEPT REVIEW SUBMISSION

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ **N/A**
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Board of Architectural Review
Description of Proposed Work
3640 Wheeler Avenue
Tax Map ID: 090.04-02-22**

Siena Corporation ("The Applicant") is submitting materials to the Board of Architectural Review for a concept review of its request for a Development Special Use Permit to build a self-storage facility ("ezStorage") at 3640 Wheeler Avenue ("The Property"), and to convert the 100-year old building on the Property for use as a leasing office. While the Property is not located in the Old & Historic District, the 100 year old building is under the purview of the BAR, and, given that the new building will be located on the same parcel, pursuant to the Zoning Ordinance, it requires review by the BAR as well.

The Property contains approximately 2.0 acres, is zoned I/Industrial, and is currently occupied by Flippo Construction. The Applicant requests approval of a development special use permit for a 4-story, 50 foot tall ezStorage self-storage facility containing approximately 108,900 sq. ft. of floor area. The new building will be constructed with masonry, steel, and concrete and has been sited to minimize the impact on the existing RPA on the southern portion of the site and to align its frontage with the frontage of the existing 100-year old building. The design incorporates a combination of true light and spandrel glass windows and will provide a transition from the 100-year old building to the more modern design of the Public Safety Center to the east.

The work proposed for the 100-year old building is as follows:

- Removal of the non-historic garage addition on the eastern portion of the building;
- Cleaning and re-pointing of the existing masonry;
- Cleaning and painting of the existing wood trim and siding;
- Renovation of the interior for use as the self-storage facility office;
- Addition of an ADA-accessible ramp and entrance at the east side for accessibility to the office;
- Addition of a backlit "ezStorage" sign to the front façade and small "Office" signs at each of the two entries;
- Removal of the asphalt at the front and west side of the building and adding landscaping; and
- Minor repairs as necessary.

The removal of the more recent additions to the 100 year old building and the additional renovation work will be more consistent with the original building. The new building will improve the Property and be an appropriate use for the industrially-zoned parcel without negative impacts on the 100 year old building and surrounding neighborhood.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ N/A
- ☐ ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ N/A
- ☐ ☐ Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ N/A
- ☐ ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- N/A ☐ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- * ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- * ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- * ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

*Not required, but will be provided

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:Signature: M. Catharine PuskarPrinted Name: M. Catharine PuskarDate: 3/2/2015

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Siena Corporation	8221 Snowden River Parkway Columbia, Maryland 21045	100% owned by Todd Manganaro
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 3640 Wheeler Avenue (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. JBJ LLC	Attn: Jim Willis Flippo Construction Co. 3820 Belt Pl.	See Attached
2.	Forrestville, MD 20747	
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Todd Manganaro	None	None
2. Brian E. Flippo/ The Brian E. Flippo Family Trust	None	None
3. Jeffrey S. Flippo/ The Jeffrey S. Flippo Family Trust	None	None

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

3/2/2015
Date

M. Catharine Puskar, Agent/Attorney
Printed Name


Signature

JBJ LLC

Ownership and Disclosure

March 2, 2015

The Ownership of JBJ, LLC (all above 10%) is listed below:

Brian E Flippo

The Brian E Flippo Family Trust

Jeffrey S. Flippo

The Jeffrey S. Flippo Family Trust

None of the above have any business or financial relationships with any City Council member, Planning Commissioner, BAR member, or BZA member.