

BAR CASE # 2013-00066 &
2013-00067

City Council
April 12, 2014

ISSUE: Appeal of a decision of the Board of Architectural Review, Old & Historic Alexandria District, approving a Permit to Demolish/Capsulate and Certificate of Appropriateness for new addition and alterations

APPLICANT: Robert L. Montague IV by Stephanie R. Dimond

APPELLANT: Petitioners

LOCATION: 207 Prince Street

ZONE: RM/Townhouse zone



BAR2013-00066 & BAR2013-00067



ISSUE

The petitioners have appealed a decision of the Old & Historic Alexandria District Board of Architectural Review (BAR) to approve a Permit to Demolish/Capsulate and a Certificate of Appropriateness for the construction of a kitchen/family room addition on the rear of the townhouse located at 207 Prince Street. The applicant in this case is the present property owner, Robert Latane Montague IV, represented by architect, Stephanie Dimond. The appellant is the petitioners.

The appeal was originally brought forward by Robert L. Montague III, representing the petitioners, on October 30, 2013. Robert L. Montague III is the Father of the present owner of 207 Prince Street and currently resides on the property as holder of a life estate. The appeal was deferred several times at the family's request. The family has since reached a private agreement on issues unrelated to the BAR case and Robert L. Montague, III has withdrawn his name from the appeal. However, because the family's agreement did not address the preservation of the historic north wall of the kitchen, the remaining petitioners have brought forward the appeal.

II. DISCUSSION

The subject property, **207 Prince Street**, is located at the east end of Gentry Row and is a three and one-half story, painted brick dwelling in the Georgian style with a rear ell on the north side constructed prior to 1796. Attached to the two and one half story rear ell is an addition constructed in 1934 and referred to as the "little house". The two properties were consolidated in 1974 and the dwellings are occupied by extended family.

This house is one of the most architecturally important houses in Old Town; not only is it one of the finest examples of Georgian townhome architecture in the United States, but it was owned and restored in the early 20th century by one of Alexandria's first advocates of historic preservation, Gay Montague Moore. The alterations made to the property under Ms. Moore's ownership are significant in their own right, not only because they were guided by one of Alexandria's first historic preservationists, but also because they reflect the popular enthusiasm of the time for the Colonial Revival style and restoration architecture made popular by the first generation of Williamsburg trained restoration architects, such as those that Moore employed.

The architectural and historical significance of the dwelling has led to its individual listing on the National Register of Historic Places and the issuance of a protective easement jointly held by the Historic Alexandria Foundation (HAF) and the Virginia Historic Landmarks Commission. In this case, both easement holders found the proposed alterations to be in compliance with their agreements. As a City practice, all property owners are asked to provide evidence that an easement holder approves of the proposed work before a BAR application is accepted, though the City is not bound by and does not enforce private easement agreements. The BAR's deliberation was not based on the easement criteria or the Secretary of the Interior's standards and **was limited to the separate criteria and standards listed in the zoning ordinance to inform their decision in this case.**

Historic documentation shows that the main dwelling was constructed prior to 1796. Based on the architectural evidence examined on site by staff and independent historic preservation professionals, the present kitchen located at the north end of the rear ell is very likely the oldest part of the structure and has been continually used as a kitchen since it was constructed in the 18th century. Furthermore, both staff and the historic preservation consultant hired by the applicant conclude that elements of the existing kitchen, including the foundation, firebox, chimney, and north wall, are substantially intact and reflect significant characteristics that are unique 18th century building techniques and materials.

The Alexandria zoning ordinance requires a separate roll call vote by the BAR for a permit to demolish or capsulate more than 25 square feet of exterior wall or roof area, regardless of its visibility from a public way. Based on the criteria in *Zoning Ordinance §10-105(B)* (refer to the October 16, 2013 staff report for a listing of these criteria) staff found that “the building is of such old and unusual design, texture, and material that it could not be reproduced without great difficulty” (criteria 3) and that “retention of the building would help preserve and protect an historic place... of historic interest in the city” (criteria 5). Therefore staff recommended denial of the Permit to Demolish/Capsulate the chimney, firebox, and majority of the north masonry wall. Staff did not question the need for a more modern and functional kitchen/family room and supported approval of an *amended* Permit to Demolish/Capsulate that would allow for demolition of a portion of the greatly altered east wall of the kitchen but preserved the existing, character defining north wall and firebox.

The October 16, 2013 staff recommendations to the BAR are listed below:

Permit to Demolish/Capsulate

1. **Denial** of demolition/capsulation of the 18th century chimney, firebox and majority of the masonry north wall of the existing kitchen.
2. **Approval** of demolition/capsulation of the majority of the east wall, with a minimum of 12” of brick to remain in the corners of the room at each end of the wall and below the finished ceiling.
3. That the applicant provide evidence of a new easement requiring BAR approval for future demolition of any additional masonry or floor framing on the portions of the existing ground floor kitchen, including the north and east walls proposed for capsulation.
4. That any demolition that is approved be as limited as possible. The applicant shall record the details of the materials and workmanship of any area demolished with HABS quality measured drawings and photographs. The plaster shall be carefully removed so that the masonry and any other features, such as the internal flues, hardware, and any other elements related to the fireplace, are made visible for inspection and documentation. Measured drawings and digital photographs of these features shall be submitted to BAR staff for inclusion in the History

Collection at the Alexandria Barrett Library, prior to demolition of these features and issuance of any building permits.

5. That the applicant preserve all portions of the east and north walls located above the ground floor kitchen and any associated historic materials and features, such as the underlying stone cellar foundation walls; second floor joists, surviving joists and floor boards in the cellar; the fireplace base and arch; and all other original materials identified in the consultant's report dated September 15, 2013.
6. The applicant shall hire an archaeological consultant to conduct an investigation to document, analyze, interpret, and report on the archaeological finds discovered prior to and during the demolition process. The report shall include sufficient historical information to allow for an understanding of the archaeological discoveries in the context of the history of the site. A public summary shall accompany the report. All work shall comply with requirements of the *City of Alexandria Archaeological Standards* as well as federal and state regulations. Contact Alexandria Archaeology at 703-746-4399 for approval of the scope of work prior to the commencement of any archaeological work.
7. The following archaeology conditions shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.
 - a. While it would appear that this project will have little or no ground disturbance, if the project is expected to cause any ground disturbance, please contact Alexandria Archaeology (703-746-4399) two weeks before the starting date of any ground disturbance so that an inspection or monitoring schedule for city archaeologists can be arranged.
 - b. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - c. The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays.

Certificate of Appropriateness for Alteration/Addition

8. **Approval** of the proposed exterior walls of the kitchen/family room addition, as shown on the drawings dated June 19, 2013.

III. BOARD ACTION

On October 16, 2103, the BAR *disagreed with staff recommendation* to deny demolition of the north wall of the kitchen, and ***approved the application, as amended, by a roll call vote of 3-2***. The majority of the Board found that the area proposed for demolition contained fabric that had previously been altered and that the proposed alterations were

generally in keeping with the Design Guidelines. The Board's approval included a Permit to Demolish/Capsulate the first story of both the east and north walls of the kitchen and a Certificate of Appropriateness for a new kitchen/family room addition with alterations to the east and north facades of the ell. The BAR's approval retained the conditions recommended by staff limiting the demolition of any historic material both below grade and above the kitchen, requiring high-quality documentation of areas to be demolished, and required that professional archaeology be carried out prior to any demolition or construction.

The Board considered only the criteria in the *Alexandria Zoning Ordinance §10-105(B)* (refer to the October 16, 2013 staff report for these criteria) to determine whether or not to grant a Permit to Demolish. City Council is also required to apply the same criteria, pursuant to §10-107:

“the same standards shall be applied by the council as are established for the Old and Historic Alexandria District board of architectural review. The council may affirm, reverse or modify the decision of the board, in whole or in part. The decision of the council, subject to the provisions of section 10-107(B), shall be final.”

IV. RECOMMENDATION

Staff's recommendation continues to be for preservation of the majority of the historic north kitchen wall and is in disagreement with the BAR's decision. By a 3-2 vote, the BAR found that the area proposed for demolition had been previously altered. However, the consultant's report describes intact significant, unique, rare, and historic features in the north wall and staff believes that preservation of these 18th century features does not preclude construction of a new modern kitchen.

Staff therefore recommends that City Council **modify** the decision of the BAR and approve all of the staff recommendations made to the BAR on October 16, 2013, including an amended Permit to Demolish and Certificate of Appropriateness to construct a new kitchen and family room addition while retaining the character defining kitchen firebox in the oldest portion of one of the most significant homes in Alexandria.

V. STAFF

Faroll Hamer, Director, Department of Planning & Zoning
Karl Moritz, Deputy Director, Department of Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning
Mary Catherine Collins, Historic Preservation Planner, Planning & Zoning

VI. ATTACHMENTS

Attachment A: BAR staff report with Board actions from the October 16, July 10, and June 19, 2013 hearings

Attachment B: Application for BAR2013-00066 & BAR2013-00067

Attachment C: Zoning Ordinance Section 10-105(B)

Attachment D: Design Guidelines for the Demolition of Existing Structures and Residential Additions chapters

City of Alexandria, Virginia

MEMORANDUM

DATE: OCTOBER 16, 2013

TO: CHAIRMAN AND MEMBERS OF THE
OLD AND HISTORIC ALEXANDRIA DISTRICT
BOARD OF ARCHITECTURAL REVIEW

FROM: HISTORIC PRESERVATION STAFF

SUBJECT: UPDATE ON PERMIT TO DEMOLISH, ADDITION AND ALTERATIONS
AT 207 PRINCE STREET, BAR CASE #2013-0066 & 0067

I. UPDATE

At the July 10, 2013 BAR hearing, the BAR closed the public hearing and deferred the application, requesting additional information regarding the age and historic integrity of the areas proposed for demolition. The applicant retained historic preservation consultant Dennis J. Pogue, formerly the Chief Archaeologist and Director of Restoration at Mount Vernon, to examine the specific areas proposed for demolition. Mr. Pogue's report is attached. Based on the findings of the report, the Historic Alexandria Foundation and the Virginia Department of Historic Resources confirmed that the proposed demolition, addition and alterations do not violate the terms of their easement. Their letters are also attached. The applicant's proposal is, therefore, unchanged and there are no new drawings. The staff report from the July 10, 2013 BAR hearing is included in this packet for reference.

II. ANALYSIS

The consultant's report confirms staff's previous observations that the existing kitchen predates the 1780s portion of the house and that the stone cellar walls, floor framing and fireplace are relatively intact. As he notes on page 12 of the report, "As the north kitchen wall is almost certainly a substantial remnant of the original exterior north wall and fireplace for the 18th-century kitchen, its demolition will destroy historic fabric." He further notes on Page 13, "Demolition of the wall clearly is not reversible..."

Staff, however, does not share his conclusion that removal of the north kitchen wall and firebox comply with either the Secretary of the Interior's Standards (which are not binding upon the BAR) or the criteria in Alexandria Zoning Ordinance Sec. 10-105 that the BAR must use for a Permit to Demolish.

Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic shrine?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place in which to live?

Staff finds that both Criteria 3 and 5 are met and a Permit to Demolish should not be granted for the chimney, firebox, and the majority of the north masonry wall, as these are uncommonly old and unusual in design. Aside from the fact that the 18th century materials and workmanship of the north wall and hearth could not easily be reproduced, once the proposed demolition is completed, the applicant proposes to install steel beams to support the second and third stories which will make future restoration of the firebox and north wall virtually impossible. Additionally, the proposed addition and alterations will require significant structural footings to support the remaining two story masonry building above, making it difficult to preserve the currently intact cellar walls, foundation, fireplace base and arch (of which the fireplace base and arch are identified by the consultant as authentic and unusual). The prominent location of this house on Gentry Row, its individual National Register historic listing in 1991, and its relevance to the history of preservation in Alexandria strongly support the need to preserve this historic building for the interest of the city.

As clearly stated in the June 19, 2013 staff report, Staff does not question the need for a more modern and functional space for a kitchen and supports the concept of a new attached family room/kitchen extending into the garden. Staff believes, however, there are several viable alternative floor plans that do not require demolition of this quantity of original fabric in the oldest section of one of Alexandria's most historic structures. Preservation of the masonry mass of the north wall also precludes the need to interject the steel framing necessary to allow the second and third floors to float above the new kitchen space, an architectural concept that staff continues to find visually disconcerting.

Based on the additional archival and field research performed since the June 19, 2013 staff report, including the consultant's concurrence that the chimney and firebox are original and relatively intact, staff finds these elements to be essential character defining features of the 18th century kitchen. Therefore, staff recommends that the firebox and a majority of the masonry north wall be preserved to reflect the original masonry form of the kitchen. Staff has no

objection to removal of a majority of the east kitchen wall on the first floor, as this wall has clearly been altered several times and has lost much of its historic integrity. In addition, the simple east brick wall with its 20th century windows is not kitchen-specific or an unusual architectural feature. Staff also supports the proposed family room expansion into the garden on the east side and capsulation of the first floor of this portion of the building with the following conditions.

III. RECOMMENDATIONS

Staff recommends the following actions and conditions:

Permit to Demolish/Capsulate

1. **Denial** of demolition/capsulation of the 18th century chimney, firebox and majority of the masonry north wall of the existing kitchen.
2. **Approval** of demolition/capsulation of the majority of the east wall, with a minimum of 12” of brick to remain in the corners of the room at each end of the wall and below the finished ceiling.
3. That the applicant provide evidence of a new easement requiring BAR approval for future demolition of any additional masonry or floor framing on the portions of the existing ground floor kitchen, including the north and east walls proposed for capsulation.
4. That any demolition that is approved be as limited as possible. The applicant shall record the details of the materials and workmanship of any area demolished with HABS quality measured drawings and photographs. The plaster shall be carefully removed so that the masonry and any other features, such as the internal flues, hardware, and any other elements related to the fireplace, are made visible for inspection and documentation. Measured drawings and digital photographs of these features shall be submitted to BAR staff for inclusion in the History Collection at the Alexandria Barrett Library, prior to demolition of these features and issuance of any building permits.
5. That the applicant preserve all portions of the east and north walls located above the ground floor kitchen and any associated historic materials and features, such as the underlying stone cellar foundation walls; second floor joists, surviving joists and floor boards in the cellar; the fireplace base and arch; and all other original materials identified in the consultant’s report dated September 15, 2013.
6. The applicant shall hire an archaeological consultant to conduct an investigation to document, analyze, interpret, and report on the archaeological finds discovered prior to and during the demolition process. The report shall include sufficient historical information to allow for an understanding of the archaeological discoveries in the context of the history of the site. A public summary shall accompany the report. All work shall comply with requirements of the *City of Alexandria Archaeological Standards* as well as federal and state regulations. Contact Alexandria Archaeology at 703-746-4399 for approval of the scope of work prior to the commencement of any archaeological work.

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Certificate of Appropriateness for Alteration/Addition

8. **Approval** of the proposed exterior walls of the kitchen/family room addition, as shown on the drawings dated June 19, 2013.

Attachments

1 – Supporting Materials:

- a. *Physical Investigation and Documentation of the Fairfax-Moore-Montague House Kitchen by Dennis J. Pogue, PhD, RPA, September 19, 2013*
- b. *Letter of approval from the Virginia Department of Historic Resources, September 20, 2013*
- c. *Letter of approval from the Historic Alexandria Foundation, October 8, 2013*
- d. *Staff Memorandum and revised report to the OHAD BAR, July 10, 2013*

2 – Application for BAR2013-0067 and BAR2013-0068 for 207 Prince Street (Refer to Attachment B of

April 12, 2014 Appeal Report)

Physical Investigation and Documentation of the Fairfax–Moore–Montague House Kitchen

207 Prince St.
Alexandria, VA

Dennis J. Pogue, PhD, RPA
September 15, 2013

Introduction:

The author spent parts of four days examining the physical evidence related to the portion of the Fairfax–Moore–Montague house that has traditionally served as the kitchen. Both documentary and physical evidence indicates that the structure was erected in the 18th century. Of particular interest was the structure's north wall, the lower portion of which has been proposed to be demolished in furtherance of the owner's plans to renovate and expand the kitchen space.

Concept approval to expand the kitchen has been given by the easement holders, The Virginia Department of Historic Resources (VDHR) and the Historic Alexandria Foundation, with the current plans reviewed and approved in concept by the VDHR in a letter dated June 19, 2012. After reviewing the proposal in July, the City of Alexandria Board of Architectural Review (BAR) deferred the application for a Permit to Demolish and Certificate of Appropriateness. At that time, BAR staff recommended that further studies be carried out to fully investigate the portion of the building proposed for renovation, with a focus on the portion of the north wall which the current plans would remove. In order to provide the fullest possible context for making future decisions on the disposition of the wall, my work was focused quite closely on studying and documenting the surviving original elements of the kitchen, and determining whether the north wall was an original component of the structure.

The *Secretary of the Interior's Standards for Rehabilitation* provide a framework for considering the impact of the proposed renovations on the integrity of the Montague house. Therefore, the findings outlined below are considered in relation to those *Standards*, and recommendations for treating the historic resources are offered.

Summary:

The portion of the north wall proposed for removal on the ground floor likely dates from the 18th century. As noted by Calder Loth in the nomination documentation for this property to the Virginia Historic Landmarks Registry, the property has been significantly altered over time. These alterations include the portion of the north kitchen wall proposed for removal. Previously, a portion of the wall was demolished to create a door in the northwest corner. Similarly, approximately half of the north wall was encapsulated by what is now a three story addition that contains bathrooms on the second and third floors. In the 20th century, the wall was raised to facilitate adding another story to the kitchen. The exterior portion proposed for removal represents roughly 70 square feet of building fabric. The north wall proposed for removal is currently not visible from any public right of way, and is not readily visible while on the premises. On the exterior, the wall forms the south side of a seven-foot-wide indentation in the footprint of the building that separates the kitchen structure from another addition constructed to the north in the 1940s.

Demolition of this portion of the kitchen structure will have essentially no impact on the appearance of the house from the outside, because of the location of the wall, and because the entire area will be encapsulated by the proposed addition. Encapsulation of this wall is planned, regardless of whether this portion of the north wall is removed or not. On the interior, this wall is currently concealed by kitchen appliances, plaster, and cabinetry built in and around the fireplace opening. Because of the prior alterations and the location and visibility of the wall, its demolition will have essentially no impact on the historic character of the property,

and will not materially alter or diminish the historic setting. For these reasons, as discussed below, the proposed addition appears to be fully consistent with both the *Secretary of the Interior's Standards for Rehabilitation*, as well as the City of Alexandria's ordinance establishing standards for the approval of demolition in the historic district (*Design Guidelines for the Old and Historic Alexandria District*, Chapter 4: Demolition).

Background:

The kitchen currently is sandwiched between the main house ell and two later additions, and it has undergone numerous modifications over the years. The buildings on the property are depicted on three plats prepared by the Mutual Assurance Society, beginning in 1796, with the structure in question shown located at the north terminus of the ell adjoining the main house, and described as a "Brick Kitchen 2 stories high 16 feet by 16 feet cov'd with wood." The existing kitchen bay closely matches those dimensions, and until the 1930s it was two stories. Differences in the types of saw marks found on the floor joists in the kitchen compared to those on the joists in the adjoining house suggests two periods of construction, with the kitchen likely erected at least somewhat earlier. This naturally raises the question whether the kitchen had been a free-standing building before the main house and ell were erected circa the 1780s, and whether it had been associated with an earlier dwelling that no longer survives. Access between the 1780s ell and the kitchen currently is provided by a doorway cut into the south wall on each level.

The property underwent a major restoration carried out by Charles Beatty Moore and Gay Montague Moore beginning in 1929, during which the kitchen was significantly altered. It was raised from two to three stories, which necessitated replacing the roof framing in its entirety. The east wall was extensively modified as well, with three of the four window openings having been altered at least once; two dormers were installed that extend into the raised upper portion of the wall. The cellar window

may have been inserted at this time as well. One of the original second-story windows may survive; this hypothesis is based on the pattern of the brickwork around the opening and the character of the window trim. A brick extension had been appended to the north wall of the kitchen before 1896, when it appears on the city Sanborn map of the property, and the extension also was raised to three stories by the Moores. The interior connection between the kitchen and the extension was created by punching a doorway through the north wall on both the first and second floors. The Sanborn maps also show more additions made to the east façade, which no longer exist.

Little of the surviving fabric of the kitchen is visible on the interior of the two original floor levels. The only apparent feature that suggests its original function is a substantial arched opening built into the north wall on the ground floor that undoubtedly was a fire place; its large size supports the hypothesis that it served for cooking.

Investigations:

Although access to the surviving above-grade structural elements of the kitchen is not currently available, a substantial portion of the stone foundations, the first-floor floor joists and floor boards, and the base of the fireplace on the north wall are visible in the cellar (which is positioned beneath the southern two-thirds of the building's footprint, interior dimensions 12'7" by 10'2"). The majority of the time spent in this investigation was devoted to examining the cellar and the adjoining crawl space. This included removing an upper section of stones from the north cellar wall to improve access to the crawl space to examine the foundation and fireplace base. This revealed a gap of roughly two feet between the cellar wall and the face of the stone footing supporting the brick fireplace. The spaces and selected features were documented using field notes, sketches, scaled drawings, and digital images.

Three of the stone cellar walls conform to the footprint of the "kitchen," with the fourth wall set back roughly five feet from the kitchen's north

foundation. Of note is the fact that the surface of the south wall is much less regular than the other three walls, which are relatively smooth and plumb, and bricks have been incorporated into the south face of the wall. This might relate to rebuilding the wall, possibly when the kitchen was appended to the ell. All of the walls have undergone some modification, with the joints pointed with a Portland-mix mortar, and the surfaces generally coated with a thin layer of a similar material. Based on examining the materials used in forming the opening (machine made bricks and the header which is band sawn), the window that is located in the east foundation must be a later addition. The doorway roughly centered in the south wall appears to have been enlarged, as the lower portion of the jamb on both sides (3'2" and 3'8" up from the floor) is formed of brick. This raises the possibility that the opening originally was intended for a window, which was enlarged to accommodate a doorway. The bricks forming part of the doorway are obscured by a thick layer of paint, but they appear sufficiently irregular to suggest that they were hand made. An iron beam spans the opening and the frame is made of modern materials.

As the current doorway, and possibly the entire south wall, likely represent later modifications, it is not clear what the original condition may have been. But if the location of the doorway in the south foundation is not original, it would raise the question of the earlier means of access to the cellar. One common approach in the period was to create an opening in the flooring, possibly covered by a hatch when not in use, that was large enough to allow a ladder or ladder stair. Normally such an opening would have been framed by installing headers bridging between the joists, but no evidence for those features was found on the surviving members. In addition, the joists are relatively narrowly spaced, with the widest possible opening only 23", which would have made for a very tight passage.

The cellar floor is made of bricks forming rows running in a north-south direction, with most of the bricks laid flat and end-to-end. The exception is three rows roughly centered in the space, which are laid in a

more random pattern: some of the brick are laid on their sides, and others are placed with their long dimension oriented east-west. The type of brick used throughout is relatively homogenous -- hand-made, measuring 8-8 ½" by 4-4 ¼" by 2 ¼" in dimension. They match in dimension and overall appearance with the bricks in the basement floor under the 1780s ell. It seems likely, therefore, that both floors were laid at the same time. Given the care that was taken in the 1930s to renovate the spaces with appropriate period materials, the floors may date to that work.

The east and west foundation walls are 17-18" thick, reaching a height of @5'9" above the brick floor, where the masonry transitions into a thinner brick wall. Two courses of brick are laid on top of the foundation stones approximately 6 ½" back from the inner face. The exterior @9" brick wall begins at that point. The "step" created by the two courses and the top of the stone foundation was undoubtedly intended to provide bearing surfaces for the floor joists, and these members are arranged running east-west and, except where they were later modified, are lapped over the steps at the top of the foundation walls. The south foundation is only 13" thick, presumably because greater width was not needed to accommodate a step to seat joists. The north wall is only 9-10" thick, which is consistent with the interpretation that it was never intended as a bearing wall.

Much of the floor framing and a significant portion of the floor boards appear to be original, all of which are located to the south of the north cellar wall. Six floor joists survive, with the southern-most joist set just inside the line of the south foundation, then spaced irregularly at 19 ¼", 20 ½", 23", 20", and 20". The sixth joist is positioned running roughly adjacent to the north wall. The members are pine, ranging from 3-3 ½" by 7-9 ½" in dimension, and exhibit a combination of hewing and pit sawing. This treatment is in contrast to the joists in the main house and ell, which exhibit a combination of hewn and sash sawn surfaces. Pit sawing is an ancient method of cutting wood that continued to be used in the region well into the 19th century. Mechanized sash sawing was an

innovation that became increasingly popular in Virginia in the years following the Revolution. This difference in the manner of sawing the joists suggests that the kitchen and the house were erected at different times, with the kitchen likely built at an earlier date.

A substantial percentage of the floor boards that are visible in the cellar are likely to be original. The boards are tongue and grooved, which was a higher level of quality over boards that were simply butted together, and range in width from roughly 4 ½" to 5 1/2". The boards were gauged and undercut (thinned by hand, probably with an adze) to fit over the joists. The boards are covered with a thick layer of paint, making it difficult to examine the saw marks. The marks found on several of the boards are vertical and regular in spacing, suggesting that they were mechanically cut, but at least two of the boards exhibit more irregular marks that suggest that they may have been sawn by hand. Whether sawn mechanically or by hand, undercutting the boards was often necessary to produce a flat floor surface. Given the relatively tight requirements, floor boards, siding, and paneling generally were the earliest materials that were sash sawn, and it is not unusual to find sash sawn flooring used in structures where the framing still was pit sawn.

In contrast to the conditions described above, none of the original framing and flooring could be observed in the crawl space north of the cellar. This is likely due to the changes and extensive repairs that were carried out in this portion of the structure over the years, with the most extensive dating to the 1930s restoration. The floor joists there would have been more prone to deterioration from moisture because they were relatively close to the ground surface and because of the increased wear and tear that the floor adjacent to the hearth and fireplace usually suffered. Several boards that may have served as a later sub-floor survive, supported on the south by a broken beam that likely is the remnant of a joist. Presumably other replacement joists also existed at one time to carry the new flooring. Before the 1930s a narrow tongue and grooved floor had been laid over the original flooring and over the new sub-floor within the crawl space, some of which still survives. A

reinforced concrete pad was installed over the crawl space by the Moores, and the bottom surface of the concrete includes impressions of the outlines of missing boards.

Numerous other interventions were made in this space over the years, with paths for utility lines cut through on either side of the central fireplace, and a 4" pipe for channeling water from the roof gutters was inserted through the northwest corner of the foundation. As a consequence of these intrusions, the east and west portions of the north wall between the base for the fireplace and the building's corners appear to have been extensively disturbed.

The surviving portion of the stone north foundation runs parallel with the north cellar wall, with the south face of the stones forming the base of the fireplace projecting approximately two feet from the outer face of the cellar. When the upper stones of a roughly five-foot section of the cellar wall were removed to provide access to the crawl space, a loosely compacted stratum of brown loamy soil was revealed. Intermixed with the soil are bricks and stones, remnants of floor boards, and other debris related to the restoration and later work. A substantial quantity of fragments of window glass, wine bottles and table glass, ceramics, and miscellaneous metal also were recovered from this layer, most of which likely date to the late-19th and early 20th centuries.

A section of this stratum was removed in order to expose the fireplace footing, which rests on the natural clay subsoil. Also revealed was a feature, roughly 10" wide, cut through the clay subsoil, running parallel and adjacent to the north cellar wall. This feature was comprised of large stones, similar to those used in the foundations, intermixed with sandy clay. This is almost certainly a remnant of the hole (akin to a builder's trench) that was excavated when the cellar walls were laid. The fact that the stones were not mortared and were loosely deposited is consistent with the relatively narrow thickness of the cellar wall to indicate that it was not a load bearing structure. The clay subsoil has been sculpted so

that it gently slopes downward from the fireplace footing to the top of the cellar wall builder's trench.

Bricks forming the base of the fireplace are laid on and mortared together with the footing stones, with the southeast corner of the mass readily visible. An unexpected feature of the footing consists of the remnants of what appears to be the terminus of an arch. It is formed of bricks that are incorporated into the stone work and abut the east corner of the fireplace base. What survives of the arch consists of at least three courses of brick, laid on edge and two bricks wide. The bricks are laid to rise slightly toward the south, and remnants of mortar found on the faces of the two exposed bricks indicate that it extended for at least one more course beyond the face of the fireplace. During this period arches were commonly built into fireplace footings to support a hearth and/or an oven on the floor above, and several exist and are visible in the cellar of the 1780s house and ell. But this apparent arch differs from the norm as it is located to the side of the fireplace, not in front of it to support a hearth, and it runs perpendicular to the fireplace, instead of the more standard parallel placement for an oven. It is not possible at this time to determine whether the arch extended farther to the east, possibly bonding to the east foundation, since the space between the arch and the foundation has been disturbed.

Although unusual, at least two other early houses in the Chesapeake (John Ridout house, Annapolis, Maryland, and the Howard's Neck kitchen, in Goochland County, Virginia) feature ovens that were positioned at a right angle to the fireplace (Willie Graham, personal communication), in which case a supporting arch would have followed that orientation. Presumably the arch extended far enough to butt against the face of the floor joist that ran parallel to the north wall.

Several hand-made bricks matching in size and overall character with the remaining arch bricks and the bricks visible in the fireplace base were recovered from the fill between the north cellar wall and the foundation. The bricks have remnants of what appears to be a lime-based mortar clinging to at least one face, suggesting that they were part of the arch.

The mortar found on the bricks from the arch appears identical to the mortar used in the fireplace base, and is consistent with the type of mortar that was used in the 18th century.

Conclusions:

Physical investigations

- All of the building materials found in the cellar that appear to be original survivals conform to an 18th or early 19th century date of construction.
- The east cellar window is a later addition, and the south doorway appears to have been enlarged, possibly when the kitchen was joined to the 1780s ell.
- While there are no original joists and floorboards surviving within the crawl space between the cellar and the north foundation, the remaining stonework and the bricks in the fireplace base and in the associated arch are consistent with having been erected at the same time as the cellar and the rest of the structure.
- The thinner dimension of the north cellar wall, in comparison with the foundations forming the other three walls, supports the interpretation that the north wall was never load bearing. This also supports the interpretation that the gap between the cellar and the north foundation was an original feature of the structure. Compared to erecting footings in the cellar to support the heavy masonry stack, laying the foundation for the fireplace directly on the underlying subsoil would have been a much simpler and labor-saving solution.
- While the portion of the north foundation that supports the fireplace and the bricks forming its base appear to be intact, the

foundation stones on either side have been heavily disturbed by later construction.

- Above ground, the structure has undergone numerous alterations over time.

Impact on historical integrity

If the *Secretary of the Interior's Standards for Rehabilitation* were to be applied to the proposed expansion of the Montague kitchen, the following items would seem to apply directly to the project:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The purpose of the proposed addition is to enable the ground floor of the kitchen structure to continue to be used in that capacity, which is the purpose that this space was constructed to accommodate more than 200 years ago. Use of the existing kitchen will eliminate the need to accommodate that use in other, more intact, portions of the house, and will enable the kitchen and dining rooms to retain the existing spatial relationship, which has existed since the ell was constructed in the 1780s.

2. The historic character of a property will be retained and preserved.

The location, visibility, and scope of proposed changes to the ground floor will not materially alter the historic character or setting of the property.

8. Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

It is recommended that the portions of the north wall located above the ground floor, and any associated features such as the underlying foundation, fireplace base, and arch, should be preserved. Additional investigations are recommended to fully record these remains and any others that are exposed as part of the construction. Measures are in place to safeguard any archaeological resources outside the building in the project area that may be impacted by the construction.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

As the north kitchen wall is almost certainly a substantial remnant of the original exterior north wall and fireplace for the 18th-century kitchen, its demolition will destroy historic fabric. Its removal will have little impact on the historic character of the property, however, and will not impair the essential form and integrity of the house.

The revised plans clearly delineate the new construction from the old, and are consistent and compatible with the materials and the scale of the rest of the building. Retention of the kitchen function in this space will preserve historic spatial relationships between the other first floor rooms.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Demolition of the wall clearly is not reversible, but efforts to mitigate that loss by documenting the surviving fabric already have been undertaken, and further measures should be incorporated into the construction plan. The walls above the first floor, the associated joists and other framing members, and the foundations and fireplace below the floor will be preserved, and will provide reference to the original form and location of the current first floor wall.

The revised plan for the kitchen renovation and expansion appears to be quite sympathetic to these standards. The plan, including its demolition components, is also compatible with the City of Alexandria's standards for approval of demolition in the historic district. The Alexandria BAR already has concurred that a benefit from the changes made to the kitchen will be to allow it to continue to be used in the function it has served for more than 200 years. The fact that the wall has been incorporated into the expanded ell and is now an interior feature means that its removal will have virtually no impact on the historic character of the property.

Recommendations:

- The construction plan should be formulated to accommodate recording the details of the materials and workmanship of the north wall before it is demolished. This would entail removing the plaster that seals the wall so that the masonry and any other features -- such as the internal flues, hardware, and any other elements related to the fireplace -- would be visible for inspection. It is likely that during construction the wall foundation and the associated arch will be made more accessible, and accommodation should be made to allow those elements to be closely examined and fully documented.
- The portion of the wall that is to be demolished should be as limited as possible, and care should be taken to preserve

associated historic materials and features. These include the second floor joists, the surviving joists and floor boards revealed in the cellar, and all of the other original materials identified in this report. Particular care should be taken to preserve the surviving portion of the north foundation, the base of the fireplace, and the associated arch. The evidence collected together with these preserved materials will be crucial to understanding the original character of the kitchen, and in clarifying the construction history of the house.



Figure 1. The kitchen cellar, showing the west foundation and the west portion of the north wall. Note the hole in the wall that has been created to accommodate various utility lines, and the relatively smooth character of the wall surfaces.



Figure 2. Detail of the doorway in the south foundation. Note the relatively irregular character of the stonework and the brick infill on either side of the doorway.



Figure 3. The east portion of the north wall after the top courses of stone were removed to allow access into the crawl space. Note the drain pipe that enters the building at the northeast corner of the north foundation and passes through the cellar.



Figure 4. Detail showing the profile of the loose layer of soil and debris overlying the clay subsoil and the builder's trench for the cellar wall.



Figure 5. Detail of the bottom courses of the stone base for the fireplace and the terminus of the brick arch. The base is laid on the natural clay subsoil, which slopes down to the level of the cellar builder's trench.



Figure 6. Detail of the two-brick-wide arch, bonded into the stone fireplace base. The area to the right of the arch has been disturbed by later construction.



Figure 7. Detail showing the relationship of the natural clay subsoil, the builder's trench comprised of mixed sandy clay and stone, and the top of the north cellar wall after the top courses were removed. The iron drain pipe and a defunct lead water line are visible in the background.



COMMONWEALTH of VIRGINIA

Department of Historic Resources

Douglas W. Domenech
Secretary of Natural Resources

2801 Kensington Avenue, Richmond, Virginia 23221

Kathleen S. Kilpatrick
Director

Tel: (804) 367-2323
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TDD: (804) 367-2386
www.dhr.virginia.gov

September 20, 2013

Latane and Patricia Montague
207 Prince Street
Alexandria, Virginia 22314

RE: Proposed kitchen addition
George William Fairfax House, 207 Prince Street, City of Alexandria
DHR File No. 100-0022_ep

Dear Mr. and Mrs. Montague:

Thank you for providing the Department of Historic Resources (DHR) easement staff the opportunity to conduct a site visit at your property, the George William Fairfax House in Alexandria. The visit on September 17, 2013 was instrumental in clarifying the proposal for a kitchen addition at the rear of the property. Easement staff further benefitted from the independent physical investigation and subsequent documentation by Dennis J. Pogue, PhD, RPA (report dated September 15, 2013), which confirms that numerous repairs and alternations have occurred in this portion of the dwelling, particularly during the 1930s.

As you are aware, DHR and the Historic Alexandria Foundation, both represented at the site visit, are together responsible for administering the historic preservation easement on the property. The easement permits alterations to the dwelling in order to allow for the continued viability of the property, provided that the historic character of the property is maintained.

As proposed, a small portion of the north and east walls would be demolished at the rear of the ground floor level to allow for the expansion of the existing kitchen. A bulkhead soffit would be retained within the kitchen to indicate the historic width and location of the walls. Further, the dimensions of the existing kitchen would be delineated through the use of wood flooring, with a differentiated surface in the addition.

The cellar underneath the existing kitchen will be preserved, as will the north wall on the second floor level. At the exterior, the proposed addition would extend approximately two feet beyond the existing two-story porch and feature three sets of paired steel frame bi-fold glass doors, recessed from the outside face of the columns.

Administrative Services
10 Courthouse Ave.
Petersburg, VA 23803
Tel: (804) 862-6416
Fax: (804) 862-6196

Capital Region Office
2801 Kensington Office
Richmond, VA 23221
Tel: (804) 367-2323
Fax: (804) 367-2391

Tidewater Region Office
14415 Old Courthouse Way 2nd
Floor
Newport News, VA 23608
Tel: (757) 886-2807
Fax: (757) 341-2808

Western Region Office
962 Kime Lane
Salem, VA 24153
Tel: (540) 387-5428
Fax: (540) 387-5446

Northern Region Office
5357 Main Street
PO Box 519
Stephens City, VA 22655
Tel: (540) 868-7031
Fax: (540) 868-7033

After a thorough review of the proposal to expand the existing kitchen, and a site visit to understand and evaluate the proposal within the context of the historic fabric and character of the house and its surrounding property, DHR has determined that the proposed addition, reflected in the revised architectural drawings by Dimond Adams Design Architecture dated 06/19/13, is consistent with the provisions of the easement and with the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The proposed addition is located at the rear of the property, and is both differentiated from and subordinate to the historic house, as required by the *Standards*. While the proposal will affect historic fabric, the areas that would be most impacted are secondary spaces at the rear of the property, which have been previously altered and their historic integrity compromised. Therefore, DHR has determined that the proposed addition is compatible with the historic character of the George William Fairfax House property. This approval is valid for one year from the date of this letter.

We look forward to receiving the final construction documents to ensure that all aspects remain consistent with the provisions of the easement and the *Standards*. Please let me know if you have any questions or concerns.

Sincerely,



Megan Melinat
Easement Program Architect
Megan.melinat@dhr.virginia.gov

C: Morgan Delaney, Historic Alexandria Foundation



October 8, 2013

Latane and Patricia Montague
207 Prince Street
Alexandria, Virginia 22314

RE: Proposed kitchen addition
George William Fairfax House, 207 Prince Street, City of Alexandria

Dear Mr. and Mrs. Montague:

The Easement Committee of the Historic Alexandria Foundation would like to thank you for providing us with an on site visit to your property on September 19, 2013, which included the opportunity to meet and discuss with Dennis J. Pogue, PhD, RPA, his investigation of the kitchen building. His findings and recommendations are detailed in his written report, dated September 15, 2013, copies of which were supplied to each member of the Easement Committee. His report confirms that numerous repairs and alterations have been made to this portion of the building over the decades, but most radically during the renovations that took place during the 1930s.

The easement on your property is administered jointly by the Commonwealth of Virginia, Department of Historic Resources (VDHR) and the Historic Alexandria Foundation (HAF). The easement document permits alterations and additions to the dwelling in order to allow for the continued viability of the property as a family residence, provided that the historic character of the property would not be fundamentally altered by the addition, and that the addition would be in keeping with the historic character of the house and its setting.

As proposed, a small portion of the north and east walls would be demolished at the rear of the ground floor level to allow for the expansion of the existing kitchen. A bulkhead soffit would be retained within the kitchen to indicate the historic width and location of the walls. At the exterior, the proposed addition would extend approximately two feet beyond the existing two-story porch. The cellar underneath the existing kitchen will be preserved, as will the north wall on the second floor level.

After a thorough review and discussion of this proposal, the Board of Trustees of HAF concurs with the determination of VDHR that the proposed addition, reflected in the revised architectural drawings by Dimond Adams Design Architecture dated 06/19/13, is consistent with the provisions of the easement. While the proposal will affect historic fabric, the areas that would be most impacted are secondary spaces at the rear of the property, which have been previously altered, with resultant compromise of their historic integrity. HAF agrees with VDHR that the proposed addition is compatible with the historic character of the property.

HAF will coordinate review of the final construction documents with VDHR. Please contact me should you have any questions or concerns,

Sincerely yours,

A handwritten signature in dark ink, appearing to read "Morgan D. Delaney". The signature is fluid and cursive, with a large, stylized initial 'M'.

Morgan D. Delaney
President, for the Board of Trustees

City of Alexandria, Virginia

MEMORANDUM

DATE: JULY 10, 2013

TO: CHAIRMAN AND MEMBERS OF THE
OHAD BOARD OF ARCHITECTURAL REVIEW

FROM: AL COX, FAIA, HISTORIC PRESERVATION MANAGER

SUBJECT: 207 PRINCE STREET, BAR CASE #2013-00066 & 00067

At the June 19, 2013 hearing, the Board deferred the application for a Permit to Demolish and Certificate of Appropriateness for 207 Prince Street, finding the information on the walls proposed for demolition inconclusive. The Board asked staff to conduct additional research to determine the age and historicity of the structural walls proposed for demolition.

Staff met on site with the applicant, their architect, and representatives from the Historic Alexandria Foundation (HAF) to further investigate the area proposed for demolition. Staff confirmed the previous observation that the floor joists and the bottom of the flooring of the kitchen were pit sawn, whereas, the remainder of the first story floor joists are up-and-down machine-sawn. Based on the construction chronology of other early Alexandria buildings, this indicates that the kitchen was likely constructed prior to the remainder of the house and before mill sawn lumber became widely available in the late 18th century. Staff notes that pit sawn lumber is found in Alexandria through the early 19th century but is typically used throughout a single period of construction and is not mixed with machine sawn lumber unless it is being reused from elsewhere. It will be instructive to note the marks on the kitchen ceiling joists when they are exposed during this project, as they are expected to reflect the same pit sawn technology for this portion of the house. Nondestructive observation of stone joints in the basement and the brick walls above also appear to indicate that the kitchen was constructed independently and that the ell of the main house abutted it at a later date.

The architect represented at the previous hearing that the north wall and hearth of the brick kitchen stand approximately six feet north of the north stone wall of the basement and that this was evidence that the present masonry kitchen was not original and could, therefore, be removed. The other three stone basement walls appear to align below the brick walls of the kitchen above. The wood kitchen flooring and joists are missing north of the stone basement wall and poured concrete floor from a 20th century alteration is visible just above the shallow dirt crawl space. It could not be determined without removal of portions of the stone wall whether the pit sawn flooring extended to the north but there was evidence of prior termite damage nearby and there likely would have been moisture damage over time with the wood flooring this close to earth in that location and that it was topped or replaced with concrete.

While the stone basement is smaller than the plan of the kitchen above, this does not necessarily mean that the north wall of the kitchen is not early or historically significant. The stone

basement could have originally been constructed for an even earlier wood structure or it could have simply been smaller than the present kitchen form. Many basements in Old Town are smaller than the structure above. The north wall of the kitchen generally shows six course common bond brick, but it is not refined construction and there are anomalies that create some reasonable doubt as to the provenance of this portion of the house. At least one window on the east wall reflects 18th century construction, though the remainder of the east wall has been altered many times for various additions, as reflected on the Sanborn Insurance maps.

Fortunately, Staff was able to locate Mutual Assurance Society forms for the property, dating from 1796, 1815, and 1846. These forms were written to provide assessments for fire insurance policies and contain a sketch of the building footprints with a written building description. According to National Register Nomination for the property, William Hodgson was the owner of 207 Prince Street from 1788 until 1816, at which time the property was sold to John Gardner Ladd. The Mutual Assurance Society record for William Hodgson dated 1796 and filed in 1802 depicts a three-part building on the north side of Prince Street, between Fairfax and Water streets, with the same dimensions as the existing dwelling at 207 Prince Street (see attached Fig. 1 & 2). The same property is recorded for re-assessment on November 10, 1815 for John Gardner Ladd. In all of these sketches, the kitchen is shown to be 16' x 16', two stories brick, which describes exactly the dimensions of the present structure prior to the third floor addition by Ms. Montague Moore in the mid-20th century.

Therefore, while the stone basement may, or may not, have been constructed for an earlier structure, the combination of historical and physical evidence strongly suggest that the brick exterior walls of first two stories of the present kitchen date prior to 1796 and that this portion of the building has been used as a kitchen since that time.

STAFF RECOMMENDATION, JULY 10, 2013

Staff still strongly supports the construction and enlargement of a kitchen and family room so that this dwelling may continue to serve a modern family's needs. However, based on discovery of the new information, described above, Staff now recommends deferral of the Permit to Demolish and Certificate of Appropriateness for restudy of an addition which preserves more of the 18th century structure.

To be absolutely clear, it is not Staff's intention to design the applicant's kitchen and the alternative shown in the previous staff report was simply to indicate that there are ways to provide a reasonably sized kitchen without destroying the existing hearth area. Given the number of previous additions and alterations to the yard east of the kitchen, Staff has no objections to further expansion in this generous side yard or to the applicant's design part of a light and airy garden conservatory for this addition.

Staff, therefore, recommends re-study of an addition that preserves the majority the hearth and the north wall of the kitchen and that retains enough of the east wall to reflect the original masonry form of the kitchen. Staff also recommends all reasonable efforts be made to preserve the existing first and second story floor joists of the kitchen, in-situ, to help explain the evolution of this historically significant structure in the future.

Form of the Declarations for Assurance.

I the undersigned *William Hodgson* of *Alexandria* in the County of *Fairfax*
do hereby declare and affirm that the above mentioned property is not, nor shall be insured elsewhere, without giving
notice thereof, according to the policy that may then be in force, upon the filing of this declaration, and provided the
value does not exceed four-fifths of the verified value, and that I will abide by, observe, and adhere to the Constitution,
By-laws and Regulations as are already established, or may hereafter be established by a majority of the insured, present in
person, or by representatives, at a general meeting, to be called upon for the said Assurance Society. Witness my hand
and seal at *Alexandria* the *Nineteenth* day of *March* 1796.

My five buildings situate between the house of *Capt. John Harpur* and that of *William J. Hall*
in the County of *Fairfax* their dimensions, situation, and contiguity to other build-
ings or wharves, what the walls are built of, and what the buildings are covered with are specified in the Inventory annexed
description of the said buildings on the plat, signed by me and the appraisers, and each value by them as appears by their cer-
tificate hereunto, to wit:

The dwelling House marked A at 4000	Dollars, say	four thousand	Dollars.
The Counting House B at 1000	do	one thousand	do
The Kitchen C at 200	do	eight hundred	do
The Ware House D at 1400	do	fourteen hundred	do
The Shed E at 300	do	three hundred	do
The F at	do		do
The G at	do		do

by *Seven thousand seven hundred* Dollars in all.

I do hereby declare and affirm that the above mentioned property is not, nor shall be insured elsewhere, without giving
notice thereof, according to the policy that may then be in force, upon the filing of this declaration, and provided the
value does not exceed four-fifths of the verified value, and that I will abide by, observe, and adhere to the Constitution,
By-laws and Regulations as are already established, or may hereafter be established by a majority of the insured, present in
person, or by representatives, at a general meeting, to be called upon for the said Assurance Society. Witness my hand
and seal at *Alexandria* the *Nineteenth* day of *March* 1796.

For Wm Hodgson
Geo. Cunningham Seal

WE the undersigned, being each of us house-owners, declare and affirm that we have examined the above mentioned
property of *William Hodgson*
Seven thousand seven hundred
worth *Seven thousand seven hundred*
the same as above specified to the best of our knowledge and belief,

At *Alexandria* Sc.

The foregoing valuation sworn to in due form
before me, a Magistrate for the said Town
of *Alexandria* Given under my hand at this
Nineteenth day of *March* in the year 1796

Myrango Dukes Residing in *Alexandria*

Robert J. Sanphus

Joseph Thompson

Prince Street feet wide

On the East side of Prince Street
wooden Shed
56 feet by 15 feet

distance 12 feet

Brick A dwelling
House 3 stories high
24 feet front 36 feet
slap, covered with
wood the first story
is dry goods store

Brick B Counting
House 2 stories
high 29 feet by 14 feet
covered with
wood

distance 9 feet

Brick C Kitchen
2 stories high 16 feet
front by 16 feet
covered with wood

distance 7 feet

wooden ware House
47 feet by 30 feet 7
stories high

Wooden Shed

I do hereby certify that the above is a true copy from the
original filed in the General Office.

W. F. Ast
Principal Agent.

As President of the said Society I do hereby
affirm the names and official seal, and I do cer-
tify that *W. West* is the Cashier
General to the said Society.

Clerk of Richmond Sc.

This Day *W. F. Ast* made oath before me, a Magistrate
for the said city, to the truth of the above certificate. Given
under my hand the *25* day of *Sept* 1802

Henry S. Moore Alderman

W. F. Ast

On the West side of Prince Street
John Harpur's Brick
building
wooden
building

Figure 1: Declarations for Assurance from the Mutual Assurance Society Against Fire on Buildings of the State of Virginia to William Hodgson, 19 March 1796 (filed 25 September 1802) Alexandria, Virginia. Photocopy held by City of Alexandria Public Library Special Collections V.1, page 104-A.

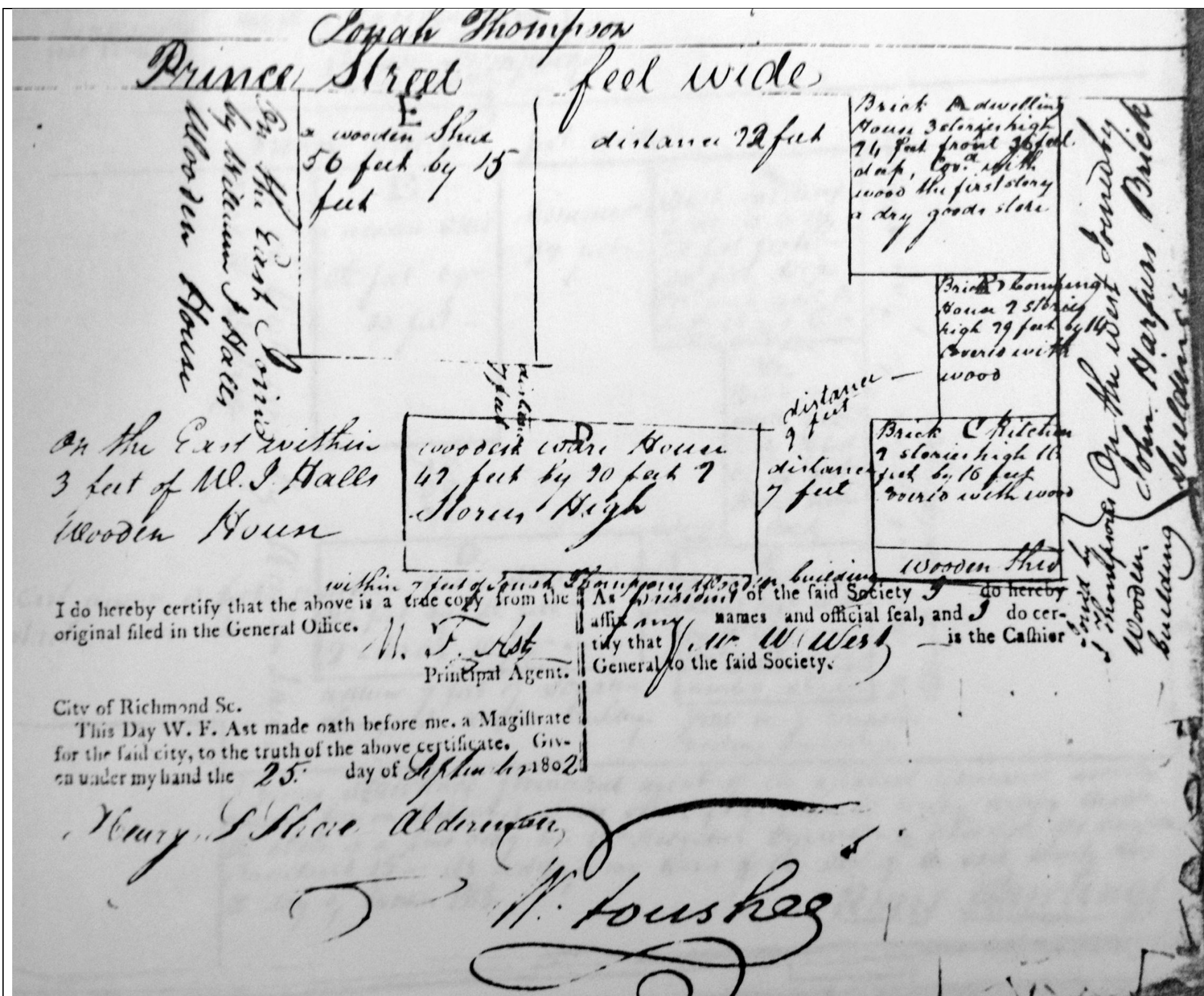


Figure 2: Enlarged image of Declarations for Assurance from the Mutual Assurance Society Against Fire on Buildings of the State of Virginia to William Hodgson, 19 March 1796 (filed 25 September 1802) Alexandria, Virginia.

Transcription

A Brick dwelling House 3 stories high 26 feet front 36 feet deep, Cov'd with wood the first story a dry goods store.

B Brick Compting House 2 stories high 29 feet by 16 cov'd with wood

C Brick kitchen 2 stories high 16 feet by 16 feet cov'd with wood

Wooden Shed

D wooden ware House 67 feet by 20 feet 2 Stories High

E a wooden Shed 56 feet by 15 feet

BAR Meeting
June 19, 2013

ISSUE: Permit to Demolish &
Certificate of Appropriateness

APPLICANT: Robert L. Montague IV by Stephanie R. Dimond

LOCATION: 207 Prince Street

ZONE: RM/Townhouse zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish and the Certificate of Appropriateness with the following conditions:

1. Preserve the first and second story floor joists in place;
2. ~~File a deed restriction limiting the occupancy of the “little house” with frontage on Lee Street to family members only, prior to the issuance of a building permit (deleted by staff, 7/10/13); and~~
3. The following archaeology conditions shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.
 - a. While it would appear that this project will have little or no ground disturbance, if the project is expected to cause any ground disturbance, please contact Alexandria Archaeology (703-746-4399) two weeks before the starting date of any ground disturbance so that an inspection or monitoring schedule for city archaeologists can be arranged.
 - b. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - c. The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays.

*EXPIRATION OF APPROVALS: In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.

***** APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.



BAR2013-00066 & BAR2013-00067



***Note:** The two reports for 207 Prince Street, BAR #2013-0066 (Permit to Demolish/Capsulate) and BAR #2012-0067 (Certificate of Appropriateness) have been combined for clarity and brevity. This item requires a roll call vote.

I. ISSUE

The applicant requests approval of a Permit to Demolish and a Certificate of Appropriateness for alterations to the east elevation of 207 Prince Street in order to enlarge the first floor kitchen and extend a two-story porch. The proposed alterations would be visible from Prince Street and South Lee Street. The Virginia Historic Landmarks Commission and the Historic Alexandria Foundation (HAF) have held a joint open space easement on the property since 1979. While the City does not enforce private easement agreements, the applicant is asked to provide evidence that the easement holder approves of the proposed work before a BAR application is accepted. In this case, the HAF approved the originally proposed alterations and the Virginia Historic Landmarks Commission approved the alterations, in concept, “provided that physical evidence of the original exterior wall remains.” The Virginia Historic Landmarks Commission requires the final construction drawings and any revisions for final review and approval.

II. HISTORY

207 Prince Street is located at the east end of ~~Captain's~~ Gentry Row and was individually listed on the National Register of Historic Places in 1991. Virginia McAlester, author of *A Field Guide to American Houses*, once called ~~Captain's~~ Gentry Row the most beautiful grouping of Georgian townhomes in the United States.

207 Prince Street is a three-bay, three and one-half story painted brick dwelling in the Georgian style with a rear ell on the north side. Attached to the two-and-half story rear ell is an addition constructed in 1934 and referred to as the “little house”. The two properties were consolidated in 1974 and the dwellings are occupied by an extended family.

The lot on which the house stands was first purchased and owned by Colonel William Fairfax from 1749 until 1771. Local regulations required that a dwelling be built within two years of ownership and it is probable that a dwelling was constructed during this time. This dwelling however, was likely dismantled, encapsulated, or otherwise incorporated into the rear ell of the house. The National Register Nomination, written by Calder C. Loth, suggests a construction date of **circa 1780** based on the architectural style and detailing. Historical documentation is limited and mostly inconclusive.

Examination by Staff of the first-story floor joists reveals that there are at least two phases of construction for the house. The first-story floor joists of the three-story main block and southern portion of the rear ell were machine sawn, as evidenced by the vertical saw marks. However, the joists of the northern portion of the rear ell (the current kitchen) were pit sawn, indicating a different and, perhaps, slightly earlier date of construction.

The rear ell has had many alterations over time, particularly on the east elevation, as evidenced by historic Sanborn Fire Insurance Maps. In fact, between 1891 and 1896, a one story, metal roof addition was constructed on the east side of the ell. This addition was later removed and replaced with a two-story projecting bay and a one story covered porch.

In the 20th century, owner and resident, Gay Montague Moore, undertook restoration of the house - the results of which are mostly intact today. It is known that Moore employed at least one well known, Williamsburg-trained restoration architect, Alexandria native son Milton L.

Grigg, to design alterations to the property. Her efforts to restore the property in the 1930's can be regarded as emblematic of the American preservation movement during this period and undoubtedly contributed to the creation of the local Old and Historic Alexandria District and later the creation of a National Historic Landmark District.

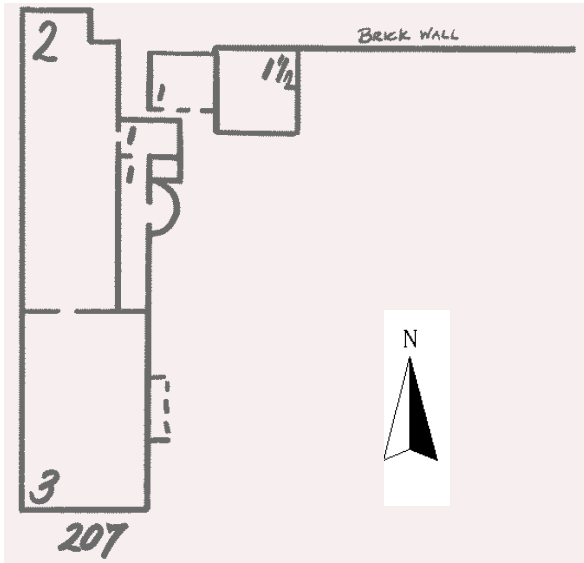


Figure 1: Plan of 207 Prince Street, based on an **1896** Sanborn Fire Insurance Map. Note the enclosed, one-story addition on the east side.

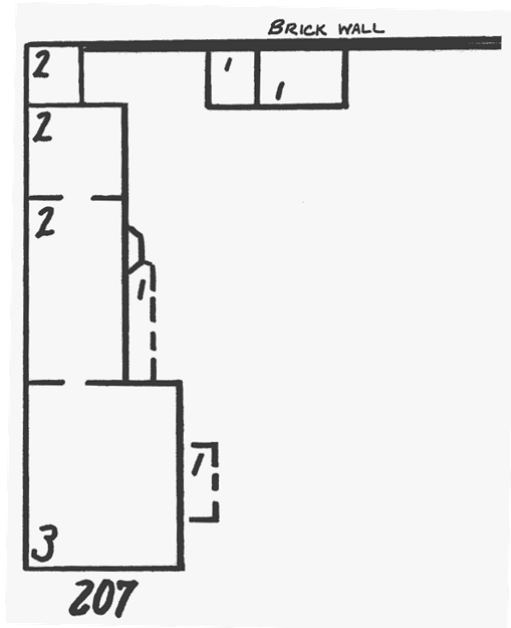


Figure 2: Plan of 207 Prince Street, based on a **1902** Sanborn Fire Insurance Map. Note the east additions from the 1896 Map have been removed and open porches have been constructed.



Figure 3: 207 Prince Street, **circa 1913** showing damage from a severe windstorm. Note the additions on the east elevation. Image taken from *A Seaport Saga: Portrait of Old Alexandria, Virginia* by William Francis Smith and T. Michael Miller



Figure 4: East elevation of the rear ell, **circa 1930-39**, showing alterations likely made by Gay Montague Moore. Image source: Library of Congress Prints and Photographs Division. <http://www.loc.gov/pictures/item/csas200906956/>.

Previous BAR approvals:

8/12/1954: alterations as shown on the drawings by Mr. Milton Grigg, approved as submitted.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, the criteria for demolition and capsulation are generally not met and the Permit to Demolish/Capsulate should be granted. While staff would prefer that no alterations be made to the masonry walls of the first floor of the kitchen portion of the ell, Staff has no strong objection to the demolition of a portion of the east wall, as this wall has clearly been altered numerous times over the centuries. However, the applicant's request to demolish a significant portion of the seemingly intact north wall and the fireplace hearth, located in what may be the oldest portion of the structure, must be carefully considered by the BAR. Physical evidence of construction typology in the basement dates this portion of the house to the late 18th century. Without further investigation, it is unclear how much original fabric of the 18th century exists beyond the first floor of this portion of the house. For these reasons, Staff recommends approval of the Permit to Demolish with the condition that the first and second story floor joists are preserved in place, so that the evolution and chronology of construction can be understood through the physical evidence at a later date; and that the original shape and location of the demolished walls are visually interpreted through ceiling and floor design in the expanded kitchen.



Figure 5: Portion of the east elevation at the first floor that is proposed for demolition and capsulation for the kitchen addition



Figure 6: Existing east elevation, as presented by applicant

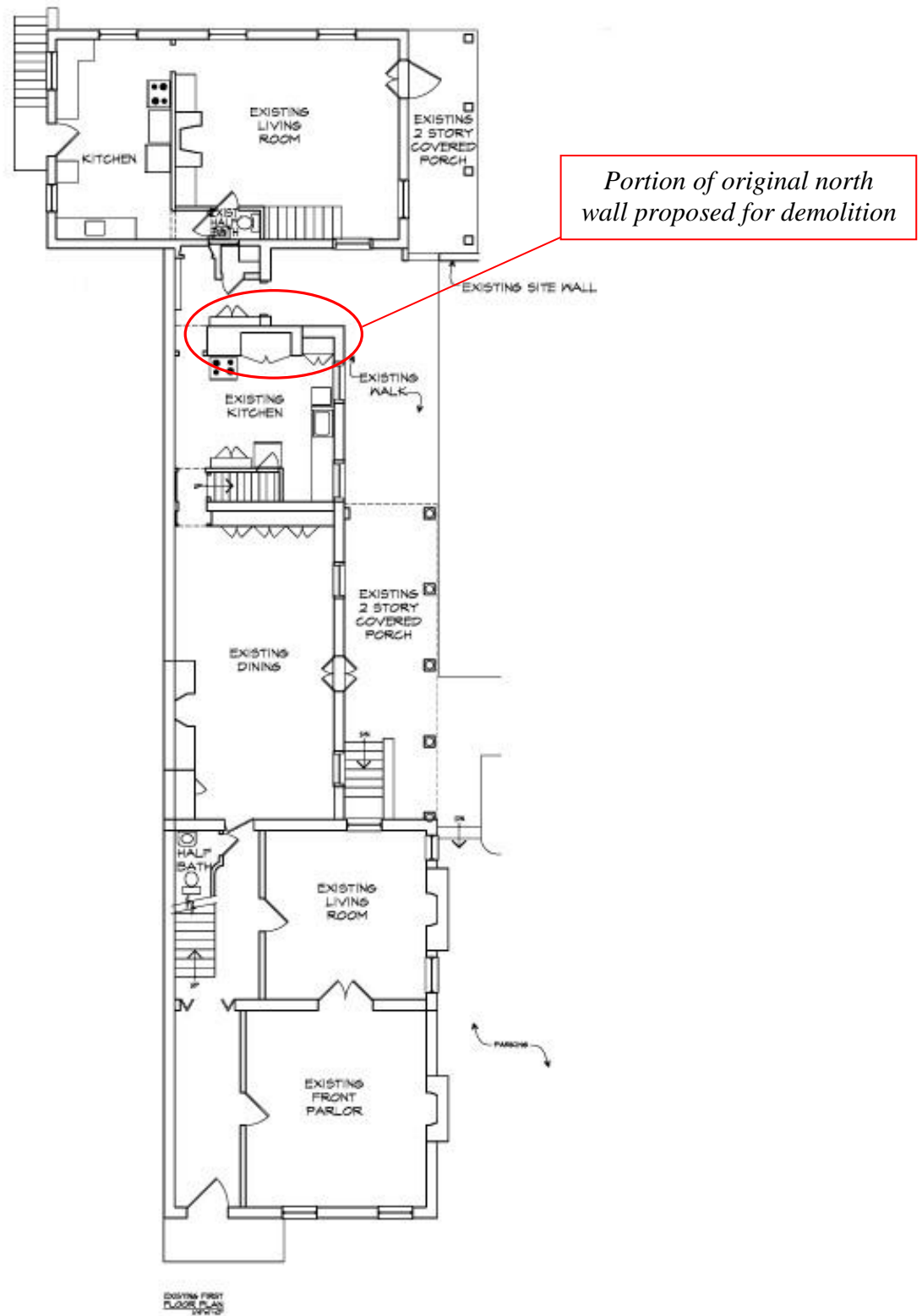


Figure 7: Existing first floor

Alterations

The proposed alterations comply with zoning.; ~~however, the applicant must file a deed restriction limiting the occupancy of the “little house” with frontage on Lee Street to family members only, prior to the issuance of a building permit. (Staff has now removed this condition, 7/10/13)~~

The applicant first submitted drawings to Staff in March 2013 and, since that time, has worked with Staff to reduce the height of the addition, refine architectural details, and more clearly delineate the addition as a contemporary and recent but still compatible structure. The current application is a revised design that responds to initial comments from BAR Staff. The images below show the evolution of the design, including one possible alternative drawn and presented by BAR Staff. Staff finds the current submission a great improvement over the initial submission in terms of massing and differentiation from the historic ell. While Staff prefers that the historic first floor masonry wall that is proposed for demolition remain, once removed, Staff has no objection to the proposed alterations.



Figure 8: Initial proposal for east elevation, as submitted by applicant in March 2013. Note that the proposed replication and northern extension of the mid-20th century, two story open porch obscures the original kitchen ell of the house. In this scheme, the modern porch becomes the dominant design feature. The north end of the porch also ends awkwardly in the middle of the hyphen windows.

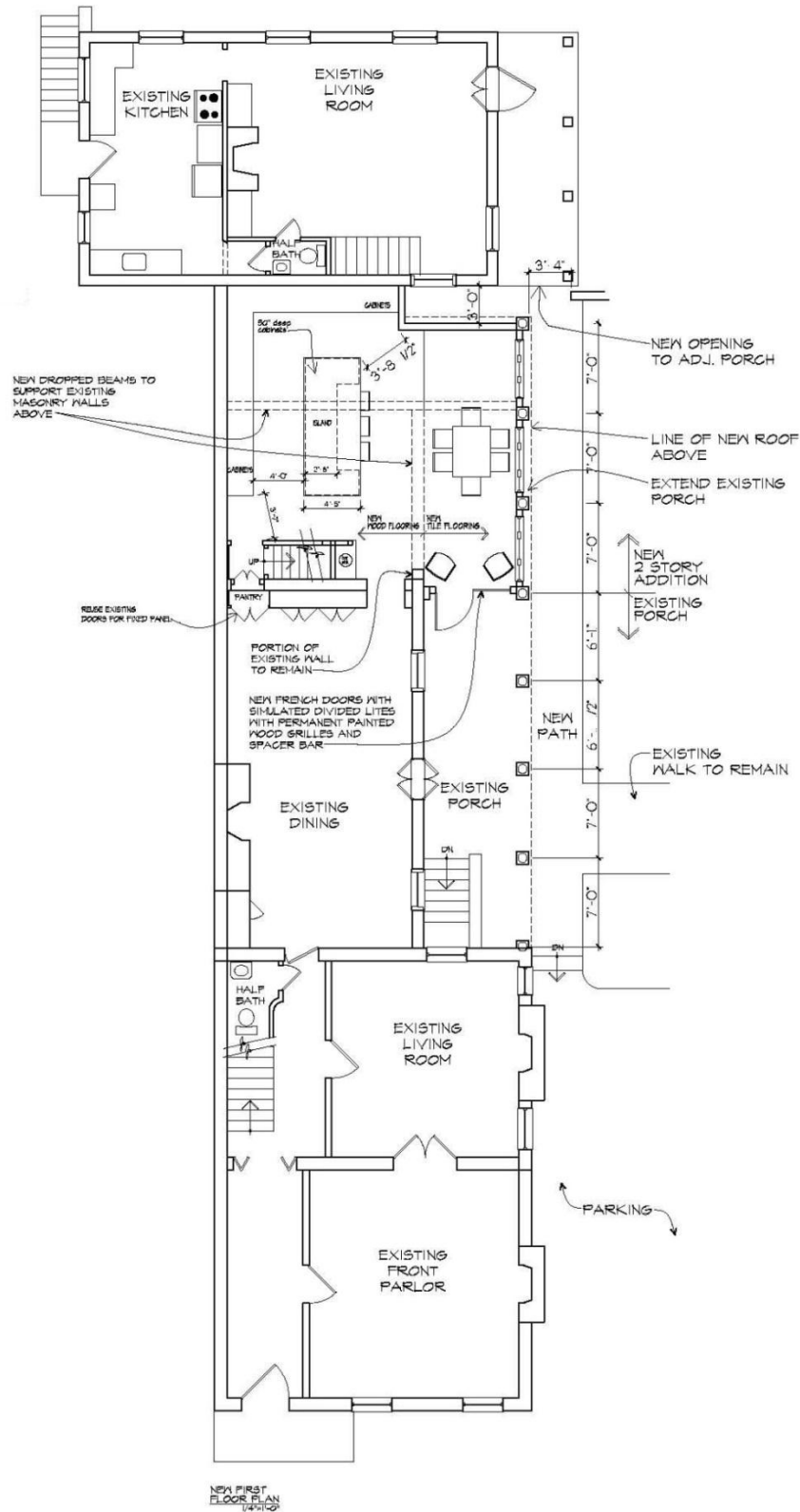


Figure 9: Initial proposal showing first floor plan, as submitted by applicant. Both the north and east masonry walls of the existing kitchen are removed entirely at the first floor.

Staff expressed concern with the initial design, as the proposed addition significantly diminished legibility of the northern portion of the ell, where the existing kitchen is located, as a discreet building feature. The proposed second-story porch matched exactly the existing porch, now historic in its own right, and then obscured the building masses that comprise the historic ell. This made it difficult to understand the growth and development of the original dwelling and is contrary to the Secretary of the Interior's Standards for Rehabilitation, particularly #9 and #10 which state that:

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Therefore, Staff recommended to the applicant an addition much smaller in height and floor area that does not try to match the original building or the 1930's Colonial Revival alterations, but stands on its own. A delicate single story kitchen projecting slightly beyond the existing porch, much like a Colonial Revival conservatory, would read as a garden feature rather than part of the house and take up very little useable open space in the garden. Like the plan submitted by the applicant, a one-story addition would still provide generous kitchen work space, substantial pantry storage and circulation for entertaining and daily use by the family. The masonry opening to the garden room could be a large segmental masonry arch with a wood vaulted ceiling in the garden room/breakfast area to allow light back into the kitchen. A similar design was recently approved by the BAR at 504 Prince Street. The alternative designs suggested by Staff are illustrated in *figure 10* and *figure 11*.



Figure 10: Alternate design suggested by BAR Staff

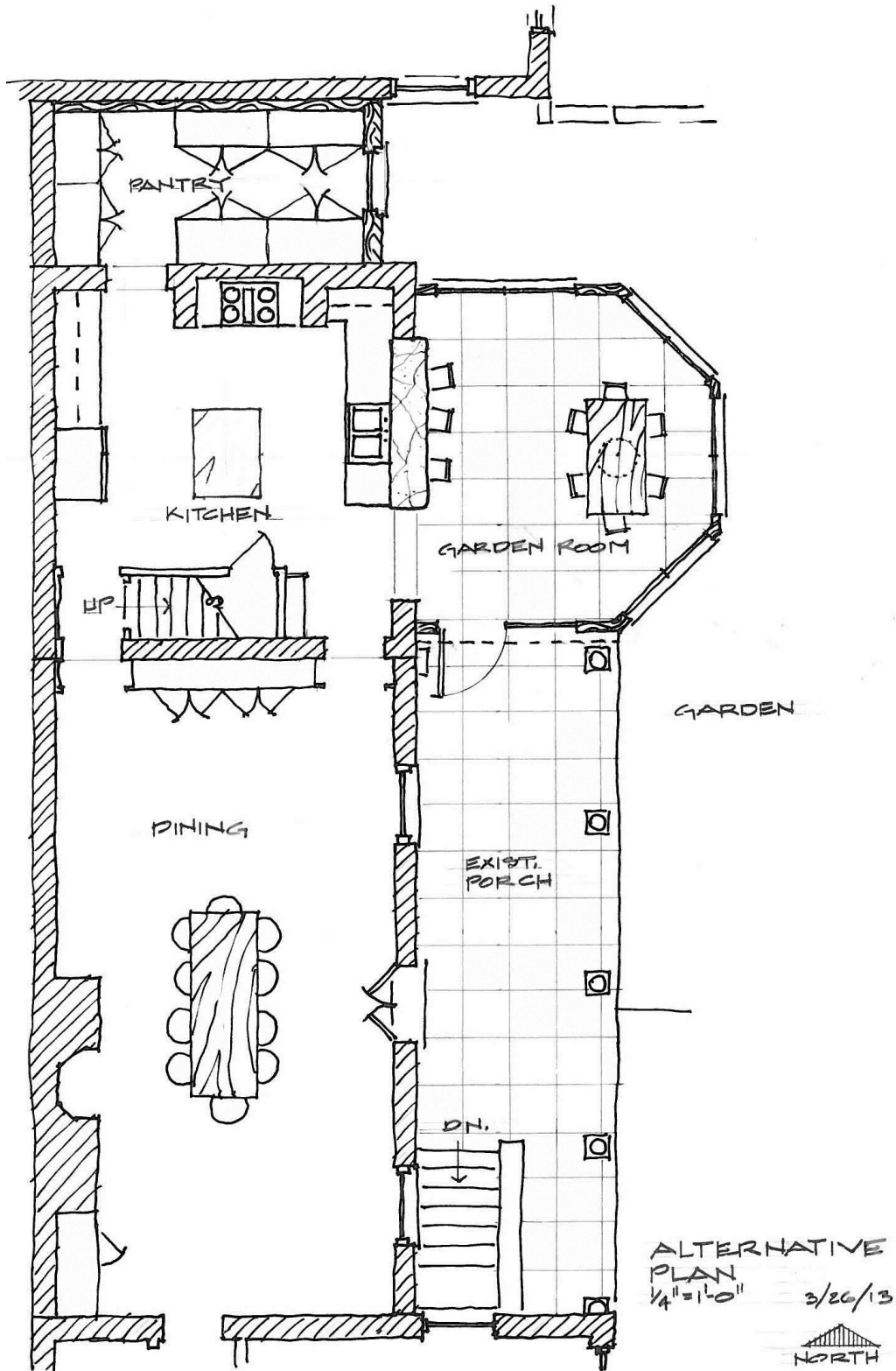


Figure 11: First floor alternate design presented by BAR Staff that preserves the historic masonry walls in what is, perhaps, the oldest part of the house



Figure 12: Revised proposal by applicant and current application submission

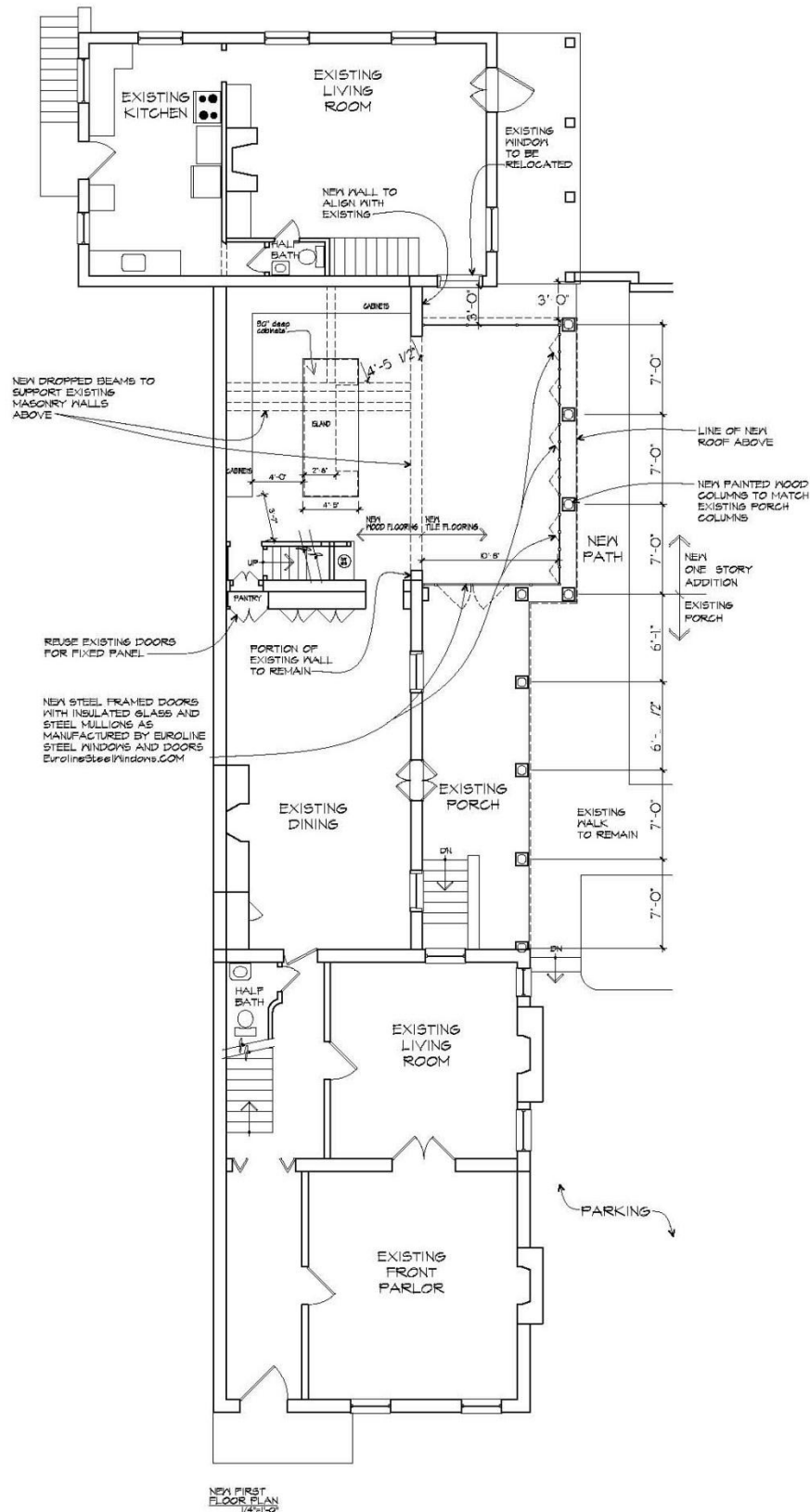


Figure 13: Revised proposal by applicant and current application submission

Summary

BAR staff thanks the owners for graciously allowing us to explore their basement to determine the dates of the construction materials in order to prepare this report. Having seen the existing small 1950s era kitchen, Staff does not question the need for a more modern and functional working space. How much floor area is necessary to satisfy that function is a personal and subjective decision that is only before the BAR because of the requirement to approve capsulation and demolition of a small portion of an almost iconic Alexandria townhome. The BAR's purview is, of course, limited to the criteria for demolition and capsulation and then for a Certificate of Appropriateness, as outlined in zoning ordinance Sec. 10-105.

Although Staff would prefer that a greater portion of the north and east masonry walls at the first floor be preserved and incorporated into the new plan, Staff acknowledges that these masonry walls have been altered many times in the past and has no objection to the exterior design of the proposed kitchen addition. As historic maps and photographs show, there have been several alterations to the east elevation over the years. The visual mass of the proposed addition has been significantly scaled back since the initial application and its impact on the existing east elevation minimized by the elimination of the second story covered porch.

The proposed enclosed porch design parti is often used on historic buildings to avoid competing with the primary building mass. The size and spacing of the new columns recall the existing porch without replicating the segmental arch detail of that Colonial Revival era design. The modern steel and glass doors on the proposed addition float behind the columns and clearly distinguish this infill as a modern addition. The applicant has alluded to floor material changes and ceiling design that will visually interpret the location of the original masonry walls and it is Staff's recommendation that this be made a condition of the Certificate of Appropriateness. Furthermore, Staff recommends that an approval for a Permit to Demolish include the condition that the historic floor joists of the first and second story remain in place. These alterations, if approved, will preserve the historic integrity and understanding of the evolution of this important house while allowing its inhabitants a contemporary kitchen and living space.

STAFF:

Mary Catherine Collins, Urban Planner, Historic Preservation Section, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S – suggestion F- finding

Archaeology

- F-1 The property at 207 Prince Street is a registered Virginia Historic Landmark. George William Fairfax received this property from his father in 1752. The original house probably was built in the 1750s, with numerous changes, additions, and improvements over the years. Fairfax conveyed the property to Robert Adams, who sold it to John Harper, who sold it to William Hodgson in 1790, all politically influential members of Alexandria. The house continued to be associated with eminent politicians in the nineteenth and twentieth centuries including Alexandria mayor Lewis McKenzie and Virginia governor Andrew J. Montague.
- R-1 While it would appear that this project will have little or no ground disturbance, if the project is expected to cause any ground disturbance, please contact Alexandria Archaeology (703-746-4399) two weeks before the starting date of any ground disturbance so that an inspection or monitoring schedule for city archaeologists can be arranged. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
- R-2 Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
- R-3 The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)

Code Administration

- F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact Ken Granata, Plan Review Services Division Chief, at ken.granata@alexandriava.gov or 703.746.4193.
- C-1 A Building permit is required for this project. Five sets of *construction documents* that fully detail the construction as well as framing schematics shall accompany the permit application(s). If a Virginia licensed design professional prepares drawings, the plans shall bear the signature and seal of the Virginia licensed design professional in accordance with the Code of Virginia Section 54.1-410B.
- C-2 Temporary shoring is required during demolition and construction; new stair construction should comply with VCC chapter 10;

- C-3 Details for accessible provisions for the alterations shall comply with ICC/ANSI A117.1-2003.
- C-4 No opening allowed on a wall within 3ft to the property line per IRC R302.1
- C-5 Easement agreements between the property owners should be signed if any constructions cross the property line.

T&ES

- R1. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R2. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)
- R3. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- R4. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- C-1 Roof, surface and sub-surface drains shall be connect to the public storm sewer system, if available, by continuous underground pipe. Where a storm sewer is not available, the applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (5-6-224) (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-4 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-5 Any work within or performed from the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

V. ATTACHMENTS

1 – Supporting Materials

2 – Application BAR2013-00066 & BAR2013-00067 (Refer to Attachment B of April 12, 2014 Appeal Report)



DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property Information

A1. Street Address 207 PRINCE ST Zone RM
A2. 9776 x 1.5 = 14,664
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement <i>inc Porch</i>	2468.75	Basement**	2338.75
First Floor <i>inc Porch</i>	2742	Stairways**	430.75
Second Floor <i>inc Porch</i>	2612	Mechanical** <i>chimn</i>	121.25
Third Floor	1270.75	Other** <i>271-6</i>	1112.5
Porches/Other <i>44</i>	912.5	Total Exclusions	4003.25
Total Gross *	10,006		

B1. Existing Gross Floor Area *
10006 Sq. Ft.

B2. Allowable Floor Exclusions**
4003.25 Sq. Ft.

B3. Existing Floor Area minus Exclusions
6002.75 Sq. Ft.
(subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor	261.62	Stairways**	
Second Floor		Mechanical**	
Third Floor		Other**	
Porches/ Other		Total Exclusions	
Total Gross *	261.62		

C1. Proposed Gross Floor Area *
261.62 Sq. Ft.

C2. Allowable Floor Exclusions**
0 Sq. Ft.

C3. Proposed Floor Area minus Exclusions
261.62 Sq. Ft.
(subtract C2 from C1)

D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 6,264.37 Sq. Ft.
D2. Total Floor Area Allowed by Zone (A2) 14,664 Sq. Ft.

*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

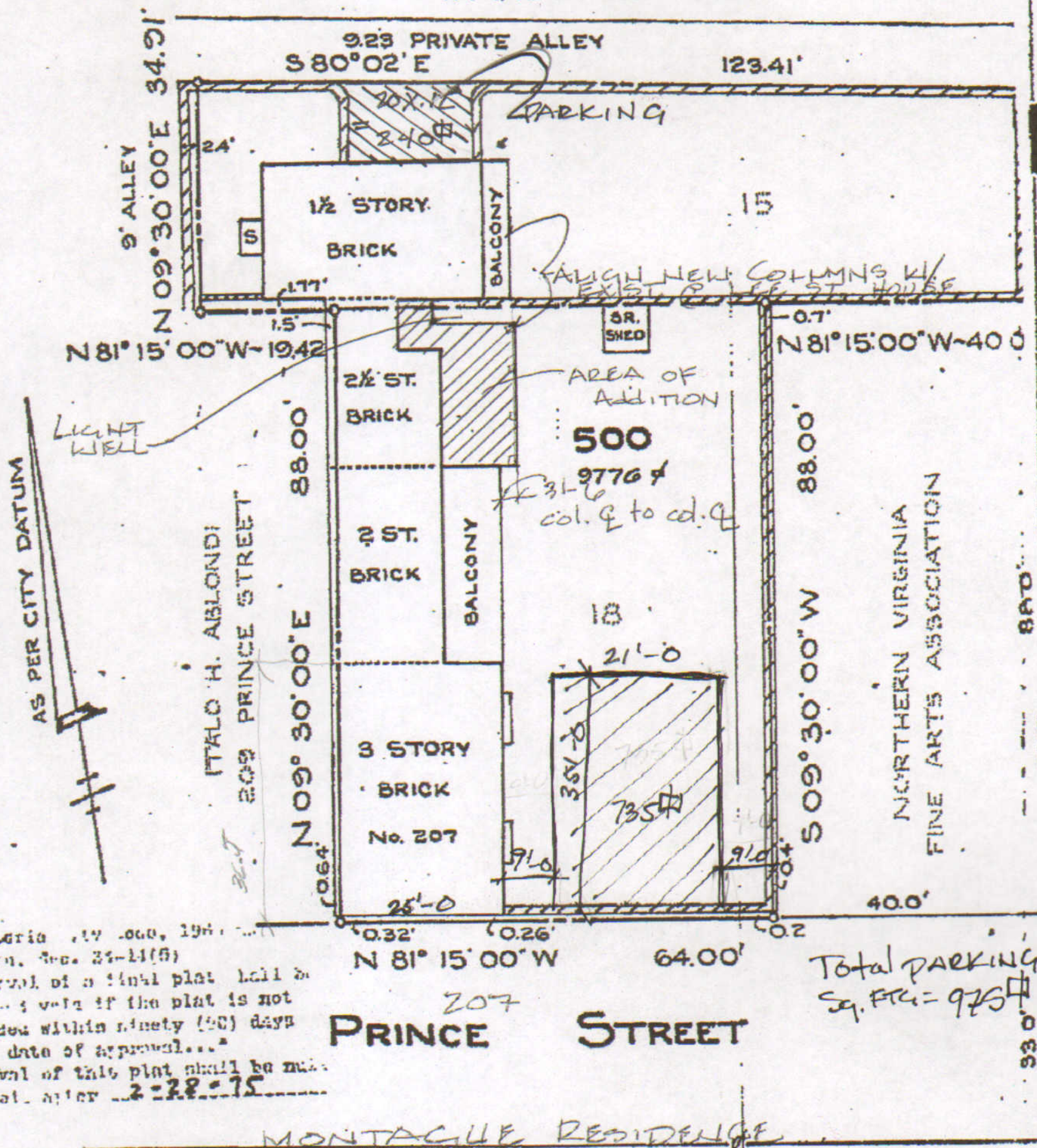
F. Open Space Calculations

Existing Open Space	<u>6059</u>
Required Open Space	<u>3421.6</u>
Proposed Open Space	<u>5769.8</u>

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: [Signature] Date: 6.5.13

NORMAN BERINHEIMER
117 SOUTH LEE STREET



NO TITLE REPORT
FURNISHED

BAP SUBMISSION - 10.19.13



Historic Alexandria Foundation

218 North Lee Street, Suite 310 • Alexandria, Virginia 22314
(703) 549-5811 • FAX (703) 548-4399
Email: h.a.f@erols.com • Website: HistoricAlexandriaFoundation.org

February 20, 2013

R. Latane Montague IV, Esq.
207 Prince Street
Alexandria, Virginia 22314

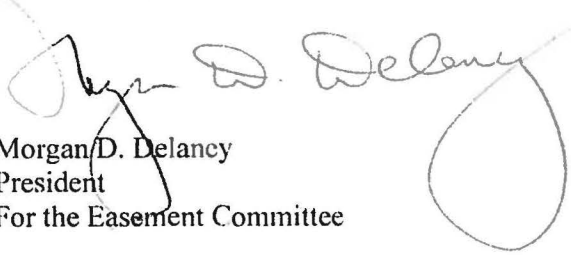
Re: George William Fairfax House, 207 Prince Street, City of Alexandria, Easement

Dear Mr. Montague:

The Easement Committee of the Historic Alexandria Foundation met on February 19, 2013 for final consideration of your proposed plans for improvements at your property at 207 Prince Street. It was the determination of the Committee that your plans are consistent with the terms of the Deed of Easement on the property, dated December 4, 1979. Your proposed kitchen addition does not fundamentally alter the historic character of the townhouse or its setting.

This letter shall serve as written approval from the Historic Alexandria Foundation, as co-Grantee with the Virginia Department of Historic Resources, for your alterations and improvements to the property, in accordance with the Deed of Easement.

With kind regards,


Morgan D. Delancy
President
For the Easement Committee



COMMONWEALTH of VIRGINIA

Department of Historic Resources

2801 Kensington Avenue, Richmond, Virginia 23221

Douglas W. Domenech
Secretary of Natural Resources

Kathleen S. Kilpatrick
Director

Tel: (804) 367-2323
Fax: (804) 367-2391
TDD: (804) 367-2386
www.dhr.virginia.gov

November 9, 2012

Latane Montague
Hogan Lovells
Columbia Square
555 Thirteenth Street, NW
Washington, DC 20004

RE: George William Fairfax House, 207 Prince Street, City of Alexandria
DHR File No. 100-0022_ep

Dear Mr. Montague:

Thank you for the information regarding proposed improvements at your property, the George William Fairfax House, in Alexandria. The revised information was submitted electronically to the Department of Historic Resources (DHR) on October 26, 2012. The submittal responds to DHR comments issued in a letter dated April 27, 2010, pertaining to the proposed scope of work.

The revised scope of work for the proposed addition includes the addition of a "light well", a reduction in the footprint of the addition as well as in the second story porch roof. The fenestration on the addition has also been simplified.

After careful review, the information we received is consistent with the *Secretary of the Interior's Standards for Rehabilitation (Standards)* and is approved in concept provided that physical evidence of the original exterior wall remains. This may be achieved through the inclusion of a bulkhead/soffit on the ceiling in this location, or by not cutting the opening flush with the adjoining wall surface and allowing the existing wall to extend 4-6 inches.

Please submit the construction drawings for the complete scope of work once they are complete and prior to the commencement of work, so that we can ensure the final aspects are consistent with the provisions of the easement as well as the *Standards*. This approval is valid for one year from the date of this letter. If you need to revise the scope of work or are unable to complete the work within one year, please contact me.

Administrative Services
10 Courthouse Ave.
Petersburg, VA 23803
Tel: (804) 862-6416
Fax: (804) 862-6196

Capital Region Office
2801 Kensington Office
Richmond, VA 23221
Tel: (804) 367-2323
Fax: (804) 367-2391


Tidewater Region Office
14415 Old Courthouse Way 2nd
Floor
Newport News, VA 23608
Tel: (757) 886-2807
Fax: (757) 886-2808

Western Region Office
962 Kime Lane
Salem, VA 24153
Tel: (540) 387-5428
Fax: (540) 387-5446

Northern Region Office
5357 Main Street
PO Box 519
Stephens City, VA 22655
Tel: (540) 868-7031
Fax: (540) 868-7033

Thank you for your careful revisions to the addition design. Please let me know if you have any questions or concerns.

Sincerely,



Megan Melinat

Easement Program Architect

Megan.melinat@dhr.virginia.gov

Cc: Morgan Delaney, Historic Alexandria Foundation

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Stephens City, VA 22655
Tel: (540) 868-7031
Fax: (540) 868-7033



207 Prince Street
Front Elevation

Montague Residence

207 Prince Street

BAR Submission for Hearing

February 20, 2013

207 Prince Street Renovation and Addition

The addition and renovation proposed for 207 Prince Street includes an expansion of the existing kitchen and expansion of the existing two story porch, both on the East elevation of the house. The property was substantially renovated in the 1930's by the current owner's great Aunt, Gay Montague Moore after her purchase of the property in 1929. In 1934, the "little house" was added at the rear of the main house's ell. It was here that Mrs. Moore created a large and modern kitchen for the front portion of her home.

The house is currently being used as two residences: the front portion for Latane Montague and his family and the "little house" by Latane's father, Bob Montague. This has the affect of separating the modern kitchen from the rest of the house and leaving the former butler's pantry as a kitchen for the larger residence.

The new addition will allow for a more proportionate kitchen to the remaining 18th and 19th century portions of the house. Although we have reviewed all options for adding a kitchen addition, the currently proposed expanded kitchen/butler's pantry is the only logical location. It allows for the vast majority of the house and the publicly visible portions to remain unaltered from their existing configurations with no exterior (or interior) changes.

The portion of the building now holding the small kitchen/butler's pantry has already undergone many changes through it's history as a (possible) free standing structure and as part of the apartment building that 207 Prince became in the early 20th century.

Therefore, we are proposing changes to an area that already has undergone many alterations. One previous change we intend to undo is to remove an existing second story door that had undoubtedly been a window originally. The new double hung window will match the others at this portion of the house. In addition, we intend to recognize the existing wall configuration in our new design by expressing the beam which will separate the old and new portions of the kitchen and also by demarcating this transition through changes in the flooring materials.

The proposed porch is an extension of the existing porch, which was first added by Mrs. Moore in the 1930's and given a second story in the 1950's. The extension will give more visual continuity on the East elevation and allow us to use complimentary and compatible architectural elements for the kitchen extension. The extended porch will tie into the new addition and maintain the rhythm of the original colonnade while marrying the new addition to the main block of the house but still recognizing the original portions.

By extending the kitchen and porch, we are further identifying and demarcating the separation of the main house from the "little house." This much later addition will no longer be as visually attached as it has been, but will maintain its individual identity with its Lee Street address and will still be accessible to 207 through the garden as it is now.



East Elevation of front block of house and partial EII



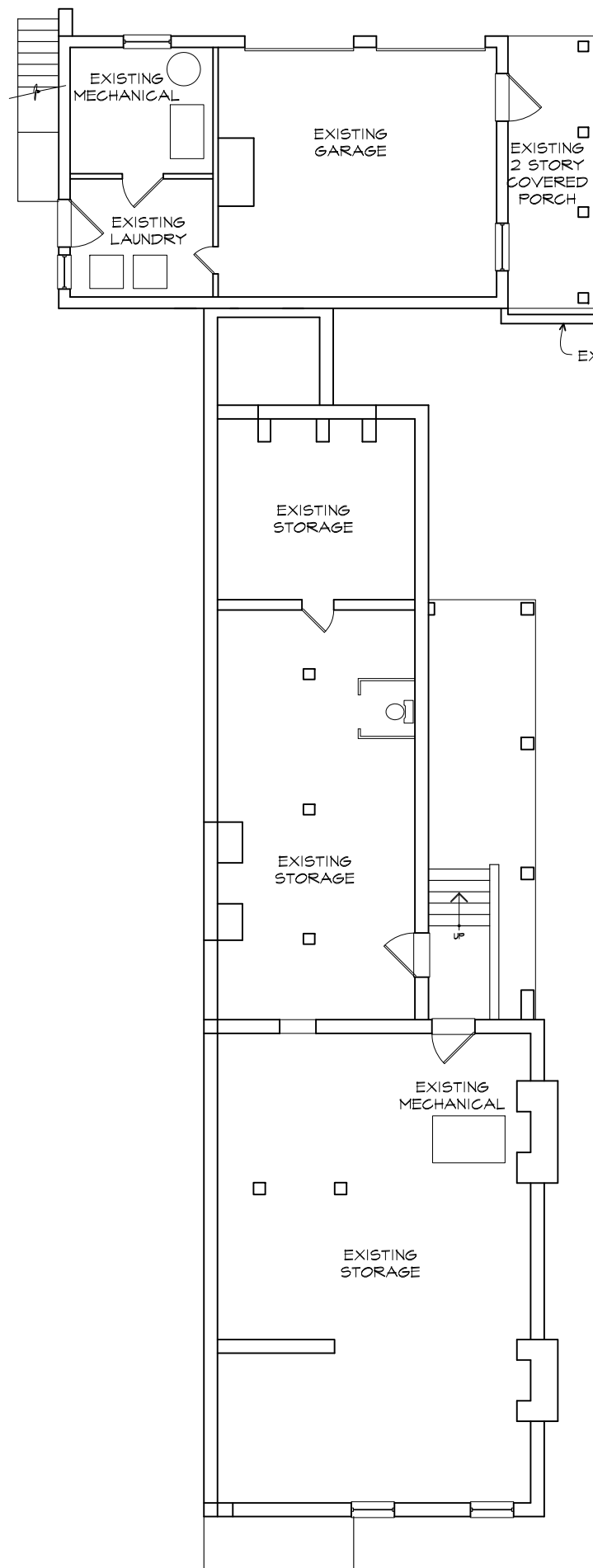
East Elevation of EII looking Southeast towards main block



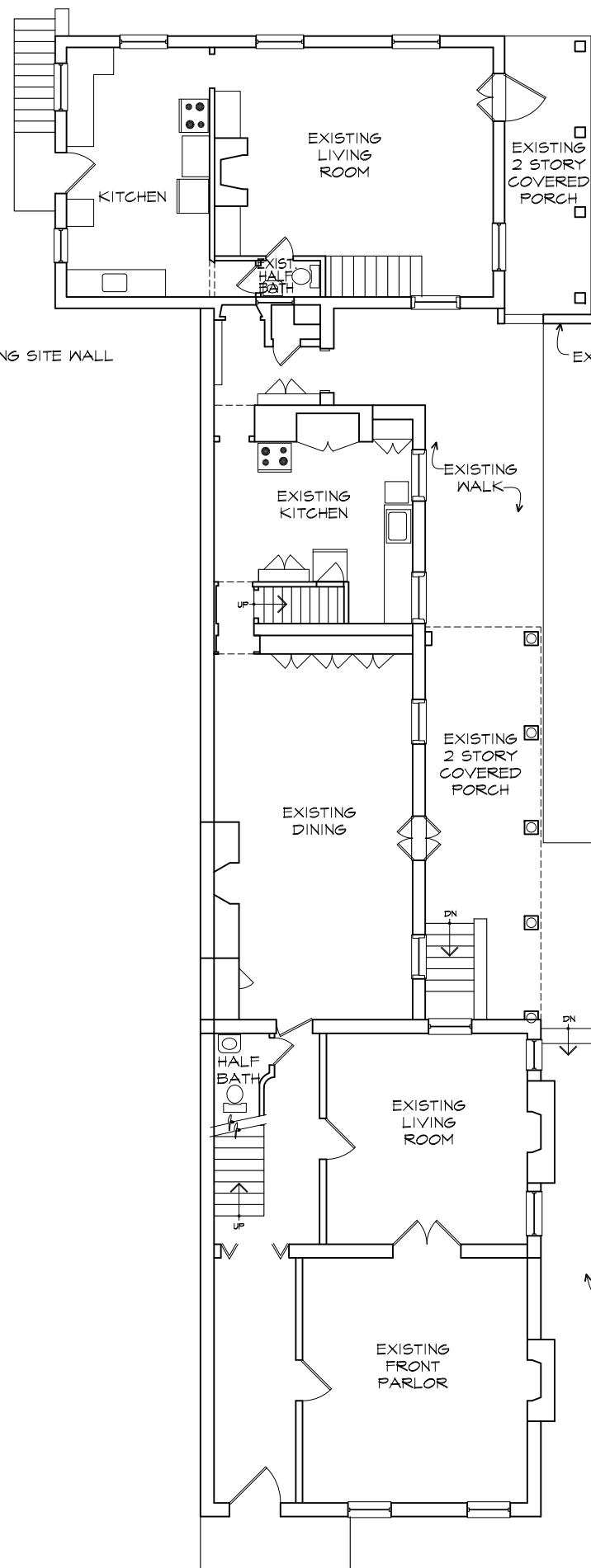
East Elevation at Area of Proposed Addition



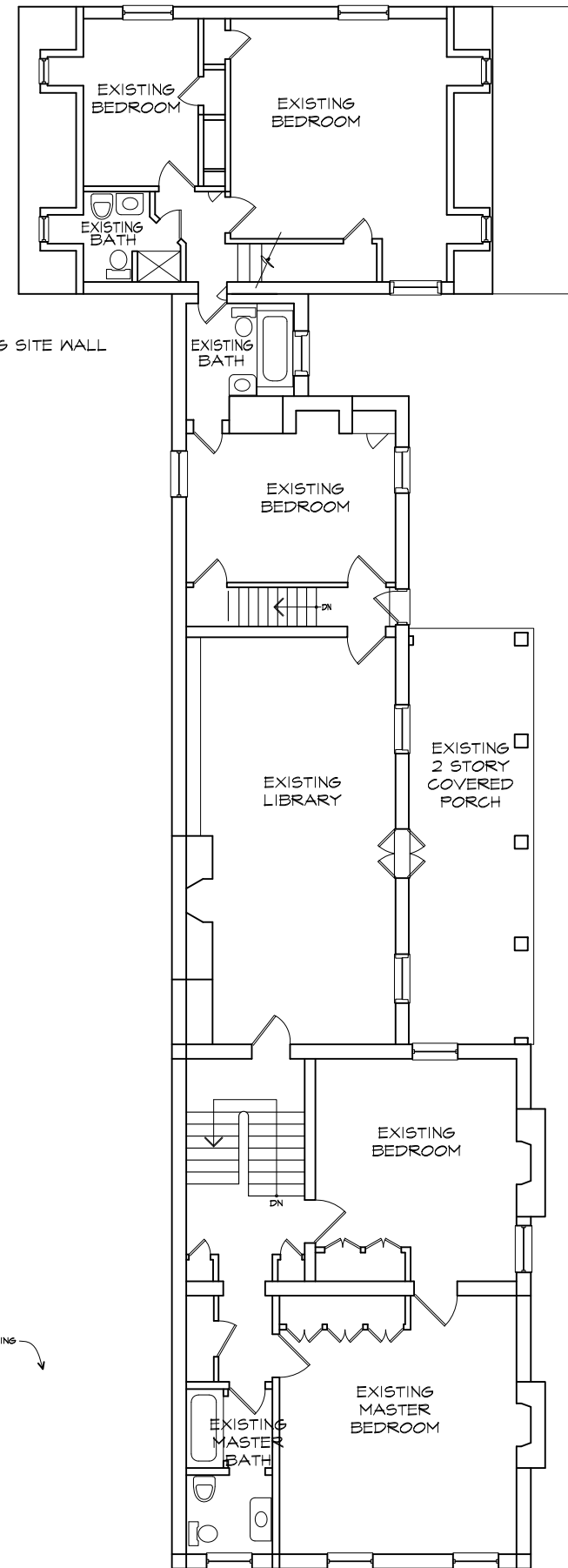
Looking North from Subject Property Towards 119 South Lee Street



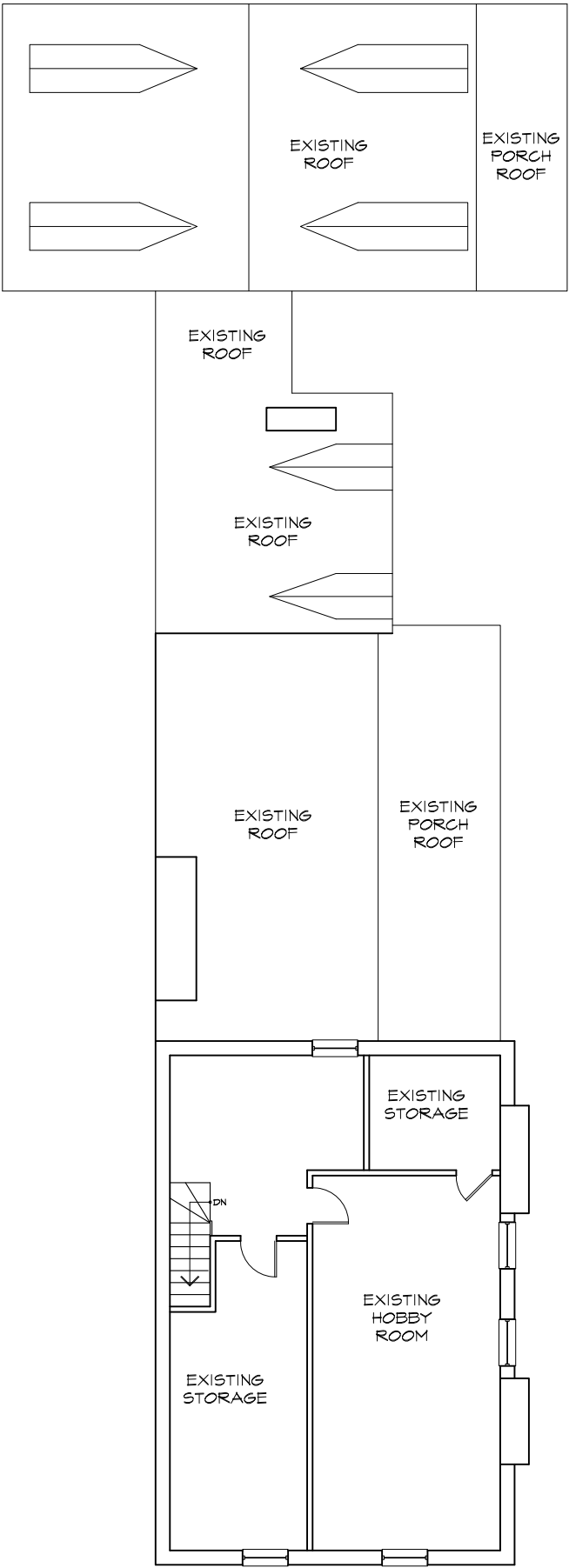
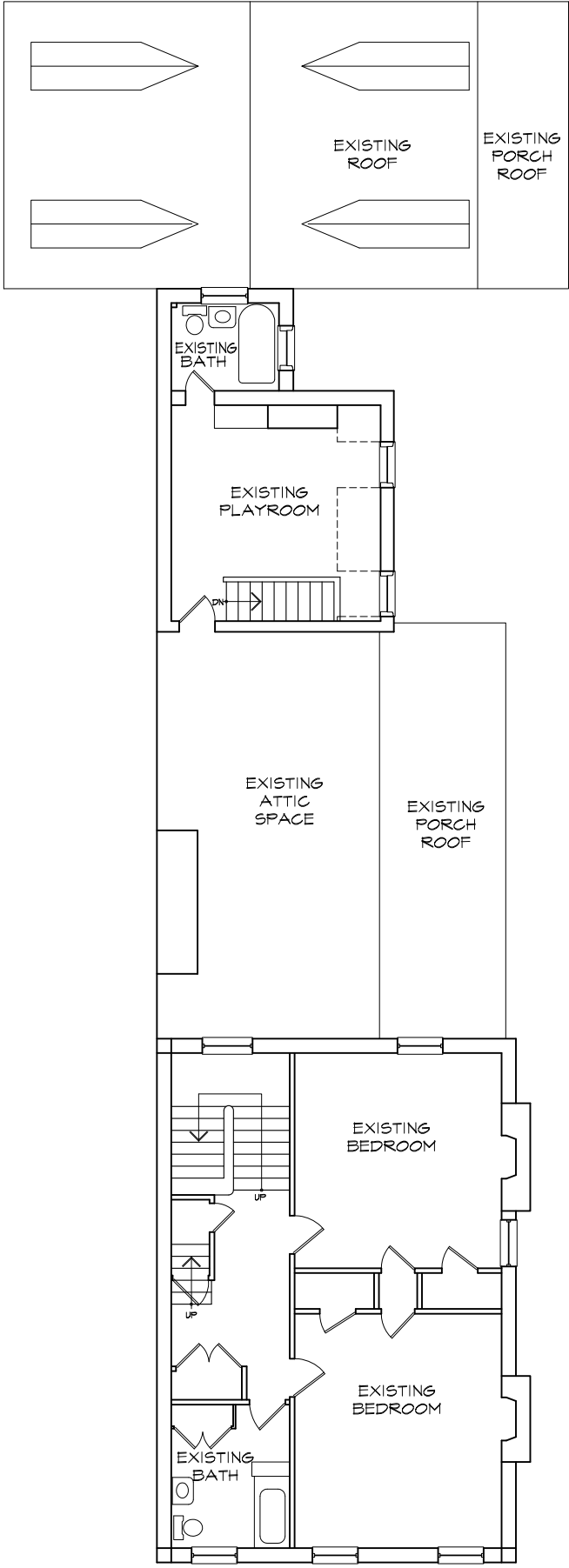
EXISTING BASEMENT
FLOOR PLAN
1/4"=1'-0"



EXISTING FIRST
FLOOR PLAN
1/4"=1'-0"



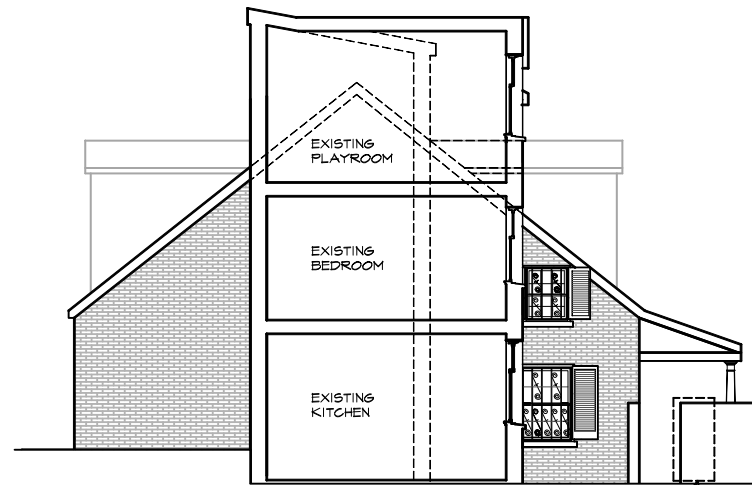
EXISTING SECOND
FLOOR PLAN
1/4"=1'-0"



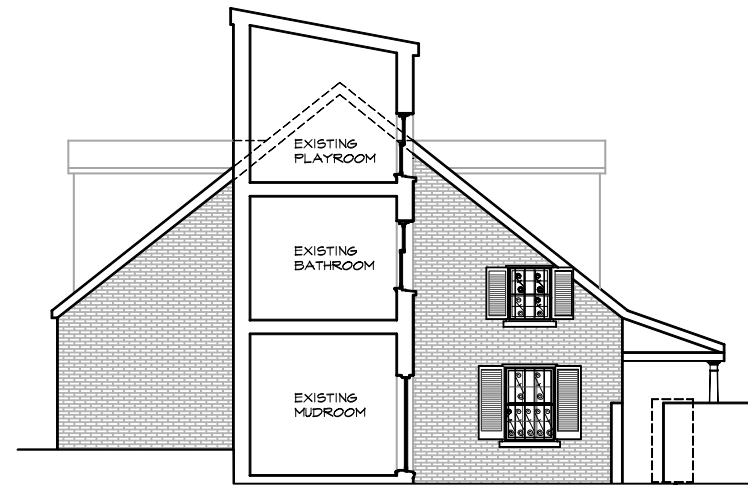
EXISTING THIRD FLOOR
 0'-0" FIELD VERTY
 EXISTING SECOND FLOOR
 PLATROOM FLOOR
 0'-0" FIELD VERTY
 EXISTING FIRST FLOOR
 AT KITCHEN
 0'-0" FIELD VERTY
 EXISTING BASEMENT
 0'-0" FIELD VERTY



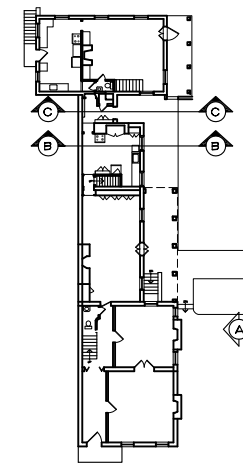
(A) EXISTING EAST ELEVATION
 1/4"=1'-0"



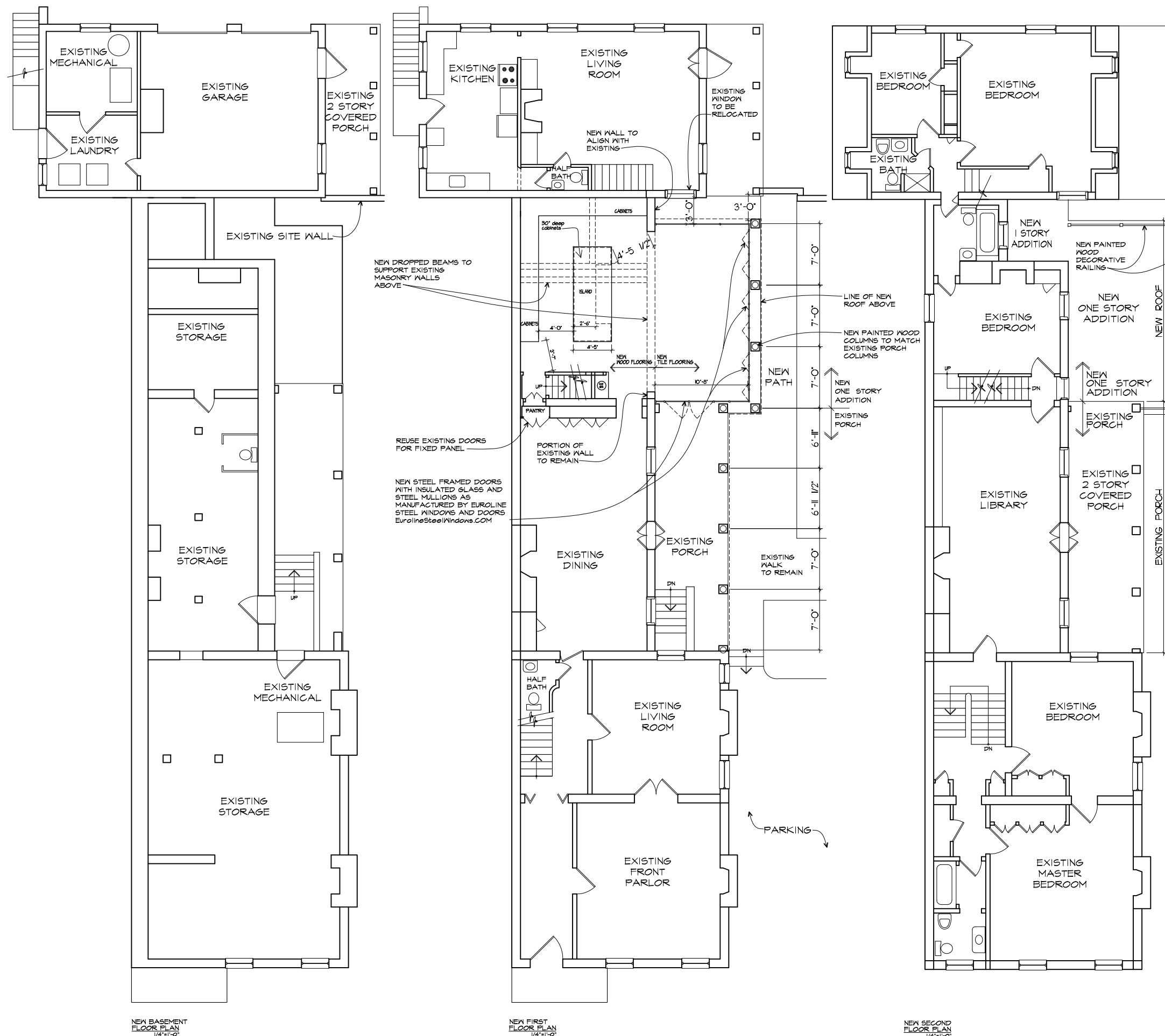
(B) EXISTING SECTION ELEVATION
 1/4"=1'-0"

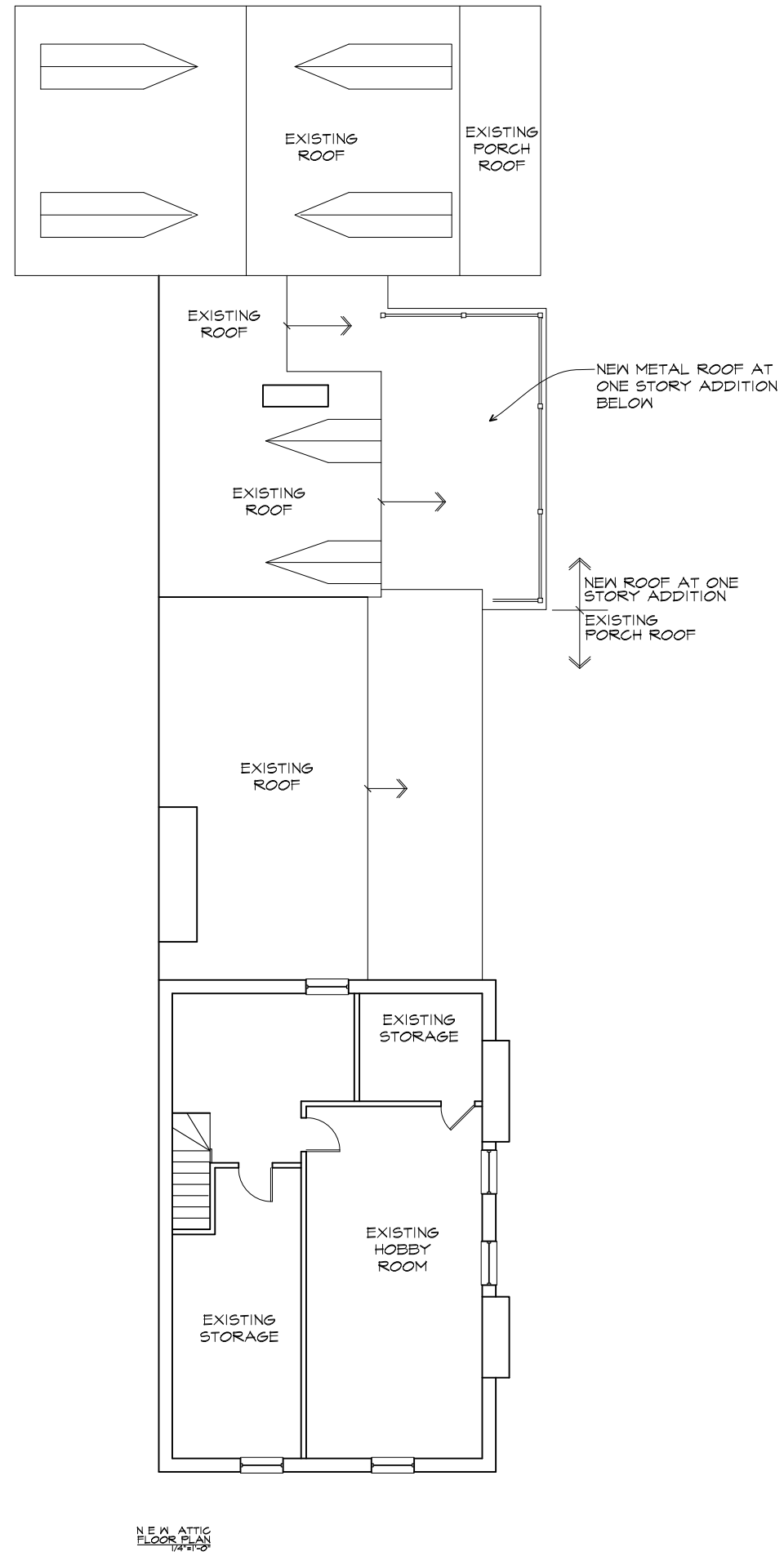
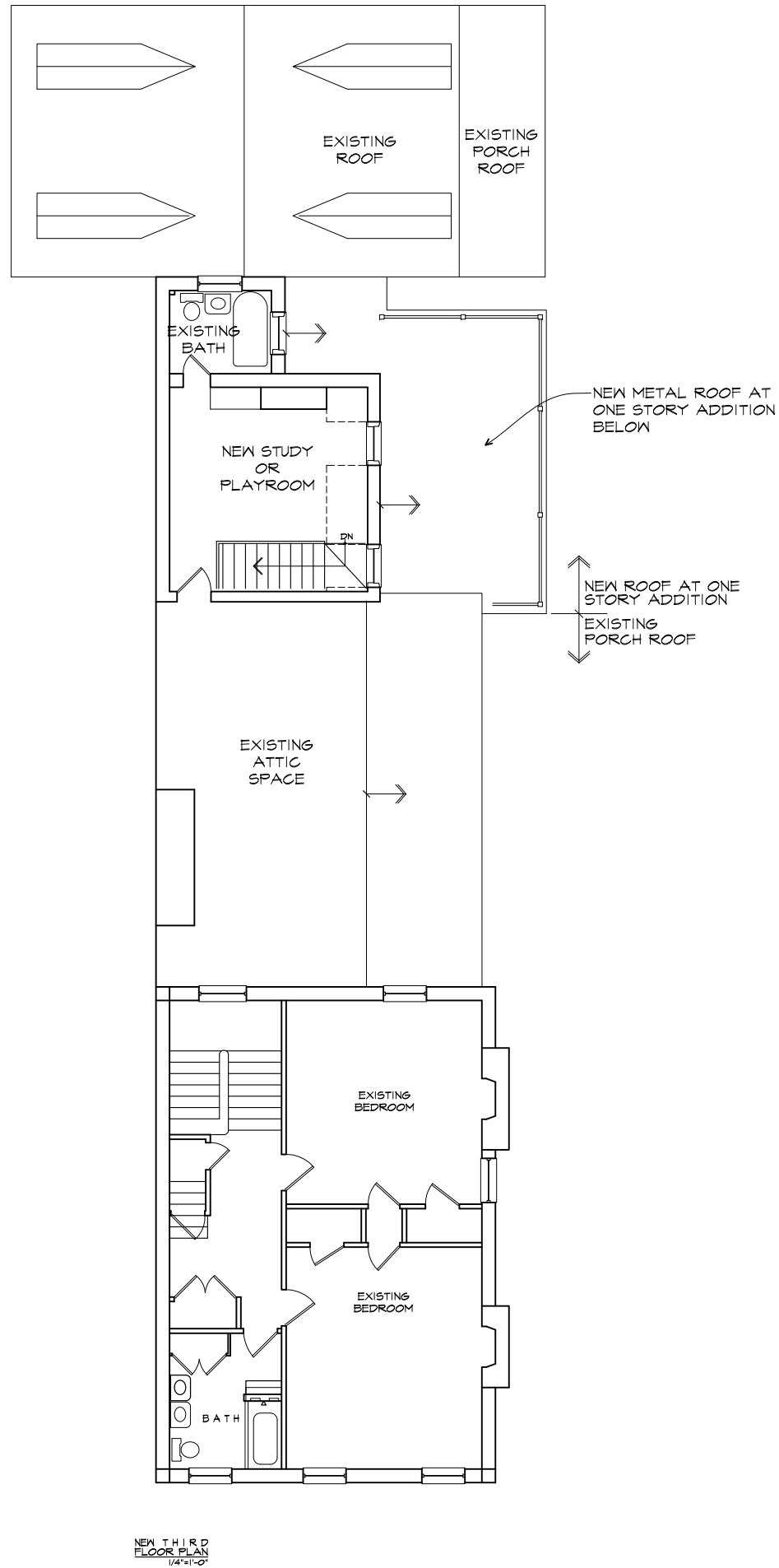


(C) EXISTING SECTION ELEVATION
 1/4"=1'-0"



KEY PLAN





EXISTING THIRD FLOOR

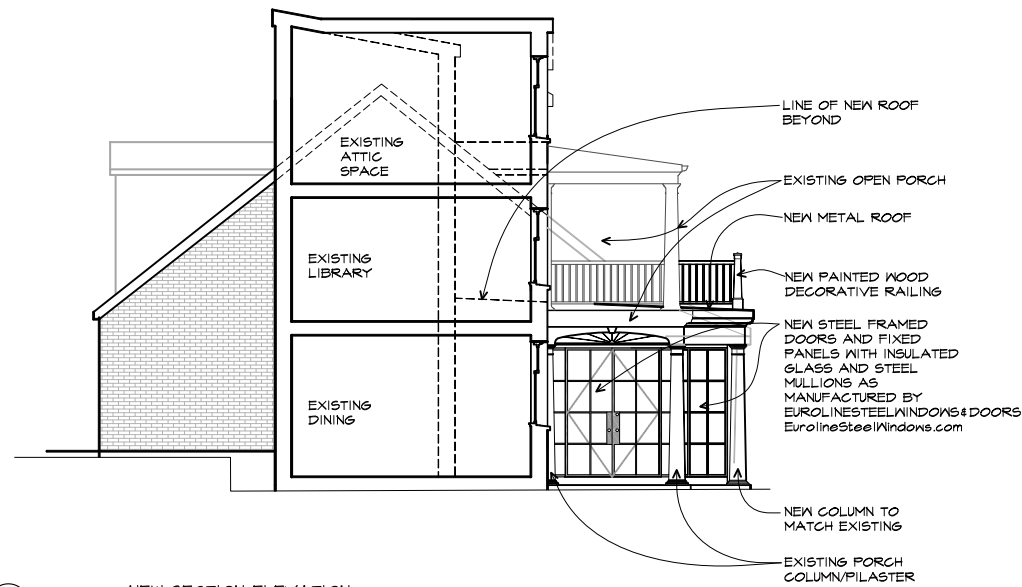
EXISTING SECOND FLOOR
PLAYROOM FLOOR

EXISTING FIRST FLOOR
AT KITCHEN

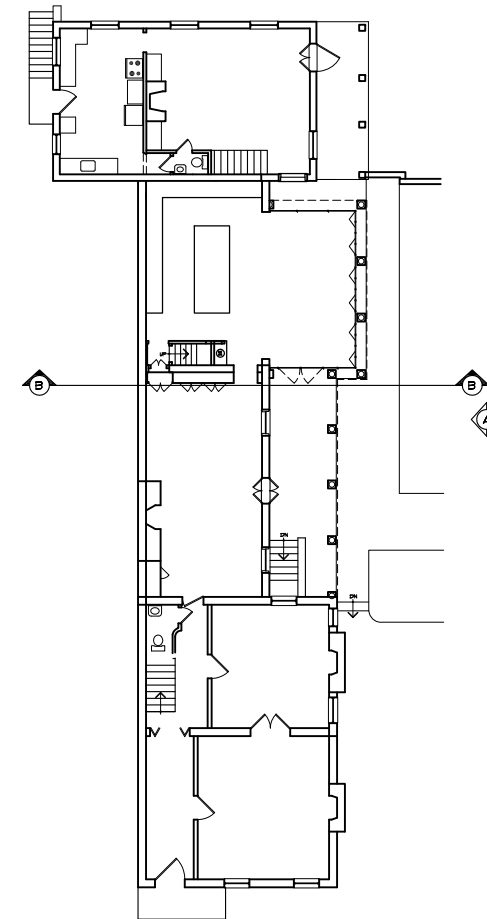
EXISTING BASEMENT



A NEW EAST ELEVATION
1/4"=1'-0"

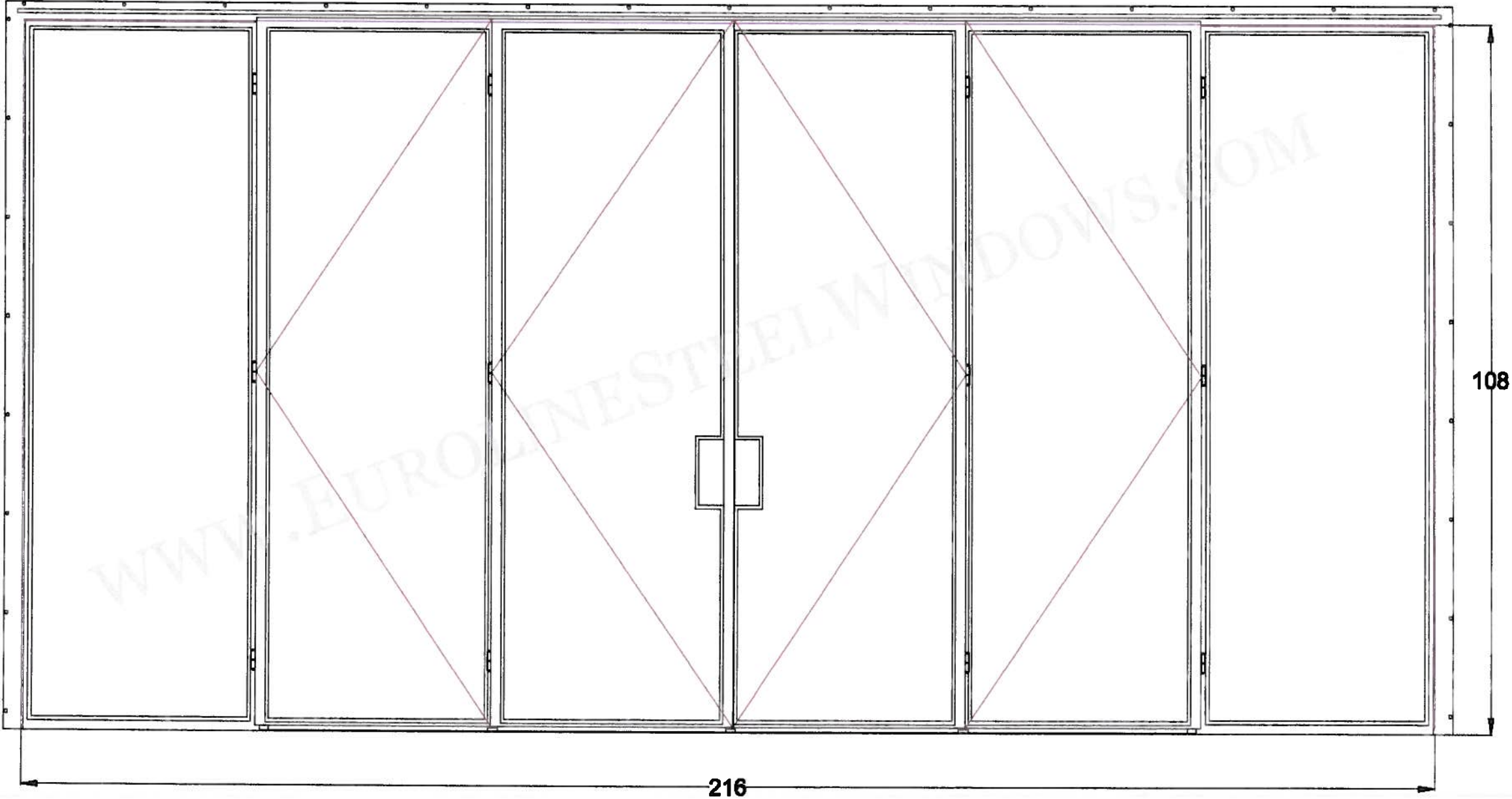


B NEW SECTION ELEVATION
1/4"=1'-0"



KEY PLAN

BI FOLD DOOR 240" X 108", 1 LITE



NOTE: ALL DRAWINGS ARE REFERENCED OUTSIDE IN, ALL GLASS IS SET TO GLAZE FROM THE OUTSIDE

EUROLINE STEEL WINDOWS AND DOORS TEL: (714) 546-3008 FAX: (714) 546-3005	PROJECT NAME: EUROLINE STANDARD		TYPE: BI FOLD - 1L X 1L		ITEM: -----	
	SERIES: 1A	GLASS: -----	COLOR: DARK BRONZE WITH ZINC	SCALE: NTS	SHEET NO.: 1 OF 1	REV: A





A

NEW EAST ELEVATION

1/4"=1'-0"

MONTAGUE RESIDENCE
 207 PRINCE STREET
 ALEXANDRIA, VIRGINIA

ADDRESS OF PROJECT: 207 Prince Street, Alexandria, Virginia 22314TAX MAP AND PARCEL: 075.01-07-15ZONING: RM

APPLICATION FOR: (Please check all that apply)

☐ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☒ Property Owner ☐ Business (Please provide business name & contact person)Name: Robert L. Montague IVAddress: 207 Prince StreetCity: Alexandria State: VA Zip: 22314Phone: 703-836-8437 E-mail: dimondadams@comcast.netAuthorized Agent (if applicable): ☐ Attorney ☒ Architect ☐Name: Stephanie R. Dimond Phone: 703-836-8437E-mail: dimondadams@comcast.net

Legal Property Owner:

Name: Montague, Robert L. III and Robert L. IVAddress: 207 Prince StreetCity: Alexandria State: VA Zip: 22314Phone: 703-836-8437 E-mail: dimondadams@comcast.net

☒ Yes ☐ No Is there an historic preservation easement on this property?

☒ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?

☐ Yes ☒ No Is there a homeowner's association for this property?

☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--------------------------------------|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☐ ADDITION
- ☐ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

See Attached.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

* Note: There are no alternatives to demolition/encapsulation

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- N/A
- ☐ ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
 - ☐ ☐ FAR & Open Space calculation form.
 - ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
 - ☐ ☐ Existing elevations must be scaled and include dimensions.
 - ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
 - ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
 - ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A
- ☐ ☒ Linear feet of building: Front: _____ Secondary front (if corner lot): _____
 - ☐ ☒ Square feet of existing signs to remain: _____
 - ☐ ☒ Photograph of building showing existing conditions.
 - ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
 - ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
 - ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
 - ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- N/A
- ☒ ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
 - ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
 - ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
 - ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: Stephanie R. Dimond

Date: 3.4.13

OWNERSHIP AND DISCLOSURE STATEMENT
Use additional sheets if necessary

BAR2013-0066 & 0067

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. N/A		
2. N/A		
3. N/A		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 207 Prince Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Robert Latane Montague IV	207 Prince Street Alexandria, VA 22314	66% ^e 100% RZM ID
2 Robert Latane Montague III, life tenant	207 Prince Street Alexandria, VA 22314	33% ^e RZM ID
Robert Latane Montague IV, remainder interest	207 Prince Street, Alexandria, Va 22314	33% ^e RZM ID

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

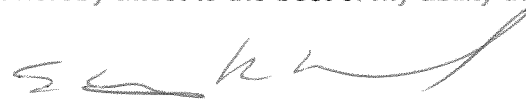
Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2. N/A		
3. N/A		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

3.4.13

Stephanie R. Dimond



Date

Printed Name

Signature

Section 10-105 Matters to be considered in approving certificates and permits.

(B) *Permit to move, remove, capsule or demolish in whole or in part buildings or structures.* The Old and Historic Alexandria District board of architectural review or the city council on appeal shall consider any or all of the following criteria in determining whether or not to grant a permit to move, remove, capsule or demolish in whole or in part a building or structure within the Old and Historic Alexandria District.

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into an historic shrine?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place in which to live?
- (7) In the instance of a building or structure owned by the city or the redevelopment and housing authority, such building or structure having been acquired pursuant to a duly approved urban renewal (redevelopment) plan, would retention of the building or structure promote the general welfare in view of needs of the city for an urban renewal (redevelopment) project?

CHAPTER 4

DEMOLITION OF EXISTING STRUCTURES

INTRODUCTION

The demolition of any structure, either in whole or in part, in the historic districts, **regardless of visibility from a public way**, requires the approval of a Permit to Demolish by the Boards of Architectural Review.

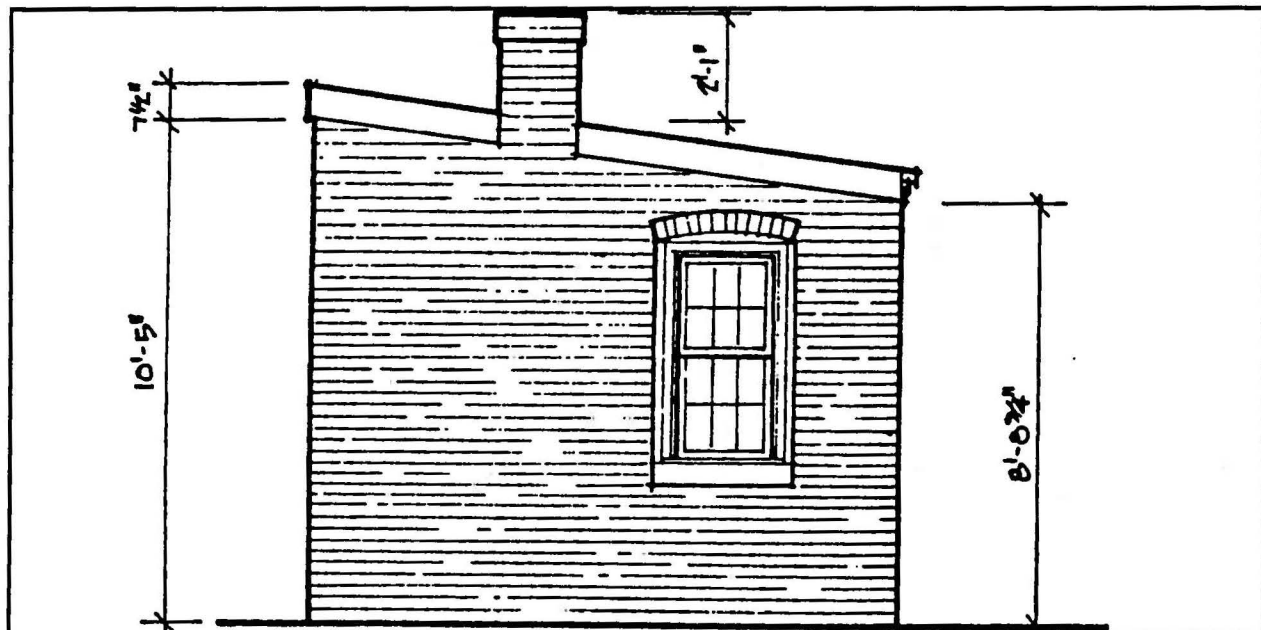
The Boards are extremely conscious of the need to preserve the existing building resources of the historic districts. At the same time, the Boards are also sympathetic to the needs of building owners to make contemporary 20th century use of a property. It is the policy of the Boards that the absolute minimum demolition of an existing structure should take place. For example, in the case

of an addition to the rear of a property, the Boards prefer that the amount of demolition be limited to that necessary to accommodate access to the addition rather than wholesale demolition and replacement of the rear facade.

Because approval of the demolition of an existing structure, in whole or in part, is such an important decision, the action of the Boards on such requests requires a roll call vote of each member.

REQUIREMENTS

- The demolition of an existing structure must meet the requirements of the Uniform Statewide Building Code (USBC).
- Demolition of an existing structure requires the issuance of a permit by Code Enforcement (USBC §105.1).
- If asbestos is present, an asbestos permit is required in addition to a building permit. Certain exemptions apply.



Example of a record drawing including measurements required as part of the approval of a demolition of a rear addition.

SOURCE: 125 South Payne Street, BAR Case #92-86, Richard C. Bierce, AIA, Historic Architect

- A building permit for demolition will not be issued until services to the building including gas, electric, water and sewer have been disconnected. In addition to the Boards of Architectural Review, approvals must be obtained from the Traffic and Health departments.

- Demolition of an existing structure, in whole or in part, requires approval of a separate Permit to Demolish by the Boards of Architectural Review in addition to approval of a certificate of appropriateness for an addition or new construction.

- Removal of less than 25 square feet of an exterior wall, roof or other exterior surface is not considered demolition. Such removal is considered to be an alteration. (§ 10-103 (B) and § 10-203(B) of the Zoning Ordinance).

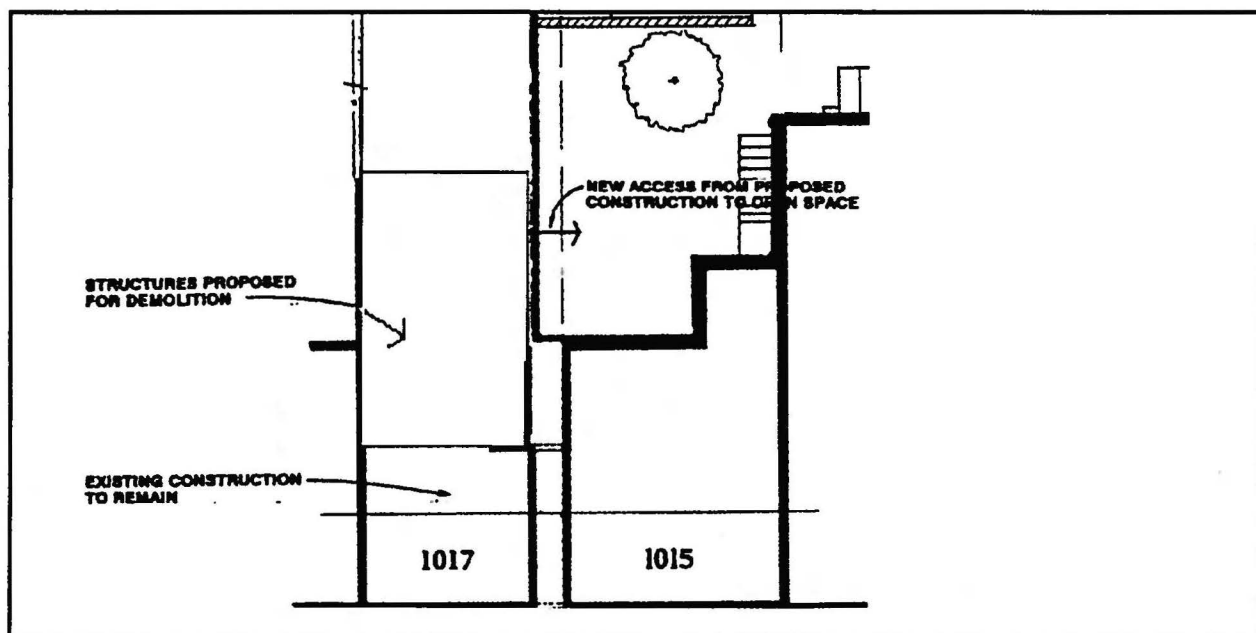
- Demolition of an existing structure which involves land disturbance of 2,500 square feet or more must comply with the requirements of the Chesapeake Bay Protection Ordinance. Information on this requirement may be obtained from the City Engineer. (Telephone: 703/838-4328)

- If the Boards deny a Permit to Demolish, the decision can be appealed to City Council.

- An owner may demolish a property, following denial of a Permit to Demolish, if the building is offered for sale for a specified period of time and no bona fide offer to purchase the property is made during the specified time period. The period of time for which the building has to be offered for sale varies from 3 months, when the offering price is less than \$25,000, to one year when the offering price is \$90,000 or more. (§ 10-108 and § 10-208 of the Zoning Ordinance).

GUIDELINES

- Generally speaking, there must be a compelling reason for the demolition, either in whole or in part, of a significant structure in the historic districts. The Boards actively seeks to retain the existing historic fabric of the historic districts and strongly discourage the demolition of any portion of an 18th or early 19th century structure.



Demolition plan for the rear addition to an existing structure.

SOURCE: 1017 Duke Street, BAR Case #90-73, John E. McKean, AIA, Architect (Altered)

Criteria for demolition in the Old and Historic Alexandria District and for 100-Year Old Buildings:

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into an historic shrine?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?

- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place in which to live?
- (7) In the instance of a building or structure owned by the city or the redevelopment and housing authority, such building or structure having been acquired pursuant to a duly approved urban renewal (redevelopment) plan, would retention of the building or structure promote the general welfare in view of needs of the city for an urban renewal (redevelopment) project? (§ 10-105(B) of the Zoning Ordinance)

Criteria for demolition in the Parker-Gray District:

- (1) Is the building or structure of such architectural or historic interest that its removal would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into an historic shrine?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?

- (5) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place to live?
- (6) Would retention of the building or structure help maintain the scale and character of the neighborhood? (§ 10-205(B) of the Zoning Ordinance)

- In some instances, the Boards may require a structural analysis of the building by a licensed professional engineer in order to make an informed decision regarding the structural integrity of a building before making a decision on the application for a Permit to Demolish.

Determination of Significance

If a building which is considered to have significance in the historic districts is to be demolished, documentation will be required. The requirements for documentation are set forth in the Application Requirements section. A determination of a building's significance will be made by the B.A.R. Staff. The determination of significance will be based upon the following factors:

- All buildings and structures constructed prior to 1860 are significant and those historic portions must be documented.
- Buildings and structures which contribute to and may increase knowledge of the architectural and cultural history of Alexandria or the nation are significant and must be documented.
- Buildings which embody noteworthy craftsmanship or design features may be considered significant. In some instances, documentation may be limited to recordation of the significant features or details.
- Structures which are non-historic and not compatible with the historic and architectural character of the historic districts do not require a separate application for a Permit to Demolish. Structures falling within this category include inappropriate accessory buildings such as metal storage sheds and site improvements such as stockade and chain link fencing and planters. Demolition of such structures may be included in the application for a Certificate of Appropriateness for alterations. Staff of the Boards of Architectural Review will make the determination whether a structure is non-historic.
- If the site of the demolition of an existing structure is to remain vacant for a period of time, it should be landscaped and maintained.

APPLICATION REQUIREMENTS

All applications for approval of the demolition of an existing structure must contain the following information:

Alexandria Business License

Proof of a valid Alexandria Business License is required at the time of application for contractors, subcontractors, architects, and designers.

Plot Plan

A plot plan accurately showing the extent of the proposed demolition is required.

Reason for Demolition

The application must clearly spell out the reason for the demolition and describe alternatives to demolition and why such alternatives are not considered feasible.

Significant Buildings

Buildings or structures that have been determined to be significant and which are to be demolished, in whole or in part, must be documented with a written history, measured drawings and photographs. The following documentation must be approved by the B.A.R. Staff and deposited in the Lloyd House Archives of the Alexandria Public Library prior to the approval of the building permit to demolish the structure.

History of the Structure

Buildings or structures that have been determined to be significant and which are to be demolished, in whole or in part, must be documented with a written history. At a minimum, this information must include date of construction and any major alterations, information about persons or events associated with the structure, general architectural characteristics and background on the designer or architect.

Photographs of Existing Structure

Clear record photographs of the existing structure are required. Both black and white and color photographs and their negatives are required. Photographic prints must measure at least 4" x 5".

Measured Drawings

Measured drawings of a structure to be demolished must be made. The drawings must include floor plans and elevations at a minimum scale of 1/4" = 1'. Details may be required in some cases. Drawings may be in pencil or ink on vellum or mylar on a sheet with maximum dimensions of 30" x 42".

All Other Buildings and Structures

Buildings which are compatible but are not considered to meet the criteria of significance are not required to be documented with measured drawings. However, photographs and a building plat are required.

NOTE: Illustrations are provided for information only. Applications for Permits to Demolish are reviewed and approved on a case-by-case basis.

ADOPTED BY THE BOARDS OF
ARCHITECTURAL REVIEW, 5/25/93

ARCHAEOLOGICAL CONSIDERATIONS

The demolition of a structure in whole or in part may affect archaeological resources. With its rich history, the City of Alexandria is particularly concerned about its archaeological heritage. Archaeological resources in the historic districts are great in number and highly diverse in materials. They often consist of ceramic and glass fragments in the backyards of historic properties; however, archaeological resources are also brick-lined shafts in yards and basements; brick kilns; foundations, footings, postholes and builders trenches of non-extant buildings; landscape features such as walkways and gardens; and even American Indian artifacts which pre-date colonial Alexandria. Often these clues to the City's past appear to be unimportant debris; yet when the artifacts and building remains are excavated and recorded systematically, they provide the only knowledge of lost Alexandria.

Every application to the B.A.R. which potentially involves ground disturbance is reviewed by city Archaeologists to determine whether significant archaeological resources may still survive on the property. Therefore, the potential for additional requirements to protect archaeological resources exists with any project that involves ground disturbing activities.

The applicant can speed along the archaeological review process by requesting a Preliminary Archaeological Assess-

ment from Alexandria Archaeology at the earliest date. Call (703) 838-4399, Tuesday through Saturday, 9am to 5pm. Alexandria Archaeology is located on the third floor of the Torpedo Factory Art Center.

• RESIDENTIAL ZONES

In residential zones, the application for the demolition of a structure in whole or in part that involve ground disturbing activities is reviewed by City archaeologists. In most cases, the applicant is required to notify Alexandria Archaeology before ground disturbance, so that a City archaeologist may monitor this work and record significant finds. However, when a property has a high potential for containing significant archaeological resources, a City archaeologist may request permission to excavate test samples in the affected area before the project begins.

• COMMERCIAL ZONES

In commercial zones and residential projects involving the construction of three or more houses, the ground disturbing activities associated with the demolition of existing structures in whole or in part may necessitate compliance with the Alexandria Archaeological Protection Procedure (§ 11-411 of the Zoning Ordinance). The specific requirements may be obtained from the City Archaeologist. Occasionally, compliance in such projects may require the property owner to contract with an independent archaeologist to document conditions before and during construction. Property owners should contact the City Archaeologist as early as possible so that there are no project delays.

CHAPTER 5

ADDITIONS - RESIDENTIAL

INTRODUCTION

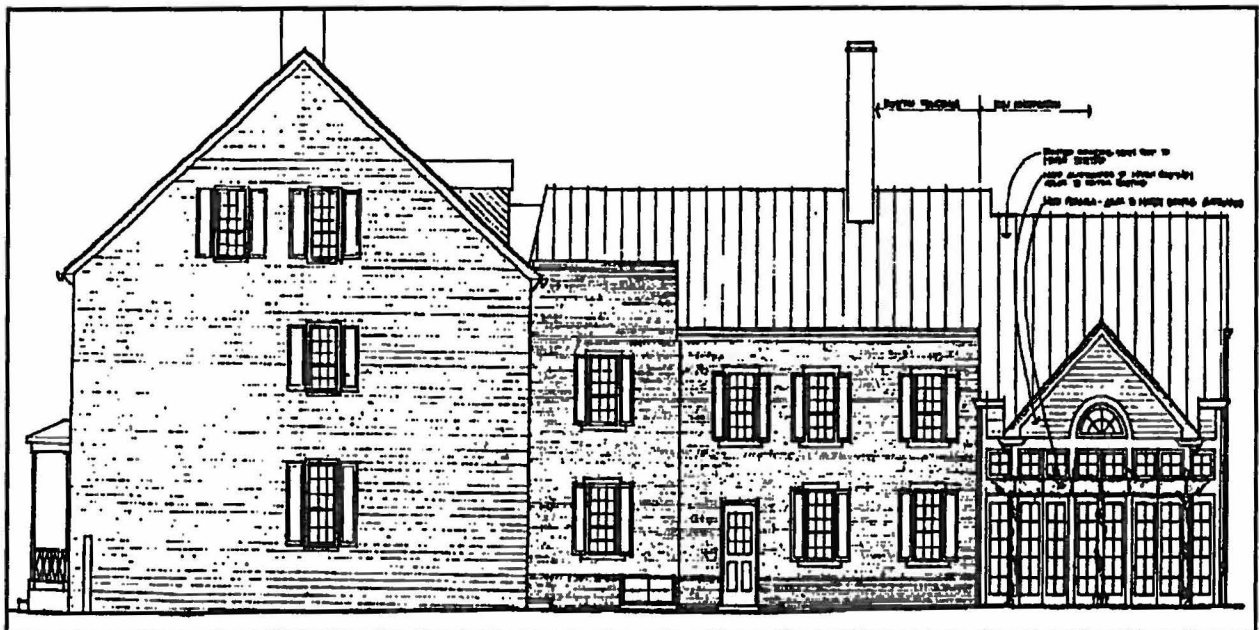
The construction of additions to residential buildings that are visible from a public way require the review and approval of a certificate of appropriateness by the Boards of Architectural Review.

The character of the historic districts is primarily defined by its residential structures. Such structures range in age from before the founding of the city in 1749 to the present day. Expansion of the housing stock within the historic districts is continual and since the founding of the Board of Architectural Review in 1946, the approval of the design of new residential buildings and additions has been one of the primary concerns. These guidelines are intended to provide information to property owners about the

Boards' philosophy for the design of additions to existing residential buildings.

These guidelines apply to additions to existing residential buildings that lie outside of the waterfront area or which do not front on Washington Street. Residential additions in those areas must meet additional requirements which are set forth in the Guidelines for Washington Street and the Guidelines for the Waterfront. The waterfront area is defined in the Zoning Ordinance as Height District #3, Potomac River, whose boundaries are east of Union Street to the River and extend from Pendleton Street south to the Woodrow Wilson Bridge (§6-400 of the Zoning Ordinance).

The guidelines should be viewed as a distillation of previously accepted design approaches in the historic districts. The guidelines should not be viewed as a device that dictates a specific design response nor should the guidelines be viewed as prohibiting a particular design approach. There may be better ways to meet some design objectives that have not been reviewed by the Boards in the past. New and untried approaches to common design problems are encouraged and should not be rejected out of



Rear addition to a ca. 1786 residence maintains the general house form, but makes use of traditional materials in a contemporary style.

SOURCE: 212 South Fairfax Street, BAR Case #91-206, Bowie Gridley Architects

hand simply because they appear to be outside the common practices outlined in the guidelines.

As a general rule, the stylistic characteristics of additions to residential buildings should reflect the historical architectural styles found within the historic districts. Because of the long history and diversity of architectural styles in Alexandria, the Boards do not consider this a limiting factor. It is the strong preference of the Boards that architectural elements of particular styles not be mixed and matched on the same addition. For example, Victorian windows and surrounds should not be combined with a Federal style cornice on an addition.

Architectural styles in Alexandria have been more conservative than in other parts of the country. The approvals of the Boards have reflected this since the establishment of the historic districts. As a general rule, the Boards favor contextual background buildings which allow historic structures to maintain the primary visual importance. Singular buildings in the latest architectural vocabulary are generally discouraged.

It is not the intention of the Boards to dilute design creativity in residential additions. Rather, the Boards seek to promote compatible development that is, at once, both responsive to the needs and tastes of the late-20th century while being compatible with the historic character of the districts. This balancing act will clearly be different in different sections of the historic districts. For example, the design approach for residential additions for late-18th and early-19th century buildings on Royal Street will be different than for 20th century urban rowhouses on Oronoco Street. Additions must be designed so that they are compatible with both the architectural character of the existing house and the immediate neighborhood.

These guidelines should be used in conjunction with the guidelines for specific architectural elements contained in Chapter 2. For example, that chapter contains information on such topics as window and door treatments, siding and chimneys and flues which must be appropriately combined to create a building that is compatible with the architecture in the districts.

While the mandate of the Boards is for the review of those portions of a property visi-



Rear addition for a townhouse in Yates Garden uses the same design vocabulary as found on the main structure.

SOURCE: 723 South Royal Street, BAR Case #91-77, Dennis Roach, designer

ble from a public way, in certain instances it may be necessary to review portions of a project which may not be readily visible from a public way where such portions effect the scale, mass or design of those portions visible from a public way.

It is the policy of the Boards not to review conceptual design plans. The Boards strongly prefer to review complete design submissions. In order to ensure that applications will meet this requirement, applicants are encouraged to meet with B.A.R. Staff as early as possible during the design development stage to review proposals and zoning requirements.

REQUIREMENTS

- All applications for additions to existing residential structures must comply with the requirements of the zoning regulations prior to consideration by the Boards of Architectural Review. The specific requirements may be obtained from the Zoning Administrator (703/838-4688).

- Side, rear and front yard requirements
Additions must be removed a certain num-

ber of feet from a property line regardless of the location of the existing building. This setback will depend upon the specific zone.

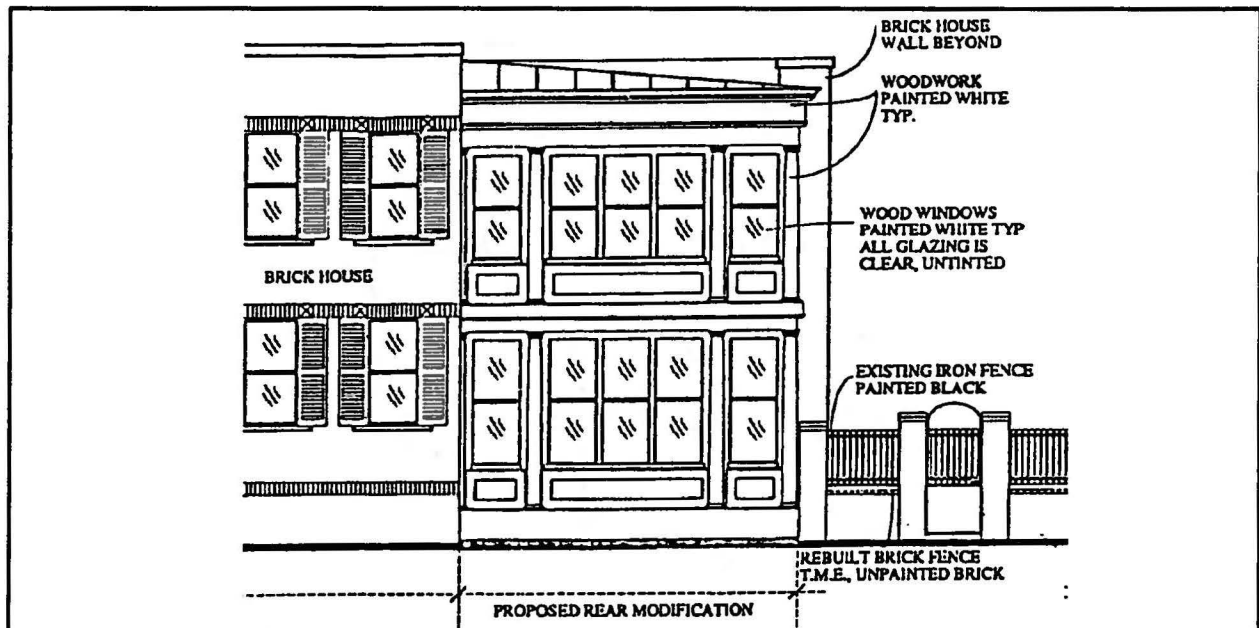
- Open space requirements

A certain amount of land must be maintained as open space to ensure adequate light and air, absorb water runoff and help prevent the spread of fire. The amount of open space required varies by zone. Driveways and parking areas cannot be used to satisfy the open space requirement.

As a general rule, land under a covering such as a canopy, roof, eave, or deck may not be counted as part of the required open space.

- Vision clearance

There is a general City requirement that buildings on corner lots must maintain a vision clearance at the corner for purposes of transportation safety. In such instances, structures may be no higher than 42" (3' 6") above the curb. There is also a general policy to maintain the average front building line in the historic districts. Therefore, the Zoning Ordinance gives the Boards of Architectural Review the power to waive this requirement as well as other yard require-



Rear two story addition uses compatible traditional materials in a contemporary manner to create a differentiation with the existing 20th century residence.

SOURCE: 230 South Fairfax Street, BAR Case #89-115, Robert Holland, architect

ments in the vision clearance area where the maintenance of the building line is important to the character of the blockface.

- Generally speaking, building height for residential construction is limited to 35 feet but may be increased in certain zones to 45 feet with approval of a Special Use Permit by City Council.

- The addition cannot result in the total building exceeding the current Floor Area Ratio (F.A.R.) of the applicable zone.

- Additions to multi-family residential structures which exceed one-third of the gross floor area of the existing structure or 3,000 square feet require the approval of a Site Plan by the Planning Commission (See §11-400 of the Zoning Ordinance). Information on Site Plan requirements may be obtained from the Site Plan Coordinator, Department of Transportation and Environmental Services, Room 4130, City Hall (Telephone: 703/838-4318).

- Additions to residential buildings which require the approval of a Site Plan must comply with the provisions of the Alexandria Archaeological Protection Procedure

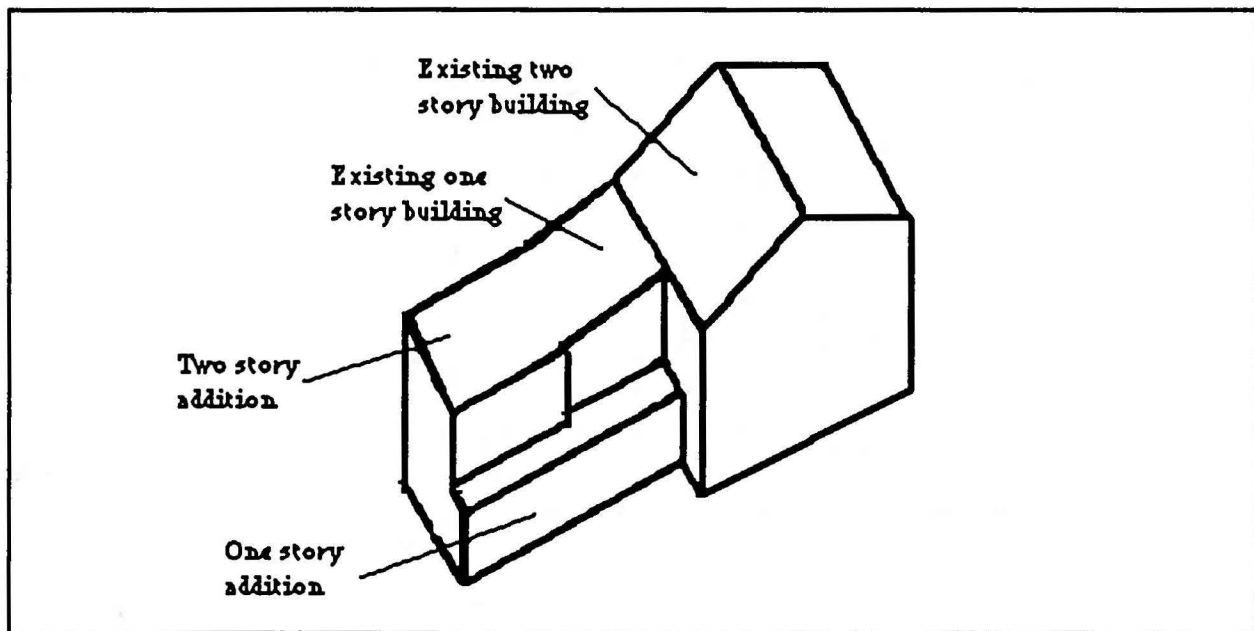
(§11-411 of the Zoning Ordinance). The specific requirements may be obtained from the City Archaeologist, Alexandria Archaeology, 105 North Union Street, 3rd Floor. (Telephone: 703/838-4399).

- Construction of all additions to residential buildings must meet the requirements of the Virginia Uniform Statewide Building Code (USBC) and require the issuance of a building permit by Code Enforcement.

- Penetration of a wall located closer than 3' to the interior property line for purposes of installing a window or a vent opening is not permitted (USBC).

- Additions to residential buildings must conform to the requirements of the applicable small area chapter of the Master Plan. In the Old and Historic Alexandria District, the Small Area Plan chapters include Old Town, Old Town North, Northeast and Potomac Yard/Potomac Greens. In the Parker-Gray District, the Small Area Plan chapters are Braddock Road Metro Station and Northeast.

- Tree removal for construction of additions to residential buildings requires prior



Isometric drawing showing massing of proposed rear addition.

SOURCE: 318 North Alfred Street, BAR Case #92-67, John Savage, Architect, P.C. (re-drawn)

approval of the City Arborist.

- Construction of additions to residential buildings on lots which involve ground disturbance of 2,500 square feet or more of land area must comply with the requirements of the Chesapeake Bay Protection Ordinance.

GUIDELINES

- Applicants should consult Chapter 2, Building Alterations, regarding guidelines for specific elements of a proposed addition. For example, Chapter 2 provides information on compatible window treatments, paint colors and building materials.

- **Style**

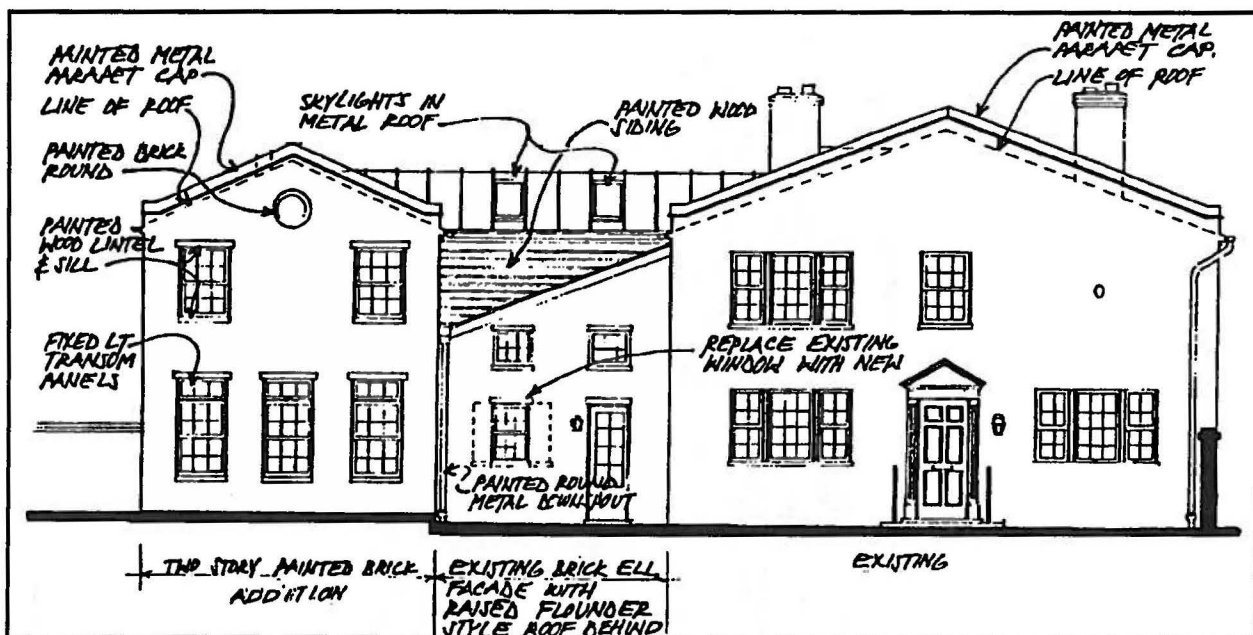
No single architectural style is mandated. The design of an addition should respect the heritage of the historic building to which it is attached as well as adjacent buildings. The Boards generally prefer addition designs that are respectful of the existing structure and which seek to be background statements or which echo the design elements of the existing structure.

Respectful additions make use of the design vocabulary of the existing historic structure. For example, an academic or high-style design solution for an addition to a vernacular historic building is often inappropriate. Imitative additions, likewise, make extensive use of the architectural characteristics of the original building.

Another approach to a design for a residential addition is one which creates a distinct yet compatible contrast with the original building through the use of differing materials, colors and the abstraction of the principal design elements of the original building.

- **Differentiation**

An addition to a historic building should be clearly distinguishable from the original structure. An addition should not obscure or dilute the architectural and historic importance of an existing building by creating a false sense of the past. To create a differentiation between the existing building and an addition, different traditional materials can be utilized. For example, a wood addition would be appropriate for an existing brick residential structure. In addition, changes in the same building material can be used to create differentiation. For example, a slight



Rear ell addition is sited to retain the roofline and footprint of an existing historic structure.
SOURCE: 307 Queen Street, BAR Case #92-147, Burns & Associates, Architects

change in the brick color or size could differentiate an addition from an existing building. Offsetting the footprint of the addition to break the wall plane of the existing building can also be used as a means of creating a differentiation between the old and the new.

- Height

The height of an existing building can be increased with an addition.

- *Single family houses*

The majority of single family houses in the historic districts are 2 or 3 stories in height. Additions to increase the height should reflect this traditional pattern. Therefore, additions to single family houses should add no more than one floor to the roofline of an existing structure and then only if the significant architectural character of the house and blockface are preserved.

- *Multi-family structures*

Multi-family structures such as apartment buildings often exceed the prevailing height of single family houses. Additions which increase the height of such structures should not adversely impact the light and air of nearby residential properties.

- Massing

Building massing is the enclosed volume which constitutes a building's exterior form. In the historic districts, residential additions should reflect the building massing prevailing along the blockface. For example, uneven massing should be avoided along a blockface which has buildings of uniform massing.

- Form

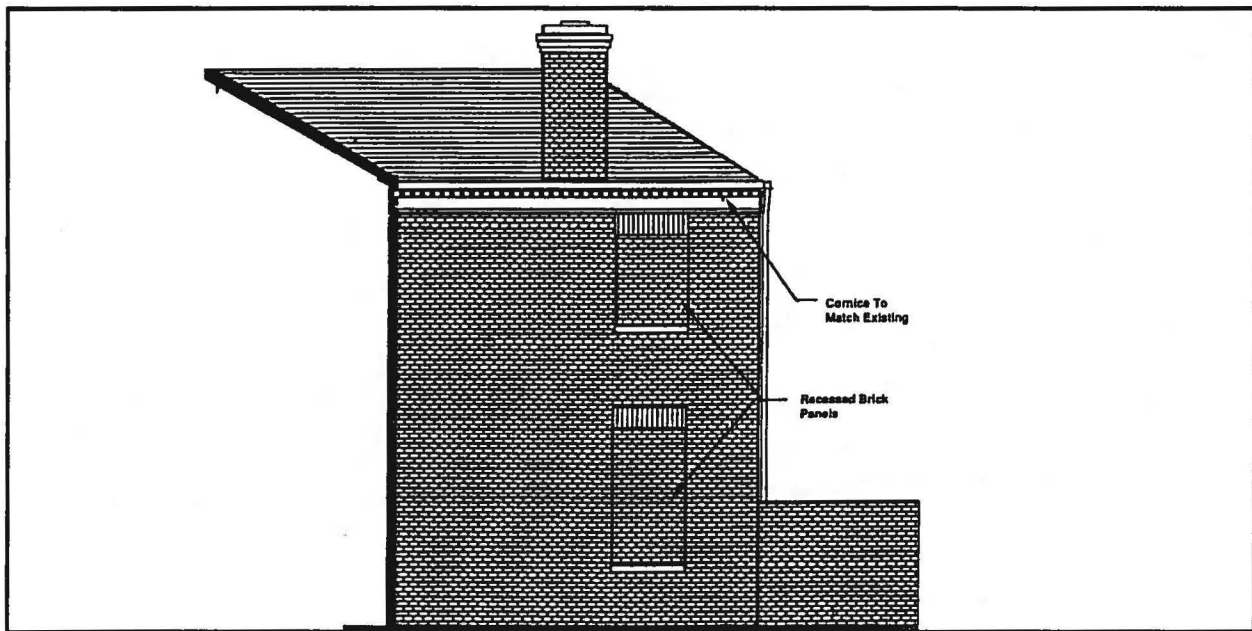
Form expresses the prevailing shape of a residential building. Generally, additions to residential structures should not overwhelm the existing structure or neighboring buildings. The existing form of a residential building should generally be retained in the expression of the addition.

- Siting

Front, side and rear yard setbacks should reflect the prevailing pattern in the immediate vicinity of the proposed addition.

- Fenestration

The fenestration pattern, i.e. the relationship of solid to void, such as windows, doors, and walls, should be compatible with the fenestration pattern on the existing structure. In certain instances, a change in the fenestration



False windows provide visual relief of the apparent mass of the side elevation of an addition.

SOURCE: 407 Franklin Street, BAR Case #90-238, The Vincent Carlin Company, architects

- Roof

Roofing materials should reflect the traditional use of wood, metal and slate in the historic districts. Additional information is provided in the Roofing section of Chapter 2, Building Alterations.

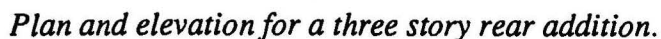
- Spacing Between Buildings

- Building Orientation

- Materials

- Architectural Detailing

Side and rear walls which face open areas should be designed with as much attention to detail as the primary facade. It is the general preference of the Boards that surface ar-



Residential Additions - Page 7

tication be provided on otherwise unrelieved side walls to visually break-up apparent massing through such means as the articulation of false windows, pilasters and changes in brick patterns.

• Utilities

While the Boards are cognizant of 20th century infrastructure requirements, such items as electrical meters and transformers, and HVAC equipment should be visually and acoustically screened from public view.

• Color

The color proposed for residential additions should be compatible with that in use on historic buildings in the districts. The B.A.R. Staff has developed a *Color Chart of Historically Accurate Paint Colors in the Old and Historic Alexandria District and the Parker-Gray District* which can be consulted to help determine appropriate colors which reflect the historic heritage of the City.

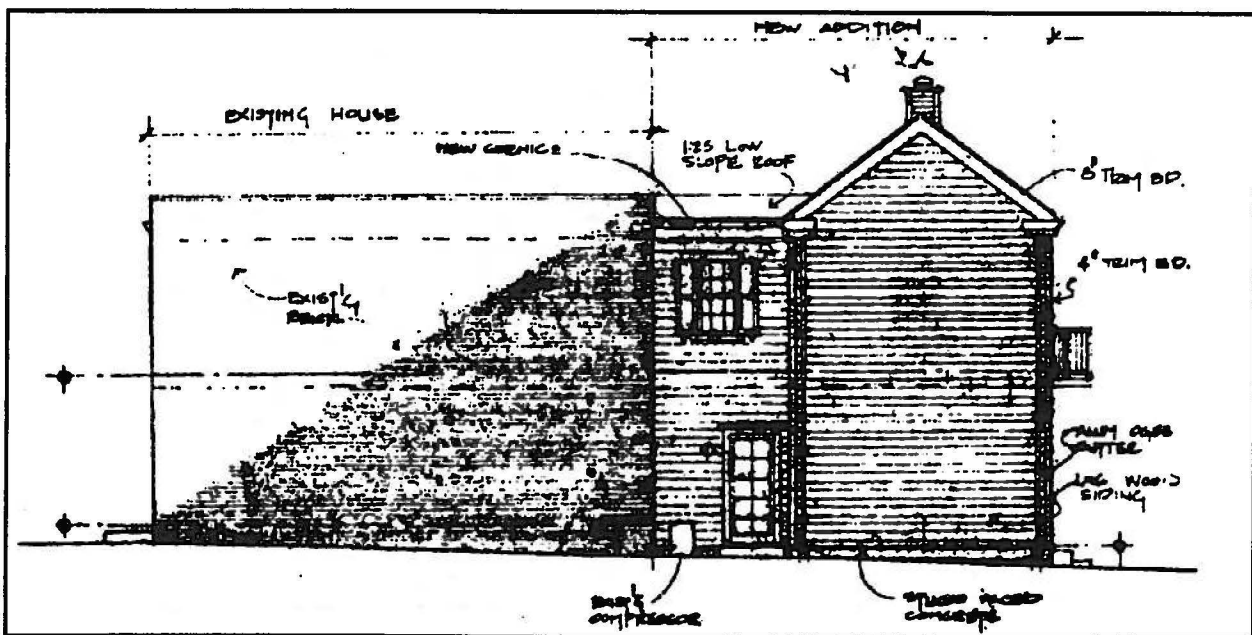
APPLICATION REQUIREMENTS

In order to properly evaluate the appropriateness of a design for a residential addition, the Boards of Architectural Review require that an accurate depiction of the design and its relationship to the immediately surrounding area be presented. Sketches are not acceptable. Most designs for construction of additions to buildings presented to the Boards of Architectural Review are prepared by design professionals, such as architects and engineers; however, a professionally prepared submission is not mandatory. Applicants, however, should be aware that drawings sealed by an architect or engineer licensed in Virginia may be required by the Code Enforcement Bureau prior to the issuance of a building permit.

All applications for approval of residential additions must contain the following information:

Alexandria Business License

Proof of a valid Alexandria Business License is required at the time of application for contractors, subcontractors, architects and designers.



Rear two story addition to a 1950s brick rowhouse.

SOURCE: 620 South Pitt Street, BAR Case #91-35, Jan Noble, architect

Photograph of Existing Conditions

Clear photographs of the site and surrounding properties are required for reference.

Plot Plan/Site Plan

A plot or site plan accurately showing the location and dimensions of the addition including property lines, accessory structures, fences and gradelines is required. A roof plan showing water drainage and location of mechanical units should also be indicated.

Drawings

Drawings accurately representing all elevations of changes to the proposed structure indicating materials and overall dimensions, including height, are required. In addition, a drawing showing the contextual relationship of the proposed structure to existing adjacent buildings is required. The location of such ancillary items as HVAC units, heat pumps, roof guards, utility meters and risers should be noted on the drawings. The drawings should have a minimum scale of $3/32" = 1'$, however, larger scale drawings may be required. At least one set must meet the maximum permit size of $24" \times 36"$. Additional copies of the required drawings may be reduced if they are clearly legible.

Floor Area Ratio and Open Space Calculations

Applicants must provide accurate F.A.R. and open space calculations for the new addition. Forms for these calculations are available at the time of application.

Materials

The materials to be used for the structure must be specified and delineated on the drawings. Actual samples may be provided, if appropriate.

Color

The proposed color of the structure and trim-work must be indicated and actual color samples provided.

RELATED SECTIONS

Guide to the B.A.R. Process

Use of the Design Guidelines

History of the physical development of the historic districts

Chapter 2 - Building Alterations

Accessibility for Persons with Disabilities

Accessory Structures

Awnings

Chimneys & Flues

ARCHAEOLOGICAL CONSIDERATIONS

The construction of additions to residential buildings creates ground disturbing activities which may affect archaeological resources. With its rich history, the City of Alexandria is particularly concerned about its archaeological heritage. Archaeological resources in the historic districts are great in number and highly diverse in materials. They often consist of ceramic and glass fragments in the backyards of historic properties; however, archaeological resources are also brick-lined shafts in yards and basements; brick kilns; foundations, footings, postholes and builders trenches of non-extant buildings; landscape features such as walkways and gardens; and even American Indian artifacts which pre-date colonial Alexandria. Often these clues to the City's past appear to be unimportant debris, yet when the artifacts and building remains are excavated and recorded systematically, they provide the only knowledge of lost Alexandria.

Every application to the B.A.R. which potentially involves ground disturbance is reviewed by the City Archaeologist

to determine whether significant archaeological resources may still survive on the property. Therefore, the potential for additional requirements to protect archaeological resources exists with any project that involves ground disturbing activities.

The applicant can speed along the archaeological review process by requesting a Preliminary Archaeological Assessment from Alexandria Archaeology at the earliest date. Call (703) 838-4399, Tuesday through Saturday. Alexandria Archaeology is located on the third floor of the Torpedo Factory Art Center.

• RESIDENTIAL ZONES

In residential zones, the application for construction of additions is reviewed by City archaeologists. In most cases, the applicant is required to notify Alexandria Archaeology before ground disturbance, so that a City archaeologist may monitor this work and record significant finds. However, when a property has a high potential for containing significant archaeological resources, a City archaeologist may request permission to excavate test samples in the affected area before the project begins.

Decks
Exterior and Storm Doors
Dormers
Roof Drainage Systems
Electrical and Gas Service
Fences , Garden Walls & Gates
HVAC Systems
Exterior Lighting
Paint Colors
Driveways and Paving
Planters
Porches
Roofing Materials
Security Devices
Shutters
Siding Materials
Skylights
Solar Collectors
Stoops, Steps and Railings
Windows
Storm Windows
Chapter 4 - Demolition of Existing Structures

NOTE: Illustrations are provided for information only. Applications for certificates of appropriateness are reviewed and approved on a case-by-case basis.

ADOPTED BY THE BOARDS OF
ARCHITECTURAL REVIEW, 5/25/93