

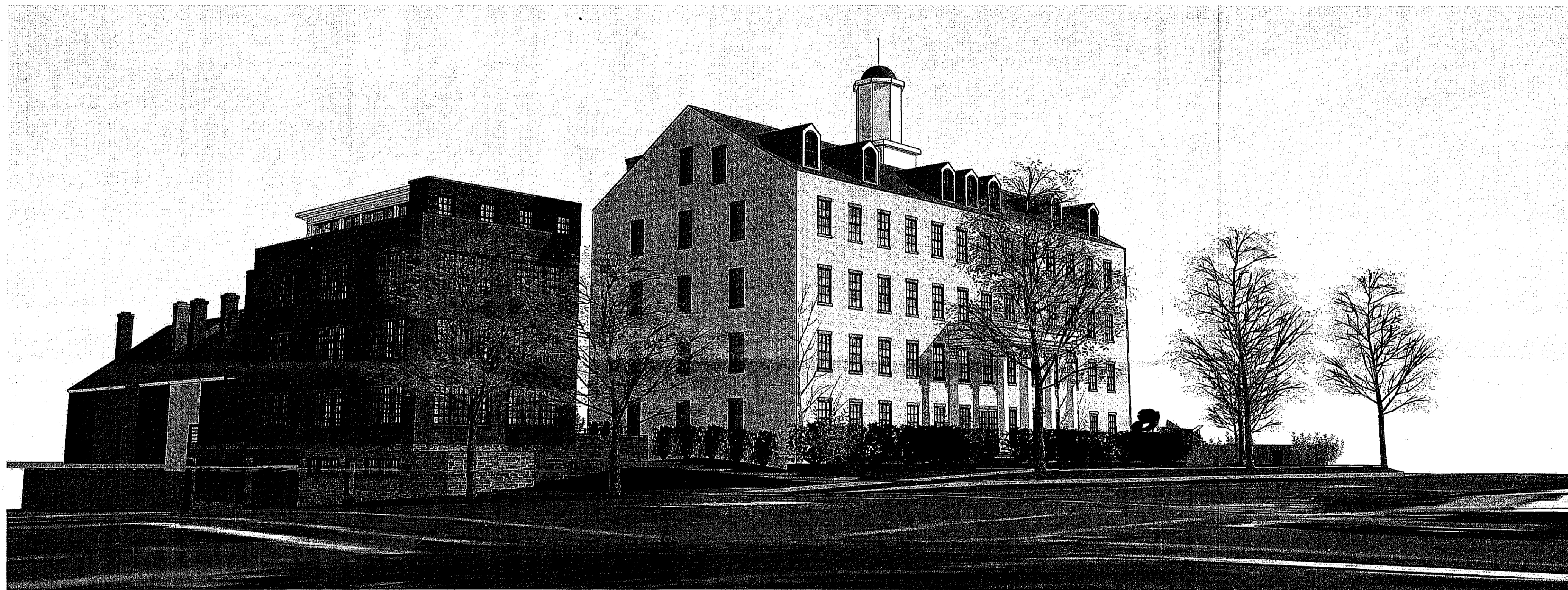
NORTH WASHINGTON COTTON FACTORY

515 NORTH WASHINGTON ST.
ALEXANDRIA, VA 22314

RESIDENTIAL RE-USE

11/14/2014

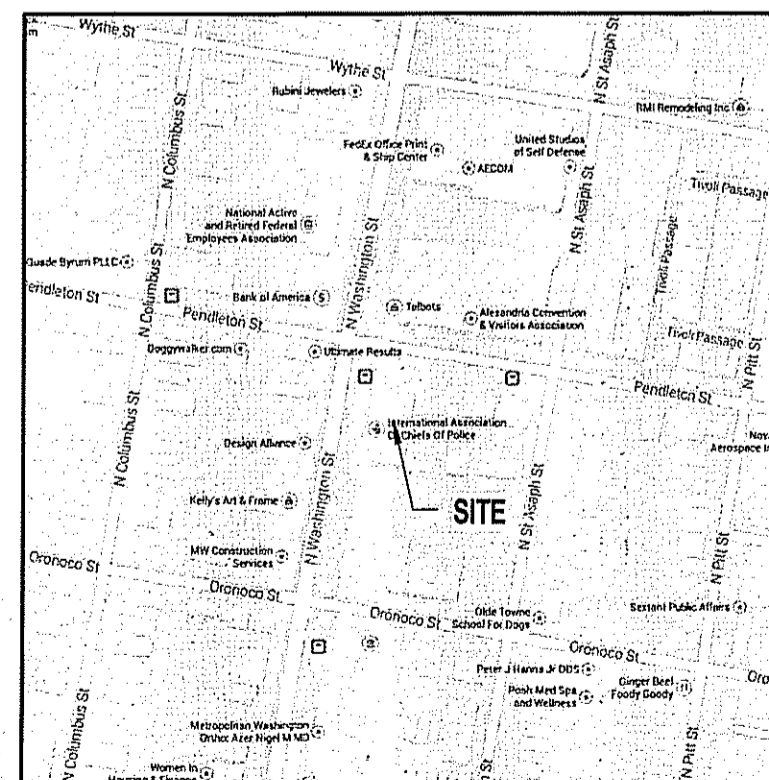
DSUP COMPLETENESS SUBMISSION



REQUESTS:

1. Master Plan Amendment to the Old Town North Small Area Plan (amending the maps that show the Land-use Designation and Zoning for Lot 502).
2. Map Amendment Rezoning to change the zoning classification of the parcels from OC with proffers and RM with proffers, respectively, to OC.
3. Development Special Use Permit with Site Plan (request to modify a side yard setback) to construct a multifamily residential building.
4. Parking Reduction Special Use Permit.
5. Transportation Management Plan (Tier 1)
6. Modification of secondary front yard requirement and side yard requirement for the annex building. (0' provided for annex building instead of 20' required)

LOCATION MAP



COMPLETENESS REVIEW - BRIEF NARRATIVE

11/14/2014

The property is currently improved by a five story structure built in 1847 as a commercial cotton factory. Over the years, the building has been adaptively reused as a brewery, sparkplug factory, an apartment building, and most recently commercial offices.

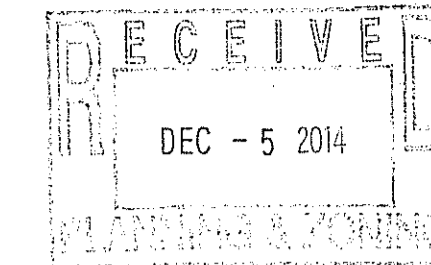
A substantial portion of the property outside of the building footprint is an on grade asphalt surface parking lot supporting the office use. The property consists of two legal lots of ground.

515 N. Washington Street (64.02.04.01) is the office building parcel and is zoned OC. The second lot is 513 N Washington Street (64.02.04.06) is used for parking and is zoned RM. The combined property is approximately 28,879 square feet of land.

The Proposal is to return the historic building to residential drawing upon the rich history of the site and construct an annex to the historic building also to be used for residential units. 34 residential units are proposed, 25 units in the historic Mill Building and 9 units in the Annex addition. In order to redevelop the site with this density, the property will need to be rezoned.

For this submission, the new annex building has been modified to reduce its overall footprint while enlarging the spaces in between it and the existing historic structure. Building connection points have been minimized or eliminated to protect the quality and character of the cotton factory. The annex building now tiers down to the neighboring buildings to the East as well as moving balconies further from the property line to protect both neighbors and users' privacy.

Additionally, the loft level of the annex building has been moved further back from the rest of the building facade on both the Pendleton and Washington St. sides to reduce the scale and visual impact of the element from street views of the site. An increased connection between the southern park space and adjoining properties has also been a focus. Balconies on the Eastern Roof of the existing historic structure have been moved inboard of the roofs eave line to minimize obtrusive additions to the building's facade.



ZONING TABULATIONS

1. ZONE OF THE SITE: EXISTING: OC (LOT 501) & RM (LOT 502) PROPOSED: OC
2. USE: EXISTING: OFFICE PROPOSED: RESIDENTIAL
- TOTAL LOT AREA: 28,879 SF OR 0.663 AC LOT 501: 22,847 SF OR 0.520 AC LOT 502: 6,032 SF OR 0.143 AC MINIMUM LOT AREA: 27,200 SF OR 0.62 AC

3. NUMBER OF DWELLING UNITS: 34

4. UNITS PER ACRE: ALLOWED: 54.45 PROPOSED: 51.52

BUILDING TYPE	NUMBER OF UNITS	GROSS FLOOR AREA	NET FLOOR AREA
EXISTING BUILDING (RESIDENTIAL)	25	32,763 SF	23,895 SF
NORTH ANNEX (RESIDENTIAL)	9	13,484 SF	10,575 SF
TOTAL	34	46,247 SF	34,470 SF

5. FLOOR AREA RATIO: PERMITTED: 1.25 PROPOSED: 1.19

7. OPEN SPACE: REQUIRED: 11,851 SF (40%) PROPOSED: 11,851 SF (40%) GROUND LEVEL TO 504 SF ABOVE GRADE (ROOF/DECK): 1,482 SF TOTAL: 11,851 SF

8. AVERAGE FINISHED GRADE: LOT 501: 46.28 LOT 502: N/A

9. HEIGHT: ALLOWED: 50' PROVIDED: 50' MAX

10. YARDS: REQUIRED FRONT: N/A PROVIDED FRONT: 0' SIDE: 10' OR 1:2 SETBACK RATIO SIDE: 0' REAR: N/A REAR: N/A

12. FRONTAGE: REQUIRED: 50' PROVIDED: 125'

13. TRIP GENERATION: EXISTING: 385 ADT PROPOSED: 226 ADT

14. PARKING TABULATION: PARKING REQUIRED: 50 SPACES PARKING PROVIDED: 34 SPACES

15. SITE PLAN AREA: 0.663 AC (28,879 SF) AREA IN TAX PARCELS 064.02.04.01 & 06: 0.663 AC (28,879 SF)

16. EXISTING IMPERVIOUS ON 0.663 ACRES (28,879 SF): 0.53 AC (23,000 SF) PROPOSED IMPERVIOUS ON 0.663 ACRES (28,879 SF): 0.50 AC (21,665 SF)

17. DISTURBED AREA: 40.75 AC (432,870 SF)

DRAWING INDEX - DSUP	
SHEET NO.	SHEET NAME
G 1.00	COVER SHEET
G 2.00	PROJECT DATA
C 1.0	GENERAL NOTES & LEGEND
C 1.1	GENERAL NOTES & LEGEND
C 1.2	CITY OF ALEXANDRIA CONSTRUCTION NOTES
C 2.0	EXISTING CONDITIONS
C 3.0	PROPOSED SITE PLAN
C 3.1	DIMENSION PLAN
C 4.0	UTILITY PLAN
C 5.0	GRADING PLAN
C 5.1	SIGHT DISTANCE PROFILE
C 6.0	FIRE SAFETY PLAN
C 7.0	PRE DEVELOPMENT DRAINAGE MAP
C 7.1	PRE DEVELOPMENT DRAINAGE MAP
C 7.2	ADEQUATE OUTFALL SECTIONS
C 7.3	APPROVED FINAL SITE PLAN (FOR REFERENCE ONLY)
C 8.0	BMP PLAN
C 8.1	STORMWATER VRRM SPREADSHEETS
C 8.2	STORMWATER VRRM SPREADSHEETS
C 8.3	SANITARY OUTFALL ANALYSIS
C 8.4	SANITARY OUTFALL ANALYSIS
C 10.0	CONTEXTUAL SITE PLAN
L 1	EXISTING CONDITIONS PLAN
L 2	LANDSCAPE PLAN
L 3	SCHEMATIC SITE PLAN - 20 SCALE
L 4	SITE SECTIONS
L 5	SCHEMATIC LIGHTING PLAN
A 1.01	ARCHITECTURAL CONCEPT PLANS
A 1.02	ARCHITECTURAL CONCEPT ELEVATIONS
A 1.03	ARCHITECTURAL CONCEPT - MATERIALS
A 1.04	ARCHITECTURAL CONCEPT - MATERIALS
A 1.05	ARCHITECTURAL CONCEPT - CONTEXT AERIALS
A 2.01	AREA CALCULATIONS - PLANS

SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
1	CONCEPT 3	06/20/2014
2	DSUP	10/03/2014
3	PER CITY COMMENTS	11/14/2014



APPROVED
SPECIAL USE PERMIT NO. #2014-0006
DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR: DATE:
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
DIRECTOR: DATE:
DATE RECORDED: INSTRUMENT NO. DEED BOOK NO. PAGE NO.

515 NORTH WASHINGTON
REUSE RESIDENTIAL

515 NORTH WASHINGTON ST,
ALEXANDRIA, VA 22314

CAS RIEGLER COMPANIES

COVER SHEET

DAVID KITCHENS, AIA 20130161
Principal-In-Charge Project No.
10/03/2014
Project Manager Date
BRANDON R. LENK
Project Architect
Staff Architect

G 1.00

PROJECT NUMBER: 20130161 PROJECT NAME: 515 NORTH WASHINGTON REUSE RESIDENTIAL
SHEET NUMBER: G 200 - PROJECT DATA
P:\2013\20130161\G 200 - PROJECT DATA\Drawings\G 200 - PROJECT DATA\G 200 - PROJECT DATA.dwg
11/11/2014 4:36:52 PM

AREA - OPEN SPACE				
Area	Name	Level	Comments	Number
LEVEL 1A				
60 SF	OPEN SPACE PRIVATE - 1A - 2	LEVEL 1A	UNDER 8'	A102
415 SF	OPEN SPACE PRIVATE - 1A - 1	LEVEL 1A	OVER 8'	A102 & A103
LEVEL 2A				
64 SF	OPEN SPACE PRIVATE - 2	LEVEL 2A	OVER 8'	206
32 SF	OPEN SPACE PRIVATE - 2A - 2	LEVEL 2A	UNDER 8'	A203
36 SF	OPEN SPACE PRIVATE - 2A - 1	LEVEL 2A	UNDER 8'	A202
LEVEL 3A				
64 SF	OPEN SPACE PRIVATE	LEVEL 3A	OVER 8'	306
36 SF	OPEN SPACE PRIVATE - 3A - 2	LEVEL 3A	UNDER 8'	A303
36 SF	OPEN SPACE PRIVATE - 3A - 1	LEVEL 3A	UNDER 8'	A302
LEVEL LOFTA & 4				
170 SF	OPEN SPACE PRIVATE - LA - 4	LEVEL LOFTA & 4	UNDER 8'/MECH	MECH
416 SF	OPEN SPACE PRIVATE - LA - 1	LEVEL LOFTA & 4	OVER 8'	A302
246 SF	OPEN SPACE PRIVATE - LA - 3	LEVEL LOFTA & 4	UNDER 8'	A301
64 SF	OPEN SPACE PRIVATE- 4 - 1	LEVEL LOFTA & 4	OVER 8'	405
376 SF	OPEN SPACE PRIVATE- LA - 2	LEVEL LOFTA & 4	OVER 8'	A302
LEVEL 5				
69 SF	OPEN SPACE PRIVATE - 5 - 1	LEVEL 5	UNDER 8'	401
71 SF	OPEN SPACE PRIVATE - 5 - 3	LEVEL 5	UNDER 8'	405
141 SF	OPEN SPACE PRIVATE - 5 - 4	LEVEL 5	OVER 8'	405
195 SF	OPEN SPACE PUBLIC - 5 - 2	LEVEL 5	UNDER 8'	BLDG AMENITY
LEVEL 5				
476 SF				
2,491 SF				

OCCUPANCY CLASSIFICATIONS - ANNEX							OCCUPANCY CLASSIFICATIONS - MILL						
PRIMARY OCCUPANCY: R-2							PRIMARY OCCUPANCY: R-2						
CLASSIFICATION (IBC - CHAPTER 3, LSC - CHAPTER 6)		FUNCTION (IBC TABLE 1004.1.1)		OCCUPANT LOAD FACTOR (IBC TABLE 1004.1.1; LSC TABLE 7.3.1.2)			CLASSIFICATION (IBC - CHAPTER 3, LSC - CHAPTER 6)		FUNCTION (IBC TABLE 1004.1.1)		OCCUPANT LOAD FACTOR (IBC TABLE 1004.1.1; LSC TABLE 7.3.1.2)		
RESIDENTIAL, R-2		RESIDENTIAL UNITS		200 SF PER PERSON - GROSS			RESIDENTIAL, R-2		RESIDENTIAL UNITS		200 SF PER PERSON - GROSS		
BUILDING DATA							BUILDING DATA						
CONSTRUCTION TYPE: TYPE III B							CONSTRUCTION TYPE: III B - EXITSING - MASONRY BEARING WALLS, CONC, STEEL						
SPRINKLERS: (IBC SECTION 903; LSC SECTION 9.7.1)		YES	NFPA 13 OR 13R		SUPERVISED YES/NO		SPRINKLERS: (IBC SECTION 903; LSC SECTION 9.7.1)		YES	NFPA 13		SUPERVISED YES/NO	
STANDPIPES: (IBC SECTION 905; LSC SECTION 9.7.4.2)		YES	CLASSES 1, 2 OR 3		WET		STANDPIPES: (IBC SECTION 905; LSC SECTION 9.7.4.2)		YES	CLASSES 1, 2 OR 3		WET	
FIRE DISTRICT: (REFERENCE LOCAL AUTHORITY)		N/A	-	-		-	FIRE DISTRICT: (REFERENCE LOCAL AUTHORITY)		N/A	-	-		-
HIGH RISE: (IBC SECTION 403)		NO	-	-		-	HIGH RISE: (IBC SECTION 403)		NO	-	-		-
MEZZANINE: (IBC SECTION 505)		YES	-	-		-	MEZZANINE: (IBC SECTION 505)		YES	-	-		-
FIRE ALARM: (IBC SECTION 907; LSC SECTION 9.6)		YES	AUTOMATIC		-		FIRE ALARM: (IBC SECTION 907; LSC SECTION 9.6)		YES	AUTOMATIC		-	
BUILDING AREAS							BUILDING AREAS						
ACTUAL AREA:			ALLOWABLE AREA PER FLOOR: A + B + C + D				ACTUAL AREA:			ALLOWABLE AREA PER FLOOR: A + B + C + D			
FLOOR NO.:	USE / OCC.:	ACTUAL AREA PROVIDED	(A) ALLOWABLE FLOOR AREA (TABLE 503)	(B) FRONTAGE INCREASE (IBC 506.2)	(C) SPRINKLER INCREASE NFPA 13 (IBC 506.3)	(D) INCREASED ALLOWABLE AREA / FLR	FLOOR NO.:	USE / OCC.:	ACTUAL AREA PROVIDED	(A) ALLOWABLE FLOOR AREA (TABLE 503)	(B) FRONTAGE INCREASE (75%) (IBC 506.2)	(C) SPRINKLER INCREASE (200%) (IBC 506.3)	(D) INCREASED ALLOWABLE AREA / FLR
LOFT LEVEL	R-2	1,426	16,000	NA	16,000	32,000	5TH FLOOR	R-2	3,601	16,000	12,000	16,000	44,000
3RD FLOOR	R-2	2,876	16,000	NA	16,000	32,000	4TH FLOOR	R-2	5,662	16,000	12,000	16,000	44,000
2ND FLOOR	R-2	2,876	16,000	NA	16,000	32,000	3RD FLOOR	R-2	5,658	16,000	12,000	16,000	44,000
1ST FLOOR	R-2	2,876	16,000	NA	16,000	32,000	2ND FLOOR	R-2	5,658	16,000	12,000	16,000	44,000
BASEMENT/PARKING	R-2	3,430	16,000	NA	16,000	32,000	1ST FLOOR	R-2	5,658	16,000	12,000	16,000	44,000
TOTAL AREA (GROSS):		13,484	TOTAL AREA (GROSS):		160,000		TOTAL AREA (GROSS):		26,237	TOTAL AREA (GROSS):		220,000	
BUILDING HEIGHTS							BUILDING HEIGHTS						
ACTUAL HEIGHTS: EXISTING			ALLOWABLE HEIGHTS:				ACTUAL HEIGHTS: EXISTING			ALLOWABLE HEIGHTS:			
	HEIGHT	ALLOWABLE HEIGHT (IBC TABLE 503)	INCREASE PER NFPA 13 SPRINKLERS (IBC SECTION 504.2)		TOTAL ALLOWABLE HEIGHT			HEIGHT	ALLOWABLE HEIGHT (IBC TABLE 503)	INCREASE PER SPRINKLERS (IBC SECTION 504.2)		TOTAL ALLOWABLE HEIGHT	
HEIGHT IN FEET:		49'-6 1/2"	55'-0"		+ 20' 75'-0"		HEIGHT IN FEET:		60'-7"	55'-0"		+ 20' 75'-0"	
NUMBER OF STORIES:		3 + LOFT	4 STORIES		+ 1 STORY 5 STORIES		NUMBER OF STORIES:		5	4 STORIES		+ 1 STORY 5 STORIES	
FIRE RESISTANCE RATINGS							FIRE RESISTANCE RATINGS						
BUILDING ELEMENTS: (IBC TABLE 601, LSC TABLE A.8.2.1.2)							BUILDING ELEMENTS: (IBC TABLE 601, LSC TABLE A.8.2.1.2)						
STRUCTURAL FRAME:		RATING (HRS)		REMARKS			STRUCTURAL FRAME:		RATING (HRS)		REMARKS		
		0		EXISTING					0		EXISTING		
BEARING WALLS: EXTERIOR: INTERIOR:		2 0		EXISTING			BEARING WALLS: EXTERIOR: INTERIOR:		2 0		EXISTING		
NON-BEARING WALLS: EXTERIOR: INTERIOR:		0 0		N/A			NON-BEARING WALLS: EXTERIOR: INTERIOR:		0 0		N/A		
FLOOR CONSTRUCTION: (INCLUDING SUPPORTING BEAMS AND JOISTS)		0		EXISTING			FLOOR CONSTRUCTION: (INCLUDING SUPPORTING BEAMS AND JOISTS)		0		EXISTING		
ROOF CONSTRUCTION: (INCLUDING SUPPORTING BEAMS AND JOISTS)		0		EXISTING			ROOF CONSTRUCTION: (INCLUDING SUPPORTING BEAMS AND JOISTS)		0		EXISTING		
FIRE SEPARATIONS:							FIRE SEPARATIONS:						
		RATING (HRS)		REMARKS					RATING (HRS)		REMARKS		
VERTICAL SHAFTS: (IBC TABLE 707.4)		2		EXISTING			VERTICAL SHAFTS: (IBC TABLE 707.4)		2		EXISTING		
WALLS & PENETRATIONS:							WALLS & PENETRATIONS:						
FIRE WALLS: (IBC TABLE 705.4)		N/A		N/A			FIRE WALLS: (IBC TABLE 705.4)		N/A		N/A		
TENANT SEPARATION: (IBC SECTION 708)		1					TENANT SEPARATION: (IBC SECTION 708)		1				
EXITS:							EXITS:						
HORIZONTAL EXIT: (IBC SECTION 1022)		N/A		N/A			HORIZONTAL EXIT: (IBC SECTION 1022)		N/A		N/A		
EXIT ACCESS CORRIDORS: (IBC SECTION 1017)		1					EXIT ACCESS CORRIDORS: (IBC SECTION 1017)		1				
EXIT PASSAGEWAY: (IBC SECTION 1021)		1					EXIT PASSAGEWAY: (IBC SECTION 1021)		1				
INCIDENTAL USE: (IBC TABLE 508.2)							INCIDENTAL USE: (IBC TABLE 508.2)						
		RATING (HRS)		REMARKS					RATING (HRS)		REMARKS		
STORAGE: (IBC SECTION 508.2)		1		EXISTING			STORAGE: (IBC SECTION 508.2)		1		EXISTING		
ELEVATOR MACHINE ROOM: (IBC SECTION 3006)		1		EXISTING			ELEVATOR MACHINE ROOM: (IBC SECTION 3006)		1		EXISTING		
ELECTRICAL:		1		EXISTING			ELECTRICAL:		1		EXISTING		
MECHANICAL: (IBC SECTION 508.2)		1		EXISTING			MECHANICAL: (IBC SECTION 508.2)		1		EXISTING		
MIXED OCCUPANCY SEPARATION: (IBC TABLE 508.3.3)							MIXED OCCUPANCY SEPARATION: (IBC TABLE 508.3.3)						
	A-2	B	R-2	S-2	REMARKS			A-2	B	R-2	S-2	REMARKS	
A-2	-	-	-	-			A-2	-	-	-	-		
B	-	-	-	-			B	-	-	-	-		
R-2	-	-	1	-	DEMISING WALLS BETWEEN UNITS		R-2	-	-	1	-	DEMISING WALLS BETWEEN UNITS	
S-2	-	-	-	-			S-2	-	-	-	-		



COOPER CARRY
THE CENTER FOR CONNECTIVE ARCHITECTURE

ATLANTA NEW YORK WASHINGTON

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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	DSUP	10/03/2014
2	PER CITY COMMENTS	11/14/2014



APPROVED	
SPECIAL USE PERMIT NO.	#2014-0006
DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT	
DIRECTOR:	DATE:
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
DIRECTOR:	DATE:
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO. PAGE NO.

515 NORTH WASHINGTON
REUSE RESIDENTIAL

515 NORTH WASHINGTON ST,
ALEXANDRIA, VA 22314

CAS RIEGLER COMPANIES

PROJECT DATA

DAVID KITCHENS, AIA	20130161
Principal in Charge	Project No.
DAVID KITCHENS, AIA	10/03/2014
Project Manager	Date
BRANDON R. LENK, AIA	
Project Architect	
Author	
Staff Architect	

G 2.00

Drawing No.

NOT ISSUED FOR CONSTRUCTION

GENERAL NOTES:

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:

- SURVEY - "515 NORTH WASHINGTON STREET" BY BOHLER ENGINEERING, 10/08/2013; REV. 2: ADDITIONAL ROAD TOPOGRAPHY 09/24/2014.
- ARCHITECTURAL PLAN BY COOPER CARRY, 05/19/2014.
- LANDSCAPE ARCHITECTURE PLAN BY LILA FENDRICK LANDSCAPE ARCHITECTURE AND GARDEN DESIGN, 09/24/2014.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.

2. ALL ACCESSIBLE (AK/A ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.

3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

4. THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

5. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.

6. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

7. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY UPON RECEIVING WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

8. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

9. CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.

10. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.

11. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE REMOVED IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.

12. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.

13. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SUCH REMAINING UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.

14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME, TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION MUST BE RESTORED TO SUCH CONDITION AS TO BE EQUIVALENT TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

15. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

16. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEAN, METHOD, MEANS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DESCRIBED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

17. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.

18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (GGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

19. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREUNDER. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

20. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.

21. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN,

WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ANY COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FROM AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.

22. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.

23. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.

24. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.

25. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLANS) AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

26. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.

27. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.

28. CONTRACTOR AND OWNER MUST INSTALL, ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

29. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR PROJECTS WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE. THE SUBMITTING ENGINEER MUST COMPLETE SWPPP PER THE REQUIREMENTS OF VDEQ IN ACCORDANCE WITH ENVIRONMENTAL MANAGEMENT ORDINANCE.

30. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

GENERAL DEMOLITION NOTES:

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:

BOHLER ENGINEERING
515 NORTH WASHINGTON STREET
LOTS 501 & 503
D.B. 981 PG. 774
CITY OF ALEXANDRIA
10/08/2013
JOB#: SS132117

2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.

3. BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.

4. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

5. CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMANCE OF THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REGULATIONS, STATUTES, ORDINANCES AND CODES.
6. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:

- A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK AND DEMOLITION WORK.

ADA INSTRUCTIONS TO CONTRACTOR

CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAP) ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE CURRENT ADA STANDARDS AND REGULATIONS BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR UPDATES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.

- CURB RAMPS - SLOPE MUST NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET.

- LANDINGS - MUST BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.

- PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 36-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), ADA RAMP MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 2.5 FEET, MUST BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 IN ANY DIRECTION (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.

- DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2003 AND OTHER REFERENCED INCORPORATED BY CODE.)

- WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA REQUIREMENTS.

- THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-COMFORMANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND REPLACE NON-COMFORMING CONCRETE.

IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

GENERAL GRADING & UTILITY NOTES

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST BE IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

2. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.

4. THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.

5. THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.

6. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.

7. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH JURISDICTIONAL REQUIREMENTS WITH JURISDICTION AND CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY, IE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.

8. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.

9. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.

10. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS, AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION OF THE CONSTRUCTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/ENGINEER, OR OWNER/ENGINEER'S REPRESENTATIVE, IT IS TO BE REMOVED AND FILL MUST BE APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK COMPLY WITH THE SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.

11. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.

12. THE CONTRACTOR MUST COMPLY TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.

13. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUILT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.

14. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

15. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM INFORMATION IN THE UTILITY PLAN. THE RECORD MUST BE KEPT ON A CLEAN COPY OF THE SITE PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.

16. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP ENDS AS APPROPRIATE, MARK LOCATIONS WITH A 2X4, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE SITE PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.

17. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE THE REQUIREMENTS LIMIT GRADES), TO PREVENT PONDS. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING TO THE ENGINEER, ANY DISCREPANCIES TEXT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEYS' FEES AND THE LIKE WHICH RESULT FROM SAME.

18. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.

19. REFER TO SITE PLAN FOR ADDITIONAL NOTES.

20. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.

21. CONTRACTOR MUST REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK ANY WORK.

22. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS NOT IDENTIFIED HEREIN ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.

23. STORM DRAINAGE PIPE:

UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE IN THE PUBLIC RIGHT-OF-WAY MUST BE REINFORCED CONCRETE PIPE (RCP) 0.75 CLASS IV, MINIMUM WALL THICKNESS 5 INCHES. PRIVATE RCP PIPE MAY BE 4 INCH, WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO ASHTO M294 AND TYPE 5 (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT TIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.

24. SANITARY SEWER PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 26 EXCEPT WHERE INDICATED OTHERWISE. SANITARY LATERAL MUST BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS INDICATED, IN WRITING, OTHERWISE.

25. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.

26. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.

27. SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL, REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL.

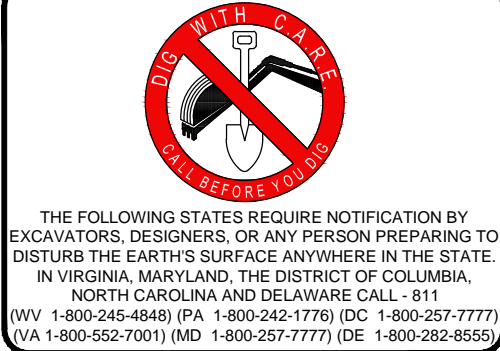
SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME.

- WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR

STANDARD DRAWING LEGEND		
FOR ENTIRE PLAN SET (NOT TO SCALE)		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
	ONSITE PROPERTY LINE / R.O.W. LINE	
	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	
	EASEMENT LINE	
	SETBACK LINE	
	CONCRETE CURB & GUTTER	
	UTILITY POLE WITH LIGHT	
	POLE LIGHT	
	TRAFFIC LIGHT	
	UTILITY POLE	
	TYPICAL LIGHT	
	ACORN LIGHT	
	TYPICAL SIGN	
	PARKING COUNTS	
	CONTOUR LINE	
	SPOT ELEVATIONS	
	SANITARY LABEL	
	STORM LABEL	
	SANITARY SEWER LATERAL	
	UNDERGROUND WATER LINE	
	UNDERGROUND ELECTRIC LINE	
	UNDERGROUND GAS LINE	
	OVERHEAD WIRE	
	UNDERGROUND TELEPHONE LINE	
	UNDERGROUND CABLE LINE	
	STORM SEWER	
	SANITARY SEWER MAIN	
	HYDRANT	
	SANITARY MANHOLE	
	STORM MANHOLE	
	WATER METER	
	WATER VALVE	
	GAS VALVE	
	GAS METER	
	TYPICAL END SECTION	
	HEADWALL OR ENDWALL	
	YARD INLET	
	CURB INLET	
	CLEAN OUT	
	ELECTRIC MANHOLE	
	TELEPHONE MANHOLE	
	ELECTRIC BOX	
	ELECTRIC PEDESTAL	
	MONITORING WELL	
	TEST PIT	
	BENCHMARK	
	BORING	

STANDARD ABBREVIATIONS			
FOR ENTIRE PLAN SET			
AC	ACRES	POG	POINT OF GRADE
ADA	AMERICANS WITH DISABILITY ACT	PROP	PROPOSED
ARCH	ARCHITECTURAL	PT	POINT OF TANGENCY
BC	BOTTOM OF CURB	PTCR	POINT OF TANGENCY, CURB RETURN
BF	BASEMENT FLOOR	PVC	POLYVINYL CHLORIDE PIPE
BK	BLOCK	PVI	POINT OF VERTICAL INTERSECTION
BL	BASELINE	PVT	POINT OF VERTICAL TANGENCY
BLDG	BUILDING	R	RADIUS
BM	BUILDING BENCHMARK	RCP	REINFORCED CONCRETE PIPE
BRL	BUILDING RESTRICTION LINE	RET WALL	RETAINING WALL
CF	CUBIC FEET	R/W	RIGHT OF WAY
CL	CENTERLINE	S	SLOPE
CMP	CORRUGATED METAL PIPE	SAN	SANITARY SEWER
CONN	CONNECTION	SF	SQUARE FEET
CONC	CONCRETE	STA	STATION
CPP	CORRUGATED PLASTIC PIPE	STM	STORM
CY	CUBIC YARDS	S/W	SIDEWALK
DEC	DECORATIVE	TBR	TO BE REMOVED
DEP	DEPRESSED	TBRL	TO BE RELOCATED
DIP	DUCTILE IRON PIPE	TC	TOP OF CURB
DOM	DOMESTIC	TELE	TELEPHONE
ELEC	ELECTRIC	TPF	TREE PROTECTION FENCE
ELEV	ELEVATION	TW	TOP OF WALL
EP	EDGE OF PAVEMENT	TYP	TYPICAL
ES	EDGE OF SHOULDER	UG	UNDERGROUND
EW	END WALL	UP	UTILITY POLE
EX	EXISTING	W	WIDE
FES	FLARED END SECTION	W/L	WATER LINE
FF	FINISHED FLOOR	W/M	WATER METER
FH	FIRE HYDRANT	±	PLUS OR MINUS
FG	FINISHED GRADE	°	DEGREE
G	GRADE	Ø	DIAMETER
GF	GARAGE FLOOR (AT DOOR)	#	NUMBER
GH	GRADE HIGHER SIDE OF WALL		
GL	GRADE LOWER SIDE OF WALL		
GRT	GRATE		
GV	GATE VALVE		
HDPE	HIGH DENSITY POLYETHYLENE PIPE		
HP	HIGH POINT		
HOR	HORIZONTAL		
HW	HEADWALL		
INT	INTERSECTION		
INV	INVERT		
LF	LINEAR FOOT		
LOC	LIMITS OF CLEARING		
LOD	LIMITS OF DISTURBANCE		
LOS	LINE OF SIGHT		
LP	LOW POINT		
L/S	LANDSCAPE		
MAX	MAXIMUM		
MIN	MINIMUM		
MH	MANHOLE		
MJ	MECHANICAL JOINT		
OC	ON CENTER		
PA	POINT OF ANALYSIS		
PC	POINT CURVATURE		
PCCR	POINT OF COMPOUND CURVATURE, CURB RETURN		
PI	POINT OF INTERSECTION		

PROPOSED EASEMENT LEGEND		
	_____	SIGHT DISTANCE
	_____	STORM DRAIN
	_____	SANITARY SEWER
	_____	WATER
	_____	PUBLIC ACCESS
	_____	COMMON SHARED
	_____	INGRESS-EGRESS
	_____	PUBLIC UTILITY
	_____	VARIABLE WIDTH S

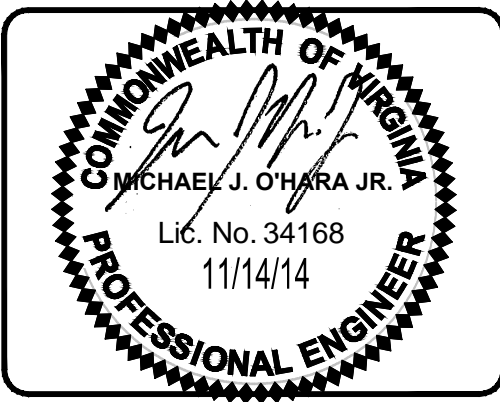
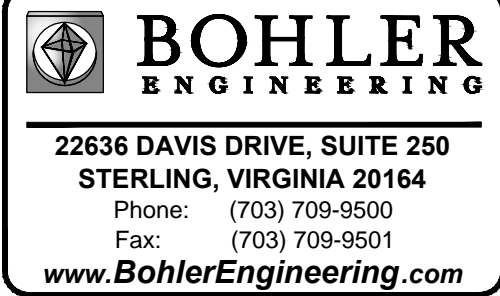
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NOT APPROVED FOR
CONSTRUCTION

PROJECT No.:	S132117
DRAWN BY:	IS
CHECKED BY:	MT
DATE:	10/3/14
SCALE:	AS NOTED
CAD I.D.:	SD1

PROJECT: DEVELOPMENT
SPECIAL USE
PERMIT (DSUP)
FOR
CAS REIGLER

LOCATION OF SITE
515 NORTH
WASHINGTON STREET
CITY OF ALEXANDRIA, VA
LOTS 501 & 503
D.B. 981 PG. 774



SHEET TITLE:	
GENERAL NOTES & LEGEND	
SHEET NUMBER:	
C-1.1 OF 33	

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

CONSTRUCTION NOTES

1. THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH MAY OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUANCE OF SERVICE.
2. THE CONTRACTOR SHALL DIG TEST PITS AS REQUIRED FOLLOWING NOTIFICATION AND MARKING OF ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES TEST HOLES TO BE PERFORMED AT LEAST 30 DAYS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE OWNER AND ENGINEER. REDSIGN AND APPROVAL BY REVIEWING AGENCIES SHALL BE OBTAINED, IF REQUIRED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
4. THE CONTRACTOR SHALL VISIT THE SITE AND SHALL VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
5. THE CONTRACTOR SHALL CLEAR THE SITE OF ALL TREES, BUILDINGS, FOUNDATIONS, ETC., WITHIN THE LIMITS OF CONSTRUCTION UNLESS OTHERWISE SPECIFIED, AND SHALL BE RESPONSIBLE FOR ENSURING THAT EXISTING UTILITIES ARE DISCONNECTED.
6. THE DEVELOPER SHALL PROVIDE OVER-LOT GRADING TO PROVIDE POSITIVE DRAINAGE AND PRECLUDE PONDING OF WATER.

7. ALL AREAS, ON OR OFF-SITE, WHICH ARE DISTURBED BY THIS CONSTRUCTION AND WHICH ARE NOT PAVED OR BUILT UPON, SHALL BE ADEQUATELY STABILIZED TO CONTROL EROSION AND SEDIMENTATION. THE MINIMUM ACCEPTABLE STABILIZATION SHALL CONSIST OF PERMANENT GRASS, SEED MIXTURE TO BE AS RECOMMENDED BY THE CITY AGENT. ALL SLOPES 3:1 AND GREATER SHALL BE SODDED AND PEGGED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE CITY OF ALEXANDRIA.
8. EXISTING SEPTIC FIELDS, IF APPLICABLE, SHALL BE ABANDONED IN ACCORDANCE WITH VIRGINIA HEALTH DEPARTMENT STANDARDS AND SPECIFICATIONS.

9. ALL ABOVE GROUND UTILITIES SERVING THE SITE SHALL BE RELOCATED AS REQUIRED BY THE OWNING UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL ARRANGEMENTS AND COORDINATING ALL WORK REQUIRED FOR THE NECESSARY RELOCATIONS.
10. PRIOR TO BEGINNING OF CONSTRUCTION, CONTRACTOR SHALL VERIFY FROM THE ARCHITECTURAL DRAWINGS ALL DIMENSIONS, DETAILS, AND TREATMENTS FOR THE PROPOSED BUILDINGS, WALKWAYS, AND OTHER PROPOSED CONSTRUCTION WHERE INDICATED ON THE PLANS.
11. THE CONTRACTOR IS TO VERIFY INVERT, SIZE, AND LOCAT-ON OF BUILDING UTILITY CONNECTIONS WITH THE MECHANICAL PLANS PRIOR TO PLACEMENT OF UNDERGROUND UTILITIES.

12. EXISTING BUILDINGS, FENCES AND OTHER EXISTING PHYSICAL FEATURES ARE TO BE REMOVED AS REQUIRED BY THE CONSTRUCTION.
13. EXISTING CONSTRUCTION SHALL BE REMOVED TO NEAREST JOINT. NEW CONSTRUCTION SHALL BE PROVIDED AS SHOWN AND ANY DAMAGED AREA SHALL BE REPAIRED TO MATCH CONDITIONS EXISTING PRIOR TO CONSTRUCTION OR TO THE SATISFACTION OF DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES.

14. ALL PRIVATE BUILDING CONNECTIONS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
15. TOPS OF EXISTING STRUCTURES WHICH REMAIN IN USE ARE TO BE ADJUSTED IN ACCORDANCE WITH THE GRADING PLAN, ALL PROPOSED STRUCTURE TOP ELEVATIONS ARE TO BE VERIFIED BY THE CONTRACTOR WITH THE SITE GRADING PLANS. IN CASE OF CONFLICT, THE GRADING PLAN SHALL SUPERSEDE ANY FIELD ELEVATIONS. ADJUSTMENTS TO MEET FINISHED GRADE ELEVATIONS, IF REQUIRED, SHALL BE MADE IN THE FIELD WITH THE APPROVAL OF THE SITE INSPECTOR OF THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES.

16. THE DESIGN, CONSTRUCTION, FIELD PRACTICES, AND METHODS SHALL CONFORM TO THE REQUIREMENTS SET FORTH BY THE CITY OF ALEXANDRIA ZONING ORDINANCE AND DESIGN AND CONSTRUCTION STANDARDS MANUAL. FAILURE TO COMPLY WITH THE CODE, APPLICABLE MANUALS, AND PROVISIONS OF THE CONSTRUCTION AND ESCROW AGREEMENTS OR THE PERMITS SHALL BE DEEMED A VIOLATION.

17. THE APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE OWNER/DEVELOPER OR HIS AGENT OF ANY LEGAL RESPONSIBILITIES WHICH MAY BE REQUIRED BY THE CODE OF VIRGINIA OR ANY ORDINANCE ENACTED BY THE CITY OF ALEXANDRIA.

18. CONSTRUCTION STAKEOUT SHALL BE UNDER THE DIRECT SUPERVISION OF A LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA.
19. THE CONTRACTOR IS REFERRED TO STRUCTURAL, GEOTECHNICAL, MECHANICAL, AND ARCHITECTURAL PLANS FOR FOUNDATION TREATMENT INCLUDING, BUT NOT LIMITED TO, SHEETING AND SHORING FOR BUILDING EXCAVATION, WATERPROOFING FOR FILL AGAINST BUILDINGS, LOCATION OF MECHANICAL EQUIPMENT, AND CONNECTIONS AT THE FACES OF BUILDINGS.

20. SMOOTH GRADE SHALL BE MAINTAINED FROM THE CENTERLINE OF THE EXISTING ROAD TO THE PROPOSED ENTRANCE AND/OR CURB & GUTTER TO PRECLUDE THE FORMING OF FALSE GUTTER AND/OR PONDING OF WATER ON THE ROADWAY.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING A SMOOTH TRANSITION TO EXISTING CURBS AND SIDEWALKS, IF APPLICABLE.

22. THE CALIFORNIA BEARING RATIO (CB) VALUES OF IN-SITU MATERIALS SHALL BE DETERMINED BY FIELD AND/OR LABORATORY TESTS FOR ACTUAL DETERMINATION OF REQUIRED THICKNESS OF SURFACE, BASE, SUB-BASE, AND SUB GRADE MATERIALS. THE PAVEMENT SECTION SHALL BE DESIGNED BY A GEOTECHNICAL / LICENSED PROFESSIONAL ENGINEER TO THE SATISFACTION OF DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES FOR ALL PAVEMENTS INCLUDING EMERGENCY VEHICLE EASEMENT (EVE) TO SUPPORT H+20 LOADING. IN THE CASE OF PAVEMENT PATCHES, PAVEMENT SECTION MUST MEET OR EXCEED EXISTING SECTION.

23. THE THICKNESS OF SUB-BASE, BASE, AND WEARING COURSE SHALL BE DESIGNED USING "CALIFORNIA METHOD" AS SET FORTH ON PAGE 3-76 OF THE SECOND EDITION OF A BOOK ENTITLED, "DATA BOOK FOR CIVIL ENGINEERS, VOLUME ONE, DESIGN" WRITTEN BY ELWYN E. SEELEY, AN ALTERNATE PAVEMENT SECTION DESIGNED TO THE SATISFACTION OF DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES FOR ALL PAVEMENTS INCLUDING EMERGENCY VEHICLE EASEMENT (EVE) TO SUPPORT H+20 LOADING BASED ON CBR AND VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) METHOD (VASWANI METHOD) AND STANDARD MATERIAL SPECIFICATIONS SHALL BE ACCEPTABLE.

24. EMERGENCY VEHICLE EASEMENTS (EVE) AND AMERICAN WITH DISABILITY (ADA) ACCESSIBLE PARKING SPACES MUST BE DELINEATED WITH PAVEMENT MARKINGS PER THE CITY OF ALEXANDRIA STANDARD SIGNAGE AND AMERICAN WITH DISABILITIES (ADA) REQUIREMENTS.
25. ALL STRIPING SHALL MEET THE REQUIREMENTS OF MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS (LATEST EDITION) AND SHALL BE THERMOPLASTIC UNLESS OTHERWISE SPECIFIED.

26. ALL EARTHWORK OPERATIONS ARE TO BE PERFORMED UNDER THE FULL TIME, ON-SITE SUPERVISION OF A REGISTERED GEOTECHNICAL ENGINEER WITH GEOTECHNICAL TESTING IN ACCORDANCE WITH CONSTRUCTION SPECIFICATIONS AND GEOTECHNICAL REPORT REQUIREMENTS.
27. THE CONTRACTORS SHALL NOT CAUSE OR PERMIT VEHICLES TO IDLE FOR MORE THAN 10 MINUTES WHEN PARKED.

28. UNLESS OTHERWISE APPROVED THE CONTRACTOR SHALL PROVIDE THERMOPLASTIC LADDER STYLE / STANDARD PEDESTRIAN CROSS WALKS AT ALL CROSSINGS AT THE PROPOSED DEVELOPMENT, WHICH MUST BE DESIGNED TO THE SATISFACTION OF THE DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES. THE DESIGN OF LADDER STYLE OR STANDARD PEDESTRIAN CROSS WALK SHALL BE EVALUATED ON A CASE BY CASE BASIS AND SHALL COMPLY WITH THE REQUIREMENTS OF POLICY MANUAL SECTION 30.18, PEDESTRIAN CROSSWALKS, JULY 13,2006. A COPY OF THE POLICY MANUAL CAN BE OBTAINED FROM YON LAMBERT, BICYCLE AND PEDESTRIAN COORDINATOR / TRANSPORTATION PLANNER, TELEPHONE (703) 746-4081.

CITY STANDARD GENERAL NOTES

1. THE SUBJECT SITE IS LOCATED ON CITY OF ALEXANDRIA ASSESSMENT MAP NO. 064-02-04, PARCELS 1 AND 6 AND IS ZONED OC AND RM RESPECTIVELY.
2. OWNER: CAS REIGLER.
3. DEED BOOK 981 PAGE 774
4. ADDRESS = 513 / 515 NORTH WASHINGTON STREET
5. AREA TABULATION = SEE NOTE 2 ZONING TABS

6. THE NATURAL SOILS AT THE SITE CONSIST OF KEYPOINT SILT LOAM AND URBAN FILL PERTHE
7. THE SITE IS LOCATED IN THE POTOMAC WATERSHED.

8. CONSTRUCTION PERMITS ARE REQUIRED FOR THIS PROJECT. THE APPROVED SITE PLAN MUST BE ATTACHED TO THE PERMIT APPLICATION THAT FULLY DETAILS THE CONSTRUCTION AS WELL AS LAYOUTS AND SCHEMATICS OF THE MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
9. ALL PUBLIC AND PRIVATE EASEMENTS OR ALL KNOWN PUBLIC AND PRIVATE EASEMENTS, INCLUDING ALL UTILITY, EGRESS, AND CONSERVATION RESTRICTIONS ARE SHOWN. THE APPLICANT SHALL NOT CONSTRUCT ANY PERMANENT STRUCTURES OVER ANY EXISTING OR PROPOSED PUBLIC AND/OR PRIVATE EASEMENTS UNLESS OTHERWISE APPROVED BY THE PLANNING COMMISSION AND CITY OF ALEXANDRIA COUNCIL.

10. PLAT SUBJECT TO RESTRICTIONS OF RECORD.
11. BUILDING HEIGHT SHALL NOT EXCEED THE ALLOWABLE LIMIT BY CITY OF ALEXANDRIA ZONING ORDINANCE OR AS APPROVED BY THE PLANNING COMMISSION AND CITY OF ALEXANDRIA COUNCIL.

12. ALL NEW CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA AND TO THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC).
13. FLOOR AREA CALCULATIONS WITH ALLOWABLE LIMITS, AS APPROVED BY PLANNING COMMISSION AND CITY COUNCIL, ARE DEMONSTRATED HEREIN.

14. PRIOR TO COMMENCING NEW WORK, THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING ADJACENT AREAS. IF CITY'S EXISTING PUBLIC INFRASTRUCTURE, INCLUDING BUT NOT LIMITED, TO STREETS, ALLEYS, DRIVEWAY APRONS, SANITARY AND STORM SEWERS, STREET LIGHTING, TRAFFIC AND PEDESTRIAN SIGNALS, SIDEWALKS, CURBS AND GUTTER, AND STORM WATER DROP INLET STRUCTURES ARE DAMAGED BY THE CONTRACTOR OR BY ACTIVITIES RELATING TO THE SITE CONSTRUCTION THEN THE APPLICANT SHALL REPAIR THE SAME TO THE SATISFACTION OF DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES (T&ES). A PRE-CONSTRUCTION WALKSURVEY OF THE SITE SHALL OCCUR WITH CONSTRUCTION AND INSPECTION STAFF TO DOCUMENT EXISTING CONDITIONS PRIOR TO ANY LAND DISTURBING ACTIVITY.

15. ALL IMPROVEMENTS TO THE CITY'S RIGHT-OF-WAY SUCH AS CURB, GUTTER, SIDEWALK, AND DRIVEWAY APRONS, ETC., ARE DESIGNED PER THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS.
16. ALL STREET CUT AND PATCH WORK LOCATED IN PUBLIC RIGHT-OF-WAYS, REQUIRED FOR ANY UTILITY INSTALLATION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS AND TO THE SATISFACTION OF THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES (T&ES).

17. CONTRACTOR MUST ENSURE THAT THERE IS NO DISTURBANCE ON ADJACENT PROPERTIES WITHOUT RECORDED EASEMENT OR NOTARIZED LETTER OF PERMISSION FROM THE ADJACENT PROPERTY OWNERS.
18. ALL REQUIRED STATE AND FEDERAL PERMITS, WHICH COULD INCLUDE PERMITS FROM THE VIRGINIA DEPARTMENT OF CONSERVATION AND RECREATION (VDCR), VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY (VDEQ), VIRGINIA DEPARTMENT OF HISTORIC RESOURCES (VDHR), UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (USEPA), ARMY CORPS OF ENGINEERS AND VIRGINIA MARINE RESOURCES, MUST BE IN PLACE FOR ALL PROJECT CONSTRUCTION AND MITIGATION WORK PRIOR TO RELEASE OF THE FINAL SITE PLAN. THIS INCLUDES THE STATE REQUIREMENT FOR A PLACED AND ARE APPROVED BY THE EROSION AND SEDIMENT CONTROL INSPECTOR OF THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES.

19. PERMITS FROM THE CITY OF ALEXANDRIA OFFICE OF ENVIRONMENTAL QUALITY (OEQ), TRANSPORTATION AND ENVIRONMENTAL SERVICES (T&ES), AND BUILDING AND FIRE CODE ADMINISTRATION SHALL BE OBTAINED BY THE APPLICANT, AS REQUIRED AND DOCUMENTED HEREIN. THE CONTRACTOR CAN CONTACT ALEXANDRIA FIRE AND CODE ADMINISTRATION DEPARTMENT AT (703) 838-4644 OR (703) 746-4200 FOR ANY QUESTIONS OR ADDITIONAL INFORMATION.
20. ANY WORK IN THE PUBLIC RIGHT OF WAY SHALL REQUIRE A SEPARATE PERMIT FROM THE DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES. THE CONTRACTOR CAN CONTACT THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES AT (703) 746-4035 FOR ANY QUESTIONS OR ADDITIONAL INFORMATION.

21. THE PROPERTY ADDRESS MUST BE CLEARLY MARKED IN THE FRONT AND BACK OF THE PROPOSED DEVELOPMENT SITE DURING CONSTRUCTION FOR EMERGENCY RESPONSE PURPOSE IN CONTRASTING COLORS FOR EASY IDENTIFICATION.
22. THE APPLICANT SHALL CONTACT THE CRIME PREVENTION UNIT OF THE ALEXANDRIA POLICE DEPARTMENT AT 703-838-4250 REGARDING SECURITY HARDWARE FOR NEW CONSTRUCTION. THIS SHALL BE COMPLETED PRIOR TO ISSUANCE OF BUILDING PERMIT.

23. ROOF DRAINAGE SYSTEM, SUMP PUMP DISCHARGE, AND FOUNDATION DRAIN SYSTEM MUST BE INSTALLED SO AS NEITHER TO ADVERSELY IMPACT UPON, NOR CAUSE EROSION DAMAGE TO ADJACENT PROPERTIES OR THE PUBLIC RIGHT OF WAY. 24. THE CONTRACTOR MUST ENSURE THAT POSITIVE DRAINAGE OCCURS FROM THE SITE. THE FINAL SITE PLAN SHOWS LOCATION, PROPOSED GRADINGS, AND DESIGN OF ALL THE WALLS.
25. IN THE EVENT, THE PROPOSED ROOF DRAINAGE AND/OR SUMP PUMP DISCHARGE, AND FOUNDATION DRAIN SYSTEMS AND/OR GRADING ADVERSELY IMPACTS AND/OR CREATES A NUISANCE ON PUBLIC RIGHT OF WAY OR PRIVATE PROPERTIES THEN THE APPLICANT SHALL BE RESPONSIBLE TO PROVIDE ADDITIONAL IMPROVEMENTS TO THE ROOF DRAINAGE AND/OR SUMP PUMP DISCHARGE AND FOUNDATION DRAIN SYSTEMS AND/OR GRADING TO THE SATISFACTION OF DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES.

26. PER THE REQUIREMENTS OF SECTION 8-1-12 OF THE CITY CHARTER AND CODE: WHEN THE BUILDING FOOTING HAS BEEN PLACED AND THE WALLS HAVE BEEN RAISED TO THE FIRST JOINT BEARING OR STORY HEIGHT ABOVE GRADE, A PLOT PLAN SHOWING THE EXACT LOCATION OF THE WALLS SHALL BE PREPARED BY A LICENSED, CERTIFIED PUBLIC LAND SURVEYOR OR PROFESSIONAL ENGINEER AND FILED WITH THE BUILDING OFFICIAL FOR APPROVAL BEFORE PROCEEDING FURTHER WITH THE CONSTRUCTION.
27. A SEPARATE DESIGN IS REQUIRED FOR ALL WALLS 24" AND OVER IN HEIGHT FROM THE GRADE AND SUBJECT TO SEPARATE PERMITS TO BE OBTAINED BY THE OWNERS. GEOTECHNICAL AND STRUCTURAL DESIGN IS TO BE COMPLETED BY OTHERS. THIS FINAL SITE PLAN SHOWS LOCATION, PROPOSED GRADINGS, AND DESIGN OF ALL THE WALLS.

28. SUBMIT A SURVEY, CONSISTENT WITH THE REQUIREMENTS FOR CERTIFICATE OF OCCUPANCY CHECKLIST, TO THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES PRIOR TO REQUESTING AN INSPECTION FOR A CERTIFICATE OF OCCUPANCY.
29. ALL SANITARY LATERALS AND/OR SEWERS NOT SHOWN IN THE EASEMENTS SHALL BE OWNED AND MAINTAINED PRIVATELY.
30. ALL STORM DRAINS NOT SHOWN WITHIN AN EASEMENT OR IN A PUBLIC RIGHT OF WAY SHALL BE OWNED AND MAINTAINED PRIVATELY.

31. ALL WATER FACILITY CONSTRUCTION SHALL CONFORM TO VIRGINIA AMERICAN WATER COMPANY STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL CONTACT VIRGINIA AMERICAN WATER COMPANY AT (703) 540-7080 TO COORDINATE CONSTRUCTION AND INSPECTION OF WATER FACILITIES.
32. THE SIDEWALKS SHALL REMAIN OPENED DURING CONSTRUCTION OR PEDESTRIAN ACCESS SHALL BE MAINTAINED TO THE SATISFACTION OF THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES THROUGHOUT THE CONSTRUCTION OF THE PROJECT.

33. PRIOR TO THE RELEASE OF THE FINAL SITE PLAN, A TRAFFIC CONTROL PLAN FOR CONSTRUCTION DETAILING PROPOSED CONTROLS TO TRAFFIC MOVEMENT, LANE CLOSURES, CONSTRUCTION ENTRANCES, HAUL ROUTES, AND STORAGE AND STAGING SHALL BE PROVIDED FOR INFORMATION PURPOSE; HOWEVER, AN AMENDED TRAFFIC CONTROL PLAN, IF REQUIRED BY THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, SHALL BE SUBMITTED TO THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES ALONG WITH THE BUILDING PERMIT APPLICATION. THE FINAL SITE PLAN SHALL INCLUDE A STATEMENT "FOR INFORMATION ONLY" ON THE TRAFFIC CONTROL PLAN SHEETS.
34. A CERTIFICATE OF OCCUPANCY SHALL BE OBTAINED PRIOR TO ANY OCCUPANCY OF THE BUILDING OR PORTION THEREOF, IN ACCORDANCE WITH VIRGINIA USBC 115.0.

35. A CERTIFICATE OF OCCUPANCY SHALL BE OBTAINED PRIOR TO ANY OCCUPANCY OF THE BUILDING OR PORTION THEREOF, IN ACCORDANCE WITH VIRGINIA USBC 115.0.

EMERGENCY VEHICLE EASEMENTS NOTE

NO EMERGENCY VEHICLE EASEMENTS ARE PROVIDED / REQUIRED.

ENVIRONMENTAL SITE ASSESSMENT

1. THERE ARE NO TIDAL WETLANDS, TIDAL SHORES, TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS, HIGHLY ERODABLE/PERMEABLE SOILS OR BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS, OR WETLANDS LOCATED ON THE SITE. FURTHER, THERE ARE NO WETLAND PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT. ADDITIONALLY, THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS OR AREAS OF SOIL OR GROUNDWATER CONTAMINATION ON THE SITE.
2. THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, OFFICE OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS, AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY REGULATIONS.

3. ALL WELLS TO BE DEMOLISHED IN THIS PROJECT, INCLUDING MONITORING WELLS MUST BE CLOSED IN ACCORDANCE WITH VIRGINIA STATE WATER CONTROL BOARD (VSWCB) REQUIREMENTS. CONTACT ENVIRONMENTAL HEALTH SPECIALIST AND COORDINATE WITH THE ALEXANDRIA HEALTH DEPARTMENT AT (703) 838-4400 EXT 267255.
4. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE 11, CHAPTER 5, WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:

- MONDAY THROUGH FRIDAY FROM 7 AM TO 6 PM AND
- SATURDAYS FROM 9 AM TO 6 PM.
- NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS.

- PILE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING HOURS:
- MONDAY THROUGH FRIDAY FROM 9 AM TO 6 PM AND
 - SATURDAYS FROM 10 AM TO 4 PM.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK WITH REPRESENTATIVE UTILITY COMPANIES AND FOR THE IMPLEMENTATION OF REQUIRED UTILITY-RELATED WORK.
6. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY HAZARDOUS MATERIALS DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL DOCUMENT SAME TO THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.

7. DISCONNECTION OF SERVICES AND SYSTEMS SUPPLYING UTILITIES TO BE ABANDONED OR DEMOLISHED SHALL BE COMPLETED PRIOR TO OTHER SITE DEMOLITION IN FULL COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, AND THE REQUIREMENTS OF UTILITY PURVEYORS HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE UTILITY PURVEYORS, PAYMENT OF ASSOCIATED FEES AND PROCUREMENT OF ALL NECESSARY PERMITS.
8. PRIOR TO REMOVAL OF MATERIALS OVER EXISTING UTILITY SYSTEMS, THE CONTRACTOR SHALL DOCUMENT EXISTING CONDITIONS AND, IF AT VARIANCE WITH CONDITIONS AS REPRESENTED ON THE PLANS, NOTIFY THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTIONS AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.

9. DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY EXISTING UTILITIES AND/OR UTILITY SYSTEM STRUCTURES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DOCUMENT THE SAME AND FORWARD THE INFORMATION TO THE RESIDENT ENGINEER / OWNER'S REPRESENTATIVE, AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
10. THE CONTRACTOR OR APPLICANT SHALL WORK WITH THE CITY STAFF TO REUSE THE EXISTING, LEFTOVER, UNUSED, AND/OR DISCARDED BUILDING MATERIALS AS PART OF THE DEMOLITION PROCESS OR THE CONSTRUCTION DEBRIS MUST BE REMOVED TO AN APPROVED LANDFILL WITH ADEQUATE FREQUENCY IN ACCORDANCE WITH THE VIRGINIA STATE LITTER CONTROL ACT.

SIGN CONSTRUCTION

A SEPARATE PERMIT IS REQUIRED FOR SIGN CONSTRUCTION.

DEMOLITION NOTES

1. A SEPARATE PERMIT IS REQUIRED FOR DEMOLITION; HOWEVER, NO DEMOLITION SHALL BEGIN UNTIL ALL EROSION AND SEDIMENT AND TREE PROTECTION CONTROLS ARE IN PLACE AND ARE APPROVED BY THE EROSION AND SEDIMENT CONTROL INSPECTOR OF THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES.
2. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE MOST CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS, INCLUDING BUT NOT LIMITED, TO ENVIRONMENTAL PROTECTION AGENCY (EPA), OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), VIRGINIA OCCUPATIONAL AND SAFETY HEALTH COMPLIANCE PROGRAM (VOSH ENFORCEMENT), VIRGINIA OVERHEAD HIGH VOLTAGE LINE SAFETY ACT, NATIONAL EMISSIONS STANDARDS FOR HAZARDOUS AIR POLLUTANTS (NESHAPS), AND NATIONAL INSTITUTE OF OCCUPATIONAL SAFETY AND HEALTH (NIOSH).

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK WITH REPRESENTATIVE UTILITY COMPANIES AND FOR THE IMPLEMENTATION OF REQUIRED UTILITY-RELATED WORK.
4. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY HAZARDOUS MATERIALS DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL DOCUMENT SAME TO THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.

5. DISCONNECTION OF SERVICES AND SYSTEMS SUPPLYING UTILITIES TO BE ABANDONED OR DEMOLISHED SHALL BE COMPLETED PRIOR TO OTHER SITE DEMOLITION IN FULL COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, AND THE REQUIREMENTS OF UTILITY PURVEYORS HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE UTILITY PURVEYORS, PAYMENT OF ASSOCIATED FEES AND PROCUREMENT OF ALL NECESSARY PERMITS.
6. PRIOR TO REMOVAL OF MATERIALS OVER EXISTING UTILITY SYSTEMS, THE CONTRACTOR SHALL DOCUMENT EXISTING CONDITIONS AND, IF AT VARIANCE WITH CONDITIONS AS REPRESENTED ON THE PLANS, NOTIFY THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTIONS AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.

7. DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY EXISTING UTILITIES AND/OR UTILITY SYSTEM STRUCTURES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DOCUMENT THE SAME AND FORWARD THE INFORMATION TO THE RESIDENT ENGINEER / OWNER'S REPRESENTATIVE, AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
8. THE CONTRACTOR OR APPLICANT SHALL WORK WITH THE CITY STAFF TO REUSE THE EXISTING, LEFTOVER, UNUSED, AND/OR DISCARDED BUILDING MATERIALS AS PART OF THE DEMOLITION PROCESS OR THE CONSTRUCTION DEBRIS MUST BE REMOVED TO AN APPROVED LANDFILL WITH ADEQUATE FREQUENCY IN ACCORDANCE WITH THE VIRGINIA STATE LITTER CONTROL ACT.

RESOURCE PROTECTION AREA NOTES

1. THE SUBJECT PROPERTY DOES NOT LIE WITHIN THE CITY OF ALEXANDRIA RESOURCE PROTECTION AREA (RPA) AND THERE ARE NO MAPPED RPAs ON THIS PROPERTY.

FLOOD PLAIN NOTES

1. THE SITE DOES NOT LIE WITHIN 100-YEAR FLOOD PLAIN WATER SURFACE ELEVATION (WSE) PER THE DEMARCATION OF THE CURRENT FLOOD INSURANCE RATE MAP (FIRM) PUBLISHED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).

ARCHAEOLOGY NOTES

1. ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED PRIOR TO GROUND-DISTURBING ACTIVITIES (SUCH AS CORING, GRADING, FILLING, VEGETATION REMOVAL, UNDERGROUND UTILITIES, PILE DRIVING, LANDSCAPING, AND OTHER EXCAVATIONS AS DEFINED IN SECTION 2-151 OF THE ZONING ORDINANCE) OR A RESOURCE MANAGEMENT PLAN MUST BE IN PLACE TO PRESERVE AND/OR RECOVER SIGNIFICANT RESOURCES IN CONCERT WITH CONSTRUCTION ACTIVITIES. TO CONFIRM, CALL ALEXANDRIA ARCHAEOLOGY AT (703) 838-4399.
2. CALL ALEXANDRIA ARCHAEOLOGY (703-838-4399) TWO WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT AN INSPECTION OR MONITORING SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED.

3. THE APPLICANT SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-838-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
4. THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK WITH REPRESENTATIVE UTILITY COMPANIES AND FOR THE IMPLEMENTATION OF REQUIRED UTILITY-RELATED WORK.
6. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY HAZARDOUS MATERIALS DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL DOCUMENT SAME TO THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.

7. DISCONNECTION OF SERVICES AND SYSTEMS SUPPLYING UTILITIES TO BE ABANDONED OR DEMOLISHED SHALL BE COMPLETED PRIOR TO OTHER SITE DEMOLITION IN FULL COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, AND THE REQUIREMENTS OF UTILITY PURVEYORS HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE UTILITY PURVEYORS, PAYMENT OF ASSOCIATED FEES AND PROCUREMENT OF ALL NECESSARY PERMITS.
8. PRIOR TO REMOVAL OF MATERIALS OVER EXISTING UTILITY SYSTEMS, THE CONTRACTOR SHALL DOCUMENT EXISTING CONDITIONS AND, IF AT VARIANCE WITH CONDITIONS AS REPRESENTED ON THE PLANS, NOTIFY THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTIONS AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.

9. DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY EXISTING UTILITIES AND/OR UTILITY SYSTEM STRUCTURES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DOCUMENT THE SAME AND FORWARD THE INFORMATION TO THE RESIDENT ENGINEER / OWNER'S REPRESENTATIVE, AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
10. THE CONTRACTOR OR APPLICANT SHALL WORK WITH THE CITY STAFF TO REUSE THE EXISTING, LEFTOVER, UNUSED, AND/OR DISCARDED BUILDING MATERIALS AS PART OF THE DEMOLITION PROCESS OR THE CONSTRUCTION DEBRIS MUST BE REMOVED TO AN APPROVED LANDFILL WITH ADEQUATE FREQUENCY IN ACCORDANCE WITH THE VIRGINIA STATE LITTER CONTROL ACT.

CEMETERY AND/OR BURIAL GROUNDS

THERE IS NO OBSERVABLE, HISTORICAL, OR ARCHAEOLOGICAL EVIDENCE OF CEMETERIES OR BURIAL GROUNDS ON THIS PROPERTY.

RODENT ABATEMENT NOTE

PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT, A RODENT ABATEMENT PLAN SHALL BE SUBMITTED TO THE CITY OF ALEXANDRIA DEPARTMENT OF CODE ADMINISTRATION THAT WILL OUTLINE WHAT STEPS HAVE AND WILL BE TAKEN TO PREVENT THE SPREAD OF RODENTS FROM THE CONSTRUCTION SITE TO THE SURROUNDING COMMUNITY AND SEWERS. THE CONTRACTOR CAN CONTACT THE ALEXANDRIA DEPARTMENT OF CODE ADMINISTRATION AT 703-746-4200 FOR ANY QUESTIONS OR ADDITIONAL INFORMATION. PLEASE BE ADVISED ONCE ANY DEMOLITION HAS BEEN COMPLETED ANY ABOVE GROUND BAIT BOXES MUST BE RELOCATED TO WITHIN 50 FEET OF A STRUCTURE IN KEEPING WITH EPA REGULATIONS. IF THIS IS NOT POSSIBLE, THEY SHALL BE REMOVED AND REGULAR INSPECTIONS OF THE SITE CONDUCTED BY A VIRGINIA LICENSED PEST EXTERMINATOR TO ENSURE THE SITE REMAINS RODENT FREE.

MOSQUITO CONTROL NOTES

1. SINCE STORM WATER MANAGEMENT (SWM) AND BEST MANAGEMENT PRACTICE (BMP) SYSTEMS THAT HOLD WATER FOR MORE THEN 5 DAYS BETWEEN THE MONTHS OF MAY - OCTOBER HAVE THE POTENTIAL TO CAUSE MOSQUITO BREEDING HABITATS. THEREFORE, SUCH BMPs SHALL BE TREATED WITH A REGISTERED MOSQUITO LARVAL CONTROL PRODUCT. ALL LABELS SHOULD BE FOLLOWED FOR APPLICATION RATES AND AMOUNTS.
2. SINCE EXCESSIVE VEGETATION IN EXISTING BMPs ALSO INCREASES THE POTENTIAL FOR MOSQUITO PROBLEMS; THEREFORE, VEGETATION SHALL BE CONTROLLED AND CUT TO REDUCE MOSQUITO BREEDING.
3. CONTACT THE CITY OF ALEXANDRIA ENVIRONMENTAL HEALTH VECTOR BORNE ILLNESS PROGRAM (703-838-4400 EXT. 326, 327) FOR QUESTIONS OR TREATMENT ASSISTANCE.

GEOTECHNICAL REPORT NOTE

CONTRACTOR IS ADVISED TO REVIEW SEPARATELY PREPARED GEOTECHNICAL REPORT FOR DESCRIPTION OF SOILS, SUBSURFACE CONDITIONS AND FOUNDATION CRITERIA. THIS GEOTECHNICAL REPORT, PREPARED BY OTHERS, HAS BEEN SEPARATELY SUBMITTED TO THE CITY OF ALEXANDRIA FOR REVIEW. THERE ARE NO PROBLEM SOILS PRESENT ON THE SITE.

NOTES

1. THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, DIVISION OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION ON OR UNDERGROUND STORAGE TANKS AND/OR CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASE TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY REGULATIONS.
2. ALL WELLS TO BE DEMOLISHED ON THIS PROJECT, INCLUDING MONITORING WELLS, MUST BE CLOSED IN ACCORDANCE WITH STATE WELL REGULATION. CONTACT JOE FIANDER AND COORDINATE WITH THE ALEXANDRIA HEALTH DEPARTMENT AT 703-838-4400 EXT. 255.

3. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE 11, CHAPTER 5, WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:

- MONDAY THROUGH FRIDAY FROM 7AM TO 6PM AND
- SATURDAYS FROM 9AM TO 6PM.
- NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS.

- PILE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING HOURS:
- MONDAY THROUGH FRIDAY FROM 9AM TO 6PM
 - AND SATURDAYS FROM 10AM TO 4PM

4. THE APPLICANT SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-838-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK WITH REPRESENTATIVE UTILITY COMPANIES AND FOR THE IMPLEMENTATION OF REQUIRED UTILITY-RELATED WORK.
6. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY HAZARDOUS MATERIALS DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL DOCUMENT SAME TO THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.

7. DISCONNECTION OF SERVICES AND SYSTEMS SUPPLYING UTILITIES TO BE ABANDONED OR DEMOLISHED SHALL BE COMPLETED PRIOR TO OTHER SITE DEMOLITION IN FULL COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, AND THE REQUIREMENTS OF UTILITY PURVEYORS HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE UTILITY PURVEYORS, PAYMENT OF ASSOCIATED FEES AND PROCUREMENT OF ALL NECESSARY PERMITS.
8. PRIOR TO REMOVAL OF MATERIALS OVER EXISTING UTILITY SYSTEMS, THE CONTRACTOR SHALL DOCUMENT EXISTING CONDITIONS AND, IF AT VARIANCE WITH CONDITIONS AS REPRESENTED ON THE PLANS, NOTIFY THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTIONS AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.

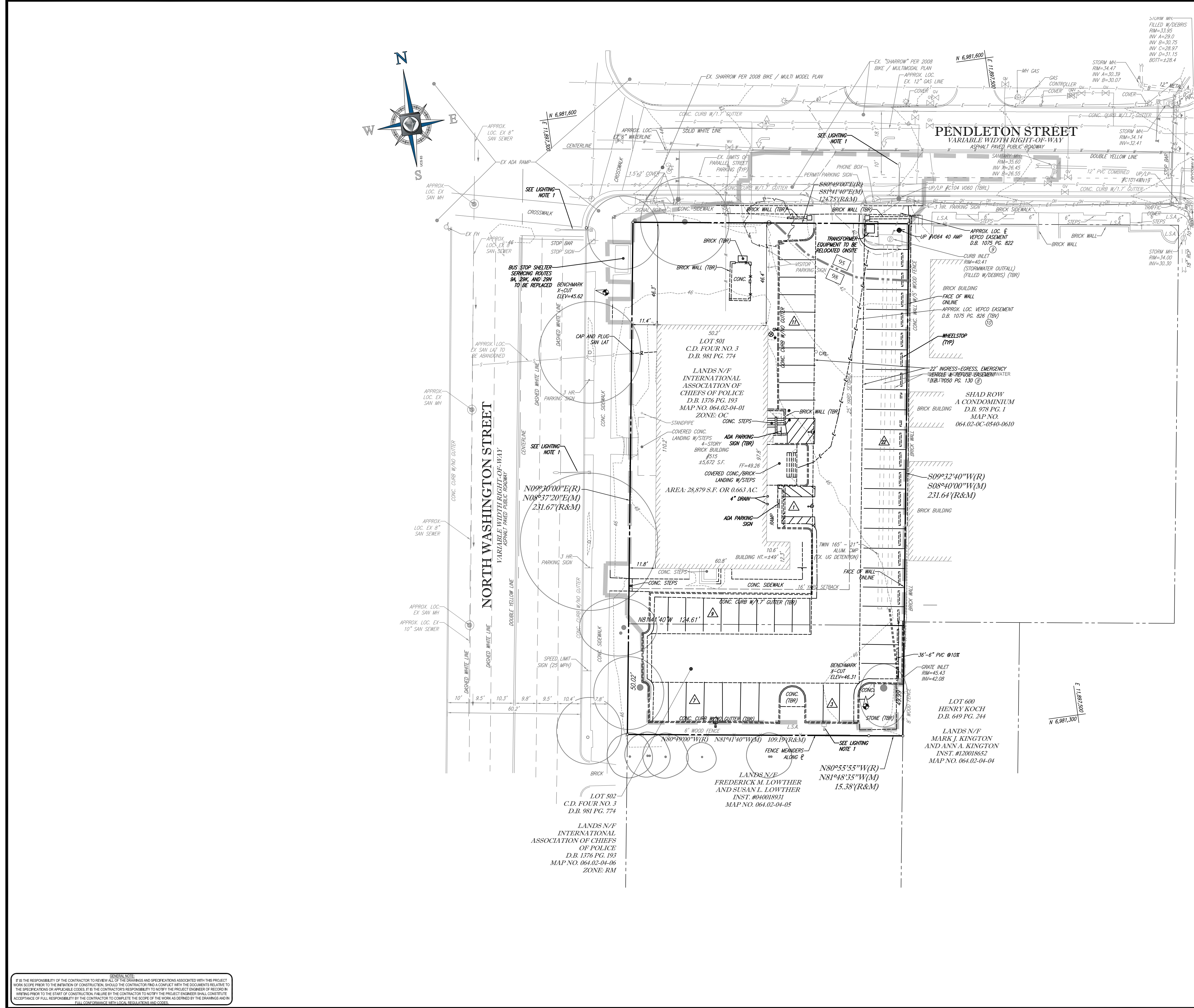
9. DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY EXISTING UTILITIES AND/OR UTILITY SYSTEM STRUCTURES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DOCUMENT THE SAME AND FORWARD THE INFORMATION TO THE RESIDENT ENGINEER / OWNER'S REPRESENTATIVE, AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
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14. PRIOR TO REMOVAL OF MATERIALS OVER EXISTING UTILITY SYSTEMS, THE CONTRACTOR SHALL DOCUMENT EXISTING CONDITIONS AND, IF AT VARIANCE WITH CONDITIONS AS REPRESENTED ON THE PLANS, NOTIFY THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTIONS AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.

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16. THE CONTRACTOR OR APPLICANT SHALL WORK WITH THE CITY STAFF TO REUSE THE EXISTING, LEFTOVER, UNUSED, AND/OR DISCARDED BUILDING MATERIALS AS PART OF THE DEMOLITION PROCESS OR THE CONSTRUCTION DEBRIS MUST BE REMOVED TO AN APPROVED LANDFILL WITH ADEQUATE FREQUENCY IN ACCORDANCE WITH THE VIRGINIA STATE LITTER CONTROL ACT.

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18. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY HAZARDOUS MATERIALS DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL DOCUMENT SAME TO THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.



SOIL LEGEND

- 95 URBAN LAND
- 98 URBAN LAND - GRIST MILL

SITE DEVELOPMENT NARRATIVE

PARCELS 064.02-04-01 (LOT 501) AND 064.02-04-06 (LOT 502) CONSIST OF A HISTORIC FOUR STORY MASONRY OFFICE BUILDING AND PARKING LOT. PARCEL 064.02-04-01 IS ZONED OC AND PARCEL 064.02-04-06 IS ZONED RM. THE PROPOSED DEVELOPMENT WILL MAINTAIN THE EXISTING STRUCTURE AND CONVERT IT FROM OFFICE TO RESIDENTIAL USE WHILE INCORPORATING A NORTHERN RESIDENTIAL EXPANSION. PARKING WILL CONSIST OF 32 SURFACE SPACES. THE EXISTING STRUCTURE TO REMAIN IS OF LOCAL HISTORICAL SIGNIFICANCE.

MARINE CLAYS NOTE

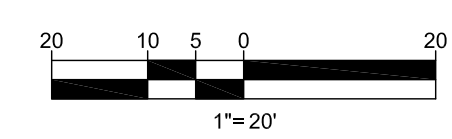
- 1. THE SITE HAS NO EXISTING MARINE CLAYS PER CITY MAPS

ADJACENT OWNER TABLE

ZONE	NAME OF OWNER	ADDRESS
RM	SHAD ROW CONDOMINIUM	600 PENDLETON ST
RM	KOZINSKI, KASIA	540 N ST ASAPH ST
RM	KLEIN, FRANK/ MEI, LING	542 N ST ASAPH ST
RM	PATE, MICHAEL L/ BARBARA, A	544 N ST ASAPH ST
RM	KNIGHT, ROBERT PAUL/ PATTERSON, ALMA JOANN	546 N ST ASAPH ST
RM	SULLIVAN, TERESSA ELIZABETH	548 N ST ASAPH ST
RM	SULLIVAN, TERESSA E	550 N ST ASAPH ST
RM	CASEY, BENJAMIN/ MCWEENEY, BRIANNE	552 N ST ASAPH ST
RM	JOSSIS, KACEE L	554 N ST ASAPH ST
RM	HART, PETER J/ VALORA, JAIME L	556 N ST ASAPH ST
RM	CALEBS LIMITED PARTNERSHIP	558 N ST ASAPH ST
RM	DELLASALA, MARC/ JAIME, LEE	560 N ST ASAPH ST
RM	LOUCAS, MARK A	562 N ST ASAPH ST
RM	ROTH, EUNHEE	564 N ST ASAPH ST
RM	SHELDON, DONALD/ LISA M TRS	566 N ST ASAPH ST
RM	MILLER, DIANNE N	568 N ST ASAPH ST
RM	GODWIN, ASHLEY D	570 N ST ASAPH ST
RM	BROWN, KATHERINE E	572 N ST ASAPH ST
RM	MAKONNEN, YOHANNES	574 N ST ASAPH ST
RM	BOSSE, KEVIN D/ MELINDA C	576 N ST ASAPH ST
RM	EDWARDS, TRINA	602 PENDLETON ST
RM	PETERS, PAUL J	604 PENDLETON ST
RM	BAITCH, MEGAN/ MUNDT, JEFFREY	606 PENDLETON ST
RM	RENEHAN, SUSAN D	608 PENDLETON ST
RM	GRAY, CHRISTOPHER M	610 PENDLETON ST

LIGHTING NOTES

- 1. EX COBRA HEAD LIGHTS TO BE REMOVED / REPLACED WITH STREET LIGHTING SHOWN ON LANDSCAPE SHEETS INCLUDED WITH THIS SET.



APPROVED
SPECIAL USE PERMIT NO. DSUP 2013 - 0023
DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR: _____ DATE: _____
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DIRECTOR: _____ DATE: _____
DATE RECORDED: _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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REVISIONS

REV	DATE	COMMENT	BY
1	11/14/14	DSUP COMPLETENESS COMMENTS	IS

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: S132117
DRAWN BY: IS
CHECKED BY: MT
DATE: 10/31/14
SCALE: 1"=20'
CAD I.D.: S50

DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER

LOCATION OF SITE
515 NORTH WASHINGTON STREET
CITY OF ALEXANDRIA, VA
LOTS 501 & 503
D.B. 981 PG. 774

BOHLER ENGINEERING

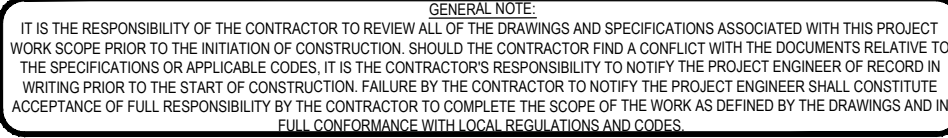
22636 DAVIS DRIVE, SUITE 250
STERLING, VIRGINIA 20164
Phone: (703) 709-9500
Fax: (703) 709-9501
www.BohlerEngineering.com

COMMONWEALTH OF VIRGINIA
MICHAEL J. O'HARA JR.
Lic. No. 34168
11/14/14
PROFESSIONAL ENGINEER

SHEET TITLE:
EXISTING CONDITIONS

SHEET NUMBER:
C-2.0
OF 33

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT. WORK SHOWN PRIOR TO THE INITIATION OF CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CORRELATE WITH THE DOCUMENTS RELIANT TO THE SPECIFICATIONS OR APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH ALL LOCAL ORDINANCES AND CODES.



APPROVED	
SPECIAL USE PERMIT NO. <u>DSUP 2013 - 0023</u>	
DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT	
DIRECTOR: _____	DATE: _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
DIRECTOR: _____	DATE: _____
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____

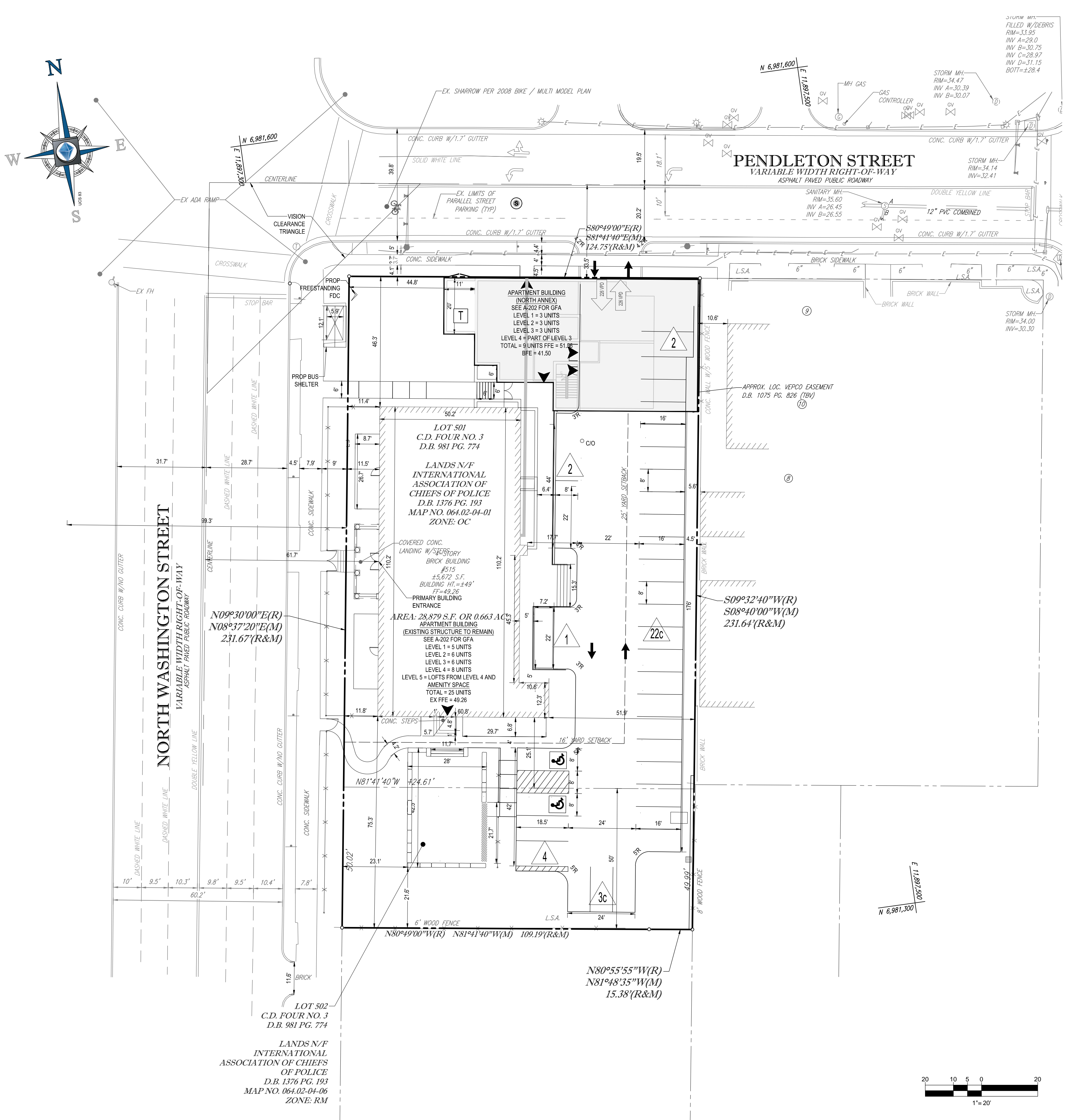
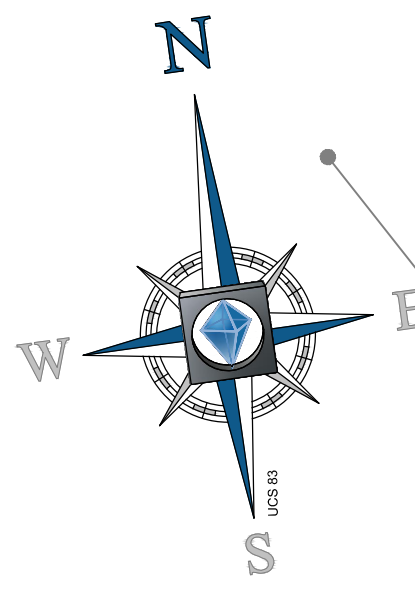
SHEET TITLE:

**PROPOSED SITE
PLAN**

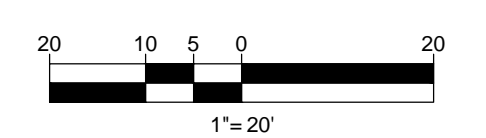
SHEET NUMBER:

C-3.0

OF 33



GENERAL NOTE
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE CITY OF ALEXANDRIA, VIRGINIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALEXANDRIA, VIRGINIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALEXANDRIA, VIRGINIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALEXANDRIA, VIRGINIA.



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SPECIAL USE PERMIT NO. DSUP 2013 - 0023
DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT
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REV	DATE	COMMENT	BY
1	11/14/14	DSUP COMPLETENESS COMMENTS	IS

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, NORTH CAROLINA AND DELAWARE CALL: 811 (VIR 1-800-246-4848) (PA 1-800-242-1776) (DC 1-800-257-7777) (VA 1-800-552-7901) (MD 1-800-257-7777) (DE 1-800-382-8600)

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PROJECT No.: S132117
DRAWN BY: IS
CHECKED BY: MT
DATE: 10/31/14
SCALE: 1"=20'
CAD I.D.: SSD

PROJECT:
**DEVELOPMENT
SPECIAL USE
PERMIT (DSUP)
FOR
CAS REIGLER**

LOCATION OF SITE
515 NORTH WASHINGTON STREET
CITY OF ALEXANDRIA, VA
LOTS 501 & 503
D.B. 981 PG. 774

BOHLER ENGINEERING

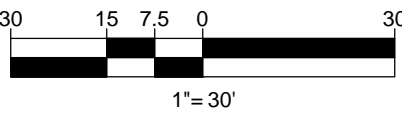
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www.BohlerEngineering.com

COMMONWEALTH OF VIRGINIA
MICHAEL J. O'HARA JR.
Lic. No. 34168
11/14/14
PROFESSIONAL ENGINEER

SHEET TITLE:
DIMENSION PLAN

SHEET NUMBER:
C-3.1
OF 33

H:\P\13117\DRAWING\PLAN SET\DSUP PLAN\13117.DWG PRINTED BY: LUPNEY 11/12/14 @ 5:48 PM LAST SAID BY: LUPNEY



The graph illustrates the relationship between sight distance and road grade. The vertical axis represents sight distance in feet, ranging from 30 to 50. The horizontal axis represents road grade in feet per 100 feet, ranging from 10+00 to 14+50. A solid line represents the 'LINE OF SIGHT LEFT (193)' and a dashed line represents the 'LINE OF SIGHT RIGHT (223)'. A vertical line at 12+00 grade is labeled 'EX GRADE'. The graph shows that sight distance decreases as the road grade increases.

Grade (ft/100)	Sight Distance Left (ft) (193)	Sight Distance Right (ft) (223)
10+00	49	46
10+50	47	45
11+00	45	44
11+50	43	42
12+00	41	40
12+50	39	38
13+00	37	36
13+50	35	34
14+00	33	33
14+50	31	31

SCALE: 1"= 30' HORIZONTAL
1"= 3' VERTICAL
SPEED LIMIT = 25 MPH

H:\13\132117\DRAWINGS\PLAN SETS\CLUP PLAN\132117FP1.DWG PRINTED BY: LPUENEY 11.12.14 @ 1:48 PM LAST SAVED BY: ISHODH




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(WV 1-800-245-4848) (PA 1-800-242-2176) (DC 1-800-257-7777)
 (VA 1-800-552-7001) (MD 1-800-257-7777) (DE 1-800-282-6555)

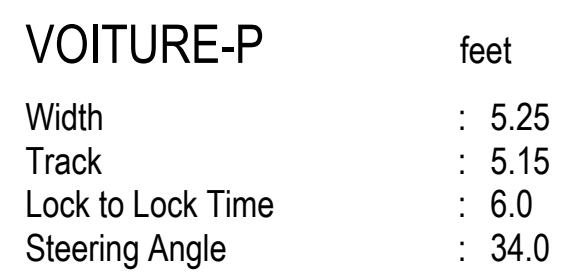
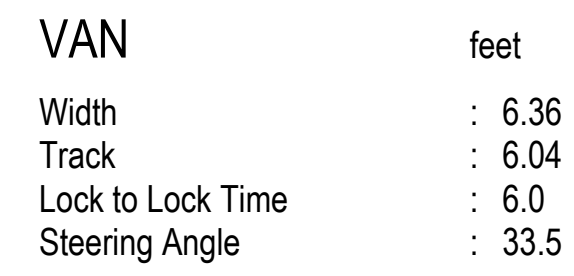
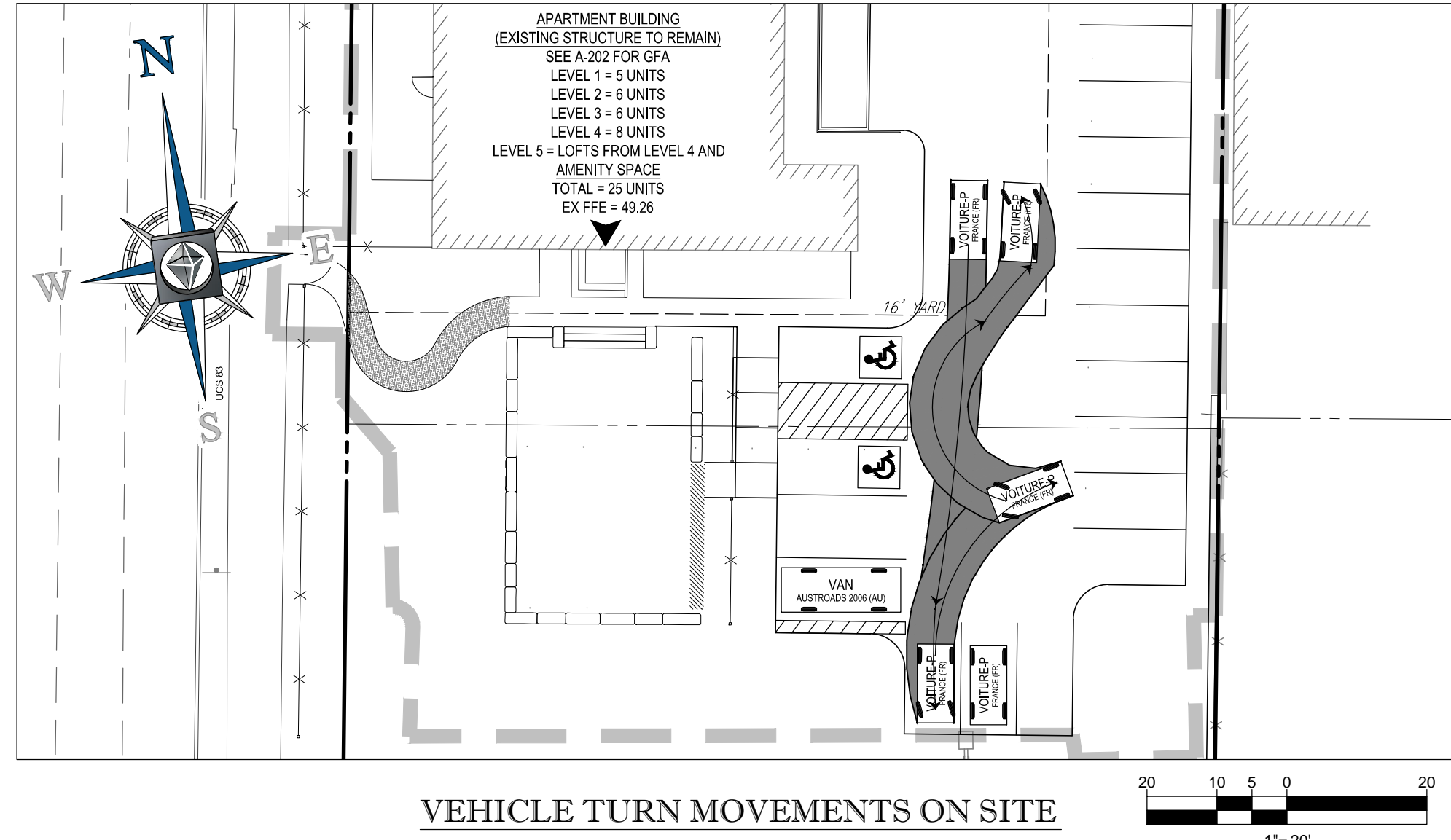
PROJECT No.:	S132117
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CHECKED BY:	MT
DATE:	10/3/14
SCALE:	AS SHOWN
CAD I.D.:	PP1

LOCATION OF SITE
515 NORTH
WASHINGTON STREET
CITY OF ALEXANDRIA, VA
LOTS 501 & 503
D.B. 981 PG. 774

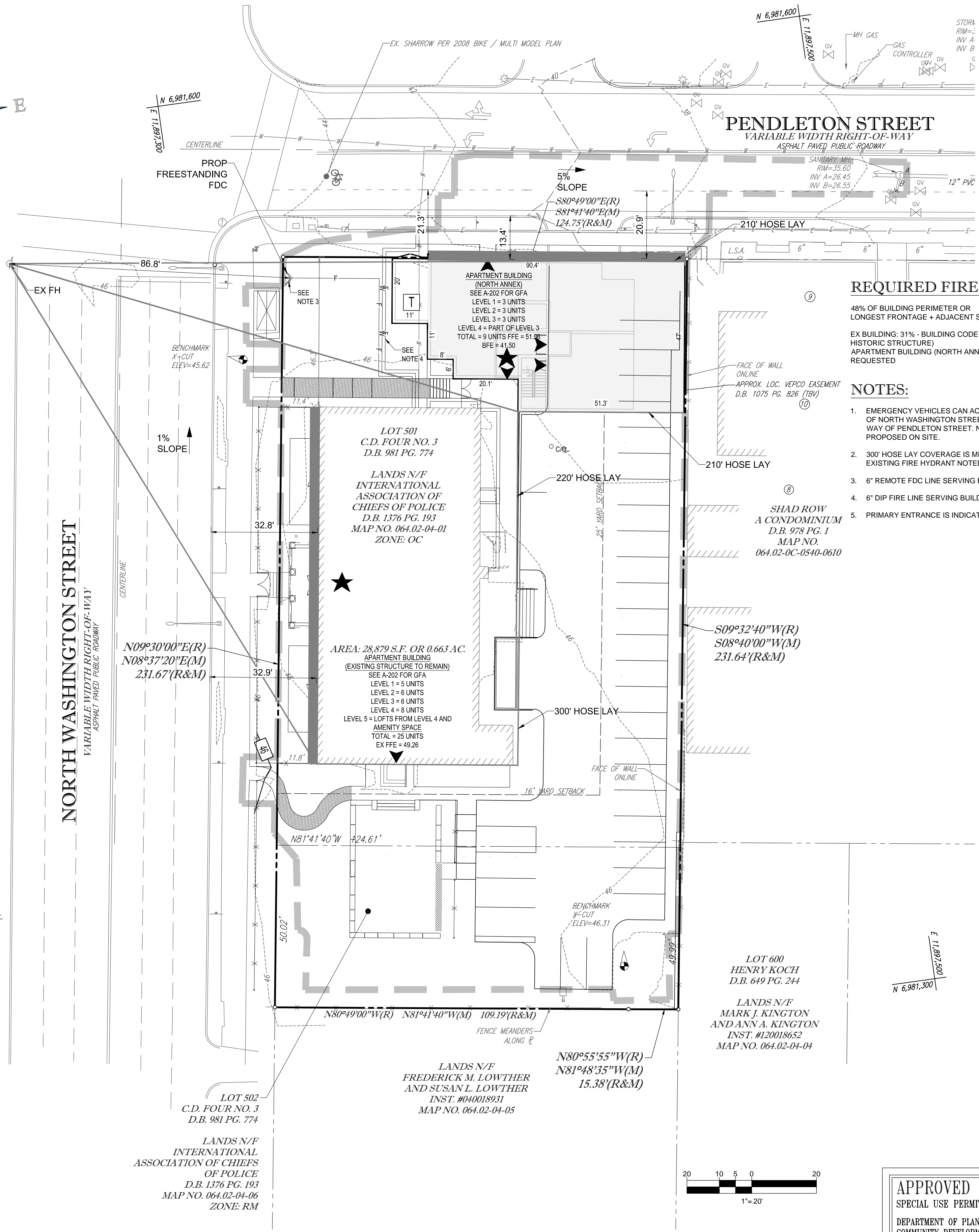
A circular professional engineer seal for the Commonwealth of Virginia. The outer ring contains the text "COMMONWEALTH OF VIRGINIA" at the top and "PROFESSIONAL ENGINEER" at the bottom. Inside the ring, there is a signature "Michael J. O'Hara Jr.", the name "MICHAEL J. O'HARA JR.", the license number "Lic. No. 34168", and the expiration date "11/14/14".

SHEET TITLE:
SIGHT
DISTANCE
PROFILE
SHEET NUMBER:
C-5.1
OF 33

APPROVED	
SPECIAL USE PERMIT NO. _____ DSUP 2013 - 0023	
DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT	
DIRECTOR: _____	DATE: _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
DIRECTOR: _____	DATE: _____
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____



THE INNER SURFACE OF THE LADDER TRUCK ACCESS WAY SHALL BE NO LESS THAN 15 FEET AND NO MORE THAN 30 FEET FROM THE EXTERIOR BUILDING WALL PER CODE. DIMENSIONS INDICATED WHERE THIS SEPARATION IS NOT MET.




REQUIRED FIRE TRUCK ACCESS:

48% OF BUILDING PERIMETER OR
LONGEST FRONTAGE + ADJACENT SIDE

EX BUILDING: 31% - BUILDING CODE MODIFICATION REQUESTED (EX.
HISTORIC STRUCTURE)
APARTMENT BUILDING (NORTH ANNEX): 31% - BUILDING CODE MODIFICATION
REQUESTED

NOTES:

1. EMERGENCY VEHICLES CAN ACCESS THE EXISTING BUILDING BY WAY OF NORTH WASHINGTON STREET AND THE PROPOSED BUILDING BY WAY OF PENDLETON STREET. NO EMERGENCY VEHICLE ACCESS IS PROPOSED ON SITE.
2. 300' HOSE LAY COVERAGE IS MET FOR ALL PROPOSED BUILDINGS WITH EXISTING FIRE HYDRANT NOTED.
3. 6" REMOTE FDC LINE SERVING BUILDING.
4. 6" DIP FIRE LINE SERVING BUILDING.
5. PRIMARY ENTRANCE IS INDICATED BY A ★



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CIVIL & CONSULTING ENGINEERS

SURVEYORS

PROJECT MANAGERS

ENVIRONMENTAL CONSULTANTS

LANDSCAPE ARCHITECTS

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♦ BOWNE MD
♦ WASHINGTON, VA
♦ STERLING VA
♦ CHAMFONT, PA
♦ HARRISBURG, PA
♦ TAMPA, FL
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BOHLER ENGINEERING, INC. HAS OFFICES IN ALL STATES AND CANADA. WE ARE CURRENTLY ACCEPTING QUALIFIED ENGINEERS AND ARCHITECTS FOR ALL TYPES OF PROJECTS. WE ARE AN EQUAL OPPORTUNITY EMPLOYER. M/F/H/V.

[illegible]

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, NORTH CAROLINA AND DELAWARE CALL - 811

WV 1-800-245-4848 (PA 1-800-242-1776) (DC 1-800-257-7777)
(VA 1-800-552-7001) (MD 1-800-257-7777) (DE 1-800-282-8555)

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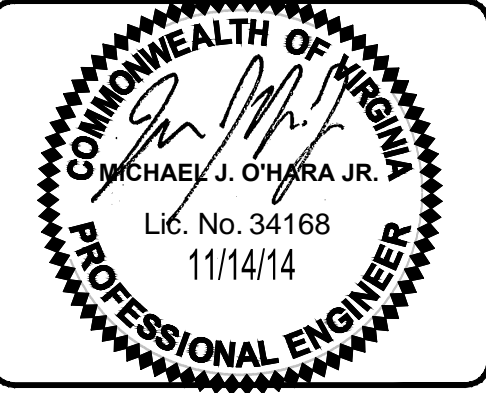
PROJECT No.:	S132117
DRAWN BY:	IS
CHECKED BY:	MT
DATE:	10/3/14
SCALE:	1"=20'
CAD I.D.:	SS0

PROJECT:
DEVELOPMENT
SPECIAL USE
PERMIT (DSUP)
— FOR —
CAS REIGLER

LOCATION OF SITE
515 NORTH
WASHINGTON STREET
CITY OF ALEXANDRIA, VA
LOTS 501 & 503
D.B. 981 PG. 774



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STERLING, VIRGINIA 20164
 Phone: (703) 709-9500
 Fax: (703) 709-9501
www.BohlerEngineering.com



SHEET TITLE:

CAR TURN /
FIRE SAFETY
PLAN

SHEET NUMBER:

C-6.0

OF 33

APPROVED
SPECIAL USE PERMIT NO. DSUP 2013 - 0023
DEPARTMENT OF PLANNING &
COMMUNITY DEVELOPMENT

DIRECTOR: _____ DATE: _____

DEPARTMENT OF TRANSPORTATION &
ENVIRONMENTAL SERVICES

DIRECTOR: _____ DATE: _____

DATE RECORDED _____		
INSTRUMENT NO. _____	DEED BOOK NO. _____	PAGE NO. _____



PRE-DEVELOPMENT POI SUMMARY TABLE				
POI		C VALUE	AREA (AC.)	C VALUE X AREA
1	CONTROLLED	0.87	0.42	0.37
	UNCONTROLLED	0.55	0.14	0.08
	ROW	0.79	0.24	0.19
	TOTAL AREA (AC.)		0.80	0.63
2	UNCONTROLLED	0.68	0.07	0.05
	ROW	0.76	0.15	0.11
	TOTAL AREA (AC.)		0.22	0.16
3	UNCONTROLLED	0.5	0.02	0.01
	TOTAL AREA (AC.)		0.02	0.01

[illegible]

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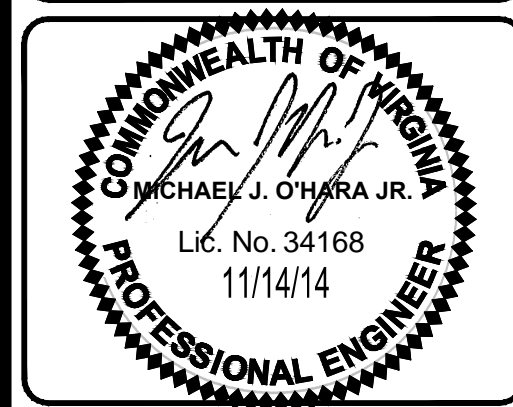
PROJECT No.:	S132117
DRAWN BY:	IS
CHECKED BY:	MT
DATE:	10/3/14
SCALE:	1"=20'
CAD I.D.:	DS0

PROJECT:
DEVELOPMENT
SPECIAL USE
PERMIT (DSUP)
FOR
CAS REIGLER

LOCATION OF SITE
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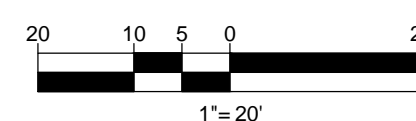


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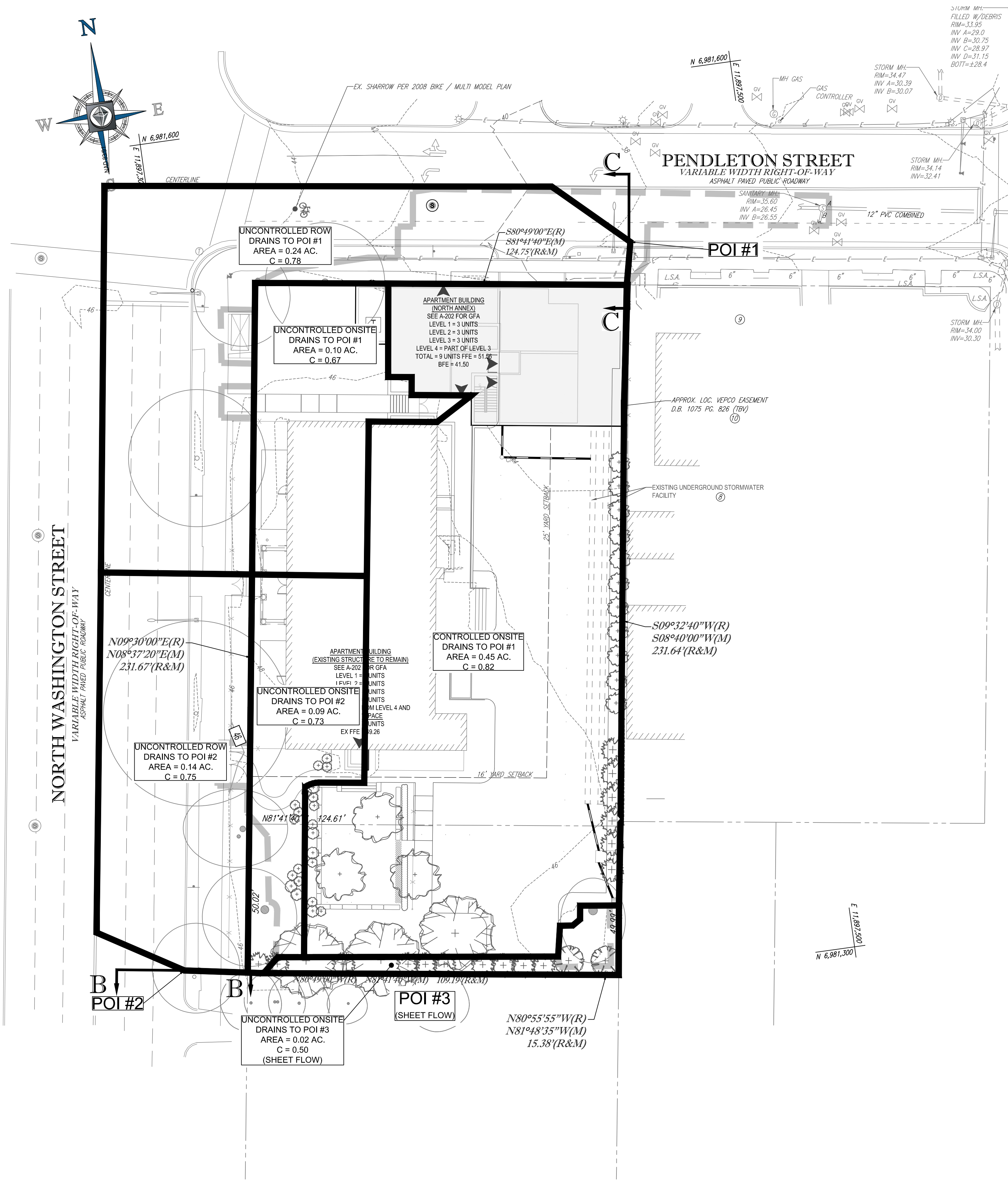
PRE
DEVELOPMENT
DRAINAGE MA

SHEET NUMBER:
C-7.0
OF 33

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE PROJECT AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
DIRECTOR:	DATE:
DATE RECORDED _____	
INSTRUMENT NO.	DEED BOOK NO.
PAGE NO.	



STORMWATER MANAGEMENT PLAN

THERE IS NO PUBLIC STORM SEWER INLET AVAILABLE WITHIN 100' OF THE PROPERTY LINE; THEREFORE, A DESIGN HAS BEEN PROVIDED TO MITIGATE THE NEGATIVE IMPACTS OF STORM WATER DRAINAGE ONTO ADJACENT PROPERTIES AND PUBLIC RIGHT-OF-WAY IN ACCORDANCE TO THE REQUIREMENTS OF MEMORANDUM TO INDUSTRY ON DOWNSPOUTS, FOUNDATION DRAINS, AND SUMP PUMPS, DATED JUNE 18, 2004, WHICH IS AVAILABLE ON THE CITY OF ALEXANDRIA'S WEB SITE. THE PLAN DEMONSTRATES THAT THE SITE HAS BEEN DEVELOPED NOT TO INCREASE THE POST DEVELOPMENT PEAK RUNOFF RATE FROM THE PRE-DEVELOPMENT PEAK RUNOFF RATE FOR A TWO-YEAR AND TEN YEAR STORM CONSIDERED INDIVIDUALLY PER THE REQUIREMENTS OF ARTICLE 13-109(F)(1) OF ALEXANDRIA ZONING ORDINANCE.

SWM NARRATIVE

SITE WILL FOLLOW 2014 VIRGINIA STATE STORMWATER MANAGEMENT REGULATIONS. ADDITIONAL / NEW STORMWATER MANAGEMENT IS NOT ANTICIPATED DUE TO DECREASE IN IMPERVIOUS AREA AND KEEPING THE SAME AMOUNT OF FLOW INTO THE EXISTING DETENTION SYSTEM FROM THE PRE TO POST CONDITION. ADEQUATE OUTFALL STUDY INCLUDES CROSS SECTIONS OF THE GUTTER PAN ADJACENT TO THE SITE AS NO EXISTING STORM SEWER IS PRESENT PER MEETING WITH CITY STAFF IN SEPTEMBER 2014. ADEQUATE STORMWATER MANAGEMENT AND OUTFALL IS PROVIDED AS THERE IS A DECREASED IN FLOW LEAVING THE SITE FROM PRE TO POST, AND THE EXISTING SPREADS ARE LESS THAN 8' FOR THE 10 YEAR EVENT AT THE POIS ANALYZED.

NO UPSTREAM FLOWS ARE NOTED BASED ON A STUDY OF THE SURROUNDING STREETS / INFRASTRUCTURE.

ALTHOUGH THE TOTAL IMPREVIOUS AREA ON SITE IS DECREASED, THE FLOW INTO THE EXISTING DETENTION SYSTEM REMAINS THE SAME FROM THE PRE CONDITION TO THE POST CONDITION. SEE TABLES FOR FLOWS IN THE PROJECT AREA. THUS, THE FLOW AT POI #1 REMAINS THE SAME FROM THE PRE TO POST CONDITION. SEE SECTION VIEWS ON SHEET C-7.2.

ALTHOUGH THE TOTAL FLOW TO POI #2 IS INCREASED BY LESS THAN 0.1 CFS AS A RESULT OF THE PROPOSED DEVELOPMENT, ANALYSIS SHOWS THAT THE INCREASE IN FLOW DOES NOT CAUSE AN INCREASE IN SPREAD ABOVE THE 8' MAXIMUM ALLOWED FOR A 10 YEAR EVENT. SEE SECTION VIEWS ON SHEET C-7.2. SECTION CALCULATIONS WERE COMPLETED FOR PRE AND POST FLOWS AT POI #2 WITH NO CHANGE IN SPREAD NOTED.

SEE SHEET C-7.3 FOR APPROVED PLAN AND DETENTION COMPUTATIONS FOR 10 YEAR EVENT. ENTITLED: 'FINAL SITE PLAN' PREPARED BY 'ALEXANDRIA SURVEYS, INC.' DATED 1/4/1982. REVISED 2/5/82.

POST-DEVELOPMENT

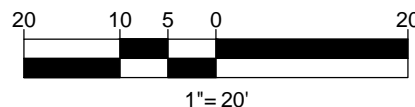
	POI	C VALUE	AREA (AC.)	C VALUE X AREA
1	CONTROLLED	0.82	0.45	0.37
	UNCONTROLLED	0.67	0.10	0.07
	ROW	0.79	0.24	0.19
	TOTAL AREA (AC.)		0.79	0.63
2	UNCONTROLLED	0.73	0.09	0.07
	ROW	0.75	0.14	0.11
	TOTAL AREA (AC.)		0.23	0.17
3	UNCONTROLLED	0.5	0.02	0.01
	TOTAL AREA (AC.)		0.02	0.01

FLOW SUMMARY TABLE FROM PROJECT AREA

	POI	PRE 2 (Q)	POST 2 (Q)	PRE 10 (Q)	POST 10 (Q)
1	CONTROLLED	2.27"	2.29"	1.29"	1.29"
	UNCONTROLLED	0.48	0.42	0.69	0.60
	ROW	1.18	1.16	1.71	1.68
	TOTAL	3.92	3.87	3.69	3.58
2	UNCONTROLLED	0.30	0.41	0.43	0.59
	ROW	0.71	0.65	1.03	0.95
	TOTAL	1.00	1.06	1.45	1.54
3	UNCONTROLLED	0.06	0.06	0.09	0.09
	TOTAL	0.06	0.06	0.09	0.09
GRAND TOTAL		4.99	4.99	5.23	5.20

* Q10 FROM APPROVED DETENTION CALCULATIONS. SEE SHEET C-7.3 FOR APPROVED PLAN.
** Q2 NOT ROUTED IN APPROVED PLAN. ASSUMED DISCHARGE PRE/POST WITH NO DETENTION. (CONSERVATIVE)
*** INCREASE IN SPREAD ALONG ROADWAY RESULTS FROM MINOR INCREASE IN SHEET FLOW BUT IS UNDER 8' MAX FROM THE 10 YEAR EVENT. NO INCREASE FROM PRE TO POST IN THE OVERALL SITE.

GENERAL NOTE
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE CITY OF ALEXANDRIA. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH ALL LOCAL, STATE AND FEDERAL CODES.



APPROVED

SPECIAL USE PERMIT NO. DSUP 2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: _____

DATE: _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: _____

DATE: _____

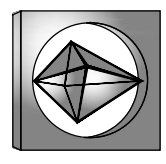
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CORPORATE OFFICE
WARREN, NJ

CIVIL & CONSULTING ENGINEERS

SURVEYORS

PROJECT MANAGERS

ENVIRONMENTAL CONSULTANTS

LANDSCAPE ARCHITECTS

REGISTERED PROFESSIONAL ENGINEERS

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECTS

REGISTERED PROFESSIONAL SURVEYORS

REGISTERED PROFESSIONAL ENGINEERS

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECTS

REGISTERED PROFESSIONAL SURVEYORS

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REGISTERED PROFESSIONAL SURVEYORS

REGISTERED PROFESSIONAL ENGINEERS

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECTS

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REGISTERED PROFESSIONAL SURVEYORS

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REGISTERED PROFESSIONAL LANDSCAPE ARCHITECTS

SECTION A-A
Channel Report

Hydraflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc.

Tuesday, Sep 23 2014

POI #2 10 YEAR PRE DEVELOPMENT

Gutter
Cross Sl, Sx (ft/ft) = 0.023
Cross Sl, Sw (ft/ft) = 0.080
Gutter Width (ft) = 2.00
Invert Elev (ft) = 100.00
Slope (%) = 0.53
N-Value = 0.013

Calculations
Compute by: Known Q
Known Q (cfs) = 1.45

Highlighted
Depth (ft) = 0.27
Q (cfs) = 1.450
Area (sqft) = 0.64
Velocity (ft/s) = 2.25
Wetted Perim (ft) = 7.06
Crit Depth, Yc (ft) = 0.30
Spread Width (ft) = 6.78
EGL (ft) = 0.35

SECTION B-B
Channel Report

Hydraflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc.

Tuesday, Sep 30 2014

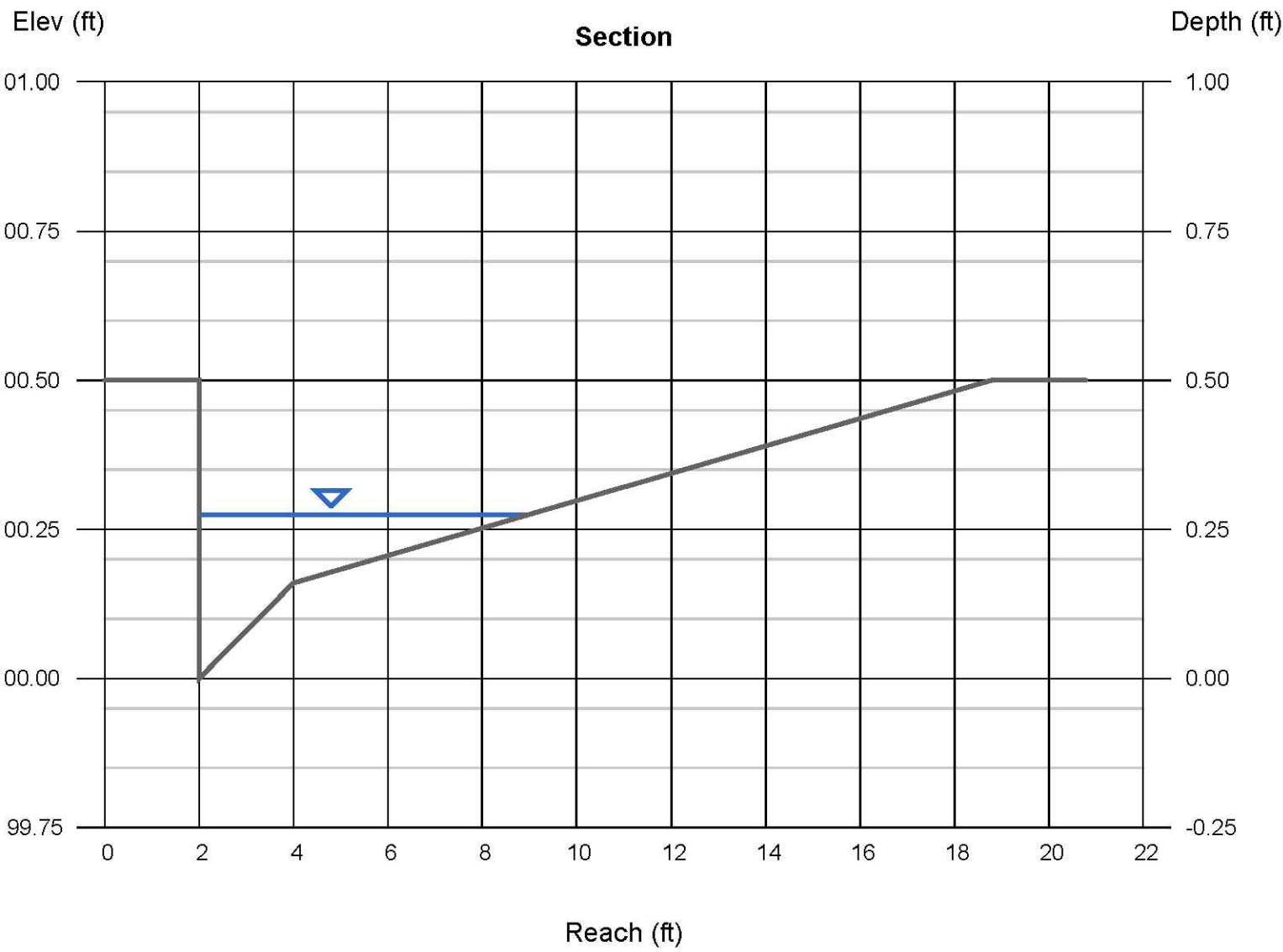
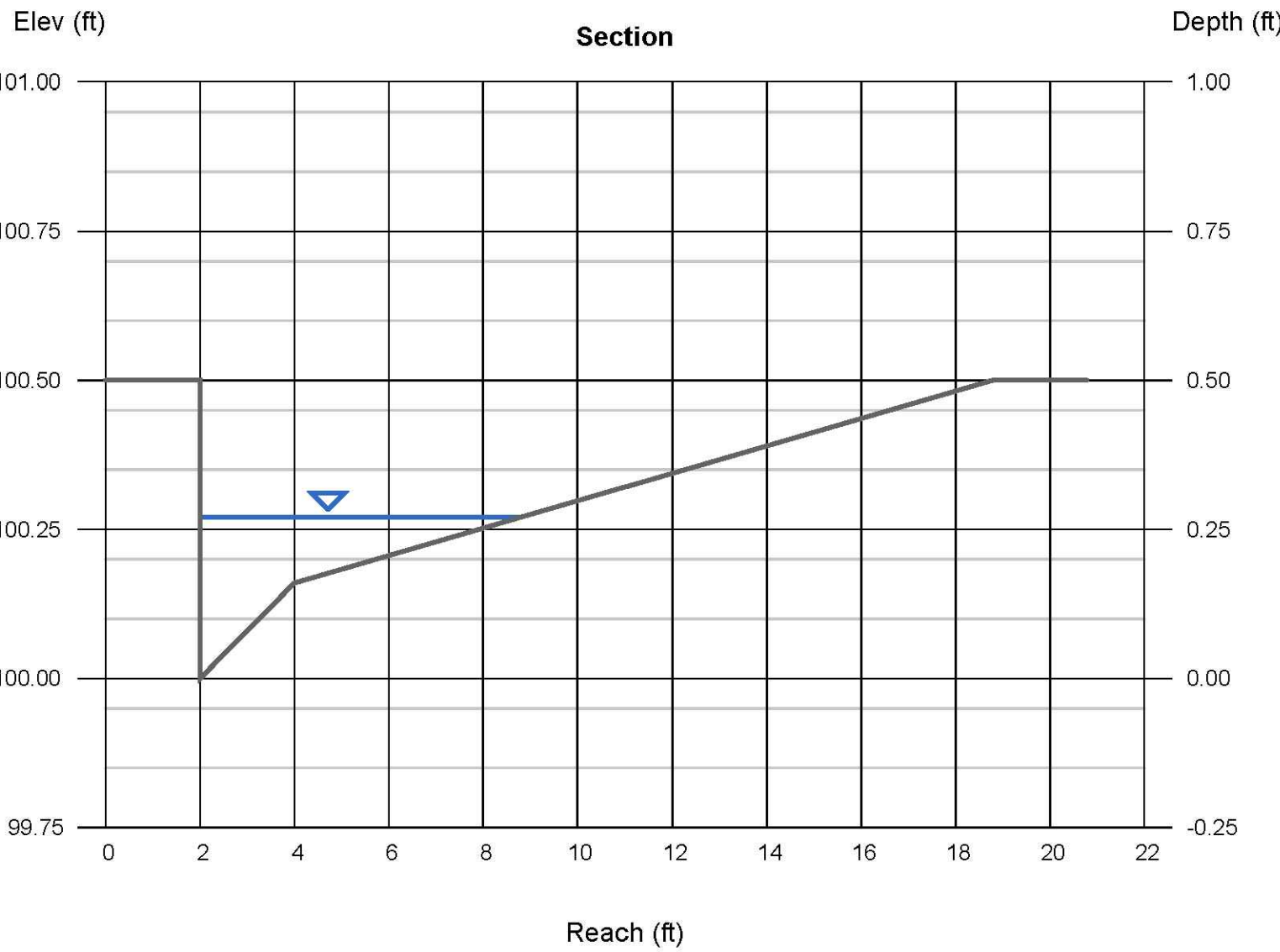
POI #2 10 YEAR POST DEVELOPMENT

Gutter
Cross Sl, Sx (ft/ft) = 0.023
Cross Sl, Sw (ft/ft) = 0.080
Gutter Width (ft) = 2.00
Invert Elev (ft) = 100.00
Slope (%) = 0.53
N-Value = 0.013

Calculations
Compute by: Known Q
Known Q (cfs) = 1.54

Highlighted
Depth (ft) = 0.28
Q (cfs) = 1.540
Area (sqft) = 0.68
Velocity (ft/s) = 2.27
Wetted Perim (ft) = 7.28
Crit Depth, Yc (ft) = 0.30
Spread Width (ft) = 7.00
EGL (ft) = 0.36

INCREASE IN SPREAD FROM
PRE TO POST STILL WITHIN
MAXIMUM 8 ft THEREFORE
THE INCREASE IN FLOW TO
POI #2 IS NEGLIGIBLE



SECTION C-C
Channel Report

Hydraflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc.

Tuesday, Sep 30 2014

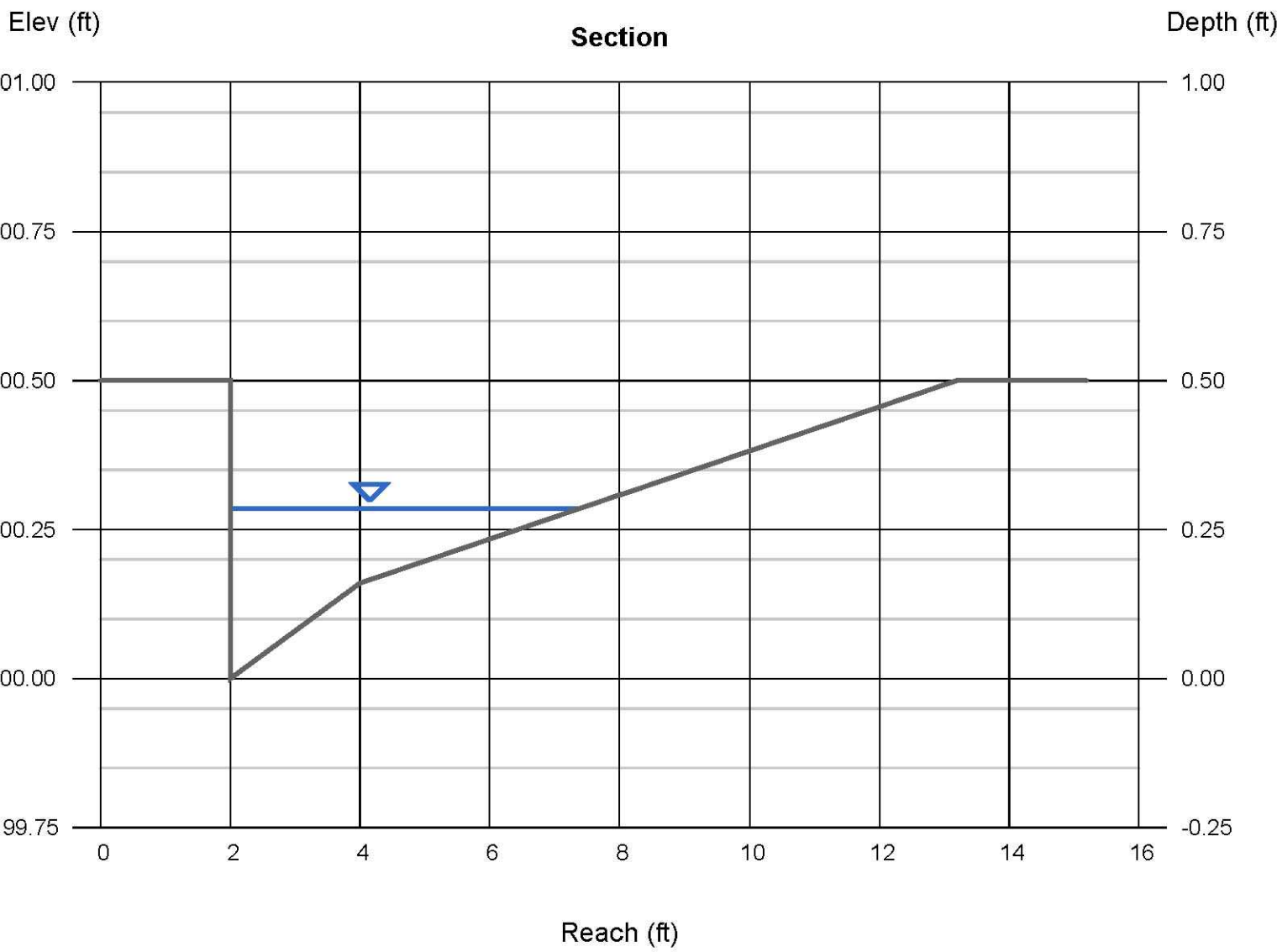
POI #1 10 YEAR POST DEVELOPMENT

Gutter
Cross Sl, Sx (ft/ft) = 0.037
Cross Sl, Sw (ft/ft) = 0.080
Gutter Width (ft) = 2.00
Invert Elev (ft) = 100.00
Slope (%) = 4.30
N-Value = 0.016

Calculations
Compute by: Known Q
Known Q (cfs) = 3.58

Highlighted
Depth (ft) = 0.28
Q (cfs) = 3.580
Area (sqft) = 0.62
Velocity (ft/s) = 5.76
Wetted Perim (ft) = 5.67
Crit Depth, Yc (ft) = 0.42
Spread Width (ft) = 5.38
EGL (ft) = 0.80

5.35 ft < 8 ft MAXIMUM



GENERAL NOTE
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE CITY OF ALEXANDRIA, VA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALEXANDRIA, VA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALEXANDRIA, VA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALEXANDRIA, VA.

BOHLER ENGINEERING

CORPORATE OFFICE
WARREN, NJ

CIVIL & CONSULTING ENGINEERS

PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REGISTERED PROFESSIONAL ENGINEERS
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECTS

REGISTERED PROFESSIONAL ENGINEERS
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECTS

REGISTERED PROFESSIONAL ENGINEERS
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECTS

REVISIONS				
REV	DATE	COMMENT	BY	IS
1	11/14/14	DSUP COMPLETENESS COMMENTS		

NOT APPROVED FOR CONSTRUCTION

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, NORTH CAROLINA AND DELAWARE CALL: 811 (WV 1-800-246-4848) (PA 1-800-242-1776) (DC 1-800-257-7777) (VA 1-800-252-7501) (MD 1-800-257-7777) (DE 1-800-282-8502)

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: S132117
DRAWN BY: IS
CHECKED BY: MT
DATE: 10/3/14
SCALE: 1"=20'
CAD I.D.: DSD

DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER

LOCATION OF SITE
515 NORTH WASHINGTON STREET
CITY OF ALEXANDRIA, VA
LOTS 501 & 503
D.B. 981 PG. 774

BOHLER ENGINEERING

22636 DAVIS DRIVE, SUITE 250
STERLING, VIRGINIA 20164
Phone: (703) 709-9500
Fax: (703) 709-9501
www.BohlerEngineering.com

COMMONWEALTH OF VIRGINIA

MICHAEL J. O'HARA JR.
Lic. No. 34168
11/14/14
PROFESSIONAL ENGINEER

SHEET TITLE:
SECTION VIEWS

SHEET NUMBER:
C-7.2
OF 33

APPROVED
SPECIAL USE PERMIT NO. DSUP 2013 - 0023
DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: _____ DATE: _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: _____ DATE: _____

DATE RECORDED: _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DRAWING NUMBER

82-003

82-003
1 of 1
Final Site Plan
Lots 501 & 502

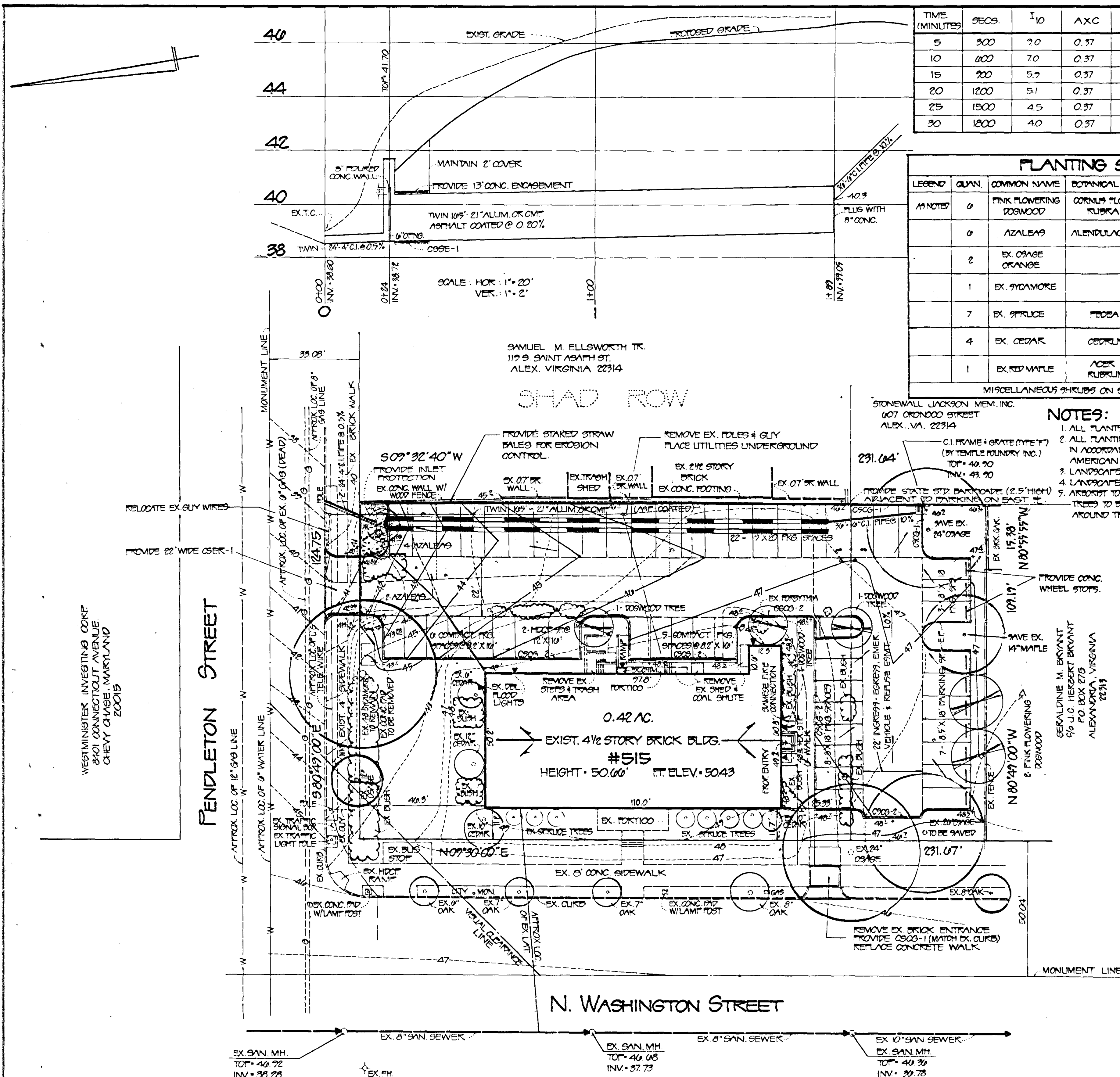
DRAWING NUMBER

PLAN HOLD CORPORATION • IRVINE, CALIFORNIA
RENDERED BY: HANDBUILDING
PLOT SCALE: 1" = 20'

PLAN HOLD CORPORATION • IRVINE, CALIFORNIA
RENDERED BY: HANDBUILDING
PLOT SCALE: 1" = 20'

PLAN HOLD CORPORATION • IRVINE, CALIFORNIA
RENDERED BY: HANDBUILDING
PLOT SCALE: 1" = 20'

PLAN HOLD CORPORATION • IRVINE, CALIFORNIA
RENDERED BY: HANDBUILDING
PLOT SCALE: 1" = 20'



BENCH MARK NOTE:
U.S.C. & G.S. MONUMENT (PENDLETON) LOCATED ON THE NORTHWEST FACE OF BUILDING (#515 N. WASHINGTON ST.) AT GROUND LEVEL ELEVATION = 42.20
RICHARD C. OR MILKED W. DVA9
600 N. WASH. ST.
ALEX. VIRGINIA 22314

FREEMAN, ILONA & SHARON K. LIEBERICH 4004 SHARPLAKE ALEX. VA. 22304	METROPOLITAN PRODUCTIONS INC. 522 N. WASHINGTON ST. ALEX. VA. 22314	GEORGE W. TOOLE 8015 QUEEN ELIZABETH BLVD ANNAPOLIS, VA. 22003	MITCHELL JAMES OR MARY H. 522 N. WASHINGTON ST. ALEX. VIRGINIA 22314	WARREN MARK JONES 811 MARSHALL LANE ALEXANDRIA, VA. 22302	LINDBERG CARL L. 514 N. WASH. ST. ALEXANDRIA, VA. 22314	SAME	SAMUEL B. OR ALICE D. CONCORDIA 912 N. WASH. ST. ALEX. VA. 22314	WILLIAM C. OR LEVIA M. 100 N. WASH. ST. ALEX. VA. 22314
---	---	--	--	---	---	------	---	---

TIME (MINUTES)	SECS	I ₁₀	A _X C	Q	RAINFALL VOL. C.F.	1.25 CFS DISCHARGE VOL. C.F.	MAX. STD. VOL. C.F.
5	300	2.0	0.37	3.27	987	387	600
10	600	7.0	0.37	2.56	1599	774	782
15	900	5.7	0.37	2.16	1944	1161	783
20	1200	5.1	0.37	1.86	2292	1548	684
25	1500	4.5	0.37	1.64	2660	1935	525
30	1800	4.0	0.37	1.46	2983	2322	300

PLANTING SCHEDULE							
LEGEND	QUAN	COMMON NAME	BOTANICAL NAME	COVER	MATURE HEIGHT	MATURE SPREAD	SIZE
A1 NOTED	0	PINK FLOWERING DOGWOOD	CORNUS FLORIDA RUBRA	914	30'	20'	2" - 2 1/2"
	0	AZALEAS	ALINDULACEA	12	15' - 24'	4'	10" - 18"
	2	EX. ORANGE ORANGE		1520	30'	44'	20"
	1	EX. SYCAMORE		2409	70'	50'	48"
	7	EX. SPRUCE	FECEA	38	30'	7'	8"
	4	EX. CEDAR	CEDELLUS	80	30'	10' - 15'	6" - 12"
	1	EX. RED MAPLE	ACER RUBRUM	2,019	75'	60'	14"
MISCELLANEOUS SHRUBS ON SITE - 800							

NOTES:
1. ALL PLANTS TO BE BEDDED IN 2" - 3" OF HARDWOOD MULCH.
2. ALL PLANTING AND LANDSCAPING TO BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE AMERICAN SOCIETY OF NURSERYMEN.
3. LANDSCAPE REQUIRED - 25' X 20' 877' - 7220' +
4. LANDSCAPE PROVIDED - 10,050' +
5. ARBORIST TO BE CONTRACTED TO PROVIDE TRIMMING OF TREES TO BE SAVED BEFORE PROPOSED DEVELOPMENT AROUND TREES BEGINS.

ADDITIONAL LANDSCAPE NOTES:
1. UNLESS OTHERWISE NOTED ALL TREES, BUSHES AND SHRUBS WITHIN THE NEW PARKING AREA AND ALONG THE EAST AND SOUTH SIDE OF THE EXISTING BUILDING SHALL BE REMOVED.
2. ALL TREES, BUSHES AND SHRUBS LOCATED ON THE WEST AND NORTH SIDE OF THE EXISTING BUILDING WILL REMAIN.

Released
4-8-82
CWD

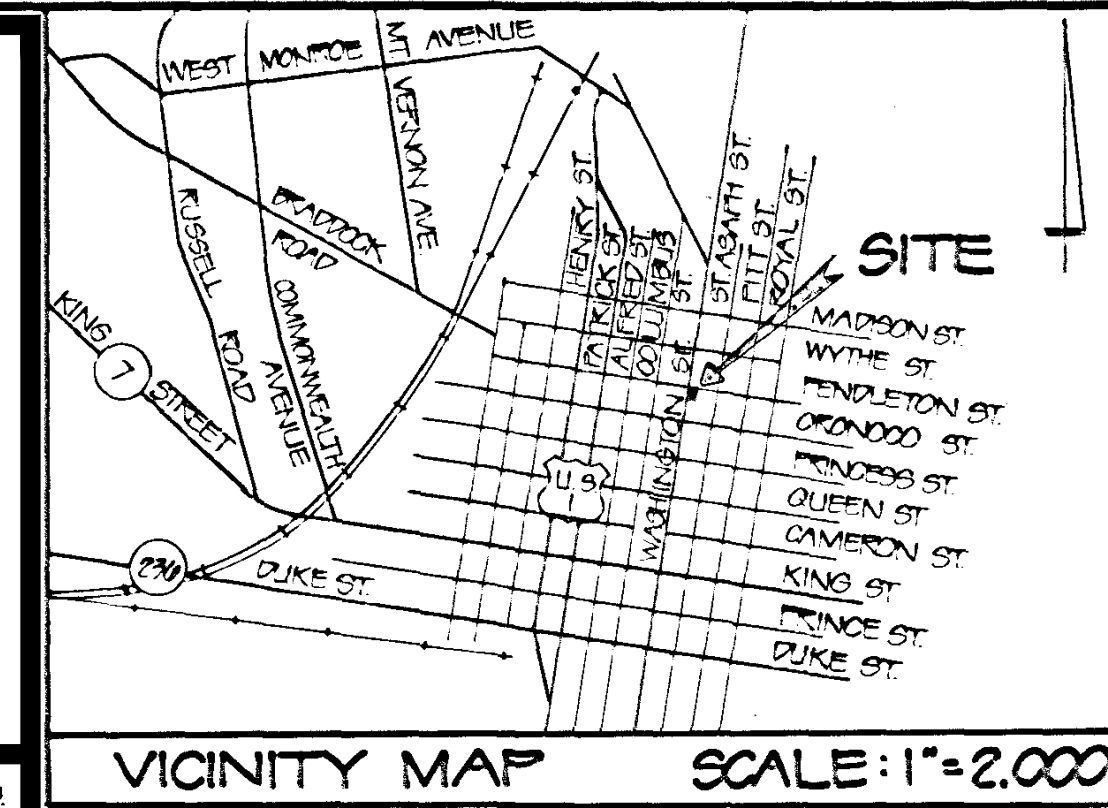
THIS PLAN TO BE UTILIZED FOR INFORMATIONAL PURPOSES ONLY

6" SOIL CEMENT FLAG MILL MIX TOP 2" 3.5 SIT SURFACE
TYPICAL ON SITE PAVEMENT NO SCALE

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION; INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.

DETENTION COMPUTATIONS	
Drainage Area = 0.42 AC	Time of Concentration = 5 min.
Intensity of 10 Year 5 min. = 1.20 inches/hour	
Predevelopment Runoff:	
$0.42 \times 0.52 \times 1.20 = 1.97 \text{ cfs}$	
Post-development Runoff:	
$0.42 \times 0.57 \times 1.20 = 3.20 \text{ cfs}$	
Increased Runoff = 1.23 cfs	
Detention Required:	
$1.23 \text{ cfs} \times 600 = 732 \text{ cu. ft.}$	
Storage Provided = 774 cu. ft.	
ORIFICE FORMULA: $Q = C A \sqrt{2gh}$	
$0.6 \times 0.20 \sqrt{2 \times 32.17 \times 1.75} = 1.23 \text{ cfs}$	



1.23 CFS EXITING THE ORIFICE WILL MATCH IN THE PRE AND POST CONDITION DUE TO THE SAME AMOUNT OF FLOW COMING INTO THE DETENTION SYSTEM

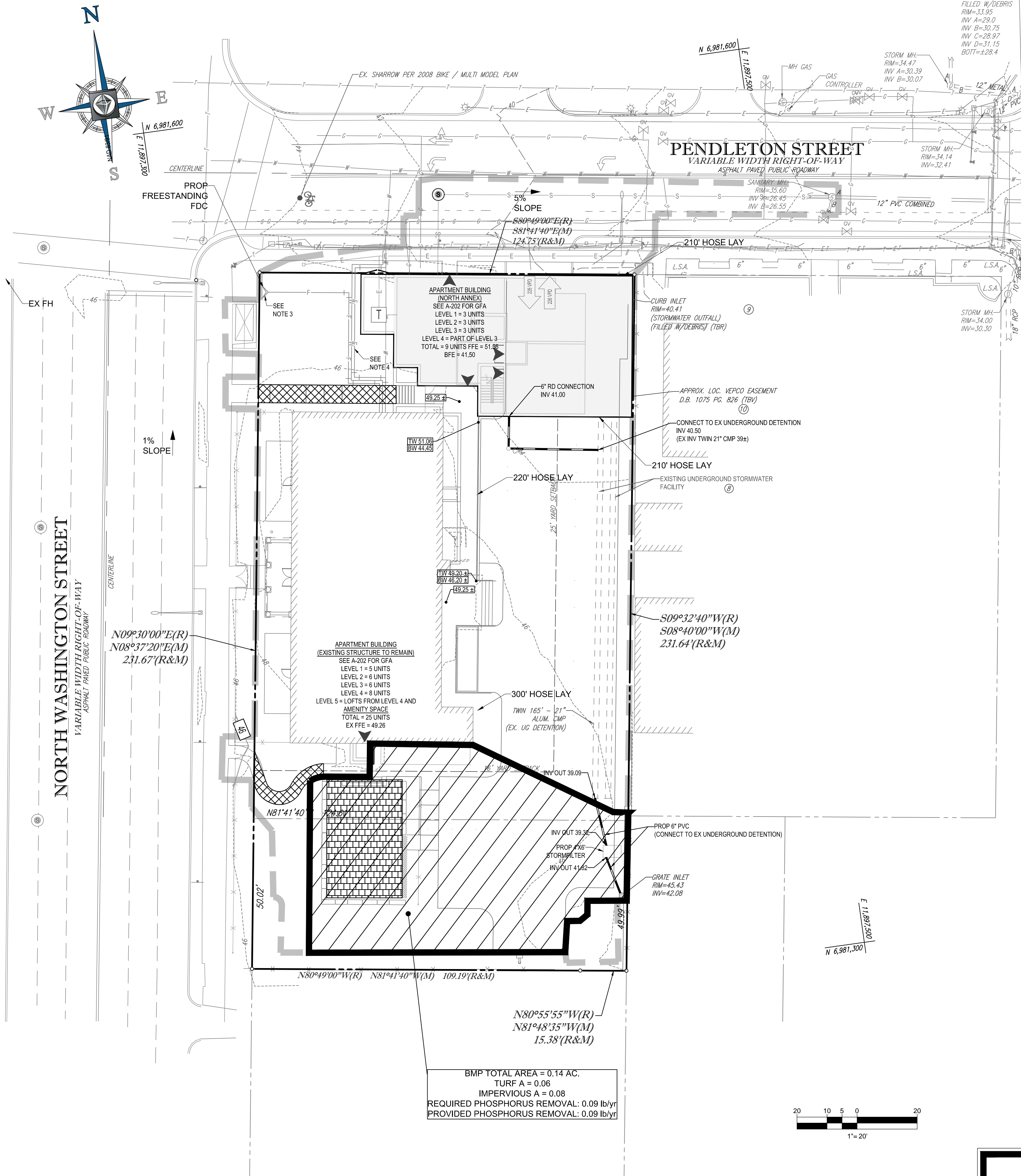
NOTES:

- OWNER: S.H. LIMITED PARTNERSHIP
218 N. LEE STREET SUITE 300
ALEXANDRIA, VIRGINIA
- CONTRACT PURCHASER: STEVEN DAVIS, MILLER & MOSHER BLDG. GROUP
1911 JEFF. DAVIS HWY., P.O. BOX 2027
SUITE 600, CRYSTAL MALL 1, ARL., VA. 22202
- TAX MAP: 04-02-4-1 & 101
- ZONE: C-3
- PROPOSED USE: OFFICE
- NPA OFFICES: 18,000' +
- PARKING:
 - REQUIRED: FULL SIZE PKG. 45' X 25' - 12
 - PROVIDED: FULL SIZE PKG. - 22
- TOTAL REQUIRED: 45 SPACES
- TOTAL PROVIDED: 53 SPACES
- EXISTING BLDG. AREA: 5,692' +
- TOTAL SITE AREA: 28,879' +
- JAN. 12, 1981 INSPECTION BY MACKLIN HANSEN REAL ESTATE THAT ALL 12-150 WATTS FLOOD LIGHTS ARE WORKING. -
- EX. 11' FOOT CANDLES
- PAK - 0.82

APPROVED
DEPT. OF TRANSPORTATION AND ENVIRONMENTAL SERVICES
ALEXANDRIA, VIRGINIA
CHAIRMAN OF PLANNING COMMISSION
DATE: 2/5/82
DIVISION OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

CITY MYLAR

Kenneth W. White KENNETH W. WHITE	
FINAL SITE PLAN	
LOTS 501 & 502	
C.D. FOUR No. 3 CITY OF ALEXANDRIA, VIRGINIA 82-003	
SCALE: 1" = 20'	DATE: JAN. 4, 1982
ALEXANDRIA SURVEYS, INC. 3105 COLVIN STREET ALEXANDRIA, VA 22314	
REVISION 1. REVISED AS PER COMMENTS	DATE 2/5/82



BMP NARRATIVE

SITE AREA: 0.66 AC
MANAGED TURF: 0.16 AC
IMPERVIOUS COVER: 0.50 AC
REQUIRED SWM TREATMENT FOR SITE AREA: 0.07 lb/yr (TP LOAD REDUCTION REQUIRED OR 20% FOR REDEVELOPED AREA)

ONSITE STORMFILTER BMP DRAINAGE AREA:

NARRATIVE:
THE BMP AREA IDENTIFIED FLOWS INTO AN EXISTING GRATE INLET IN THE SOUTHEAST PORTION OF THE SITE WHICH CONNECTS INTO A 4'X6' STORMFILTER WITH 45% PHOSPHORUS TREATMENT EFFICIENCY. SEE CALCULATIONS BELOW:

ONSITE DRAINAGE AREA TO BMP: 0.14 AC

0.08 AC IMPERVIOUS ACRES DRAINING TO GRATE INLET
0.06 AC MANAGED TURF DRAINING TO GRATE INLET

TOTAL PHOSPHORUS REMOVAL IN DRAINAGE AREA FROM TREE PIT BIORETENTION AREA: 0.09 lb/yr

SUMMARY:
THE TOTAL PHOSPHORUS REMOVAL FROM THE STORMFILTER PROPOSED YIELDS A PHOSPHORUS REMOVAL OF 0.09 lb/yr WHICH IS ABOVE THE REQUIRED 0.07 lb/yr. THUS THE REQUIREMENT IS MET. FINAL SITE PLAN SHALL DEMONSTRATE MINIMUM REMOVAL REQUIRED PER CODE PROVIDED.

SEE VRRM SPREADSHEETS SHEET C-8.1 AND C-8.2

PERVIOUS PAVERS NARRATIVE

PERVIOUS PAVERS ARE PROPOSED ON SITE BUT PROVIDE NO BMP TREATMENT. THE PLAYGROUND AREA IS CONSIDERED PERVIOUS FOR BMP CALCULATIONS. IMPERVIOUS AREA CALCULATIONS FOR THE WEIGHTED C VALUE TAKE INTO ACCOUNT A C VALUE OF 0.60 FOR THESE AREAS AND ARE CONSIDERED MANAGED TURF FOR THE PURPOSES OF THE VRRM SPREADSHEETS. SEE FIGURE 7.2 IN VIRGINIA DEQ STORMWATER DESIGN SPECIFICATION NO. 7 UNDER PERMEABLE PAVEMENT FOR SPECIFICATIONS USED IN PROPOSED DESIGN.

STORMWATER BEST MANAGEMENT PRACTICES (BMP) NOTES

THE STORMWATER BEST MANAGEMENT PRACTICES (BMP) REQUIRED FOR THIS PROJECT SHALL BE CONSTRUCTED AND INSTALLED UNDER THE DIRECT SUPERVISION OF THE DESIGN ENGINEER OR HIS DESIGNATED REPRESENTATIVE. THE DESIGN ENGINEER SHALL MAKE A WRITTEN CERTIFICATION TO THE CITY THAT THE BMPs ARE CONSTRUCTED AND INSTALLED AS DESIGNED AND IN ACCORDANCE WITH THE APPROVED SITE PLAN. IN ADDITION, AGGREGATE LAYERS AND COLLECTOR PIPES MAY NOT BE INSTALLED UNLESS THE DESIGN ENGINEER OR HIS REPRESENTATIVE IS PRESENT. THE CONTRACTOR SHALL FURNISH THE CITY WITH AN OPERATION AND MAINTENANCE MANUAL FOR ALL BMPs ON THE PROJECT. THE MANUAL SHALL INCLUDE AN EXPLANATION OF THE FUNCTIONS AND OPERATIONS OF EACH BMP AND ANY SUPPORTING UTILITIES, CATALOG CUTS ON ANY MECHANICAL OR ELECTRICAL EQUIPMENT AND A SCHEDULE OF ROUTINE MAINTENANCE FOR THE BMPs AND SUPPORTING EQUIPMENT.

STORMWATER BMP AND DETENTION FACILITIES MAINTENANCE AGREEMENT

THE APPLICANT SHALL SUBMIT TO THE CITY OF ALEXANDRIA A STORMWATER BMP AND DETENTION FACILITIES MAINTENANCE AGREEMENT WITH FINAL #2 SUBMISSION. THE MAINTENANCE AGREEMENT SHALL BE REGISTERED WITH ALEXANDRIA LAND RECORDS.

Project Description

Development or Redevelopment

Drainage Area	Impervious	Pervious	Total
Site Area	0.50 AC	0.16 AC	0.66 AC
On-Site Treated	0.08 AC	0.06 AC	0.14 AC
Off-Site Treated	0 AC	0 AC	0 AC
Total Treated	0.08 AC	0.06 AC	0.14 AC
Any On-Site Disconnected by a Vegetated Buffer (25 ft)	N/A		
Total On-Site Treated or Disconnected			0.14 AC

Water Treatment on site

BMP Type	Area treated by BMP (acres)	Impervious area treated by BMP (acres)	BMP efficiency (%)
STORMFILTER	0.14 AC	0.08 AC	45%

Miscellaneous

Total WQV treated: yes no
Detention on site: yes no

Project is within which watershed? POTOMAC RIVER

Project discharges to which body of water? POTOMAC RIVER

LEGEND

	DRAINAGE AREA TO BMP 0.15 AC
	PLAYGROUND AREA (0.60 C VALUE CALCULATED FOR IMPERVIOUS)
	PERMEABLE PAVERS (0.60 C VALUE CALCULATED FOR IMPERVIOUS)

APPROVED

SPECIAL USE PERMIT NO. DSUP 2013-0023
DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: DATE:

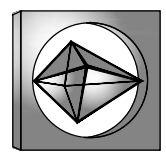
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: DATE:

DATE RECORDED:

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

BOHLER ENGINEERING



CORPORATE OFFICE:
WARREN, NJ

PROJECT MANAGERS:
SOUTH BORO, MA
TOWSON, MD
ALBANY, NY
CHALFONT, PA
TAMPA, FL
PHILADELPHIA, PA
CHARLOTTE, NC

LANDSCAPE ARCHITECTS:
TAMPA, FL

REVISIONS

REV	DATE	COMMENT	BY
1	11/14/14	DSUP COMPLETENESS COMMENTS	IS



THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, NORTH CAROLINA AND DELAWARE CALL: 811 (NV 1-800-246-4848) (PA 1-800-242-1776) (DC 1-800-257-7777) (VA 1-800-552-7901) (MD 1-800-257-7777) (DE 1-800-282-8600)

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: S132117
DRAWN BY: IS
CHECKED BY: MT
DATE: 10/31/14
SCALE: 1"=20'
CAD I.D.: SW1

PROJECT:
DEVELOPMENT
SPECIAL USE PERMIT (DSUP)
FOR
CAS REIGLER

LOCATION OF SITE
515 NORTH WASHINGTON STREET
CITY OF ALEXANDRIA, VA
LOTS 501 & 503
D.B. 981 PG. 774

BOHLER ENGINEERING

22636 DAVIS DRIVE, SUITE 250
STERLING, VIRGINIA 20164
Phone: (703) 709-9500
Fax: (703) 709-9501
www.BohlerEngineering.com

COMMONWEALTH OF VIRGINIA
MICHAEL J. O'HARA JR.
Lic. No. 34168
11/14/14
PROFESSIONAL ENGINEER

SHEET TITLE:

BMP PLAN

SHEET NUMBER:

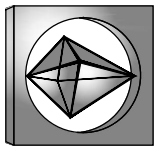
C-8.0
OF 33

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL, STATE AND FEDERAL CODES.

Virginia Runoff Reduction Method ReDevelopment Worksheet v2.7 Revised April 2013									
Site Data									
Project Name:	515 North Washington								
Date: 5/20/14									
	data input cells								
	calculation cells								
	constant values								
Post-ReDevelopment Project & Land Cover Information					Total Disturbed Acreage	0.53			
Constants									
Annual Rainfall (inches)	43								
Target Rainfall Event (inches)	1.00								
Phosphorus EMC (mg/L)	0.26				Nitrogen EMC (mg/L)	1.86			
Target Phosphorus Target Load (lb/acre/yr)	0.41								
Pj	0.90								
Pre-ReDevelopment Land Cover (acres)									
	A soils	B Soils	C Soils	D Soils	Totals				
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00				
Managed Turf (acres) -- disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.13	0.13				
Impervious Cover (acres)	0.00	0.00	0.00	0.53	0.53				
				Total	0.66				
Post-ReDevelopment Land Cover (acres)									
	A soils	B Soils	C Soils	D Soils	Totals				
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00				
Managed Turf (acres) -- disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.16	0.16				
Impervious Cover (acres)	0.00	0.00	0.00	0.50	0.50				
				Total	0.66				
Area Check	Okay	Okay	Okay	Okay					
Rv Coefficients									
	A soils	B Soils	C Soils	D Soils					
Forest/Open Space	0.02	0.03	0.04	0.05					
Managed Turf	0.15	0.20	0.22	0.25					
Impervious Cover	0.95	0.95	0.95	0.95					
Land Cover Summary		Listed	Adjusted1	Land Cover Summary			Land Cover Summary		
Pre-ReDevelopment				Post-ReDevelopment			Post-ReDevelopment New Impervious		
Forest/Open Space Cover (acres)	0.00	0.00		Forest/Open Space Cover (acres)	0.00				
Composite Rv(forest)	0.00	0.00		Composite Rv(forest)	0.00				
% Forest	0%	0%		% Forest	0%				
Managed Turf Cover (acres)	0.13	0.13		Managed Turf Cover (acres)	0.16				
Composite Rv(turf)	0.25	0.25		Composite Rv(turf)	0.25				
% Managed Turf	20%	20%		% Managed Turf	24%				
Impervious Cover (acres)	0.53	0.53		ReDev. Impervious Cover (acres)	0.50		New Impervious Cover (acres)	0.00	
Rv(impervious)	0.95	0.95		Rv(impervious)	0.95		Rv(impervious)	0.95	
% Impervious	80%	80%		% Impervious	76%		% Impervious	Check Area	
Total Site Area (acres)	0.66	0.66		Total ReDev. Site Area (acres)	0.66		Total New Dev. Site Area (acres)	0.00	
Site Rv	0.81	0.81		ReDev. Site Rv	0.78		New Dev. Site Rv	0.95	
Pre-Development Treatment Volume (acre-ft)		0.0447	0.0447	Post-ReDevelopment Treatment Volume (acre-ft)	0.0429		Post-Development Treatment Volume (acre-ft)	0.0000	
Pre-Development Treatment Volume (cubic feet)		1,946	1,946	Post-ReDevelopment Treatment Volume (cubic feet)	1,869		Post-Development Treatment Volume (cubic feet)	0	
Pre-Development Load (TP) (lb/yr)		1.22	1.22	Post-ReDevelopment Load (TP) (lb/yr)	1.17		Post-Development Load (TP) (lb/yr)	0.00	
1Adjusted Land Cover Summary reflects the pre redevelopment land cover minus the pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover. The adjusted total acreage is consistent with the Post Redevelopment acreage (minus the acreage of new impervious cover). The load reduction requirement for the new impervious cover to meet the new development load limit is computed in Column I.		Maximum % Reduction Required Below Pre-ReDevelopment Load				10%			
		TP Load Reduction Required for Redeveloped Area (lb/yr)				0.07		TP Load Reduction Required for New Impervious Area (lb/yr)	0.00
		Total Load Reduction Required (lb/yr)				0.07			
Pre-Development Load (TN) (lb/yr)		8.75		Post-Development Load (TN) (lb/yr)	8.40				

TOTAL SITE AREA: 0.66 AC
PHOSPHORUS REMOVAL REQUIRED: 0.07 lb/yr
BMP AREA: 0.14 AC
BMP TYPE: STORMFILTER
BMP PHOSPHORUS REMOVAL EFFICIENCY: 45%
PHOSPHORUS REMOVAL PROVIDED: 0.09 lb/yr

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BOHLER
ENGINEERING

CORPORATE OFFICE:
♦ WARREN, NJ

SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

♦ SOUTH BOROUGHS, MA
♦ TOWSON, MD
♦ ALBANY, NY
♦ CHALFONT, PA
♦ TAMPA, FL
♦ WARREN, NJ
♦ WARRENTON, VA
♦ PHILADELPHIA, PA
♦ CHARLOTTE, NC

REVISIONS				
REV	DATE	COMMENT	BY	IS
1	11/14/14	DSUP COMPLETENESS COMMENTS		




THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE, IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, NORTH CAROLINA AND DELAWARE CALL: 811
(NV 1-800-246-4848) (PA 1-800-242-1776) (DC 1-800-257-7777) (VA 1-800-552-7901) (MD 1-800-257-7777) (DE 1-800-282-8600)

NOT APPROVED FOR
CONSTRUCTION

PROJECT No.: S132117
DRAWN BY: IS
CHECKED BY: MT
DATE: 10/3/14
SCALE: 1"=20'
CAD I.D.: SW1


DEVELOPMENT
SPECIAL USE
PERMIT (DSUP)
FOR
CAS REIGLER

LOCATION OF SITE
515 NORTH
WASHINGTON STREET
CITY OF ALEXANDRIA, VA
LOTS 501 & 503
D.B. 981 PG. 774



BOHLER
ENGINEERING

22636 DAVIS DRIVE, SUITE 250
STERLING, VIRGINIA 20164
Phone: (703) 709-9500
Fax: (703) 709-9501
www.BohlerEngineering.com



COMMONWEALTH OF VIRGINIA
MICHAEL J. O'HARA JR.
Lic. No. 34168
11/14/14
PROFESSIONAL ENGINEER

SHEET TITLE:
STORMWATER
VRRM
SPREADSHEETS

SHEET NUMBER:
C-8.1
OF 33

APPROVED
SPECIAL USE PERMIT NO. DSUP 2013-0023
DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: _____ DATE: _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: _____ DATE: _____

DATE RECORDED: _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

GENERAL NOTE:

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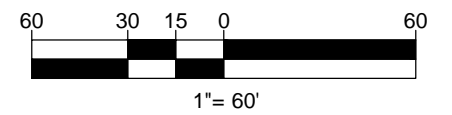
APPROVED	
SPECIAL USE PERMIT NO. <u>DSUP 2013 - 0023</u>	
DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT	
DIRECTOR: _____	DATE: _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
DIRECTOR: _____	DATE: _____
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

SHEET TITLE:

STORMWATER
VRRM
SPREADSHEETS

SHEET NUMBER:

C-8.2
OF 33



H:\31\S132117\DRAWINGS\PLAN SETS\OSUP PLAN\S132117S01.DWG PRINTED BY: LPUTNEY 11.12.14 @ 1:50 PM LAST SAVED BY: LPUTNEY

EXISTING SANITARY SEWER COMPUTATIONS FOR THE SEWER MAIN ON WOLFE STREET							n = 0.013	
PIPE	INV. HEIGHT (FT-ELEV)	INV. LOW (FT-ELEV)	PIPE LENGTH (FT)	PIPE SIZE (IN)	PIPE SLOPE (%)	CAPACITY (CFS)	PROJECTED FLOWS (CFS)	% FULL
8	26.45	24.33	71.33	10	2.97%	3.79	0.41	10.95%
7	24.33	23.41	27	10	3.41%	4.06	0.41	10.23%
6	23.24	15.05	267	12	3.07%	6.26	0.48	7.73%
5	14.95	13.56	52	12	2.67%	5.84	0.48	8.28%
4'	13.56	13.47	316.77	12	0.03%	0.62	0.48	78.20%
3'	13.465	13.38	300	15	0.03%	1.12	0.90	79.86%
2'	13.375	13.30	258	15	0.03%	1.12	0.90	79.81%
1'	13.2975	13.27	96	15	0.03%	1.12	0.90	79.86%

* PIPE INVERTS ARE UNKNOWN, A 0.03% PIPE SLOPE WAS ASSUMED

1. ENTITLED, "POTOMAC PLAZA OFFSITE SANITARY SEWER PLAN" PREPARED BY BOWMAN CONSULTING, DATED MAY 2004, REVISED AUGUST 24, 2004, FILE # 1744-D-CP-002."

2. CITY OF ALEXANDRIA'S GIS PARCEL VIEWER AND SEWER VIEWER.

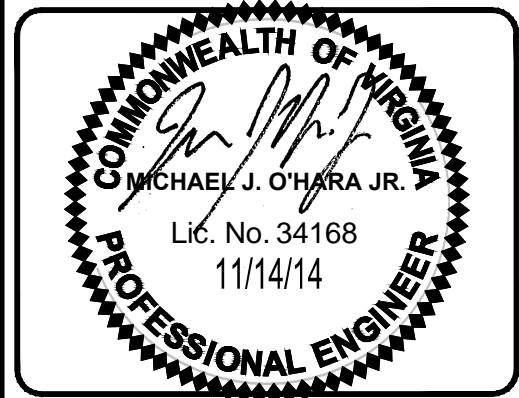
[illegible]

NOT APPROVED FOR
CONSTRUCTION

PROJECT No.:	S132117
DRAWN BY:	IS
CHECKED BY:	MT
DATE:	10/3/14
SCALE:	1"=20'
CAD I.D.:	SO1

PROJECT:
DEVELOPMENT
SPECIAL USE
PERMIT (DSUP)
FOR
CAS REIGLER

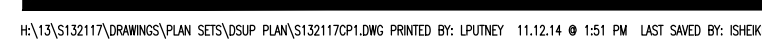
LOCATION OF SITE
515 NORTH
WASHINGTON STREET
CITY OF ALEXANDRIA, VA
LOTS 501 & 503
D.B. 981 PG. 774

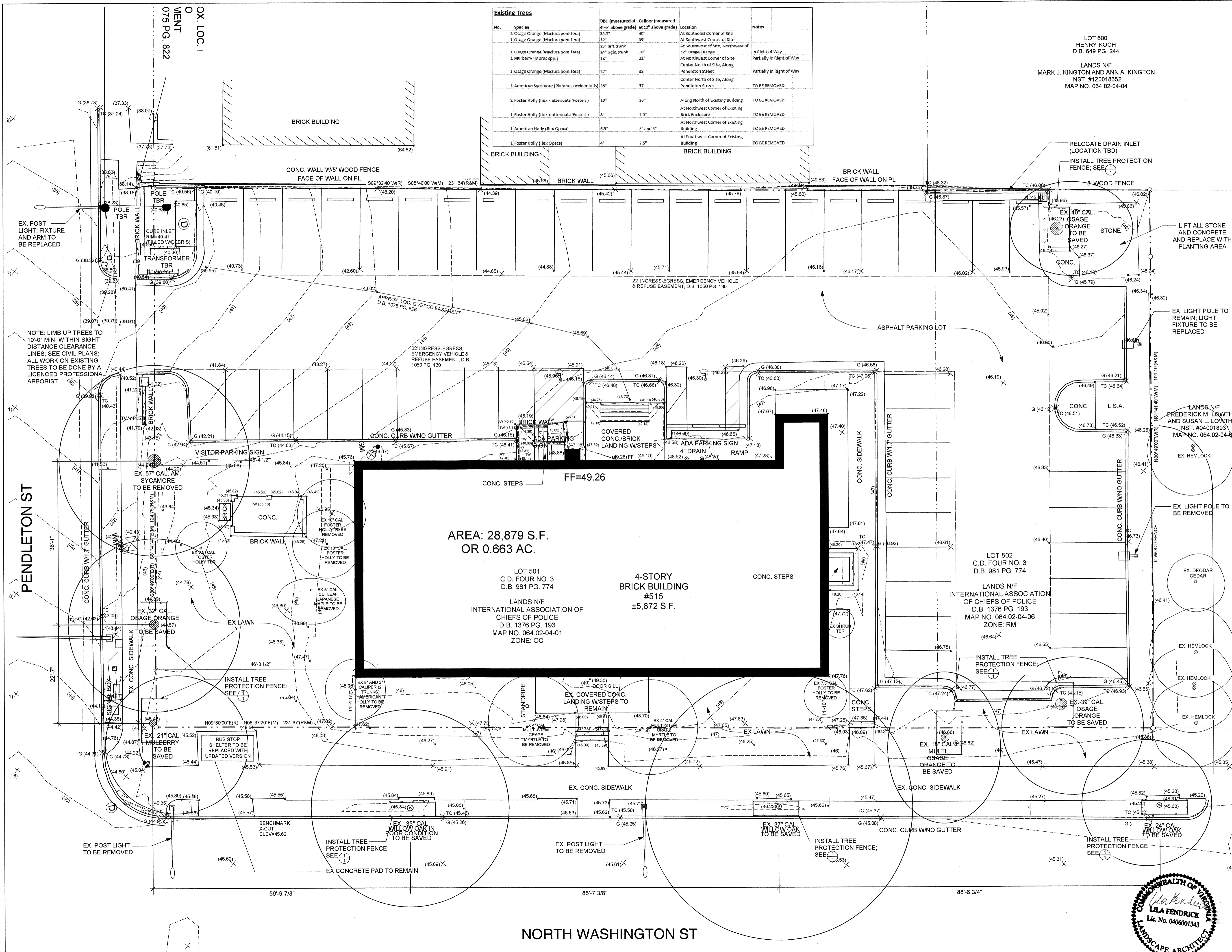


SHEET TITLE:
<div>SANITARY OUTFALL ANALYSIS</div>
SHEET NUMBER:
<div>C-9.1 OF 33</div>

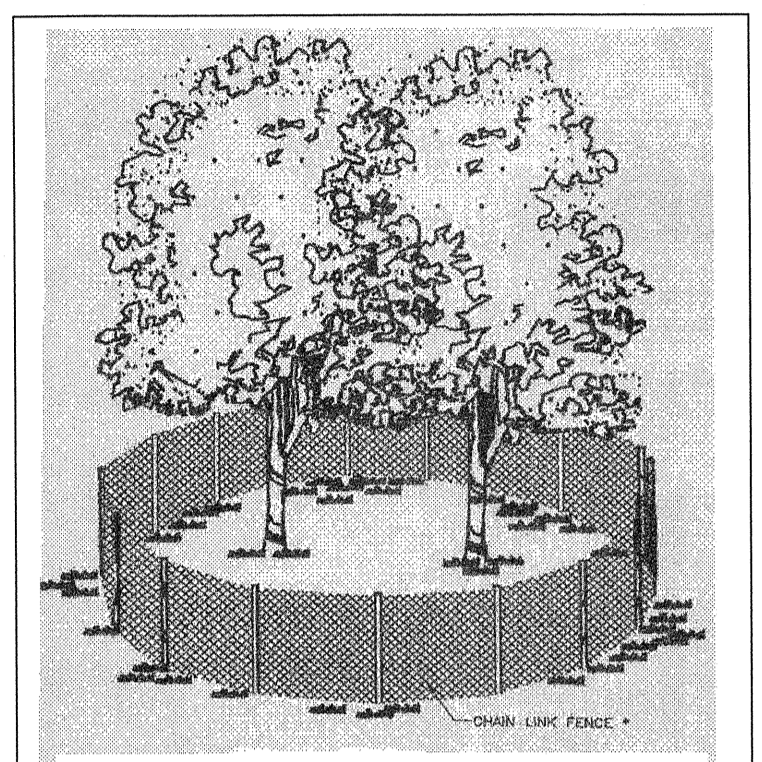
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Existing Trees		DH (measured at 4'-6" above grade)	Caliper (measured at 12" above grade)	Location	Notes
No.	Species				
1	Osage Orange (Maclura pomifera)	35.5"	40"	At Southeast Corner of Site	
1	Osage Orange (Maclura pomifera)	32"	39"	At Southwest Corner of Site	
1	Osage Orange (Maclura pomifera)	23" left trunk	18"	At Southwest of Site, Northwest of 32" Osage Orange	In Right of Way
1	Mulberry (Morus spp.)	14" right trunk	21"	At Northwest Corner of Site	Partially in Right of Way
1	Osage Orange (Maclura pomifera)	27"	32"	Center North of Site, Along Pendleton Street	Partially in Right of Way
1	American Sycamore (Platanus occidentalis)	36"	57"	Center North of Site, Along Pendleton Street	TO BE REMOVED
2	Foster Holly (Ilex x attenuata 'Fosteri')	10"	10"	Along North of Existing Building	TO BE REMOVED
1	Foster Holly (Ilex x attenuata 'Fosteri')	8"	7.5"	At Northwest Corner of Existing Brick Enclosure	TO BE REMOVED
1	American Holly (Ilex Opaca)	6.5"	8" and 3"	At Northwest Corner of Existing Building	TO BE REMOVED
1	Foster Holly (Ilex Opaca)	4"	7.5"	At Southwest Corner of Existing Building	TO BE REMOVED



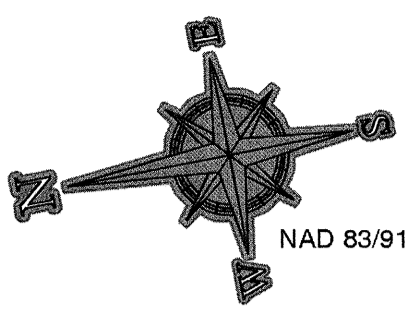
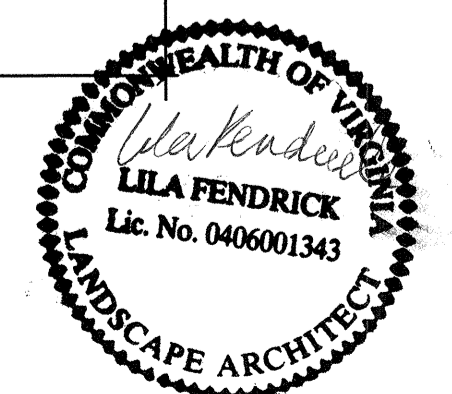
TREE PROTECTION SHALL BE A MINIMUM 4'-0" WELDED WIRE MESH FENCE MOUNTED ON VERTICAL METAL STAKES DRIVEN 8'-10" INTO THE GROUND WITH NO GATES.

1 TREE PROTECTION FENCE
1 ELEVATION SCALE: N.T.S.

GENERAL NOTES
1. TOPOGRAPHIC AND BOUNDARY SURVEY BY
2. FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NET/ITC 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION.
3. ALL SUBSURFACE PIPES TO BE RIGID PVC PIPE.

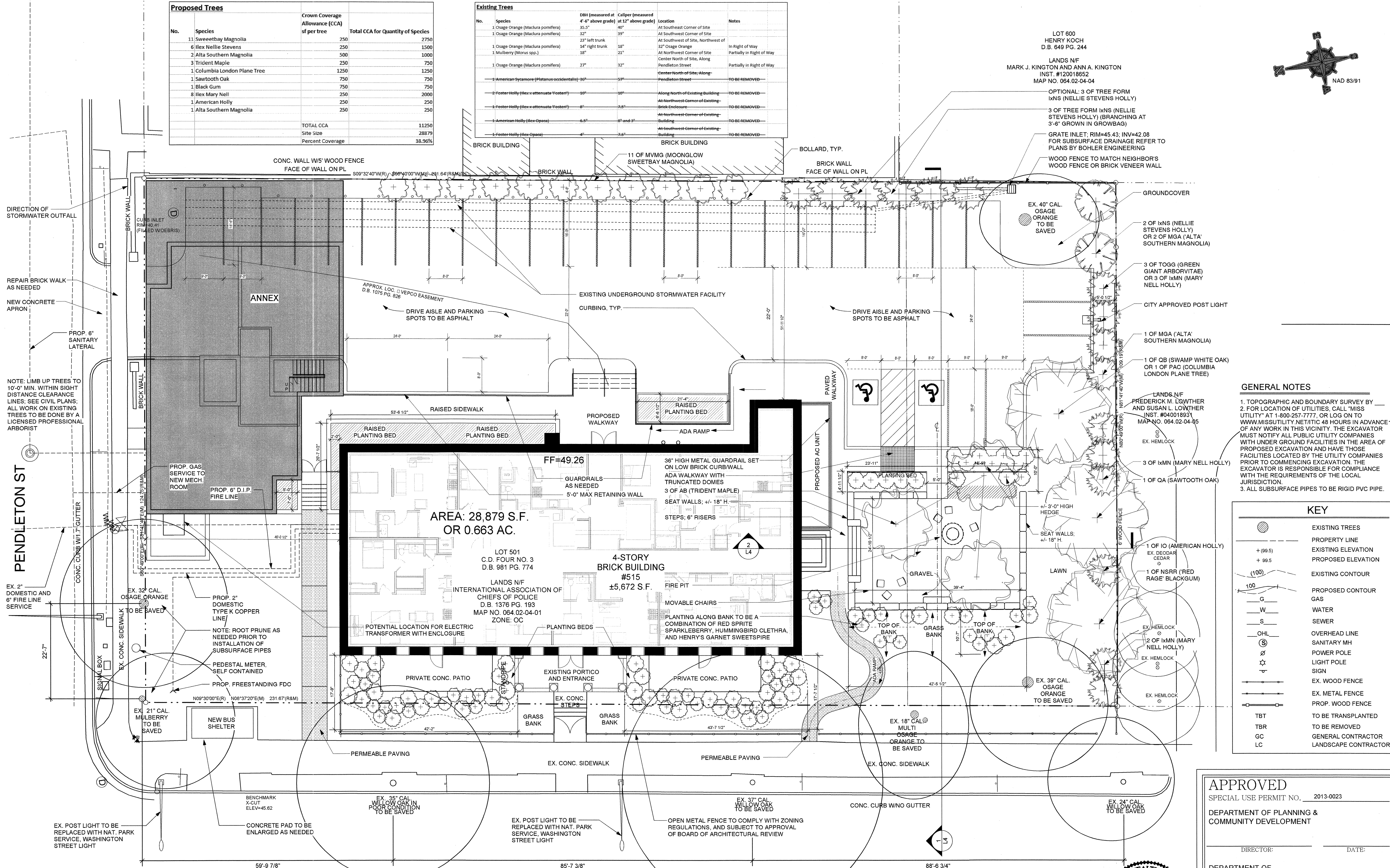
KEY	
	EXISTING TREES
	PROPERTY LINE
	EXISTING ELEVATION
	PROPOSED ELEVATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	GAS
	WATER
	SEWER
	OVERHEAD LINE
	SANITARY MH
	POWER POLE
	LIGHT POLE
	SIGN
	EX. WOOD FENCE
	EX. METAL FENCE
	PROP. WOOD FENCE
	TO BE TRANSPLANTED
	TO BE REMOVED
	GENERAL CONTRACTOR
	LANDSCAPE CONTRACTOR

APPROVED
SPECIAL USE PERMIT NO. 2013-0023
DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR: _____ DATE: _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
DIRECTOR: _____ DATE: _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



Proposed Trees			
No.	Species	Crown Coverage Allowance (CCA) sf per tree	Total CCA for Quantity of Species
11	Sweetbay Magnolia	250	2750
6	Ilex Nellie Stevens	250	1500
2	Alta Southern Magnolia	500	1000
3	Trident Maple	250	750
1	Columbia London Plane Tree	1250	1250
1	Sawtooth Oak	750	750
1	Black Gum	750	750
8	Ilex Mary Nell	250	2000
1	American Holly	250	250
1	Alta Southern Magnolia	250	250
TOTAL CCA			11250
Site Size			28879
Percent Coverage			38.96%

Existing Trees				
No.	Species	DBH (measured at 4'-6" above grade)	Caliper (measured at 12" above grade)	Location
1	Osage Orange (Maclura pomifera)	35.5"	40"	At Southeast Corner of Site
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1	American Holly (Ilex Opaca)	6.5"	8" and 3"	At Southwest Corner of Existing Building
1	Foster Holly (Ilex Opaca)	4"	7.5"	Building



- GENERAL NOTES**
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	PROPOSED ELEVATION
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	GAS
	WATER
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	LIGHT POLE
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	EX. WOOD FENCE
	EX. METAL FENCE
	PROP. WOOD FENCE
	TO BE TRANSPLANTED
	TO BE REMOVED
	GENERAL CONTRACTOR
	LANDSCAPE CONTRACTOR

APPROVED
SPECIAL USE PERMIT NO. 2013-0023
DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: _____ DATE: _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

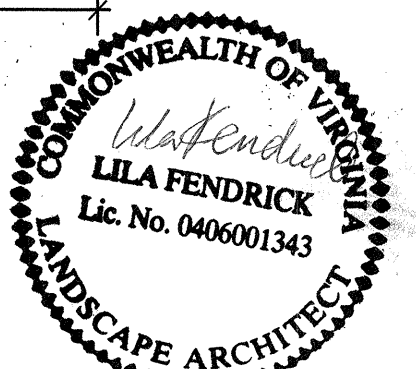
DIRECTOR: _____ DATE: _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

NOTE: FOR PLAN AT SCALE OF 1"=20'-0" AND ALTERNATE ORIENTATION, SEE SHEET L2; FOR TABLE OF EXISTING AND PROPOSED TREES AND CROWN COVERAGE ALLOWANCE, SEE SHEET 2

NORTH WASHINGTON ST



Existing Trees				
No.	Species	DBH (measured at 4'-6" above grade)	Caliper (measured at 12" above grade)	Location
1	Osage Orange (Maclura pomifera)	33.5"	40"	At Southwest Corner of Site
1	Osage Orange (Maclura pomifera)	32"	39"	At Southwest Corner of Site
1	Osage Orange (Maclura pomifera)	23" left trunk	18"	At Southwest of Site, Northwest of
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Proposed Trees			
No.	Species	Crown Coverage Allowance (CCA) sf per tree	Total CCA for Quantity of Species
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1	American Holly	250	250
1	Alta Southern Magnolia	250	250
TOTAL CCA			11250
Site Size			28879
Percent Coverage			38.96%

FOR LOCATION OF SPECIES, SEE SHEET L2

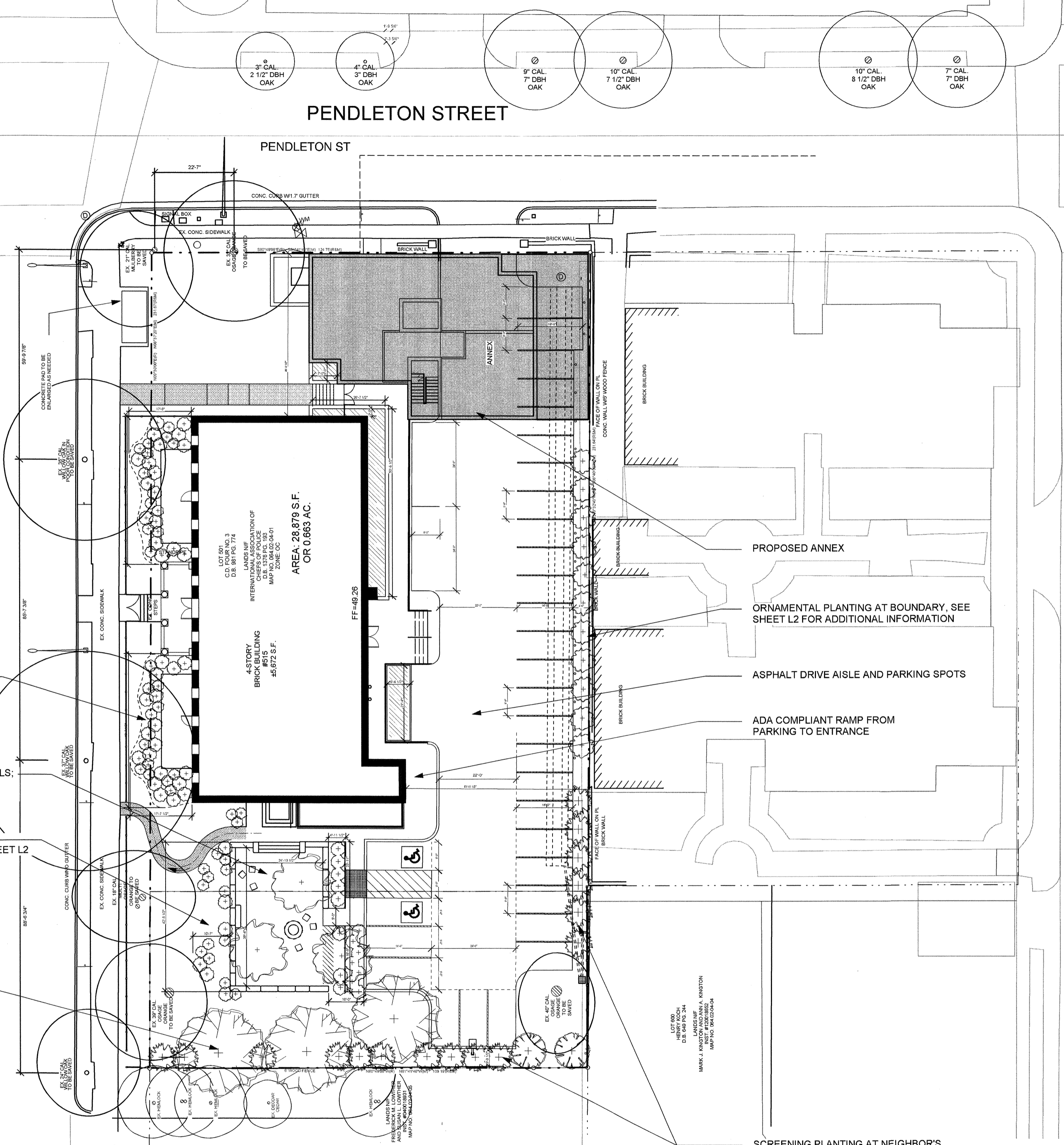
NORTH WASHINGTON STREET

PLANTING BED AROUND FRONT PATIOS

GRAVEL COURTYARD WITH SEAT WALLS; FOR ADDITIONAL INFORMATION AND PLANTING, SEE SHEET L2

PLANTED BERM ALONG EDGE OF COURTYARD; FOR PLANTING, SEE SHEET L2

SHADE TREES, FOR SPECIES, SEE SHEET L2



NOTE: FOR ENLARGEMENT AND ADDITIONAL DETAIL, SEE SHEET L2

- GENERAL NOTES**
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 3. ALL SUBSURFACE PIPES TO BE RIGID PVC PIPE.

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	EXISTING ELEVATION
	PROPOSED ELEVATION
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	EX. WOOD FENCE
	EX. METAL FENCE
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	TO BE TRANSPLANTED
	TO BE REMOVED
	GENERAL CONTRACTOR
	LANDSCAPE CONTRACTOR

APPROVED

SPECIAL USE PERMIT NO. 2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

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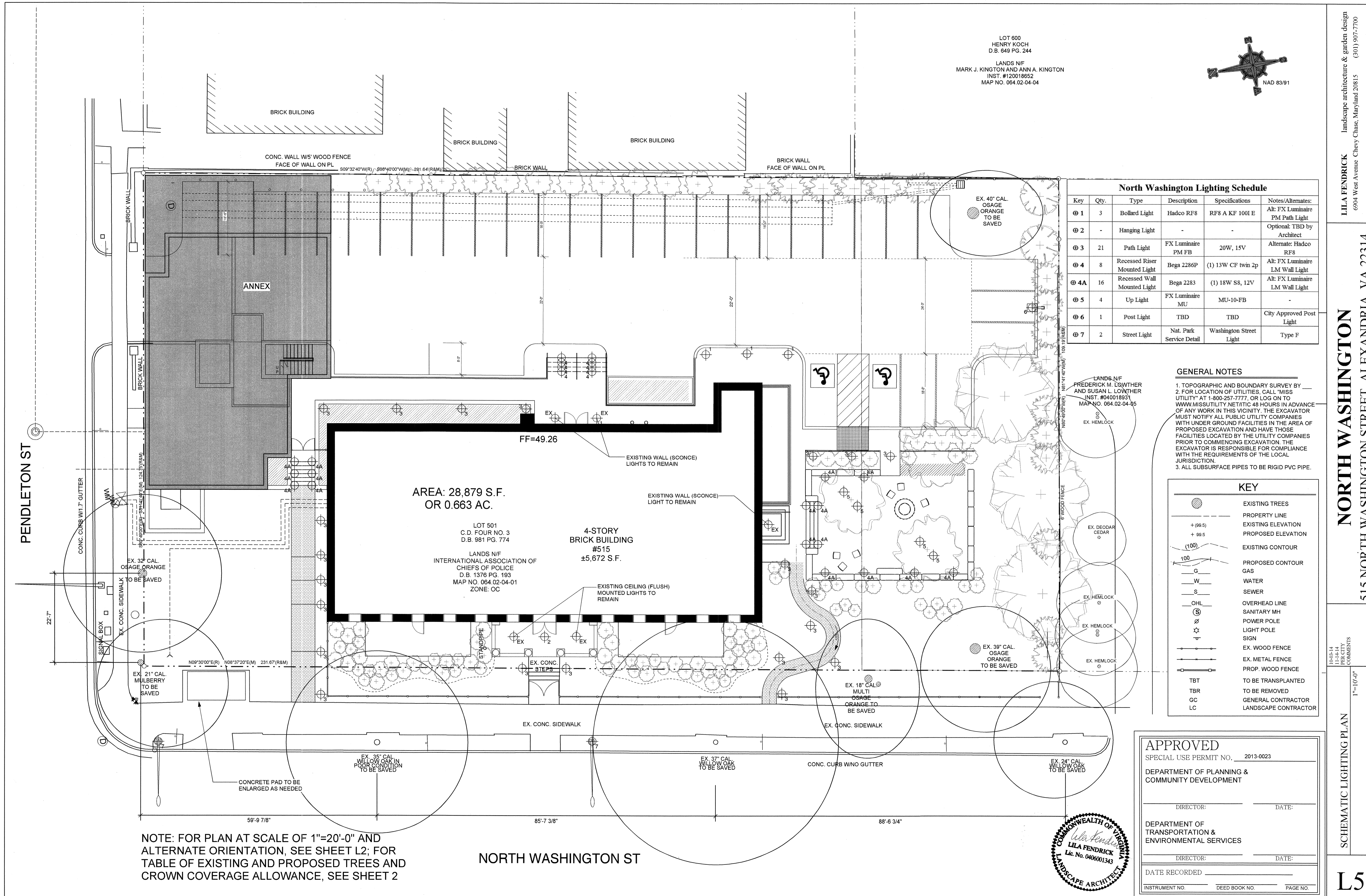




1. TOPOGRAPHIC AND BOUNDARY SURVEY BY _____
2. FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-252-7777, OR LOG ON TO WWW.MISSUTILITY.NET 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST STAY AT ALL TIMES IN CONTACT WITH MISS UTILITY WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE LOCAL JURISDICTION.
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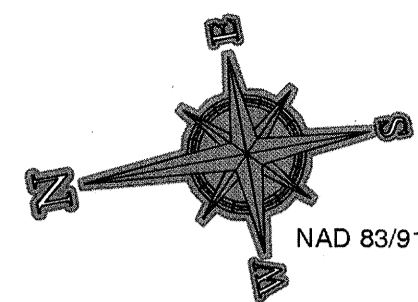


APPROVED	
SPECIAL USE PERMIT NO. 2013-0023	
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DIRECTOR: _____	DATE: _____
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INSTRUMENT NO. _____	PAGE NO. _____



LOT 600
HENRY KOCH
D.B. 649 PG. 244

LANDS N/F
MARK J. KINGTON AND ANN A. KINGTON
INST. #120018652
MAP NO. 064.02-04-04



North Washington Lighting Schedule					
Key	Qty.	Type	Description	Specifications	Notes/Alternates:
⊕ 1	3	Bollard Light	Hadco RF8	RF8 A KF 1001 E	Alt: FX Luminaire PM Path Light
⊕ 2	-	Hanging Light	-	-	Optional: TBD by Architect
⊕ 3	21	Path Light	FX Luminaire PM FB	20W, 15V	Alternate: Hadco RF8
⊕ 4	8	Recessed Riser Mounted Light	Bega 2286P	(1) 13W CF twin 2p	Alt: FX Luminaire LM Wall Light
⊕ 4A	16	Recessed Wall Mounted Light	Bega 2283	(1) 18W S8, 12V	Alt: FX Luminaire LM Wall Light
⊕ 5	4	Up Light	FX Luminaire MU	MU-10-FB	-
⊕ 6	1	Post Light	TBD	TBD	City Approved Post Light
⊕ 7	2	Street Light	Nat. Park Service Detail	Washington Street Light	Type F

GENERAL NOTES

1. TOPOGRAPHIC AND BOUNDARY SURVEY BY
2. FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NET/ITIC 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION.

3. ALL SUBSURFACE PIPES TO BE RIGID PVC PIPE.

KEY	
	EXISTING TREES
	PROPERTY LINE
	EXISTING ELEVATION
	PROPOSED ELEVATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	GAS
	WATER
	SEWER
	OVERHEAD LINE
	SANITARY MH
	POWER POLE
	LIGHT POLE
	SIGN
	EX. WOOD FENCE
	EX. METAL FENCE
	PROP. WOOD FENCE
	TO BE TRANSPLANTED
	TO BE REMOVED
	GENERAL CONTRACTOR
	LANDSCAPE CONTRACTOR

APPROVED

SPECIAL USE PERMIT NO. 2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

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NOTE: FOR PLAN AT SCALE OF 1"=20'-0" AND ALTERNATE ORIENTATION, SEE SHEET L2; FOR TABLE OF EXISTING AND PROPOSED TREES AND CROWN COVERAGE ALLOWANCE, SEE SHEET 2

NORTH WASHINGTON ST



SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES

No.	Drawing Issue Description	Date
1	STAGE II CONCEPT	04/17/2014
2	CONCEPT 3	06/20/2014
3	DSUP	10/03/2014
4	PER CITY COMMENTS	11/14/2014



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515 NORTH WASHINGTON
REUSE RESIDENTIAL

515 NORTH WASHINGTON ST,
ALEXANDRIA, VA 22314

CAS RIEGLER COMPANIES

ARCHITECTURAL CONCEPT
PLANS

DAVID KITCHENS, AIA	20130161
Principal-in-Charge	Project No.
---	10/03/2014
Project Manager	Date
BRANDON R. LENK	
Project Architect	

Staff Architect	

A 1.01

Drawing No.

NOT ISSUED FOR CONSTRUCTION

UNIT SCHEDULE - EXISTING

Number	Level	Name	Unit Type
101	LEVEL 1	UNIT 101	1 BR
102	LEVEL 1	UNIT 102	1 BR
103	LEVEL 1	UNIT 103	STUDIO
105	LEVEL 1	UNIT 105	2 BR
106	LEVEL 1	UNIT 106	2 BR
107	LEVEL 1	UNIT 107	STUDIO

201	LEVEL 2	UNIT 201	1 BR
202	LEVEL 2	UNIT 202	1 BR
203	LEVEL 2	UNIT 203	STUDIO
204	LEVEL 2	UNIT 204	STUDIO
205	LEVEL 2	UNIT 205	1 BR
206	LEVEL 2	UNIT 206	2 BR
207	LEVEL 2	UNIT 207	STUDIO

301	LEVEL 3	UNIT 301	1 BR
302	LEVEL 3	UNIT 302	1 BR
303	LEVEL 3	UNIT 303	STUDIO
304	LEVEL 3	UNIT 304	STUDIO
305	LEVEL 3	UNIT 305	1 BR
306	LEVEL 3	UNIT 306	2 BR
307	LEVEL 3	UNIT 307	STUDIO

401	LEVEL 4	UNIT 401	2 BR
402	LEVEL 4	UNIT 402	2 BR
403	LEVEL 4	UNIT 403	1 BR
404	LEVEL 4	UNIT 404	2 BR
405	LEVEL 4	UNIT 405	2 BR

Grand total: 25

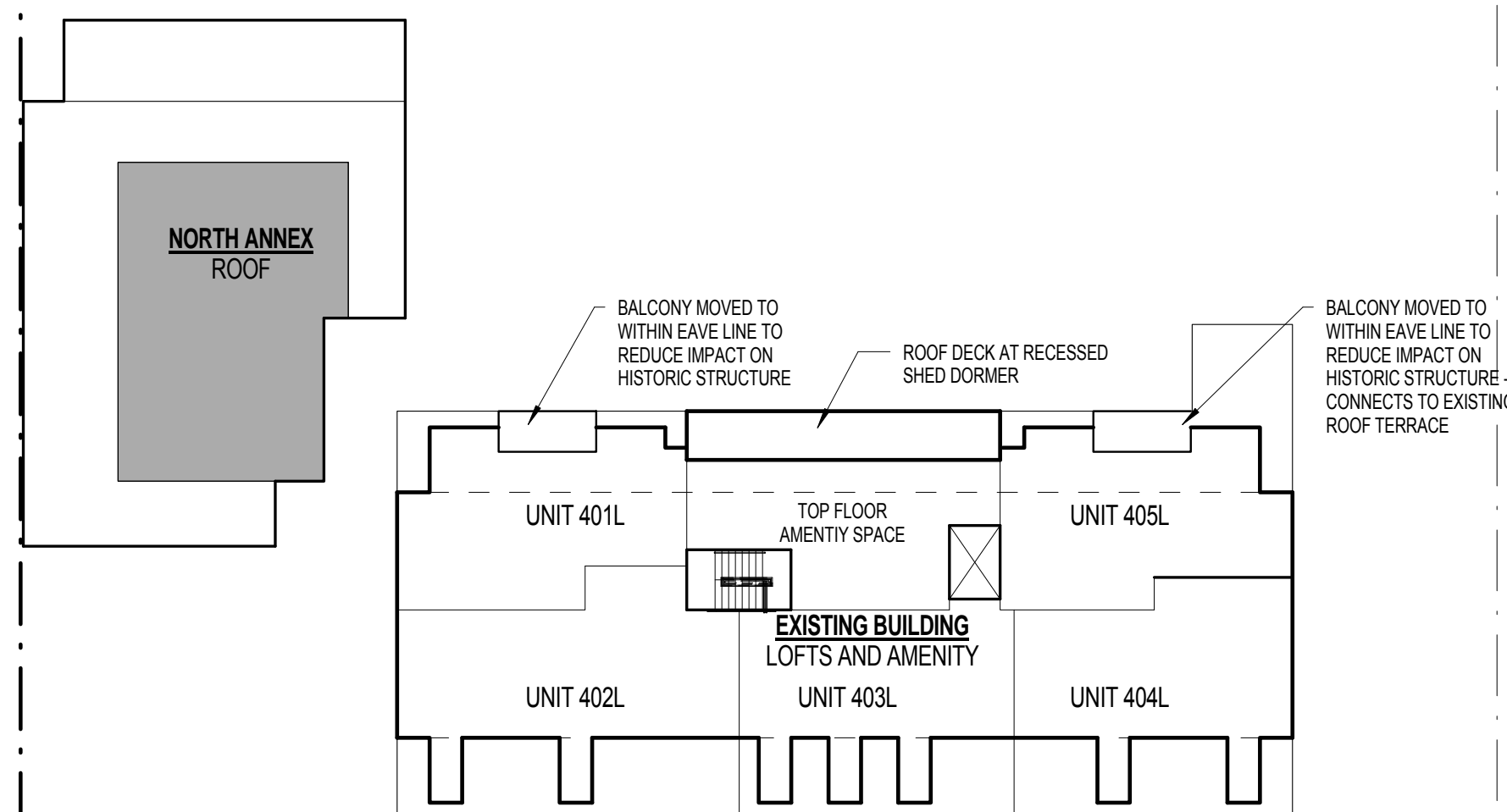
UNIT SCHEDULE - ANNEX

Number	Level	Name	Unit Type
101	LEVEL 1A	UNIT 101 (A)	1 BR
102	LEVEL 1A	UNIT 102 (A)	1 BR
103	LEVEL 1A	UNIT 103 (A)	1 BR

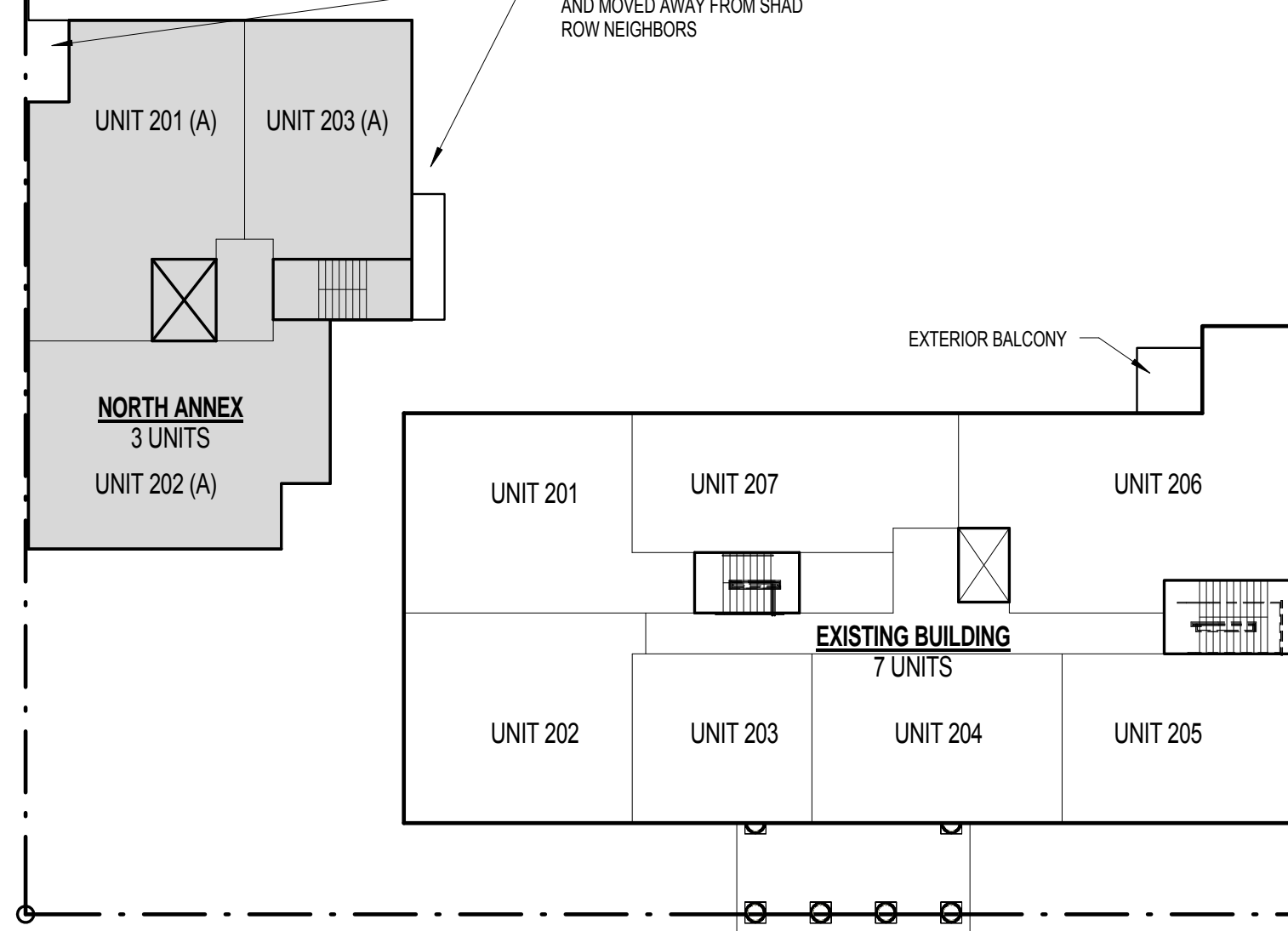
201	LEVEL 2A	UNIT 201 (A)	1 BR
202	LEVEL 2A	UNIT 202 (A)	1 BR
203	LEVEL 2A	UNIT 203 (A)	1 BR

301	LEVEL 3A	UNIT 301 (A)	3 BR
302	LEVEL 3A	UNIT 302 (A)	1 BR
303	LEVEL 3A	UNIT 303 (A)	1 BR

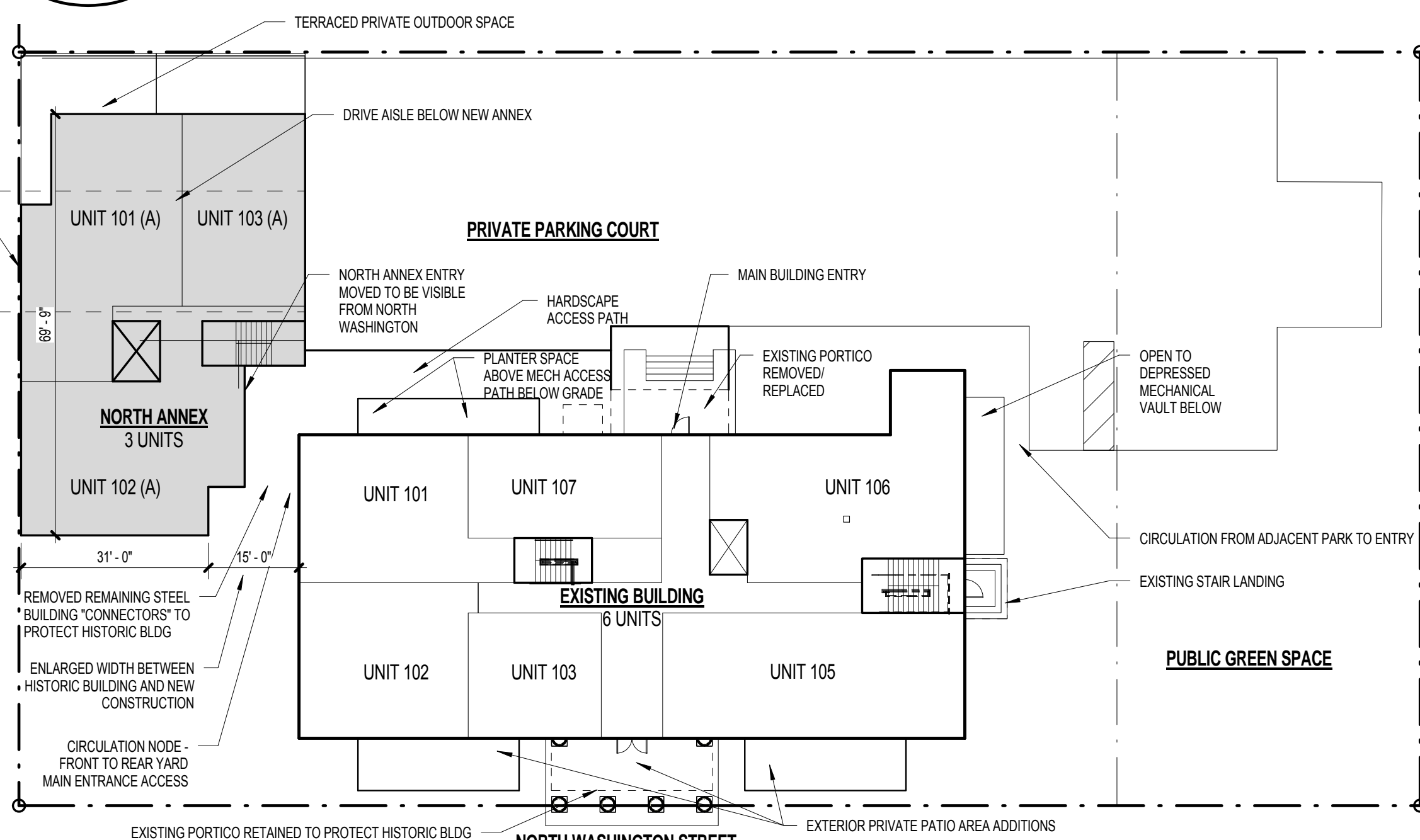
Grand total: 9



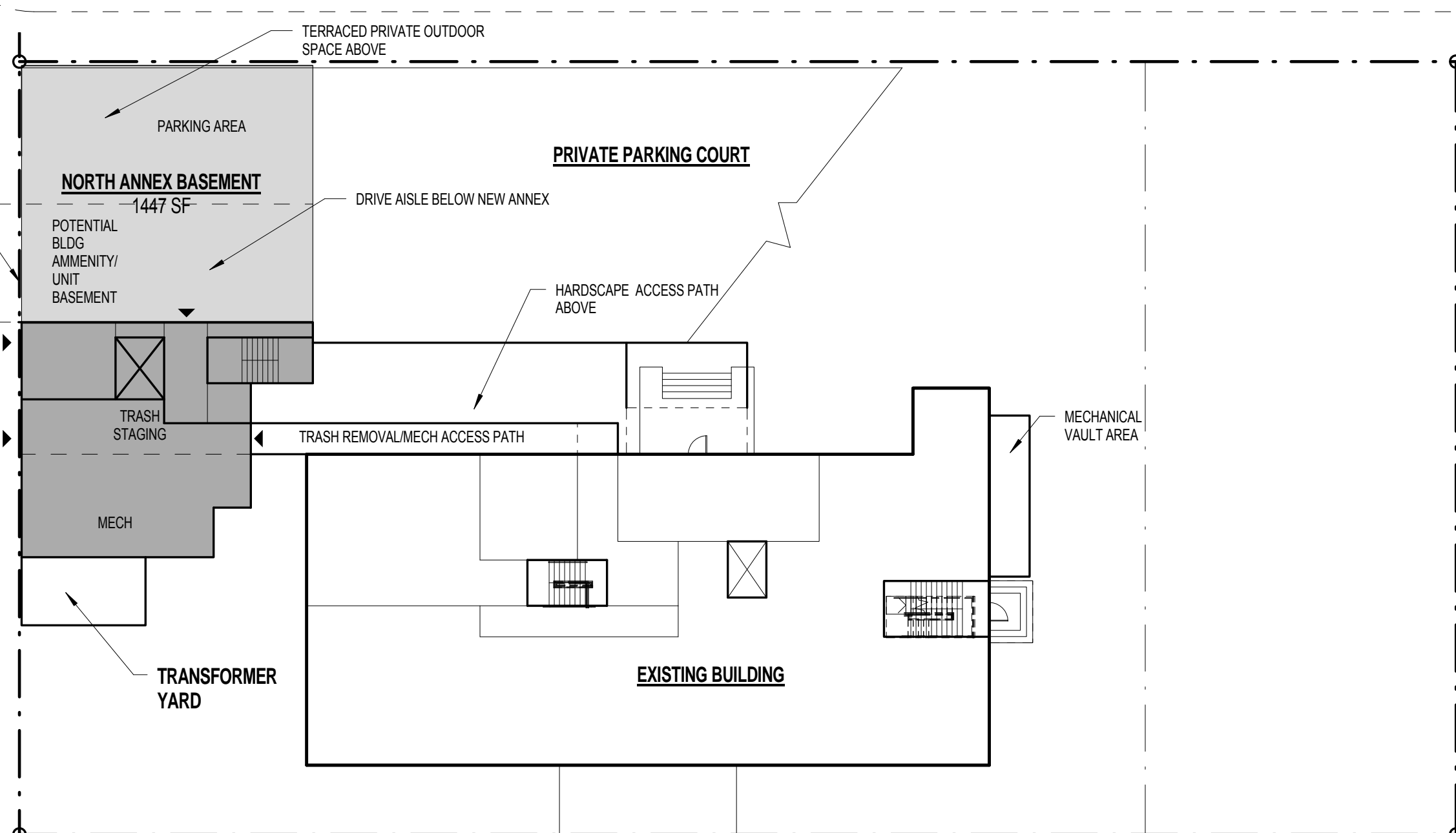
6 PLAN - LEVEL 5
A 1.01 SCALE: 1" = 20'-0"



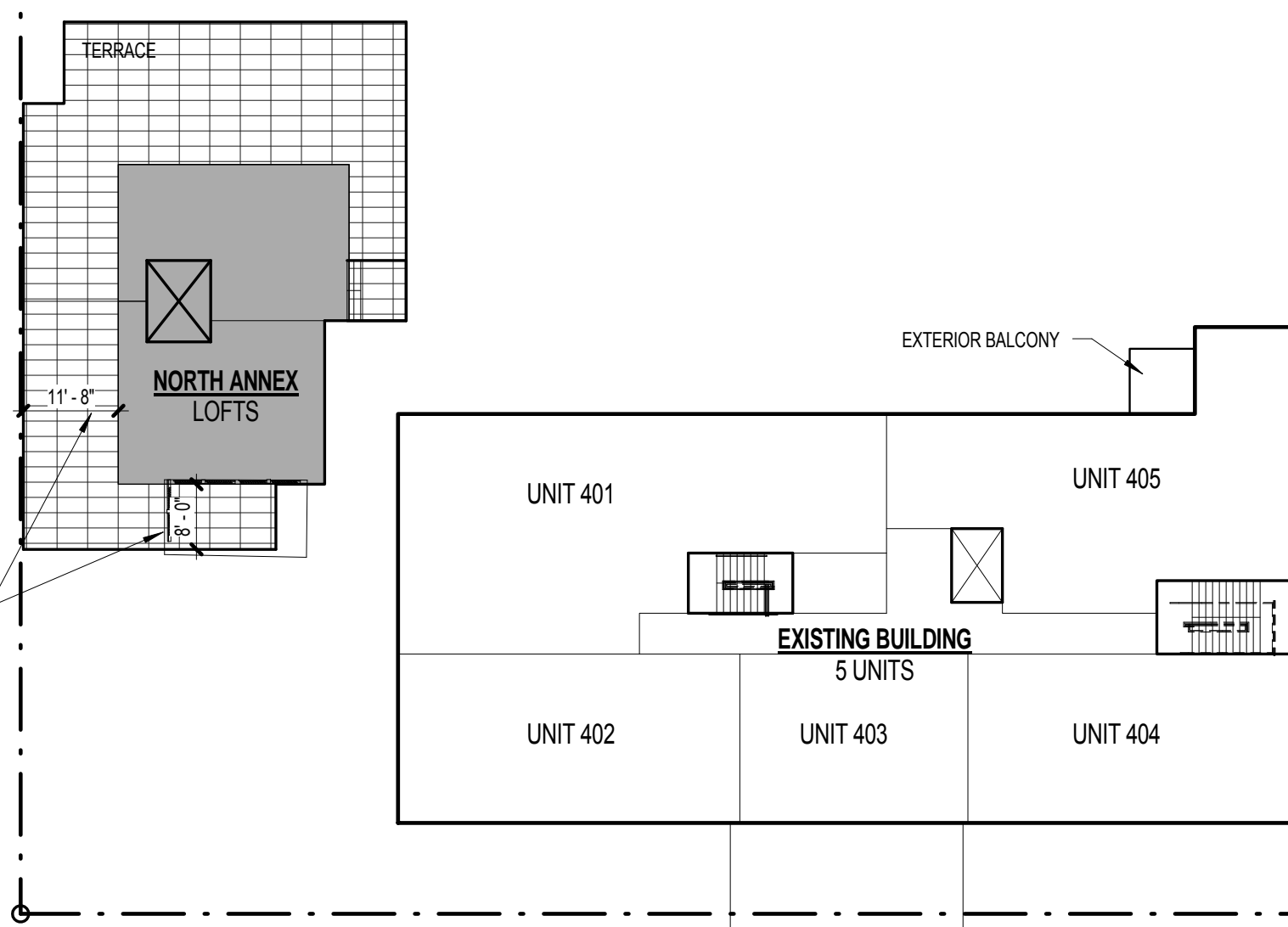
3 PLAN - LEVEL 2
A 1.01 SCALE: 1" = 20'-0"



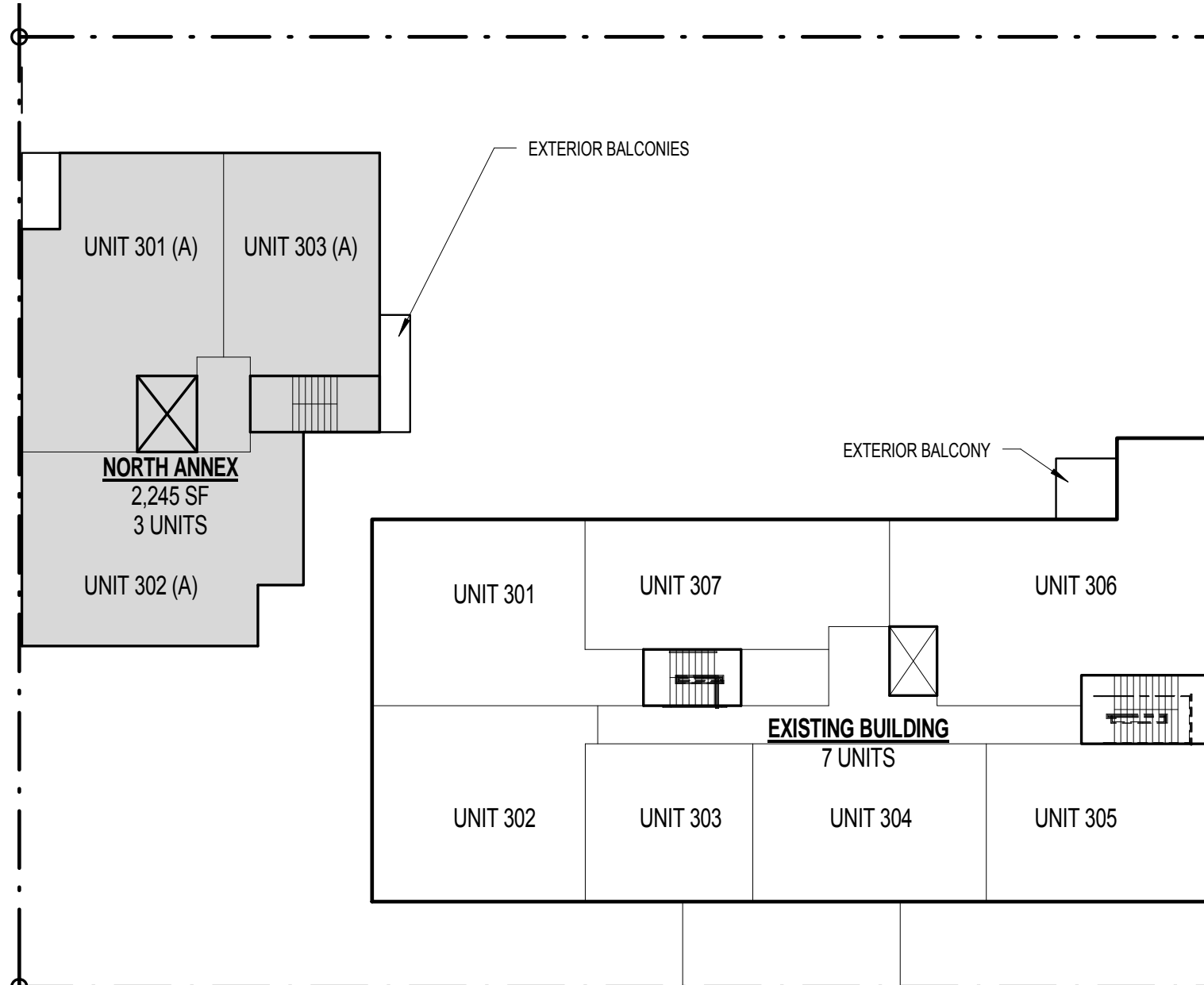
2 PLAN - LEVEL 1
A 1.01 SCALE: 1" = 20'-0"



1 PLAN - BASMENT
A 1.01 SCALE: 1" = 20'-0"



5 PLAN - LEVEL 4
A 1.01 SCALE: 1" = 20'-0"



4 PLAN - LEVEL 3
A 1.01 SCALE: 1" = 20'-0"



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THE CENTER FOR CONNECTIVE ARCHITECTURE

ATLANTA NEW YORK WASHINGTON

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SCOPE DOCUMENTS

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ISSUANCES

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1	STAGE II CONCEPT	04/17/2014
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4	PER CITY COMMENTS	11/14/2014



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PAGE NO.

515 NORTH WASHINGTON
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515 NORTH WASHINGTON ST,
ALEXANDRIA, VA 22314

CAS RIEGLER COMPANIES

ARCHITECTURAL CONCEPT
ELEVATIONS

DAVID KITCHENS, AIA

Principal in Charge

Project Manager

BRANDON R. LENK

Project Architect

Staff Architect

20130161

Project No.

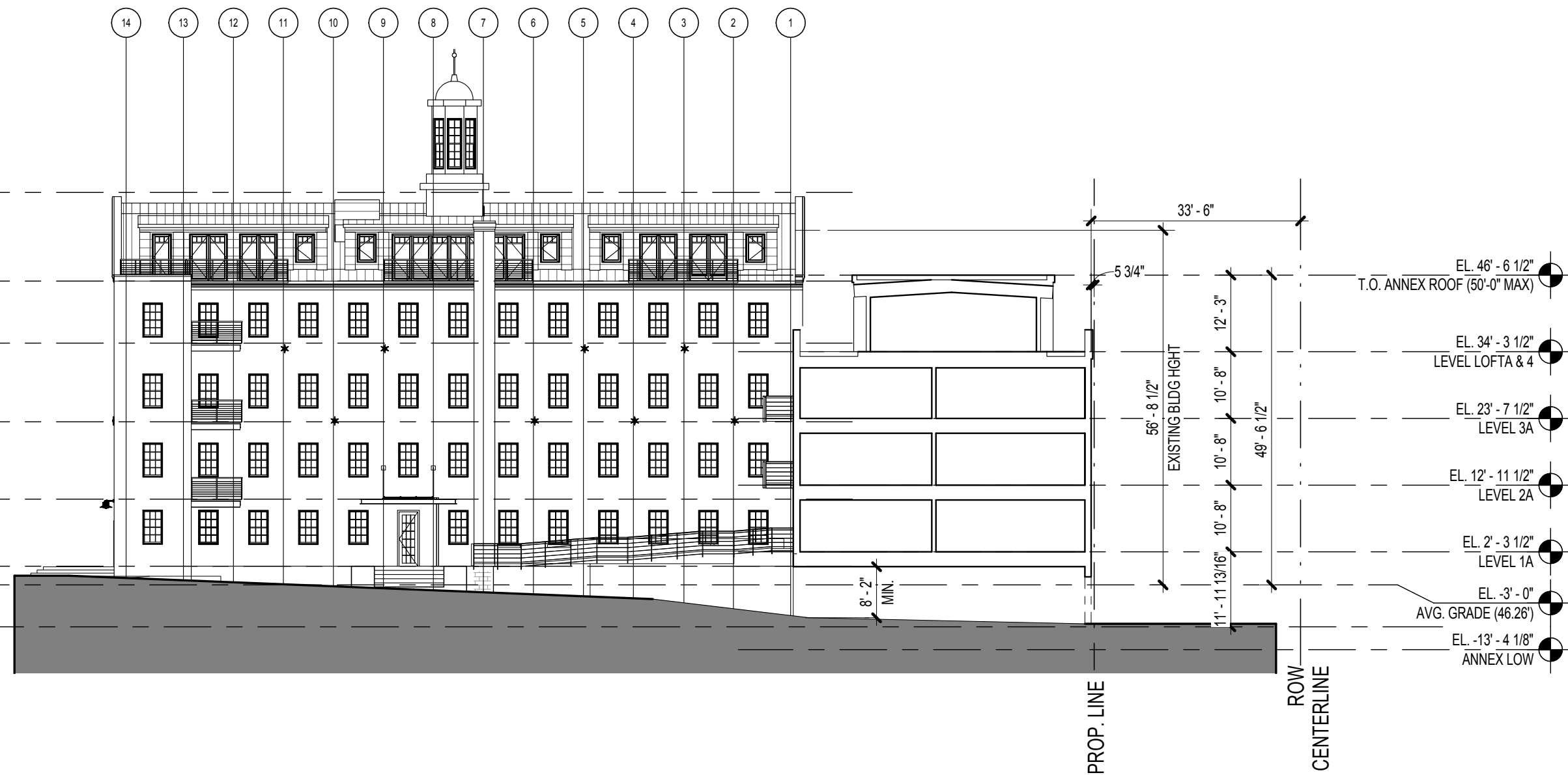
10/03/2014

Date

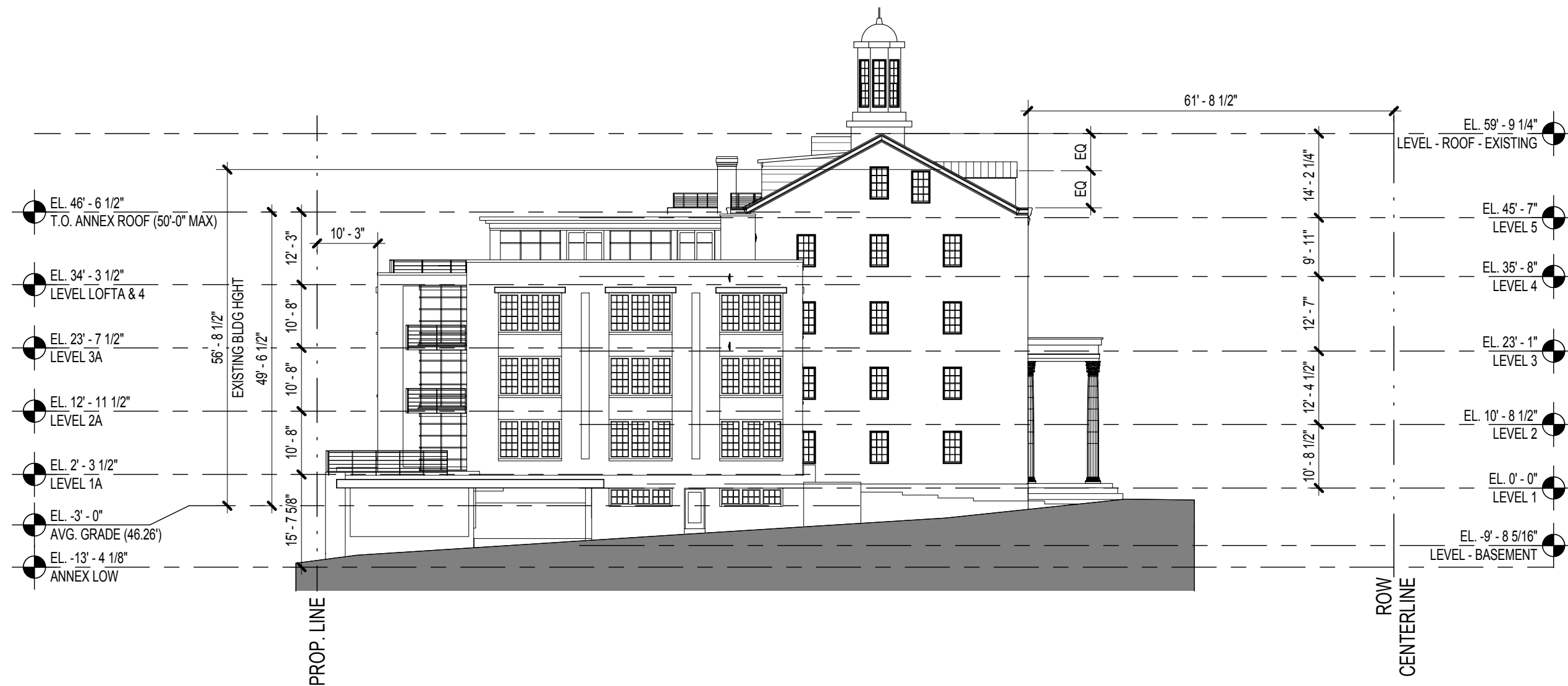
A 1.02

Drawing No.

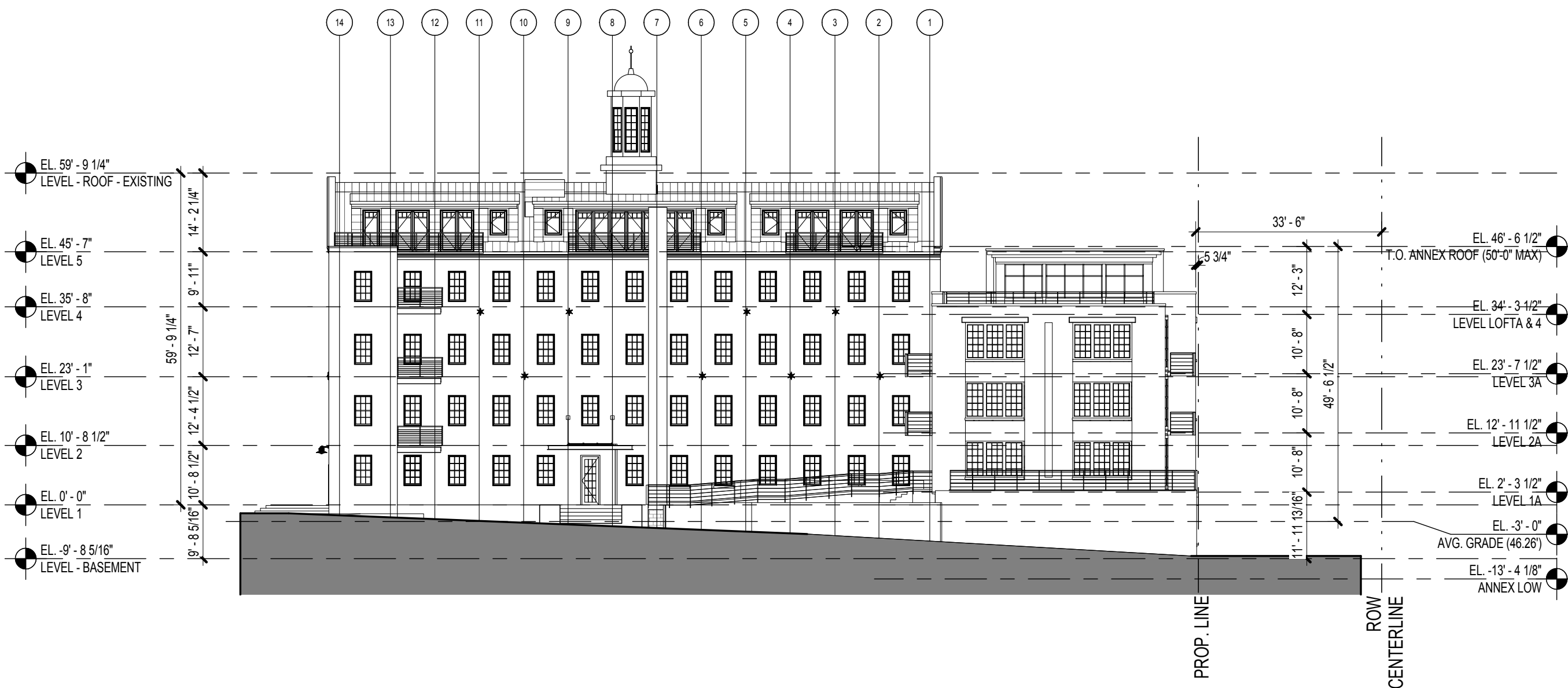
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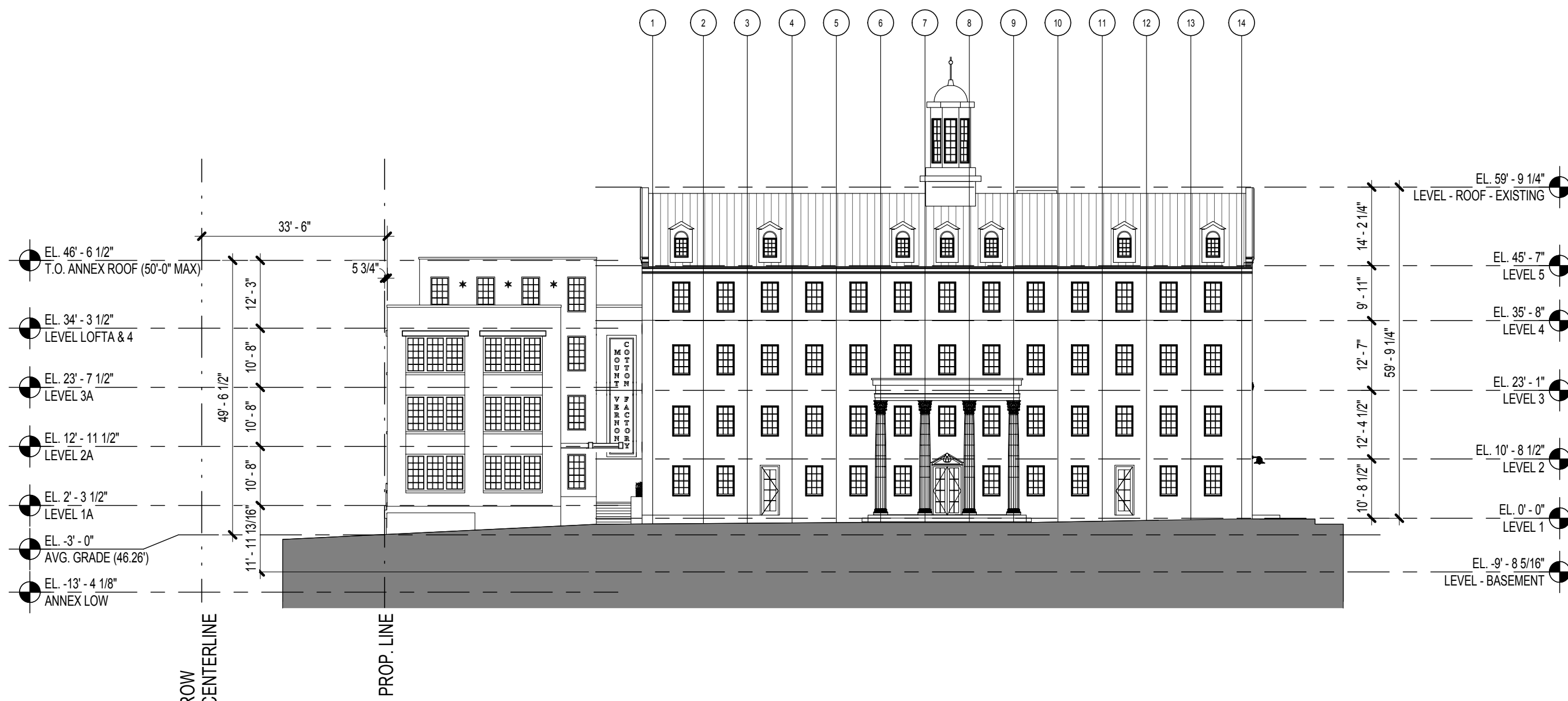
4 6-16 North South Section
A 1.02 SCALE: 1" = 20'-0"



2 6-16 North Elevation
A 1.02 SCALE: 1" = 20'-0"



3 6-16 East Elevation
A 1.02 SCALE: 1" = 20'-0"



1 6-16 West Elevation
A 1.02 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20130161 PROJECT NAME: 515 NORTH WASHINGTON REUSE RESIDENTIAL
SHEET NUMBER: A 1.02 - ARCHITECTURAL CONCEPT ELEVATIONS
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ALEXANDRIA, VA 22314

CAS RIEGLER COMPANIES

ARCHITECTURAL CONCEPT -
MATERIALS

DAVID KITCHENS, AIA

Principal in Charge

Project Manager

BRANDON R. LENK

Project Architect

Staff Architect

20130161

Project No.

10/03/2014

Date

A 1.03

Drawing No.

NOT ISSUED FOR CONSTRUCTION

BRICK COLOR 2
BRICK COLOR 1
STEEL LINTEL
PAINTED PROJECT ENTRY SIGN
CONNECTING STEEL ENTRY
ACCENT BRICK - COLOR 1
PUNCHED GLAZING

EXISTING CUPOLA TO REMAIN

EXISTING DORMERS TO REMAIN

EXISTING SHUTTERS REMOVED

EXISTING FRONT PORTICO TO REMAIN

EXISTING TREES TO REMAIN

WEST ELEVATION - 1:10

*SOME TREES NOT SHOWN FOR CLARITY

NEW METAL RAILINGS CONSISTENT
WITH ANNEX ADDITION
EXISTING PUNCHED GLAZING UNITS
TO REMAIN

NEW STEEL REAR CANOPY

EXISTING REAR ENTRY DOOR

NEW STEEL BALCONY

NEW PLANTER BOX - MATERIAL TBD

EXISTING CHIMNEY TO REMAIN

RECONFIGURED REAR SALT-BOX DORMERS

OUTDOOR BALCONY SPACE WITHIN
EXISTING ROOF EAVE LINE

BRICK COLOR 2

BRICK COLOR 1

NEW CONNECTING TERRACE - BRICK OR
STONE TO MATCH ANNEX BASE

EAST ELEVATION - 1:10

PROJECT NUMBER: 20130161 PROJECT NAME: 515 NORTH WASHINGTON REUSE RESIDENTIAL
SHEET NUMBER: A 1.03 - ARCHITECTURAL CONCEPT - MATERIALS
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ALEXANDRIA, VA 22314

CAS RIEGLER COMPANIES

ARCHITECTURAL CONCEPT -
MATERIALS

DAVID KITCHENS, AIA	20130161
Principal-in-Charge	Project No.
---	10/03/2014
Project Manager	Date
BRANDON R. LENK	
Project Architect	

Staff Architect	

A 1.04



NORTH ELEVATION - 1:10

*SOME TREES NOT SHOWN FOR CLARITY



NORTHWEST STREET VIEW - N. WASHINGTON ST.

*SOME TREES NOT SHOWN FOR CLARITY



NORTHEAST STREET VIEW - PENDLETON ST.

PROJECT NUMBER: 20130161 PROJECT NAME: 515 NORTH WASHINGTON REUSE RESIDENTIAL
SHEET NUMBER: A 1.05 - ARCHITECTURAL CONCEPT - CONTEXT AERIALS
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SOUTHWEST CONTEXT AERIAL



NORTHEAST CONTEXT AERIAL



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ISSUANCES

No.	Drawing Issue Description	Date
1	CONCEPT 3	06/20/2014
2	DSUP	10/03/2014
3	PER CITY COMMENTS	11/14/2014



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CAS RIEGLER COMPANIES

ARCHITECTURAL CONCEPT -
CONTEXT AERIALS

DAVID KITCHENS, AIA

Principal in Charge

DAVID KITCHENS, AIA

Project Manager

BRANDON R. LENK, AIA

Project Architect

Author

Staff Architect

20130161

Project No.

10/03/2014

Date

A 1.05

Drawing No.

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515 NORTH WASHINGTON
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CAS RIEGLER COMPANIES

AREA CALCULATIONS - PLANS

DAVID KITCHENS, AIA Principal in Charge	20130161 Project No.
DAVID KITCHENS, AIA Project Manager	06/20/2014 Date
BRANDON R. LENK, AIA Project Architect	
Author Staff Architect	

A 2.01

Drawing No.

NOT ISSUED FOR CONSTRUCTION

AREA - GFA ONLY - NSF			
Area	Name	Level	Comments
1,492 SF	GFA - BA	LEVEL - BASEMENT	DRIVE AISLE - 8'-2" MIN.
135 SF	GFA - BA - 6	LEVEL - BASEMENT	BIKE STORAGE
5,225 SF	GFA - 1	LEVEL 1A	USABLE AREA
2,542 SF	GFA - 1A	LEVEL 1A	USABLE AREA
5,225 SF	GFA - 2	LEVEL 2A	USABLE AREA
2,542 SF	GFA - 2A	LEVEL 2A	USABLE AREA
5,225 SF	GFA - 3	LEVEL 3A	USABLE AREA
2,542 SF	GFA - 3A	LEVEL 3A	USABLE AREA
5,225 SF	GFA - 4	LEVEL LOFTA & 4	USABLE AREA
1,317 SF	GFA - LA - 1	LEVEL LOFTA & 4	USABLE AREA
2,743 SF	GFA - 5	LEVEL 5	USABLE AREA
131 SF	GFA - 5 - 1	LEVEL 5	OTB
121 SF	GFA - 5 - 2	LEVEL 5	OTB
34,466 SF			

AREA - TOTAL CONCEPT - GSF			
Area	Name	Level	Comments
LEVEL - BASEMENT			
1,492 SF	GFA - BA	LEVEL - BASEMENT	DRIVE AISLE - 8'-2" MIN.
135 SF	GFA - BA - 6	LEVEL - BASEMENT	BIKE STORAGE
2,539 SF	NON GFA - B - 1	LEVEL - BASEMENT	EXISTING BASEMENT - BLDG MECH
2,999 SF	NON GFA - B - 2	LEVEL - BASEMENT	CRAWL SAPCE - UNDER 7'-6" CLEAR
169 SF	NON GFA - B - 3	LEVEL - BASEMENT	SUBGRADE MECHANICAL YARD
334 SF	NON GFA - B - 4	LEVEL - BASEMENT	MECH ACCESS CORRIDOR - BELOW GRADE
904 SF	NON GFA - BA - 1	LEVEL - BASEMENT	PARKING - 7'-6" MAX
515 SF	NON GFA - BA - 2	LEVEL - BASEMENT	MECHANICAL
116 SF	NON GFA - BA - 3	LEVEL - BASEMENT	ELEVATOR
170 SF	NON GFA - BA - 4	LEVEL - BASEMENT	STAIR
98 SF	NON GFA - BA - 5	LEVEL - BASEMENT	TRASH STAGING - 7'-6" MAX

LEVEL 1A			
5,225 SF	GFA - 1	LEVEL 1A	USABLE AREA
2,542 SF	GFA - 1A	LEVEL 1A	USABLE AREA
151 SF	NON GFA - 1 - 1	LEVEL 1A	STAIR 1
65 SF	NON GFA - 1 - 2	LEVEL 1A	EXISTING SHAFT / MECH
67 SF	NON GFA - 1 - 3	LEVEL 1A	ELEVATOR
151 SF	NON GFA - 1 - 4	LEVEL 1A	STAIR 2
116 SF	NON GFA - 1A - 1	LEVEL 1A	ELEVATOR
47 SF	NON GFA - 1A - 2	LEVEL 1A	SHAFT/ MECH
170 SF	NON GFA - 1A - 3	LEVEL 1A	STAIR

LEVEL 2A			
5,225 SF	GFA - 2	LEVEL 2A	USABLE AREA
2,542 SF	GFA - 2A	LEVEL 2A	USABLE AREA
151 SF	NON GFA - 2 - 1	LEVEL 2A	STAIR 1
65 SF	NON GFA - 2 - 2	LEVEL 2A	EXISTING SHAFT / MECH
67 SF	NON GFA - 2 - 3	LEVEL 2A	ELEVATOR
151 SF	NON GFA - 2 - 4	LEVEL 2A	STAIR 2
116 SF	NON GFA - 2A - 1	LEVEL 2A	ELEVATOR
47 SF	NON GFA - 2A - 2	LEVEL 2A	SHAFT / MECH
170 SF	NON GFA - 2A - 3	LEVEL 2A	STAIR

LEVEL 3A			
5,225 SF	GFA - 3	LEVEL 3A	USABLE AREA
2,542 SF	GFA - 3A	LEVEL 3A	USABLE AREA
151 SF	NON GFA - 3 - 1	LEVEL 3A	STAIR 1
65 SF	NON GFA - 3 - 2	LEVEL 3A	EXISTING SHAFT/ MECH
67 SF	NON GFA - 3 - 3	LEVEL 3A	ELEVATOR
151 SF	NON GFA - 3 - 4	LEVEL 3A	STAIR 2
116 SF	NON GFA - 3A - 1	LEVEL 3A	ELEVATOR
47 SF	NON GFA - 3A - 2	LEVEL 3A	SHAFT / MECH
170 SF	NON GFA - 3A - 3	LEVEL 3A	STAIR

LEVEL LOFTA & 4			
5,225 SF	GFA - 4	LEVEL LOFTA & 4	USABLE AREA
1,317 SF	GFA - LA - 1	LEVEL LOFTA & 4	USABLE AREA
151 SF	NON GFA - 4 - 1	LEVEL LOFTA & 4	STAIR 1
65 SF	NON GFA - 4 - 2	LEVEL LOFTA & 4	EXISTING SHAFT / MECH
67 SF	NON GFA - 4 - 3	LEVEL LOFTA & 4	ELEVATOR
151 SF	NON GFA - 4 - 4	LEVEL LOFTA & 4	STAIR 2
116 SF	NON GFA - LA - 1	LEVEL LOFTA & 4	ELEVATOR
29 SF	NON GFA - LA - 2	LEVEL LOFTA & 4	SHAFT / MECH

LEVEL 5			
2,743 SF	GFA - 5	LEVEL 5	USABLE AREA
131 SF	GFA - 5 - 1	LEVEL 5	OTB
121 SF	GFA - 5 - 2	LEVEL 5	OTB
151 SF	NON GFA - 5 - 1	LEVEL 5	STAIR 1
60 SF	NON GFA - 5 - 2	LEVEL 5	EXISTING SHAFT / MECH
67 SF	NON GFA - 5 - 3	LEVEL 5	ELEVATOR
60 SF	NON GFA - 5 - 4	LEVEL 5	EXISTING BUILDING OTB

LEVEL BA: 0 DWELLING UNITS - 3,430 SF FOOTPRINT; 1,629 NSF	LEVEL B: 0 DWELLING UNITS - 6,438 SF FOOTPRINT; 0 NSF
LEVEL 1A: 3 DWELLING UNITS - 2,876 SF FOOTPRINT; 2,542 NSF	LEVEL 1: 6 DWELLING UNITS - 5,659 SF FOOTPRINT; 5,225 NSF
LEVEL 2A: 3 DWELLING UNITS - 2,876 SF FOOTPRINT; 2,542 NSF	LEVEL 2: 7 DWELLING UNITS - 5,659 SF FOOTPRINT; 5,225 NSF
LEVEL 3A: 3 DWELLING UNITS - 2,876 SF FOOTPRINT; 2,542 NSF	LEVEL 3: 7 DWELLING UNITS - 5,659 SF FOOTPRINT; 5,225 NSF
LEVEL 4A: LOFTS TO BELOW - 1,426 SF FOOTPRINT; 1,317 NSF	LEVEL 4: 5 DWELLING UNITS - 5,659 SF FOOTPRINT; 5,225 NSF
	LEVEL 5: LOFTS AND AMENITY - 3,643 SF FOOTPRINT; 2,995 NSF

TOTAL NORTH ANNEX = 13,484 GSF [10,575 NSF]

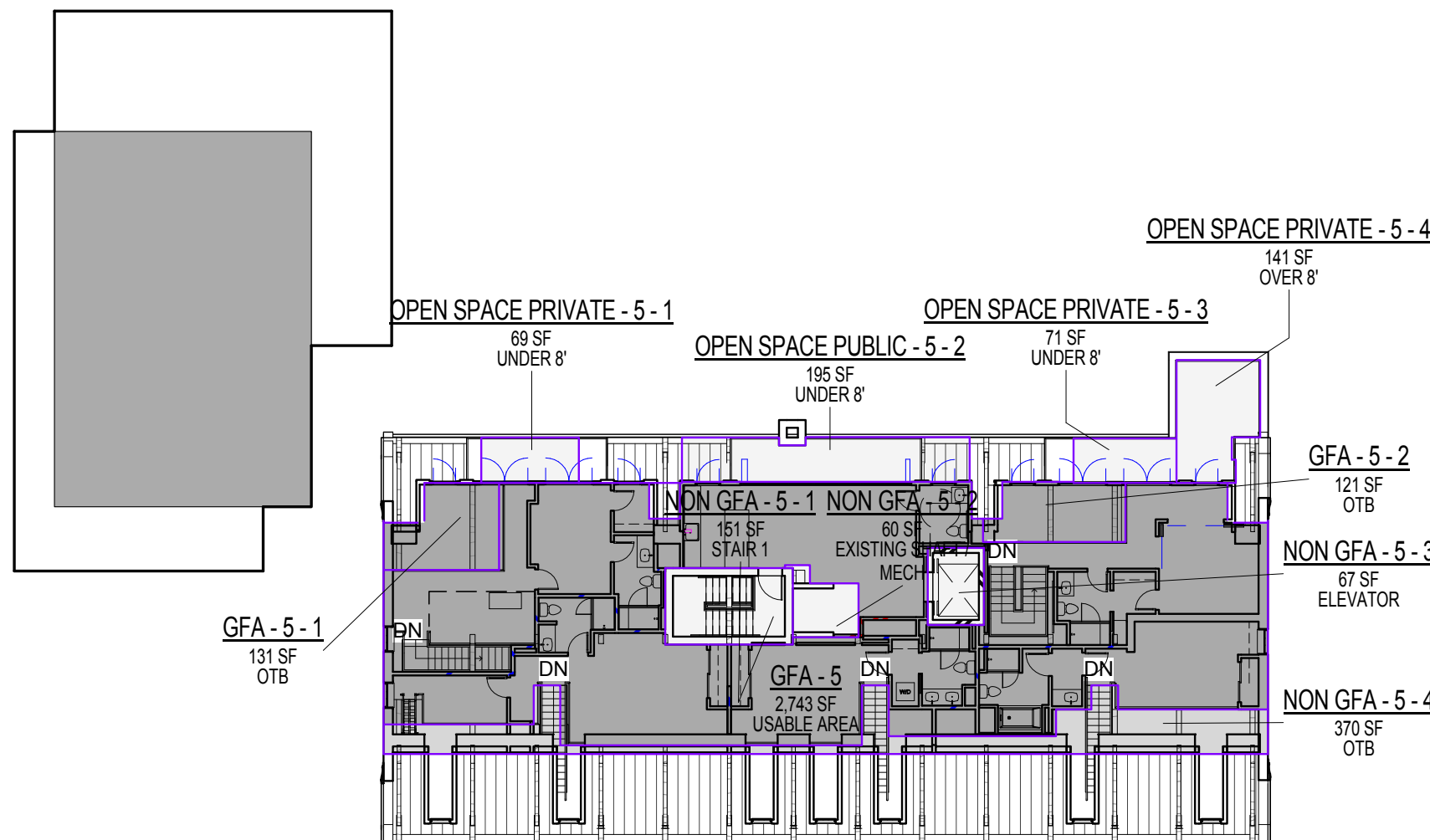
TOTAL EXISTING BUILDING = 32,763 GSF [23,895 NSF]

TOTAL PROPOSED PROJECT GFA: 34,470 NSF [30,099 NSF ALLOWABLE]
28,879 SF (SITE SF) X 1.25 (MAX FAR) = 36,099 SF

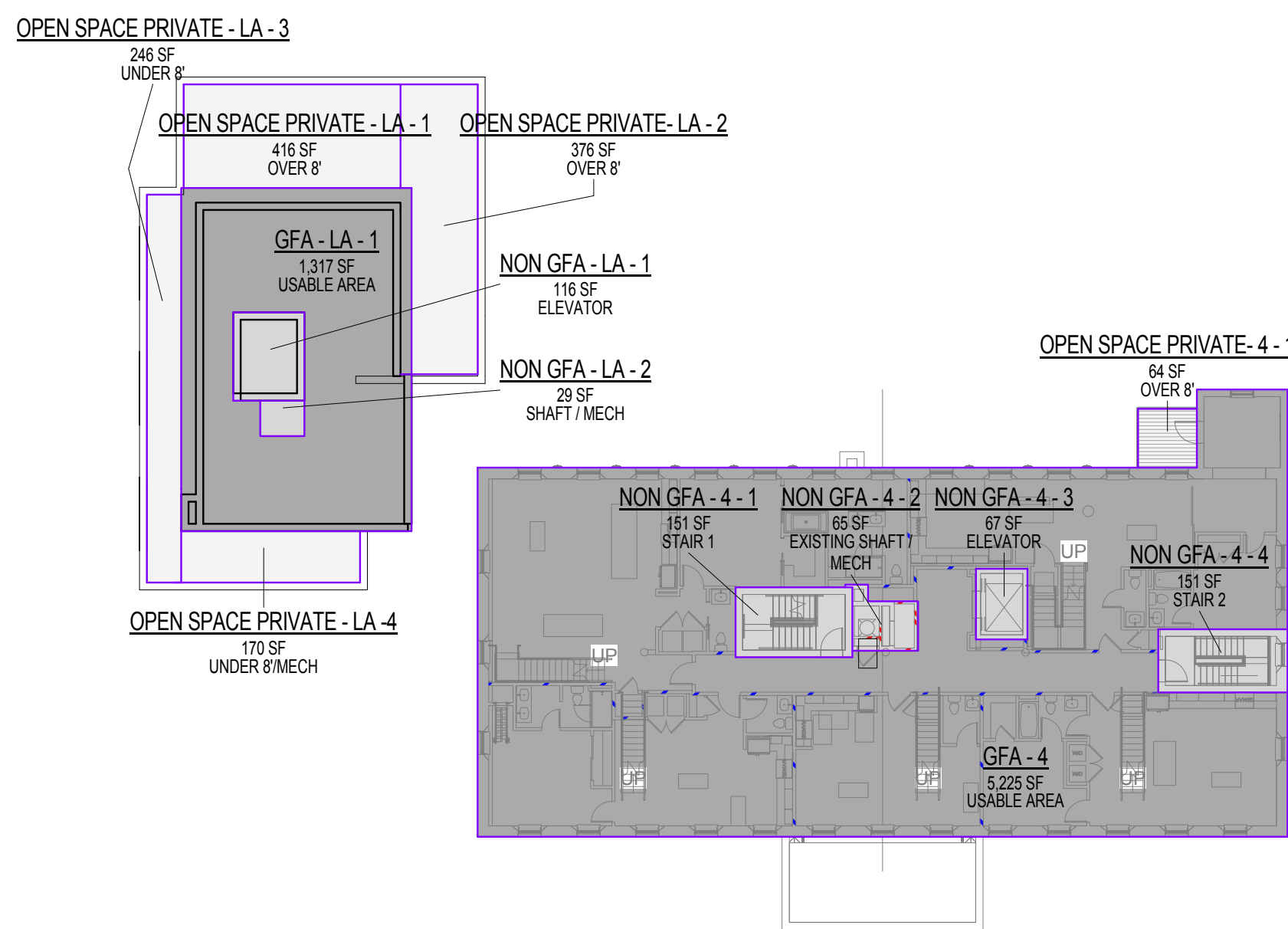
TOTAL PROPOSED 34 UNITS, 9 ANNEX UNITS & 25 HISTORIC UNITS

*ROUNDING OF SF'S CAN CAUSE SLIGHT AREA VARIATIONS

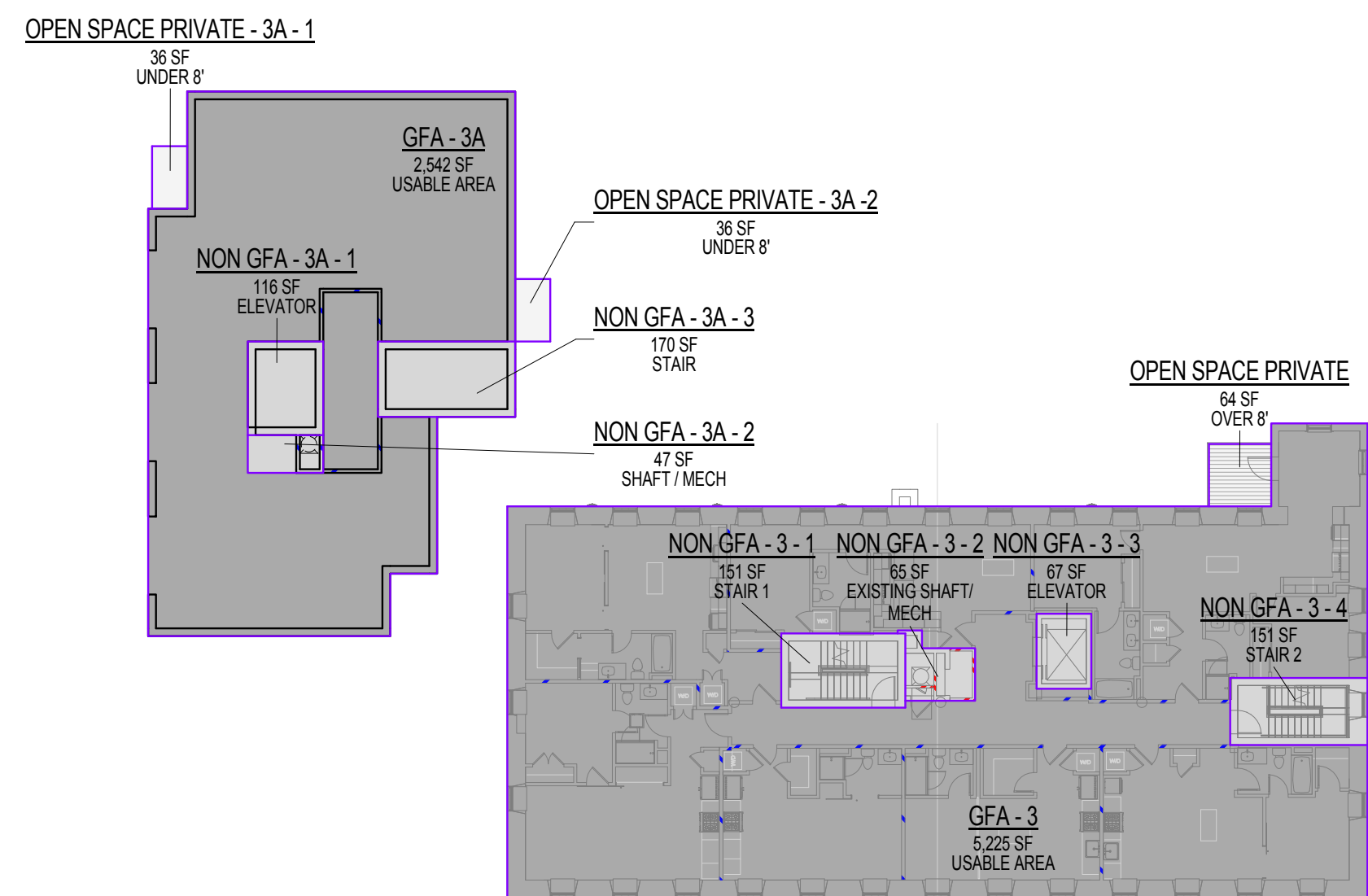
GENERAL NOTES:
1. OPEN SPACES LISTED AT RIGHT AS "UNDER 8" ARE NOT COUNTED TOWARD OPEN SPACE TOTALS



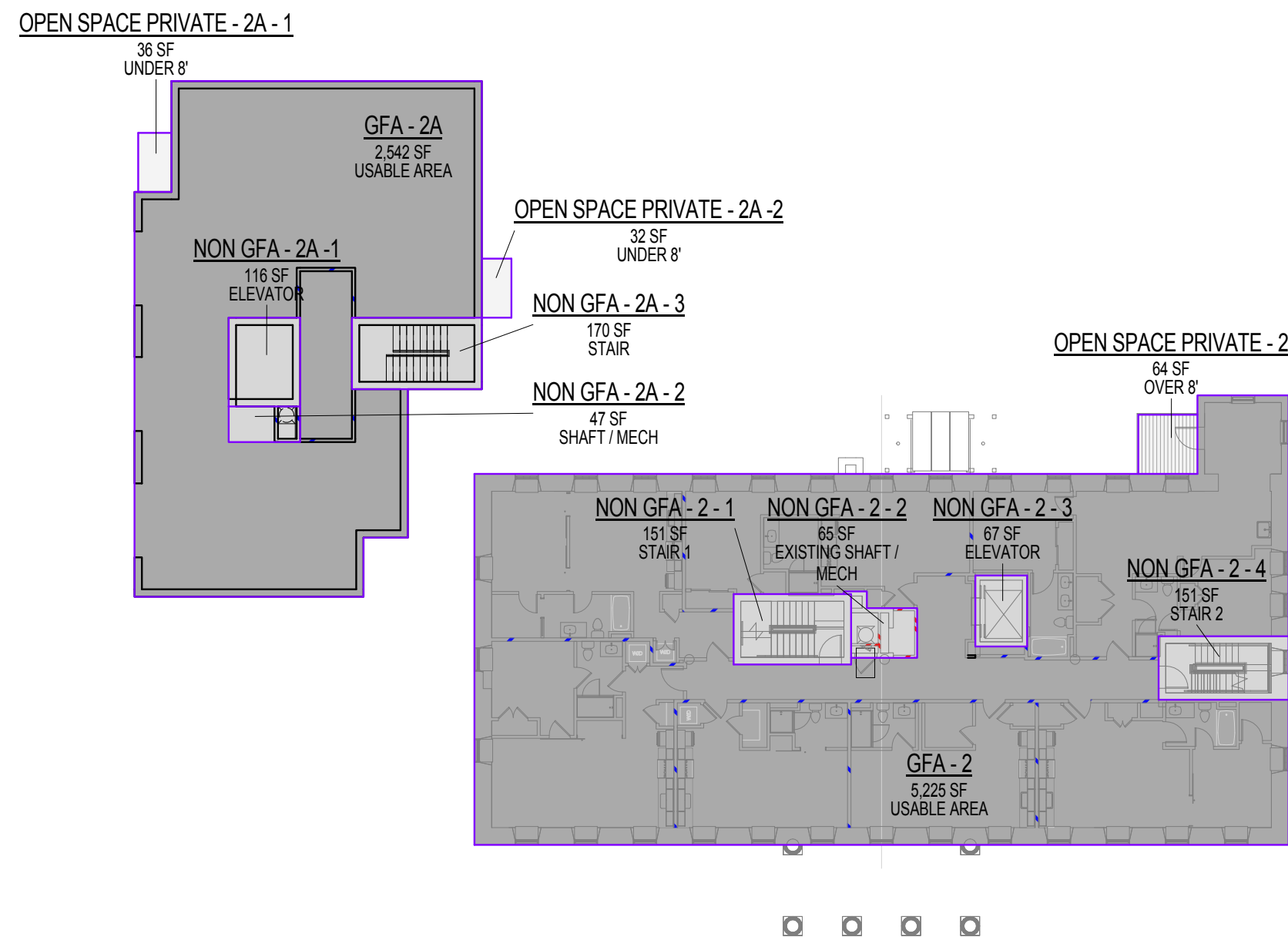
6 LEVEL ROOF & 5
A 2.01 SCALE: 1" = 20'-0"



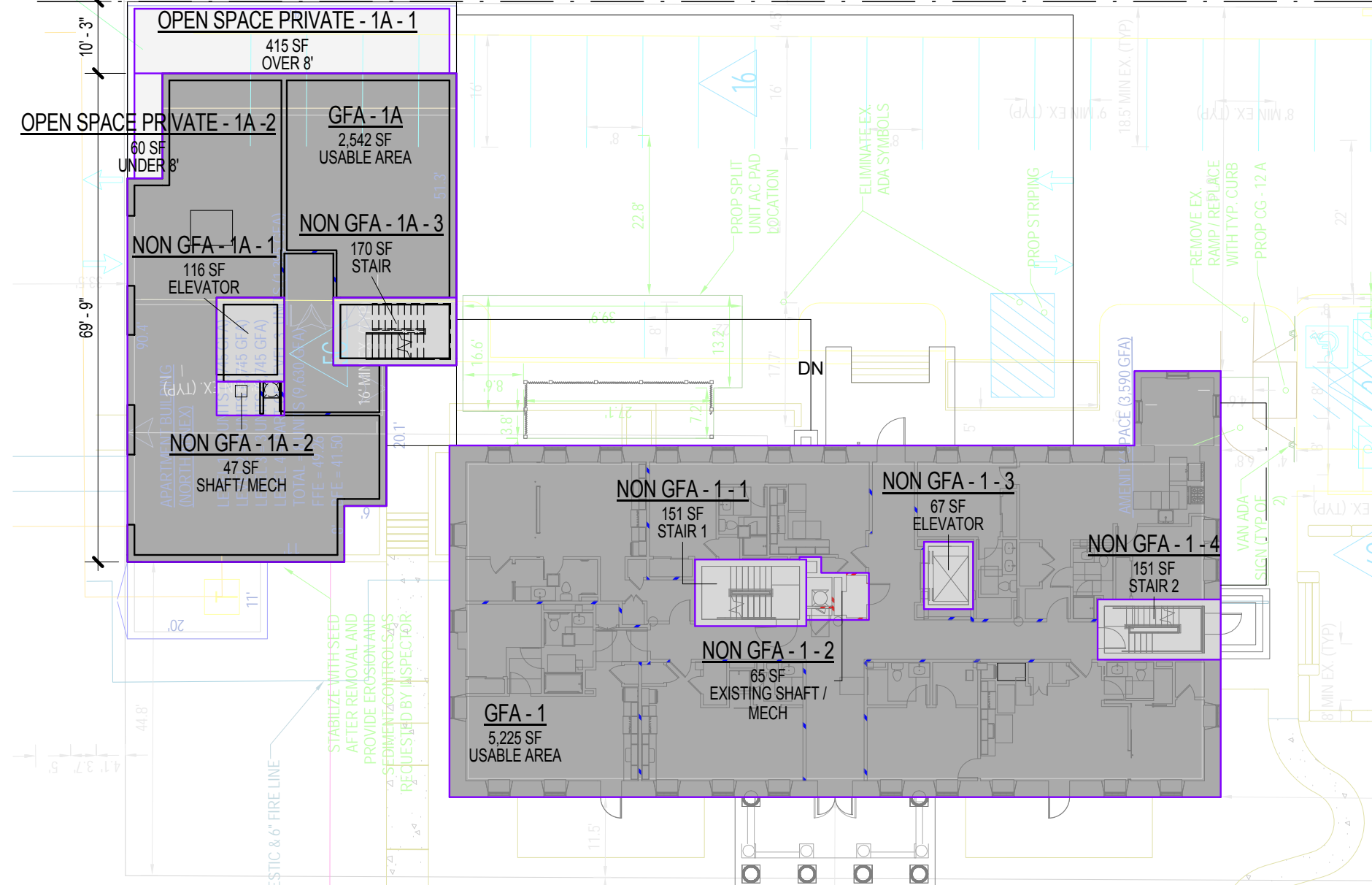
5 LEVEL LOFTA & 4
A 2.01 SCALE: 1" = 20'-0"



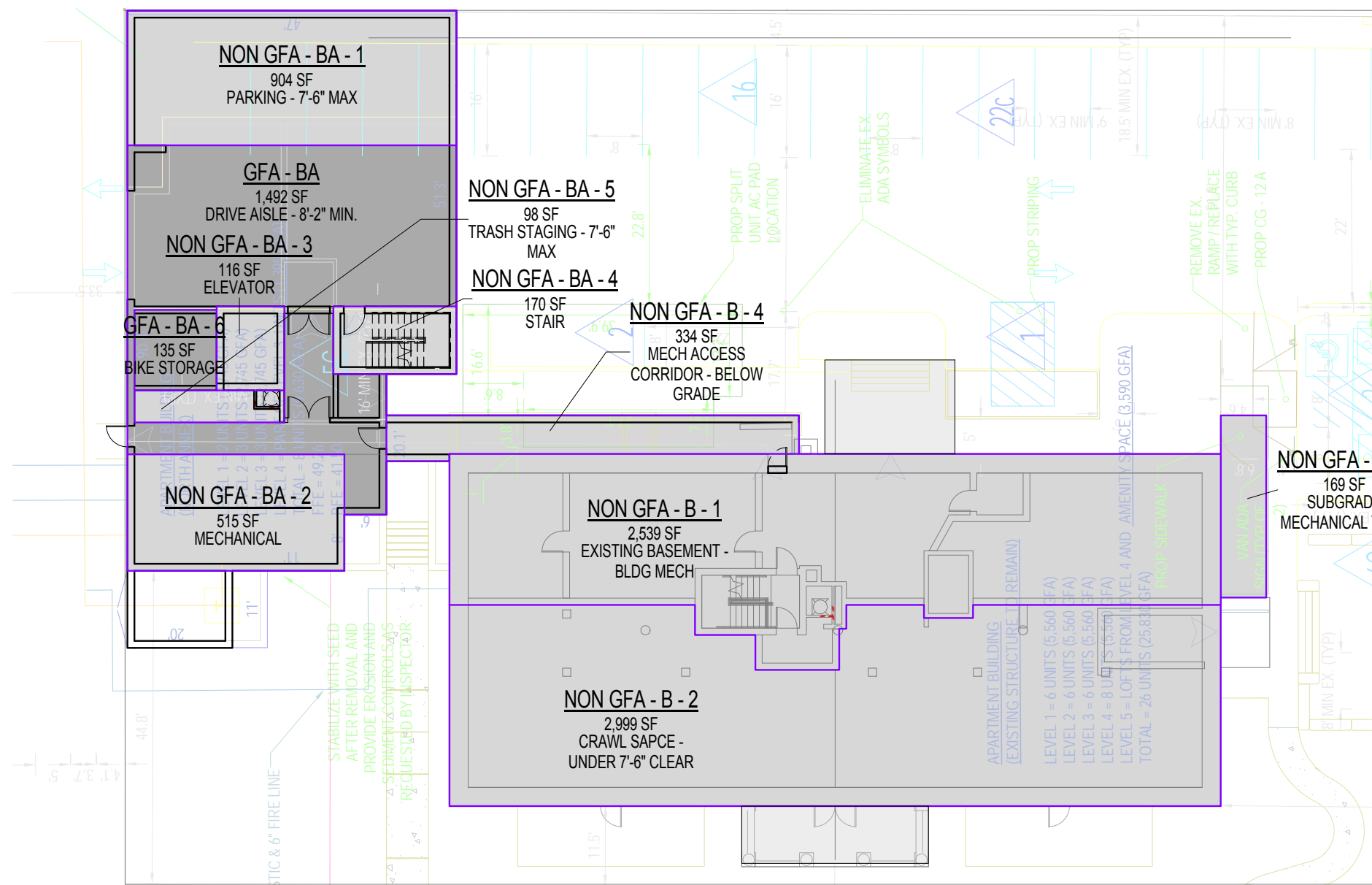
4 LEVEL 3A
A 2.01 SCALE: 1" = 20'-0"



3 LEVEL 2A
A 2.01 SCALE: 1" = 20'-0"



2 LEVEL 1A
A 2.01 SCALE: 1" = 20'-0"



1 LEVEL - BASEMENT
A 2.01 SCALE: 1" = 20'-0"