

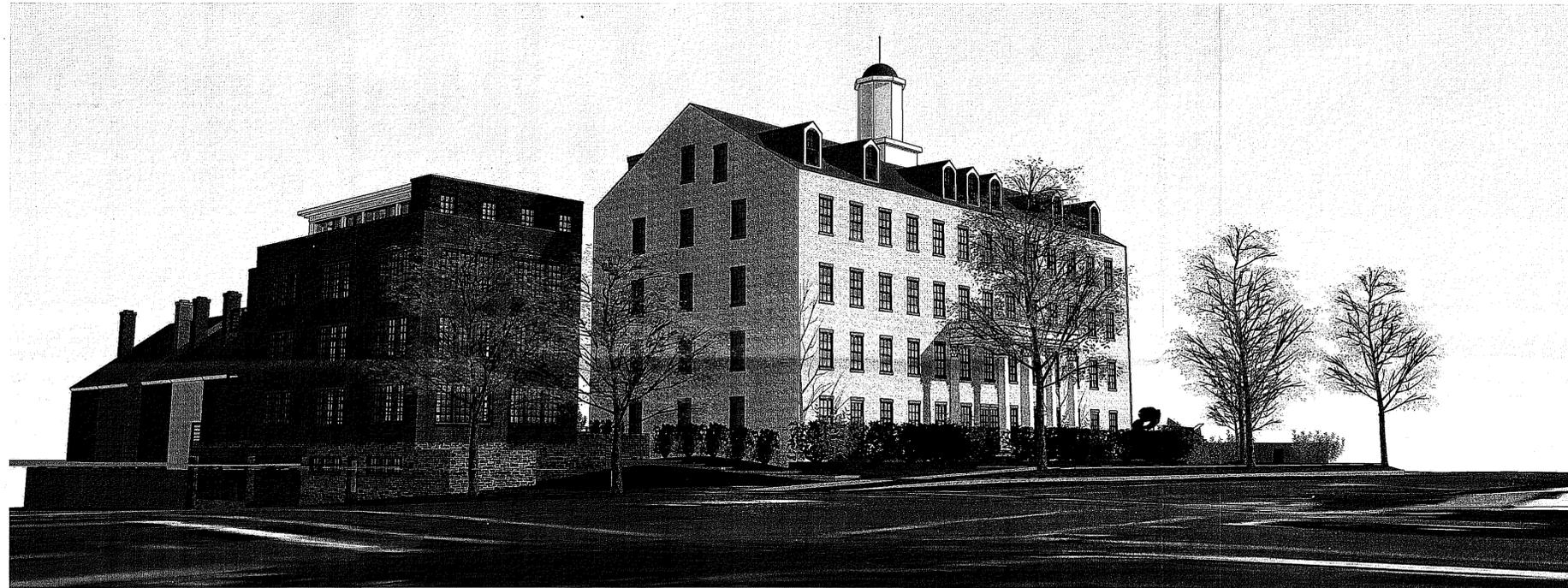
# NORTH WASHINGTON COTTON FACTORY

515 NORTH WASHINGTON ST.  
ALEXANDRIA, VA 22314

RESIDENTIAL RE-USE

11/14/2014

DSUP COMPLETENESS SUBMISSION



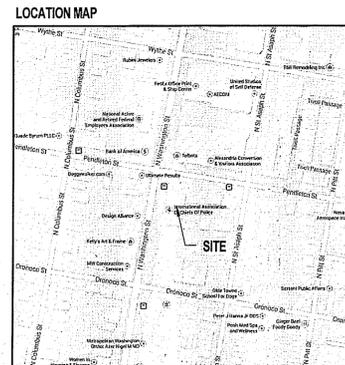
## ZONING TABULATIONS

1. ZONE OF THE SITE: EXISTING: OC (LOT 501) & RM (LOT 502) PROPOSED: OC
2. USE: EXISTING: OFFICE PROPOSED: RESIDENTIAL
- TOTAL LOT AREA: 28,879 SF OR 0.66 AC MINIMUM LOT AREA: 27,200 SF OR 0.62 AC  
 LOT 501: 22,847 SF OR 0.520 AC  
 LOT 502: 6,032 SF OR 0.138 AC
3. NUMBER OF DWELLING UNITS: 34
4. UNITS PER ACRE: ALLOWED: 54.45 PROPOSED: 51.52
5. FLOOR AREA:
 

BUILDING TYPE	NUMBER OF UNITS	GROSS FLOOR AREA	NET FLOOR AREA
EXISTING BUILDING (RESIDENTIAL)	25	32,763 SF	23,896 SF
NORTH ANNEX (RESIDENTIAL)	9	13,484 SF	10,575 SF
TOTAL	34	46,247 SF	34,470 SF
6. FLOOR AREA RATIO: PERMITTED: 1.25 PROPOSED: 1.39
7. OPEN SPACE: REQUIRED: 11,851 SF (40%) PROPOSED: 11,888 SF (25%)  
 GROUND LEVEL TO 504 SF  
 ABOVE GRADE (ROOF/DECK): 1,482 SF  
 TOTAL: 11,888 SF
8. AVERAGE FINISHED GRADE: LOT 501: 46.28 LOT 502: N/A
9. HEIGHT: ALLOWED: 50' PROVIDED: 50' MAX
10. YARDS: REQUIRED FRONT: N/A PROVIDED FRONT: 0'  
 SIDE: 1:1.2 SETBACK RATIO SIDE: 0'  
 REAR: N/A REAR: N/A
12. FRONTAGE: \*WAIVER REQUIRED  
 REQUIRED: 50' PROPOSED: 125'
13. TRIP GENERATION: EXISTING: 385 ADT PROPOSED: 226 ADT
14. PARKING TABULATION: PARKING REQUIRED: 50 SPACES  
 PARKING PROVIDED: 34 SPACES
15. SITE PLAN AREA: 0.663 AC (28,879 SF)  
 AREA IN TAX PARCELS 064-02-04-(01 & 06): 0.663 AC (28,879 SF)
16. EXISTING IMPERVIOUS ON 0.663 ACRES (28,879 SF): 0.53 AC (23,000 SF)  
 PROPOSED IMPERVIOUS ON 0.663 ACRES (28,879 SF): 0.50 AC (21,665 SF)
17. DISTURBED AREA: ±0.75 AC (±32,870 SF)

DRAWING INDEX - DSUP	
SHEET NO.	SHEET NAME
G 1.00	COVER SHEET
G 2.00	PROJECT DATA
C-1.0	GENERAL NOTES & LEGEND
C-1.1	GENERAL NOTES & LEGEND
C-1.2	CITY OF ALEXANDRIA CONSTRUCTION NOTES
C-2.0	EXISTING CONDITIONS
C-3.0	PROPOSED SITE PLAN
C-3.1	DIMENSION PLAN
C-4.0	UTILITY PLAN
C-5.0	GRADING PLAN
C-5.1	SIGHT DISTANCE PROFILE
C-6.0	FIRE SAFETY PLAN
C-7.0	PRE DEVELOPMENT DRAINAGE MAP
C-7.1	PRE DEVELOPMENT DRAINAGE MAP
C-7.2	ADEQUATE OUTFALL SECTIONS
C-7.3	APPROVED FINAL SITE PLAN (FOR REFERENCE ONLY)
C-8.0	BMP PLAN
C-8.1	STORMWATER VRRM SPREADSHEETS
C-8.2	STORMWATER VRRM SPREADSHEETS
C-8.3	SANITARY OUTFALL ANALYSIS
C-8.4	SANITARY OUTFALL ANALYSIS
C-10.0	CONTEXTUAL SITE PLAN
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L2	LANDSCAPE PLAN
L3	SCHEMATIC SITE PLAN - 20 SCALE
L4	SITE SECTIONS
L5	SCHEMATIC LIGHTING PLAN
A 1.01	ARCHITECTURAL CONCEPT PLANS
A 1.02	ARCHITECTURAL CONCEPT ELEVATIONS
A 1.03	ARCHITECTURAL CONCEPT - MATERIALS
A 1.04	ARCHITECTURAL CONCEPT - MATERIALS
A 1.05	ARCHITECTURAL CONCEPT - CONTEXT AERIALS
A 2.01	AREA CALCULATIONS - PLANS

- REQUESTS:**
1. Master Plan Amendment to the Old Town North Small Area Plan (amending the maps that show the Land-use Designation and Zoning for Lot 502).
  2. Map Amendment Rezoning to change the zoning classification of the parcels from OC with proffers and RM with proffers, respectively, to OC.
  3. Development Special Use Permit with Site Plan (request to modify a side yard setback) to construct a multifamily residential building.
  4. Parking Reduction Special Use Permit.
  5. Transportation Management Plan (Tier 1)
  6. Modification of secondary front yard requirement and side yard requirement for the annex building. (0' provided for annex building instead of 20' required)



## COMPLETENESS REVIEW - BRIEF NARRATIVE

11/14/2014

The property is currently improved by a five story structure built in 1847 as a commercial cotton factory. Over the years, the building has been adaptively reused as a brewery, sparkplug factory, an apartment building, and most recently commercial offices.

A substantial portion of the property outside of the building footprint is an on grade asphalt surface parking lot supporting the office use. The property consists of two legal lots of ground.

515 N. Washington Street (64.02.04.01) is the office building parcel and is zoned OC. The second lot is 513 N Washington Street (64.02.04.06) is used for parking and is zoned RM. The combined property is approximately 28,879 square feet of land.

The Proposal is to return the historic building to residential drawing upon the rich history of the site and construct an annex to the historic building also to be used for residential units. 34 residential units are proposed, 25 units in the historic Mill Building and 9 units in the Annex addition. In order to redevelop the site with this density, the property will need to be rezoned.

For this submission, the new annex building has been modified to reduce its overall footprint while enlarging the spaces in between it and the existing historic structure. Building connection points have been minimized or eliminated to protect the quality and character of the cotton factory. The annex building now tiers down to the neighboring buildings to the East as well as moving balconies further from the property line to protect both neighbors and users' privacy.

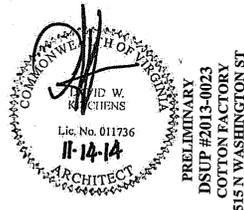
Additionally, the loft level of the annex building has been moved further back from the rest of the building facade on both the Pendleton and Washington St. sides to reduce the scale and visual impact of the element from street views of the site. An increased connection between the southern park space and adjoining properties has also been a focus. Balconies on the Eastern Roof of the existing historic structure have been moved inboard of the roofs eave line to minimize obtrusive additions to the building's facade.

<p><b>OWNER</b></p> <p>CAS RIEGLER 1501 11th St. NW Washington, DC 20004 tel: 202-508-6595 www.casriegler.com</p>	<p><b>ARCHITECT</b></p> <p>Cooper Carry 625 N. Washington St. Suite 200 Alexandria, VA 22314 tel: 703-519-6152 www.coopercarry.com</p>	<p><b>CIVIL</b></p> <p>Bohler Engineering 22636 Davis Drive Suite 250 Sterling, VA 20154 tel: 703-709-9500 www.bohlerengineering.com</p>	<p><b>STRUCTURAL</b></p> <p>Structura Inc. 111 Rockville Pike Suite 950 Rockville, MD 20850 tel: 301-987-9234 www.structura-inc.com</p>	<p><b>MEP</b></p> <p>Jordan &amp; Skala Engineers, Inc. 14500 Avion Parkway Suite 110 Chantilly, VA 20151 tel: 703-483-3730 www.jordanskala.com</p>	<p><b>ATTORNEY</b></p> <p>Land Clark Carroll Mendelson &amp; Blair, PC 524 King Street Alexandria, VA 22314 tel: 703-636-1000 www.landcarroll.com</p>
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**SCOPE DOCUMENTS**

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
1	CONCEPT 3	08/20/2014
2	DSUP	10/03/2014
3	PER CITY COMMENTS	11/14/2014



**APPROVED**

SPECIAL USE PERMIT NO. #2014-0006

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

515 NORTH WASHINGTON  
REUSE RESIDENTIAL

515 NORTH WASHINGTON ST,  
ALEXANDRIA, VA 22314

CAS RIEGLER COMPANIES

COVER SHEET

DAVID KITCHENS, AIA	20130161
Principal-in-Charge	Project No.
_____	10/03/2014
Project Manager	Date
BRANDON R. LENK	_____
Project Architect	_____
Staff Architect	_____

G 1.00

PROJECT NUMBER: 20130161 PROJECT NAME: 515 NORTH WASHINGTON REUSE - RESIDENTIAL  
SHEET NUMBER: G 1.00 - COVER SHEET  
P:\2013\20130161\7-drawings\7-1-rev\users\20130161\_2013\_lenk\kb.rvt  
12/2/2014 6:23:24 PM



SCOPE DOCUMENTS

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ISSUANCES

Table with 3 columns: No., Drawing Issue Description, Date. Includes entries for DSUP and PER CITY COMMENTS.



APPROVED SPECIAL USE PERMIT NO. #2014-0006 DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

515 NORTH WASHINGTON REUSE RESIDENTIAL

515 NORTH WASHINGTON ST, ALEXANDRIA, VA 22314

CAS RIEGLER COMPANIES

PROJECT DATA

DAVID KITCHENS, AIA 20130161 Principal in Charge Project No. DAVID KITCHENS, AIA 10/03/2014 Project Manager Date BRANDON R. LENK, AIA Project Architect Author Staff Architect

G 2.00

Main project data table with columns for OCCUPANCY CLASSIFICATIONS - ANNEX, OCCUPANCY CLASSIFICATIONS - MILL, BUILDING DATA, BUILDING AREAS, BUILDING HEIGHTS, FIRE RESISTANCE RATINGS, and MIXED OCCUPANCY SEPARATION.

AREA - OPEN SPACE table with columns: Area, Name, Level, Comments, Number. Includes levels 1A, 2A, 3A, LOFTA & 4, and 5.

PROJECT NUMBER: 20130161 PROJECT NAME: 515 NORTH WASHINGTON REUSE RESIDENTIAL SHEET NUMBER: G 2.00 - PROJECT DATA P:\2013\20130161\1d-7 drawings\1d-7 drawings\1d-7\_2013\_1entkb.rvt 11/11/2014 4:36:52 PM



**STANDARD DRAWING LEGEND**

FOR ENTIRE PLAN SET  
(NOT TO SCALE)

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE										
---	ONSITE PROPERTY LINE / R.O.W. LINE	---										
---	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	---										
---	EASEMENT LINE	---										
---	SETBACK LINE	---										
<table border="1"> <thead> <tr> <th colspan="2">CURB AND GUTTER</th> </tr> </thead> <tbody> <tr> <td></td> <td>CONCRETE CURB &amp; GUTTER</td> </tr> <tr> <td></td> <td>SPILL CURB</td> </tr> <tr> <td></td> <td>TRANSITION CURB</td> </tr> <tr> <td></td> <td>DEPRESSED CURB AND GUTTER</td> </tr> </tbody> </table>			CURB AND GUTTER			CONCRETE CURB & GUTTER		SPILL CURB		TRANSITION CURB		DEPRESSED CURB AND GUTTER
CURB AND GUTTER												
	CONCRETE CURB & GUTTER											
	SPILL CURB											
	TRANSITION CURB											
	DEPRESSED CURB AND GUTTER											
	UTILITY POLE WITH LIGHT											
	POLE LIGHT											
	TRAFFIC LIGHT											
	UTILITY POLE											
	TYPICAL LIGHT											
	ACORN LIGHT											
	TYPICAL SIGN											
	PARKING COUNTS											
	CONTOUR LINE											
	SPOT ELEVATIONS											
	SANITARY LABEL											
	STORM LABEL											
	SANITARY SEWER LATERAL											
	UNDERGROUND WATER LINE											
	UNDERGROUND ELECTRIC LINE											
	UNDERGROUND GAS LINE											
	OVERHEAD WIRE											
	UNDERGROUND TELEPHONE LINE											
	UNDERGROUND CABLE LINE											
	STORM SEWER											
	SANITARY SEWER MAIN											
	HYDRANT											
	SANITARY MANHOLE											
	STORM MANHOLE											
	WATER METER											
	WATER VALVE											
	GAS VALVE											
	GAS METER											
	TYPICAL END SECTION											
	HEADWALL OR ENDWALL											
	YARD INLET											
	CURB INLET											
	CLEAN OUT											
	ELECTRIC MANHOLE											
	TELEPHONE MANHOLE											
	ELECTRIC BOX											
	ELECTRIC PEDESTAL											
	MONITORING WELL											
	TEST PIT											
	BENCHMARK											
	BORING											

**STANDARD ABBREVIATIONS**

FOR ENTIRE PLAN SET

AC	ACRES	POG	POINT OF GRADE
ADA	AMERICANS WITH DISABILITY ACT	PROP	PROPOSED
ARCH	ARCHITECTURAL	PT	POINT OF TANGENCY
BC	BOTTOM OF CURB	PTCR	POINT OF TANGENCY, CURB RETURN
BF	BASEMENT FLOOR	PVC	POLYVINYL CHLORIDE PIPE
BK	BLOCK	PVI	POINT OF VERTICAL INTERSECTION
BL	BASELINE	PVT	POINT OF VERTICAL TANGENCY
BLDG	BUILDING	R	RADIUS
BM	BUILDING BENCHMARK	RCP	REINFORCED CONCRETE PIPE
BRL	BUILDING RESTRICTION LINE	RET WALL	RETAINING WALL
CF	CUBIC FEET	R/W	RIGHT OF WAY
CL	CENTERLINE	S	SLOPE
CMP	CORRUGATED METAL PIPE	SAN	SANITARY SEWER
CONN	CONNECTION	SF	SQUARE FEET
CONC	CONCRETE	STA	STATION
CPP	CORRUGATED PLASTIC PIPE	STM	STORM
CY	CUBIC YARDS	SW	SIDEWALK
DEC	DECORATIVE	TBR	TO BE REMOVED
DEP	DEPRESSED	TBRL	TO BE RELOCATED
DIP	DUCTILE IRON PIPE	TC	TOP OF CURB
DOM	DOMESTIC	TELE	TELEPHONE
ELEC	ELECTRIC	TPF	TREE PROTECTION FENCE
ELEV	ELEVATION	TW	TOP OF WALL
EP	EDGE OF PAVEMENT	TYP	TYPICAL
ES	EDGE OF SHOULDER	UG	UNDERGROUND
EW	END WALL	UP	UTILITY POLE
EX	EXISTING	W	WIDE
FES	FLARED END SECTION	WL	WATER LINE
FF	FINISHED FLOOR	WM	WATER METER
FH	FIRE HYDRANT	±	PLUS OR MINUS
FG	FINISHED GRADE	°	DEGREE
G	GRADE	Ø	DIAMETER
GF	GARAGE FLOOR (AT DOOR)	#	NUMBER
GH	GRADE HIGHER SIDE OF WALL		
GL	GRADE LOWER SIDE OF WALL		
GRT	GRATE		
GV	GATE VALVE		
HDPE	HIGH DENSITY POLYETHYLENE PIPE		
HP	HIGH POINT		
HOR	HORIZONTAL		
HW	HEADWALL		
INT	INTERSECTION		
INV	INVERT		
LF	LINEAR FOOT		
LOC	LIMITS OF CLEARING		
LOD	LIMITS OF DISTURBANCE		
LOS	LINE OF SIGHT		
LP	LOW POINT		
L/S	LANDSCAPE		
MAX	MAXIMUM		
MIN	MINIMUM		
MH	MANHOLE		
MJ	MECHANICAL JOINT		
OC	ON CENTER		
PA	POINT OF ANALYSIS		
PC	POINT CURVATURE		
PCCR	POINT OF COMPOUND CURVATURE, CURB RETURN		
PI	POINT OF INTERSECTION		

**PROPOSED EASEMENT LEGEND**

	SIGHT DISTANCE
	STORM DRAIN
	SANITARY SEWER
	WATER
	PUBLIC ACCESS
	COMMON SHARED
	INGRESS-EGRESS
	PUBLIC UTILITY
	VARIABLE WIDTH S

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CHARLOTTE, NC

CIVIL & CONSULTING ENGINEERS  
SURVEYORS  
PROJECT MANAGERS  
ENVIRONMENTAL CONSULTANTS  
LANDSCAPE ARCHITECTS

**REVISIONS**

REV	DATE	COMMENT	BY
1	11/14/14	DSUP COMPLETENESS COMMENTS	IS

**NOT APPROVED FOR CONSTRUCTION**

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, NORTH CAROLINA AND DELAWARE CALL: 811 (WV: 1-800-235-4545) (PA: 1-800-242-1776) (DC: 1-800-257-7777) (VA: 1-800-552-7911) (MD: 1-800-257-7777) (DE: 1-800-282-8529)

**NOT APPROVED FOR CONSTRUCTION**

PROJECT No.:	S132117
DRAWN BY:	IS
CHECKED BY:	MT
DATE:	10/31/14
SCALE:	AS NOTED
CAD I.D.:	SD1

**DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER**

LOCATION OF SITE:  
515 NORTH WASHINGTON STREET  
CITY OF ALEXANDRIA, VA  
LOTS 501 & 503  
D.B. 981 PG. 774

**BOHLER ENGINEERING**

22636 DAVIS DRIVE, SUITE 250  
STERLING, VIRGINIA 20164  
Phone: (703) 709-9500  
Fax: (703) 709-9501  
www.BohlerEngineering.com

**COMMONWEALTH OF VIRGINIA**

MICHAEL J. O'HARA JR.  
Lic. No. 34168  
11/14/14  
PROFESSIONAL ENGINEER

SHEET TITLE:  
**GENERAL NOTES & LEGEND**

SHEET NUMBER:  
**C-1.1**  
OF 33

**APPROVED**

SPECIAL USE PERMIT NO. DSUP 2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

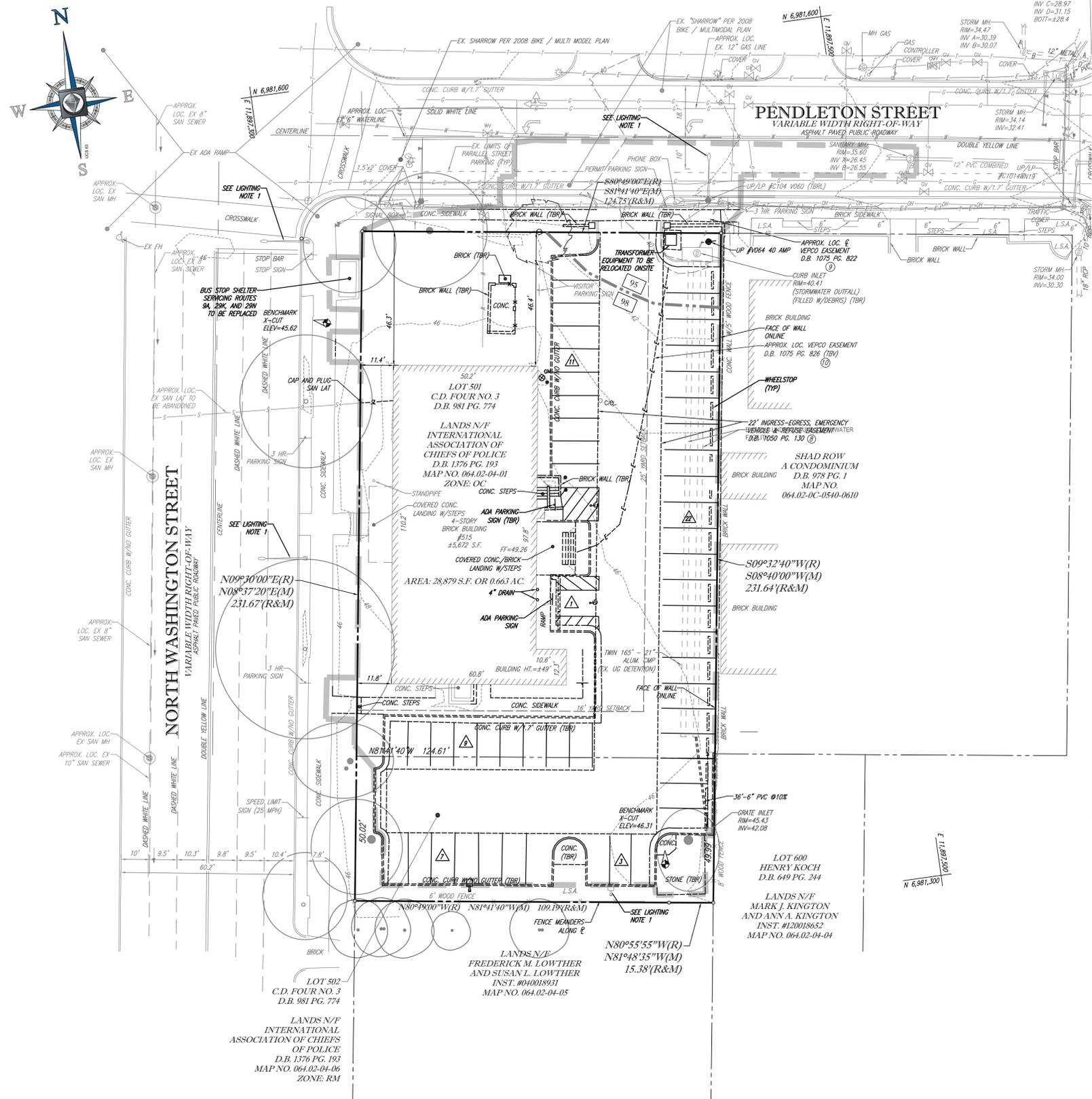
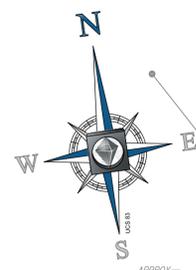
DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL FULL COMPLIANCE WITH LOCAL, STATE AND FEDERAL CODES.





3/10/14 MH-  
FILLED W/DEBRIS  
RIM=31.95  
INV A=29.0  
INV B=32.75  
HW C=28.97  
INV D=31.15  
BOT=32.84

**SOIL LEGEND**

95	URBAN LAND
98	URBAN LAND - GRIST MILL

SOIL TYPE BOUNDARY

**SITE DEVELOPMENT NARRATIVE**

PARCELS 064.02-04-01 (LOT 501) AND 064.02-04-06 (LOT 502) CONSIST OF A HISTORIC FOUR STORY MASONRY OFFICE BUILDING AND PARKING LOT. PARCEL 064.02-04-01 IS ZONED OC AND PARCEL 064.02-04-06 IS ZONED RM. THE PROPOSED DEVELOPMENT WILL MAINTAIN THE EXISTING STRUCTURE AND CONVERT IT FROM OFFICE TO RESIDENTIAL USE WHILE INCORPORATING A NORTHERN RESIDENTIAL EXPANSION. PARKING WILL CONSIST OF 32 SURFACE SPACES. THE EXISTING STRUCTURE TO REMAIN IS OF LOCAL HISTORICAL SIGNIFICANCE.

**MARINE CLAYS NOTE**

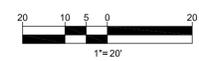
1. THE SITE HAS NO EXISTING MARINE CLAYS PER CITY MAPS

**ADJACENT OWNER TABLE**

ZONE	NAME OF OWNER	ADDRESS
RM	SHAD ROW CONDOMINIUM	600 PENDLETON ST
RM	KOZINSKI, KASIA	540 N ST ASAPH ST
RM	KLEIN, FRANK/ MEI, LING	542 N ST ASAPH ST
RM	PATE, MICHAEL L/ BARBARA, A	544 N ST ASAPH ST
RM	KNIGHT, ROBERT PAUL/ PATTERSON, ALMA JOANN	546 N ST ASAPH ST
RM	SULLIVAN, TERESSA ELIZABETH	548 N ST ASAPH ST
RM	SULLIVAN, TERESSA E	550 N ST ASAPH ST
RM	CASEY, BENJAMIN/ MCWEENEY, BRIANNE	552 N ST ASAPH ST
RM	JOSSIS, KACEE L	554 N ST ASAPH ST
RM	HART, PETER J/ VALORA, JAIME L	556 N ST ASAPH ST
RM	CALEBS LIMITED PARTNERSHIP	558 N ST ASAPH ST
RM	DELLASALA, MARC/ JAIME, LEE	560 N ST ASAPH ST
RM	LOUCAS, MARK A	562 N ST ASAPH ST
RM	ROTH, EUNHEE	564 N ST ASAPH ST
RM	SHELDON, DONALD/ LISA M TRS	566 N ST ASAPH ST
RM	MILLER, DIANNE N	568 N ST ASAPH ST
RM	GODWIN, ASHLEY D	570 N ST ASAPH ST
RM	BROWN, KATHERINE E	572 N ST ASAPH ST
RM	MAKKONEN, YOHANNES	574 N ST ASAPH ST
RM	BOSSE, KEVIN D/ MELINDA C	576 N ST ASAPH ST
RM	EDWARDS, TRINA	602 PENDLETON ST
RM	PETERS, PAUL J	604 PENDLETON ST
RM	BAITCH, MEGAN/ MUNDT, JEFFREY	606 PENDLETON ST
RM	RENEHAN, SUSAN D	608 PENDLETON ST
RM	GRAY, CHRISTOPHER M	610 PENDLETON ST

**LIGHTING NOTES**

1. EX CORBA HEAD LIGHTS TO BE REMOVED / REPLACED WITH STREET LIGHTING SHOWN ON LANDSCAPE SHEETS INCLUDED WITH THIS SET.



**APPROVED**  
SPECIAL USE PERMIT NO. DSUP 2013 - 0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

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CHALCOTE VA  
TAMPA FL

PROJECT MANAGERS:  
ALBANY NY  
WARRENTON VA  
CHALCOTE VA  
TAMPA FL

ENVIRONMENTAL CONSULTANTS:  
LANCASTER PA  
LANCASTER PA  
LANCASTER PA

ARCHITECTS:  
LANCASTER PA  
LANCASTER PA  
LANCASTER PA

**REVISIONS**

REV	DATE	COMMENT	BY
1	11/14/14	DSUP COMPLETENESS COMMENTS	IS

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**DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER**

LOCATION OF SITE  
515 NORTH WASHINGTON STREET  
CITY OF ALEXANDRIA, VA  
LOTS 501 & 503  
D.B. 981 PG. 774

**BOHLER ENGINEERING**

22636 DAVIS DRIVE, SUITE 250  
STERLING, VIRGINIA 20164  
Phone: (703) 709-9500  
Fax: (703) 709-9501  
www.BohlerEngineering.com

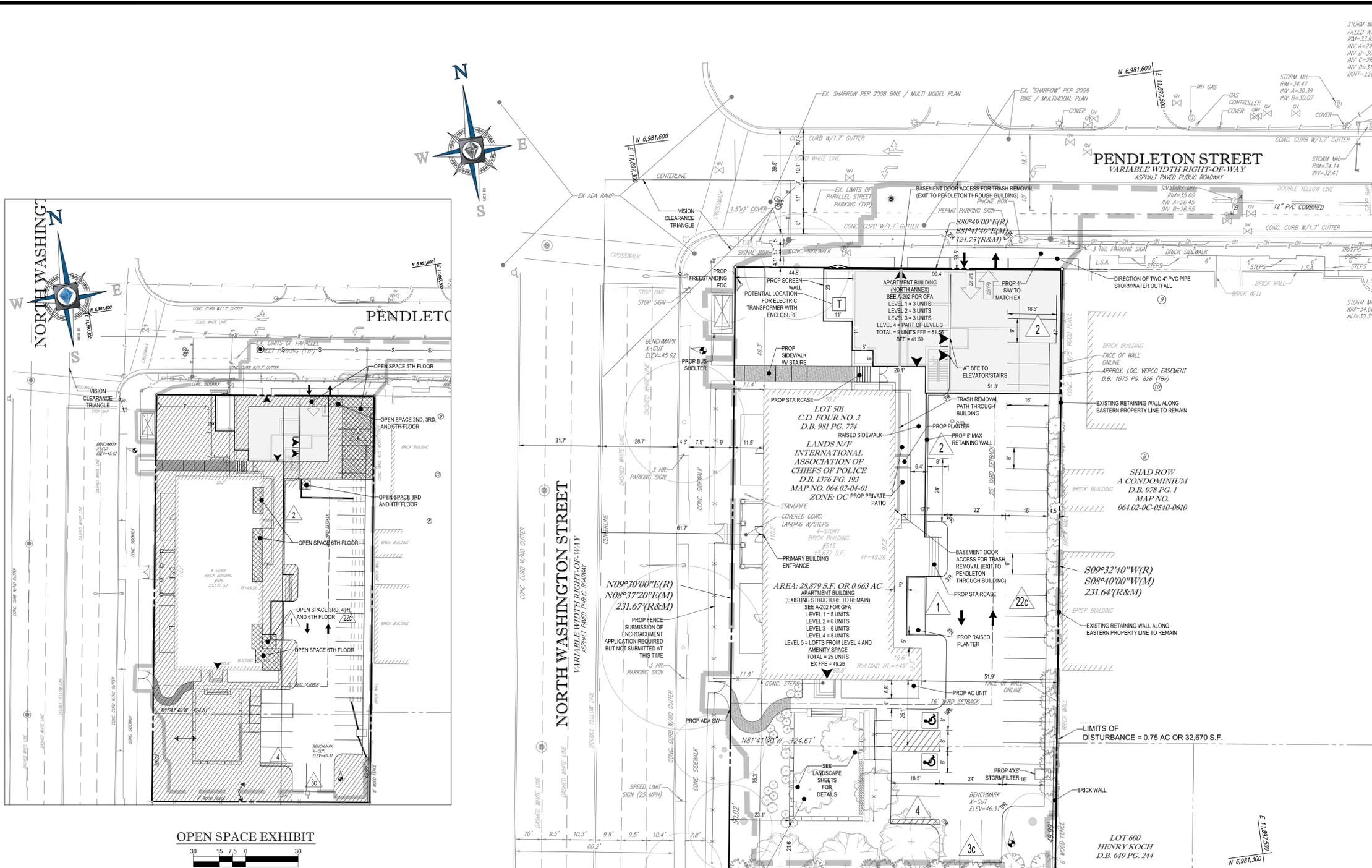
**COMMONWEALTH OF VIRGINIA**

MICHAEL J. O'HARA JR.  
Lic. No. 34168  
11/14/14  
PROFESSIONAL ENGINEER

SHEET TITLE:  
**EXISTING CONDITIONS**

SHEET NUMBER:  
**C-2.0**  
OF 33

GENERAL NOTE:  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE IN ACCORDANCE WITH THE CITY OF ALEXANDRIA SPECIFICATIONS AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALEXANDRIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL FULL CODES AND REGULATIONS AND LOCALS.



### SITE TABULATIONS (COMBINED)

SITE AREA: 0.663 AC (28,879 SF)  
(LOT 501 AND 502 - ZONE OC)  
DEFINITIONS APPLIED

REQUIRED / ALLOWED	PROVIDED
A. F.A.R. (MAX)	1.25
B. OPEN SPACE	40% (11,951 SF)
SITE OPEN SPACE	10,504 SF
ROOF OPEN SPACE	1,482 SF
C. MINIMUM LOT AREA	28,879 SF
D. BUILDING HEIGHT	50 FT (MAX)
E. GROSS FLOOR AREA (GFA)	46,247 SF
EXISTING BUILDING:	N/A
NORTH ANNEX:	13,494
F. NET FLOOR AREA (NFA)	36,099 (1.25 FAR)
EXISTING BUILDING:	N/A
NORTH ANNEX:	23,895
G. TREE CANOPY:	7,220 SF (25%)
H. DENSITY (UNITS/AC):	54.45
I. AVERAGE FINISHED GRADE:	N/A
L. AVERAGE FINISHED GRADE:	49.26

**PARKING:**

ADA PARKING REQUIREMENTS: 2 SP REQUIRED FOR 26 TO 50 SP REQ, 2 SP PROVIDED

VAN ACCESSIBLE SPACE REQUIREMENTS: 1 SP REQUIRED PER 26 TO 50 SP REQ, 1 SP PROVIDED

PARKING REQUIREMENTS: 50 SPACES, 34 SPACES TOTAL (75% COMPACT), 13 SP ANNEX BLDG

\* SEE SHEET A-202 FOR SF BREAKDOWN PER FLOOR OF EXISTING AND PROPOSED BUILDING.

\*\* SEE PARKING STUDY FOR FURTHER INFORMATION.

**TRIP GENERATION STATISTICS**

TRIP GENERATION IS PER ITE TRIP GENERATION METHOD VERSION 9

EXISTING - 385 ADT (BASED ON 710 - GENERAL OFFICE)

PROPOSED - 226 ADT (BASED ON 220 - APARTMENT)

### SITE NOTES

- EMERGENCY VEHICLE ACCESS SHALL BE PROVIDED FROM ALONG THE PUBLIC ROW.
- THE SITE IS NOT LOCATED IN A TRANSITION ZONE SETBACK.
- PER CITY OF ALEXANDRIA MARINE SOILS MAP, THERE ARE NO MARINE FACILITIES LOCATED ON SITE.
- THE PROJECT IS LOCATED IN THE COMBINED SEWER AREA.
- NO LOADING SPACES REQUIRED / PROPOSED. LOADING TO TAKE PLACE FROM ON SITE ON A PERMIT BASIS CONTROLLED BY PROPERTY MANAGEMENT FOR MOVES IN / OUTS.
- THE SITE IS NOT LOCATED IN A RESOURCE PROTECTION AREA (RPA) PER THE CITY OF ALEXANDRIA'S GIS.
- LOADING AND TRASH PICKUP SHALL OCCUR ON THE FRONTAGE OF PENDLETON STREET.
- SHELTER CONFIGURATION TO BE DETERMINED AT TIME OF SITE PLAN.
- PEDESTAL MOUNTED ELECTRICAL METER WIRED TO STREET LIGHTS AND BUS SHELTER BY OTHERS. BAR APPROVAL REQUIRED FOR METER PLACEMENT AND DESIGN.
- NUMBER OF 6" RISERS AT STAIRCASES SHOWN TO BE FINALIZED WITH SITE PLAN.
- BIKE PARKING PROVIDED INTERNAL TO BUILDING. SEE ARCHITECTURE PLANS.
- TRASH STORAGE LOCATED INSIDE BUILDING. SEE ARCHITECTURE PLANS. WASTE PICKUP TO BE FROM PENDLETON STREET.

### ENVIRONMENTAL NARRATIVE

PER THE PHASE 1 ENVIRONMENTAL SITE ASSESSMENT PREPARED BY ICOR DATED 9/16/13 (PROJECT #13CAS06), ONE POTENTIAL ENVIRONMENTAL ISSUE WAS NOTED ON THE SUBJECT PROPERTY. THE ON SITE TRANSFORMER OWNED BY DOMINION WAS NOTED TO BE LEAKING AS PART OF THE ENVIRONMENTAL FINDINGS, BUT IT WAS UNCLEAR IF THIS WAS AN ENVIRONMENTAL CONCERN. THE TRANSFORMER IS SCHEDULED TO BE REPLACED AS PART OF THE REDEVELOPMENT, AND DOMINION SHOULD TAKE ANY ACTIONS NECESSARY TO REMEDIATE ANY ISSUES CAUSED BY THE LEAK.

### LEGEND

- PERMEABLE PAVEMENT
- VEHICLES PER DAY IN / OUT OF SITE

### OPEN SPACE EXHIBIT

### OPEN SPACE SUMMARY:

	LOT 501	LOT 502	TOTAL
GROUND LEVEL	6,492 SF	4,012 SF	10,504 SF
ROOFTOP	1,482 SF	N/A	1,482 SF
TOTAL	7,974 SF	4,012 SF	11,986 SF

NOTE:  
SEE ARCHITECTURAL SHEET A 201 FOR OPEN SPACE ON ROOFTOP.

### SITE TABULATIONS (LOT 501)

SITE AREA: 0.520 AC (22,647 SF)  
(LOT 501 - ZONE OC)

REQUIRED / ALLOWED	PROVIDED
A. F.A.R. (MAX)	1.25 FAR (OC-ZONE)
B. OPEN SPACE	40% (9,059 SF)
SITE OPEN SPACE	6,492 SF
ROOF OPEN SPACE	1,482 SF
C. MINIMUM LOT AREA (800 SF / UNIT)	27,200 SF
D. BUILDING HEIGHT	50 FT (MAX)
E. GROSS FLOOR AREA (GFA):	N/A
EXISTING BUILDING:	36,099 SF
NORTH ANNEX:	32,763 SF
F. NET FLOOR AREA (NFA):	5,662 SF (25%)
G. TREE CANOPY:	5,500 SF (24%)
H. DENSITY (UNITS/AC):	54.45
I. AVERAGE FINISHED GRADE:	N/A
J. LOT FRONTAGE:	50'
K. YARDS:	125'
FRONT:	N/A
SIDE:	16 OR 1:2 SETBACK RATIO
REAR:	N/A

LANDS N/F INTERNATIONAL ASSOCIATION OF CHIEFS OF POLICE  
D.B. 1376 PG. 193  
MAP NO. 064.02-04-06  
ZONE: RM

### SITE TABULATIONS (LOT 502)

SITE AREA: 0.143 AC (6,232 SF)  
(LOT 502 - ZONE RM)

REQUIRED / ALLOWED	PROVIDED
A. F.A.R. (MAX)	1.5
B. OPEN SPACE:	1,544 SF
SITE OPEN SPACE	4,012 SF (63%)
ROOF OPEN SPACE	0 SF
C. MINIMUM LOT AREA	N/A
D. BUILDING HEIGHT	35'
E. GROSS FLOOR AREA (GFA):	9,348 SF
EXISTING BUILDING:	0 SF
NORTH ANNEX:	0 SF
F. NET FLOOR AREA (NFA):	1,558 SF (25%)
G. TREE CANOPY:	6,750 SF (108%)
H. DENSITY (UNITS/AC):	30
I. AVERAGE FINISHED GRADE:	N/A
J. LOT FRONTAGE:	N/A
K. YARDS:	N/A (NO USES)

EXISTING OPEN SPACE (LESS THAN 35% OF SITE AREA 2,181 SF) DEFINES REQUIREMENT PER ZONING ORDINANCE.

**APPROVED**  
SPECIAL USE PERMIT NO. DSUP 2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

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HUNTSVILLE, AL  
INDIANAPOLIS, IN  
JACKSONVILLE, FL  
LITTLE ROCK, AR  
MEMPHIS, TN  
NORFOLK, VA  
PHILADELPHIA, PA  
RICHMOND, VA  
TAMPA, FL  
WILMINGTON, DE

CIVIL & CONSULTING ENGINEERS  
SURVEYORS  
PROJECT MANAGERS  
ENVIRONMENTAL CONSULTANTS  
LANDSCAPE ARCHITECTS

### REVISIONS

REV	DATE	COMMENT	BY
1	11/14/14	DSUP COMPLETENESS COMMENTS	IS

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**DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER**

PROJECT NO.: S132117  
DRAWN BY: IS  
CHECKED BY: MT  
DATE: 10/31/14  
SCALE: 1"=20'  
CAD I.D.: SSO

LOCATION OF SITE:  
515 NORTH WASHINGTON STREET  
CITY OF ALEXANDRIA, VA  
LOTS 501 & 503  
D.B. 981 PG. 774

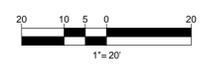
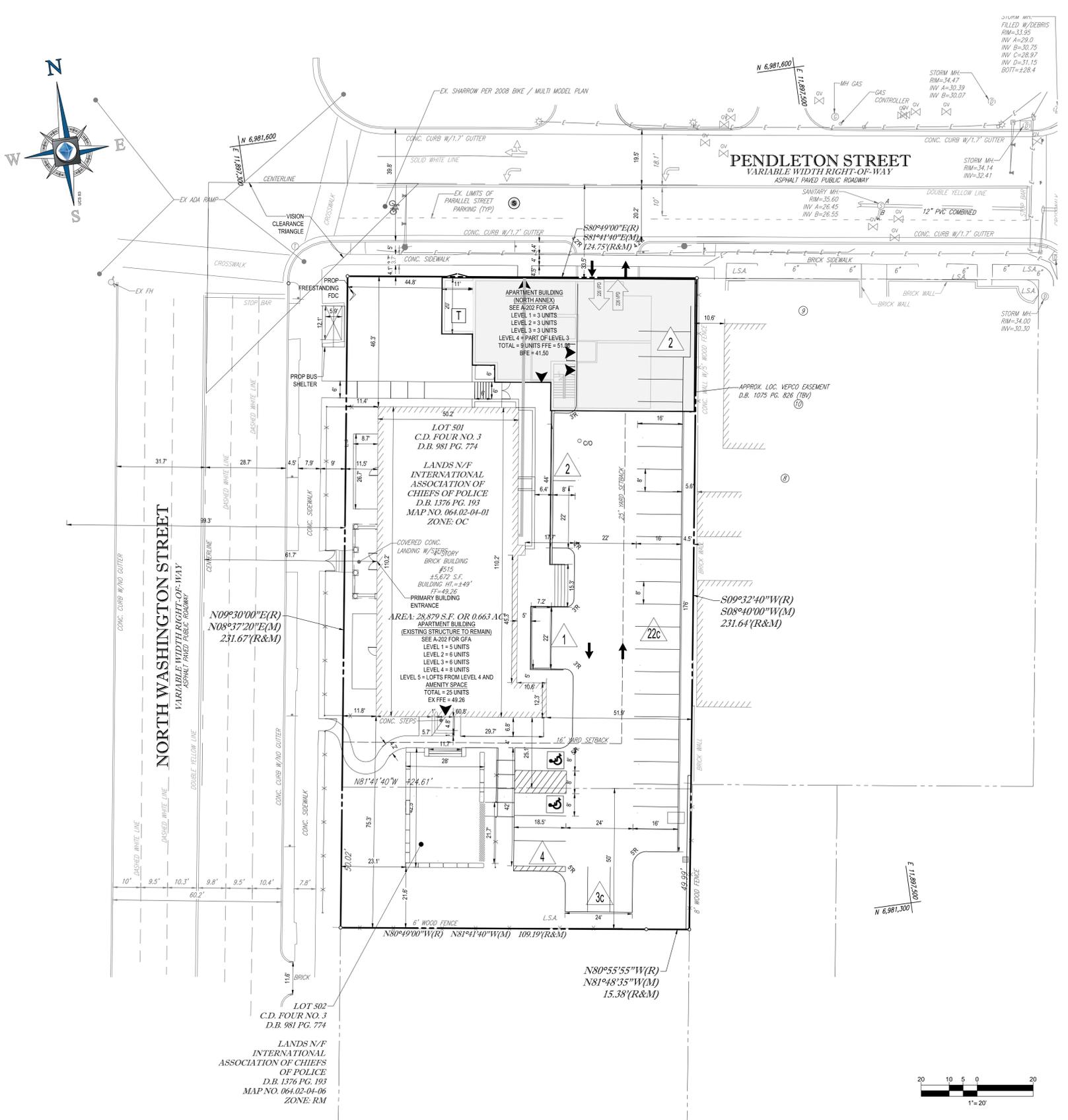
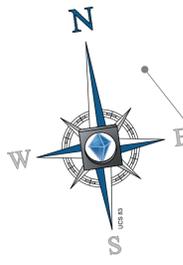
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COMMONWEALTH OF VIRGINIA  
MICHAEL J. OTHARA JR.  
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11/14/14  
PROFESSIONAL ENGINEER

**PROPOSED SITE PLAN**

SHEET NUMBER:  
**C-3.0**  
OF 33



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STORM MH:  
 RIM=34.47  
 INV A=30.25  
 INV B=28.97  
 INV C=28.97  
 INV D=31.15  
 BOTT=±28.4

**BOHLER ENGINEERING**

CORPORATE OFFICE:  
 WARREN, NJ

REGIONAL OFFICES:  
 SOUTH BOROUGHS, MA  
 ALBANY, NY  
 CHAMFORD, PA  
 TAMPA, FL

PROJECT MANAGERS:  
 SOUTH BOROUGHS, MA  
 ALBANY, NY  
 CHAMFORD, PA  
 TAMPA, FL

ENVIRONMENTAL CONSULTANTS:  
 SOUTH BOROUGHS, MA  
 ALBANY, NY  
 CHAMFORD, PA  
 TAMPA, FL

LANDSCAPE ARCHITECTS:  
 SOUTH BOROUGHS, MA  
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PROJECT No.: S132117  
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 CHECKED BY: MT  
 DATE: 10/31/14  
 SCALE: 1"=20'  
 CAD I.D.: SSD

**DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER**

LOCATION OF SITE:  
 515 NORTH WASHINGTON STREET  
 CITY OF ALEXANDRIA, VA  
 LOTS 501 & 503  
 D.B. 981 PG. 774

**BOHLER ENGINEERING**

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**APPROVED**  
 SPECIAL USE PERMIT NO. DSUP 2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

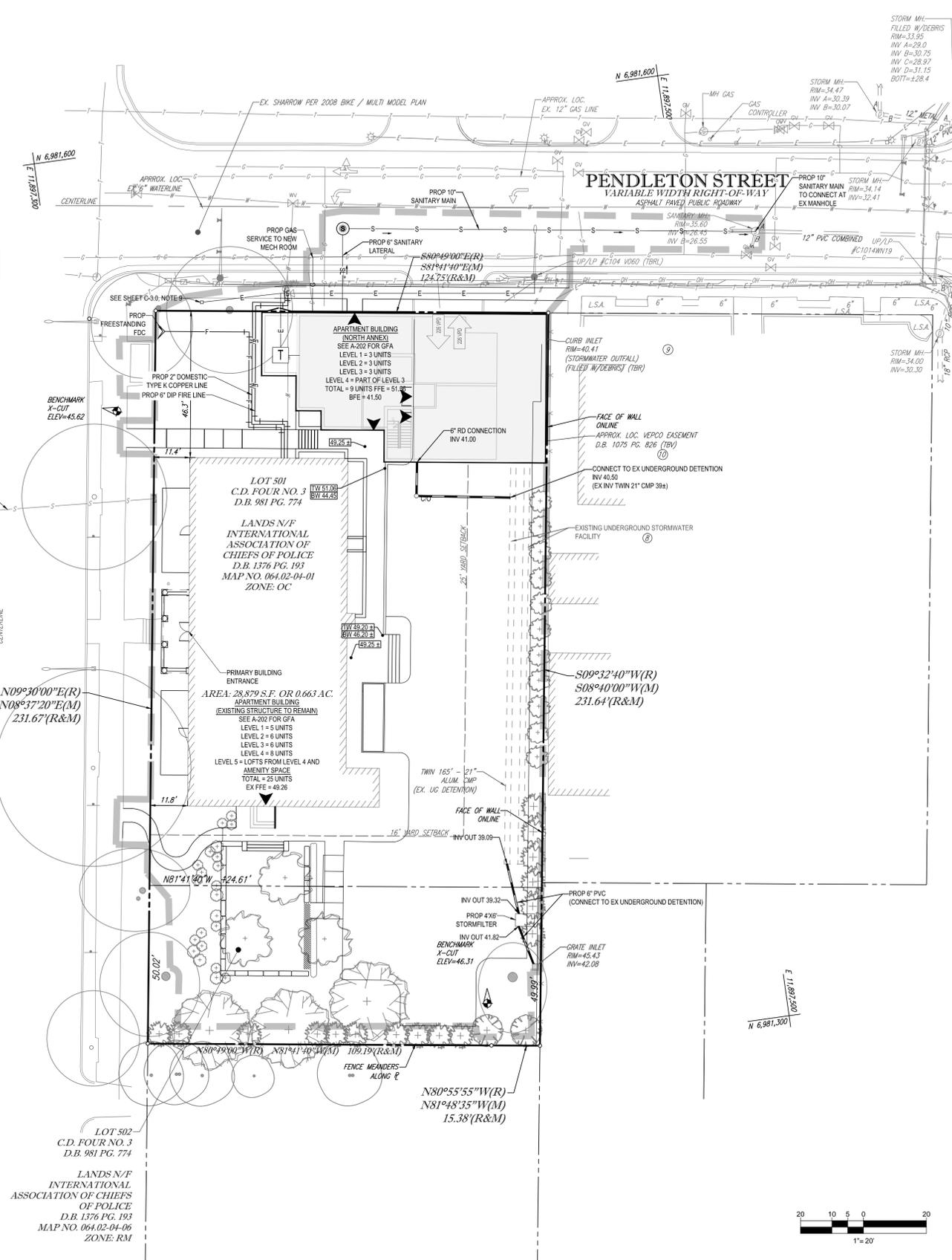
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SHEET TITLE:  
**DIMENSION PLAN**

SHEET NUMBER:  
**C-3.1**  
 OF 33



NORTH WASHINGTON STREET  
VARIABLE WIDTH RIGHT-OF-WAY  
ASPHALT PAVED PUBLIC ROADWAY



**UTILITY WORKS**

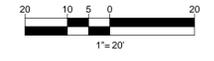
UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS DESCRIBED IN SECTION 4VAC50-30-40 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH) AND ADDITIONAL APPLICABLE PRACTICES FOLLOWED BY THE CITY OF ALEXANDRIA.

- A. ALL PRIVATE UTILITIES SHALL BE LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY AND PUBLIC UTILITY EASEMENTS UNLESS THE UTILITY OWNERS HAVE FRANCHISE AGREEMENT WITH THE CITY OF ALEXANDRIA; HOWEVER, NO ELECTRIC TRANSFORMERS AND SWITCH GEARS / CONTROL BOXES SHALL BE PLACED IN THE PUBLIC RIGHT OF WAY.
- B. ALL THE EXISTING AND PROPOSED PUBLIC AND PRIVATE UTILITIES AND EASEMENTS SHALL BE SHOWN AND A DESCRIPTIVE NARRATION OF VARIOUS UTILITIES SHALL BE PROVIDED ON THE PLAN.
- C. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN UTILITY SERVICES AT ALL TIMES DURING CONNECTION AND/OR CONSTRUCTION.
- D. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
- E. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE TRENCHES.
- F. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
- G. MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ACCORDANCE WITH THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
- H. SHOULD UTILITY CONSTRUCTION BE PERFORMED AFTER COMPLETING EARTHWORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACHIEVING 98 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1551) COMPACTION IN ALL TRENCH BACKFILL.
- I. DESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE VIRGINIA REGULATIONS 4VAC50-30 EROSION AND SEDIMENT CONTROL REGULATIONS, VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH).
- J. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
- K. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL CONTROL MEASURES AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION, AS DETERMINED BY THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, CITY OF ALEXANDRIA.
- L. A REMEDIATION PLAN SHALL BE SUBMITTED DETAILING HOW CONTAMINATED SOILS AND/OR GROUNDWATER WILL BE DEALT WITH, INCLUDING PLANS TO PREMEDITATE UTILITY CORRIDORS.
- M. UTILITY CORRIDORS IN CONTAMINATED SOIL SHALL BE OVER EXCAVATED BY 2 FEET AND BACKFILLED WITH "CLEAN" SOIL.
- N. GRADING CAN BE PERFORMED ON INSTALLATION OF UTILITIES.
- O. PER MEMO TO INDUSTRY 02-09, DESIGN GUIDELINES FOR SITE PLAN PREPARATION, ALL NEW INSTALLATIONS AND/OR REINSTALLATIONS OF UTILITIES SUCH AS ELECTRICAL LINES, GAS PIPES, COMMUNICATION CABLES INCLUDING WATER AND SEWER LATERALS ON BOTH PRIVATE PROPERTY AND IN THE PUBLIC RIGHT OF WAY IN THE CITY OF ALEXANDRIA SHALL BE PROVIDED WITH 3" AND 6" WIDE 5 MIL OVERALL THICKNESS DETECTABLE UNDERGROUND WARNING TAPES (DUWT) PER MEMO TO INDUSTRY 02-09, DESIGN GUIDELINES FOR SITE PLAN PREPARATION. THE 3" DUWT SHALL BE INSTALLED AT DEPTHS OF 12" TO 18" AND 6" WIDE AT A DEPTH OF 24" SO AS TO MAKE UNDERGROUND INSTALLATIONS EASY TO FIND USING A NON-FERROUS LOCATOR. THE DUWT SHALL BE WITH ALUMINUM BACKING OR SOLID ALUMINUM CORE LAMINATED WITH A PROTECTIVE CLEAR FILM ON BOTH SIDES. SEALING AND PROTECTING THE GRAPHICS FROM UNDERGROUND MOISTURE, ACIDS, ALKALIS, AND OTHER SOIL SUBSTANCES. ALL DUWT TAPES SHALL BE PRINTED IN BLACK INK ON AMERICAN PUBLIC WORKS ASSOCIATION (APWA) APPROVED COLORS TO MEET OR EXCEED INDUSTRY STANDARDS. THE FOLLOWING ARE THE APWA COLOR CODES:

COLOR	CODES
RED	CAUTION BURIED ELECTRIC POWER LINES, CABLES, CONDUITS, AND LIGHTING CABLES
YELLOW	CAUTION GAS, OIL, STEAM, PETROLEUM, OR GASEOUS MATERIALS
ORANGE	CAUTION COMMUNICATIONS, ALARM OR SIGNAL LINES, CABLES, OR CONDUITS
BLUE	CAUTION POTABLE WATER
PURPLE	CAUTION RECLAIMED WATER, IRRIGATION AND SLURRY LINES
GREEN	CAUTION SEWER, DRAIN LINES, AND FORCE MAIN

**NOTES:**

- 1. WATER OWNED BY VIRGINIA AMERICAN WATER, CABLE BY VERIZON, ELECTRIC BY DVP. STORM ON SITE TO BE PRIVATELY MAINTAINED BY HOA.
- 2. 2" DOMESTIC TYPE K COPPER LINE SERVING EXISTING BUILDING.
- 3. 6" DIP FIRE LINE SERVING EXISTING BUILDING.



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 NEW YORK, NY  
 PHOENIX, AZ  
 RICHMOND, VA  
 TAMPA, FL  
 WASHINGTON, DC

CIVIL & CONSULTING ENGINEERS

PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

**REVISIONS**

REV	DATE	COMMENT	BY
1	11/14/14	DSUP COMPLETENESS COMMENTS	IS



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**NOT APPROVED FOR CONSTRUCTION**

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**DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER**

LOCATION OF SITE  
515 NORTH WASHINGTON STREET  
CITY OF ALEXANDRIA, VA  
LOTS 501 & 503  
D.B. 981 PG. 774

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SHEET TITLE:  
**UTILITY PLAN**

SHEET NUMBER:  
**C-4.0**  
OF 33

**APPROVED**  
SPECIAL USE PERMIT NO. DSUP 2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

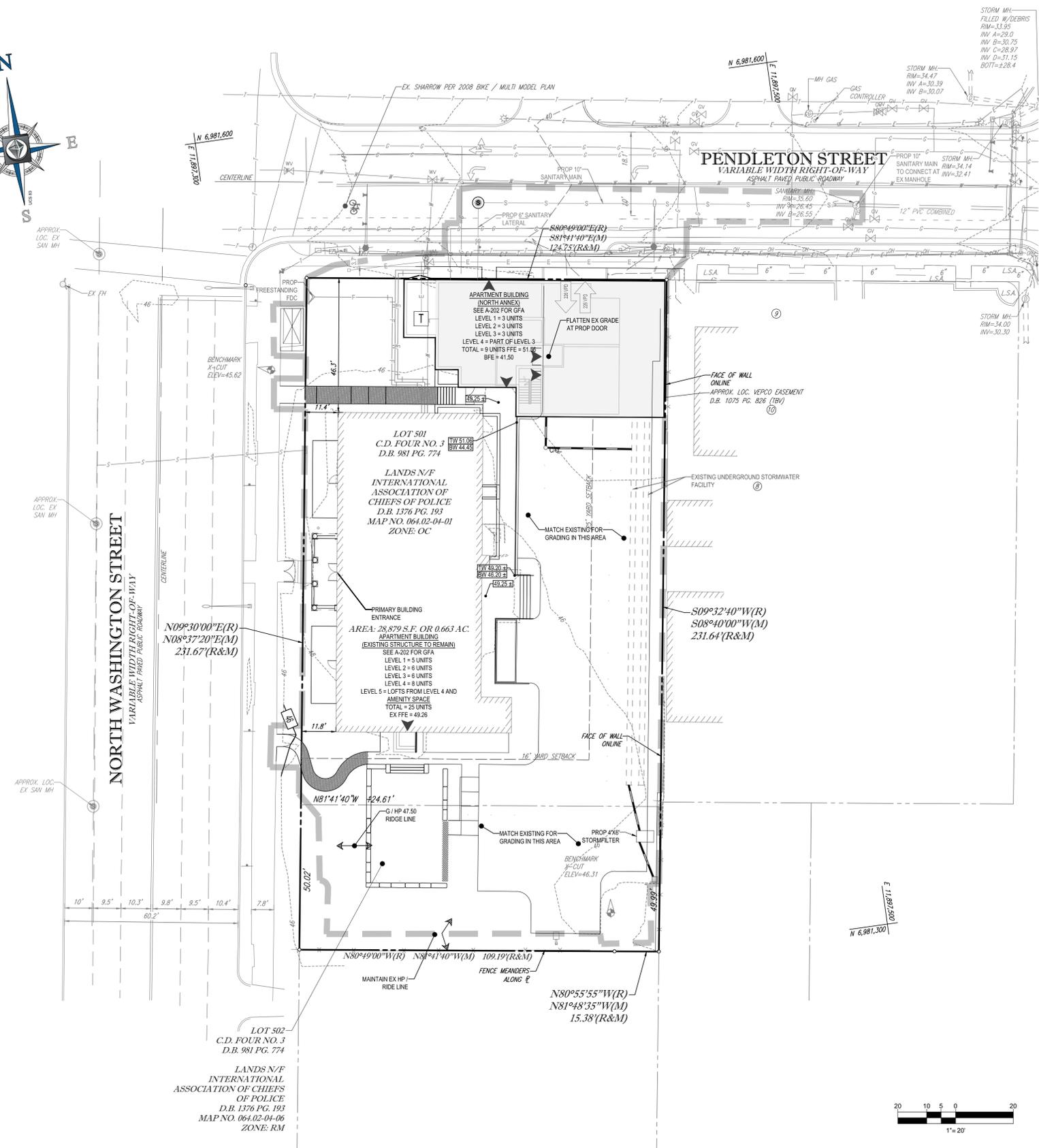
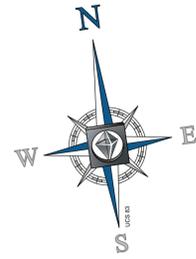
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

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**GRADING NARRATIVE**

THE PROPOSED GRADING WILL MIMIC THE PRE DEVELOPED DRAINAGE DIVIDES OF THE EXISTING SITE TO THE EXTENT PRACTICAL IN ORDER TO MAINTAIN THE FUNCTION OF THE EXISTING UNDERGROUND DETENTION FACILITY. AS A RESULT, MINIMUM GRADING IS PROPOSED. THE 'C' CONTOURS REQUIRED BY THE DSUP CHECKLIST ARE PROVIDED. SEE SHEET C-7.0 AND C-7.1 FOR PRE AND POST DRAINAGE DIVIDES.

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PHILADELPHIA, PA  
TAMPA, FL  
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CHECKED BY: MT  
DATE: 10/31/14  
SCALE: 1"=20'  
CAD I.D.: SSD

**DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER**

LOCATION OF SITE:  
515 NORTH WASHINGTON STREET  
CITY OF ALEXANDRIA, VA  
LOTS 501 & 503  
D.B. 981 PG. 774

**BOHLER ENGINEERING**

22636 DAVIS DRIVE, SUITE 250  
STERLING, VIRGINIA 20164  
Phone: (703) 709-9500  
Fax: (703) 709-9501  
www.BohlerEngineering.com

**COMMONWEALTH OF VIRGINIA**  
MICHAEL J. O'HARA JR.  
Lic. No. 34168  
11/14/14  
PROFESSIONAL ENGINEER

SHEET TITLE:  
**GRADING PLAN**

SHEET NUMBER:  
**C-5.0**  
OF 33

**APPROVED**  
SPECIAL USE PERMIT NO. DSUP 2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

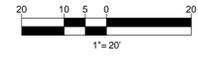
DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

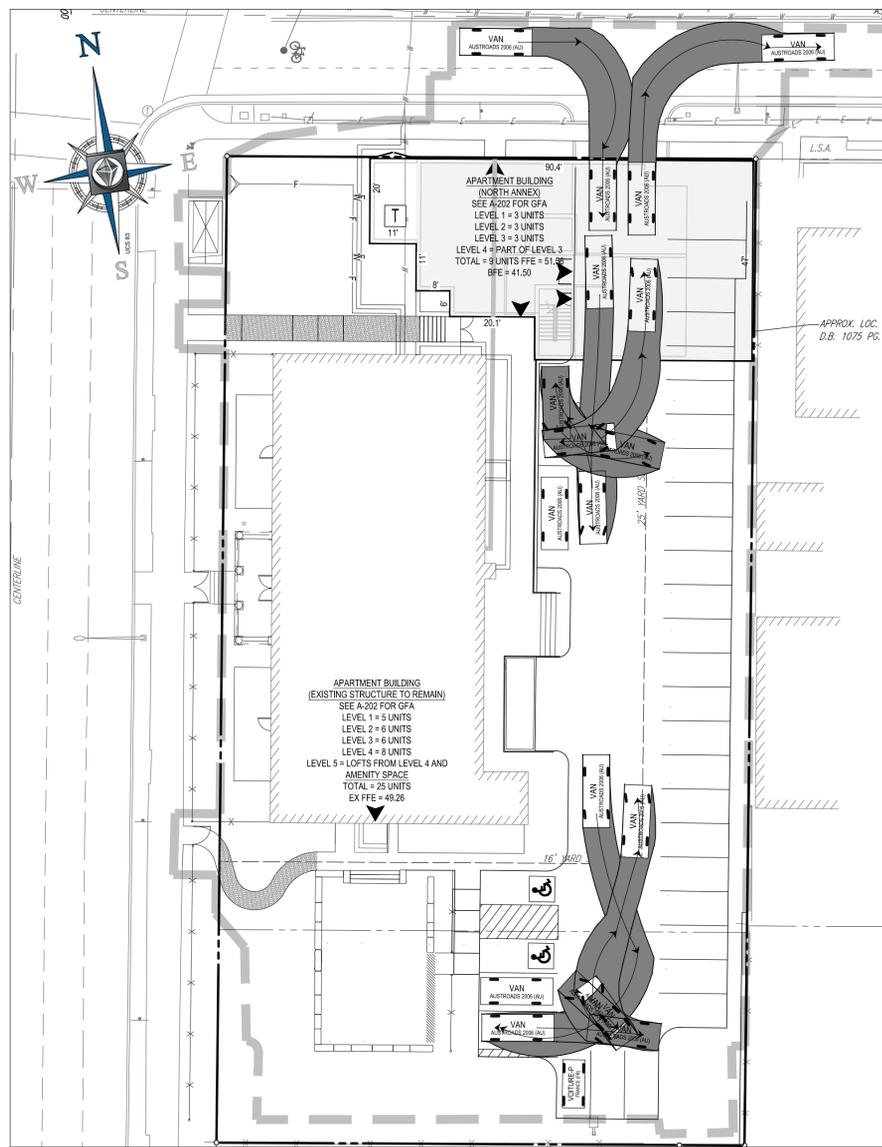
DATE RECORDED: \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

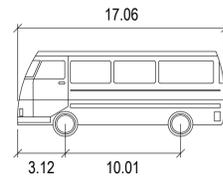


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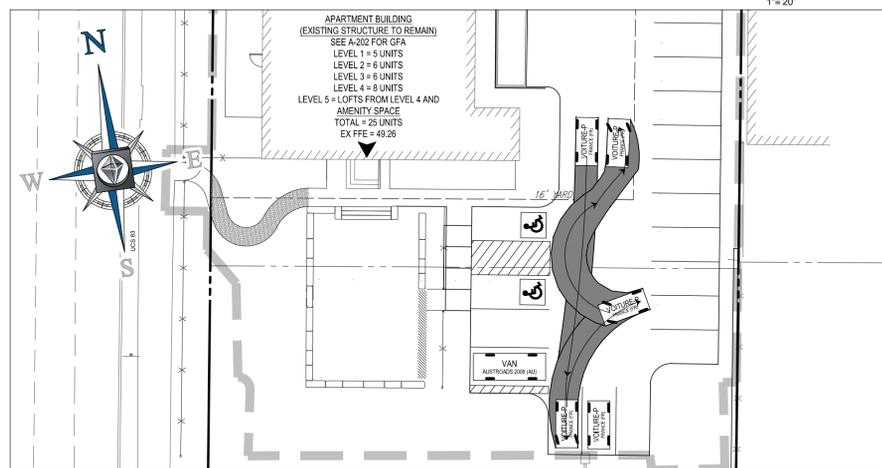




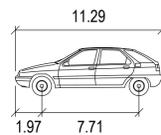
**USED FOR STANDARD PASSENGER VEHICLE**



VAN		feet
Width	:	6.36
Track	:	6.04
Lock to Lock Time	:	6.0
Steering Angle	:	33.5



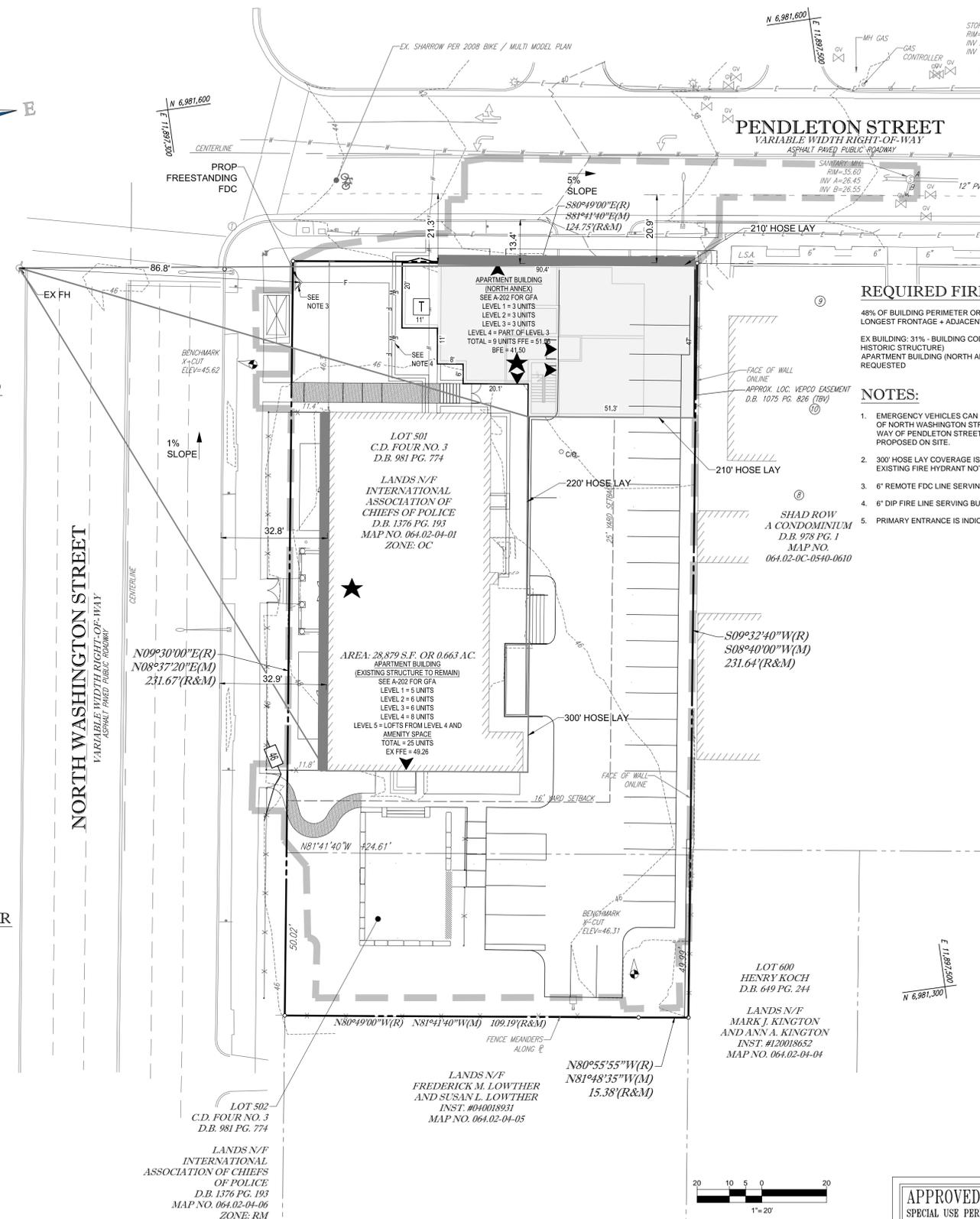
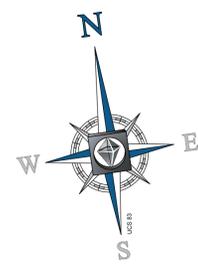
**USED FOR COMPACT CAR**



VOITURE-P		feet
Width	:	5.25
Track	:	5.15
Lock to Lock Time	:	6.0
Steering Angle	:	34.0

**VEHICLE TURN MOVEMENTS ON SITE**

**THE INNER SURFACE OF THE LADDER TRUCK ACCESS WAY SHALL BE NO LESS THAN 15 FEET AND NO MORE THAN 30 FEET FROM THE EXTERIOR BUILDING WALL PER CODE. DIMENSIONS INDICATED WHERE THIS SEPARATION IS NOT MET.**



**REQUIRED FIRE TRUCK ACCESS:**

48% OF BUILDING PERIMETER OR LONGEST FRONTAGE + ADJACENT SIDE  
 EX BUILDING: 31% - BUILDING CODE MODIFICATION REQUESTED (EX. HISTORIC STRUCTURE)  
 APARTMENT BUILDING (NORTH ANNEX): 31% - BUILDING CODE MODIFICATION REQUESTED

**NOTES:**

- EMERGENCY VEHICLES CAN ACCESS THE EXISTING BUILDING BY WAY OF NORTH WASHINGTON STREET AND THE PROPOSED BUILDING BY WAY OF PENDLETON STREET. NO EMERGENCY VEHICLE ACCESS IS PROPOSED ON SITE.
- 300' HOSE LAY COVERAGE IS MET FOR ALL PROPOSED BUILDINGS WITH EXISTING FIRE HYDRANT NOTED.
- 6" REMOTE FDC LINE SERVING BUILDING.
- 6" DIP FIRE LINE SERVING BUILDING.
- PRIMARY ENTRANCE IS INDICATED BY A ★

**BOHLER ENGINEERING**

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 WARREN, NJ

REGIONAL OFFICES:  
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CIVIL & CONSULTING ENGINEERS  
 SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

**REVISIONS**

REV	DATE	COMMENT	BY
1	11/14/14	DSUP COMPLETENESS COMMENTS	IS

**NOT APPROVED FOR CONSTRUCTION**

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**PROJECT:** DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER

PROJECT No.: S132117  
 DRAWN BY: IS  
 DATE: 10/31/14  
 SCALE: 1"=20'  
 CAD I.D.: SSD

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LOCATION OF SITE  
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**PROFESSIONAL ENGINEER**

**CAR TURN / FIRE SAFETY PLAN**

SHEET NUMBER: **C-6.0**  
 OF 33

**APPROVED**  
 SPECIAL USE PERMIT NO. DSUP.2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

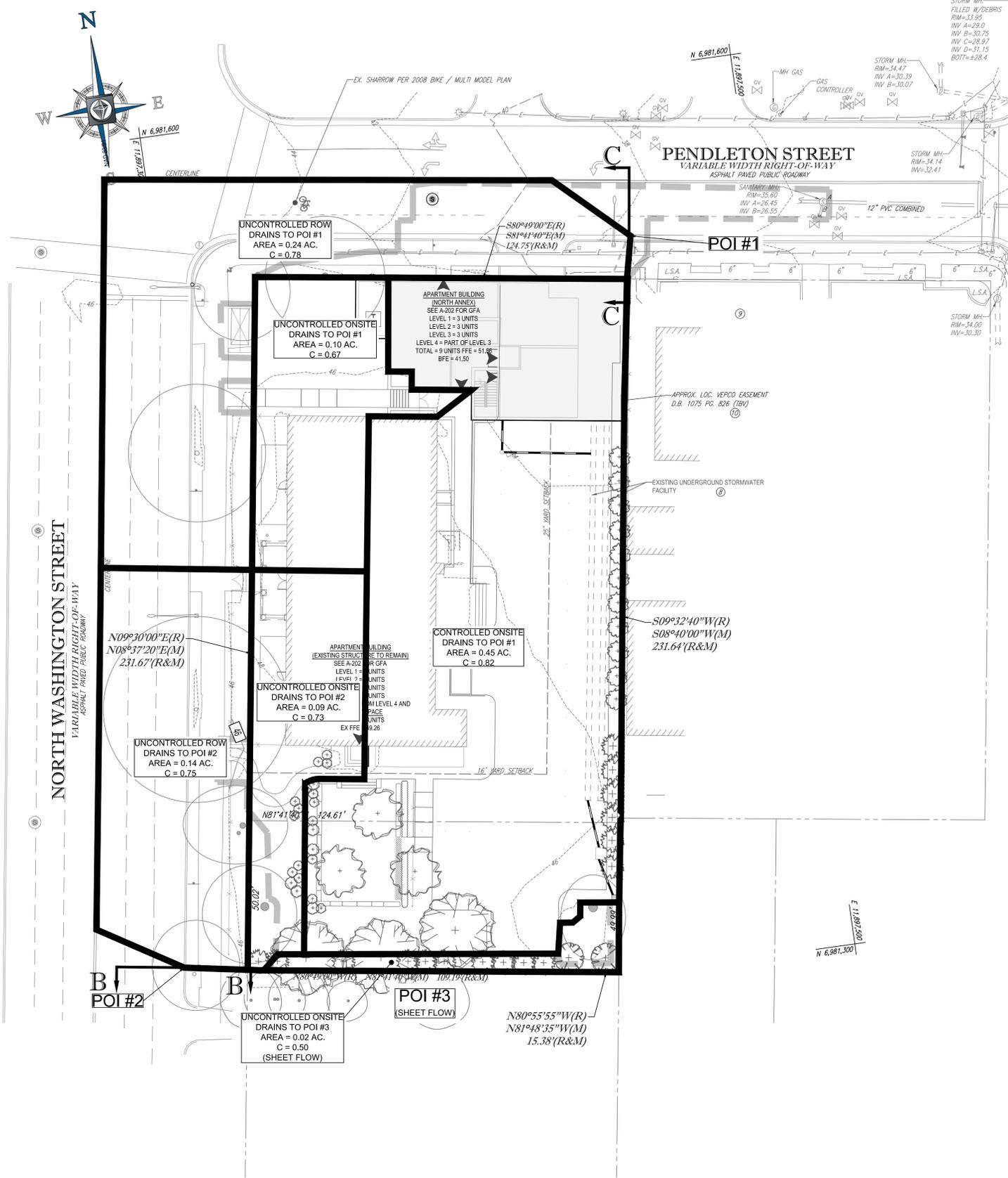
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INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

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### STORMWATER MANAGEMENT PLAN

THERE IS NO PUBLIC STORM SEWER INLET AVAILABLE WITHIN 100' OF THE PROPERTY LINE. THEREFORE, A DESIGN HAS BEEN PROVIDED TO MITIGATE THE NEGATIVE IMPACTS OF STORM WATER DRAINAGE ONTO ADJACENT PROPERTIES AND PUBLIC RIGHT-OF-WAY IN ACCORDANCE TO THE REQUIREMENTS OF MEMORANDUM TO INDUSTRY ON DOWNSPOUTS, FOUNDATION DRAINS, AND SUMP PUMPS, DATED JUNE 18, 2004, WHICH IS AVAILABLE ON THE CITY OF ALEXANDRIA'S WEB SITE. THE PLAN DEMONSTRATES THAT THE SITE HAS BEEN DEVELOPED NOT TO INCREASE THE POST DEVELOPMENT PEAK RUNOFF RATE FROM THE PRE-DEVELOPMENT PEAK RUNOFF RATE FOR A TWO-YEAR AND TEN YEAR STORM CONSIDERED INDIVIDUALLY PER THE REQUIREMENTS OF ARTICLE 13-108(F)(1) OF ALEXANDRIA ZONING ORDINANCE.

### SWM NARRATIVE

SITE WILL FOLLOW 2014 VIRGINIA STATE STORMWATER MANAGEMENT REGULATIONS. ADDITIONAL / NEW STORMWATER MANAGEMENT IS NOT ANTICIPATED DUE TO DECREASE IN IMPERVIOUS AREA AND KEEPING THE SAME AMOUNT OF FLOW INTO THE EXISTING DETENTION SYSTEM FROM THE PRE TO POST CONDITION. ADEQUATE OUTFALL STUDY INCLUDES CROSS SECTIONS OF THE GUTTER PAN ADJACENT TO THE SITE AS NO EXISTING STORM SEWER IS PRESENT PER MEETING WITH CITY STAFF IN SEPTEMBER 2014. ADEQUATE STORMWATER MANAGEMENT AND OUTFALL IS PROVIDED AS THERE IS A DECREASE IN FLOW LEAVING THE SITE FROM PRE TO POST, AND THE EXISTING SPREADS ARE LESS THAN 8' FOR THE 10 YEAR EVENT AT THE POIS ANALYZED.

NO UPSTREAM FLOWS ARE NOTED BASED ON A STUDY OF THE SURROUNDING STREETS / INFRASTRUCTURE. ALTHOUGH THE TOTAL IMPERVIOUS AREA ON SITE IS DECREASED, THE FLOW INTO THE EXISTING DETENTION SYSTEM REMAINS THE SAME FROM THE PRE CONDITION TO THE POST CONDITION. SEE TABLES FOR FLOWS IN THE PROJECT AREA. THUS, THE FLOW AT POI #1 REMAINS THE SAME FROM THE PRE TO POST CONDITION. SEE SECTION VIEWS ON SHEET C-7.2.

ALTHOUGH THE TOTAL FLOW TO POI #2 IS INCREASED BY LESS THAN 0.1 CFS AS A RESULT OF THE PROPOSED DEVELOPMENT, ANALYSIS SHOWS THAT THE INCREASE IN FLOW DOES NOT CAUSE AN INCREASE IN SPREAD ABOVE THE 8' MAXIMUM ALLOWED FOR A 10 YEAR EVENT. SEE SECTION VIEWS ON SHEET C-7.2. SECTION CALCULATIONS WERE COMPLETED FOR PRE AND POST FLOWS AT POI #2 WITH NO CHANGE IN SPREAD NOTED.

SEE SHEET C-7.3 FOR APPROVED PLAN AND DETENTION COMPUTATIONS FOR 10 YEAR EVENT. ENTITLED: 'FINAL SITE PLAN' PREPARED BY 'ALEXANDRIA SURVEYS, INC.' DATED 1/4/1982. REVISED 2/5/82.

POST-DEVELOPMENT			
POI	C VALUE	AREA (AC.)	C VALUE X AREA
1	CONTROLLED	0.82	0.45
	UNCONTROLLED	0.67	0.10
	ROW	0.79	0.24
<b>TOTAL AREA (AC.)</b>		0.79	0.63
2	UNCONTROLLED	0.73	0.09
	ROW	0.75	0.14
	<b>TOTAL AREA (AC.)</b>		0.23
3	UNCONTROLLED	0.5	0.02
	<b>TOTAL AREA (AC.)</b>		0.02

FLOW SUMMARY TABLE FROM PROJECT AREA					
POI		PRE 2 (Q)	POST 2 (Q)	PRE 10 (Q)	POST 10 (Q)
1	CONTROLLED	2.27"	2.29"	1.29'	1.29'
	UNCONTROLLED	0.48	0.42	0.69	0.60
	ROW	1.18	1.16	1.71	1.68
<b>TOTAL</b>		3.92	3.87	3.69	3.58
2	UNCONTROLLED	0.30	0.41	0.43	0.59
	ROW	0.71	0.65	1.03	0.95
	<b>TOTAL</b>		1.00	1.06	1.45
3	UNCONTROLLED	0.06	0.06	0.09	0.09
	<b>TOTAL</b>		0.06	0.06	0.09
<b>GRAND TOTAL</b>		4.99	4.99	5.23	5.20

\* Q10 FROM APPROVED DETENTION CALCULATIONS. SEE SHEET C-7.3 FOR APPROVED PLAN.  
 \*\* Q2 NOT ROUTED IN APPROVED PLAN. ASSUMED DISCHARGE PRE/POST WITH NO DETENTION. (CONSERVATIVE)  
 \*\*\* INCREASE IN SPREAD ALONG ROADWAY RESULTS FROM MINOR INCREASE IN SHEET FLOW BUT IS UNDER 8' MAX FROM THE 10 YEAR EVENT. NO INCREASE FROM PRE TO POST IN THE OVERALL SITE.

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 SURVEYORS: SOUTHBOROUGH, MA; BOWIE, MD; TOWSON, MD; ALBANY, NY; CHANTON, PA; PHILADELPHIA, PA; TAMPA, FL  
 PROJECT MANAGERS: ALBANY, NY; CHANTON, PA; PHILADELPHIA, PA; TAMPA, FL  
 ENVIRONMENTAL CONSULTANTS: ALBANY, NY; CHANTON, PA; PHILADELPHIA, PA; TAMPA, FL  
 LANDSCAPE ARCHITECTS: ALBANY, NY; CHANTON, PA; PHILADELPHIA, PA; TAMPA, FL

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 11/14/14  
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SHEET TITLE:  
**POST DEVELOPMENT DRAINAGE MAP**  
 SHEET NUMBER:  
**C-7.1**  
 OF 33

**APPROVED**  
 SPECIAL USE PERMIT NO. DSUP 2013-0023  
 DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

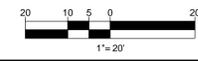
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**SECTION A-A  
Channel Report**

Hydrow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc. Tuesday, Sep 23 2014

**POI #2 10 YEAR PRE DEVELOPMENT**

**Gutter**  
 Cross Sl, Sx (ft/ft) = 0.023  
 Cross Sl, Sw (ft/ft) = 0.080  
 Gutter Width (ft) = 2.00  
 Invert Elev (ft) = 100.00  
 Slope (%) = 0.53  
 N-Value = 0.013

**Calculations**  
 Compute by: Known Q  
 Known Q (cfs) = 1.45

**Highlighted**  
 Depth (ft) = 0.27  
 Q (cfs) = 1.450  
 Area (sqft) = 0.64  
 Velocity (ft/s) = 2.25  
 Wetted Perim (ft) = 7.06  
 Crit Depth, Yc (ft) = 0.30  
Spread Width (ft) = 6.78  
 EGL (ft) = 0.35

**SECTION B-B  
Channel Report**

Hydrow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc. Tuesday, Sep 30 2014

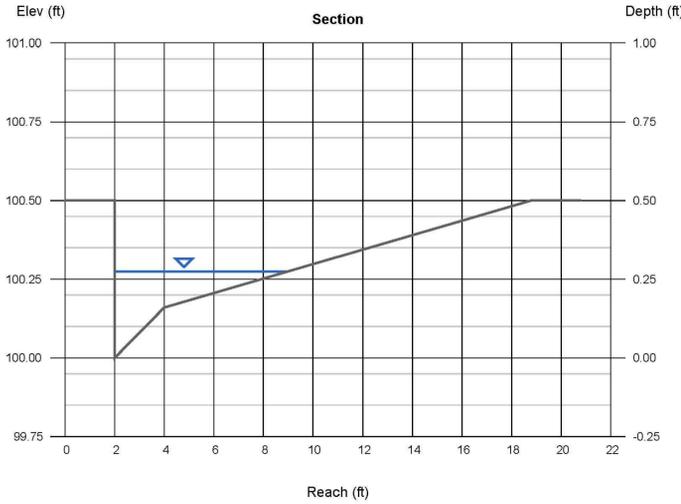
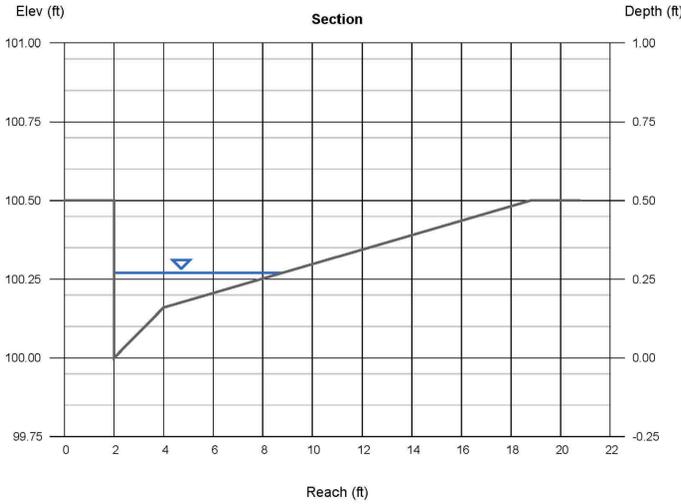
**POI #2 10 YEAR POST DEVELOPMENT**

**Gutter**  
 Cross Sl, Sx (ft/ft) = 0.023  
 Cross Sl, Sw (ft/ft) = 0.080  
 Gutter Width (ft) = 2.00  
 Invert Elev (ft) = 100.00  
 Slope (%) = 0.53  
 N-Value = 0.013

**Calculations**  
 Compute by: Known Q  
 Known Q (cfs) = 1.54

**Highlighted**  
 Depth (ft) = 0.28  
 Q (cfs) = 1.540  
 Area (sqft) = 0.68  
 Velocity (ft/s) = 2.27  
 Wetted Perim (ft) = 7.28  
 Crit Depth, Yc (ft) = 0.30  
Spread Width (ft) = 7.00  
 EGL (ft) = 0.36

INCREASE IN SPREAD FROM PRE TO POST STILL WITHIN MAXIMUM 8 ft THEREFORE THE INCREASE IN FLOW TO POI #2 IS NEGLIGIBLE



**SECTION C-C  
Channel Report**

Hydrow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc. Tuesday, Sep 30 2014

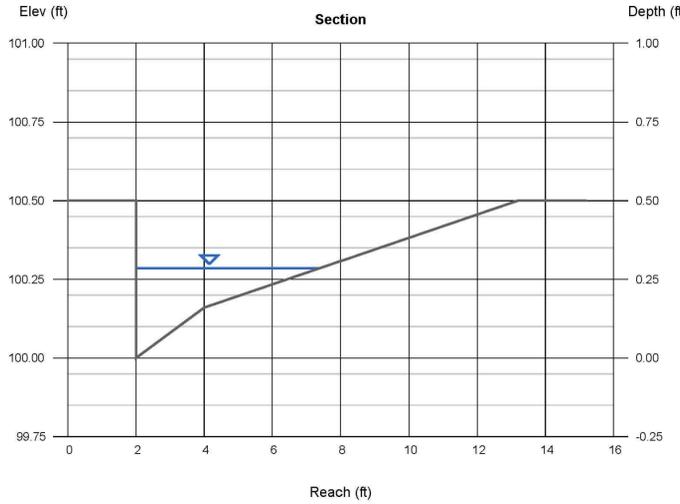
**POI #1 10 YEAR POST DEVELOPMENT**

**Gutter**  
 Cross Sl, Sx (ft/ft) = 0.037  
 Cross Sl, Sw (ft/ft) = 0.080  
 Gutter Width (ft) = 2.00  
 Invert Elev (ft) = 100.00  
 Slope (%) = 4.30  
 N-Value = 0.016

**Calculations**  
 Compute by: Known Q  
 Known Q (cfs) = 3.58

**Highlighted**  
 Depth (ft) = 0.28  
 Q (cfs) = 3.580  
 Area (sqft) = 0.62  
 Velocity (ft/s) = 5.76  
 Wetted Perim (ft) = 5.67  
 Crit Depth, Yc (ft) = 0.42  
Spread Width (ft) = 5.38  
 EGL (ft) = 0.80

5.35 ft < 8 ft MAXIMUM



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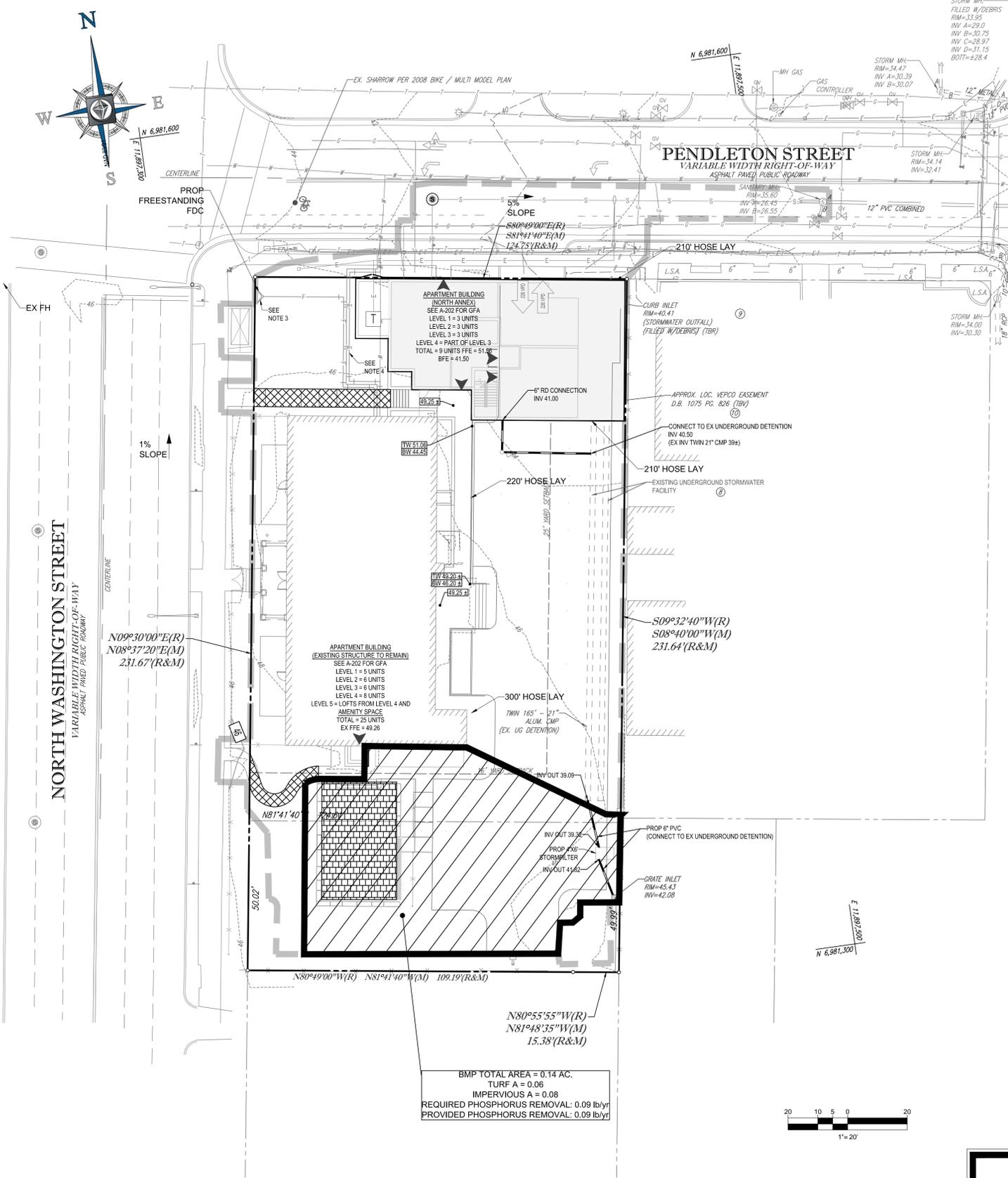
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

SHEET TITLE:  
**SECTION VIEWS**

SHEET NUMBER:  
**C-7.2**  
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**BMP NARRATIVE**

SITE AREA: 0.66 AC  
 MANAGED TURF: 0.16 AC  
 IMPERVIOUS COVER: 0.50 AC  
 REQUIRED SWM TREATMENT FOR SITE AREA: 0.07 lb/yr (TP LOAD REDUCTION REQUIRED OR 20% FOR REDEVELOPED AREA)

**ONSITE STORMFILTER BMP DRAINAGE AREA:**

NARRATIVE:  
 THE BMP AREA IDENTIFIED FLOWS INTO AN EXISTING GRATE INLET IN THE SOUTHEAST PORTION OF THE SITE WHICH CONNECTS INTO A 4'x6' STORMFILTER WITH 45% PHOSPHORUS TREATMENT EFFICIENCY. SEE CALCULATIONS BELOW.

**ONSITE DRAINAGE AREA TO BMP: 0.14 AC**

0.08 AC IMPERVIOUS ACRES DRAINING TO GRATE INLET  
 0.06 AC MANAGED TURF DRAINING TO GRATE INLET  
 TOTAL PHOSPHORUS REMOVAL IN DRAINAGE AREA FROM TREE PIT BIORETENTION AREA: **0.09 lb/yr**

SUMMARY:  
 THE TOTAL PHOSPHORUS REMOVAL FROM THE STORMFILTER PROPOSED YIELDS A PHOSPHORUS REMOVAL OF 0.09 lb/yr WHICH IS ABOVE THE REQUIRED 0.07 lb/yr. **THUS THE REQUIREMENT IS MET. FINAL SITE PLAN SHALL DEMONSTRATE MINIMUM REMOVAL REQUIRED PER CODE PROVIDED.**

SEE VRRM SPREADSHEETS SHEET C-8.1 AND C-8.2

**PERVIOUS PAVERS NARRATIVE**

PERVIOUS PAVERS ARE PROPOSED ON SITE BUT PROVIDE NO BMP TREATMENT. THE PLAYGROUND AREA IS CONSIDERED PERVIOUS FOR BMP CALCULATIONS. IMPERVIOUS AREA CALCULATIONS FOR THE WEIGHTED C VALUE TAKE INTO ACCOUNT A C VALUE OF 0.60 FOR THESE AREAS AND ARE CONSIDERED MANAGED TURF FOR THE PURPOSES OF THE VRRM SPREADSHEETS. SEE FIGURE 7.2 IN VIRGINIA DSD STORMWATER DESIGN SPECIFICATION NO. 7 UNDER PERMEABLE PAVEMENT FOR SPECIFICATIONS USED IN PROPOSED DESIGN.

**STORMWATER BEST MANAGEMENT PRACTICES (BMP) NOTES**

THE STORMWATER BEST MANAGEMENT PRACTICES (BMP) REQUIRED FOR THIS PROJECT SHALL BE CONSTRUCTED AND INSTALLED UNDER THE DIRECT SUPERVISION OF THE DESIGN ENGINEER OR HIS DESIGNATED REPRESENTATIVE. THE DESIGN ENGINEER SHALL MAKE A WRITTEN CERTIFICATION TO THE CITY THAT THE BMPs ARE CONSTRUCTED AND INSTALLED AS DESIGNED AND IN ACCORDANCE WITH THE APPROVED SITE PLAN. IN ADDITION, AGGREGATE LAYERS AND COLLECTOR PIPES MAY NOT BE INSTALLED UNLESS THE DESIGN ENGINEER OR HIS REPRESENTATIVE IS PRESENT. THE CONTRACTOR SHALL FURNISH THE CITY WITH AN OPERATION AND MAINTENANCE MANUAL FOR ALL BMPs ON THE PROJECT. THE MANUAL SHALL INCLUDE AN EXPLANATION OF THE FUNCTIONS AND OPERATIONS OF EACH BMP AND ANY SUPPORTING UTILITIES, CATALOG CUTS ON ANY MECHANICAL OR ELECTRICAL EQUIPMENT AND A SCHEDULE OF ROUTINE MAINTENANCE FOR THE BMPs AND SUPPORTING EQUIPMENT.

**STORMWATER BMP AND DETENTION FACILITIES MAINTENANCE AGREEMENT**

THE APPLICANT SHALL SUBMIT TO THE CITY OF ALEXANDRIA A STORMWATER BMP AND DETENTION FACILITIES MAINTENANCE AGREEMENT WITH FINAL #2 SUBMISSION. THE MAINTENANCE AGREEMENT SHALL BE REGISTERED WITH ALEXANDRIA LAND RECORDS.

**Project Description**

Drainage Area	Impervious	Pervious	Total
Site Area	0.50 AC	0.16 AC	0.66 AC
On-Site Treated	0.08 AC	0.06 AC	0.14 AC
Off-Site Treated	0 AC	0 AC	0 AC
<b>Total Treated</b>	<b>0.08 AC</b>	<b>0.06 AC</b>	<b>0.14 AC</b>
Any On-Site Disconnected by a Vegetated Buffer (25 ft)	N/A		
<b>Total On-Site Treated or Disconnected</b>			<b>0.14 AC</b>

**Water Treatment on site**

BMP Type	Area treated by BMP (acres)	Impervious area treated by BMP (acres)	BMP efficiency (%)
STORMFILTER	0.14 AC	0.08 AC	45%

**Miscellaneous**

Total QVQ treated:  yes  no  
 Detention on site:  yes  no  
 Project is within which watershed? POTOMAC RIVER  
 Project discharges to which body of water? POTOMAC RIVER

**LEGEND**

	DRAINAGE AREA TO BMP 0.15 AC
	PLAYGROUND AREA (0.60 C VALUE CALCULATED FOR IMPERVIOUS)
	PERMEABLE PAVERS (0.60 C VALUE CALCULATED FOR IMPERVIOUS)

**APPROVED**  
 SPECIAL USE PERMIT NO. DSUP 2013-0023  
 DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**BOHLER ENGINEERING**

CORPORATE OFFICE:  
 WARREN, NJ

REGIONAL OFFICES:  
 BOWIE, MD  
 FORT MONROE, VA  
 WASHINGTON, VA  
 CHARLOTTE, NC  
 PHILADELPHIA, PA  
 TAMPA, FL  
 CHARLOTTE, NC

CIVIL & CONSULTING ENGINEERS  
 SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

**REVISIONS**

REV	DATE	COMMENT	BY
1	11/14/14	DSUP COMPLETENESS COMMENTS	IS

**NOT APPROVED FOR CONSTRUCTION**

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, NORTH CAROLINA AND DELAWARE CALL: 811 (WV 1-800-245-4949) (PA 1-800-242-1770) (DC 1-800-257-7777) (VA 1-800-552-7911) (MD 1-800-257-7777) (DE 1-800-282-8629)

**DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER**

PROJECT NO.: S132117  
 DRAWN BY: IS  
 CHECKED BY: MT  
 DATE: 10/31/14  
 SCALE: 1"=20'  
 CAD I.D.: SW1

**DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER**

LOCATION OF SITE:  
 515 NORTH WASHINGTON STREET  
 CITY OF ALEXANDRIA, VA  
 LOTS 501 & 503  
 D.B. 981 PG. 774

**BOHLER ENGINEERING**

22636 DAVIS DRIVE, SUITE 250  
 STERLING, VIRGINIA 20164  
 Phone: (703) 709-9500  
 Fax: (703) 709-9501  
 www.BohlerEngineering.com

**COMMONWEALTH OF VIRGINIA**  
 MICHAEL J. O'HARA JR.  
 Lic. No. 34168  
 11/14/14  
**PROFESSIONAL ENGINEER**

SHEET TITLE:  
**BMP PLAN**

SHEET NUMBER:  
**C-8.0**  
 OF 33

GENERAL NOTE:  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE CITY OF ALEXANDRIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL FULL COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL CODES.



Drainage Area A													
Drainage Area A Land Cover (acres)													
	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv							
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00	0.00							
Managed Turf (acres) -- disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.16	0.16	0.25							
Impervious Cover (acres)	0.00	0.00	0.00	0.50	0.50	0.95							
				<b>Total</b>	<b>0.66</b>								
					Post Development Treatment Volume (cf) 1869								
<b>Apply Runoff Reduction Practices to Reduce Treatment Volume &amp; Post-Development Load in Drainage Area A</b>													
Credit	Unit	Description of Credit	Credit	Credit Area (acres)	Volume from Upstream RR Practice (cf)	Runoff Reduction (cf)	Remaining Runoff Volume (cf)	Phosphorus Efficiency (%)	Phosphorus Load from Upstream RR Practice (lbs.)	Untreated Phosphorus Load to Practice (lbs.)	Phosphorus Removed By Practice (lbs.)	Remaining Phosphorus Load (lbs.)	Downstream Treatment to be Employed
<b>1. Vegetated Roof</b>													
1.a. Vegetated Roof #1 (Spec #5)	acres of green roof	45% runoff volume reduction	0.45	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
1.b. Vegetated Roof #2 (Spec #5)	acres of green roof	60% runoff volume reduction	0.60	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
<b>2. Rooftop Disconnection</b>													
2.a. Simple Disconnection to AB Soils (Spec #1)	impervious acres disconnected	50% runoff volume reduction for treated area	0.50	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
2.b. Simple Disconnection to C/D Soils (Spec #1)	impervious acres disconnected	25% runoff volume reduction for treated area	0.25	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
2.c. To Soil Amended Filter Path as per specifications (existing C/D soils) (Spec #4)	impervious acres disconnected	50% runoff volume reduction for treated area	0.50	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
2.d. To Dry Well or French Drain #1 (Micro-infiltration #1) (Spec #6)	impervious acres disconnected	50% runoff volume reduction for treated area	0.50	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
2.e. To Dry Well or French Drain #2 (Micro-infiltration #2) (Spec #8)	impervious acres disconnected	90% runoff volume reduction for treated area	0.90	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
2.f. To Rain Garden #1 (Micro-bioretenion #1) (Spec #9)	impervious acres disconnected	40% of volume captured	0.40	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
2.g. To Rain Garden #2 (Micro-bioretenion #2) (Spec #9)	impervious acres disconnected	80% runoff volume reduction for treated area	0.80	0.00	0	0	0	50	0.00	0.00	0.00	0.00	
2.h. To Rainwater Harvesting (Spec #6)	impervious acres captured	based on tank size and design spreadsheet (See Spec #6)	0.00	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
2.i. To Stormwater Planter (Urban Bioretention) (Spec #8, Appendix A)	impervious acres disconnected	40% runoff volume reduction for treated area	0.40	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
<b>3. Permeable Pavement</b>													
3.a. Permeable Pavement #1 (Spec #7)	acres of permeable pavement + acres of "external" (upgradient) impervious pavement	45% runoff volume reduction	0.45	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
3.b. Permeable Pavement #2 (Spec #7)	acres of permeable pavement	75% runoff volume reduction	0.75	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
<b>4. Grass Channel</b>													
4.a. Grass Channel AB Soils (Spec #3)	impervious acres draining to grass channels	20% runoff volume reduction	0.20	0.00	0	0	0	15	0.00	0.00	0.00	0.00	
	turf acres draining to grass channels	20% runoff volume reduction	0.20	0.00	0	0	0	15	0.00	0.00	0.00	0.00	
4.b. Grass Channel CD Soils (Spec #3)	impervious acres draining to grass channels	10% runoff volume reduction	0.10	0.00	0	0	0	15	0.00	0.00	0.00	0.00	
	turf acres draining to grass channels	10% runoff volume reduction	0.10	0.00	0	0	0	15	0.00	0.00	0.00	0.00	
4.c. Grass Channel Compost Amended Soils as per spec (see Spec #4)	impervious acres draining to grass channels	30% runoff volume reduction	0.20	0.00	0	0	0	15	0.00	0.00	0.00	0.00	
	turf acres draining to grass channels	30% runoff volume reduction	0.20	0.00	0	0	0	15	0.00	0.00	0.00	0.00	
<b>5. Dry Swale</b>													
5.a. Dry Swale #1 (Spec #10)	impervious acres draining to dry swale	40% runoff volume reduction	0.40	0.00	0	0	0	20	0.00	0.00	0.00	0.00	
	turf acres draining to dry swale	40% runoff volume reduction	0.40	0.00	0	0	0	20	0.00	0.00	0.00	0.00	
5.b. Dry Swale #2 (Spec #10)	impervious acres draining to dry swale	60% runoff volume reduction	0.60	0.00	0	0	0	40	0.00	0.00	0.00	0.00	
	turf acres draining to dry swale	60% runoff volume reduction	0.60	0.00	0	0	0	40	0.00	0.00	0.00	0.00	
<b>6. Bioretention</b>													
6.a. Bioretention #1 or Urban Bioretention (Spec #9)	impervious acres draining to bioretention	40% runoff volume reduction	0.40	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
	turf acres draining to bioretention	40% runoff volume reduction	0.40	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
6.b. Bioretention #2 (Spec #9)	impervious acres draining to bioretention	80% runoff volume reduction	0.80	0.00	0	0	0	50	0.00	0.00	0.00	0.00	
	turf acres draining to bioretention	80% runoff volume reduction	0.80	0.00	0	0	0	50	0.00	0.00	0.00	0.00	
<b>7. Infiltration</b>													
7.a. Infiltration #1 (Spec #8)	impervious acres draining to infiltration	50% runoff volume reduction	0.50	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
	turf acres draining to infiltration	50% runoff volume reduction	0.50	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
7.b. Infiltration #2 (Spec #8)	impervious acres draining to infiltration	90% runoff volume reduction	0.90	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
	turf acres draining to infiltration	90% runoff volume reduction	0.90	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
<b>8. Extended Detention Pond</b>													
8.a. ED #1 (Spec #15)	impervious acres draining to ED	0% runoff volume reduction	0.00	0.00	0	0	0	15	0.00	0.00	0.00	0.00	
	turf acres draining to ED	0% runoff volume reduction	0.00	0.00	0	0	0	15	0.00	0.00	0.00	0.00	
8.b. ED #2 (Spec #15)	impervious acres draining to ED	15% runoff volume reduction	0.15	0.00	0	0	0	15	0.00	0.00	0.00	0.00	
	turf acres draining to ED	15% runoff volume reduction	0.15	0.00	0	0	0	15	0.00	0.00	0.00	0.00	
<b>9. Sheetflow to Filter/Open Space</b>													
9.a. Sheetflow to Conservation Area with AB Soils (Spec #2)	impervious acres draining to conserved open space	75% runoff volume reduction for treated area	0.75	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
	turf acres draining to conserved open space	75% runoff volume reduction for treated area	0.75	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
9.b. Sheetflow to Conservation Area with C/D Soils (Spec #2)	impervious acres draining to conserved open space	50% runoff volume reduction for treated area	0.50	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
	turf acres draining to conserved open space	50% runoff volume reduction for treated area	0.50	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
9.c. Sheetflow to Vegetated Filter Strip in A Soils or Compost Amended B/C/D Soils (Spec #2 & #4)	impervious acres draining to conserved open space	50% runoff volume reduction for treated area	0.50	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
	turf acres draining to conserved open space	50% runoff volume reduction for treated area	0.50	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
		<b>TOTAL IMPERVIOUS COVER TREATED (ac)</b>		0.00									
		<b>TOTAL TURF AREA TREATED (ac)</b>		0.00									
		<b>AREA CHECK</b>		OK									
		<b>TOTAL PHOSPHORUS REMOVAL REQUIRED ON SITE (lb/yr)</b>		0.07									
		<b>TOTAL RUNOFF REDUCTION IN D.A. A (cf)</b>		0									
		<b>PHOSPHORUS REMOVAL FROM RUNOFF REDUCTION PRACTICES IN D.A. A (lb/yr)</b>		0.00									

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL FULL COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS AND CODES.

Practice	Unit	Description of Credit	Credit	Area (including areas treated by upstream practices)	Runoff from Upstream RR Practices (cf)	Runoff Reduction (cf)	Remaining Runoff Volume (cf)	Phosphorus Efficiency (%)	Phosphorus Load from Upstream RR Practice (lbs)	Untreated Phosphorus Load to Practice (lbs.)	Phosphorus Removed By Practice (lbs.)	Remaining Phosphorus Load (lbs.)	Downstream Treatment to be Employed
10.a. Wet Swale #1 (Spec #11)	Impervious acres draining to wet swale		0.00	0.00	0.00	0	0	20	0.00	0.00	0.00	0.00	
	turf acres draining to wet swale		0.00	0.00	0	0	0	20	0.00	0.00	0.00	0.00	
10.b. Wet Swale #2 (Spec #11)	Impervious acres draining to wet swale		0.00	0.00	0.00	0	0	40	0.00	0.00	0.00	0.00	
	turf acres draining to wet swale		0.00	0.00	0	0	0	40	0.00	0.00	0.00	0.00	
11.a. Filtering Practice #1 (Spec #12)	Impervious acres draining to filter		0.00	0.00	0	0	0	60	0.00	0.00	0.00	0.00	
	turf acres draining to filter		0.00	0.00	0	0	0	60	0.00	0.00	0.00	0.00	
11.b. Filtering Practice #2 (Spec #12)	Impervious acres draining to filter		0.00	0.00	0	0	0	65	0.00	0.00	0.00	0.00	
	turf acres draining to filter		0.00	0.00	0	0	0	65	0.00	0.00	0.00	0.00	
12.a. Constructed Wetland #1 (Spec #13)	Impervious acres draining to wetland		0.00	0.00	0	0	0	50	0.00	0.00	0.00	0.00	
	turf acres draining to wetland		0.00	0.00	0	0	0	50	0.00	0.00	0.00	0.00	
12.b. Constructed Wetland #2 (Spec #13)	Impervious acres draining to wetland		0.00	0.00	0	0	0	75	0.00	0.00	0.00	0.00	
	turf acres draining to wetland		0.00	0.00	0	0	0	75	0.00	0.00	0.00	0.00	
13.a. Wet Pond #1 (Spec #14)	Impervious acres draining to wet pond		0.00	0.00	0	0	0	50	0.00	0.00	0.00	0.00	
	turf acres draining to wet pond		0.00	0.00	0	0	0	50	0.00	0.00	0.00	0.00	
13.b. Wet Pond #1 (Coastal Plain) (Spec #14)	Impervious acres draining to wet pond		0.00	0.00	0	0	0	45	0.00	0.00	0.00	0.00	
	turf acres draining to wet pond		0.00	0.00	0	0	0	45	0.00	0.00	0.00	0.00	
13.c. Wet Pond #2 (Spec #14)	Impervious acres draining to wet pond		0.00	0.00	0	0	0	75	0.00	0.00	0.00	0.00	
	turf acres draining to wet pond		0.00	0.00	0	0	0	75	0.00	0.00	0.00	0.00	
13.d. Wet Pond #2 (Coastal Plain) (Spec #14)	Impervious acres draining to wet pond		0.00	0.00	0	0	0	65	0.00	0.00	0.00	0.00	
	turf acres draining to wet pond		0.00	0.00	0	0	0	65	0.00	0.00	0.00	0.00	
Stormfilter	Impervious acres draining to device		0.08	0.00	0	0	276	45	0.00	0.17	0.08	0.10	None
	turf acres draining to device		0.06	0.00	0	0	207	45	0.00	0.03	0.02	0.02	None
		<b>TOTAL IMPERVIOUS COVER TREATED (ac)</b>		0.08									
		<b>TOTAL TURF AREA TREATED (ac)</b>		0.06									
		<b>AREA CHECK</b>		OK									
		<b>PHOSPHORUS REMOVAL BY PRACTICES THAT DO NOT REDUCE RUNOFF VOLUME IN D.A. A</b>		0.09									
		<b>TOTAL PHOSPHORUS REMOVAL IN D.A. A (lb/yr)</b>		0.09									
		<b>SEE WATER QUALITY COMPLIANCE TAB FOR SITE COMPLIANCE CALCULATIONS</b>											
		<b>NITROGEN REMOVAL BY PRACTICES THAT DO NOT REDUCE RUNOFF VOLUME IN D.A. A</b>		0.00									
		<b>TOTAL NITROGEN REMOVAL IN D.A. A (lb/yr)</b>		0.00									

TOTAL SITE AREA: 0.66 AC  
 PHOSPHORUS REMOVAL REQUIRED: 0.07 lb/yr  
 BMP AREA: 0.14 AC  
 BMP TYPE: STORMFILTER  
 BMP PHOSPHORUS REMOVAL EFFICIENCY: 45%  
 PHOSPHORUS REMOVAL PROVIDED: 0.09 lb/yr

APPROVED  
 SPECIAL USE PERMIT NO. DSUP 2013-0023  
 DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**BOHLER ENGINEERING**  
 CORPORATE OFFICE:  
 WARREN, NJ  
 PROJECT MANAGERS:  
 SOUTH BORO, NJ  
 ALBANY, NY  
 CHALFONTE, PA  
 TAMPA, FL  
 STRATFORD, CT  
 PROJECT MANAGERS:  
 ENVIRONMENTAL CONSULTANTS:  
 LANDSCAPE ARCHITECTS:  
 CIVIL & CONSULTING ENGINEERS

REVISIONS

REV	DATE	COMMENT	BY
1	11/14/14	DSUP COMPLETENESS COMMENTS	IS

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: S132117  
 DRAWN BY: IS  
 CHECKED BY: MT  
 DATE: 10/31/14  
 SCALE: 1"=20'  
 CAD I.D.: SW1

DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER

LOCATION OF SITE  
 515 NORTH WASHINGTON STREET  
 CITY OF ALEXANDRIA



EXISTING SITE FLOW:					
FLOWING INTO PIPE 8					
ADF=	24 UNITS X (350 GPD / UNIT) =	8400	GPD	0.0130	CFS
PEAK FLOW =	8400 GPD X 4 =	33600	GPD	0.0520	CFS
<b>615 N. WASHINGTON ST. OFFICE BUILDING</b>					
ADF=	242,000 S.F. X (200 GPD / 1,000 S.F.) =	48400	GPD	0.0749	CFS
PEAK FLOW =	48400 GPD X 4 =	193600	GPD	0.2996	CFS
<b>TOTAL</b>	<b>0.3516</b>	<b>CFS</b>			
FLOWING INTO PIPE 6					
<b>625 ASAPH ST. CONDOMINIUMS</b>					
ADF=	21 UNITS X (300 GPD / UNIT) =	6300	GPD	0.0097	CFS
PEAK FLOW =	6300 GPD X 4 =	25200	GPD	0.0390	CFS
<b>509 ASAPH ST. OFFICE RETAIL BUILDING</b>					
ADF =	24,304 S.F. X (200 GPD / 1,000 S.F.) =	4861	GPD	0.0075	CFS
PEAK FLOW =	4861 GPD X 4 =	19443	GPD	0.0301	CFS
<b>TOTAL</b>	<b>0.0691</b>	<b>CFS</b>			
FLOWING INTO PIPE 3					
<b>614 ORONOCO ST. OFFICE / RETAIL</b>					
ADF=	2,000 S.F. X (200 GPD / 1,000 S.F.) =	400	GPD	0.0006	CFS
PEAK FLOW =	11900 GPD X 4 =	1600	GPD	0.0025	CFS
<b>609 ORONOCO ST. DETACHED HOUSE</b>					
ADF=	1 UNIT X (350 GPD / UNIT) =	350	GPD	0.0005	CFS
PEAK FLOW =	350 GPD X 4 =	1400	GPD	0.0022	CFS
<b>608 ORONOCO ST. DETACHED HOUSE</b>					
ADF=	1 UNIT X (350 GPD / UNIT) =	350	GPD	0.0005	CFS
PEAK FLOW =	350 GPD X 4 =	1400	GPD	0.0022	CFS
<b>607 ORONOCO ST. DETACHED HOUSE</b>					
ADF=	1 UNIT X (350 GPD / UNIT) =	350	GPD	0.0005	CFS
PEAK FLOW =	350 GPD X 4 =	1400	GPD	0.0022	CFS
<b>600 ORONOCO ST. DETACHED HOUSE</b>					
ADF=	1 UNIT X (350 GPD / UNIT) =	350	GPD	0.0005	CFS
PEAK FLOW =	350 GPD X 4 =	1400	GPD	0.0022	CFS
<b>529 ORONOCO ST. COMMERCIAL</b>					
ADF =	3,741 S.F. X (200 GPD / 1,000 S.F.) =	748	GPD	0.0012	CFS
PEAK FLOW =	748 GPD X 4 =	2993	GPD	0.0046	CFS
<b>517, 519, 521, 523, 525 ORONOCO ST. TOWNHOUSES</b>					
ADF=	5 UNITS X (350 GPD / UNIT) =	1750	GPD	0.0027	CFS
PEAK FLOW =	1750 GPD X 4 =	7000	GPD	0.0108	CFS
<b>599 PRINCESS ST. TOWNHOUSES</b>					
ADF=	42 UNITS X (350 GPD / UNIT) =	14700	GPD	0.0227	CFS
PEAK FLOW =	14700 GPD X 4 =	58800	GPD	0.0910	CFS
<b>400 EUILLE ST. SEMI-DETACHED HOMES</b>					
ADF=	68 UNITS X (350 GPD / UNIT) =	23800	GPD	0.0368	CFS
PEAK FLOW =	23800 GPD X 4 =	95200	GPD	0.1473	CFS
<b>410 PENDELTON ST. SEMI-DETACHED HOMES</b>					
ADF=	68 UNITS X (350 GPD / UNIT) =	23800	GPD	0.0368	CFS
PEAK FLOW =	23800 GPD X 4 =	95200	GPD	0.1473	CFS
<b>TOTAL</b>	<b>0.4122</b>	<b>CFS</b>			
PROPOSED SITE FLOW:					
ADDITIONAL PROPOSED FLOW INTO PIPE 8					
<b>EXISTING OFFICE BUILDING WITH PROPOSED RESIDENTIAL USE</b>					
ADF =	25 UNITS X (300 GPD / UNIT) =	7500	GPD	0.0116	CFS
PEAK FLOW =	7500 GPD X 4 =	30000	GPD	0.0464	CFS
<b>PROPOSED APARTMENT BUILDING</b>					
ADF =	9 UNITS X (300 GPD / UNIT) =	2700	GPD	0.0042	CFS
PEAK FLOW =	2700 GPD X 4 =	10800	GPD	0.0167	CFS
<b>TOTAL FLOW =</b>	<b>0.0631</b>	<b>CFS</b>			

EXISTING SANITARY SEWER COMPUTATIONS FOR THE SEWER MAIN ON WOLFE STREET							n = 0.013	
PIPE	INV. HEIGHT (FT-ELEV)	INV. LOW (FT-ELEV)	PIPE LENGTH (FT)	PIPE SIZE (IN)	PIPE SLOPE (%)	CAPACITY (CFS)	PROJECTED FLOWS (CFS)	% FULL
8	26.45	24.33	71.33	10	2.97%	3.79	0.35	9.28%
7	24.33	23.41	27	10	3.41%	4.06	0.35	8.67%
6	23.24	15.05	267	12	3.07%	6.26	0.42	6.72%
5	14.95	13.56	52	12	2.67%	5.84	0.42	7.20%
4'	13.56	13.47	316.77	12	0.03%	0.62	0.42	67.99%
3'	13.465	13.38	300	15	0.03%	1.12	0.83	74.24%
2'	13.375	13.30	258	15	0.03%	1.12	0.83	74.19%
1'	13.2975	13.27	96	15	0.03%	1.12	0.83	74.24%

\*PIPE INVERTS ARE UNKNOWN. A 0.03% PIPE SLOPE WAS ASSUMED

**REFERENCES:**

1. ENTITLED, "POTOMAC PLAZA OFFSITE SANITARY SEWER PLAN" PREPARED BY BOWMAN CONSULTING, DATED MAY 2004, REVISED AUGUST 24, 2004, FILE # 1744-D-CP-002.
2. CITY OF ALEXANDRIA'S GIS PARCEL VIEWER AND SEWER VIEWER.

EXISTING SANITARY SEWER COMPUTATIONS FOR THE SEWER MAIN ON WOLFE STREET							n = 0.013	
PIPE	INV. HEIGHT (FT-ELEV)	INV. LOW (FT-ELEV)	PIPE LENGTH (FT)	PIPE SIZE (IN)	PIPE SLOPE (%)	CAPACITY (CFS)	PROJECTED FLOWS (CFS)	% FULL
8	26.45	24.33	71.33	10	2.97%	3.79	0.41	10.95%
7	24.33	23.41	27	10	3.41%	4.06	0.41	10.23%
6	23.24	15.05	267	12	3.07%	6.26	0.48	7.73%
5	14.95	13.56	52	12	2.67%	5.84	0.48	8.28%
4'	13.56	13.47	316.77	12	0.03%	0.62	0.48	78.20%
3'	13.465	13.38	300	15	0.03%	1.12	0.90	79.86%
2'	13.375	13.30	258	15	0.03%	1.12	0.90	79.81%
1'	13.2975	13.27	96	15	0.03%	1.12	0.90	79.86%

\*PIPE INVERTS ARE UNKNOWN. A 0.03% PIPE SLOPE WAS ASSUMED

GENERAL NOTE  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL APPLICABLE CODES.

**BOHLER ENGINEERING**  
CORPORATE OFFICE:  
WARREN, NJ  
SURVEYORS  
PROJECT MANAGERS  
ENVIRONMENTAL CONSULTANTS  
LANDSCAPE ARCHITECTS  
SOUTH BOROUGHS, MA  
TOWNSON, MD  
ALBANY, NY  
CHALFONTE, PA  
TAMPA, FL  
ROSELAND, NJ  
PHILADELPHIA, PA  
CHARLOTTE, NC

REVISIONS				
REV	DATE	COMMENT	BY	IS
1	11/14/14	DSUP COMPLETENESS COMMENTS		

**NOT APPROVED FOR CONSTRUCTION**

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, NORTH CAROLINA AND DELAWARE CALL: 811 (WV 1-800-245-6949) (PA 1-800-242-1776) (DC 1-800-257-7777) (VA 1-800-552-7911) (MD 1-800-257-7777) (DE 1-800-282-8629)

PROJECT No.: S132117  
DRAWN BY: IS  
CHECKED BY: MT  
DATE: 10/31/14  
SCALE: 1"=20'  
CAD I.D.: S01

**DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER**

LOCATION OF SITE  
515 NORTH WASHINGTON STREET  
CITY OF ALEXANDRIA, VA  
LOTS 501 & 503  
D.B. 981 PG. 774

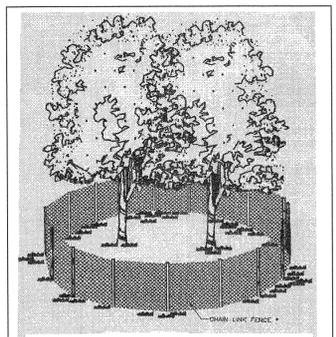
**BOHLER ENGINEERING**  
22636 DAVIS DRIVE, SUITE 250  
STERLING, VIRGINIA 20164  
Phone: (703) 709-9500  
Fax: (703) 709-9501  
www.BohlerEngineering.com

COMMONWEALTH OF VIRGINIA  
MICHAEL J. O'HARA JR.  
Lic. No. 34168  
11/14/14  
PROFESSIONAL ENGINEER

APPROVED  
SPECIAL USE PERMIT NO. DSUP 2013-0023  
DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT  
DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
DATE RECORDED: \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

SHEET TITLE:  
**SANITARY OUTFALL ANALYSIS**  
SHEET NUMBER:  
**C-9.1**  
OF 33





TREE PROTECTION SHALL BE A MINIMUM 4'-0" WELDED WIRE MESH FENCE MOUNTED ON VERTICAL METAL STAKES DRIVEN 8'-10" INTO THE GROUND WITH NO GATES.

1 TREE PROTECTION FENCE  
1 ELEVATION SCALE: N.T.S

**GENERAL NOTES**

1. TOPOGRAPHIC AND BOUNDARY SURVEY BY
2. FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NET/TC 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION.
3. ALL SUBSURFACE PIPES TO BE RIGID PVC PIPE.

KEY	
	EXISTING TREES
	PROPERTY LINE
	EXISTING ELEVATION
	PROPOSED ELEVATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	GAS
	WATER
	SEWER
	OVERHEAD LINE
	SANITARY MH
	POWER POLE
	LIGHT POLE
	SIGN
	EX. WOOD FENCE
	EX. METAL FENCE
	PROP. WOOD FENCE
	TBT TO BE TRANSPANTED
	TBR TO BE REMOVED
	GC GENERAL CONTRACTOR
	LC LANDSCAPE CONTRACTOR

**APPROVED**  
SPECIAL USE PERMIT NO. 2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



Existing Trees					
No.	Species	DBH (measured at 4'-6" above grade)	Calliper (measured at 12" above grade)	Location	Notes
1	Osage Orange (Maclura pomifera)	35.5"	40"	At Southeast Corner of Site	
1	Osage Orange (Maclura pomifera)	32"	39"	At Southwest Corner of Site	
1	Osage Orange (Maclura pomifera)	23" left trunk	18"	At Southwest of Site, Northwest of 32" Osage Orange	In Right of Way
1	Mulberry (Morus spp.)	14" right trunk	21"	At Northwest Corner of Site	Partially in Right of Way
1	Osage Orange (Maclura pomifera)	27"	32"	Center North of Site, Along Pendleton Street	Partially in Right of Way
1	American Sycamore (Platanus occidentalis)	36"	57"	Center North of Site, Along Pendleton Street	TO BE REMOVED
2	Foster Holly (Ilex x attenuata 'Foster')	10"	10"	Along North of Existing Building	TO BE REMOVED
1	Foster Holly (Ilex x attenuata 'Foster')	8"	7.5"	At Northwest Corner of Existing Brick Enclosure	TO BE REMOVED
1	American Holly (Ilex Opaca)	6.5"	8" and 3"	At Northwest Corner of Existing Building	TO BE REMOVED
1	Foster Holly (Ilex Opaca)	4"	7.5"	At Southwest Corner of Existing Building	TO BE REMOVED

LOT 600  
HENRY KOCH  
D.B. 649 PG. 244

LANDS N/F  
MARK J. KINGTON AND ANN A. KINGTON  
INST. #120018652  
MAP NO. 064.02-04-04

LOT 502  
C.D. FOUR NO. 3  
D.B. 981 PG. 774

LANDS N/F  
INTERNATIONAL ASSOCIATION  
OF CHIEFS OF POLICE  
D.B. 1376 PG. 193  
MAP NO. 064.02-04-06  
ZONE: RM

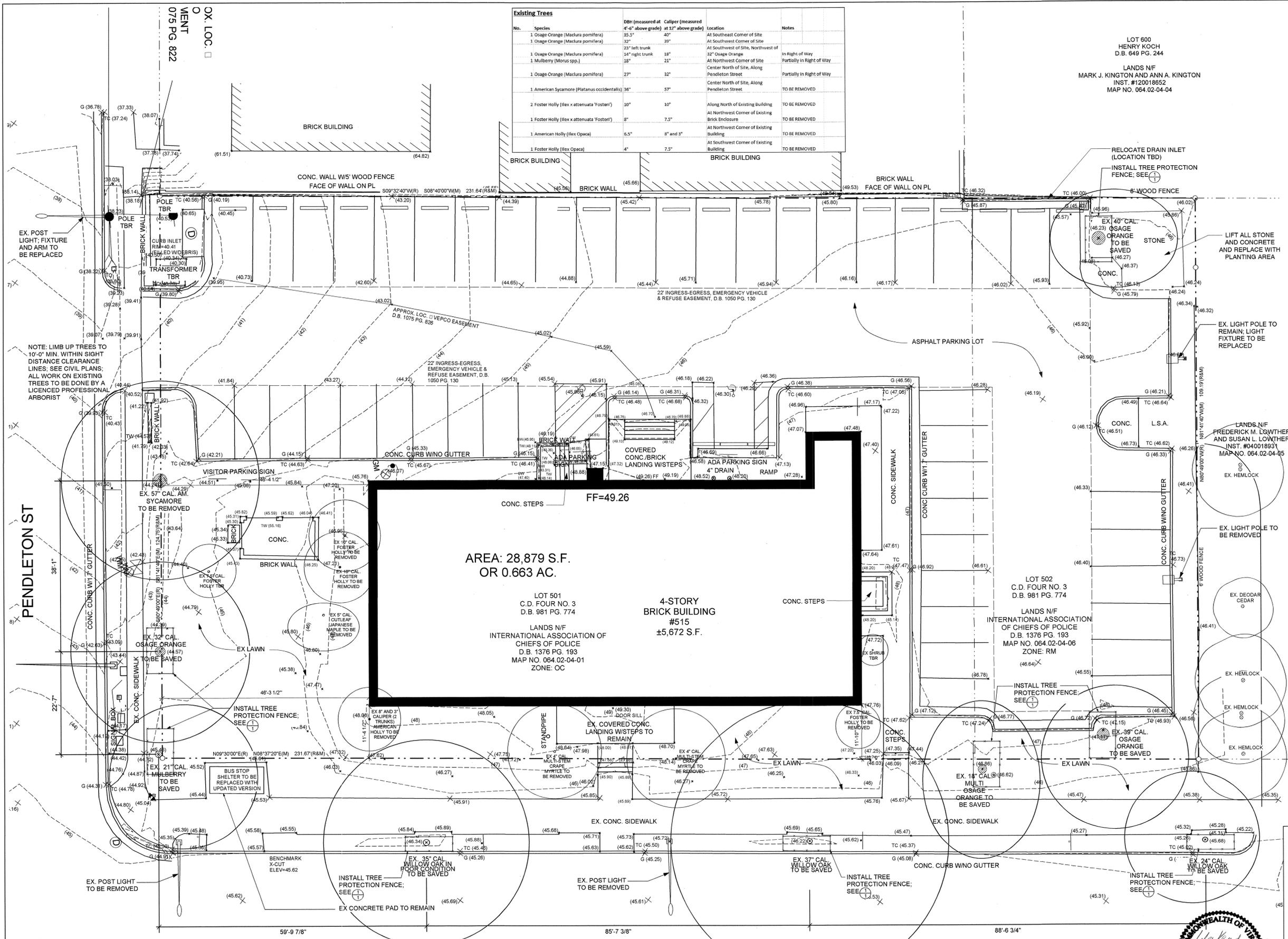
AREA: 28,879 S.F.  
OR 0.663 AC.

LOT 501  
C.D. FOUR NO. 3  
D.B. 981 PG. 774

4-STORY  
BRICK BUILDING  
#515  
±5,672 S.F.

LANDS N/F  
INTERNATIONAL ASSOCIATION OF  
CHIEFS OF POLICE  
D.B. 1376 PG. 193  
MAP NO. 064.02-04-01  
ZONE: OC

NORTH WASHINGTON ST



PENDLETON ST

OK LOC. □  
MENT  
075 PG. 822

9X  
7X  
1X  
8X  
1X  
16

3X  
7X  
1X  
8X  
1X  
16

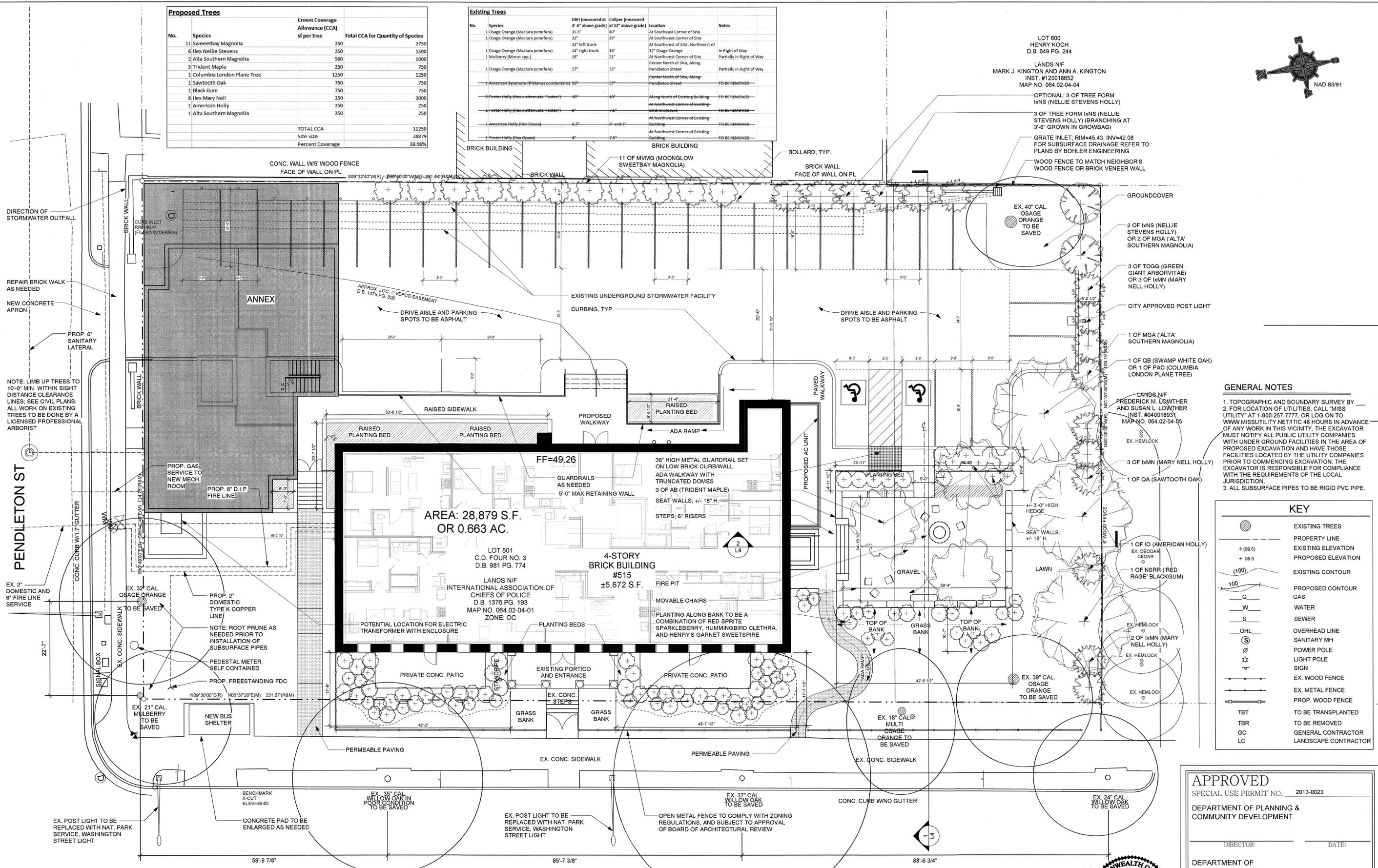
59'-9 7/8" 85'-7 3/8" 88'-6 3/4"

Proposed Trees			
No.	Species	Crown Coverage Allowance (CCA) sf per tree	Total CCA for Quantity of Species
11	Sweetbay Magnolia	250	2750
6	Ilex Nellie Stevens	250	1500
2	Alta Southern Magnolia	500	1000
3	Trident Maple	250	750
1	Columbia London Plane Tree	1250	1250
1	Sawtooth Oak	750	750
1	Black Gum	750	750
8	Ilex Mary Nell	250	2000
1	American Holly	250	250
1	Alta Southern Magnolia	250	250
TOTAL CCA			11250
Site Size			28879
Percent Coverage			38.96%

Existing Trees					
No.	Species	DBH (measured at 4'-6" above grade)	Caliper (measured at 12" above grade)	Location	Notes
1	Osage Orange (Maclura pomifera)	35.5"	40"	At Southeast Corner of Site	
1	Osage Orange (Maclura pomifera)	32"	39"	At Southwest Corner of Site	
1	Osage Orange (Maclura pomifera)	23" left trunk	18"	At Southwest of Site, Northwest of	In Right of Way
1	Mulberry (Morus spp.)	14" right trunk	21"	At Northwest Corner of Site	Partially in Right of Way
1	Osage Orange (Maclura pomifera)	27"	32"	Center North of Site, Along Pendleton Street	Partially in Right of Way
1	American Sycamore (Platanus occidentalis)	30"	57"	Center North of Site, Along Pendleton Street	TO BE REMOVED
2	Foster Holly (Ilex attenuata-Foster)	10"	10"	Along North of Existing Building	TO BE REMOVED
1	Foster Holly (Ilex attenuata-Foster)	8"	7.5"	At Northwest Corner of Existing Brick Enclosure	TO BE REMOVED
1	American Holly (Ilex Opaca)	6.5"	8" and 3"	At Northwest Corner of Existing Building	TO BE REMOVED
1	Foster Holly (Ilex Opaca)	4"	7.5"	At Southwest Corner of Existing Building	TO BE REMOVED

LOT 600  
HENRY KOCH  
D.B. 649 PG. 244

LANDS N/F  
MARK J. KINGTON AND ANN A. KINGTON  
INST. #12001852  
MAP NO. 064.02-04-04



**GENERAL NOTES**

1. TOPOGRAPHIC AND BOUNDARY SURVEY BY
2. FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NET/TIC 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION.
3. ALL SUBSURFACE PIPES TO BE RIGID PVC PIPE.

**KEY**

	EXISTING TREES
	PROPERTY LINE
	EXISTING ELEVATION
	PROPOSED ELEVATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	GAS
	WATER
	SEWER
	OVERHEAD LINE
	SANITARY MH
	POWER POLE
	LIGHT POLE
	SIGN
	EX. WOOD FENCE
	EX. METAL FENCE
	PROP. WOOD FENCE
	TBT TO BE TRANSPLANTED
	TBR TO BE REMOVED
	GC GENERAL CONTRACTOR
	LC LANDSCAPE CONTRACTOR

**APPROVED**  
SPECIAL USE PERMIT NO. 2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

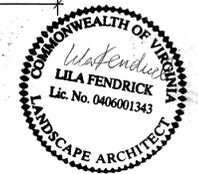
DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



NOTE: FOR PLAN AT SCALE OF 1"=20'-0" AND ALTERNATE ORIENTATION, SEE SHEET L2; FOR TABLE OF EXISTING AND PROPOSED TREES AND CROWN COVERAGE ALLOWANCE, SEE SHEET 2

NORTH WASHINGTON ST

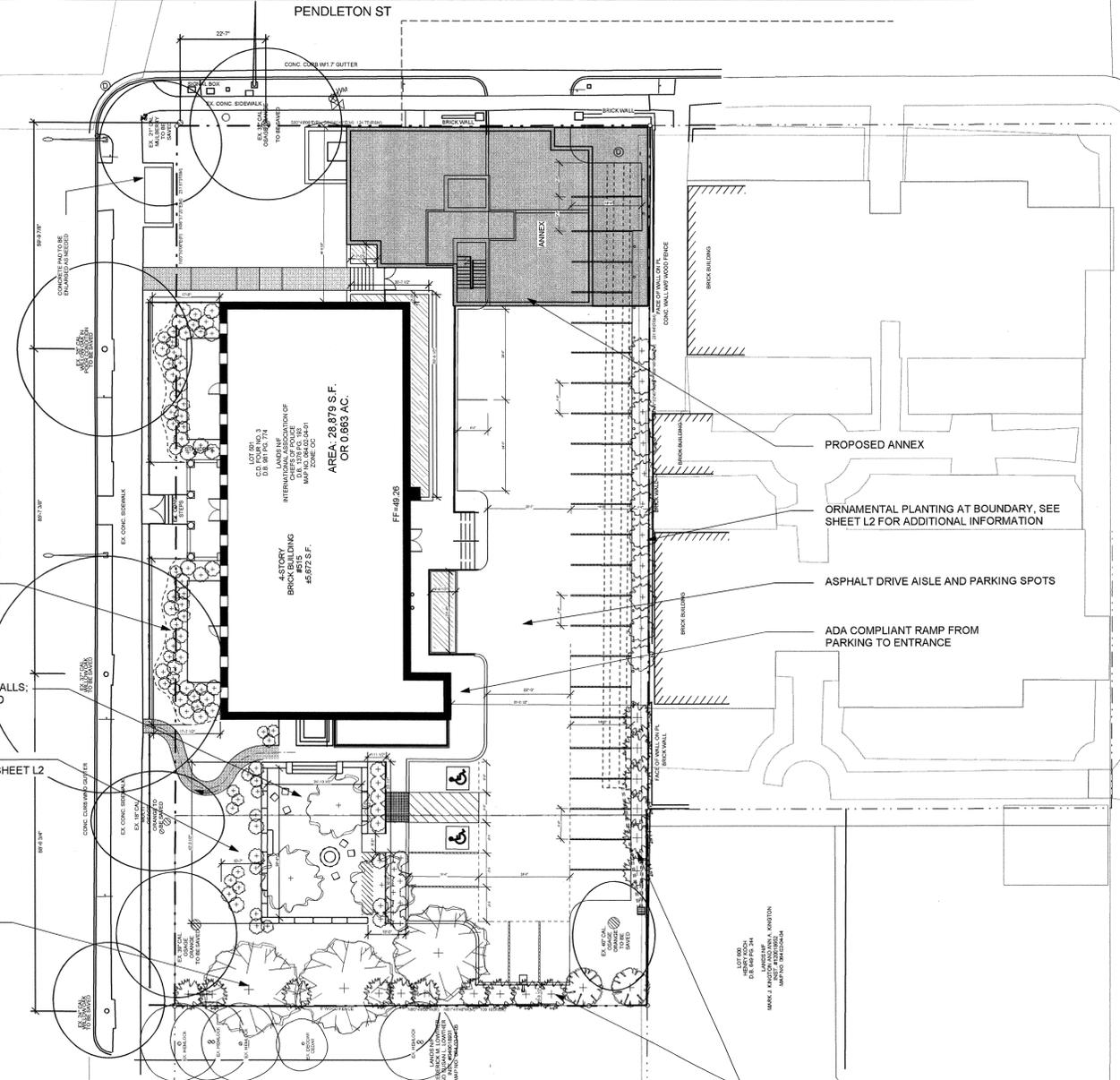
No.	Species	DBH (measured at 4'-6" above grade)	Caliper (measured at 12" above grade)	Location	Notes
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1	American Sycamore (Platanus occidentalis)	36"	57"	Center-North of Site, Along Pendleton Street	TO BE REMOVED
2	Foster Holly (Ilex attenuata Fosteri)	30"	30"	Along North of Existing Building	TO BE REMOVED
2	Foster Holly (Ilex attenuata Fosteri)	8"	7.5"	At Northwest Corner of Existing Brick Enclosure	TO BE REMOVED
2	American Holly (Ilex Opaca)	6.5"	8" and 3"	At Northwest Corner of Existing Building	TO BE REMOVED
2	Foster Holly (Ilex Opaca)	4"	7.5"	At Southwest Corner of Existing Building	TO BE REMOVED

No.	Species	Crown Coverage Allowance (CCA) sf per tree	Total CCA for Quantity of Species
11	Sweetbay Magnolia	250	2750
6	Ilex Nellie Stevens	250	1500
2	Alta Southern Magnolia	500	1000
3	Trident Maple	250	750
3	Columbia London Plane Tree	1250	3750
1	Sweetbush Oak	750	750
1	Black Gum	750	750
8	Ilex Mary Nell	250	2000
2	American Holly	250	250
2	Alta Southern Magnolia	250	250
TOTAL CCA			11250
Site Size			28879
Percent Coverage			38.96%

FOR LOCATION OF SPECIES, SEE SHEET L2

NORTH WASHINGTON STREET

PENDLETON STREET



- GENERAL NOTES**
1. TOPOGRAPHIC AND BOUNDARY SURVEY BY
  2. FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NET/ITIC 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION.
  3. ALL SUBSURFACE PIPES TO BE RIGID PVC PIPE.

**KEY**

	EXISTING TREES
	PROPERTY LINE
	EXISTING ELEVATION
	PROPOSED ELEVATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	GAS
	WATER
	SEWER
	OVERHEAD LINE
	SANITARY MH
	POWER POLE
	LIGHT POLE
	SIGN
	EX. WOOD FENCE
	EX. METAL FENCE
	PROP. WOOD FENCE
	TO BE TRANSPLANTED
	TO BE REMOVED
	GENERAL CONTRACTOR
	LANDSCAPE CONTRACTOR

NOTE: FOR ENLARGEMENT AND ADDITIONAL DETAIL, SEE SHEET L2

**APPROVED**

SPECIAL USE PERMIT NO. 2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



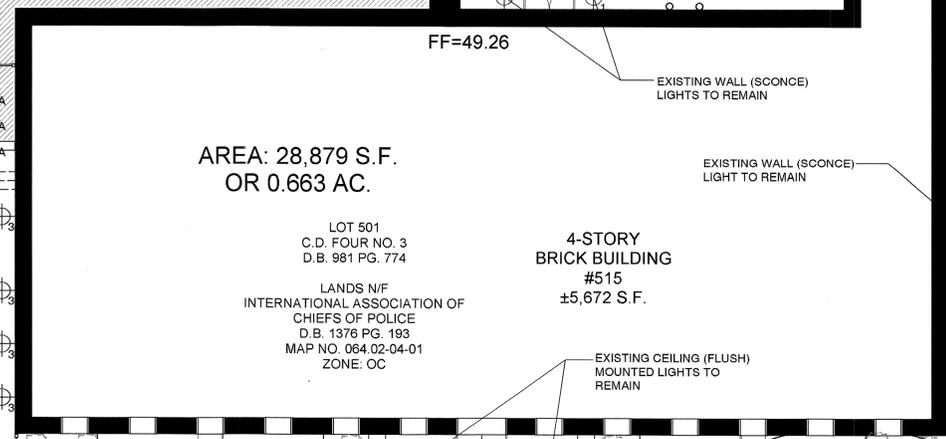
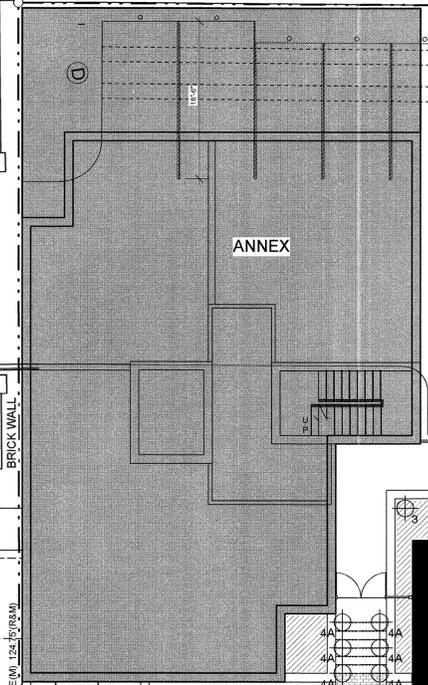


LOT 600  
HENRY KOCH  
D.B. 649 PG. 244

LANDS N/F  
MARK J. KINGTON AND ANN A. KINGTON  
INST. #120018652  
MAP NO. 064.02-04-04



BRICK BUILDING  
CONC. WALL W/5' WOOD FENCE  
FACE OF WALL ON PL  
BRICK WALL  
BRICK WALL  
FACE OF WALL ON PL



AREA: 28,879 S.F.  
OR 0.663 AC.

LOT 501  
C.D. FOUR NO. 3  
D.B. 981 PG. 774

LANDS N/F  
INTERNATIONAL ASSOCIATION OF  
CHIEFS OF POLICE  
D.B. 1376 PG. 193  
MAP NO. 064.02-04-01  
ZONE: OC

4-STORY  
BRICK BUILDING  
#515  
±5,672 S.F.

North Washington Lighting Schedule						
Key	Qty.	Type	Description	Specifications	Notes/Alternates:	
⊕ 1	3	Bollard Light	Hadco RF8	RF8 A KF 100I E	Alt: FX Luminaire PM Path Light	
⊕ 2	-	Hanging Light	-	-	Optional: TBD by Architect	
⊕ 3	21	Path Light	FX Luminaire PM FB	20W, 15V	Alternate: Hadco RF8	
⊕ 4	8	Recessed Riser Mounted Light	Bega 2286P	(1) 13W CF twin 2p	Alt: FX Luminaire LM Wall Light	
⊕ 4A	16	Recessed Wall Mounted Light	Bega 2283	(1) 18W S8, 12V	Alt: FX Luminaire LM Wall Light	
⊕ 5	4	Up Light	FX Luminaire MU	MU-10-FB	-	
⊕ 6	1	Post Light	TBD	TBD	City Approved Post Light	
⊕ 7	2	Street Light	Nat. Park Service Detail	Washington Street Light	Type F	

**GENERAL NOTES**

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	POWER POLE
	LIGHT POLE
	SIGN
	EX. WOOD FENCE
	EX. METAL FENCE
	PROP. WOOD FENCE
	TO BE TRANSPLANTED
	TO BE REMOVED
	GENERAL CONTRACTOR
	LANDSCAPE CONTRACTOR

**APPROVED**  
SPECIAL USE PERMIT NO. 2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



NOTE: FOR PLAN AT SCALE OF 1"=20'-0" AND ALTERNATE ORIENTATION, SEE SHEET L2; FOR TABLE OF EXISTING AND PROPOSED TREES AND CROWN COVERAGE ALLOWANCE, SEE SHEET 2

NORTH WASHINGTON ST



SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	STAGE II CONCEPT	04/17/2014
2	CONCEPT 3	06/20/2014
3	DSUP	10/03/2014
4	PER CITY COMMENTS	11/14/2014



**APPROVED**  
SPECIAL USE PERMIT NO. #2014-0006  
DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT  
DATE: \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
DATE: \_\_\_\_\_  
DATE RECORDED: \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**515 NORTH WASHINGTON REUSE RESIDENTIAL**

515 NORTH WASHINGTON ST,  
ALEXANDRIA, VA 22314  
CAS RIEGLER COMPANIES

**ARCHITECTURAL CONCEPT PLANS**

DAVID KITCHENS, AIA 20130161  
Principal in Charge Project No.  
Project Manager 10/03/2014  
Date  
BRANDON R. LENK  
Project Architect  
Staff Architect

**A 1.01**

**UNIT SCHEDULE - EXISTING**

Number	Level	Name	Unit Type
101	LEVEL 1	UNIT 101	1 BR
102	LEVEL 1	UNIT 102	1 BR
103	LEVEL 1	UNIT 103	STUDIO
105	LEVEL 1	UNIT 105	2 BR
106	LEVEL 1	UNIT 106	2 BR
107	LEVEL 1	UNIT 107	STUDIO

201	LEVEL 2	UNIT 201	1 BR
202	LEVEL 2	UNIT 202	1 BR
203	LEVEL 2	UNIT 203	STUDIO
204	LEVEL 2	UNIT 204	STUDIO
205	LEVEL 2	UNIT 205	1 BR
206	LEVEL 2	UNIT 206	2 BR
207	LEVEL 2	UNIT 207	STUDIO

301	LEVEL 3	UNIT 301	1 BR
302	LEVEL 3	UNIT 302	1 BR
303	LEVEL 3	UNIT 303	STUDIO
304	LEVEL 3	UNIT 304	STUDIO
305	LEVEL 3	UNIT 305	1 BR
306	LEVEL 3	UNIT 306	2 BR
307	LEVEL 3	UNIT 307	STUDIO

401	LEVEL 4	UNIT 401	2 BR
402	LEVEL 4	UNIT 402	2 BR
403	LEVEL 4	UNIT 403	1 BR
404	LEVEL 4	UNIT 404	2 BR
405	LEVEL 4	UNIT 405	2 BR

Grand total: 25

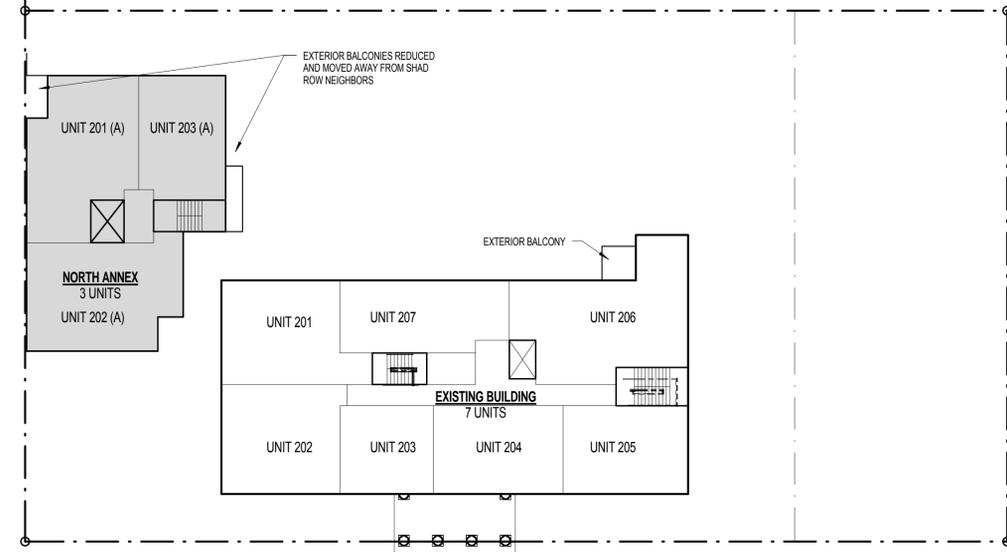
**UNIT SCHEDULE - ANNEX**

Number	Level	Name	Unit Type
101	LEVEL 1A	UNIT 101 (A)	1 BR
102	LEVEL 1A	UNIT 102 (A)	1 BR
103	LEVEL 1A	UNIT 103 (A)	1 BR

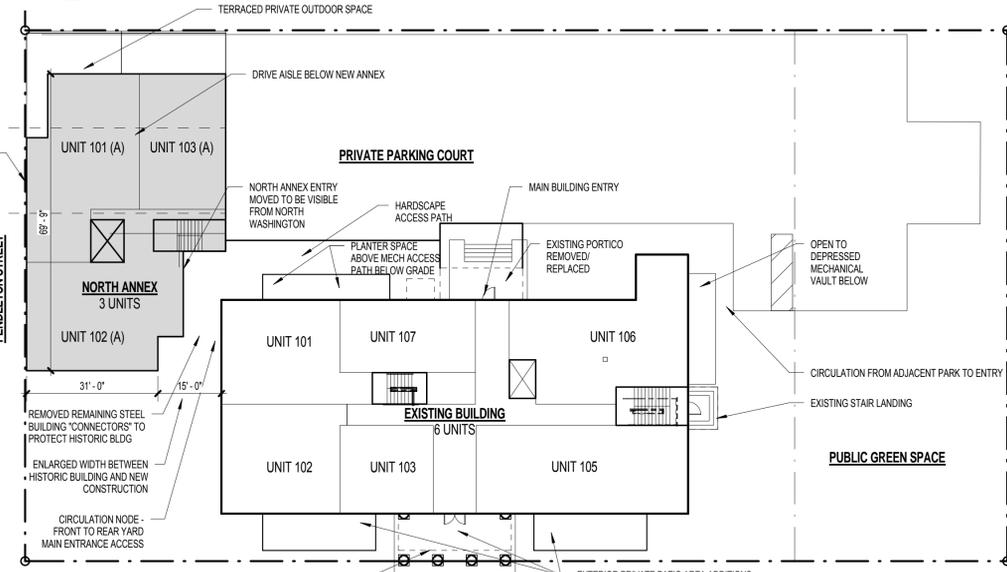
201	LEVEL 2A	UNIT 201 (A)	1 BR
202	LEVEL 2A	UNIT 202 (A)	1 BR
203	LEVEL 2A	UNIT 203 (A)	1 BR

301	LEVEL 3A	UNIT 301 (A)	3 BR
302	LEVEL 3A	UNIT 302 (A)	1 BR
303	LEVEL 3A	UNIT 303 (A)	1 BR

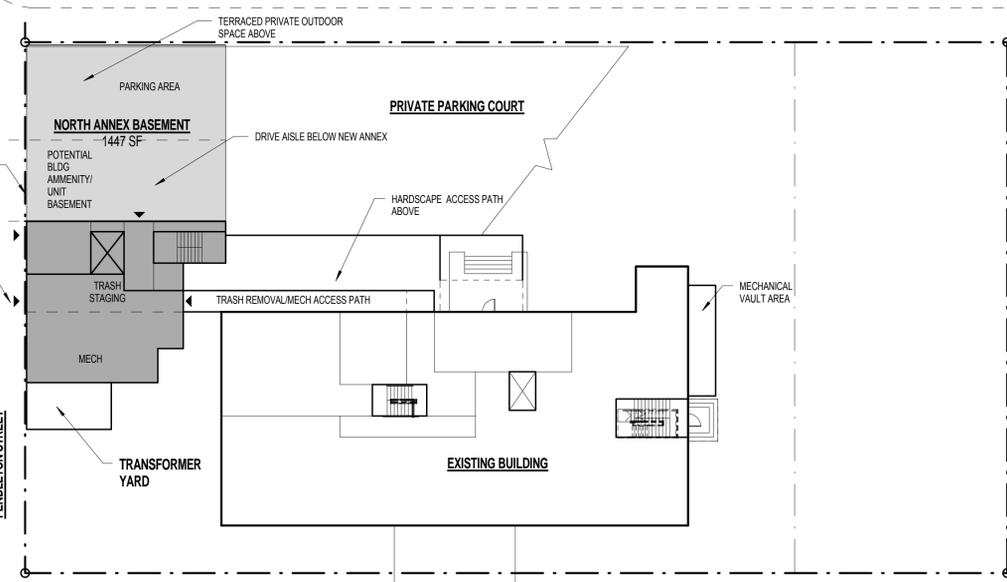
Grand total: 9



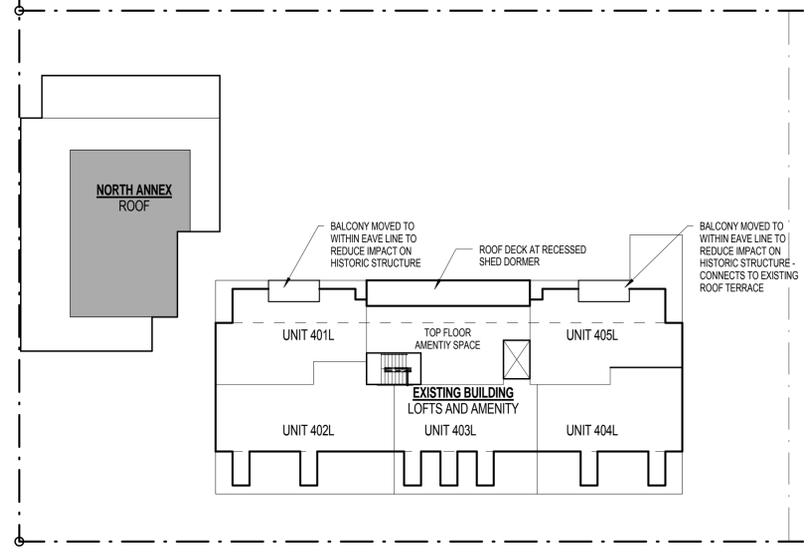
**3 PLAN - LEVEL 2**  
A 1.01 SCALE: 1" = 20'-0"



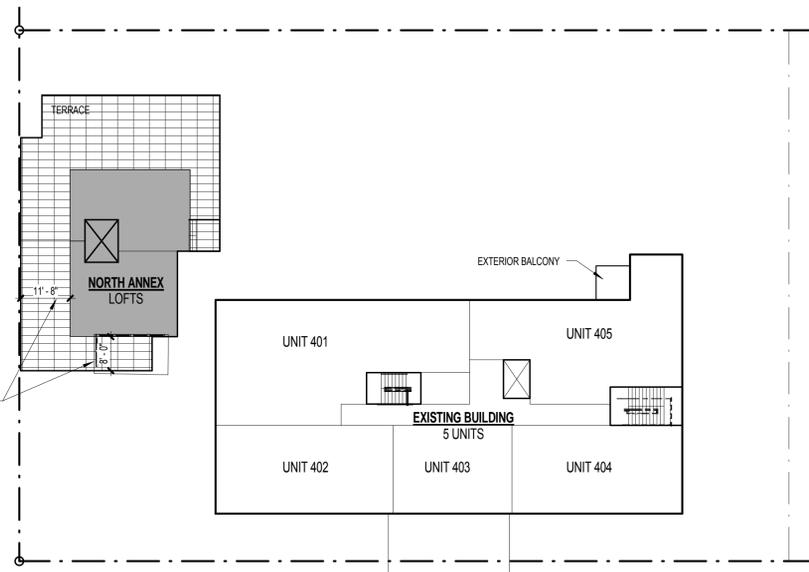
**2 PLAN - LEVEL 1**  
A 1.01 SCALE: 1" = 20'-0"



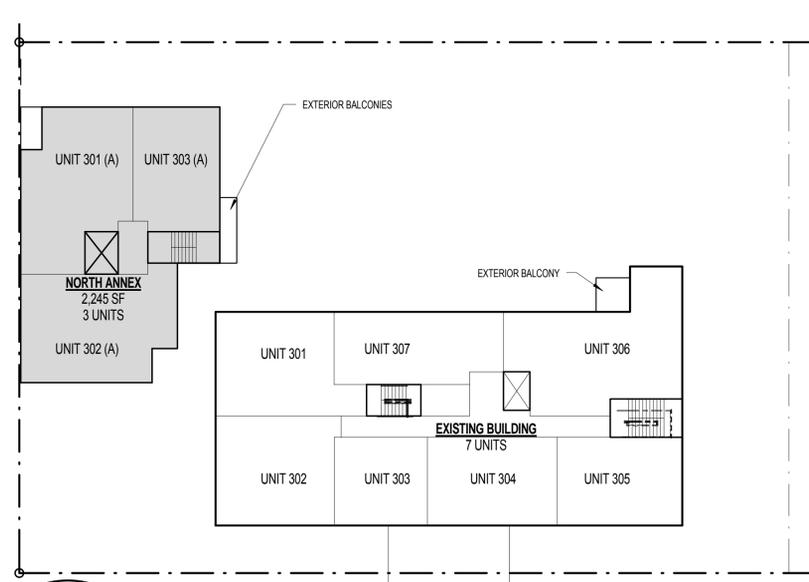
**1 PLAN - BASMENT**  
A 1.01 SCALE: 1" = 20'-0"



**6 PLAN - LEVEL 5**  
A 1.01 SCALE: 1" = 20'-0"



**5 PLAN - LEVEL 4**  
A 1.01 SCALE: 1" = 20'-0"



**4 PLAN - LEVEL 3**  
A 1.01 SCALE: 1" = 20'-0"

LOADING FOR VEHICLES LARGER THAN THE 8'-2" ACCESSIBLE CLEARANCE TO TAKE PLACE ALONG PENDLETON ST. VIA ARRANGED TIMES AND POSTED SIGNAGE WITH CITY APPROVAL. TRASH PICK UP TO BE THROUGH A DEDICATED ENTRY AND STAGING AREA LOCATED IN THE ANNEX BASEMENT LEVEL ON PENDLETON ST.

TRASH PICK UP TO BE THROUGH A DEDICATED ENTRY AND STAGING AREA LOCATED IN THE ANNEX BASEMENT LEVEL ON PENDLETON ST.

LOADING FOR VEHICLES LARGER THAN THE 8'-2" ACCESSIBLE CLEARANCE TO TAKE PLACE ALONG PENDLETON ST. VIA ARRANGED TIMES AND POSTED SIGNAGE WITH CITY APPROVAL.

PROJECT NUMBER: 20130161 PROJECT NAME: 515 NORTH WASHINGTON REUSE RESIDENTIAL  
SHEET NUMBER: A.1.01 - ARCHITECTURAL CONCEPT PLANS  
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SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES

No.	Drawing Issue Description	Date
1	STAGE II CONCEPT	04/17/2014
2	CONCEPT 3	06/20/2014
3	DSUP	10/03/2014
4	PER CITY COMMENTS	11/14/2014



APPROVED  
SPECIAL USE PERMIT NO. #2014-0008  
DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT  
DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
DATE RECORDED: \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**515 NORTH WASHINGTON  
REUSE RESIDENTIAL**

515 NORTH WASHINGTON ST,  
ALEXANDRIA, VA 22314

CAS RIEGLER COMPANIES

**ARCHITECTURAL CONCEPT -  
MATERIALS**

DAVID KITCHENS, AIA 20130161  
Principal-in-Charge Project No.  
--- 10/03/2014  
Project Manager Date  
BRANDON R. LENK  
Project Architect  
---  
Staff Architect

**A 1.03**



WEST ELEVATION - 1:10 \*SOME TREES NOT SHOWN FOR CLARITY



EAST ELEVATION - 1:10

PROJECT NUMBER: 20130161 PROJECT NAME: 515 NORTH WASHINGTON REUSE RESIDENTIAL  
SHEET NUMBER: A 1.03 - ARCHITECTURAL CONCEPT - MATERIALS  
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SCOPE DOCUMENTS

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ISSUANCES		
No.	Drawing Issue Description	Date
1	STAGE II CONCEPT	04/17/2014
2	CONCEPT 3	06/20/2014
3	DSUP	10/03/2014
4	PER CITY COMMENTS	11/14/2014



NORTH ELEVATION - 1:10

\*SOME TREES NOT SHOWN FOR CLARITY

APPROVED  
SPECIAL USE PERMIT NO. #2014-0006  
DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT  
DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
DATE RECORDED: \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**515 NORTH WASHINGTON  
REUSE RESIDENTIAL**

515 NORTH WASHINGTON ST,  
ALEXANDRIA, VA 22314  
CAS RIEGLER COMPANIES

**ARCHITECTURAL CONCEPT -  
MATERIALS**

DAVID KITCHENS, AIA 20130161  
Principal in Charge Project No.  
--- 10/03/2014  
Project Manager Date  
BRANDON R. LENK  
Project Architect  
---  
Staff Architect

**A 1.04**



NORTHWEST STREET VIEW - N. WASHINGTON ST.

\*SOME TREES NOT SHOWN FOR CLARITY



NORTHEAST STREET VIEW - PENDLETON ST.

PROJECT NUMBER: 20130161 PROJECT NAME: 515 NORTH WASHINGTON REUSE RESIDENTIAL  
SHEET NUMBER: A.1.04 - ARCHITECTURAL CONCEPT - MATERIALS  
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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	CONCEPT 3	06/20/2014
2	DSUP	10/03/2014
3	PER CITY COMMENTS	11/14/2014



SOUTHWEST CONTEXT AERIAL



NORTHEAST CONTEXT AERIAL

APPROVED

SPECIAL USE PERMIT NO. #2014-0006

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

ENTIREMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**515 NORTH WASHINGTON  
REUSE RESIDENTIAL**

515 NORTH WASHINGTON ST,  
ALEXANDRIA, VA 22314

CAS RIEGLER COMPANIES

**ARCHITECTURAL CONCEPT -  
CONTEXT AERIALS**

DAVID KITCHENS, AIA 20130161  
Principal-in-Charge Project No.  
DAVID KITCHENS, AIA 10/03/2014  
Project Manager Date  
BRANDON R. LENK, AIA  
Project Architect  
Author  
Staff Architect

**A 1.05**



SCOPE DOCUMENTS The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES table with columns: No., Drawing Issue Description, Date. Includes entries for STAGE II CONCEPT, CONCEPT 3, DSUP, and PER CITY COMMENTS.



APPROVED SPECIAL USE PERMIT NO. #2014-0006 DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

515 NORTH WASHINGTON REUSE RESIDENTIAL

515 NORTH WASHINGTON ST, ALEXANDRIA, VA 22314 CAS RIEGLER COMPANIES

AREA CALCULATIONS - PLANS

DAVID KITCHENS, AIA 20130161 Principal-in-Charge Project No. DAVID KITCHENS, AIA 06/20/2014 Project Manager Date BRANDON R. LENK, AIA Project Architect Author Staff Architect

A 2.01

AREA - GFA ONLY - NSF table with columns: Area, Name, Level, Comments. Lists areas like GFA-BA, GFA-1, GFA-2, GFA-3, GFA-4, GFA-LA-1, GFA-5, GFA-5-1, GFA-5-2.

AREA - TOTAL CONCEPT - GSF table with columns: Area, Name, Level, Comments. Lists areas like GFA-BA, GFA-BA-6, NON GFA-B-1, NON GFA-B-2, NON GFA-B-3, NON GFA-B-4, NON GFA-BA-1, NON GFA-BA-2, NON GFA-BA-3, NON GFA-BA-4, NON GFA-BA-5.

LEVEL - BASEMENT table with columns: Area, Name, Level, Comments. Lists areas like GFA-BA, GFA-BA-6, NON GFA-B-1, NON GFA-B-2, NON GFA-B-3, NON GFA-B-4, NON GFA-BA-1, NON GFA-BA-2, NON GFA-BA-3, NON GFA-BA-4, NON GFA-BA-5.

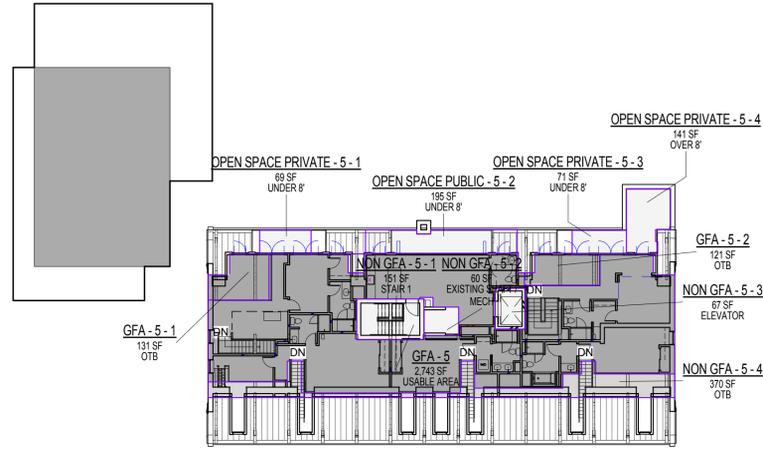
LEVEL 1A table with columns: Area, Name, Level, Comments. Lists areas like GFA-1, GFA-1A, NON GFA-1-1, NON GFA-1-2, NON GFA-1-3, NON GFA-1-4, NON GFA-1A-1, NON GFA-1A-2, NON GFA-1A-3.

LEVEL 2A table with columns: Area, Name, Level, Comments. Lists areas like GFA-2, GFA-2A, NON GFA-2-1, NON GFA-2-2, NON GFA-2-3, NON GFA-2-4, NON GFA-2A-1, NON GFA-2A-2, NON GFA-2A-3.

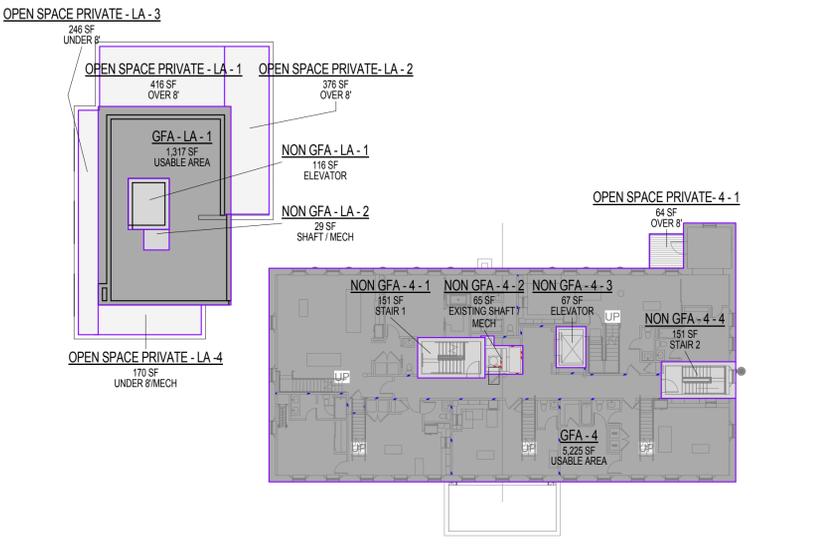
LEVEL LOFTA & 4 table with columns: Area, Name, Level, Comments. Lists areas like GFA-4, GFA-LA-1, NON GFA-4-1, NON GFA-4-2, NON GFA-4-3, NON GFA-4-4, NON GFA-LA-1, NON GFA-LA-2.

LEVEL 5 table with columns: Area, Name, Level, Comments. Lists areas like GFA-5, GFA-5-1, GFA-5-2, NON GFA-5-1, NON GFA-5-2, NON GFA-5-3, NON GFA-5-4.

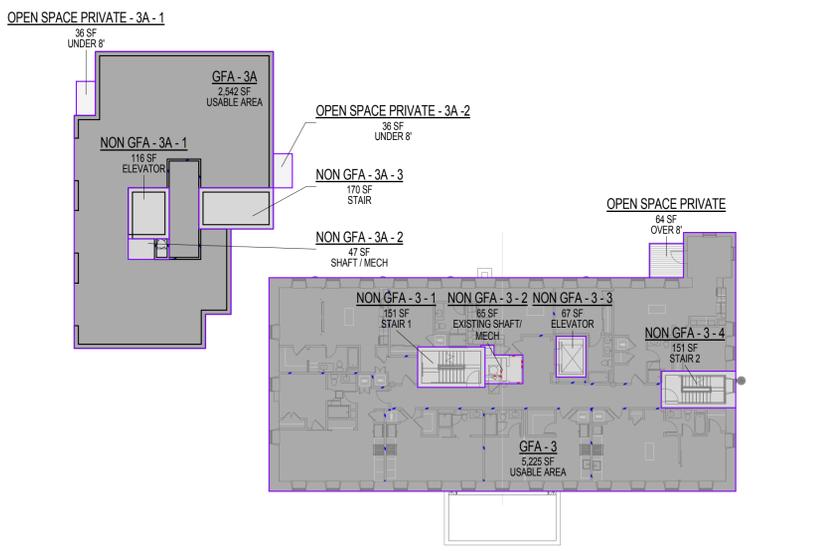
GENERAL NOTES: 1. OPEN SPACES LISTED AT RIGHT AS "UNDER 8" ARE NOT COUNTED TOWARD OPEN SPACE TOTALS. TOTAL NORTH ANNEX = 13,484 GSF [10,575 NSF]. TOTAL EXISTING BUILDING = 32,763 GSF [23,895 NSF].



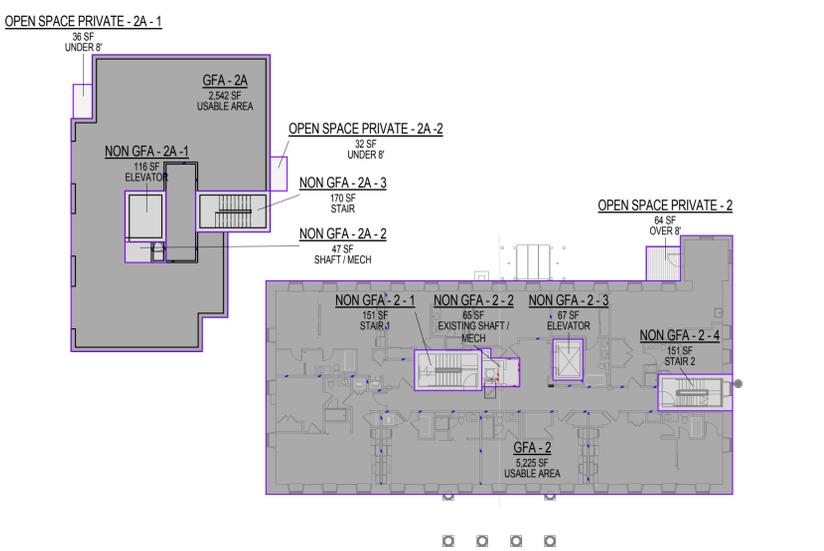
6 LEVEL ROOF & 5 SCALE: 1" = 20'-0"



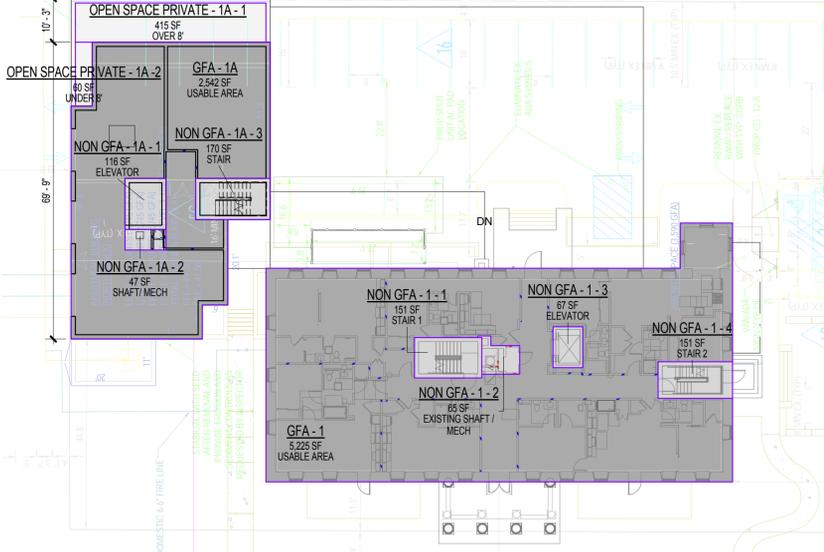
5 LEVEL LOFTA & 4 SCALE: 1" = 20'-0"



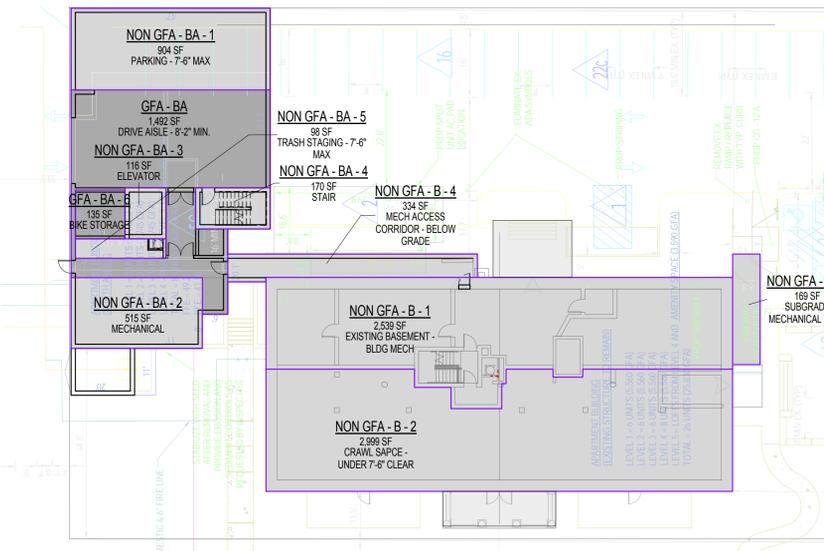
4 LEVEL 3A SCALE: 1" = 20'-0"



3 LEVEL 2A SCALE: 1" = 20'-0"



2 LEVEL 1A SCALE: 1" = 20'-0"



1 LEVEL - BASEMENT SCALE: 1" = 20'-0"

PROJECT NUMBER: 20130161 PROJECT NAME: 515 NORTH WASHINGTON REUSE RESIDENTIAL SHEET NUMBER: A 2.01 - AREA CALCULATIONS - PLANS P:\2013\20130161\1-d-7 drawings\1-d-7 rev\users\20130161\_2013\_1enkb.rvt 11/11/2014 4:36:48 PM