

Docket Item # 1
BAR CASE # 2015-0033

BAR Meeting
March 18, 2015

ISSUE: Revisions to Previously Approved Plans

APPLICANT: Jeffrey and Magnolia Lipsky by Gretchen Brown

LOCATION: 110 Princess Street

ZONE: RM / Residential

STAFF RECOMMENDATION

Staff recommends approval of the application with the condition that the proposed windows are consistent with the BAR's adopted Window Policy.

****EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.

****APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.



BAR2015-00033



I. ISSUE

The applicant requests two changes to a previously approved BAR application. On November 19, 2014, the BAR approved a Permit to Demolish and Certificate of Appropriateness for new single dormers and a two-story boxed bay on the front elevation, a new rear dormer, replacement windows and doors throughout the townhouse, and a waiver of the rooftop HVAC screening requirement.

At this time, the applicant requests the addition of two small casement windows on the side walls of the approved new rear dormer. The windows will be four-light, square casements measuring approximately 18 inches by 21 inches. The applicant also proposes a waiver of the rooftop mechanical screening requirement for a rooftop generator.

II. HISTORY

The dwelling at 110 Princess Street is a one of a group of 86 three-story brick townhouses bounded by North Union, North Lee, Queen and Oronoco Streets which was approved by City Council in 1968 (Special Use Permit #1084) and constructed in **1971**. At the time the area was developed it was not within the boundaries of the Old and Historic Alexandria District, but it was added to the district in June of 1984. 110 Princess is a three-story, three-bay, interior townhouse constructed in a minimalist Colonial Revival style. The building was significantly damaged by fire in June 2014. In November 2014, the BAR approved an application for new dormers on the front and rear, a two-story bay on the front and a waiver of the rooftop mechanical screening requirement (BAR 2014-0356 and 2014-0357, 11/19/14).

III. ANALYSIS

The project is in compliance with zoning ordinance requirements.

The proposed addition of small casement windows on the side elevations of the dormers are not typical of historic dormers in Alexandria however the approved dormer is not historic, nor is this a historic townhouse. The size of the proposed dormers is proportionate to the dormer and the wall area and the proposed window is compatible with the contemporary Colonial Revival style of the townhouse. Small windows such as these add architectural variety, not unlike oriel windows or lunettes on historic buildings. Furthermore, although it will be visible from a public way, it is minimally visible due to its location on the rear of the roof, half a block away from North Union Street. Therefore, staff finds the proposed modification to the new rear dormer to be compatible.

Staff previously had no objection to the proposed relocation of the HVAC equipment to the rooftop of this interior, mid-block townhouse and recommends that the BAR waive the rooftop mechanical screening requirement for the generator, therefore waiving the screening requirement for up to three rooftop mechanical units, with staff to perform field review of the final location to ensure it is mounted in the least visible location on the roof.

STAFF

Catherine K. Miliaras, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Code Administration

F-1 The following comments are for BAR2015-00033. Once the applicant has filed for a building permit and additional information has been provided, code requirements will be based upon that information and the building permit plans. If there are any questions, the applicant may contact Charles Cooper, Plan Review Division at Charles.cooper@alexandriava.gov or 703-746-4197.

C-1 Building permit and inspections are required for this proposed construction. Five sets of construction documents that fully detail the construction as well as layout and schematics of the scope of work

Transportation and Environmental Services

R-1 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-2 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 Previously reviewed under BAR2014-00356 & BAR2014-00357. (TES)

F-2 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)

- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

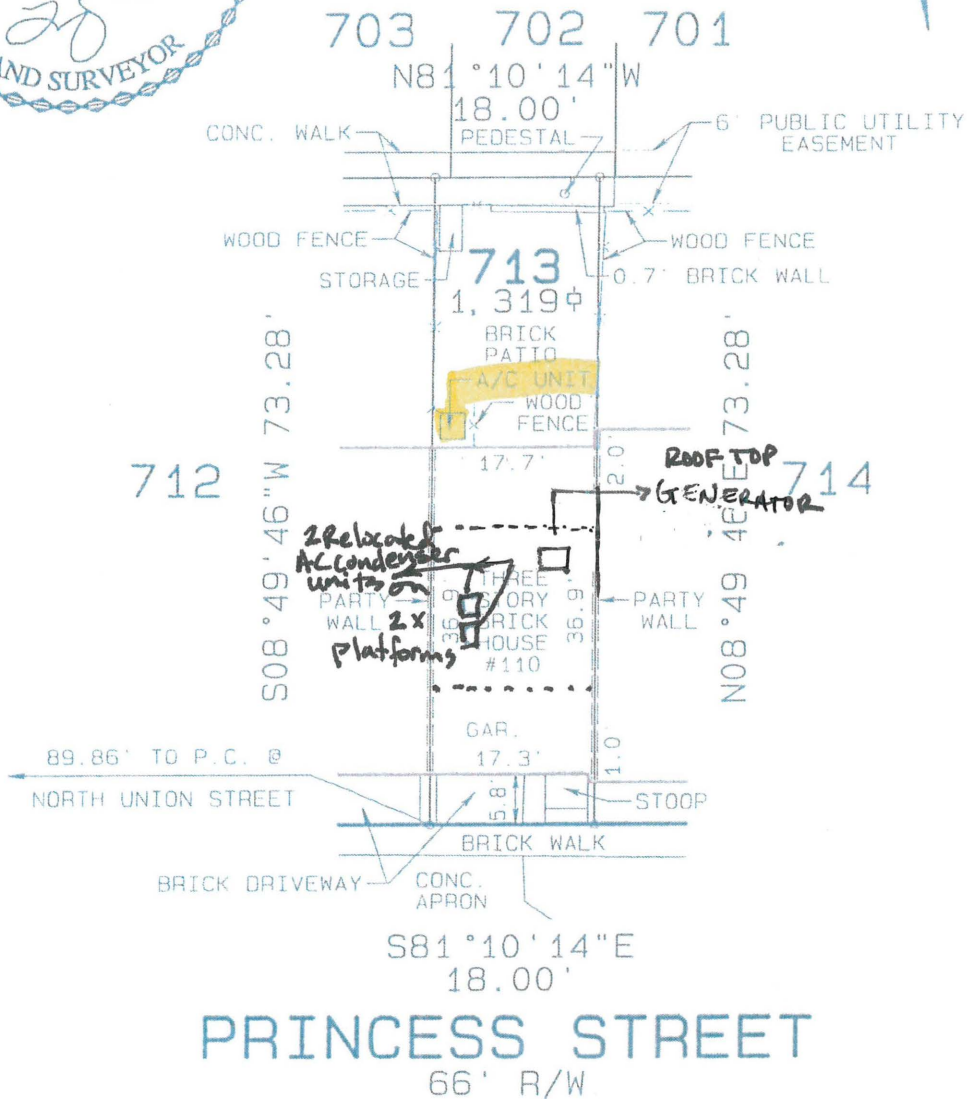
V. ATTACHMENTS

1 – Supplemental Materials

2 – Application for BAR # 2015-0033: 110 Princess Street

3 –Staff Report and Attachments for BAR # 2014-0356 & 2014-0357: 110 Princess Street

COPYRIGHT SCARTZ SURVEYS - THIS IS A SERVICE DOCUMENT AND IS VALID FOR SIX MONTHS FROM DATE ISSUED.
THIS SURVEY WAS PERFORMED ACCORDING TO THE STANDARDS SET FORTH IN VIRGINIA CODE SECTION 54 1-407.



PHYSICAL IMPROVEMENTS SURVEY

LOT 713, SECTION 4

OLD TOWNE

CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1"=20' DATE: AUGUST 27, 2013

CASE NAME: LEVITE
TO LIPSKY (0TAX1308007)



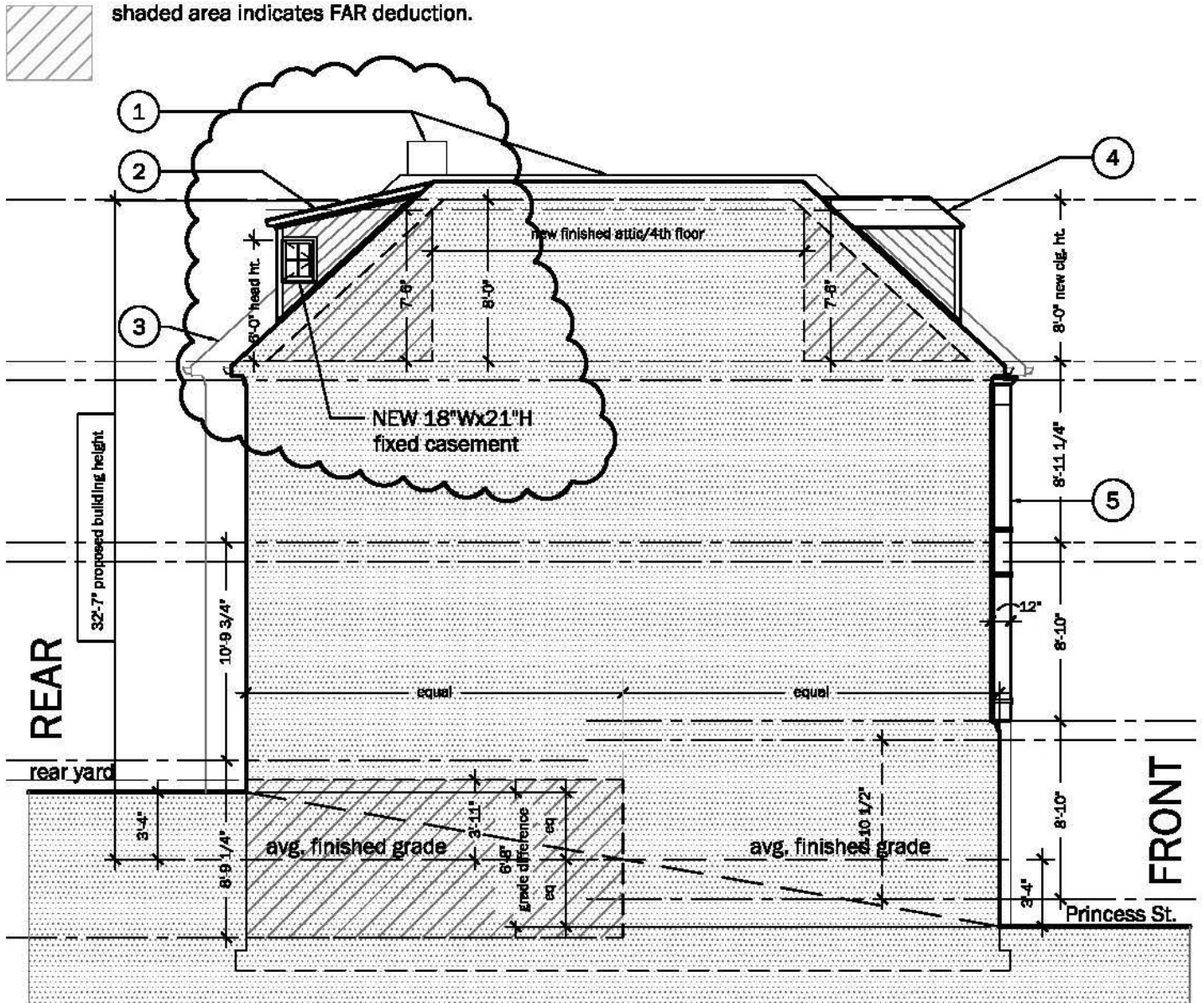
NO TITLE REPORT FURNISHED.
PLAT SUBJECT TO RESTRICTIONS & EASEMENTS OF RECORD OR OTHERWISE.
FENCE LOCATIONS, IF SHOWN, ARE APPROXIMATE ONLY
AND DO NOT CERTIFY AS TO OWNERSHIP.

SCARTZ SURVEYS

LARRY N. SCARTZ LOCAL (703) 494-4181
CERTIFIED LAND SURVEYOR FAX (703) 494-3330
WOODBIDGE, VIRGINIA LARRY.SCARTZ@SCARTZ.COM



- ① modify adjacent masonry chimney and parapet walls as required by Code to accommodate new roof height.
- ② new shed roof dormer (rear):
 - standing seam metal roof
 - painted wood siding and trim
 - clad wood DH, 6/6 window
- ③ line of 112 Princess St. rear wall beyond.
- ④ new hip-roof dormer (front):
 - standing seam metal roof
 - painted wood siding and trim
 - clad wood DH, 6/6 window
- ⑤ new box-bay:
 - painted wood trim
 - clad wood DH, 6/6 windows



Proposed Modifications - Left-side (West) Elevation

Scale: 1/8" = 1'-0"

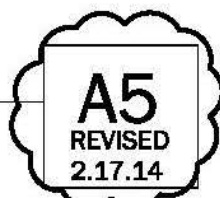


ELM STREET
CONSULTING


P.O. Box 5142
Arlington, Virginia 22205
Erin L. May - 703.836.6666
erin@elmstreetconsulting.com

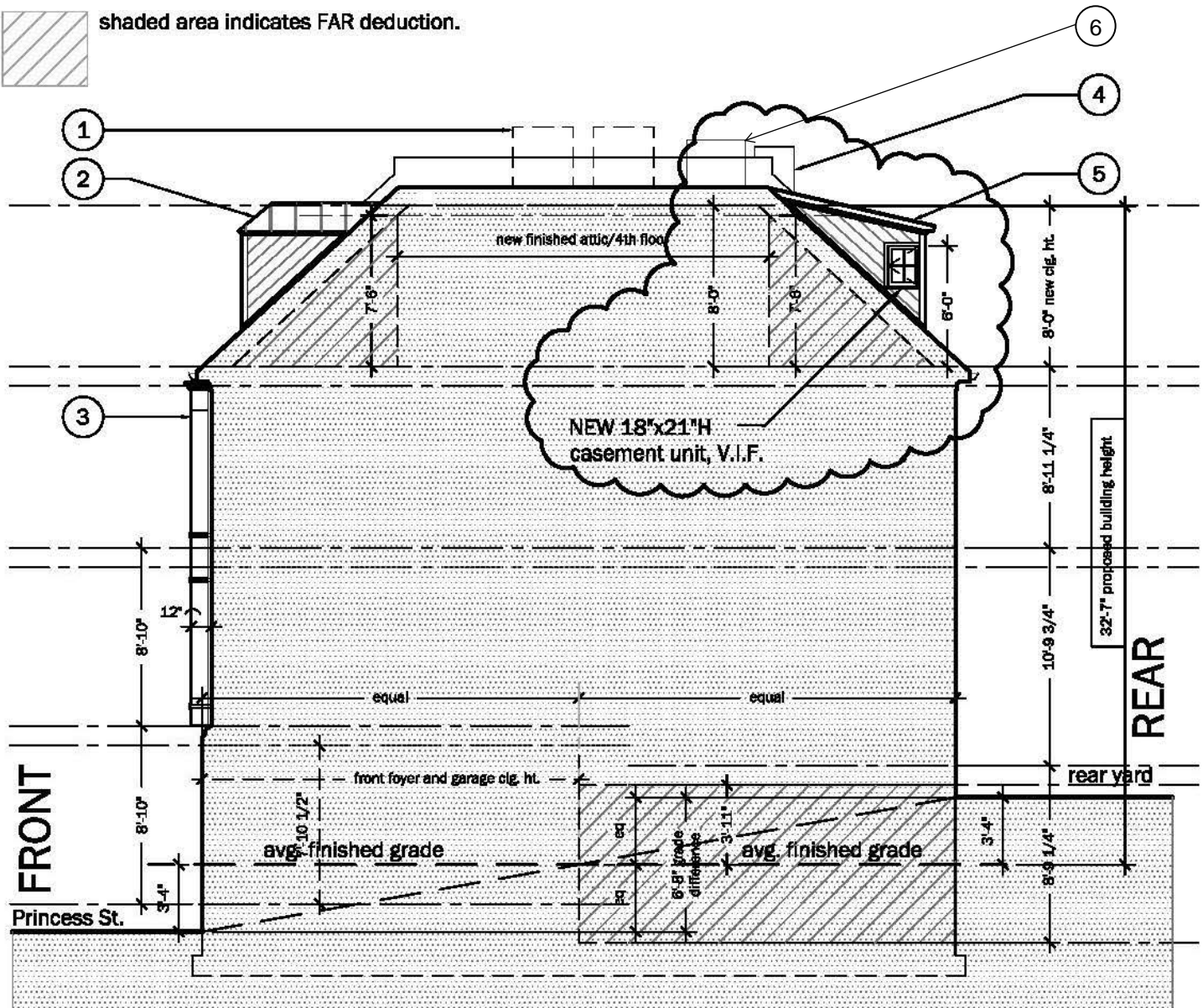
110 PRINCESS STREET

Client: Jeffrey and Magnolia Lipsky
110 Princess Street
Alexandria, Virginia 22314



- ① (2) relocated condensing units
- ② new hip-roof dormer (front):
 - standing seam metal roof
 - painted wood siding and trim
 - clad wood DH, 6/6 window
- ③ new box-bay:
 - painted wood trim
 - clad wood DH, 6/6 windows
- ④ new shed roof dormer (rear):
 - standing seam metal roof
 - painted wood siding and trim
 - clad wood DH, 6/6 window
- ⑤ modify adjacent masonry chimney and parapet walls as required by Code to accommodate new roof height.
- ⑥ rooftop generator

 shaded area indicates FAR deduction.



Proposed Modifications - Right-side (East) Elevation

Scale: 1/8" = 1'-0"

110 PRINCESS STREET

Client: Jeffrey and Magnolia Lipsky
110 Princess Street
Alexandria, Virginia 22314

ELM STREET
CONSULTING

P.O. Box 5142
Arlington, Virginia 22205
Erin L. May - 703.836.6666
erin@elmstreetconsulting.com

A6
REVISED
2.17.14

BAR Case # 2015-00033

ADDRESS OF PROJECT: 110 Princess Street

TAX MAP AND PARCEL: 065.03-05-09

ZONING: RM

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☒ Property Owner ☐ Business (Please provide business name & contact person)

Name: Jeffrey and Magnolia Lipsky

Address: 110 Princess Street

City: Alexandria

State: VA

Zip: 22314

Phone: 410-979-3376

E-mail: Gretchen@HarryBraswell.com

Authorized Agent (if applicable): ☐ Attorney ☐ Architect☒ Contractor

Name: Gretchen Brown

Phone: 571-436-3974

E-mail: Brendan@HarryBraswell.com

Legal Property Owner:

Name: Jeffrey and Magnolia Lipsky

Address: 110 Princess Street

City: Alexandria

State: VA

Zip: 22314

Phone: 571-436-3974

E-mail: Gretchen@HarryBraswell.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☐ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- | | | |
|----------------------------------------------------------------------------------------------|-----------------------------------------------------|-----------------------------------------------------|
| <input type="checkbox"/> NEW CONSTRUCTION | | |
| <input checked="" type="checkbox"/> EXTERIOR ALTERATION: <i>Please check all that apply.</i> | | |
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment |
| <input type="checkbox"/> doors | <input checked="" type="checkbox"/> windows | <input type="checkbox"/> siding |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry |
| <input checked="" type="checkbox"/> other <u>Generator @ roof</u> | | <input type="checkbox"/> shutters |
| | | <input type="checkbox"/> shed |
| <input type="checkbox"/> ADDITION | | |
| <input type="checkbox"/> DEMOLITION/ENCAPSULATION | | |
| <input type="checkbox"/> SIGNAGE | | |

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Install one 18"x21" window at each side of south-facing shed dormer (rear-facing) at top floor. Windows to match in accordance with BAR requirements. Install rooftop generator.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- | | | |
|--------------------------|-----------------------------------------|-----------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> N/A | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Survey plat showing the extent of the proposed demolition/encapsulation. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Description of the reason for demolition/encapsulation. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible. |

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☒ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
 - ☐ ☒ FAR & Open Space calculation form.
 - ☐ ☒ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
 - ☐ ☒ Existing elevations must be scaled and include dimensions.
 - ☐ ☒ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
 - ☐ ☒ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
 - ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☒ Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
 - ☐ ☒ Square feet of existing signs to remain: _____.
 - ☐ ☒ Photograph of building showing existing conditions.
 - ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
 - ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
 - ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
 - ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
 - ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
 - ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
 - ☒ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: Gretchen Brown

Date: 02/17/2015

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. JEFF LIPSKY	110 Princess St	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 110 Princess St (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. JEFF LIPSKY	110 Princess St	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
N/A		
1.	N/A	N/A
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

2/17/2015
Date

Gretchen Brown

Printed Name


Signature

Docket Item # 5 & 6
BAR CASE # 2014-0356 &
2014-0357

BAR Meeting
November 19, 2014

ISSUE: Partial Demolition/Capsulation, Alterations and Waiver of Rooftop HVAC Screening

APPLICANT: Jeffrey and Magnolia Lipsky by Gretchen Brown

LOCATION: 110 Princess Street

ZONE: RM / Residential

BOARD ACTION on November 19, 2014: On a motion made by Mr. Neale, seconded by Mr. Carlin, the OHAD Board of Architectural Review voted to approve BAR Case #2014-00356 and #2014-00357, as amended. The motion carried on a vote of 7-0.

CONDITIONS OF APPROVAL:

1. The applicant shall work out final design details with staff for the intersection of the townhouse cornice with the projecting bay cornice.
2. The applicant shall submit full specifications for replacement windows in accordance with the BAR's adopted Window Policy.
3. The garage door shall be Thames #30, as shown on page 30 of the application.

SPEAKERS

Jeffery Lipsky, the applicant thanked staff for their help with the project.

BOARD DISCUSSION

Mr. Neale stated that the design for the two story front bay window was refreshing for this street, but recommended that the muntins be altered so that the glass panes within the panels of the garage door match the vertical proportion and orientation of the proposed panes on the windows on the house. Mr. Neale made a motion to approve the application, as amended by staff, and to match the Thames #30 model garage door window panels shown on page 30 of the application. The applicant concurred with Mr. Neale's suggestions.

REASON

The Board found the proposal to be appropriate and consistent with the Design Guidelines.

STAFF RECOMMENDATION

Staff recommends approval of the application with the following conditions:

4. The applicant shall out final design details with staff for the intersection of the townhouse cornice with the projecting bay cornice.
5. The applicant shall submit full specifications for replacement windows in accordance with the BAR's adopted Window Policy.

****EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.

****APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.



BAR2014-00356 & BAR2014-00357



I. ISSUE

The applicant requests a Permit to Demolish for partial demolition and a Certificate of Appropriateness for a number of alterations including front and rear dormers. The request includes the following:

Front Elevation:

- New, two-story boxed bay (12 feet in width, 1 foot in projection) at second and third stories
- Two, single, hipped roof dormers at the attic story
- Replacement garage door with glass lights
- Replacement front door
- Demolish chimney
- Raise roof height 11 inches and modify adjacent parapet walls accordingly

Rear Elevation:

- New shed dormer
- Replacement windows and French doors with sidelights
- New basement egress window (below-grade)

The applicant also proposes to relocate the HVAC unit to the roof and therefore requests a waiver of the rooftop HVAC screening requirement. The materials proposed include a standing seam metal roof, painted wood siding and trim, a steel garage door, a glass and wood front door, and clad simulated divided light windows.

II. HISTORY

The dwelling at 110 Princess Street is a one of a group of 86 three-story brick townhouses bounded by North Union, North Lee, Queen and Oronoco Streets which was approved by City Council in 1968 (Special Use Permit #1084) and constructed in **1971**. At the time the area was developed it was not within the boundaries of the Old and Historic Alexandria District, but it was added to the district in June of 1984. 110 Princess is a three-story, three-bay, interior townhouse constructed in a minimalist Colonial Revival style. It has a brick façade laid in a running bond pattern, a water table above the first floor, 6/6 windows with brick spandrel panels between the second and third stories, and a front facing garage. The building was significantly damaged by fire in June 2014.

III. ANALYSIS

The project is in compliance with zoning ordinance requirements.

Over the years, the BAR has seen a number of requests for alterations and additions to the townhouses in this development, as they have increased significantly in value over the years. While the most common request in the past has been for large dormers on the front and rear elevations to convert the attic to useable space, other requests have been to fundamentally change the architectural character of the townhouse. The Board has reviewed a range of proposals but has always commented that although these townhouses are not considered historic any alterations or changes should reflect good design and be compatible with the specific

townhouse and the greater historic district. For example, at 101 Princess Street/400 North Union Street, the Board approved the painting of masonry and the construction of large, tripartite dormers on the front and rear elevations (BAR Case #2011-0245, 2011-0362, and 2013-0093). Most recently, the BAR supported a change in architectural character to a more contemporary but compatible style at 100 Quay Street, which is currently under construction (BAR Case #2014-0032 and 2014-0033).

This particular application proposes alterations in keeping with the overall Colonial Revival style of the development. The BAR has previously approved projecting box bays at the second story in several instances. Here, the applicant proposes a two-story projecting box bay at the second and third stories. Staff finds that the proposal is conceptually appropriate and generally well-detailed. Staff finds that juncture where the bay's cornice intersects with the dentiled cornice of the townhouse may need further refinement. The two single dormers proposed for the front elevation are appropriately scaled. The *Design Guidelines* note that "the style of the dormer should be appropriate to the architectural style" and "should align with the existing windows." Although the *Guidelines* also note that shed dormers are generally discouraged, the BAR has found them appropriate on numerous rear elevations. Staff finds that the mid-block location of this townhouse will make the shed dormer minimally visible. In addition, this particular shed dormer features a more historically appropriate slope rather than some of the more recently constructed flat-roofed dormers and is appropriately scaled and detailed.

The applicant has requested a more distinctive door design than what is typically associated with a vernacular Colonial Revival townhouse like this. The door features leaded glass (clear and obscure elements) with geometric squares and silver coming. Although it is beyond the realm of what staff would feel comfortable approving administratively, staff finds that the proposed high-style door is generally compatible with the Colonial Revival style and adds visual interest. A door such as this represents the personal changes that individual owners make over time without compromising the overall style of their particular townhouse or mixing architectural styles on the same building.

The proposed materials are high-quality and consistent with the BAR's approved policies. Staff notes that full window specifications in conformance with the BAR's policies must be submitted as part of the building permit approval process.

Staff has no objection to the proposed relocation of the HVAC equipment to the rooftop of this interior, mid-block townhouse and recommends that the BAR waive the rooftop HVAC screening requirement.

STAFF

Catherine K. Miliaras, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Code Administration

- F-1 The following comments are for BAR. Once the applicant has filed for a building permit and additional information has been provided, code requirements will be based upon that information and the building permit plans. If there are any questions, the applicant may contact Charles Cooper, Plan Review division at Charles.cooper@alexandriava.gov or 703-746-4197.
- C-1 Building and trade permits are required for this project.
- C-2 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-3 A building permit application has been received for this project. Any alterations to the original application for permit will require a submittal of plans that reflect this alteration.

Transportation and Environmental Services

- R-1 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-2 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- C1. The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C2. The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C3. Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C4. All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)

- C5. Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2)
(T&ES)

V. ATTACHMENTS

1 – Supplemental Materials

2 – Application for BAR # 2014-0356 & 2014-0357: 110 Princess Street



DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property Information

A1. Street Address 110 Princess Street Zone RM/Townhouse

A2. 1319 x 1.5 = 1979
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	646	Basement**	283
First Floor	646	Stairways**	137
Second Floor	646	Mechanical**	15
Third Floor	0	Other**	
Porches/ Other	0	Total Exclusions	435
Total Gross *	1938		

B1. Existing Gross Floor Area *
1938 Sq. Ft.
B2. Allowable Floor Exclusions**
435 Sq. Ft.
B3. Existing Floor Area minus Exclusions
1503 Sq. Ft.
(subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement	0	Basement**	
First Floor	0	Stairways**	50
Second Floor	0	Mechanical**	
Third Floor	646	Other**	332
Porches/ Other	0	Total Exclusions	382
Total Gross *	646		

C1. Proposed Gross Floor Area *
646 Sq. Ft.
C2. Allowable Floor Exclusions**
382 Sq. Ft.
C3. Proposed Floor Area minus
Exclusions 264 Sq. Ft.
(subtract C2 from C1)

D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 1767 Sq. Ft.
D2. Total Floor Area Allowed by Zone (A2) 1979 Sq. Ft.

*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

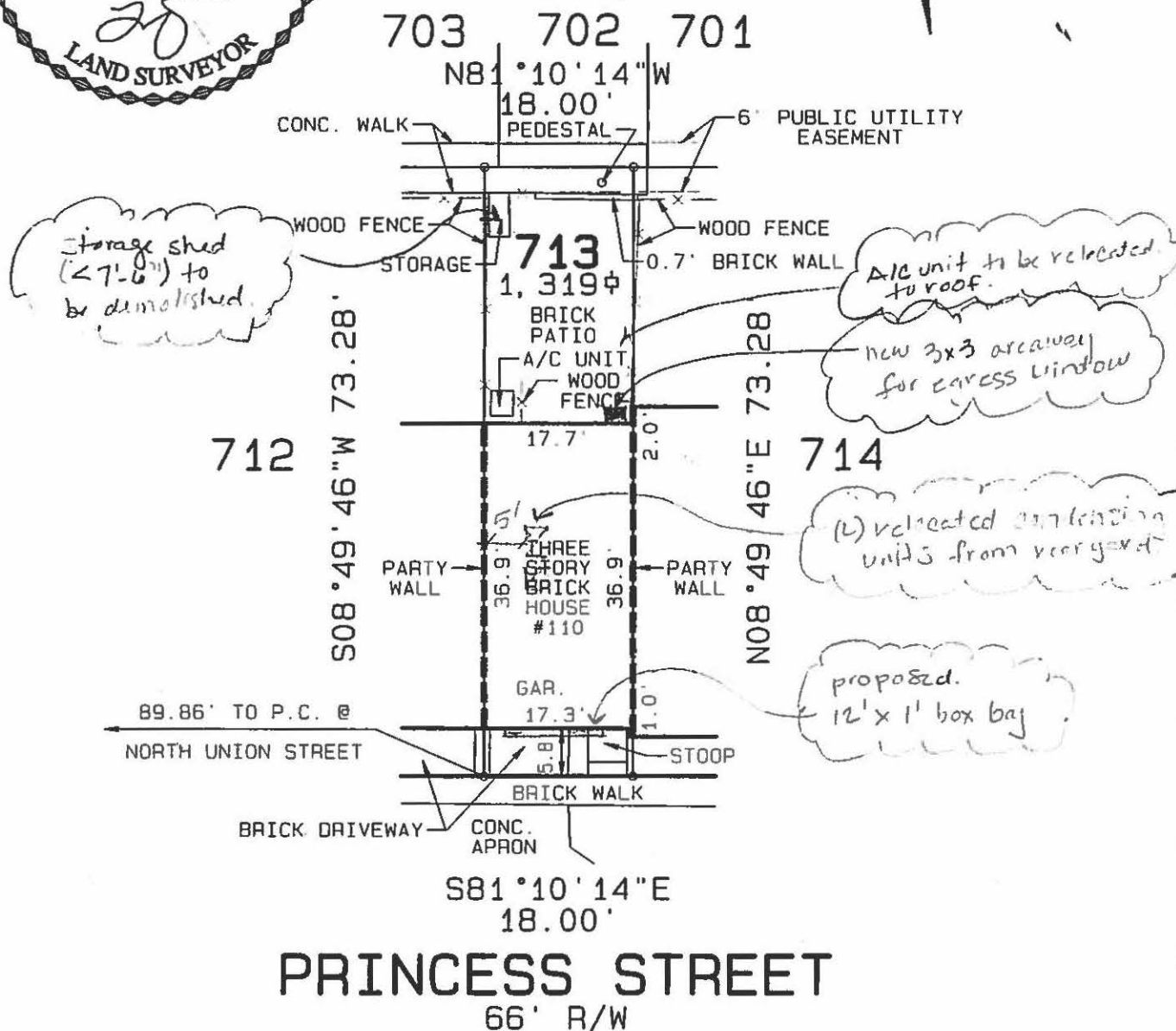
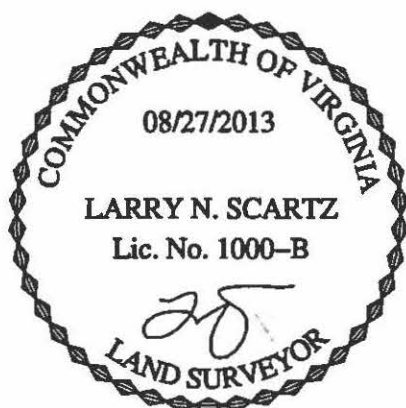
If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

F. Open Space Calculations

Existing Open Space	535
Required Open Space	462
Proposed Open Space	541

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: Erin May Date: 11.13.204



PHYSICAL IMPROVEMENTS SURVEY

LOT 713, SECTION 4

OLD TOWNE

CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1"=20'

DATE: AUGUST 27, 2013

CASE NAME: LEVITE
TO LIPSKY (OTAX1308007)

MBH
Settlement Group, L.C.

NO TITLE REPORT FURNISHED.

PLAT SUBJECT TO RESTRICTIONS & EASEMENTS OF RECORD OR OTHERWISE

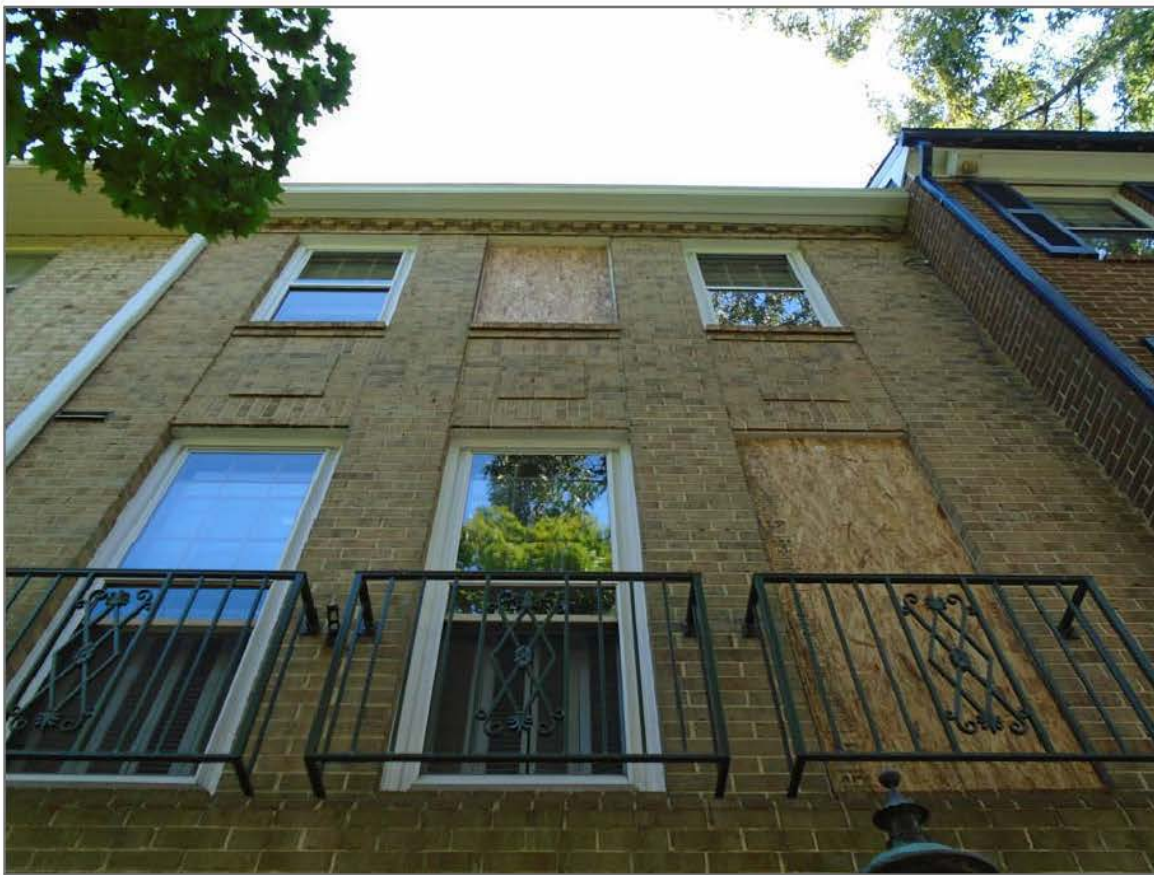
FENCE LOCATIONS, IF SHOWN, ARE APPROXIMATE ONLY
AND DO NOT CERTIFY AS TO OWNERSHIP.

SCARTZ SURVEYS

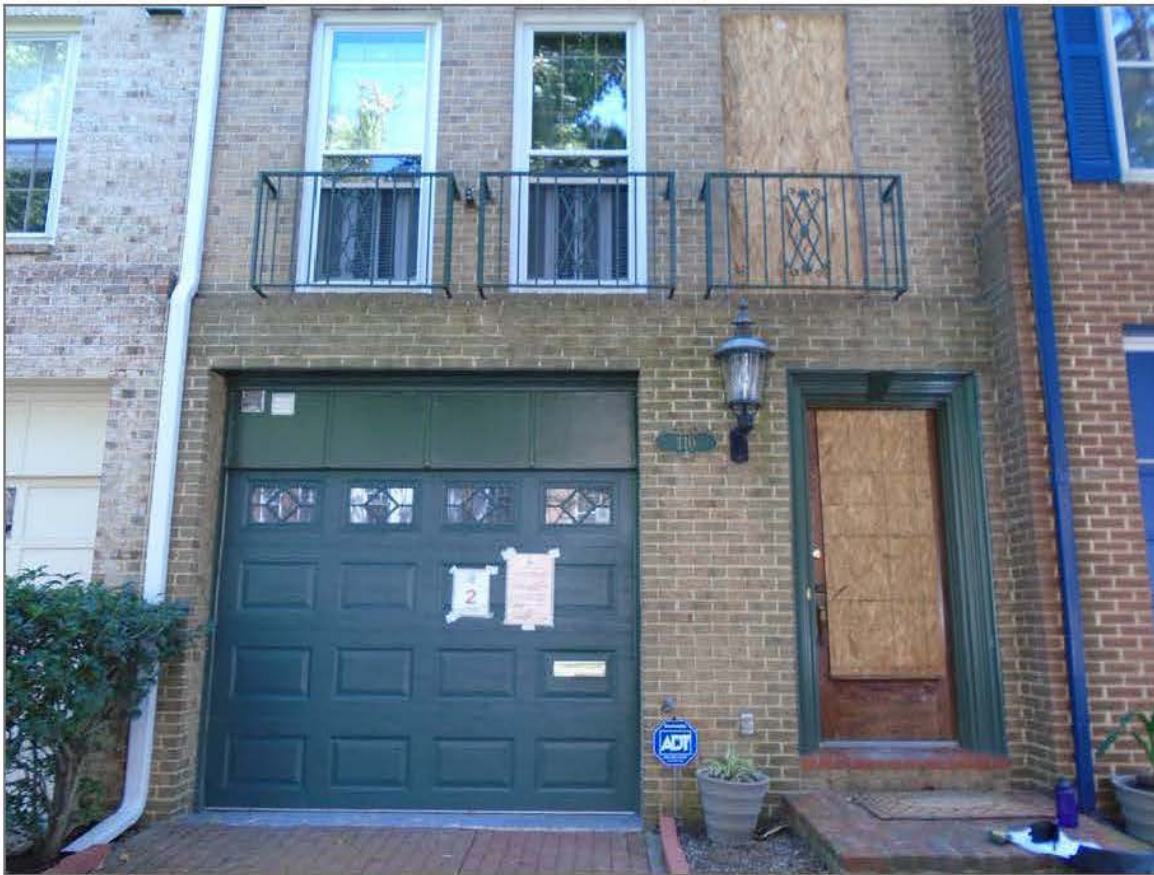
LARRY N. SCARTZ
CERTIFIED LAND SURVEYOR
WOODBIDGE, VIRGINIA

LOCAL (703) 494-4181
FAX (703) 494-3330
LARRY.SCARTZ@SCARTZ.COM





Existing Front Elevation
Upper Levels



Existing Front Elevation
Lower Level



ELM STREET
CONSULTING
P.O. Box 5142
Arlington, Virginia 22205
Erin L. May - 703.836.6666
erin@elmstreetconsulting.com

110 PRINCESS STREET

Client: Jeffrey and Magnolia Lipsky
110 Princess Street
Alexandria, Virginia 22314

BAR SUBMISSION -
20 OCTOBER 2014

A0.1



West



Street Front



East

110 PRINCESS STREET

Client: Jeffrey and Magnolia Lipsky
110 Princess Street
Alexandria, Virginia 22314

BAR SUBMISSION -
20 OCTOBER 2014

A0.2



Dormer and Box Bay

NEIGHBORHOOD CONTEXT



Hip Roof Dormer



Hip Roof Dormer



Shed Roof Dormer



Existing Rear Elevation

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A0.4

- ① demolish masonry chimney.
- ② existing masonry party wall and chimneys.
- ③ demolish portions of roof structure as shown for new dormers.
- ④ remove standing seam metal panels for replacement; existing rafters and sheathing to remain, u.n.o.
- ⑤ remove (6) windows and demolish portion of exterior brick wall for encapsulation.
- ⑥ remove overhead garage door for replacement in existing opening.
- ⑦ remove entrance door for replacement in existing opening.



Proposed Demolition - Front Elevation

Scale: 1/8" = 1'-0"

110 PRINCESS STREET

Client: Jeffrey and Magnolia Lipsky
110 Princess Street
Alexandria, Virginia 22314

REVISED - 11.10.14

BAR SUBMISSION -
20 OCTOBER 2014

A1

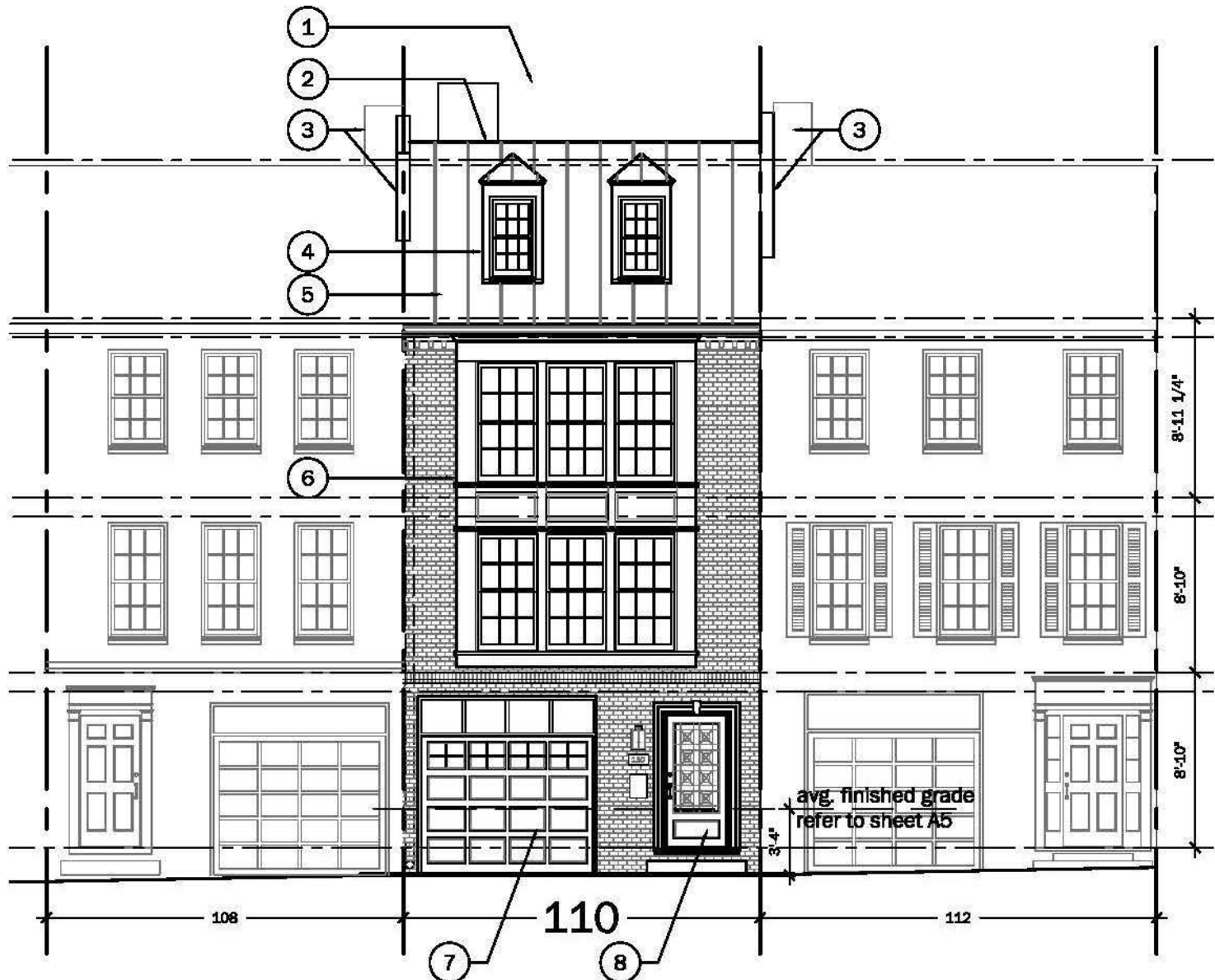
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CONSULTING

P.O. Box 5142
Arlington, Virginia 22205
Erin L. May - 703.836.6666
erin@elmstreetconsulting.com

- ① relocated condensing units.
- ② new roof height; dashed line indicates existing height. refer to A6/A7 for section diagram.
- ③ modify adjacent masonry chimney and parapet walls as required by Code to accommodate new roof height.
- ④ (2) new hip-roof dormers:
- standing seam metal roof
- painted wood siding and trim
- clad wood DH, 6/6 window
- ⑤ new standing seam metal panels (oil-rubbed bronze) over existing roof structure.

- ⑥ new box-bay:
- painted wood trim and raised panels
- clad wood DH, 6/6 windows
- ⑦ new overhead garage door, painted.
- ⑧ new entrance door, painted.

Note: All existing unpainted brick will remain unpainted.
All existing painted trim will be repainted.
All existing white aluminum k-box style gutters and square downspout to remain.



Proposed Modifications - Front Elevation

Scale: 1/8" = 1'-0"



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110 PRINCESS STREET

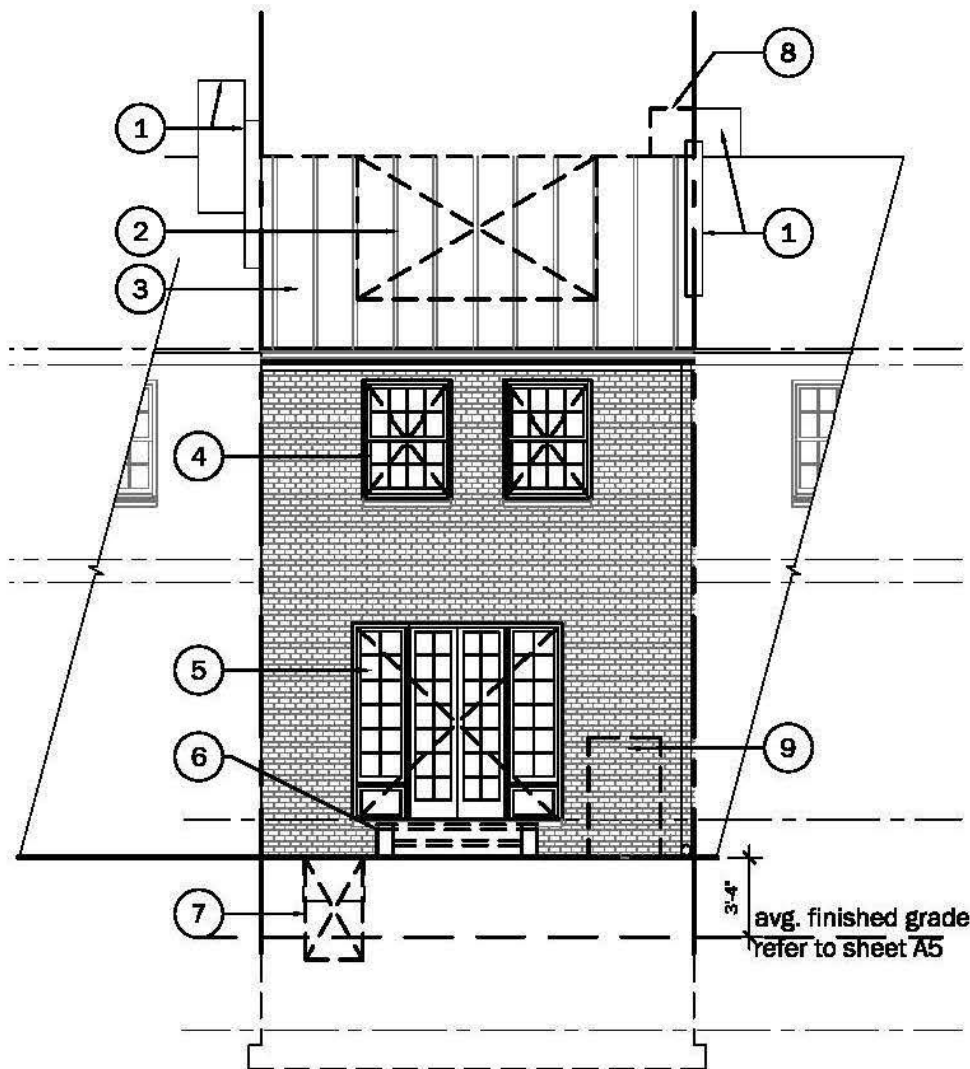
Client: Jeffrey and Magnolia Lipsky
110 Princess Street
Alexandria, Virginia 22314

REVISED - 11.10.14

BAR SUBMISSION -
20 OCTOBER 2014

A2

- ① existing masonry parapet and chimney.
- ② demolish portion of roof structure as shown for new dormer.
- ③ remove standing seam metal panels for replacement; existing rafters and sheathing to remain, u.n.o.
- ④ remove (2) windows for replacement units in existing masonry openings.
- ⑤ remove french door and sidelight unit for replacement units in existing masonry openings.
- ⑥ demolish brick landing and step to grade for reconstruction in place.
- ⑦ demolish portion of exterior masonry foundation wall for new egress window and areaway.
- ⑧ demolish masonry chimney.
- ⑨ remove (2) condensing units for relocation to new roof structure.



Proposed Demolition - Rear Elevation

Scale: 1/8" = 1'-0"



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110 PRINCESS STREET

Client: Jeffrey and Magnolia Lipsky
110 Princess Street
Alexandria, Virginia 22314

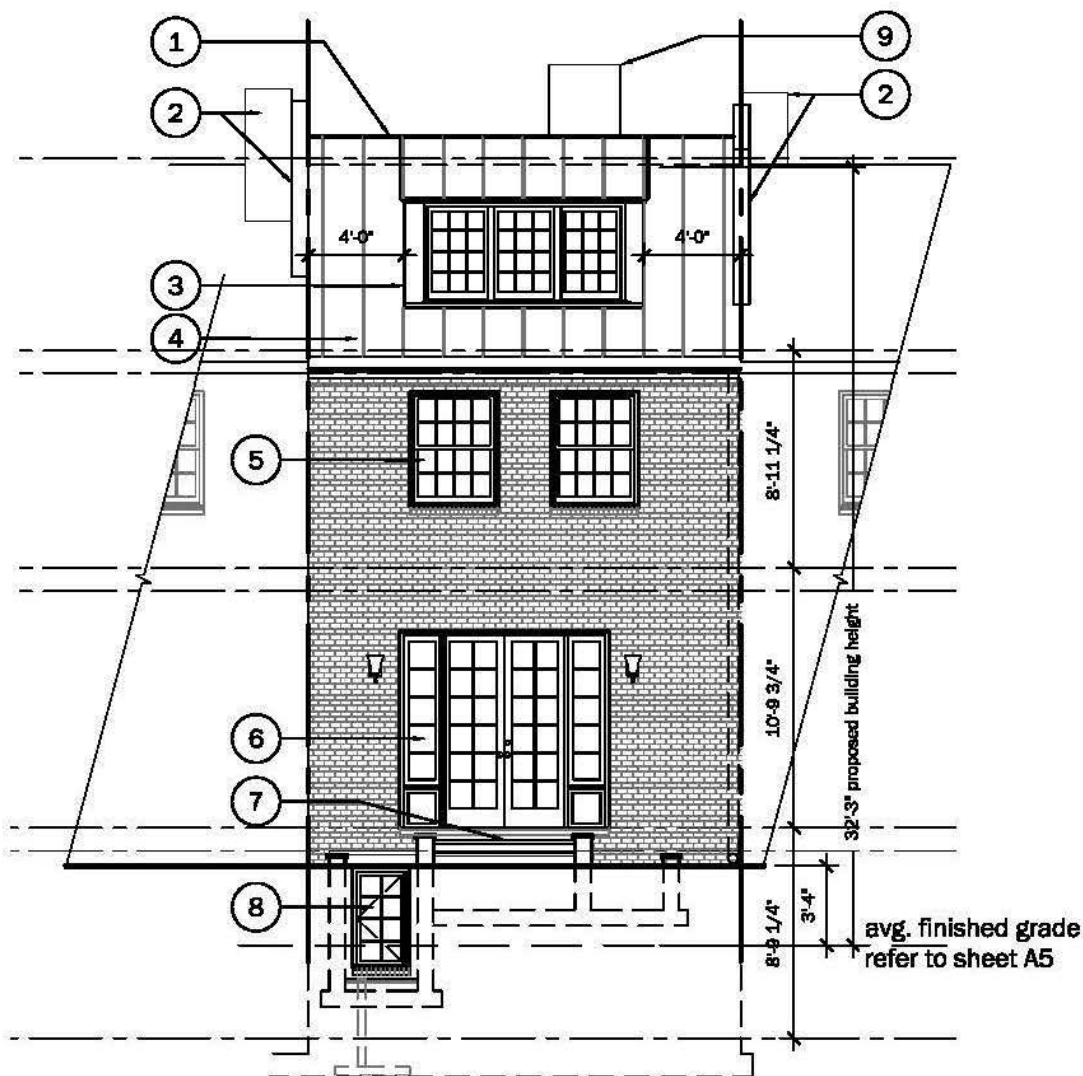
REVISED - 11.10.14

BAR SUBMISSION -
20 OCTOBER 2014

A3

- ① new roof height; dashed line indicates existing height. refer to A6/A7 for section diagram.
- ② modify adjacent masonry chimney and parapet walls as required by Code to accommodate new roof height.
- ③ new shed roof dormer:
 - standing seam metal roof
 - painted wood siding and trim
 - (2) clad wood casement, 3W/4H windows
- ④ new standing seam metal panels over existing roof structure.
- ⑤ (2) new clad wood DH, 8/8 window units to replace existing units in existing masonry openings.
- ⑥ new clad wood french door (2W/6H) and side lights (1W/5H) and painted wood trim and recessed panels to replace existing unit in existing masonry opening.
- ⑦ new flagstone landing and step to grade.
- ⑧ new basement egress:
 - clad wood casement window (2W/4H)
 - parged concrete foundation walls with flagstone cap.
- ⑨ relocated condensing units.

Note: All existing unpainted brick will remain unpainted.
 All existing painted trim will be repainted.
 All existing white aluminum k-box style gutters and square downspout to remain.



Proposed Modifications - Rear Elevation

Scale: 1/8" = 1'-0"



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Client: Jeffrey and Magnolia Lipsky
 110 Princess Street
 Alexandria, Virginia 22314

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A4

- ③ line of 112 Princess St. rear wall beyond.

- 4 - standing seam metal roof
- painted wood siding and trim
- clad wood DH, 6/6 window

- 5 new box-bay:
- painted wood trim
- clad wood DH, 6/6 windows

shaded area indicates FAR deduction.



rear yard

332'-7" proposed building height

avg. finished grade

new finished attic/4th floor

avg. finished grade

Princess St.

Scale: $1/8" = 1'-0"$

Client: Jeffrey and Magnolia Lipsky
110 Princess Street
Alexandria, Virginia 22314


**BAR SUBMISSION -
20 OCTOBER 2014**

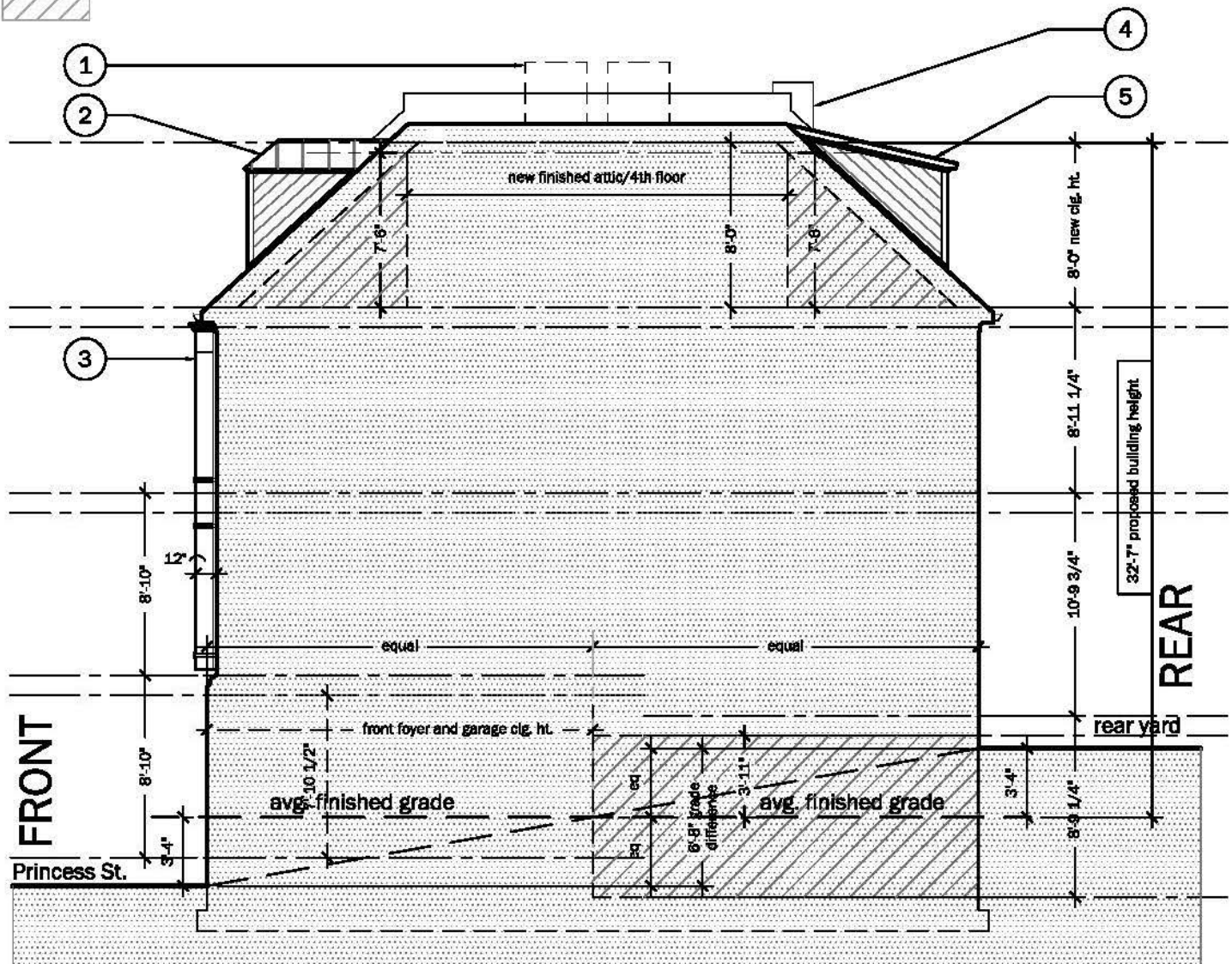
A5



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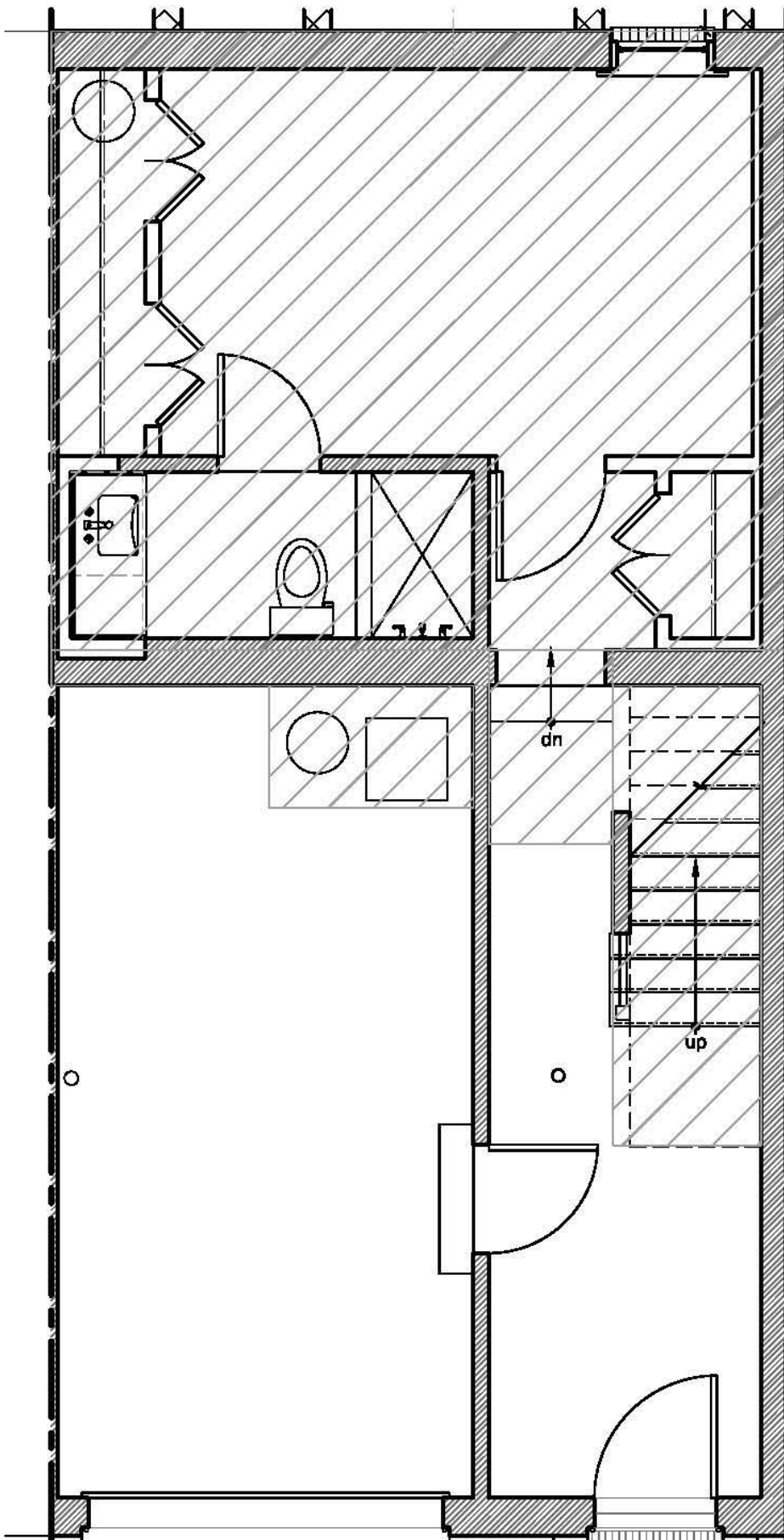
- ① (2) relocated condensing units
- ② new hip-roof dormer (front):
 - standing seam metal roof
 - painted wood siding and trim
 - clad wood DH, 6/6 window
- ③ new box-bay:
 - painted wood trim
 - clad wood DH, 6/6 windows
- ④ new shed roof dormer (rear):
 - standing seam metal roof
 - painted wood siding and trim
 - clad wood DH, 6/6 window
- ⑤ modify adjacent masonry chimney and parapet walls as required by Code to accommodate new roof height.

 shaded area indicates FAR deduction.



Proposed Modifications - Right-side (East) Elevation

Scale: 1/8" = 1'-0"



shaded area indicates
FAR deduction

Proposed Basement Floor Plan

Scale: 1/4" = 1'-0"



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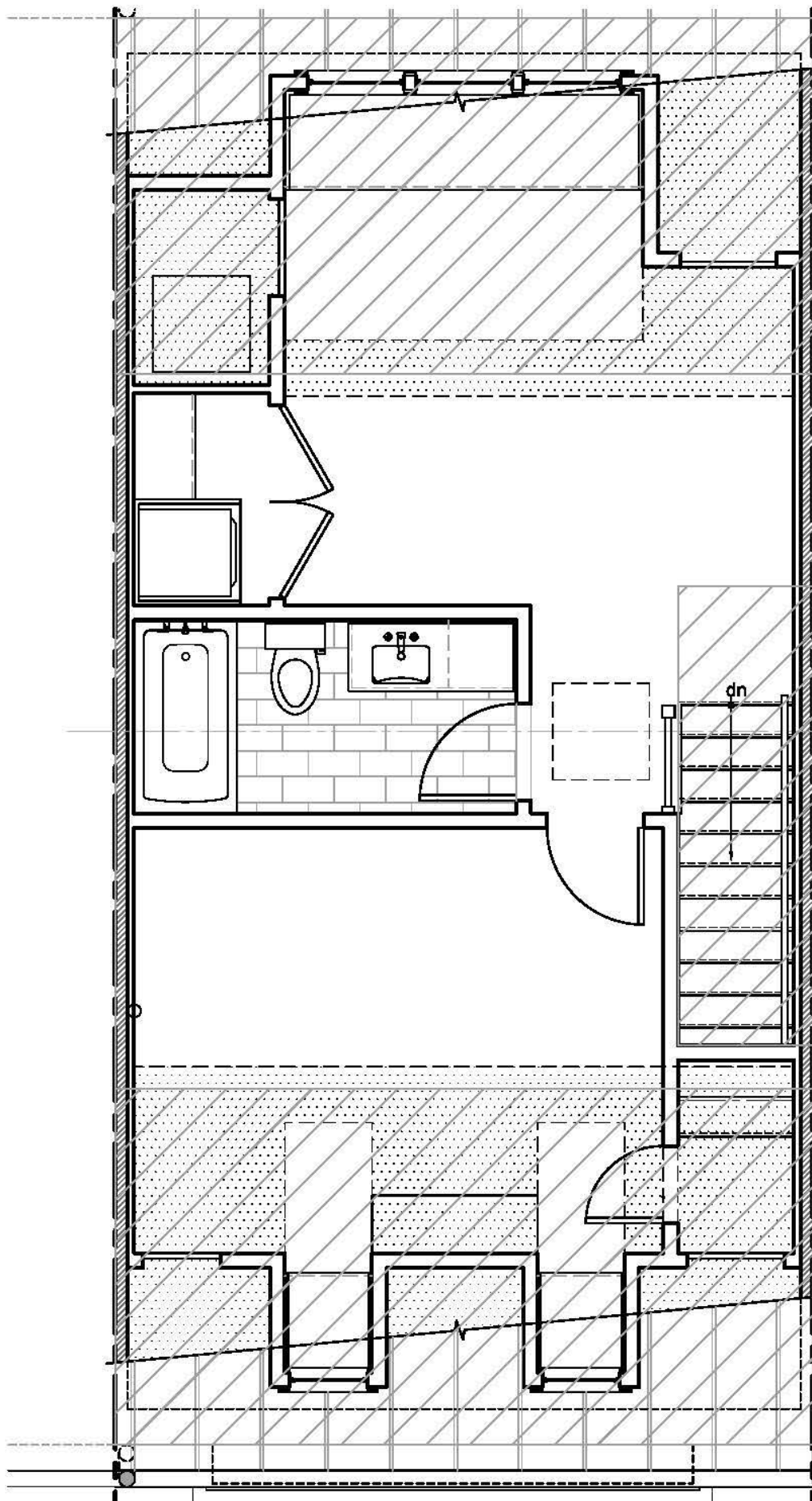
110 PRINCESS STREET

Client: Jeffrey and Magnolia Lipsky
110 Princess Street
Alexandria, Virginia 22314

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A7



shaded area indicates
FAR deduction.

Proposed Third Floor Plan

Scale: 1/4" = 1'-0"



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BAR SUBMISSION -
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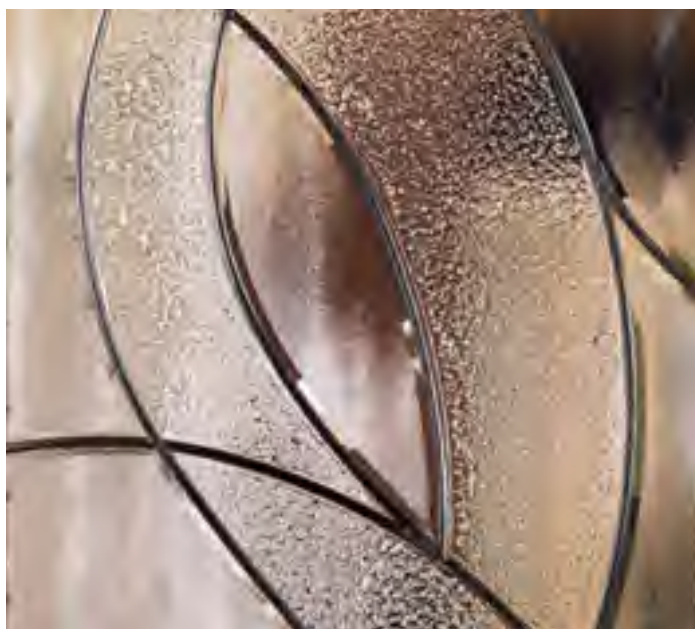
A8

Door Ways

Each Simpson door is inspected carefully by a skilled artisan. No door leaves the plant with the Simpson name until it meets our rigorous standards of quality.



Proposed Front Door, painted



Note: Door details may have to be altered slightly to accept the WaterBarrier® technology upgrade. Contact a Simpson Authorized Dealer for final specifications.

*AS VIEWED FROM EXTERIOR OF HOME

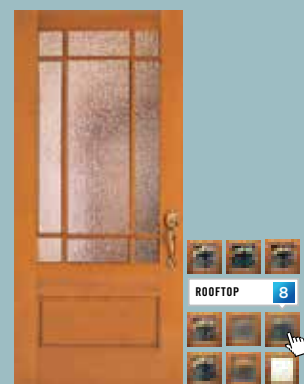


Embarcadero®

▲ Embarcadero® 6468 with UltraBlock® technology | shown in fir with 6469 sidelight

See what this door looks like in your home!
SIMPSONDOOR.COM/TESTDRIVE

GLASS TASTE TEST



Can't decide which textured or decorative glass you prefer? Take the Glass Taste Test at simpsondoor.com/glasstest.

ULTRABLOCK® TECHNOLOGY



Upgrade your exterior door with UltraBlock technology and enjoy peace of mind with a 5-year warranty. For more information on UltraBlock technology, see page 25 or visit simpsondoor.com/ultrablock.

WATERBARRIER® TECHNOLOGY



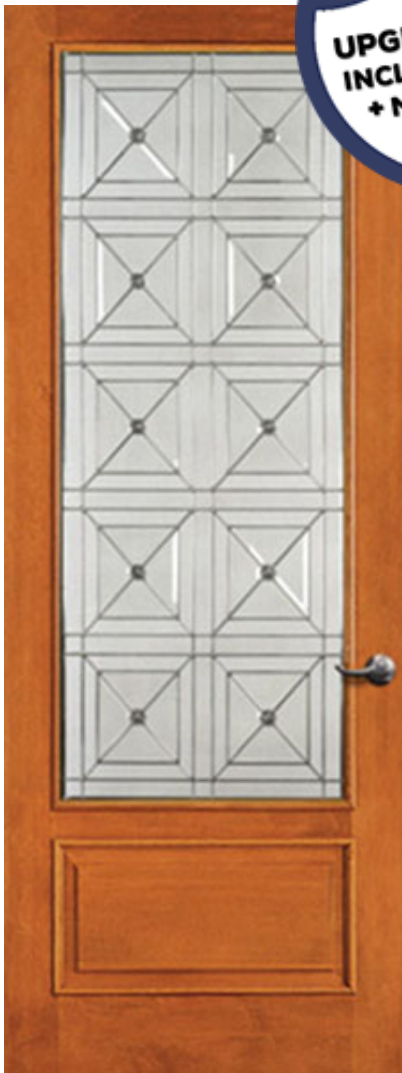
Upgrade your exterior door with WaterBarrier technology, which offers a 5-year warranty with no building overhang required. For more information on WaterBarrier technology, see page 24 or visit simpsondoor.com/waterbarrier.

MORE OPTIONS



SIMPSONDOOR.COM/MASTERMARK

[Back to Search Results](#)



Proposed Front Entry Door
- painted fir
- frosted glass w/ silver coming

[View Detailed Drawing](#)

EMBARCADERO® (~~8'0"~~) height = 6'-8" (existing opening)

6468

SERIES: [Mastermark® Collection](#)

TYPE: Exterior Decorative

MATCHING COMPONENTS

[Embarcadero® Sidelight \(6469\)](#)

STANDARD FEATURES

[Available in Any Wood Species](#)

Available in Virtually Any Size

[UltraBlock® technology included – 5-year warranty](#)

Privacy Rating: 5

Panels: 1-7/16" Innerbond® Double Hip-Raised Panel

Profile: Ovolo Sticking with Raised Moulding 1-Side

Glass: 3/4" Insulated Decorative Glazing

Caming: Silver

UPGRADES

Upgrade with WaterBarrier® technology – 5-year warranty



WHERE TO BUY

GET A QUOTE

If you are interested in receiving a quote from a dealer, please select the options below and click on the "Request Dealer Quote" below.

Rough opening needs to be 2" wider and 2 1/2" taller than your door.

WIDTH 3'0" ▼

HEIGHT 6'8" ▼

WOOD SPECIES Fir ▼

UPGRADES

☐ WaterBarrier Technology

REQUEST DEALER QUOTE

Additional Images:



Similar Doors:

Exterior French Doors

Proposed Rear French Door



7001 IG

Option: 1501 SG



7002 IG

Wide layout



7037 IG

Option: 37 SG



7082 IG

Option: 282 SG



ANY DOOR. ANY WOOD.
DOOR SHOWN IN SAPELE MAHOGANY



7103 TDL / 37103 SDL, IG

Option: 1503 SG



7104 TDL / 37104 SDL, IG

Option: 1504 SG



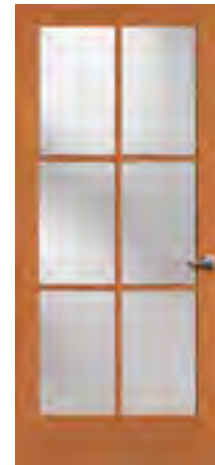
7105 TDL / 37105 SDL, IG

Option: 1505 SG



7122 TDL / 37122 SDL, IG

Option: 1534 SG



7106 TDL / 37106 SDL, IG

Option: 1506 SG



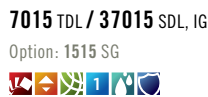
7108 TDL / 37108 SDL, IG

Option: 1508 SG



7010 TDL / 37010 SDL, IG

Option: 1510 SG



7015 TDL / 37015 SDL, IG

Option: 1515 SG



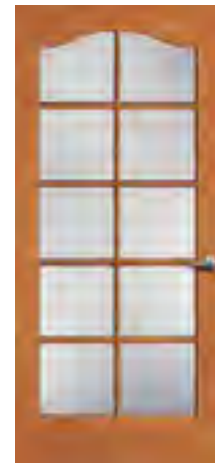
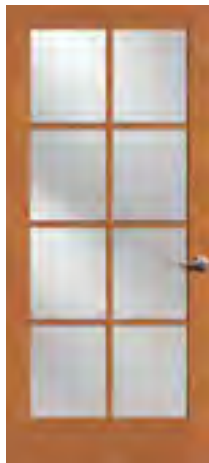
7109 TDL / 37109 SDL, IG

Option: 1509 SG



7580 TDL / 37580 SDL, IG

Option: 1580 SG



TRUE
DIVIDED LITE



SIMULATED
DIVIDED LITE



3/4" INSULATED
GLAZING



1/2" SINGLE
GLAZING



ANY
WOOD



ANY
SIZE



CAMING
CHOICES



GLASS
OPTIONS



PRIVACY
RATING



ULTRA
BLOCK®



WATER
BARRIER®

1.800.SIMPSON

[Back to Search Results](#)



- Proposed Rear French Door Unit (double door),
- painted fir
 - clear, tempered glass
 - ovolo sticking



[View Detailed Drawing](#)

THERMAL FRENCH (8'0") (SDL)

37012

SERIES: [Exterior French & Sash Doors](#)

TYPE: Exterior French & Sash

MATCHING COMPONENTS

[Thermal Sash Sidelight \(8'0"\) \(SDL\) \(37706\)](#)

STANDARD FEATURES

[Available in Any Wood Species](#)

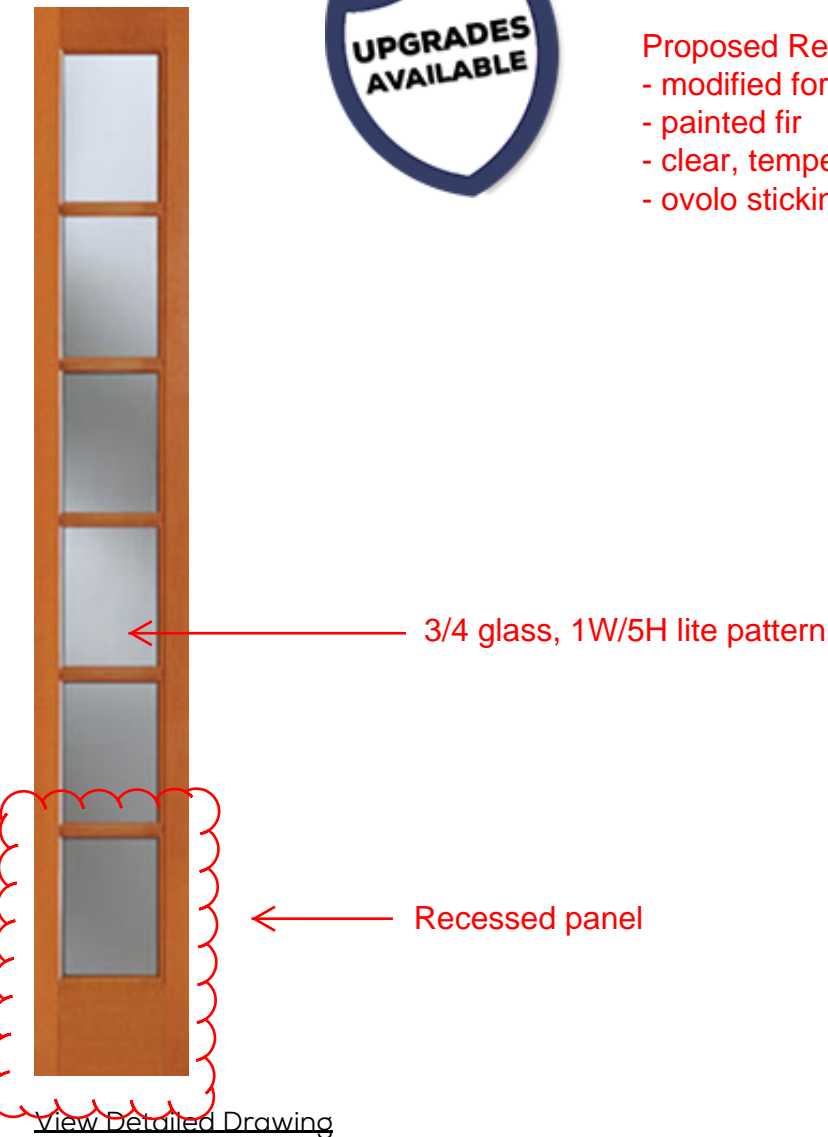
Available in Virtually Any Size

[Textured Glass Options](#)



Proposed Rear Sidelight Units

- modified for 3/4 glass with recessed bottom panel
- painted fir
- clear, tempered glass
- ovolo sticking



THERMAL SASH SIDELIGHT (8'0") (SDL)

37706

SERIES: [Exterior French & Sash Doors](#)

TYPE: Sidelight

STANDARD FEATURES

[Available in Any Wood Species](#)

Available in Virtually Any Size

[Textured Glass Options](#)

Privacy Rating: 1

Traditional :: Steel Doors

HERITAGE™

[Overview](#)[Door Builder](#)[Features](#)[Style Guide](#)[Gallery](#)[Support](#)

1. Select door design: Short Panel

Showing 1 of 4

[Need Some Help?](#)

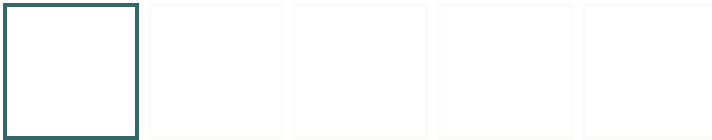
2. Select window: Short Panel Stockton

Showing 1 of 5 out of 19



3. Select solid color or two-tone color combination: True White

Showing 1 of 5 out of 7



4. Select construction: Heritage 1000

1000 Single-layer:
Steel
Details2000 Double-
layer: Steel +
Insulation
Details3000 Triple-layer:
Steel + Insulation
+ Steel
Details

5. Select decorative hardware (optional): Amarr Lock

Showing 1 of 1

Amarr Lock
[Zoom](#)

DOOR SUMMARY

[Find A Dealer](#)**Door Design:** Short Panel**Windows:** Short Panel Stockton**Color:** True White**Construction*:** Heritage 1000**Decorative Hardware:** Amarr
Lock[+ Add to My Favorites](#)

*Not shown in image.



Please Note: Please Note: Door shown represents a 8'x7' door, or 9'x8' door if an Amarr Classica door. Actual design may vary based on door width and height. Entrematic reserves the right to modify designs without notice. Download additional door drawings and specifications [here](#).



Steel Exterior



Bottom Weather Seal

STEEL

1000

Single-Layer: Steel

Get value and durability with a Heritage 1000 single-layer steel door. These heavy-duty steel doors are durable, reliable, and low maintenance.

- Heavy-Duty Exterior Steel
- Durable, Reliable, Low Maintenance



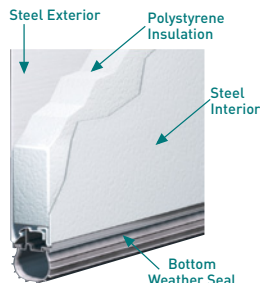
Bottom Weather Seal

2000

Double-Layer: Steel + Insulation

A Heritage 2000 double-layer door provides durable, low-maintenance features, plus a layer of vinyl-coated insulation for increased thermal properties and quieter operation.

- Heavy-Duty Exterior Steel
- Durable, Reliable, Low Maintenance
- Environmentally Safe Polystyrene Thermal Insulation with Vinyl Backing
- Energy Efficient
- Quiet Operation



Bottom Weather Seal

3000

Triple-Layer: Steel + Insulation + Steel

For the toughest, most energy-efficient steel door, a Heritage 3000 triple-layer door includes the ultimate in thermal properties, plus a layer of steel for a finished interior look and added durability.

- Heavy-Duty Exterior and Interior Steel
- Durable, Reliable, Low Maintenance
- Environmentally Safe Polystyrene Thermal Insulation
- Superior Energy Efficiency
- Extra Quiet Operation

Specifications

	HERITAGE 1000	HERITAGE 2000	HERITAGE 3000
PANEL DESIGNS			
Short	•	•	•
Long	•	•	•
Flush	•	•	•
Ribbed			•
INSULATION¹		Polystyrene	Polystyrene
R-VALUE²		6.64	9.05
DOOR THICKNESS		2" [5.1cm]	2" [5.1cm]
STEEL THICKNESS		24 ga	24/27 ga
WINDOW GLASS OPTIONS			
3/32" Single Strength	•	•	•
Insulated Glass			•
Obscure	•	•	•
WIND LOAD³ AVAILABLE		•	•
PAINT FINISH WARRANTY⁴		Lifetime	Lifetime
WORKMANSHIP/HARDWARE WARRANTY⁴		3 Years	Lifetime

¹ Insulation has passed self-ignition, flamespread and smoke developed index fire testing.

² Calculated door section R-value is in accordance with DASMA TDS-163.

³ It is your responsibility to make sure your garage door meets local building codes.

⁴ For complete warranty details, visit amarr.com or contact your local Amarr dealer.

Entrematic reserves the right to change specifications and designs without notice and without incurring obligations.

Sectional door products from Entrematic may be the subject of one or more U.S. and/or foreign, issued and/or pending, design and/or utility patents.

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DecraTrim Window Inserts

SHORT PANEL

CLEAR [C]



PRAIRIE [21]



WATERFORD [25]



FULL SUNRAY [28]



OBSCURE [O]



CATHEDRAL [22]



WAGON WHEEL [26]



FIVE PIECE SUNRAY for 10' Door [29]*



STOCKTON [20]



CASCADE [23]



SUNRAY [27]



*Available True White Only.

LONG PANEL

CLEAR [C]



PRAIRIE [21]



MOONLITE [24]



SUNRAY [27]



FULL SUNRAY [28]



OBSCURE [O]



CATHEDRAL [22]



WATERFORD [25]



THAMES [30]



STOCKTON [20]



CASCADE [23]



WAGON WHEEL [26]



ARCHED THAMES [31]



DecraGlass™ Windows

Tempered obscure glass with baked-on ceramic designs.

SHORT PANEL

VICTORIAN [54]



AMERICANA [57]



PRAIRIE [72]†



RIVIERA [55]*



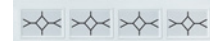
HEARTLAND [70]



JARDIN [75]



CHALET [56]



MISSION [71]



TRELLIS [76]



LONG PANEL

VICTORIAN [54]



AMERICANA [57]



PRAIRIE [72]†



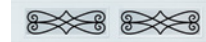
RIVIERA [55]*



HEARTLAND [70]



JARDIN [75]



CHALET [56]



MISSION [71]



TRELLIS [76]



Colors

Amarr steel doors arrive pre-painted; for custom colors, exterior latex paint must be used. Visit amarr.com for instructions on painting. Actual paint colors may vary from samples shown.



TRUE WHITE



ALMOND



SANDTONE



DARK BROWN



GOLDEN OAK*



WALNUT*



MAHOGANY*

* Price upcharge applies.
Only available in Heritage 3000.



165 Carriage Court
Winston-Salem, NC 27105
800.503.DOOR
www.amarr.com



YOUR LOCAL AMARR DEALER:

Karl & Lydia Svoboda
113 Princess St.
Alexandria, VA 22314

November 6 2014

✓
Mr. Al Cox

via email: al.cox@alexandria.gov

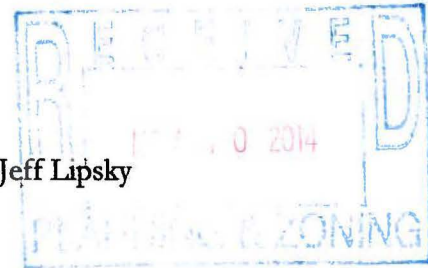
Historic Preservation Manager, Architect
Department of Planning and Zoning
301 King Street, Suite 2100
Alexandria, Virginia 22313

Ms. Michele Oaks

via email: michele.oaks@alexandria.gov

Urban Planner
Planning and Zoning | Historic Preservation
City of Alexandria, City Hall
301 King Street Suite 2100, Alexandria, VA 22314

Ref: BAR 11300194-49133; Applicant: Gretchen Brown; Owner: Jeff Lipsky



Dear Ms. Oaks, dear Mr. Cox:

We are aware of the proposal for Exterior Alteration of the property at 110 Princess St. Alexandria, VA 22314 and were notified about the project by BAR on Oct. 29 2014. We also had the opportunity to view the pertaining architectural DWGs.

We fully support the application and wish the owners good success.

Thank you,

Karl Svoboda

CC: Jeff Lipsky; jefflipsky@comcast.net; Gretchen Brown <gretchen@harrybraswell.com>

ADDRESS OF PROJECT: 110 Princess StreetTAX MAP AND PARCEL: 065.03-05-09ZONING: RMAPPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☒ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*Name: Jeffrey and Magnolia LipskyAddress: 110 Princess StreetCity: AlexandriaState: VAZip: 22314Phone: 571-436-3974E-mail: Gretchen@HarryBraswell.comAuthorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☒ CONTRACTORName: Gretchen BrownPhone: 571-436-3974E-mail: Gretchen@HarryBraswell.com

Legal Property Owner:

Name: Jeffrey and Magnolia LipskyAddress: 110 Princess StreetCity: AlexandriaState: VAZip: 22314Phone: 571-436-3974E-mail: Gretchen@HarryBraswell.com

- | | | |
|------------------------------|----------------------------------------|----------------------------------------------------------------------------|
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | Is there an historic preservation easement on this property? |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | If yes, has the easement holder agreed to the proposed alterations? |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | Is there a homeowner's association for this property? |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | If yes, has the homeowner's association approved the proposed alterations? |

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|-----------------------------------|------------------------------------------------------------|-----------------------------------------------------|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other | Higher roof line; new dormers at front and rear elevations | | |
- ☒ ADDITION
- ☒ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

New two-story box bay (bump out) at front of property, new overhead garage door, and new front door. Demolish existing masonry chimney. Raise roof by 11" to accommodate 8-foot ceilings on third floor and new stair from second floor to attic. New hip roof dormers at front of home, shed dormer at rear of home, and replaced standing seam metal roof. New windows and door unit at rear.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the minimum supporting materials for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- ☒ N/A
- ☒ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☒ Description of the reason for demolition/encapsulation.
- ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- N/A
- ☒ ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
 - ☒ ☐ FAR & Open Space calculation form.
 - ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
 - ☒ ☐ Existing elevations must be scaled and include dimensions.
 - ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
 - ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
 - ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☒ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A
- ☐ ☒ Linear feet of building: Front: _____ Secondary front (if corner lot): _____
 - ☐ ☒ Square feet of existing signs to remain: _____
 - ☐ ☒ Photograph of building showing existing conditions.
 - ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
 - ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
 - ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
 - ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- N/A
- ☒ ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
 - ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
 - ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
 - ☒ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: Please read and check that you have read and understand the following items:

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: Gretchen Brown

Date: 10/20/14

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Jeffrey Lipsky	110 Princess St	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 110 Princess St (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Jeffrey Lipsky	110 Princess St	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
N/A		
1. N/A	N/A	N/A
2.		
3.		

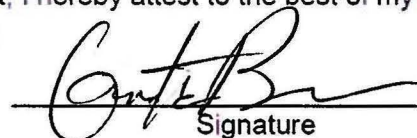
NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

10/20/14
Date

Gretchen Brown

Printed Name


Signature