

City of Alexandria, Virginia

MEMORANDUM

DATE: MARCH 18, 2015

TO: OLD AND HISTORIC ALEXANDRIA DISTRICT
BOARD OF ARCHITECTURAL REVIEW

FROM: HISTORIC PRESERVATION STAFF

SUBJECT: REVISED PLANS for 700-710 NORTH WASHINGTON STREET
BAR 2015-0026 and BAR 2015-0027

I. BACKGROUND

On March 4, 2015, the Old and Historic Alexandria District Board of Architectural Review (BAR) reviewed and deferred an application for a Permit to Demolish/Capsulate and a Certificate of Appropriateness. The BAR deferred the application for other study to allow the applicant to address some of the unresolved issues noted in the proposed conditions and to respond to the BAR's comments at the hearing about various items needing refinement. The BAR noted a number of areas that should be revised. These included:

1. Reduction in the number of conditions necessary for approval.
2. Removal of the Juliet balconies on "Buildings" 1 and 2.
3. Removal of spandrel glass in all locations.
4. Restudy the informality of the rear elevation.

Additionally, several BAR members requested that staff prepare a presentation on buildings of architectural or historic merit from the 20th century found on Washington Street in the future.

II. SUMMARY

The applicant has revised the submission and made the following changes:

1. Encroachment application for City Council consideration of the two-story bow window on Wythe Street elevation to be submitted.
2. Removal of the Juliet balconies on "Buildings" 1 and 2. Juliet balconies now only proposed for "Building" 3, as suggested by the Board.
3. Removal of spandrel glass from project. On front elevation where previously proposed, the interior layout has been reconfigured to allow for double-hung windows with clear glass, as originally proposed. On rear elevation, the proposed spandrel window has been removed and replaced with continuous wall siding.
4. Use of synthetic slate shingles for townhouse-style northernmost "building" on Washington Street ("Building" 3).
5. Inclusion of massing studies showing the current proposed rear elevation in contrast to what was previously reviewed at the concept phase.

6. Inclusion of some architectural details and materials, as requested.

III. STAFF ANALYSIS

Staff finds that many of the BAR's comments and concerns have been addressed in the revised submission. The applicant is pursuing approval of the encroachment for the bow window on the Wythe Street elevation which requires approval by the Planning Commission and City Council. The deletion of the majority of the Juliet balconies and the removal of the spandrel glass reflect the BAR's specific comments. Staff had previously recommended that a new roof material be introduced for the new townhouse building at the north end and that the proposed new metal fence at this portion of the project be simplified and distinct from the adjacent metal fence at the existing historic townhouse. Additionally, staff had requested details of the revised rear porch design on the existing townhouse at 710 North Washington Street. All of these comments have been addressed in the current application package.

Materials

As is typical for projects of this size, final approval of materials, such as windows, doors, light fixtures and the like, as well as confirmation of the brick and mortar colors as constructed in a mock-up panel, occur through the building permit review process and on-site approval of the mock-up. It is implicit in the BAR's approval of a final Certificate of Appropriateness that all proposed materials will be high quality and consistent with the BAR's adopted policies. In this particular case, as noted before, all proposed materials are consistent with the BAR's policies except for the proposed fiberglass single-light doors. However, the applicant has provided specifications for a fiberglass door that addresses the previous concern about the glazing molding, so staff is comfortable with this proposal.

Rear Elevation

The one element which the applicant did not yet significantly revise for this submission is the rear elevation. Instead, the applicant included schematic 3-D renderings which compare the massing of the original rear elevation shown during concept review to the current proposal (Figure 1). The 3-D models provide a better sense of the changes to the overall massing—the reduction in floor area and mass—as a result of the revised rear elevation that was unclear with the last submission which only showed elevations. Please note that these renderings do not reflect the actual colors and the applicant will, again, bring samples to the BAR hearing for review. Staff supports the proposed rear elevation, as noted in the previous report, finding it preferable to the concept scheme which featured an extensive mansard roof but notes that there may be opportunity for refinement based on the BAR's comments. The general direction for refinement should be to work on relating the rear elevation to the architectural program on the Washington Street and Wythe Street elevations without creating a false historicist, high-style rear elevation. Rear elevations on buildings generally have a less formal composition and simplified details.

Some BAR members were concerned that the proposed changes to the rear elevation appeared disjointed and not as formally organized as the version shown in the concept review. The 3-D massing model illustrates that the revised rear elevation actually reduces the physical mass of the rear as one large massive building (previously united with a continuous mansard roof) and better reflects the three "building" typology design of the front elevation. This change also reflects a reduction in overall floor area and increased setback from the alley and St. Joseph's Church.

Some further refinements will enhance this distinction of three different buildings on the three to better relate to the overall concept of the project. Revising the rear color choice—elimination of the bright red elements—will help to make the rear less prominent, typical of many rear elevations. Changing some of the windows, such as adding 2/2 windows in the portions that relate to where the front of the building has 2/2 windows, will also enhance the three building character of the rear. Additionally, it is recommended that the applicant enhance the rear porches to make them more integral to the composition of this rear elevation and more stylistically related to the rest of the building. Such a scheme would emphasize the rear porches—a common element on buildings from all styles and time periods— and also provide more cohesion to this elevation. As much of the Washington Street and Wythe Street elevations derive from late 19th-century architectural styles, it may add to the understanding of the overall project to have porches also nod to such a style, either as iron metal porches or some decorative woodwork, such as a knob and spool railing. However, it should be noted that this is not a suggestion to create high-style Victorian rear porches that would look overdone and out of place.



ORIGINAL DESIGN



REVISED DESIGN

Figure 1. Original rear elevation shown in concept review (TOP) and current proposed rear elevation (BOTTOM).

Because the rear elevation is the only outstanding item in the BAR's comments, and because there are a few directions that could address the BAR's concerns, staff encourages the applicant to explore these refinements and to bring supplemental, clarification materials to the hearing for discussion. Although the Board strongly discourages introduction of a new design at the hearing, the applicant has shared their presentation materials with staff and the additional views and details substantially aid understanding of the design intent on the rear elevation. Such an approach should not be construed as a precedent but staff thinks that, in this case, this approach will be useful and allow the applicant time to prepare more refined graphic materials for the BAR to discuss and vote upon.

Waiver of Rooftop HVAC Screening

Staff also supports the waiver of the rooftop screening requirement for the rooftop HVAC condenser units, noting that the roof parapet will effectively screen the units from any view on the sidewalk.

As mentioned in the concept review phase and in the previous staff report for the Certificate of Appropriateness, staff finds that the proposal meets all of the relevant Washington Street Standards, listed below.

Washington Street Standards

Alexandria Zoning Ordinance Sec. 10-105(A)(3): Additional standards—Washington Street.

(a) In addition to the standards set forth in section 10-105(A)(2), the following standards shall apply to the construction of new buildings and structures and to the construction of additions to buildings or structures on lots fronting on both sides of Washington Street from the southern city limit line north to the northern city limit line:

(1) Construction shall be compatible with and similar to the traditional building character, particularly including mass, scale, design and style, found on Washington Street on commercial or residential buildings of historic architectural merit.

- i. Elements of design consistent with historic buildings which are found on the street shall be emphasized.*
- ii. New buildings and additions to existing buildings shall not, by their style, size, location or other characteristics, detract from, overwhelm, or otherwise intrude upon historic buildings which are found on the street.*
- iii. The design of new buildings and additions to existing buildings shall be complementary to historic buildings which are found on the street.*
- iv. The massing of new buildings or additions to existing buildings adjacent to historic buildings which are found on the street shall closely reflect and be proportional to the massing of the adjacent historic buildings.*
- v. New buildings and additions to existing buildings which are larger than historic buildings which are found on the street shall be designed to look separate and shall not give the impression of collectively being more massive than such historic buildings. This design shall be accomplished through differing historic architectural designs, facades, setbacks, roof lines and styles. Buildings should appear from the public right-of-way to have a footprint no larger than 100 feet by 80 feet. For larger projects, it is desirable that the historic pattern of mid-block alleys be preserved or replicated.*
- vi. Applications for projects over 3,000 square feet, or for projects located within 66 feet of land used or zoned for residential uses, shall include a building massing*

study. Such study shall include all existing and proposed buildings and building additions in the six block area as follows: the block face containing the project, the block face opposite, the two adjacent block faces to the north and the two adjacent block faces to the south.

- vii. The massing and proportions of new buildings or additions to existing buildings designed in an historic style found elsewhere in along Washington Street shall be consistent with the massing and proportions of that style.*
- viii. New or untried approaches to design which result in new buildings or additions to existing buildings that have no historical basis in Alexandria or that are not consistent with an historic style in scale, massing and detailing, are not appropriate.*
- (2) Facades of a building generally shall express the 20- to 40-foot bay width typically found on early 19th century commercial buildings characteristic of the Old and Historic Alexandria District, or the 15- to 20-foot bay width typically found on townhouses characteristic of the Old and Historic Alexandria District. Techniques to express such typical bay width shall include changes in material, articulation of the wall surfaces, changes in fenestration patterns, varying roof heights, and physical breaks, vertical as well as horizontal, within the massing.*
- (3) Building materials characteristic of buildings having historic architectural merit within the district shall be utilized. The texture, tone and color of such materials shall display a level of variety, quality and richness at least equal to that found abundantly in the historic setting.*
- (4) Construction shall reflect the traditional fenestration patterns found within the Old and Historic Alexandria District. Traditional solid-void relationships exhibited within the district's streetscapes (i.e., ratio of window and door openings to solid wall) shall be used in building facades, including first floor facades.*
- (5) Construction shall display a level of ornamentation, detail and use of quality materials consistent with buildings having historic architectural merit found within the district. In replicative building construction (i.e., masonry bearing wall by a veneer system), the proper thicknesses of materials shall be expressed particularly through the use of sufficient reveals around wall openings.*
- (b) No fewer than 45 days prior to filing an application for a certificate of appropriateness, an applicant who proposes construction which is subject to this section 10-105(A)(3), shall meet with the director to discuss the application of these standards to the proposed development; provided, that this requirement for a preapplication conference shall apply only to the construction of 10,000 or more square feet of gross building area, including but not limited to the area in any above-ground parking structure.*
- (c) No application for a certificate of appropriateness which is subject to this section 10-105(A)(3) shall be approved by the Old and Historic Alexandria District board of architectural review, unless it makes a written finding that the proposed construction complies with the standards in section 10-105(A)(3)(a).*
- (d) The director may appeal to city council a decision of the Old and Historic Alexandria District board of architectural review granting or denying an application for a certificate of appropriateness subject to this section 10-105(A)(3), which right of appeal shall be in addition to any other appeal provided by law.*
- (e) The standards set out in section 10-105(A)(3)(a) shall also apply in any proceedings before any other governmental or advisory board, commission or agency of the city relating to the*

use, development or redevelopment of land, buildings or structures within the area subject to this section 10-105(A)(3).

- (f) To the extent that any other provisions of this ordinance are inconsistent with the provisions of this section 10-105(A)(3), the provisions of this section shall be controlling.*
- (g) The director shall adopt regulations and guidelines pertaining to the submission, review and approval or disapproval of applications subject to this section 10-105(A)(3).*
- (h) Any building or addition to an existing building which fails to comply with the provisions of this paragraph shall be presumed to be incompatible with the historic district and Washington Street standards, and the applicant shall have the burden of overcoming such presumption by clear and convincing evidence.*
- (i) The applicant for a special use permit for an increase in density above that permitted by right shall have the burden of proving that the proposed building or addition to an existing building provides clearly demonstrable benefits to the historic character of Washington Street, and, by virtue of the project's uses, architecture and site layout and design, materially advances the pedestrian-friendly environment along Washington Street.*

20th – Century Architecture on Washington Street

Regarding a study of mid-20th-century architecture on Washington Street, staff will be preparing a presentation to be given to the BAR in the spring.

IV. STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish and Certificate of Appropriateness with the following condition:

1. The rear elevation shall better relate to the architectural style and detail of the front elevations, pending BAR discussion of presentation materials to be reviewed at the hearing.
2. Include the following archaeology comments on all construction documents relating to ground disturbing activity, so that on-site contractors are aware of the requirements:
 - a. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.

STAFF

Catherine Miliaras, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

ATTACHMENTS

- 1 – Supporting Materials*
- 2 – BAR Staff Report dated March 4, 2015*

March 10, 2015

Catherine K. Miliaras, AICP
Urban Planner, Historic Preservation
City of Alexandria, Virginia
Department of Planning & Zoning
703.746.3834 (direct)
Via e-mail: Catherine.Miliaras@alexandriava.gov
www.alexandriava.gov/preservation

RE: 700-710 N. Washington Street - BAR Case # 2015-0026/0027

Ms. Miliaras:

The original conditions included in your March 4, 2015 report and our responses to them and City Council comments follow:

Condition 1. Pursue the two story tall bow window alternative shown in the Wythe Street elevation drawings dated February 2, 2015, with a projection of approximately 36" from the building wall. The applicant must acquire approval of an Encroachment from City Council for the bow window before approval of a building permit or must redesign an alternate scheme that does not encroach and return to the BAR for final approval of this elevation.

Response 1. We are going to submit for an Encroachment for the Bow Window.

Condition 2. The applicant shall submit enlarged details and sections for elements such as corbelling, cornices, ornamental trim and the like for final approval by staff as part of the building permit review process.

Response 2. Cornice, corbelling and other details for decorative elements have been included in the submission.

Condition 3. All specifications for windows, doors, light fixtures and other materials must be in conformance with the BAR's adopted policies, with final approval by staff. The applicant may elect to use a fiberglass and glass door if they can find a version without raised molding, with final approval by staff.

Response 3. Cut sheets for the basis of design fiberglass door and wood window have been included in the submission.

Condition 4. The applicant shall submit a sample of the proposed spandrel glass to ensure that it will appear as natural, clear glass in the field. If no acceptable spandrel glass can be located, then the applicant shall install interior shutters or similar in its place, with final approval by staff.

Response 4. Spandrel glass has been removed from the project by either removing the windows entirely or reconfiguring the interior layout so spandrel glass isn't required.

Condition 5. The applicant shall utilize different roof colors or materials for the two different mansard roof forms on Washington Street to increase the appearance of two separate buildings. The applicant may elect to use metal shingles in different colors or to introduce an alternate, appropriate material such as slate or synthetic slate shingles.

Response 5. The roof material for the small mansard roof form has been changed to synthetic slate shingles.

Condition 6. The applicant shall construct a mock-up of the proposed materials on site with final approval of material selection by BAR staff.

Response 6. The mock-up panel will be provided for review at the beginning of construction.

Condition 7. The front fencing on the new construction shall be distinct from, but compatible with, the existing fencing in front of 710-12 North Washington Street.

Response 7. The front fencing has been revised to relate to the Juliet balcony railing and adjoining existing fence.

Condition 8. The applicant shall work with staff for the necessary alterations to reconfigure the roof of the one-story rear porch at 710 North Washington Street.

Response 8. The proposed changes to the porch roof at the rear of 710 N. Washington Street are included in the submission.

Condition 9. Include the following archaeology comments on all construction documents relating to ground disturbing activity, so that on-site contractors are aware of the requirements:

- a. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- b. The applicant/developer shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.

Response 9. The archeology comments will be included on the construction documents.

With respect to the changes to the rear elevation:

Previously, the Board of Architectural Review granted this project concept approval for mass and scale. We believe that the proposed rear elevation submitted for approval at the March 4th hearing better conforms to the Washington Street Guidelines than the earlier design. Standard V of the Guidelines states that buildings shall be designed to “look separate” and that this should be accomplished through utilizing different architectural designs/styles, building setbacks, etc. within a single structure. The design/style of the rear elevation proposed in the drawings dated 2.2.15 is distinct from the other elevations, and consists of elements such as horizontal siding and detailing found in the surrounding neighborhood. Setbacks from the property lines have been increased and varied. Additionally, the proposed changes reduce the building mass and reduce the gross square footage of the structure. For these reasons, we advocate keeping the design for the rear elevation as indicated in the drawings dated 3.9.15.

In order to better illustrate the 2.2.15 changes to the rear elevation and their effect, we have included the computer generated 3-D models of the originally approved design and 2.2.15 design that were shared with City Staff, City Council, Planning Commission and St. Joseph’s Church.

Please let us know if you need any additional information regarding any of these items.

Thank you.

Sincerely,

John Rust, AIA
jrust@rustorling.com
Rust | Orling Architecture

Mike Ernst, AIA, LEED AP BD+C
mernst@rustorling.com
Rust | Orling Architecture



DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property Information

A1. Street Address 700 - 710 N. Washington Street, Alexandria VA Zone CRMU-X (Per DSUP)

A2. 17804 x 2.01 (per DSUP) = 35,786 SF
Total Lot Area *Floor Area Ratio Allowed by Zone* *Maximum Allowable Floor Area*

B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Other**	
Porches/ Other		Total Exclusions	
Total Gross *			

B1. Existing Gross Floor Area *
2,224 Sq. Ft.

B2. Allowable Floor Exclusions**
566 Sq. Ft.

B3. Existing Floor Area minus Exclusions
1,658 Sq. Ft.
 (subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Other**	
Porches/ Other		Total Exclusions	
Total Gross *			

C1. Proposed Gross Floor Area *
37,756 Sq. Ft.

C2. Allowable Floor Exclusions**
3,793 Sq. Ft.

C3. Proposed Floor Area minus Exclusions
33,963 Sq. Ft.
 (subtract C2 from C1)

D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 35,621 Sq. Ft.

D2. Total Floor Area Allowed by Zone (A2) 35,786 Sq. Ft.

**Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.*

*** Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.*

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

F. Open Space Calculations

Existing Open Space	N/A
Required Open Space	25% (4,451 SF)
Proposed Open Space	26% (4,606 SF)

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:  Date: 2/2/2015

January 22, 2013

Mr. Al Cox, Historic Preservation Manager
Department of Planning and Zoning
City Hall, 301 King Street, Room 2100
Alexandria, Virginia 22313

RE: 700 N. Washington Street – BAR Submission

Al,

Based on the email from Catherine Milliaras to me dated January 16, 2013 regarding anticipated Development Concept 2 comments from the City, we would like to offer the following narrative regarding how the proposed project meets the Washington Street Standards:

The overall style, as well as individual elements of the proposed building, has been drawn from historic buildings from the Victorian era existing on Washington Street; in terms of architectural style, the new building will be both compatible with and complementary to its historic context.

The massing of the northern portion of the new construction reflects that of the existing adjacent building to the north. Further, the relationship of the height and mass of the proposed new construction to that of the immediately adjacent historic building at 710-712 N. Washington Street is similar to that existing between 210 and 216 N. Washington Street; because it steps down to the north, the new building will not “detract from, overwhelm, or otherwise intrude” on the adjacent building.

Because different roof lines and varying projecting elements break up the massing of the proposed building, it appears to be multiple buildings. Different historical styles, executed in multiple colors and materials, with details and proportions appropriate to each style, all contribute to this impression. No individual portion of the façade appears to be a building more than 80’ wide.

The designs of the various “buildings” that make up the proposed building have a historical basis in Alexandria and are consistent with their respective historic styles in scale, massing, and detailing.

Facades of the individual “buildings” consist of both 20’-40’ bays, as expressed by changes in architectural style, materials, roof heights, massing, and articulation.

Proposed building materials (brick, cast stone lintels and belt courses, metal roofs), as well as fenestration patterns and proportions (vertically proportioned punched openings) and solid-void relationships reflect those found throughout the Old and Historic Alexandria District.

RUST | ORLING

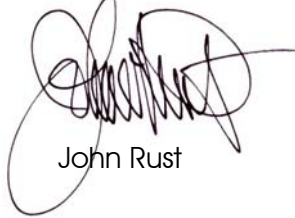
A R C H I T E C T U R E

The quality of materials and richness of detail proposed is consistent with that of historic buildings with architectural merit existing within the Old and Historic Alexandria district. Construction documents will substantiate this at a later time.

In addition, I'm enclosing the report prepared by Anne Adams, an architectural historian with Pillsbury Winthrop Shaw Pittman, evaluating the existing building at 702 N. Washington Street with respect to the "Criteria for demolition in the Old and Historic Alexandria District and for 100-Year Old Buildings."

Please don't hesitate to let me know if you need additional materials or clarification.

Regards,

A handwritten signature in black ink, appearing to read 'John Rust', with a large, loopy flourish extending from the bottom left.

John Rust

Enclosure

cc: Ray Mahmood



Pillsbury Winthrop Shaw Pittman LLP
2300 N Street, NW | Washington, DC 20037-1122 | tel 202.663.8000 | fax 202.663.8007

Anne H. Adams
202-663-8884
anne.adams@pillsburylaw.com

BY ELECTRONIC DELIVERY

June 1, 2009

Mr. Ray Mahmood
President
Mahmood Investment Corporation
700 North Washington Street
Alexandria, VA 22314

Re: Evaluation of the Travelodge,
702 North Washington Street, Alexandria, VA

Dear Mr. Mahmood:

You have asked that I evaluate the Travelodge at 702 North Washington Street, Alexandria, VA ("Building") in the context of the "Criteria for demolition in the Old and Historic Alexandria District and for 100-Year Old Buildings" found in Chapter 4 of the City of Alexandria, Virginia Design Guidelines ("Criteria"). In order to do that I have: visited the Building several times; evaluated research on the Building; and considered the Building in the context of the Old and Historic Alexandria District ("Historic District") and the George Washington Memorial Parkway ("Parkway"). I have also considered whether the Building possesses any significance in its own right. I understand that your interest in this evaluation is to determine whether there is any historic preservation reason that the Building should not be demolished. It is my professional opinion that there is no reason under the relevant Criteria or any other generally accepted historic preservation criteria that the Building should not be demolished.

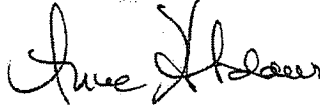
The Building was originally constructed in the mid-1950s as the Virginia Motel. It took on its current appearance c. 1965. At that time the Building was almost doubled in size, the shape of its footprint was changed, and a second floor was added to part of the original Building. The Building's front façade along North Washington Street was also altered. This mid-1960s Building does not contribute to the character of the Old and Historic Alexandria District, the period of significance of which may run through the 1930s. It is not a contributing element of the George Washington Memorial Parkway. Nor is its design or its form consistent with the architectural character or quality of the historic buildings in the District that line the Parkway as it travels through the District. Furthermore, the Building does not possess the exceptional significance generally

Mr. Ray Mahmood
June 1, 2009
Page 2

recognized as a requirement for buildings less than fifty (50) years old to deserve or warrant special protection or consideration in the name of historic preservation.

The report attached to this letter addresses six (6) of the seven (7) Criteria (the seventh not being relevant in this context) and elaborates on my conclusion that the Building is not worthy of preservation. In support of that conclusion the report includes background information on the Building and the Old and Historic Alexandria District and the Parkway. It also briefly discusses the evaluation of buildings less than fifty (50) years old. Should you have any questions about my conclusion, or need any additional information, please let me know.

Sincerely,

A handwritten signature in black ink, appearing to read "Anne H. Adams". The signature is fluid and cursive, with the first name "Anne" being more prominent.

Anne H. Adams
Architectural Historian

cc: Mary Catherine Gibbs

Evaluation of the Travelodge at 702 North Washington Street, Alexandria, VA

Background on 702 North Washington Street

In order to evaluate the Travelodge at 702 North Washington Street ("Building"), in the context of the Criteria for demolition in the Old and Historic Alexandria District and for 100-Year Old Buildings ("Criteria") it is necessary to first understand the nature of that Building, specifically, when it was constructed, whether it is significant in any way, and how it relates to the character and significance of the Old and Historic Alexandria District ("District") and the George Washington Memorial Parkway ("Parkway"). While extensive information about the Building has not been located, sufficient information exists for such an evaluation.

The Building was constructed as the Virginia Motel in the mid 1950s; the Board of Architectural Review minutes of April 15, 1955 reference the application of Thomas Meletis for a motel at 700-702 North Washington Street and a motel at that location appears on the 1958 Sanborn map. It was a C-shaped building, fronting on North Washington Street, with a parking court facing Wythe Street (see copy of period post card at Exhibit 1)). The identity of the architect of the Building is unknown at this time. The Virginia Motel was a fairly late and architecturally uninteresting example of the tourist accommodations that proliferated along Route 1 from the 1920s through the mid twentieth century. Most of the Building, which was constructed of brick, was two-stories. However, the part of the building at the corner was only one story; its chamfered corner featured the entrance to the motel's "Coffee Shoppe". Large multi-light show windows defined the faces of the Coffee Shoppe. The two-story gable-end element on North Washington Street featured two doors at the first floor, two windows at the second floor, and a round window in the peak of the gable.

The twenty-four rooms fronted on the C-shaped courtyard. The second floor of the motel projected beyond the lower level, creating an arcade at the first floor. Decorative metal columns appeared at both levels of the building and may or may not have been structural at the first floor. Through-the-wall heating and air conditioning units provided individual temperature control for motel guests.

To the extent that the building could be assigned an architectural label it could be described as vaguely Colonial Revival, in as much as it had a gable roof, multi-light double-hung windows, and traditional detailing such as jack arches with keystones. Its design is in keeping with the continuous use of traditional design features that began in the late nineteenth century and continues to this day. With each decade after World War I the quality of Colonial Revival design, particularly in commercial buildings, has generally waned; diluted examples of the style predominated over more stylistically rigorous examples. The Virginia Motel is a fairly generic example of the style.

Throughout 1965 owner Thomas Meletis received a number of permits to alter the Virginia Motel. The architect for these substantial alterations was Dwight G. Chase, whose office was at 1817 Richmond Highway, Alexandria, VA. In order to make space for the proposed additions, the two buildings to the north of the original Virginia Motel were demolished; the motel was then expanded on the newly-vacant property. Chase designed an L-shaped addition that backed up to the original building and created a parking lot on North Washington Street. The alterations to the original Building obliterated whatever odd charm and architectural interest the original motel originally had. While the design of the addition and alterations generally conformed to the design of the original, the details of the addition are even more diluted than in the original Building.

The addition more than doubled the number of rooms in the motel. Also part of these alterations was the addition of a second floor over the Coffee Shoppe and the reconfiguration of the North Washington Street elevation. The chamfered corner was squared off. The show windows of the Coffee Shoppe were replaced by a single show window flanked by doors, all within a heavy wood frame. The two doors at the first floor of the original gable end were replaced by a single large show window. The North Washington Street elevation of the addition features show windows and an entrance near the corner (see copies of construction photographs at Exhibit 2). Some of the alterations to the original building were accomplished in a less than finely detailed manner, with residual pieces of the original building simply left in place and worked around.

Although 1965 drawings show a balcony on both sides of the L-shaped addition the balcony currently only exists along the back (west) leg of the L. The railing at the second floor of the balcony is metal, and the balcony is supported by brick piers. It is possible that the brick piers at the first floor of the original Building were added at the same time the addition was constructed. The windows in the courtyard face of the addition are similar to the windows in the original motel. However, the windows in parts of the North Washington Street elevation and along the back of the building are metal, perhaps replacements since the date of the addition. Other alterations have occurred over the years, including the replacement of one of the show windows on the front of the Building and alterations to doors. The original signage was removed and new Travelodge signage was added when the latter replaced the former in the Building (see Exhibit 3 for current pictures of the Building).

The addition is simpler in its design and detailing than that the original Building; it is essentially another decade removed from the origins of the Colonial Revival style. Its design intent is to be expected, given the location of the Building in the Old and Historic Alexandria District, but it is no more than a passing reference to the historic architectural character of the District. The Building may be compatible with the historic character of the District (except the street-facing parking lots) but it is certainly neither contributing to character of the District nor of the architectural quality associated with the District.

Dwight Chase, the architect responsible for the 1965 appearance of the Building, was born in Portland, Oregon on September 29, 1924. He received his architecture degree from the University of Virginia in 1949. He worked for a number of firms, most notably Faulkner and Kingbury in the District of Columbia and Robert Willgoos in Alexandria, before establishing a solo practice in 1959. Interestingly, the former was known for its Modern buildings and the latter, at one time a member of the Board of Architectural Review, was known for his Colonial Revival designs. Chase maintained an office in Virginia and was registered in the District, Maryland, and Virginia. He was a member of the American Institute of Architects (Washington Metropolitan Chapter) from 1956 to 1965 and then again from 1976 through the early 1980s. He was living in California during the second period of membership.

Chase's work encompassed a variety of building types, including churches, schools, houses, and commercial buildings. Known buildings designed by Chase include: Hammond High School (1956), Alexandria, VA; and St. James Episcopal Church, Mount Vernon, VA; Groveton Baptist Church, Alexandria, VA; Mantua Elementary School, Fairfax, VA; and various buildings for the Potomac Chemical Corporation, Fairfax, VA, all dating before 1962. The Groveton Baptist Church is an interesting Mid-Century Modern design, typical of the predominant architectural thinking of the period, when Modernism was the fashion. It is stylistically more interesting and rigorous than the reworking of the Virginia Motel. Of course, a Modern building would certainly not have been approved within the boundaries of the District.

As it stands, the Building is an undistinguished example of its building type and it does little to enhance the North Washington Streetscape. Its design is ordinary. The parking lot that was created as part of the 1965 addition detracts from the streetscape. There is nothing about this Building that suggests significance, particularly the exceptional significance generally acknowledged to be required for a building less than fifty years old to warrant special historic preservation consideration or protection. It is architecturally ordinary, generally and for its building type. Although Chase may have been a competent architect there is nothing that suggests that he was a significant architect.

The Building is not significant in the context of the Old and Historic Alexandria District. Originally laid out in 1749, Alexandria is most noted for its exceptional collection of architecturally and historically significant late-eighteenth and early-nineteenth century buildings. Its collection of early urban buildings, both residential and commercial, is truly remarkable. Ongoing development in the District included examples of architectural styles popular through the later nineteenth-century and into the early-twentieth century. Buildings dating from as late as the 1930s, such as the US Post Office and Courthouse at 200 South Washington Street (1930) and the Art Deco office building at 117 South Washington Street (c. 1930s) have been determined to contribute to the character of the District.

Accordingly, although the exact end date of the period of significance of the historic district is undefined, based on the National Register of Historic Places

documentation the period of significance runs through the 1930s. It certainly does not extend to the 1950s when the Virginia Motel was originally constructed, or to 1965, when the Building took on its current appearance. Therefore, by definition the Building cannot be deemed to contribute to the character or significance of the District. Additionally, the architectural quality of the Building is substantially inferior to the buildings that define and contribute to the architectural character of the historic district.

The Building also does not contribute to the Mount Vernon Memorial Parkway, which is that part of the George Washington Memorial Parkway that travels through Alexandria along Washington Street, which was incorporated into the Parkway when it was constructed. Constructed between 1929 and 1932 (which is the period of significance of the Parkway), the Parkway was conceived and built as part of the celebration of the bicentennial of George Washington's birth. It was the first parkway constructed by the federal government and the first with a commemorative association. It is the road itself, ending at Washington's Mount Vernon, with its abutting greensward, vistas to the Potomac River, landscaping, and its dignified arched bridges that are the defining features of the Parkway. Washington Street, laid out in the eighteenth century and lined by historic buildings dating from the late eighteenth century through the first three decades of the twentieth century, is incorporated into the Parkway where it runs through Alexandria. These buildings are contributing elements of the Old and Historic Alexandria District. And while they may be located within the National Register of Historic Places boundaries of the Parkway, they are not components of the Parkway itself.

Consideration of Criteria in Chapter 4

Given the nature of the Building, how do the Criteria apply to this ordinary building which is less than fifty years old? Generally speaking, they do not apply, certainly not in any meaningful way or in any way that does not also apply to any building along Washington Street in the District just because the building exists. The Criteria are individually addressed below.

Criteria for demolition in the Old and Historic Alexandria District and for 100-Year Old Buildings:

(1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating, or razing would be to the detriment of the public interest?

No. The Building is not of such architectural or historical interest that its razing would be a detriment to the public interest. The Building is not a contributing element in the District and it contributes nothing to the understanding of the history or architecture that makes the District significant. Nor is the Building a component of the Parkway. It is not significant in its own right. It contributes little to the quality of the streetscape along North Washington Street or the Parkway and its parking lot creates a hole in the streetscape where a building would be preferable.

(2) Is the building or structure of such interest that it could be made into an historic shrine?

No. There is nothing about the Building that even suggests that it should be made into a historic shrine. The elevation of buildings to such status should be reserved for the best and most important buildings, those buildings that transcend the ordinary, the good, and even, when in a district, the general overall importance of that district. Such building should be exceptionally important and must be able to convey that extraordinary importance. Such is not the case with this Building.

(3) Is the building or structure of such old or unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?

No. There is nothing old, unusual, or uncommon about the design, texture, or material of this Building such that it could not be reproduced if there were any reason to do so. There is, of course, no reason to reproduce such an architecturally-undistinguished building, particularly one constructed of ordinary, commonly available materials, with fairly crudely executed details, particularly those that resulted from the 1965 addition and alterations to the Building.

(4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?

No. The Building does not contribute to the memorial character of the Parkway. Indeed, the Parkway is not about buildings but rather it is about the character of the greenway itself, with its expansive views to the Potomac River, its landscaping, and the bridges and hardscape directly associated with the road itself. While this Building and others may be included in the boundaries of the Parkway that does not mean they are significant to any aspect of the Parkway, including its memorial character. The only buildings mentioned in the National Register of Historic Places documentation on the Parkway are the eighteenth and nineteenth century buildings lining Washington Street in Alexandria that were there when the street was incorporated into the Parkway and the Mount Vernon Inn and a Park Police office that were built in conjunction with the Parkway. The Virginia Motel, built more than thirty years after the completion of the Parkway, cannot be considered to contribute in any way to the character of the roadway.

(5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?

No. The Building is not part of the historic places that are the Old and Historic Alexandria District or the George Washington Memorial Parkway and its preservation would not help protect the significant character of either. The Building post-dates the period of significance of both by several decades. It cannot convey anything about the reasons the District or the Parkway are significant. Nor is it a significant piece of design or a significant example of its building type.

(6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place to live?

I can only address those aspects of this question relating to stimulating interest and study of architecture and design, educating citizens in American culture and heritage, and making the city a more attractive place to live. Here, again, the answer is no. One can appropriately note what this Building is. It is a 1965 motel executed in the Colonial Revival style, as was likely required given its location within the District, but with relatively few stylistic features of that style. The Building has little to offer beyond the lowest common expression of architectural and design. It is neither a good example of its style nor a good example of the prevailing architectural trends of the time. It cannot educate people about what is significant about the District in which it happens to be located. And it does little to contribute to making the District an attractive and desirable place to live. Indeed, its parking lot on North Washington Street is a detriment to the quality and integrity of the streetscape.

(7) is not applicable in this current situation.

Conclusion

The former Virginia Motel, now a Travelodge, is an ordinary example of a 1965 tourist motel executed in an architectural vocabulary that was deemed acceptable for the its location in the District. The Building was perhaps more interesting in its original form than in its altered and expanded current form, but even then it contributed to the significance of neither the District nor the Parkway. There is nothing about this Building that warrants the protection or special consideration due architecturally or historically significant buildings. It post-dates the periods of significance of both the District and the Parkway and therefore, by definition, cannot be a contributing element in either. The Building is less than fifty years old and has no exceptional significance in its own right. The Criteria do not apply in any way that requires that the Building be retained for any historic preservation reason.



Exhibit 1 1965 postcard of the
Virginia Motel

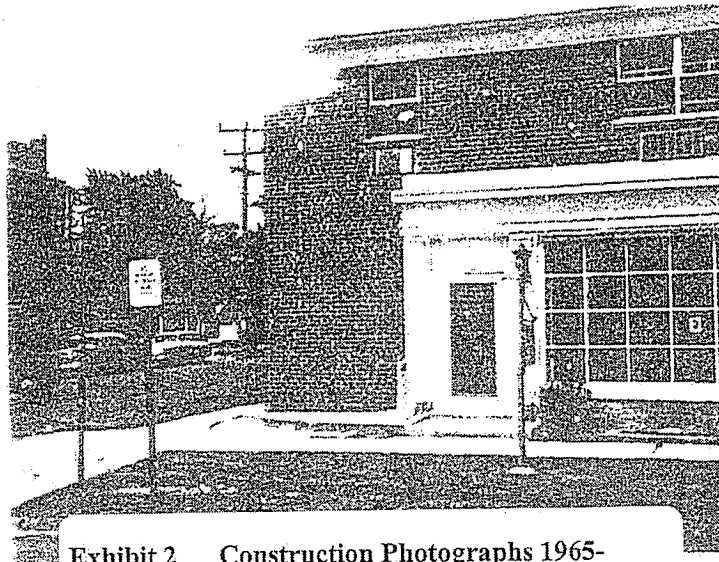
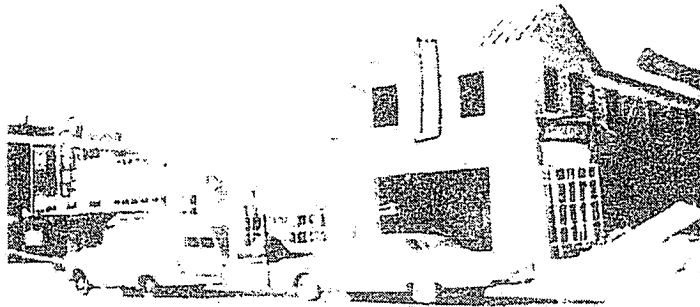


Exhibit 2 Construction Photographs 1965-1966

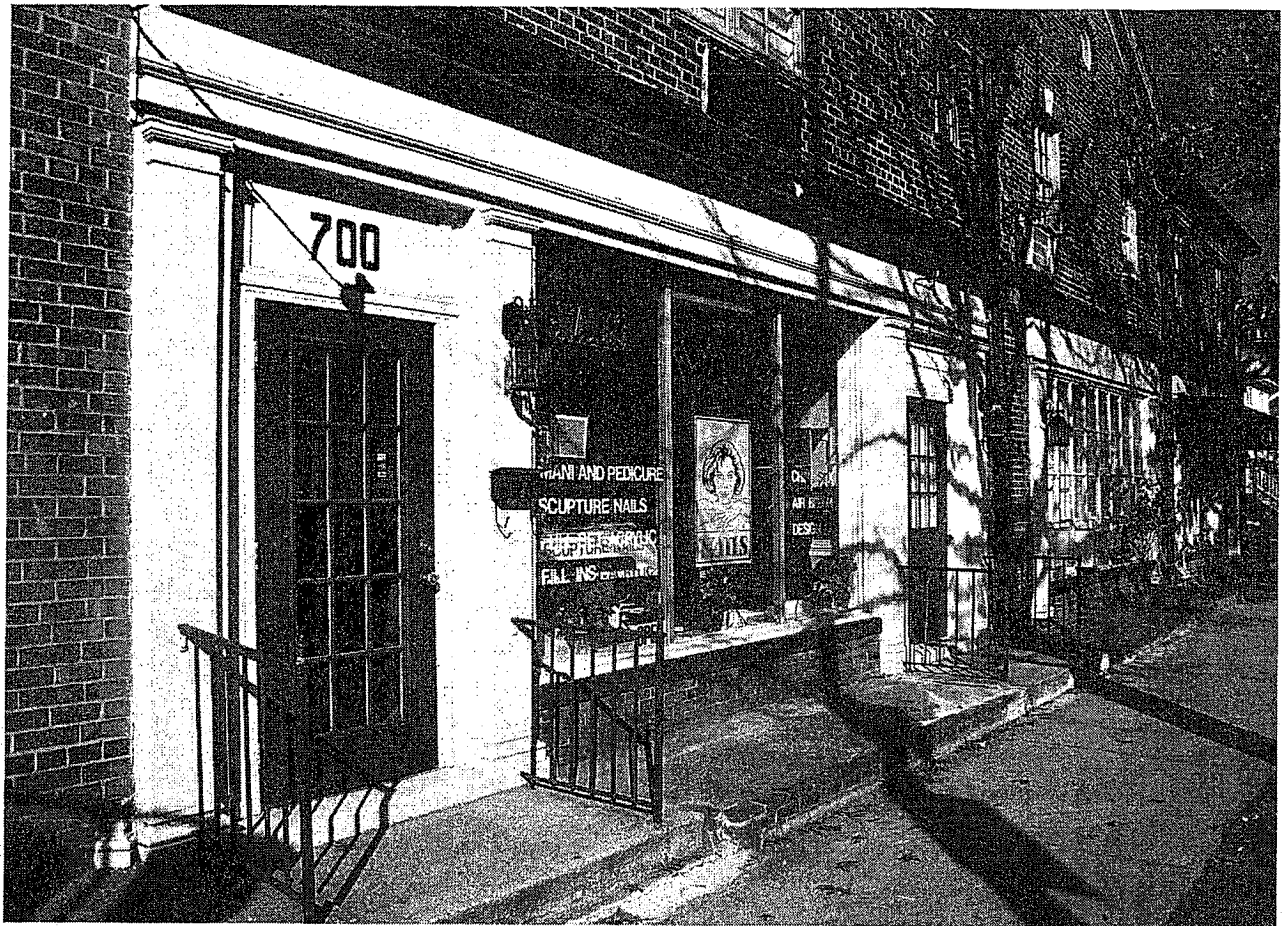


Exhibit 3a North Washington Street façade
Note remnant of original cham-
fered corner at lower left of picture.



Exhibit 3b South and west elevations of
1965 addition and north
parking lot

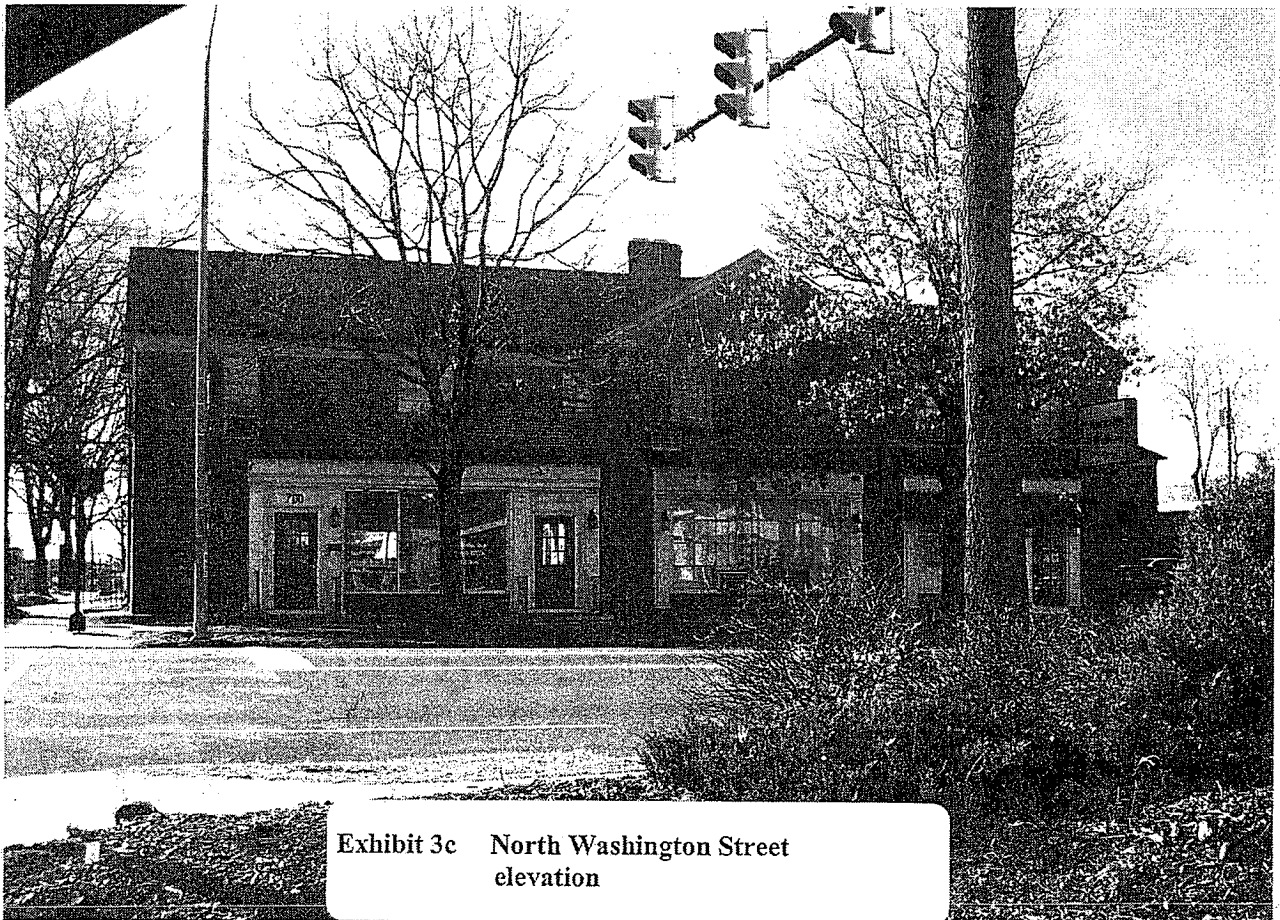


Exhibit 3c North Washington Street
elevation

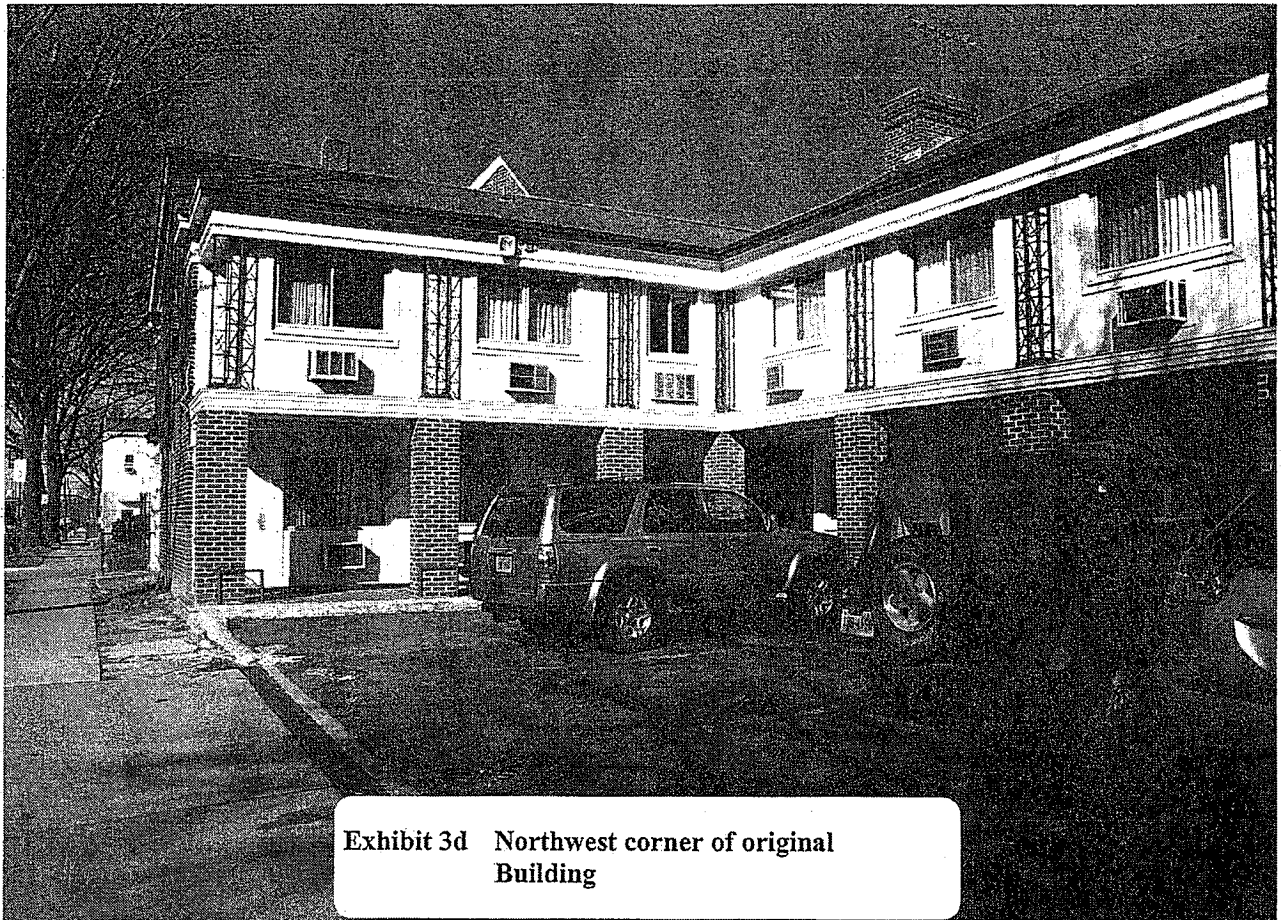


Exhibit 3d Northwest corner of original Building

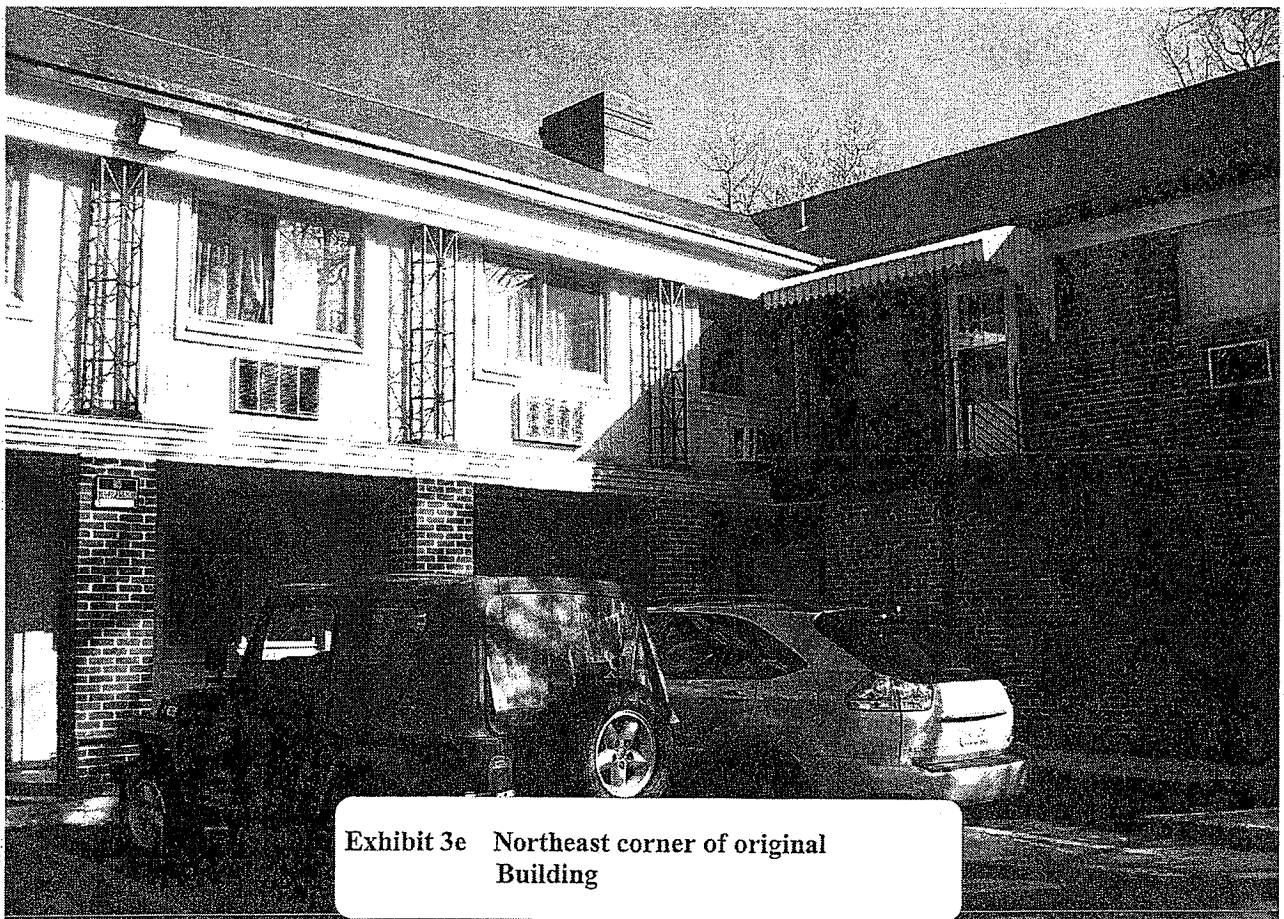
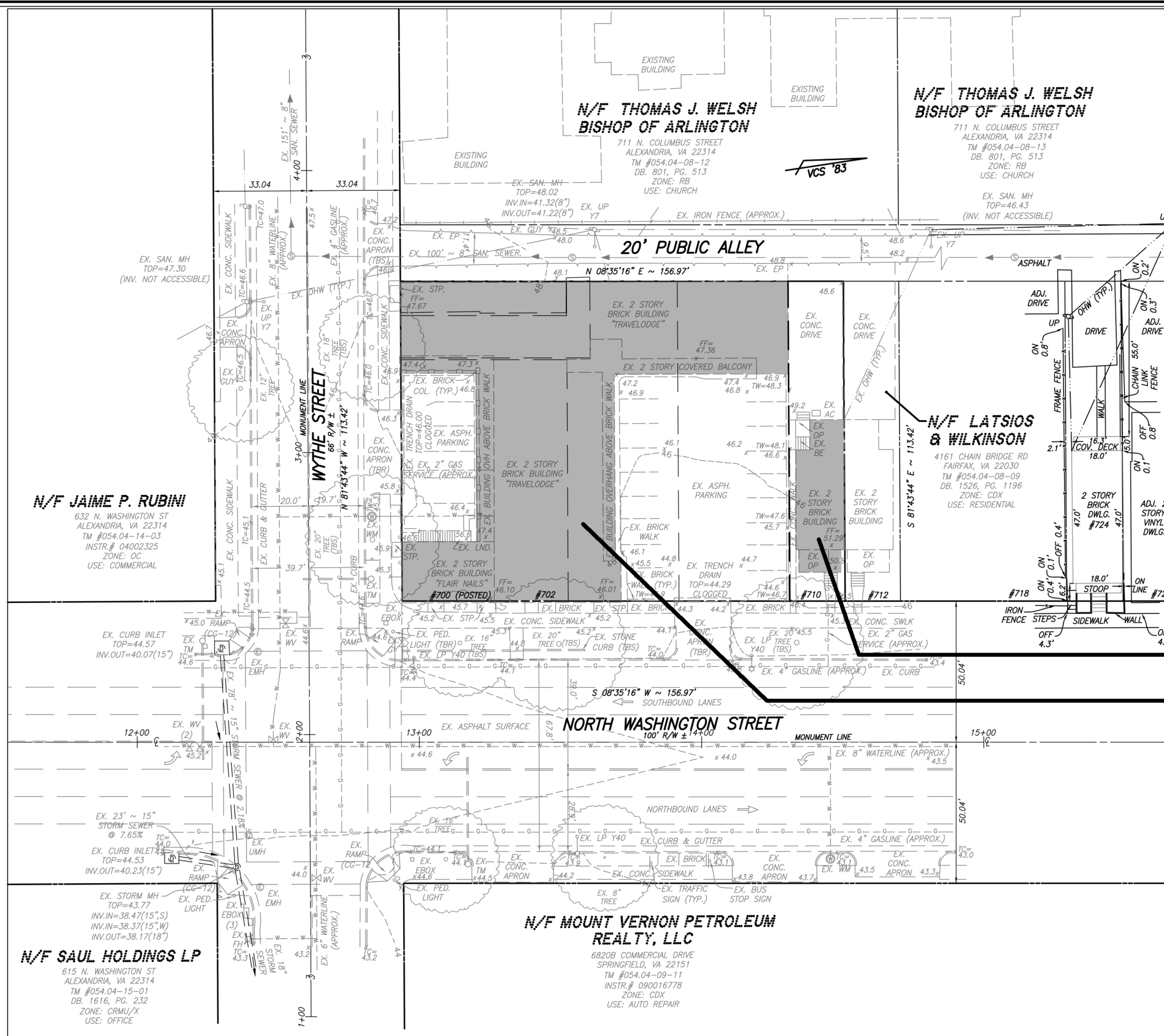


Exhibit 3e Northeast corner of original Building



D

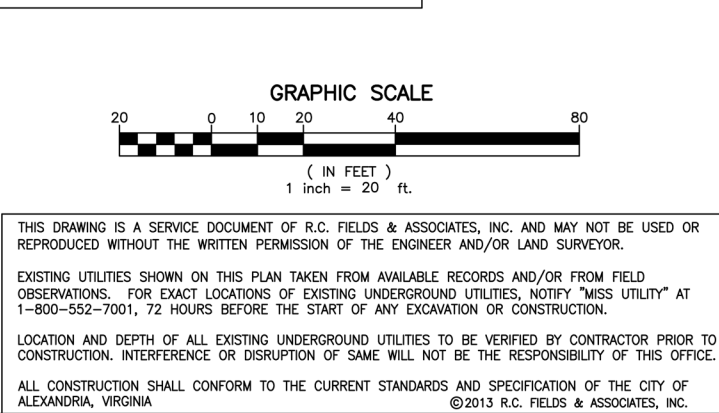
Age Group	Percentage
18-24	10
25-34	20
35-44	30
45-54	40
55-64	50
65-74	60
75-84	70
85-94	80
95-104	90

TEXT LEGEND:

= DEGREES
= MINUTES (OR FEET)
= SECONDS (OR INCHES)
% = PERCENT
Φ = SQUARE FEET
= NUMBER
@ = AT
lbs. = POUNDS
AC = ARC
AC = ACRE
ADA = AMERICANS W/ DISABILITIES ACT
BF = BASEMENT FLOOR
BLDG. = BUILDING
BOL = BOLLARD
CATV= CABLE UTILITY
CL = CLASS
CLEAR= CLEARANCE
CMP = CORRUGATED METAL PIPE
C.I. = CURB INLET
C.O. = CLEAN OUT
C&G= CURB & GUTTER
DSP= DEVELOPMENT SITE PLAN
DJ= DWELLING UNIT
E = EAST
FDC= FIRE DEPT. CONNECTION
FF= FINISH FLOOR

FH= FIRE HYDRANT
 FT= FEET
 GL = GROUND LIGHT
 G/V= GAS VALVE
 G/M= GAS METER
 G.I.= GRADE INLET
 H.C.= HATE CURB
 HDOP.= HANDICAP
 HDPE= HIGH DENSITY POLYETHYLENE
 HPS= HIGH PRESSURE SODIUM
 IFC= IRON PIPE FOUND
 INV.= INVERT
 L = LUMENS
 LOC.= LOCATION
 LP= LIGHT POLE
 MAX.= MAXIMUM
 MH= MANHOLE
 MIN.= MINIMUM
 MPH= MILES PER HOUR
 MW= MONITORING WELL
 N= NORTH
 OHW= OVERHEAD WIRE
 PN = PANEL
 PP= POWER POLE
 PVC= POLYVINYL CHLORIDE
 R= RADIUS
 RCP= REINFORCED CONCRETE PIPE
 RELOC. = RELOCATED
 RET.= RETAINING
 RESID.= RESIDENTIAL
 R/W= RIGHT-OF-WAY
 S= SOUTH
 SAN.= SANITARY SEWER
 S.F.= SQUARE FEET
 SQ.FT.= SQUARE FEET
 STM.= STORM SEWER
 STR.= STRUCTURE
 SUB.= SUBDIVISION PLAN
 TBR = TO BE REMOVED
 TBS = TO BE SAVED
 T.O.C.= TOP OF CURB
 TOW = TOP OF WALL
 TRAF.SIG.= TRAFFIC SIGNAL
 TYP= TYPICAL
 VCS= VIRGINIA COORDINATE SYSTEM W=
 WAT=
 W= WEST
 W.S.E.= WATER SURFACE ELEVATION W/V=
 WATER VALVE
 W/M= WATER METER
 W.W.= WINDOW WELL

26



APPROVED	
SPECIAL USE PERMIT NO.	2013-00002
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
DATE _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
DATE _____	

DATE	REVISION
DESIGN:	JCB
DRAWN:	JCB
SCALE:	1" = 20'
DATE:	JULY 2013
SHEET	3 OF 9
FILE:	12-157

EXISTING CONDITIONS PLAN

GENERAL NOTES:

1. TAX MAP: #054.04-08-11 (#702)
#054.04-08-10 (#710)
2. ZONE: CDX-COMMERCIAL DOWNTOWN ZONE (OLD TOWN NORTH)
3. OWNER: MAHMOOD INVESTMENT CORP.
700 N. WASHINGTON STREET
ALEXANDRIA, VA 22314
D.B. 1181,P.G., 952 (#702)
INSTRUMENT #: 100016629 (#710)
4. TOPOGRAPHIC SURVEY WAS FIELD RUN BY THIS FIRM. VERTICAL DATUM USED = NAVD '88 PER NGS CONTROL MONUMENT A535-PBPP, ELEVATION = 48.13' (CONVERTED FROM NGVD '29 USING NGS VERTCON SOFTWARE)

HORIZONTAL BEARINGS AND LOCATIONS ARE REFERENCED TO THE VIRGINIA COORDINATE SYSTEM (VCS) 1983 NORTH ZONE, MONUMENTS USED:

ALEXANDRIA GPS #508: N 6,980,963.03 E 11,895,567.60
ALEXANDRIA GPS #43: N 6,981,509.34 E 11,897,306.22
COMBINED SCALE FACTORDTA NOT AVAILABLE.

5. TITLE REPORT NOT FURNISHED, THUS ALL EASEMENTS MAY NOT BE SHOWN.
6. PLAT SUBJECT TO RESTRICTIONS OF RECORD.
7. TOTAL SITE AREA = 17,804 S.F. OR 0.4087 AC.
8. THE SITE IS NOT IN AN AREA THAT IS KNOWN TO CONTAIN MARINE CLAYS. THERE ARE NO KNOWN RECORDS OF SITE CONTAMINATION OR CONTAMINATED SOILS.
9. THIS SITE IS LOCATED IN A COMBINED SEWER AREA.

RCFIELDS
& ASSOCIATES, INC.

ENGINEERING • LAND SURVEYING • PLANNING

730 S. Washington Street
Alexandria, Virginia 22314

www.rcfassoc.com
(703) 549-6422

PRELIMINARY DEVELOPMENT PLAN
ON THE PROPERTY LOCATED AT
#700-710 NORTH WASHINGTON STREET
(D.B. 1181, PG. 952 & INSTRUMENT #100016629)
CITY OF ALEXANDRIA, VIRGINIA



B

WYTHE STREET EXISTING

N.T.S.



A

WASHINGTON STREET EXISTING

N.T.S.

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ARCHITECTURE

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22314

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F - 703.548.4779
admin@rustorling.com
www.rustorling.com

700-710 N. WASHINGTON STREET

THE CITY OF ALEXANDRIA, VIRGINIA

14.049

REVISIONS

DATE	DESCRIPTION

BAR REVIEW
02.02.15

EXISTING
ELEVATIONS

SHEET NO.

A0.1

NOT INCLUDED
IN
PROJECT

EXISTING
BLDG
TO
REMAIN



B

ALLEY EXISTING
N.T.S.



A

SIDE EXISTING
N.T.S.

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REVISIONS	
DATE	DESCRIPTION

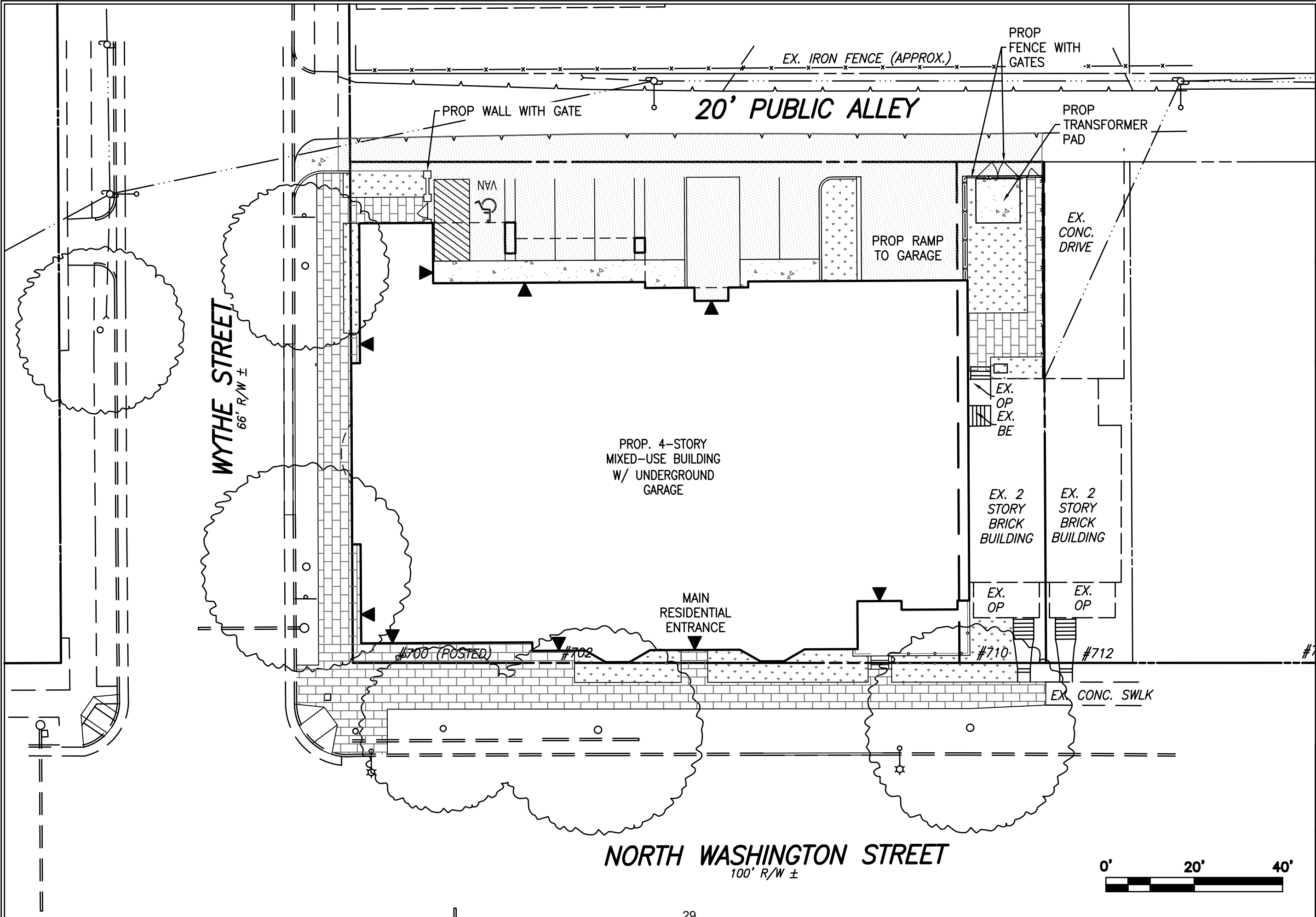
BAR REVIEW
02.02.15

EXISTING
ELEVATIONS

SHEET NO.

A0.2

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Tue, Feb 03 2015 - 1:52:42pm

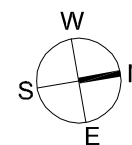
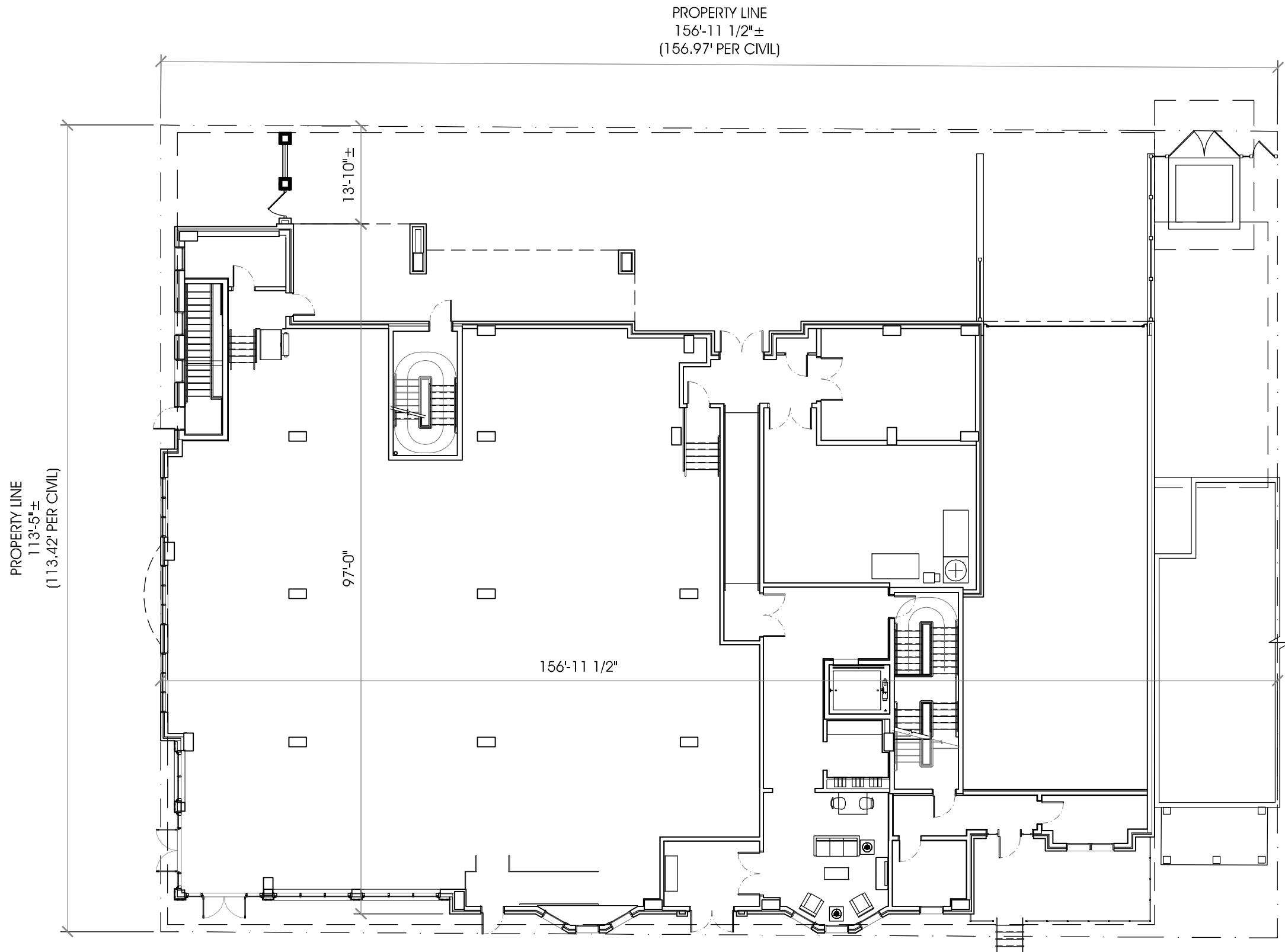


DESIGN: ACS
DRAWN: ACS
SCALE: 1"=20'
DATE: FEB 2015
SHEET 1 OF 1
FILE: 12-157

DATE
REVISION

BUILDINGS & STRUCTURES MAP
For the Property Located at
#700-710 N. Washington Street
City of Alexandria, Virginia

RCFIELDS & ASSOCIATES, inc.
ENGINEERING • PLANNING • LAND SURVEYING
730 S. Washington Street
Alexandria, Virginia 22314
www.rcfassoc.com
(703) 549-6422



1ST FLOOR PLAN

1/16"=1'-0"

A

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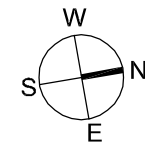
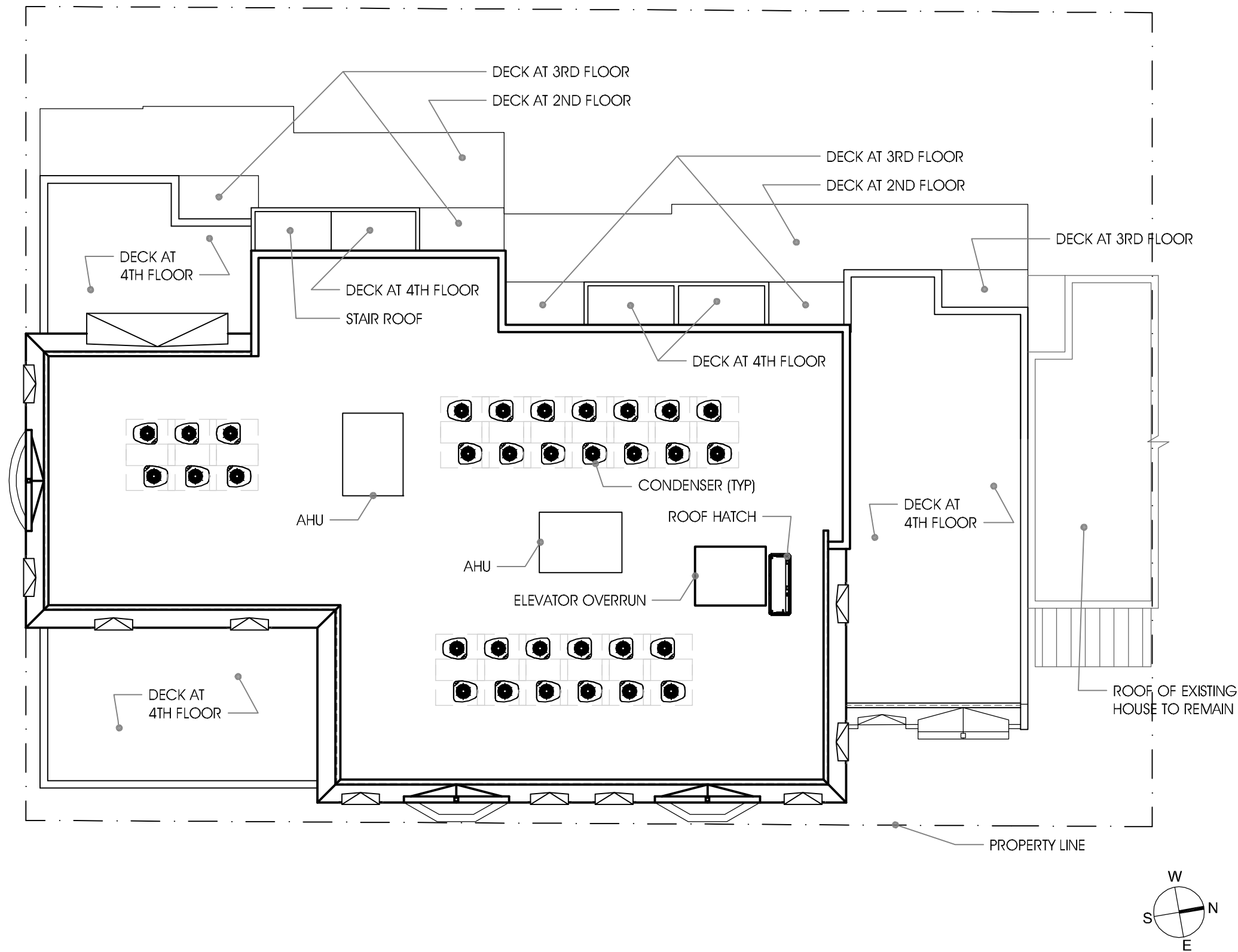
DATE	DESCRIPTION

BAR REVIEW
02.02.15

1ST
FLOOR PLAN

SHEET NO.

A1.1



ROOF PLAN

1/16"=1'-0"

Lot Area (gsf)		
700 N. Washington St.		15,580
710 N. Washington St.		2,224
Total		17,804
Existing To Remain (710 N. Washington)		
Building Floor Area (Note 1)		1,658
Units In Existing Building		1
Proposed Area		
Garage		15,983
1st Floor		10,280
2nd Floor		10,665
3rd Floor		10,350
4th Floor		7,027
Total Gross Area = Exist. Bldg + Prop. Bldg (w/o garage)		39,980
Retail Gross Area		6,259
Residential Gross Area		33,721
FAR deductions (residential)		12%
FAR deductions (retail)		5%
Retail Net Area		5,946
Residential Net Area		29,674
Total Net Area		35,621
Zoning Tabulations		
	Proposed (Includes Existing)	
Total Residential Units	30	
Lot Size per Unit	593	
Overall FAR	2.00	
Units (Includes 710 Washington)		
Studio	3	10%
1 Br	13	43%
1 Br + Den	8	27%
2 BR	5	17%
3 BR	1	3%
Total	30	100%
Parking Required		
	Ratio	Required
Residential Parking 1BR	1.3	31.2
Residential Parking 2BR	1.75	8.75
Residential Parking 3BR	2.2	2.2
Residential Required		42.2
Retail Parking Required	1/220	28.5
Total Required Parking		70.6
Parking Provided		
	Ratio	Provided
Residential		
Grade	n/a	0
2BR or less (Garage)	1:1	29
3BR (Garage)	1.5:1	1.5
Visitor Parking (Garage)	15%	5
Residential (total)	per calcs	36
Retail (Grade)	n/a	7
Retail (Garage)	n/a	0
Retail (total)		7
Total Parking Provided		43
Open Space		
Open Space At Grade	1,420	
Open Space Above Grade	3,186	
Total Open Space	4,606	
Open Space	26%	

Note 1: All information determined without building survey

Preliminary Building Code Analysis	
Use Groups	R-2, M, S-2
Stories Above Grade	4
Construction Type	IA (podium), VB (residential)
Fully Sprinklered	Yes

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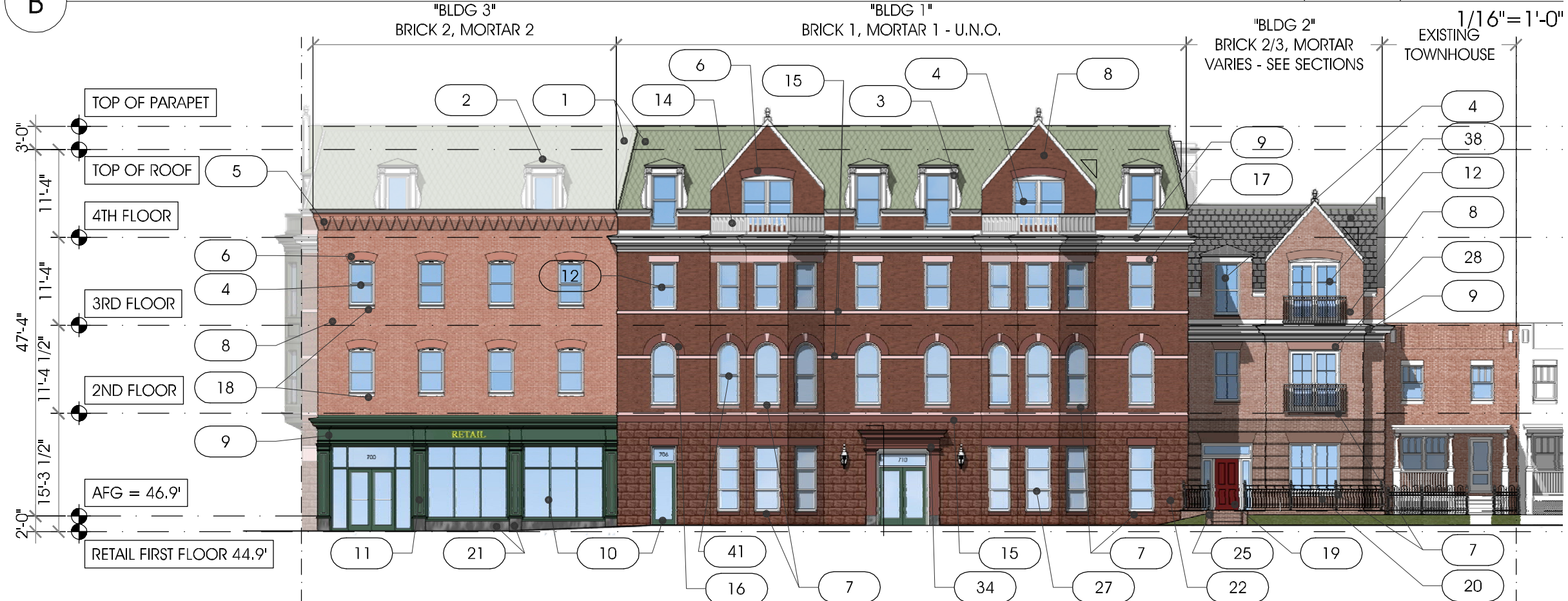
ROOF
PLAN

SHEET NO.

A1.1



WYTHE STREET (SOUTH) ELEVATION



WASHINGTON STREET (EAST) ELEVATION

- 1 METAL SHINGLE MANSARD ROOF
- 2 METAL ROOF AT DORMER
- 3 SYN. WOOD TRIM
- 4 FIBERGLASS DOUBLE HUNG WINDOW
- 5 CORBELLED BRICK CORNICE
- 6 ROWLOCK BRICK ARCH
- 7 CAST STONE SILL
- 8 FACE BRICK
- 9 SYN. WOOD FRIEZE/CORNICE - PTD
- 10 ALUMINUM STOREFRONT
- 11 SYN. WOOD PILASTER WITH RECESSED PANEL
- 12 FIBERGLASS DOOR W/ JULIET BALCONIES
- 13 METAL DOOR - PTD.
- 14 SYN. WOOD RAIL SYSTEM
- 15 CAST STONE BELT COURSE
- 16 ROWLOCK BRICK ARCH W/ CAST STONE KEYSTONE
- 17 CAST STONE LINTEL
- 18 P.T. WOOD SILL - PTD.
- 19 FIBERGLASS DOOR
- 20 METAL RAIL/GATE
- 21 STONE BASE
- 22 CHISELED FACE MASONRY UNIT
- 23 P.T. WOOD LINTEL - PTD.
- 24 SYN. WOOD RECESSED PANEL
- 25 BRICK STEPS
- 26 BRICK CORNICE
- 27 WOOD TRIPLE HUNG WINDOWS TO MATCH FIBERGLASS
- 28 BRICK JACK ARCH
- 29 HORIZONTAL SIDING
- 30 METAL COPING
- 31 METAL COILING DOOR - PTD.
- 32 METAL GUTTER AND DOWNSPOUT
- 33 WOOD FENCE AND GATE
- 34 CAST STONE PILASTERS AND SURROUND
- 35 BRICK PIER W/ ROWLOCK CAP
- 36 NOT USED
- 37 ALUMINUM FOLDING GLASS WALL SYSTEM
- 38 SYNTHETIC SHINGLE ROOF
- 39 TRANSFORMER
- 40 RECESSED BRICK PANEL
- 41 WOOD ARCH TOP DOUBLE HUNG WINDOW TO MATCH FIBERGLASS

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THE CITY OF ALEXANDRIA, VIRGINIA

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REVISIONS

DATE	DESCRIPTION

BAR REVIEW
03.09.15

EXTERIOR
ELEVATIONS

SHEET NO.

A2.1



B

WYTHE STREET (SOUTH) ELEVATION

1/16"=1'-0"



A

WASHINGTON STREET (EAST) ELEVATION

1/16"=1'-0"

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700-710 N. WASHINGTON STREET

THE CITY OF ALEXANDRIA, VIRGINIA

14.049

REVISIONS

DATE	DESCRIPTION

BAR REVIEW
03.09.15

EXTERIOR
ELEVATIONS

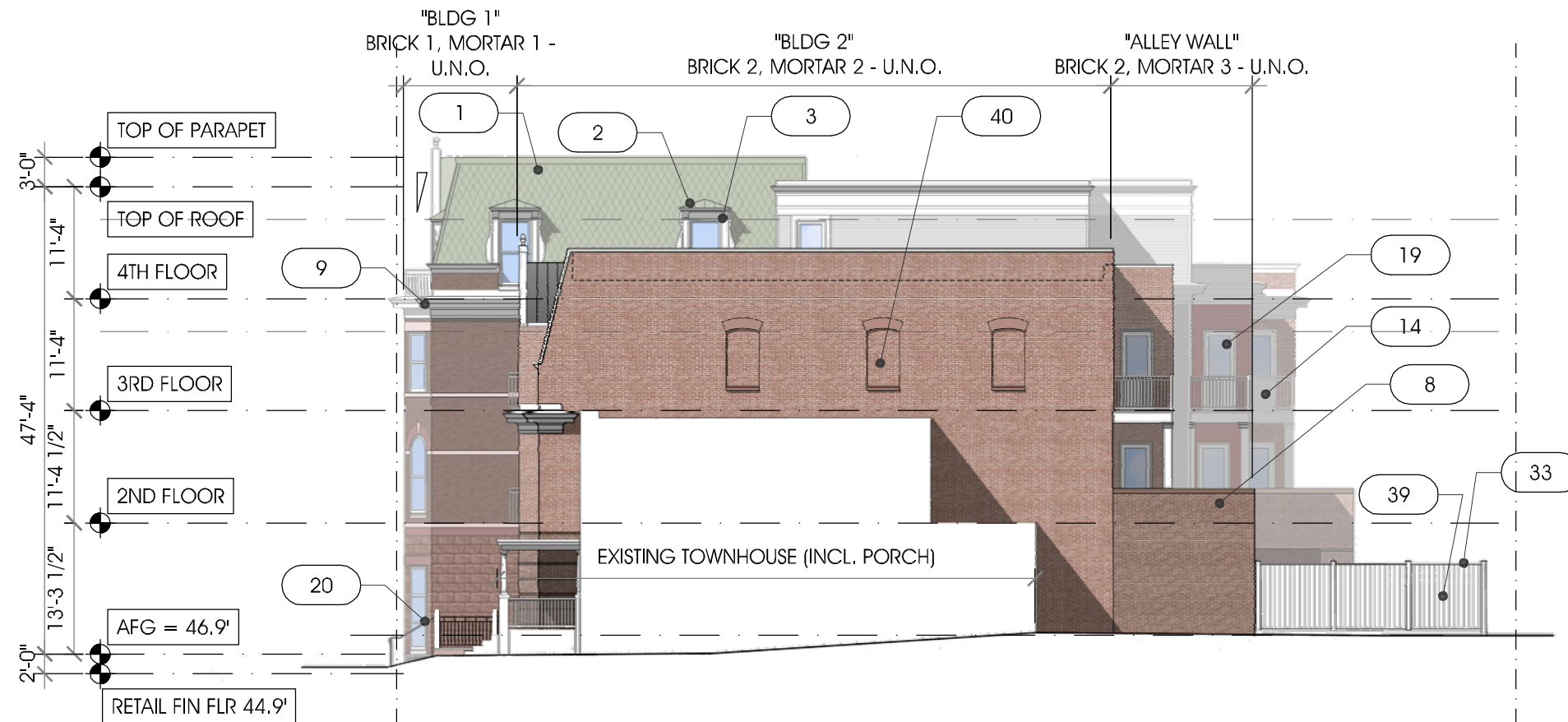
SHEET NO.

A2.1a



ALLEY (WEST) ELEVATION

1/16"=1'-0"



SIDE (NORTH) ELEVATION

1/16"=1'-0"

1	METAL SHINGLE MANSARD ROOF
2	METAL ROOF AT DORMER
3	SYN. WOOD TRIM
4	FIBERGLASS DOUBLE HUNG WINDOW
5	CORBELLED BRICK CORNICE
6	ROWLOCK BRICK ARCH
7	CAST STONE SILL
8	FACE BRICK
9	SYN. WOOD FRIEZE/CORNICE - PTD
10	ALUMINUM STOREFRONT
11	SYN. WOOD PILASTER WITH RECESSED PANEL
12	FIBERGLASS DOOR W/ JULIET BALCONIES
13	METAL DOOR - PTD.
14	SYN. WOOD RAIL SYSTEM
15	CAST STONE BELT COURSE
16	ROWLOCK BRICK ARCH W/ CAST STONE KEYSTONE
17	CAST STONE LINTEL
18	P.T. WOOD SILL - PTD.
19	FIBERGLASS DOOR
20	METAL RAIL/GATE
21	STONE BASE
22	CHISELED FACE MASONRY UNIT
23	P.T. WOOD LINTEL - PTD.
24	SYN. WOOD RECESSED PANEL
25	BRICK STEPS
26	BRICK CORNICE
27	WOOD TRIPLE HUNG WINDOWS TO MATCH FIBERGLASS
28	BRICK JACK ARCH
29	HORIZONTAL SIDING
30	METAL COPING
31	METAL COILING DOOR - PTD.
32	METAL GUTTER AND DOWNSPOUT
33	WOOD FENCE AND GATE
34	CAST STONE PILASTERS AND SURROUND
35	BRICK PIER W/ ROWLOCK CAP
36	NOT USED
37	ALUMINUM FOLDING GLASS WALL SYSTEM
38	SYNTHETIC SHINGLE ROOF
39	TRANSFORMER
40	RECESSED BRICK PANEL
41	WOOD ARCH TOP DOUBLE HUNG WINDOW TO MATCH FIBERGLASS

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700-710 N. WASHINGTON STREET

THE CITY OF ALEXANDRIA, VIRGINIA

14.049

REVISIONS

DATE	DESCRIPTION

BAR REVIEW
03.09.15

EXTERIOR
ELEVATIONS

SHEET NO.

A2.2



B

ALLEY (WEST) ELEVATION

1/16"=1'-0"



A

SIDE (NORTH) ELEVATION

1/16"=1'-0"

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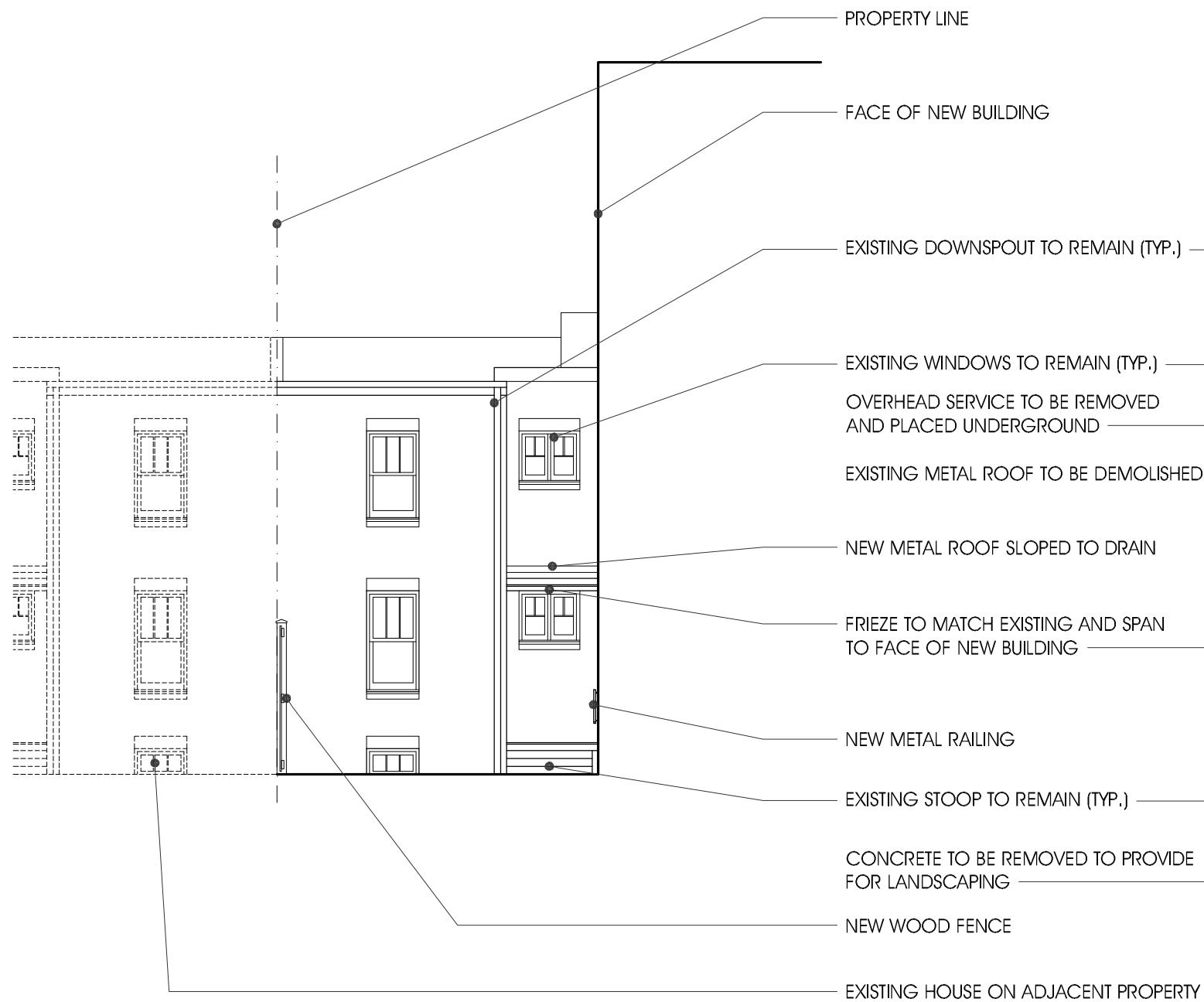
DATE	DESCRIPTION

BAR REVIEW
03.09.15

EXTERIOR
ELEVATIONS

SHEET NO.

A2.2a



B

EXISTING BLDG - REVISED REAR PORCH
N.T.S.

A

EXISTING BLDG - ALLEY ELEV
N.T.S.

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DATE	DESCRIPTION

BAR REVIEW
03.09.15

EXISTING
ELEVATIONS

SHEET NO.

A2.2b



B

WYTHE STREET
1/64"=1'-0"



A

WASHINGTON STREET
1/64"=1'-0"

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DATE	DESCRIPTION

BAR REVIEW
03.09.15

STREETSCAPES

SHEET NO.
A2.3

REVISIONS

DATE	DESCRIPTION

BAR REVIEW
03.09.15

ROOF
EQUIP SIGHT
LINES

SHEET NO.

A2.3a



C

ALLEY ELEVATION WITH EQUIPMENT

1/64" = 1'-0"



B

WYTHE STREET ROOF EQUIP SIGHT LINES

1/64" = 1'-0"



A

WASHINGTON STREET ROOF EQUIP SIGHT LINES

1/64" = 1'-0"



F

SOUTHWEST CORNER

E

NORTHEAST CORNER

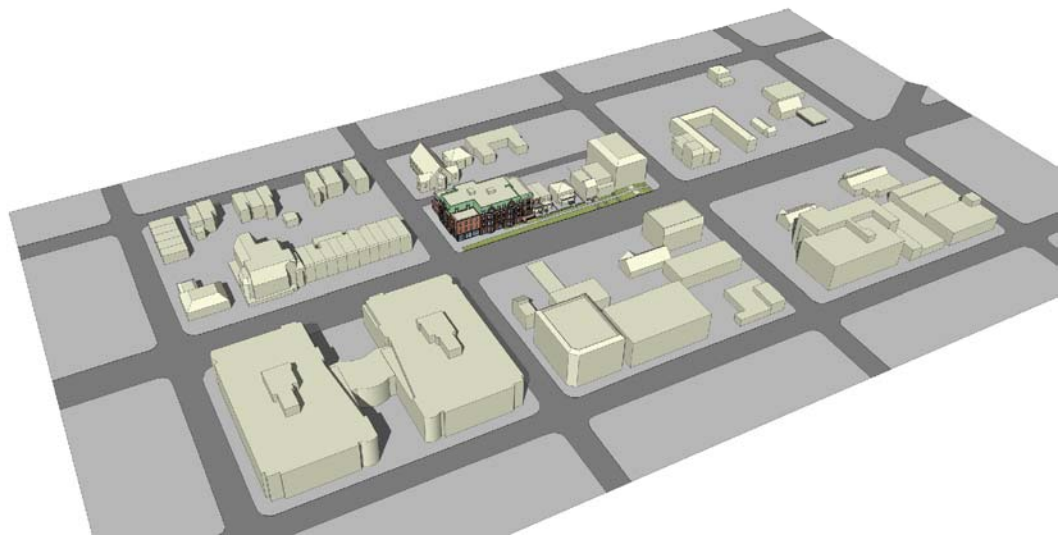


D

SOUTH LOOKING NORTH

C

NORTH LOOKING SOUTH



B

SOUTHEAST CORNER

A
39

NEIGHBORHOOD MASSING

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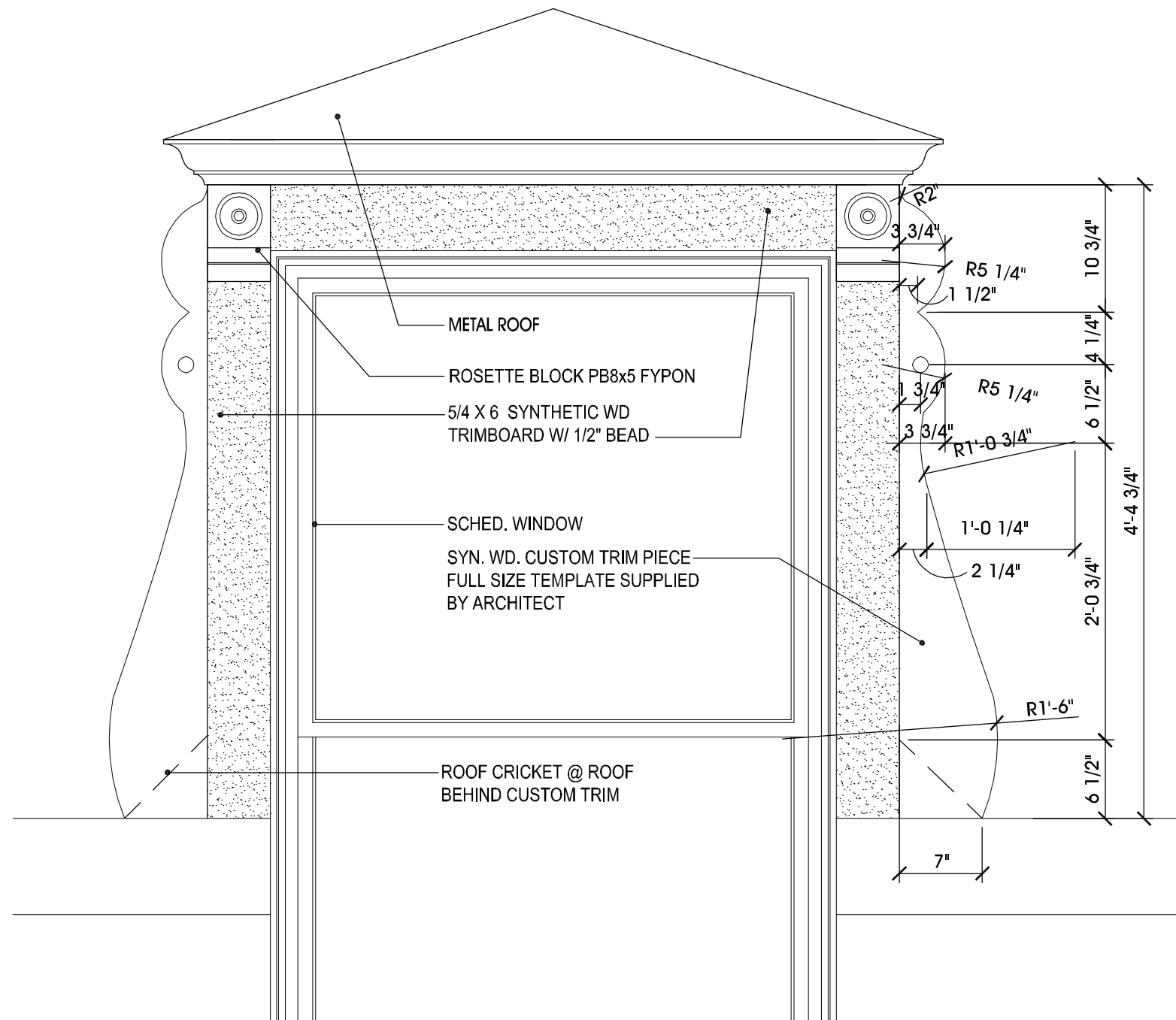
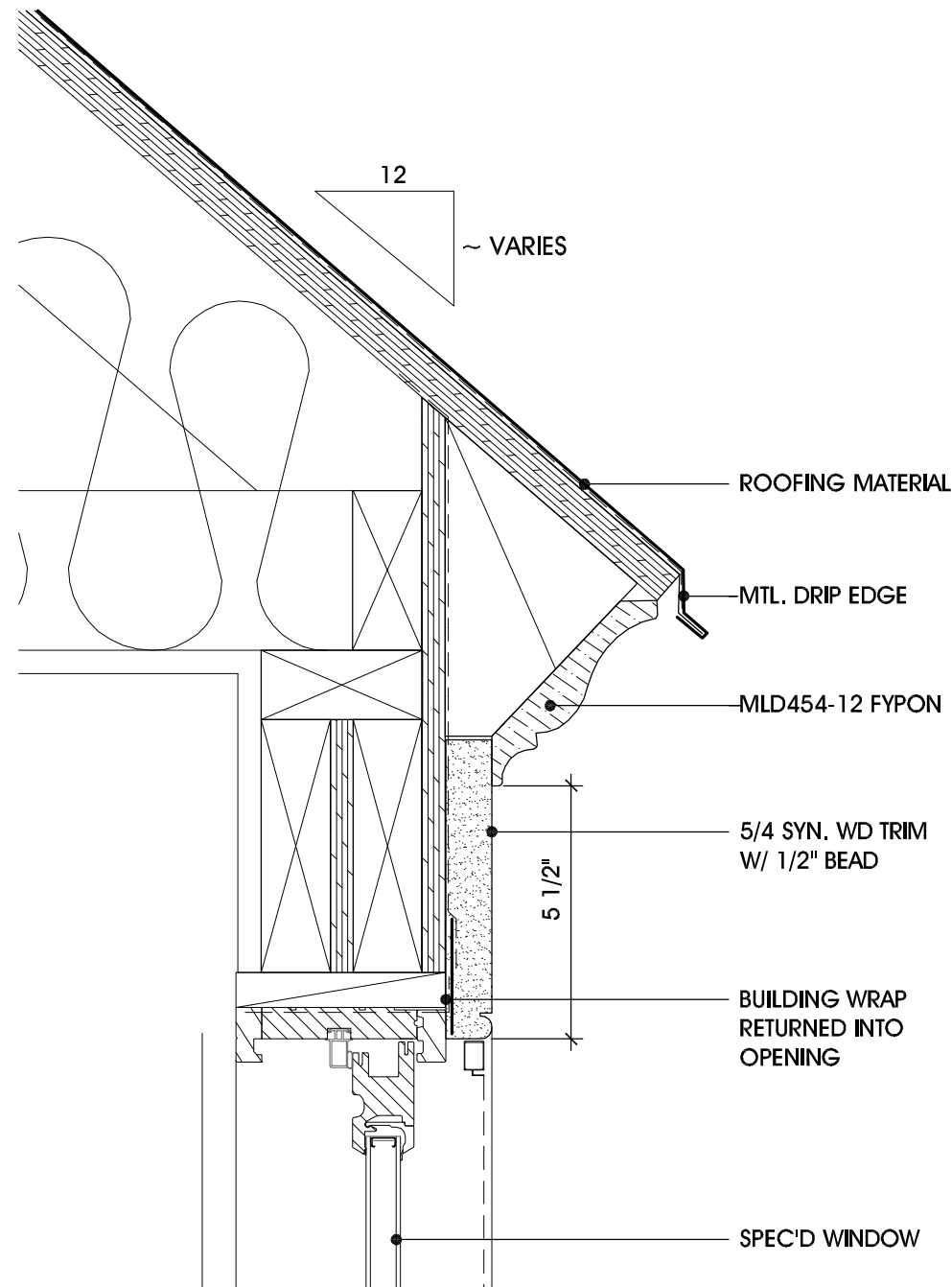
REVISIONS	
DATE	DESCRIPTION

BAR REVIEW
02.02.15

3D MODEL
VIEWS

SHEET NO.

A3.1



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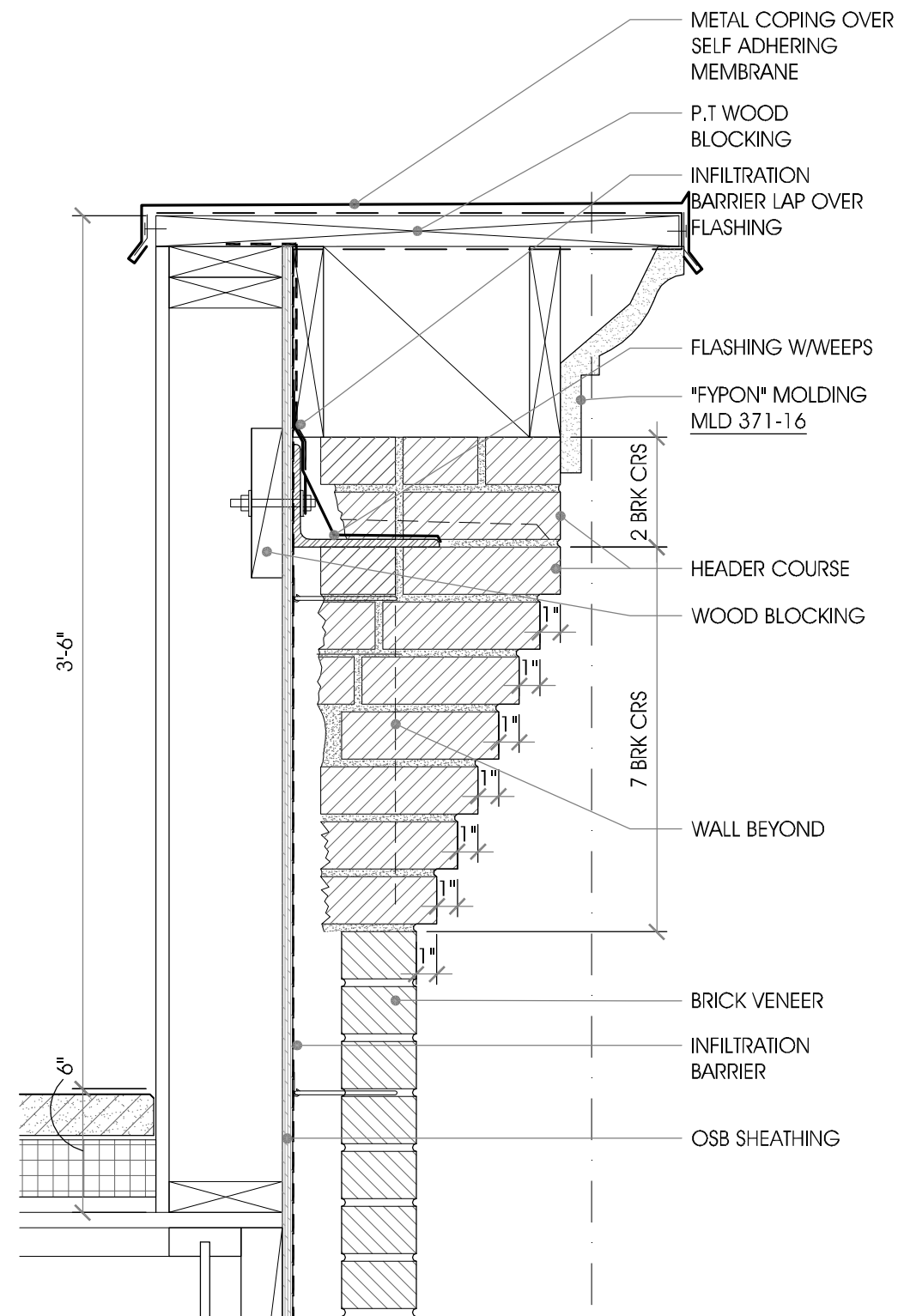
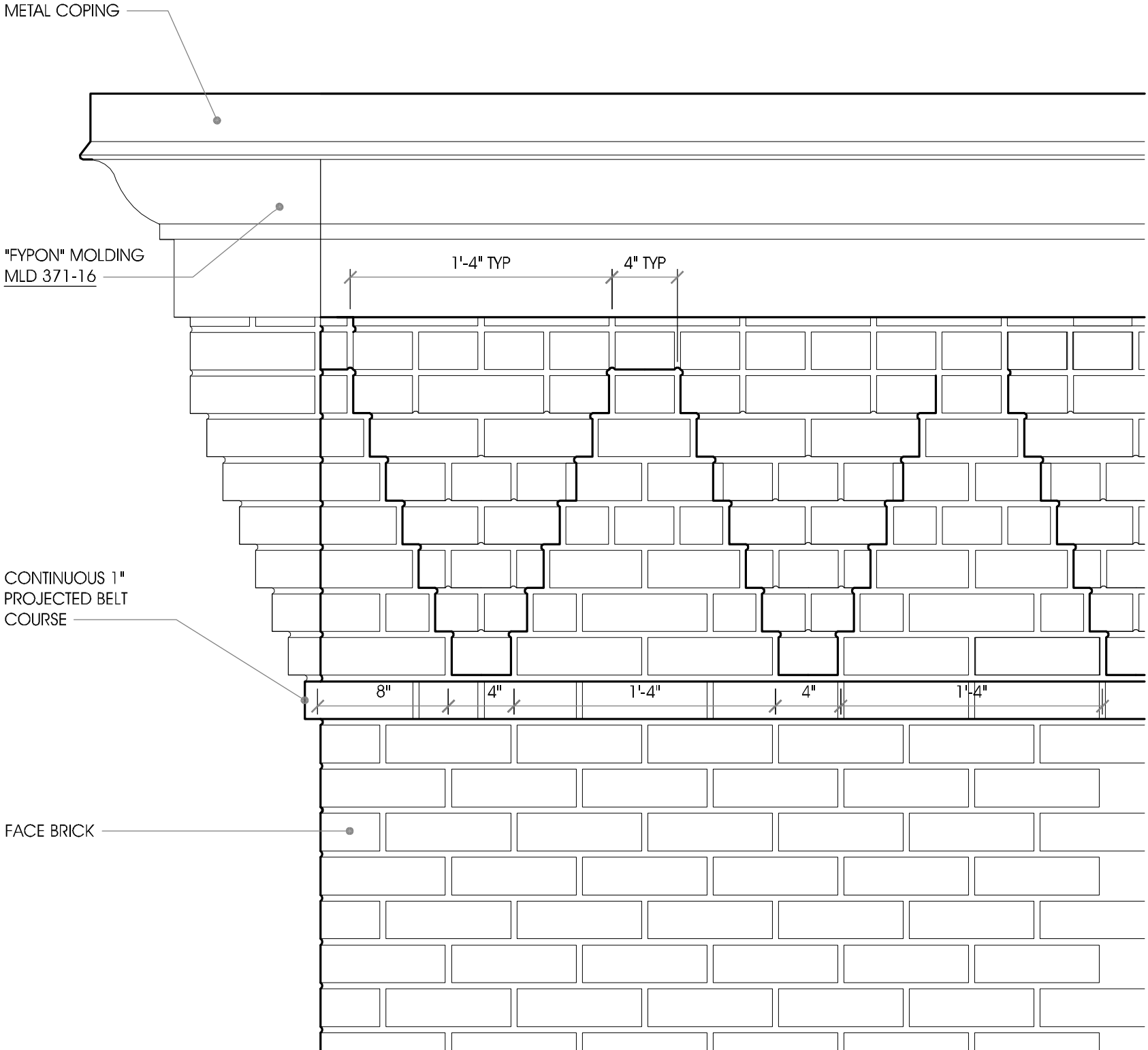
DATE	DESCRIPTION

BAR REVIEW
03.09.15

DORMER
DETAILS

SHEET NO.

A4.1



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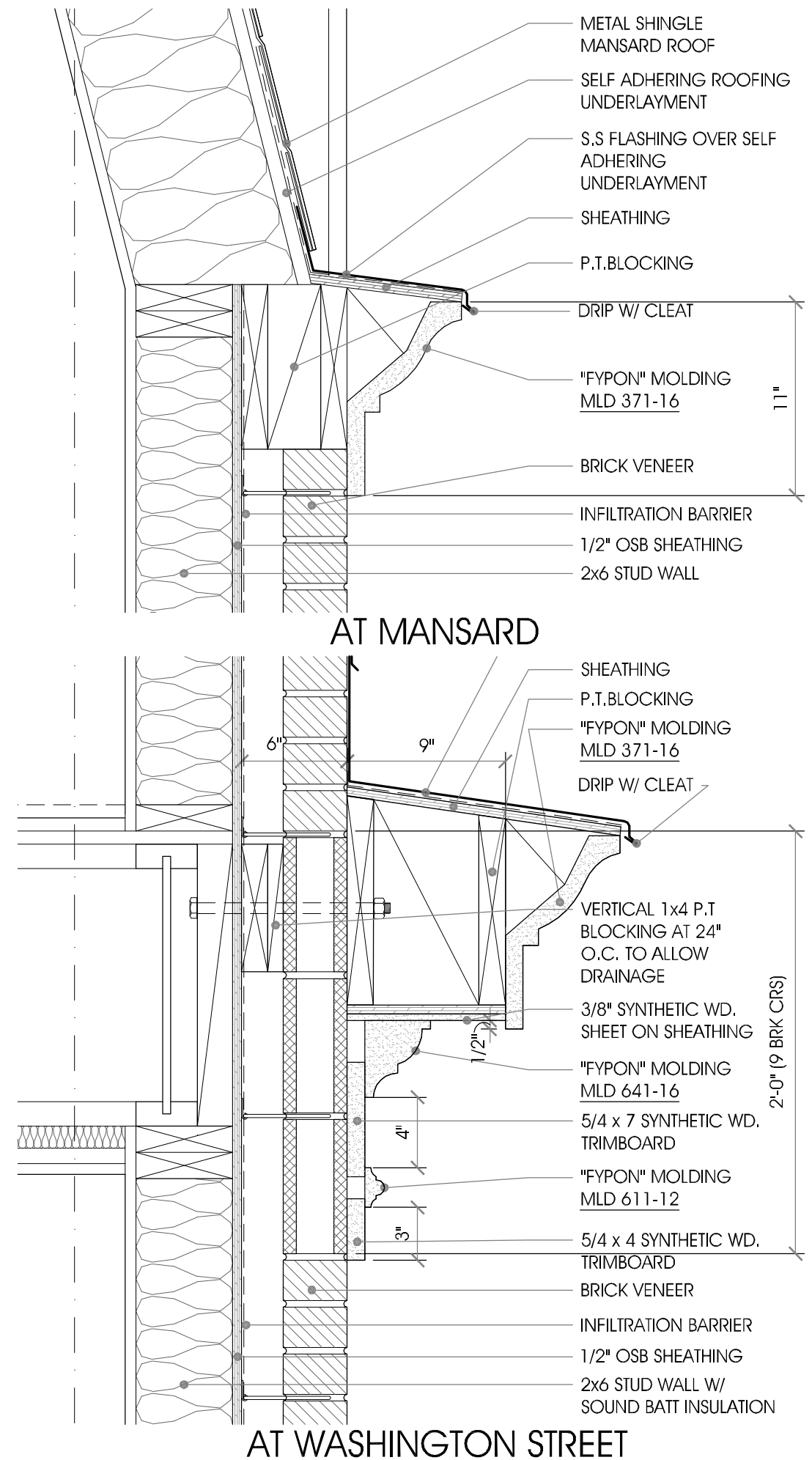
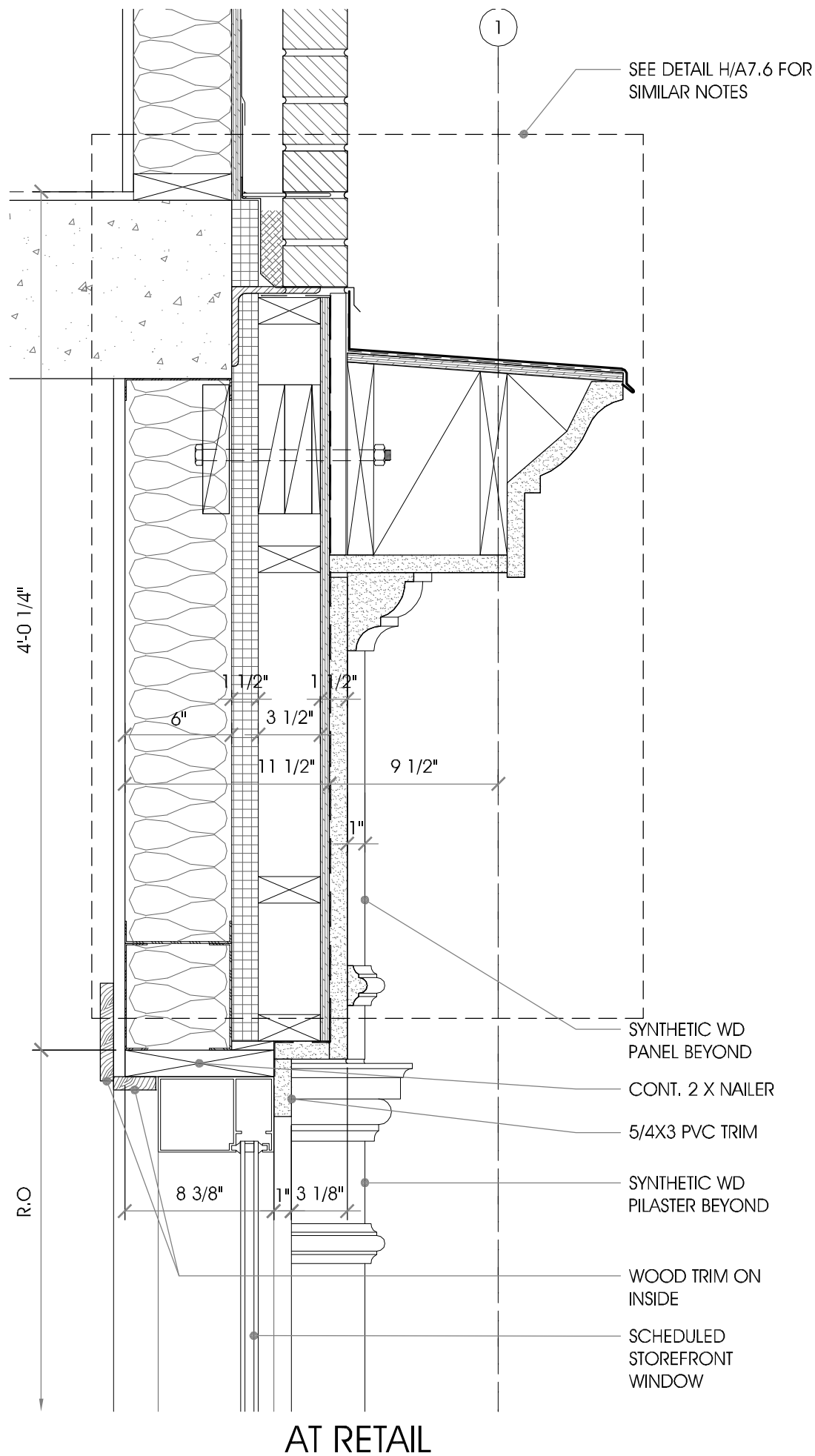
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DATE	DESCRIPTION

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03.09.15

BRICK CORNICE
DETAILS

SHEET NO.

A4.2



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REVISIONS

DATE	DESCRIPTION

BAR REVIEW
03.09.15

CORNICE
DETAILS

SHEET NO.

A4.3



ORIGINAL DESIGN



ORIGINAL DESIGN



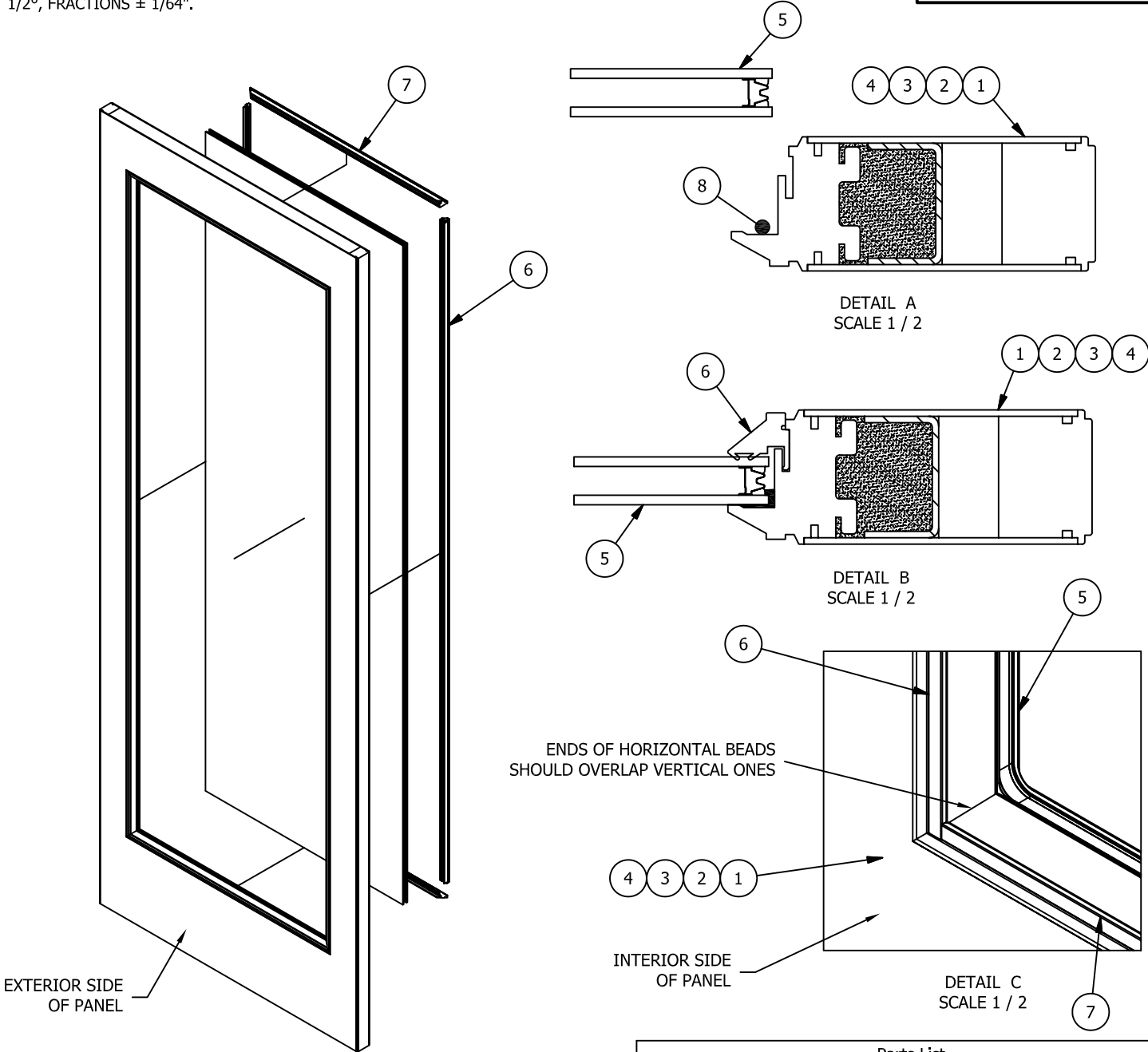
REVISED DESIGN



REVISED DESIGN

THIS DRAWING IS THE PROPERTY OF KOLBE & KOLBE MILLWORK CO., INC. THE INFORMATION THEREON IS TO BE TREATED AS CONFIDENTIAL. ALL TRADE SECRETS ARE ENTITLED TO ALL THE PROTECTIONS AND BENEFITS UNDER APPLICABLE LAW. THIS DRAWING IS NOT TO BE USED, COPIED, OR DISCLOSED TO OUTSIDE PARTIES WITHOUT OUR WRITTEN CONSENT.

NOTES:
1. UNLESS OTHERWISE SPECIFIED ALL DIMENSIONS ARE GIVEN IN INCHES. TOLERANCES ARE: DECIMALS ± .005, ANGLES ± 1/2°, FRACTIONS ± 1/64".



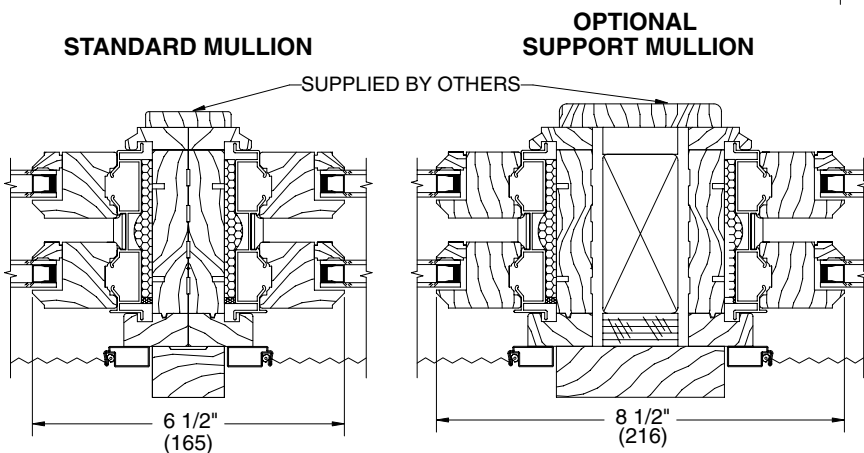
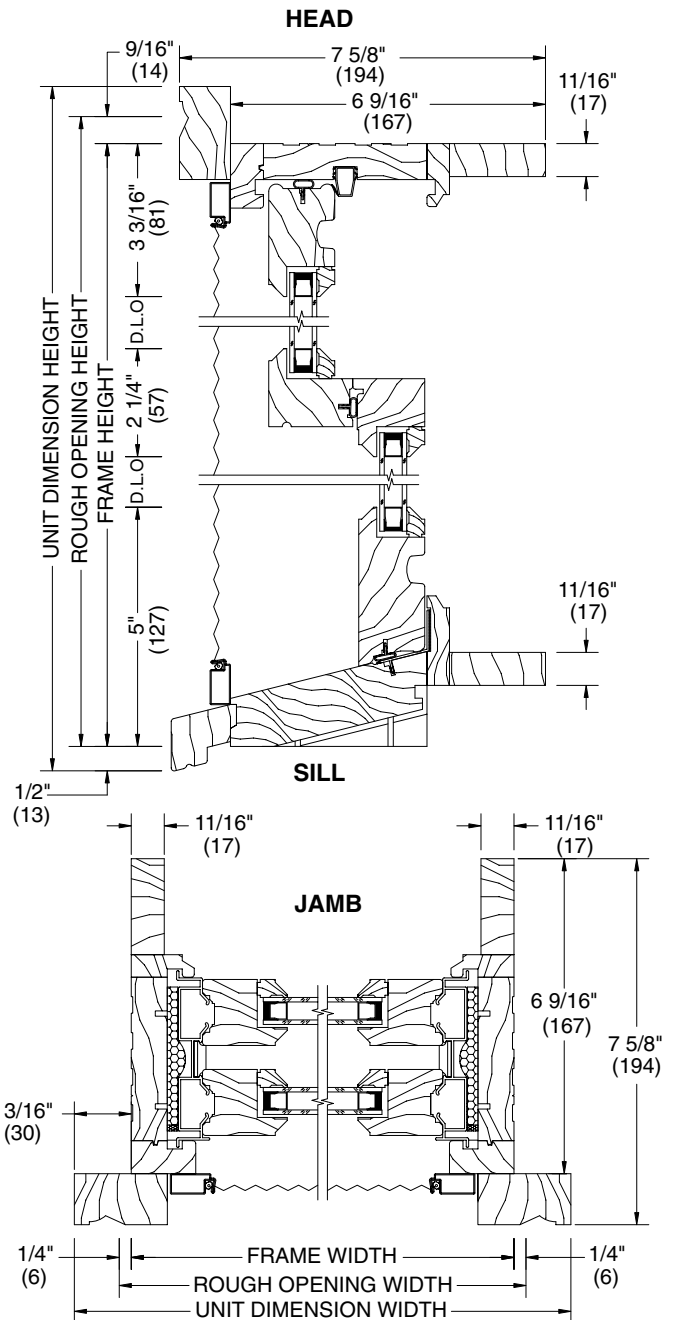
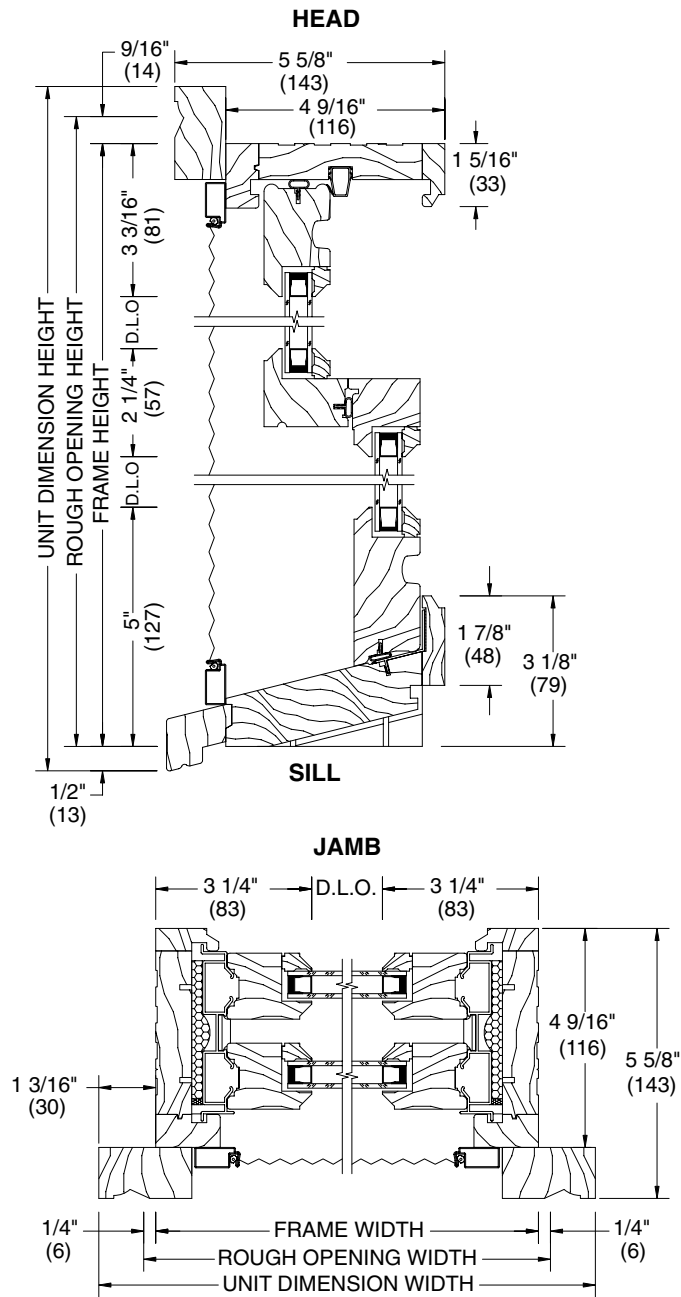
ASSEMBLY PROCEDURE

1. APPLY A BEAD OF SILICONE SEALANT AROUND THE PERIMETER OF THE GLASS SHELF. THEN POSITION THE GLASS ASSEMBLY CENTERED IN THE PANEL OPENING AND PLACE IT ON THE GLASS SHELF. SEE DETAILS A & B.
2. NEXT LOCATE THE LOWER LEG OF THE VERTICAL GLAZING BEAD IN THE CORRESPONDING GROOVE IN THE PANEL AND PRESS DOWN VERTICALLY UNTIL THE BEAD SNAPS IN AND IS SEATED FULLY. SEE DETAIL B.
3. AFTER INSERTING BOTH VERTICAL BEADS, ATTACH THE HORIZONTAL BEADS IN THE SAME MANNER, MAKING SURE THAT THEY SNAP IN FULLY. SEE DETAIL C.

AM.5

Parts List			
ITEM	QTY	DCN	DESCRIPTION
1	1	006D78	PANEL ASSEMBLY - 1 PT LOCK INSTALLATION
2	1	4822B5	PANEL ASSEMBLY - 3 PT LOCK INSTALLATION
3	1	2A8F82	PANEL ASSEMBLY - STAT/SL PANEL - SILL FLR
4	1	97C825	PANEL ASSEMBLY - PANEL BUMPER & WSTP - CYL LOCK
5	1	3077DA	IG ASSEMBLY - CLEAR GLASS - 5/8"
6	2	08815A	GLAZING BEAD - FLUSH GLAZED PANEL - VT
7	2	07D9A0	GLAZING BEAD - FLUSH GLAZED PANEL - HZ
8	A/R	N/A	SILICONE SEALANT

DCN – 38D8E6			CREATOR – MPANKA		SHEET NO. – 1 OF 1		REPLACES – UOFD6-38D8E6.0	
REV - 0	PCR - 2714	DATE - 11-25-08	REV. BY - MRP		TITLE- PANEL ASSEMBLY - IG INSTALLATION - FLUSH GLAZED PANEL			
COMMENTS - NEW DRAWING					PRODUCT- DOOR ULTRA OUTSWING FIBERGLASS (UOFD)			
BLOCKED PROFILE AND UPDATED TITLE BLOCK (TJL)								
					44			



NOTE: Double Hung Support Mullion must be ordered as separate units and mullied on job site.

Docket Items # 1 & 2
BAR CASE # 2015-0026/0027

BAR Meeting
March 4, 2015

ISSUE: Permit to Demolish/Capsulate and New Construction

APPLICANT: Mahmood Investment Corp.

LOCATION: 700-710 North Washington Street

ZONE: CDX / Commercial

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate and Certificate of Appropriateness with the following conditions:

1. Pursue the two story tall bow window alternative shown in the Wythe Street elevation drawings dated February 2, 2015, with a projection of approximately 36" from the building wall. The applicant must acquire approval of an Encroachment from City Council for the bow window before approval of a building permit or must redesign an alternate scheme that does not encroach and return to the BAR for final approval of this elevation.
2. The applicant shall submit enlarged details and sections for elements such as corbelling, cornices, ornamental trim and the like for final approval by staff as part of the building permit review process.
3. All specifications for windows, doors, light fixtures and other materials must be in conformance with the BAR's adopted policies, with final approval by staff. The applicant may elect to use a fiberglass and glass door if they can find a version without raised molding, with final approval by staff.
4. The applicant shall submit a sample of the proposed spandrel glass to ensure that it will appear as natural, clear glass in the field. If no acceptable spandrel glass can be located, then the applicant shall install interior shutters or similar in its place, with final approval by staff.
5. The applicant shall utilize different roof colors or materials for the two different mansard roof forms on Washington Street to increase the appearance of two separate buildings. The applicant may elect to use metal shingles in different colors or to introduce an alternate, appropriate material such as slate or synthetic slate shingles.
6. The applicant shall construct a mock-up of the proposed materials on site with final approval of material selection by BAR staff.
7. The front fencing on the new construction shall be distinct from, but compatible with, the existing fencing in front of 710-12 North Washington Street.
8. The applicant shall work with staff for the necessary alterations to reconfigure the roof of the one-story rear porch at 710 North Washington Street.

9. Include the following archaeology comments on all construction documents relating to ground disturbing activity, so that on-site contractors are aware of the requirements:
 - a. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.

****EXPIRATION OF APPROVALS:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.

****APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.



BAR2015-00026 & BAR2015-00027



Note: Staff coupled the reports for BAR #2015-0026 (Permit to Demolish/Capsulate) and BAR #2015-0027 (Certificate of Appropriateness) for clarity and brevity. This item requires a roll call vote.

I. ISSUE

The applicant is requesting approval of a Permit to Demolish/Capsulate and a Certificate of Appropriateness for new construction at 700-710 North Washington Street. The BAR endorsed the scale, mass and architectural character of this project in February 2013.

Permit to Demolish/Capsulate:

- Demolish the existing Travelodge motel at 700 North Washington Street
- Capsulate south elevation of the two-story brick townhouse at 710 North Washington Street

Certificate of Appropriateness for New Construction

The current submission is for one large building that will visually appear to be four visually separate buildings with a range of architectural styles and three- and four-story tall elements, as required by the Washington Street Standards to maintain the scale of this important street. On Washington Street, the southernmost building will be a three-story Italianate brick building with a prominent first-floor storefront. The center building, the largest element at four-stories and with prominent projecting bays, is designed to look like a late-19th-century apartment building in the late 19th century Richardsonian Romanesque architectural style. The northernmost element will appear to be a substantial three-story brick townhouse set back from the sidewalk with a raised terrace. The Wythe Street elevation also provides the visual appearance of multiple buildings and relates to the styles on the Washington Street elevation as the three-story Italianate building wraps the corner and the prominent center building from Washington Street also dominates this elevation. The western part of this elevation steps down significantly toward the alley.

Changes since Concept Review

Since the BAR's concept review of this project, the applicant has made a number of changes and improvements. The changes include the following:

- Reduction in overall square footage of building, including the elimination of one residential unit
- Increase rooftop open space
- Addition of Juliet balconies on the front and side elevations at the second and third stories
- Revision of main front entry on center section on Washington Street elevation
- Refinements to the storefront façade at the corner
- Redesign of the rear elevation along alley, including the introduction of balconies, use of fiber cement siding, and increased setback from alley
- Removal of encroaching planters on Washington Street elevation
- Reconfiguration of parking to allow for an additional parking spot off the alley
- Possible redesign of Wythe Street elevation, if an encroachment is not pursued

The proposal includes a request for a waiver of the rooftop mechanical equipment screening requirement.

Materials

- Wood and fiberglass windows and doors
- Metal railings
- Fypon/Azek trim
- Fiber cement siding
- Brick
- Stone, cast-stone and architectural CMU
- Aluminum storefront system

The applicant proposes a rather subdued color palette featuring deep red brick and dark grey accent brick with either cream or reddish mortar; a deep red architectural rock-like CMU block base; red, cream, dark green and pewter paint colors. The metal roof shingles are proposed to be moss green in a diamond pattern.

II. HISTORY

The BAR approved construction of the Colonial Revival style Virginia Motel in **1955**. It was altered and expanded in **1965**. The motel is an example of mid-century roadside architecture. Over the years, the BAR has approved minor alterations and a number of signs for this location.

710 North Washington Street is a semi-detached two-story building constructed of masonry common brick and built around **1920**. The original form of the structure is intact, with minimal alterations made to either 712 or 710 North Washington and features a front porch in the Wardman style, found throughout the Washington, D.C. region dating to the first decades of the twentieth century.

III. ANALYSIS

The proposed development must comply with DSUP 2013-00002. As of the publication of this report, no comments from the National Park Service have been received.

Permit to Demolish/Capsulate

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in

architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. Although the motel was constructed in the mid-1950s as the Virginia Motel, it was later significantly altered and expanded in 1965. The motel is a local example of mid-century roadside architecture. However, staff finds that it has been significantly altered and is not one of the district's better examples of roadside architecture, lacking unique character-defining features and historic integrity. While there are several good examples of roadside architecture on Washington Street for which staff would support preservation, this particular motel is not among them. Therefore, staff finds that none of the criteria for demolition are met.

Additionally, while the row house at 710 North Washington Street is historic, the proposed capsulation of the south elevation is acceptable and will not remove any uncommon design features or change one's understanding of the building. Row houses such as this, often referred to as Wardman-style row houses after the prolific early 20th century Washington, D.C. area developer, were typically attached on both sides and appeared in rows of four or more units. This particular house has several windows on the south elevation that will be eliminated as part of the capsulation. Extensive alterations to the existing one-story rear porch on this building and a new porch roof will also be required, as the porch overhang extends beyond the building wall. The applicant should work with staff to retain and appropriately modify this element.

New Construction

The BAR's *Design Guidelines* only require that new buildings be compatible with nearby buildings of historic merit and do not mandate the use of historic styles for new construction but do state that where new buildings recall historic buildings, that the architectural details used throughout the building should be consistent with that same style and that the building should not be a slavish replica of any particular building in the district. The Washington Street Standards dictate that "the design of new buildings and additions to existing buildings shall be complementary to historic buildings which are found on the street." In addition, it is noted in the Standards and Guidelines that "new buildings...shall be designed to look separate and shall not give the impression of collectively being more massive than such historic buildings."

At the concept review in February 2013, the BAR enthusiastically supported this project, noting that it was consistent with all of the standards set forth in the Washington Street Standards, as the project draws on historic architectural styles found on Washington Street. Staff continues to support this project proposal.

Addition of Balconies

The applicant has added several single and double Juliet balconies on the Washington Street and Wythe Street elevations. Staff has no objection to this addition, noting that it adds visual interest and conveys the residential character of this project. The metal railings offer an opportunity for creative detailing and craftsmanship.

Rear Elevations

The most significant change to this project has been a reconfiguration of the rear elevations. Figure 1 shows the previous rear (west) elevation shown to the BAR at concept review. As the

design has evolved since that time, the applicant has reconsidered unit layout and the desire to add outdoor space in the form of balconies and terraces. Figure 2 shows the proposed rear elevation. The current rear elevation is less massive and less formally composed than what was previously proposed. The scale is broken down and it has a strong set back above the third story, providing a better transition to St. Joseph's Catholic Church to the west. The previous concept version had an awkward roof line as the mansard changed planes and turned corners and had a large, bland masonry wall surrounding the parking garage and loading bays. The current rear elevation also introduces simpler forms and materials, typical of secondary elevations on both new and old buildings, and features greatly increased articulation of the building mass. Additionally, the rear now offers balconies and terraces as well as more refined brickwork along the alley for the garage and loading areas. This alley façade is visible from both Wythe Street and the play yard at the adjacent Church. Staff has no objection to the changes to the rear elevation and finds the current proposal to be a substantial improvement, representing appropriate changes and refinements from concept review to Certificate of Appropriateness final review.



Figure 1. PREVIOUS rear (west or alley) elevation presented at concept review in February 2013.



Figure 2. CURRENT rear (west or alley) elevation.

Projecting Bow on Wythe Street

The concept proposal and current proposal include a pronounced two-story rounded projecting bay, or bow window, onto Wythe Street that is the central design feature of this facade. The depth of the window projection was not specified in the concept review drawings and projections into the City right-of-way are limited to 10" in the City Code. The bay is well-proportioned and a prominent visual feature on this elevation which will also be highly visible from Washington Street. Staff does not believe 10" is adequate and recommends that the BAR require this projection to be increased. Historic bays such as this would typically extend approximately three feet from the building face (see Figures 3 & 4 below). Construction of the bay at the recommended three foot projection will require approval of an encroachment by Planning Commission and City Council.



Figure 3. 417 North Washington Street bow window



Figure 4. 208 North Washington Street windows

The applicant has submitted an alternative elevation design for Wythe Street, dated February 26, 2015, that stays within the 10" projection limitation of the Code. However, staff believes this simplified alternative lacks the strong focus of the original design and does not recommend its approval.

Materials

As this is new construction, the applicant has the option to utilize a range of appropriate, high-quality natural and composite modern and sustainable materials. Generally, staff supports the proposed materials palette, finding the brick selection and use of both stone and architectural CMU in a rusticated form, to be appropriate. The applicant has proposed composite material for trim and the storefront system. The BAR's Window Policy permits the applicant to use fiberglass, wood, or aluminum-clad wood windows. At this point, the applicant has proposed using wood windows for the arched windows and fiberglass in other locations. Staff will review

the final window specifications as part of the building permit to ensure complete compliance with the BAR's adopted policy.

The applicant has requested to use fiberglass full-light doors. The BAR's adopted policy specifically does not permit the administrative approval of fiberglass doors with any lights because of the prominence of the molding where the rails/stiles meet the glass, as these typically have either exposed stainless screws or large button caps. As with all modern materials, they continue to evolve and be refined each year. The applicant understands the BAR's concern and is working to select a fiberglass door whose perimeter molding is flush with the door panel to eliminate the awkward and oversized appearance. The applicant has submitted a preliminary specification that indicates this condition can be appropriately addressed. Therefore, staff



Figure 3. Left: Fiberglass door with raised sticking where glass meets rails and stiles. **Right:** Wood door with flush sticking where glass meets wood.

recommends that the BAR allow for staff level approval of a fiberglass door with a single light provided all trim and molding is flush with the main door. Should the applicant be unable to meet this condition, then a wood door must be used.

There are two locations on the Washington Street elevation and two windows on the rear elevation where the applicant proposes to use spandrel glass. The *Design Guidelines* note that “reflective and tinted glass are not appropriate.” The BAR rarely approves tinted, spandrel or reflective glass, or any obscuring of windows. In the case of the two windows proposed for the rear elevation, staff recommends that they be eliminated and just left as siding, noting that such a revision will not negatively affect the elevation. On the front elevation, the window arrangement where the proposed spandrel sash are located cannot be so easily changed without disrupting the

rhythm of the fenestration. The applicant is proposing spandrel glass for the bottom sash in these locations due to the interior layout of the dwelling units. As the applicant continues to work on the construction drawings, it is strongly recommended that they pursue an option with an interior layout that permits a full-sized window, as drawn. Should this not be possible on the second and third stories, the applicant can work with staff to determine an appropriate option, pursuing a spandrel glass color that is as unobtrusive and unreflective as possible, to be approved with a sample in the field. If a satisfactory sample is not found, then the applicant may install interior shutters in a permanently fixed position for the two lower sash.

As this is, perhaps, the final Certificate of Appropriateness review, staff recommends that any approval be conditioned on the submission of details and sections of a number of elements, not limited to cornices, railings, mansard roof window trim, and other details, as part of approval of the building permit review by staff. During that review staff can ascertain whether style, proportions, depth and detailing, and quality of the materials are appropriate.

Waiver of Rooftop Screening Requirement

The applicant has provided sight lines showing that the proposed rooftop equipment will be minimally visible. The proposed rooftop equipment will be located near the center of the roof and there will be a parapet for much of the roof. Therefore, staff supports the request for a waiver of rooftop mechanical screening with final unit locations to be confirmed by staff on construction drawings and in the field.

Fencing on Washington Street

The applicant has proposed fencing in front of the new townhouse adjacent to the existing historic townhouses at 710-712 North Washington Street that matches the adjacent historic fencing. Staff's preference is to allow the historic fencing to retain its distinction and therefore recommends a simpler and less ornamented but compatible fence in front of the new construction.

Standards to Consider for a Certificate of Appropriateness on Washington Street

In addition to the general BAR standards outlined in the Zoning Ordinance, due to the project's location fronting on Washington Street, the Board must also find that the Washington Street Standards are met. Staff has included below the additional standards for Washington Street described in the Zoning Ordinance.

Washington Street Standards

Alexandria Zoning Ordinance Sec. 10-105(A)(3): Additional standards—Washington Street.

(a) In addition to the standards set forth in section 10-105(A)(2), the following standards shall apply to the construction of new buildings and structures and to the construction of additions to buildings or structures on lots fronting on both sides of Washington Street from the southern city limit line north to the northern city limit line:

(1) Construction shall be compatible with and similar to the traditional building character, particularly including mass, scale, design and style, found on Washington Street on commercial or residential buildings of historic architectural merit.

i. Elements of design consistent with historic buildings which are found on the street shall be emphasized.

- ii. *New buildings and additions to existing buildings shall not, by their style, size, location or other characteristics, detract from, overwhelm, or otherwise intrude upon historic buildings which are found on the street.*
 - iii. *The design of new buildings and additions to existing buildings shall be complementary to historic buildings which are found on the street.*
 - iv. *The massing of new buildings or additions to existing buildings adjacent to historic buildings which are found on the street shall closely reflect and be proportional to the massing of the adjacent historic buildings.*
 - v. *New buildings and additions to existing buildings which are larger than historic buildings which are found on the street shall be designed to look separate and shall not give the impression of collectively being more massive than such historic buildings. This design shall be accomplished through differing historic architectural designs, facades, setbacks, roof lines and styles. Buildings should appear from the public right-of-way to have a footprint no larger than 100 feet by 80 feet. For larger projects, it is desirable that the historic pattern of mid-block alleys be preserved or replicated.*
 - vi. *Applications for projects over 3,000 square feet, or for projects located within 66 feet of land used or zoned for residential uses, shall include a building massing study. Such study shall include all existing and proposed buildings and building additions in the six block area as follows: the block face containing the project, the block face opposite, the two adjacent block faces to the north and the two adjacent block faces to the south.*
 - vii. *The massing and proportions of new buildings or additions to existing buildings designed in an historic style found elsewhere in along Washington Street shall be consistent with the massing and proportions of that style.*
 - viii. *New or untried approaches to design which result in new buildings or additions to existing buildings that have no historical basis in Alexandria or that are not consistent with an historic style in scale, massing and detailing, are not appropriate.*
- (2) *Facades of a building generally shall express the 20- to 40-foot bay width typically found on early 19th century commercial buildings characteristic of the Old and Historic Alexandria District, or the 15- to 20-foot bay width typically found on townhouses characteristic of the Old and Historic Alexandria District. Techniques to express such typical bay width shall include changes in material, articulation of the wall surfaces, changes in fenestration patterns, varying roof heights, and physical breaks, vertical as well as horizontal, within the massing.*
- (3) *Building materials characteristic of buildings having historic architectural merit within the district shall be utilized. The texture, tone and color of such materials shall display a level of variety, quality and richness at least equal to that found abundantly in the historic setting.*
- (4) *Construction shall reflect the traditional fenestration patterns found within the Old and Historic Alexandria District. Traditional solid-void relationships exhibited within the district's streetscapes (i.e., ratio of window and door openings to solid wall) shall be used in building facades, including first floor facades.*
- (5) *Construction shall display a level of ornamentation, detail and use of quality materials consistent with buildings having historic architectural merit found within the district. In replicative building construction (i.e., masonry bearing wall by a veneer system), the*

proper thicknesses of materials shall be expressed particularly through the use of sufficient reveals around wall openings.

- (b) No fewer than 45 days prior to filing an application for a certificate of appropriateness, an applicant who proposes construction which is subject to this section 10-105(A)(3), shall meet with the director to discuss the application of these standards to the proposed development; provided, that this requirement for a preapplication conference shall apply only to the construction of 10,000 or more square feet of gross building area, including but not limited to the area in any above-ground parking structure.*
- (c) No application for a certificate of appropriateness which is subject to this section 10-105(A)(3) shall be approved by the Old and Historic Alexandria District board of architectural review, unless it makes a written finding that the proposed construction complies with the standards in section 10-105(A)(3)(a).*
- (d) The director may appeal to city council a decision of the Old and Historic Alexandria District board of architectural review granting or denying an application for a certificate of appropriateness subject to this section 10-105(A)(3), which right of appeal shall be in addition to any other appeal provided by law.*
- (e) The standards set out in section 10-105(A)(3)(a) shall also apply in any proceedings before any other governmental or advisory board, commission or agency of the city relating to the use, development or redevelopment of land, buildings or structures within the area subject to this section 10-105(A)(3).*
- (f) To the extent that any other provisions of this ordinance are inconsistent with the provisions of this section 10-105(A)(3), the provisions of this section shall be controlling.*
- (g) The director shall adopt regulations and guidelines pertaining to the submission, review and approval or disapproval of applications subject to this section 10-105(A)(3).*
- (h) Any building or addition to an existing building which fails to comply with the provisions of this paragraph shall be presumed to be incompatible with the historic district and Washington Street standards, and the applicant shall have the burden of overcoming such presumption by clear and convincing evidence.*
- (i) The applicant for a special use permit for an increase in density above that permitted by right shall have the burden of proving that the proposed building or addition to an existing building provides clearly demonstrable benefits to the historic character of Washington Street, and, by virtue of the project's uses, architecture and site layout and design, materially advances the pedestrian-friendly environment along Washington Street.*

As noted in the concept review memo (Attachment 3) during the concept review process, staff finds that each of the Washington Street Standards is satisfied. Staff will continue to work with the applicant to ensure the ornamentation, detailing and materials are all consistent with the expectations of the Board and public for this area of the historic district.

STAFF

Catherine K. Miliaras, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Administration

No comments received.

Transportation and Environmental Services

1. Comply with all requirements of DSP2013-00002 (TES)
2. The Final Site Plan must be approved and released and a copy of that plan must be attached to the demolition permit application. No demolition permit will be issued in advance of the building permit unless the Final Site Plan includes a demolition plan which clearly represents the demolished condition. (T&ES)

Alexandria Archaeology

Archaeology Comments

1. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities.
 2. The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities.
- F-1 Quartermaster's maps of the Union Army occupation of Alexandria during the Civil War indicate that a 260 ft. wide horse corral encompassed the entire street face on Wythe Street from N. Washington to N. Columbus and included all three subject lots. Later, according to the G.M. Hopkins Insurance Atlas, by 1877 there were two houses present near the southwest corner of the lot abutting the alley. While it is likely that twentieth-century construction has destroyed much of the evidence of past activities on this property, it is possible that portions of deeper features (such as wells or basement foundations) could remain intact. If present, these could provide insight into military activities and residential life in nineteenth-century Alexandria.
- F-2 If this project is a federal undertaking or involves the use of any federal funding, the applicant shall comply with federal preservation laws, in particular Section 106 of the National Historic Preservation Act of 1966. The applicant will coordinate with the Virginia Department of Historic Resources and the federal agency involved in the project, as well as with Alexandria Archaeology.
- C-1 All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

V. ATTACHMENTS

- ~~1 Supporting Materials~~
- ~~2 Application for BAR2015-0027 & BAR2015-0027 at 700 North Washington Street~~
- ~~3 Concept Review Memo with Minutes from February 20, 2013~~