

Docket Item # 12
BAR CASE # 2014-0069

BAR Meeting
April 2, 2014

ISSUE: Permit to Demolish
APPLICANT: 417 N LLC by Ray Lewis
LOCATION: 419 North Lee Street
ZONE: CD/Commercial

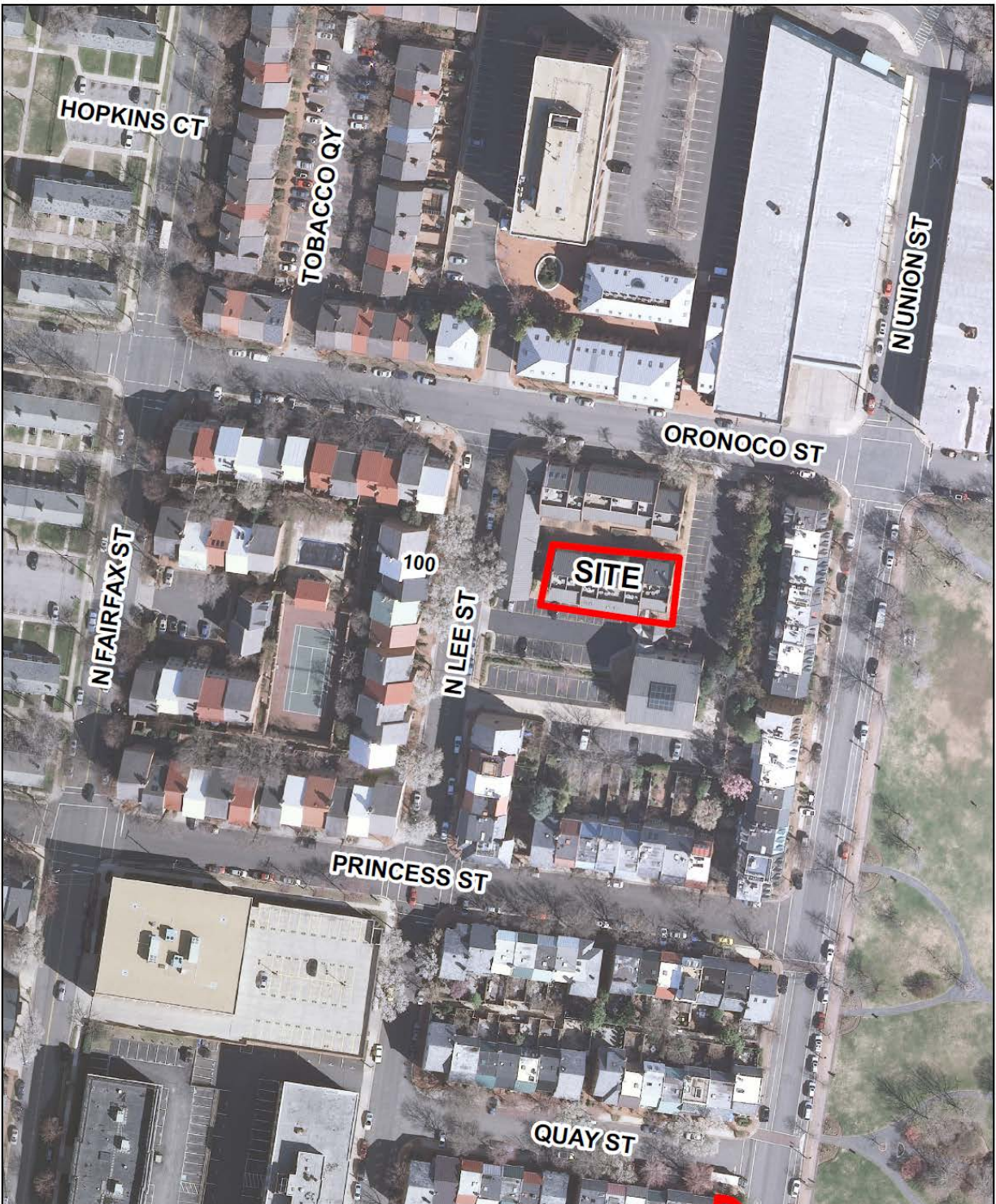
STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish, as submitted.

****EXPIRATION OF APPROVALS:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.

****APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.



BAR2014-0069



I. ISSUE

The applicant is requesting approval of a Permit to Demolish for the installation of a rooftop mechanical room associated the handicapped accessible elevator to be constructed within the building at 419 North Lee Street. The total area of demolition is approximately 63 square feet of flat roof area. The future mechanical room will not be visible from a public way.

II. HISTORY

According to the City's real estate records, the brick building at 419 North Lee Street is part of a larger condominium office complex, Lee Street Square, constructed in **1980**.

Buildings in this complex date from an earlier period, most likely from the site's association with the City's gas works. Alexandria Gas Company was located on this site beginning in 1851, and historic map research shows a warehouse in this location.

III. ANALYSIS

Permit to Demolish

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, none of the criteria for demolition are met and the Permit to Demolish should be granted. The area proposed for demolition is minimal, and is located on the flat roof slope which is surrounded by the building's false mansard roof, thus will not be visible from the public right-of way. Furthermore, although a portion of the buildings in the complex may date from the 19th century, the subject building was constructed as part of the late 20th century re-development. No character defining features of uncommon design or historic merit will be impacted, nor do the small areas of demolition compromise the integrity of this building as a whole. Staff supports the elevator shaft installation, as submitted.

STAFF

Michele Oaks, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Zoning Comments:

C-1 The section that shows the height of the proposed elevator shaft is not legible. Proposed height of the elevator shaft cannot exceed 15' above the roof line. Please revise and resubmit.

Code Administration

No comments received.

Transportation and Environmental Services

No comments received.

Alexandria Archaeology

This project will not cause ground disturbance. No archaeological action is required.

V. ATTACHMENTS

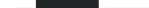
1 – Supporting Materials

2 – Application for BAR2014-0069 at 419 N Lee Street

DATE: JANUARY 31, 2014

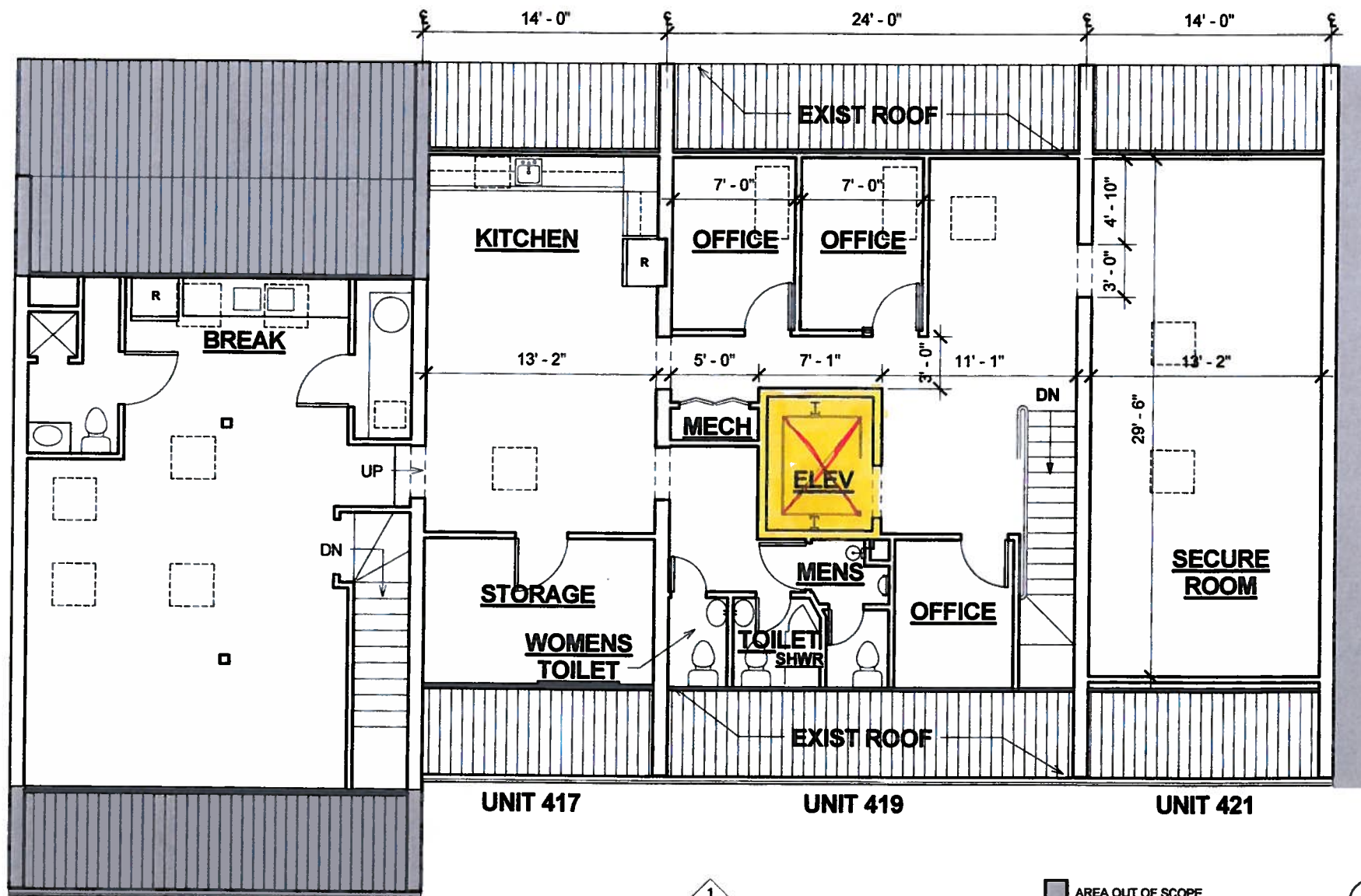
AREA OUT OF SCOPE

GRAPHIC SCALE: 1 INCH = 5'-4" FEET



0 2'-8" 5'-4" 10'-8" 16'-0"

3



THIRD FLOOR PLAN

SCALE: 3/16" = 1'-0"

DATE: JANUARY 31, 2014

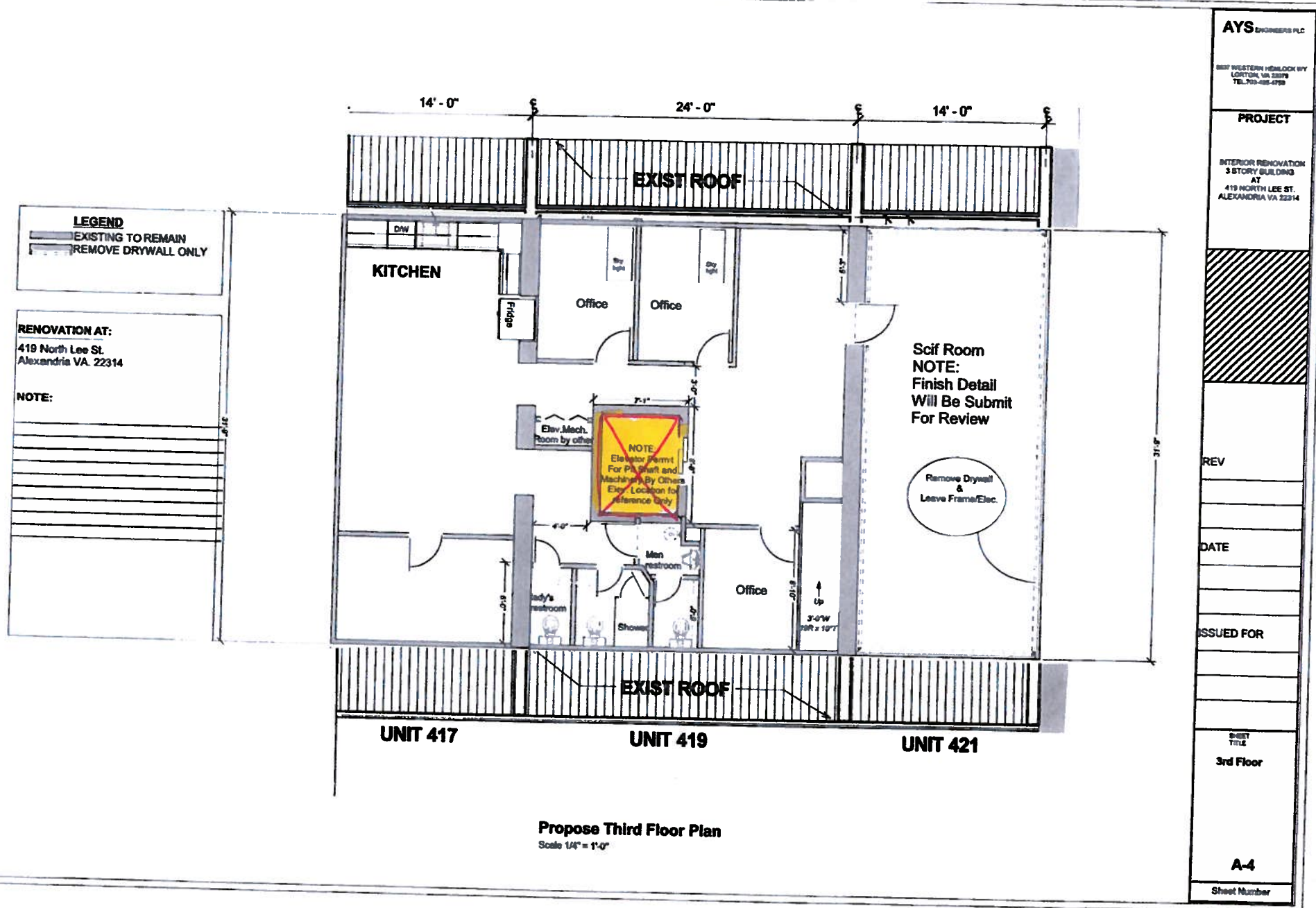
Note: Layout taken from plans furnished by NACDS & Skyline

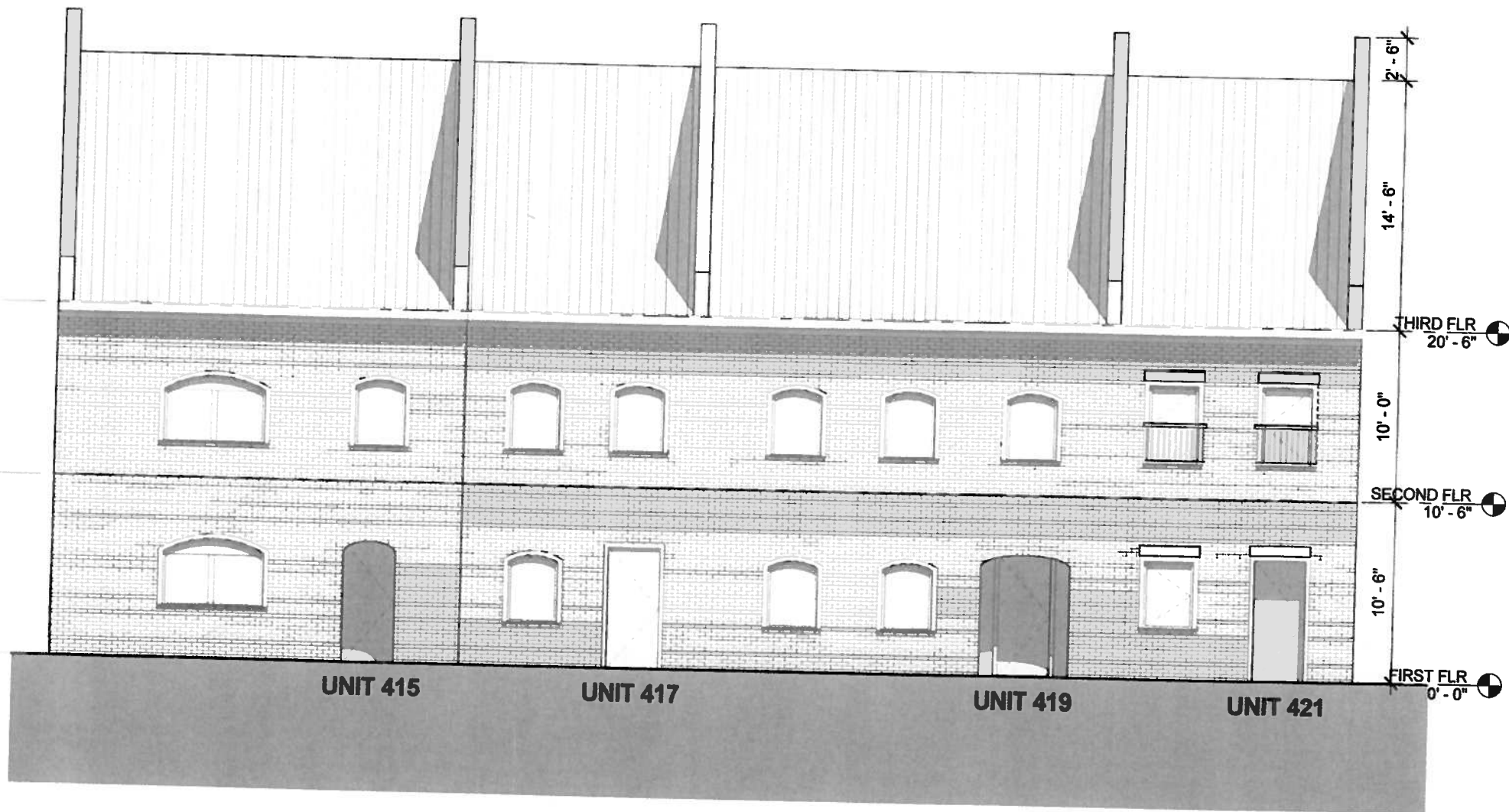


AREA OUT OF SCOPE

GRAPHIC SCALE: 1 INCH = 5'-4" FEET





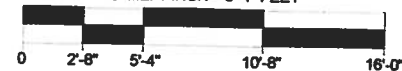


EXTERIOR ELEVATIONS

SCALE: 3/16" = 1'-0"

DATE: NOVEMBER 12, 2013

GRAPHIC SCALE: 1 INCH = 5'-4" FEET



1 2 3 4 5 6 7 8 9 10 11 12 13 14

A

B

C

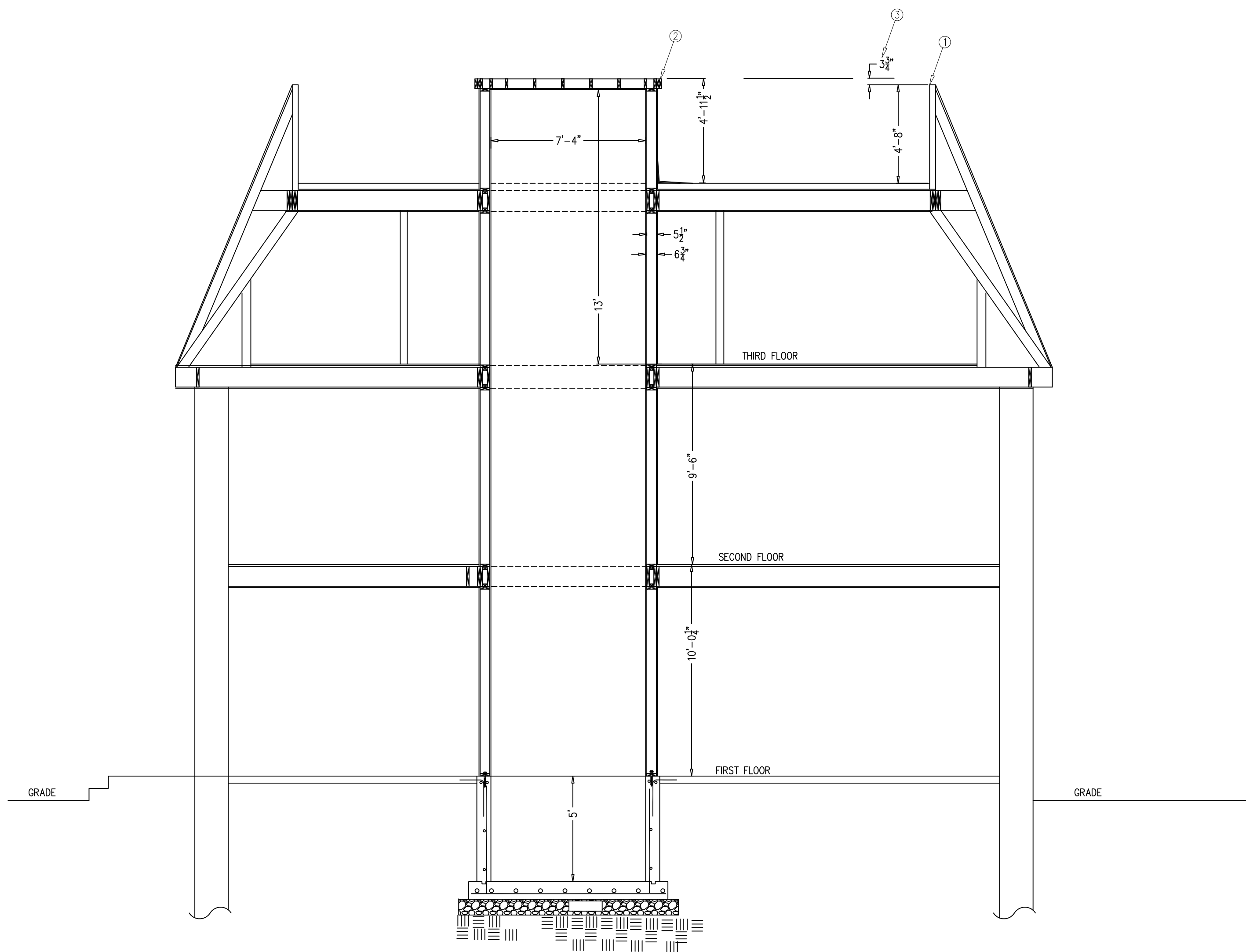
D

E

F

G

H



1
A4 BUILDING SECTION AT THE HOISTWAY
SCALE: 1/4" = 1'-0"

A4 NUMBER NOTES:

1. EXISTING ROOF PARAPET
2. PROPOSED HOISTWAY ROOF
3. PROPOSED HOISTWAY EXTENSION ABOVE EXISTING BLDG PARAPET WALL. IT IS NOTED THAT THE HOISTWAY EXTENSION WILL NOT BE VISIBLE FROM ANYWHERE ON THE GROUND.



ANCONA & ASSOCIATES, Inc.
1686 VILLAGE GREEN, #201
CROFTON, MD 21114
Tel. (301) 261-6936

PROJECT:

ELEVATOR ADDITION
419 N LEE STREET
ALEXANDRIA, VA 22314

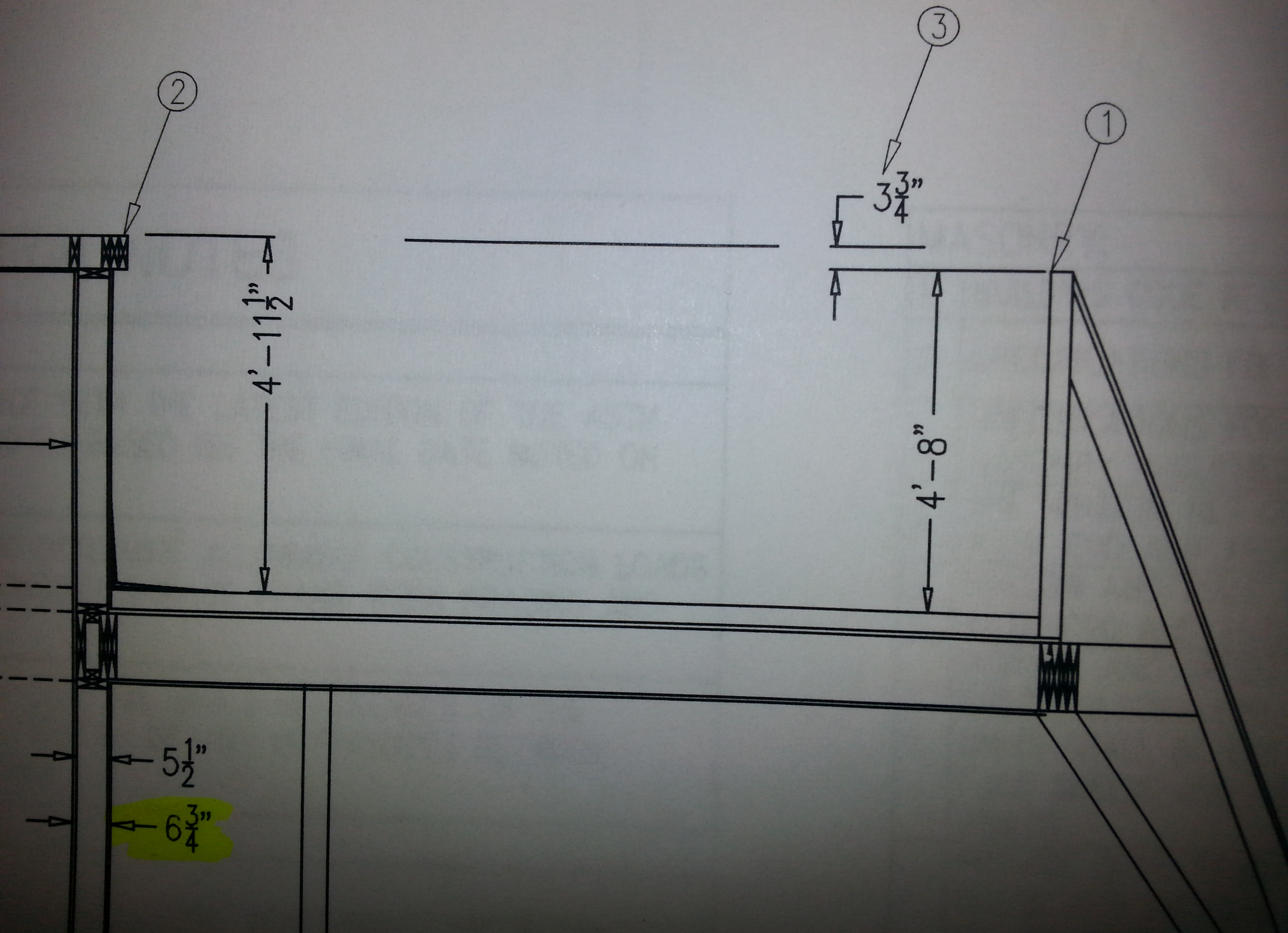
ENGINEER:
ANTONIO ANCONA, P.E. MD. LIC. No. 10894
VA. LIC. No. 18368
DC LIC. No. 7877

DWG. NO.: AA-14016
SCALE: AS NOTED
REV. NO. 0
DATE: 02-28-2014
03-14-2014

BUILDING SECTION

A4

1 2 3 4 5 6 7 8 9 10 11 12 13 14



ALTERATION AND REPAIR

419 N LEE STREET, ALEXANDRIA VA 22314

AYS ENGINEERS, P.C.
8837 WESTERN HENLOCK WAY
LORTON, VA 22078
TEL: 703-496-4719

CONSULTANTS

OWNER

PROJECT NAME AND ADDRESS

ALTERATION AND REPAIR

419 N LEE STREET
ALEXANDRIA, VA 22314

SHEET TITLE

COVER SHEET

PROFESSIONAL CERTIFICATION

REVISIONS

REV. NO.	DATE	ISSUED FOR

DESIGN BY AS

CHECK BY AS

PROJECT NO.

DATE

SCALE

SHEET

SHEET NUMBER
C-1

SCOPE OF WORK

SCOPE OF WORK: INTERIOR RENOVATION OF THREE OFFICE SUITS ON THE FIRST AND THIRD FLOORS ONLY. NEW RECEPTION AREA, NEW KITCHEN, NEW OFFICE SPACES AND RESTROOMS. NEW ELEVATOR PIT, SHUTTLE AND MACHINERY TO BE PROVIDED BY OTHERS.

CODE REVIEW

APPROXIMATION		CITY OF ALEXANDRIA, VIRGINIA	
APPLICABLE CODES		2009 VIRGINIA UNIFORM STATE MODEL CODE BUILDING CODE	
BUILDING		2009 VBC	
MECHANICAL		2009 MEC	
ELECTRICAL		2009 NEC	
PLUMBING		2009 IPC	
FIRE/HAZARDOUS		2009 IFBC	
FIRE		2009 IFBC	
ENERGY CONSERVATION		2009 EEC	
ACCESSIBILITY		2009 ADA	
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OCCUPANT LOAD CALCULATIONS TABLE 1024.1.1	
FIRST FLOOR	2138 SQ FT @ 100 SQ FT GROSS/PERSON = 21 PERSONS
SECOND FLOOR	2138 SQ FT @ 100 SQ FT GROSS/PERSON = 21 PERSONS
THIRD FLOOR	2138 SQ FT @ 100 SQ FT GROSS/PERSON = 21 PERSONS
TOTAL OCCUPANT LOAD OF BUILDING	= 63 PERSONS

EXIT CALCULATIONS		
OCCUPANT LOAD	# OF EXITS PER TABLE 1024.2	# OF EXITS PROVIDED
THIRD FLOOR - 21 PERSONS	1	1
SECOND FLOOR - 21 PERSONS	1	1
FIRST FLOOR - 63 PERSONS	2	2

GENERAL NOTES

- DO NOT SCALE DRAWINGS. DIMENSIONS GIVEN. LARGE SCALE DETAILS SHOWN OVER SMALL SCALE DRAWINGS. ALL DIMENSIONS ARE FROM FINISH TO FINISH UNLESS NOTED OTHERWISE.
- ANY DISCREPANCIES OR AMBIGUITIES SHALL BE REPORTED BY MEMORANDUM TO THE DESIGNER. ARCHITECT, ENGINEER OR OWNER PRIOR TO COMMENCEMENT OF WORK FOR INTERPRETATION AND CLARIFICATION.
- WORK SHALL CONFORM TO THE GOVERNING ORDINANCES AND ALL APPLICABLE AND CONSTRUCTION SPECIFICATIONS SPECIFIED BY OWNER.
- ALL CONSTRUCTION WORK TO BE PERFORMED IN ACCORDANCE WITH LOCAL BUILDING CODES.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS, METHODS, TECHNIQUES, EQUIPMENT AND PROCEDURES. SUBMITTALS OF WORK, AND FOR THE WORK PERFORMED BY SUBCONTRACTORS.
- THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL DIMENSIONS AND CONDITIONS DISCREPANCIES OR DISCREPANCIES SHALL BE NOTIFIED TO THE DESIGNER OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY OR DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- WHERE EXISTING CONDITIONS PREVENT THE SAFE CONNECTION OF NEW WORK, OR WHERE SUCH CONDITIONS PRESENT THE CONNECTION OF NEW WORK TO EXISTING WORK AS CONTINGENCY BY THE DESIGNER, THE CONTRACTOR SHALL SHALL CONTACT AND MAKE RECORDS UPON PROCEEDING WORK.
- THE CONTRACTOR SHALL PROTECT THE BUILDING PREMISES AND OCCUPANTS ON ADJACENT BUILDINGS AND THE PROJECT SITE FROM ANY AND ALL DAMAGE. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN NECESSARY CONFINEMENT, SHIELDING AND WORK RESTRICTIONS, AND PROVIDE TO REMAIN AT THE JOB SITE. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGES ATTRIBUTABLE TO HIS OPERATION. REPORT DAMAGES IMMEDIATELY TO THE DESIGNER WITHOUT DELAY.
- ALL PERMITS AND CONSENT SHALL BE OBTAINED.
- CONFORM TO THE CODES OF THE MECHANICAL, ELECTRICAL AND PLUMBING TRADES TO MAINTAIN EXISTING FUTURE CEILING HEIGHTS AND CLEARANCES AS SHOWN AND/OR REQUIRED BY CODE.

STRUCTURAL NOTES

CODE
2009 VUBC

DEBRON LOADS

ROOF LIVE LOAD = 30 PSF
GROUND SNOW LOAD = 30 PSF
FLOOR LIVE LOAD = 30 PSF
CORRIDORS ABOVE FIRST FLOOR = 40 PSF
FIRST FLOOR CORRIDOR = 100 PSF
PARTITION LOAD = 20 PSF

WIND
3-SECOND WIND GUST = 80 MPH
IMPORTANCE FACTOR = 1
WIND EXPOSURE = B

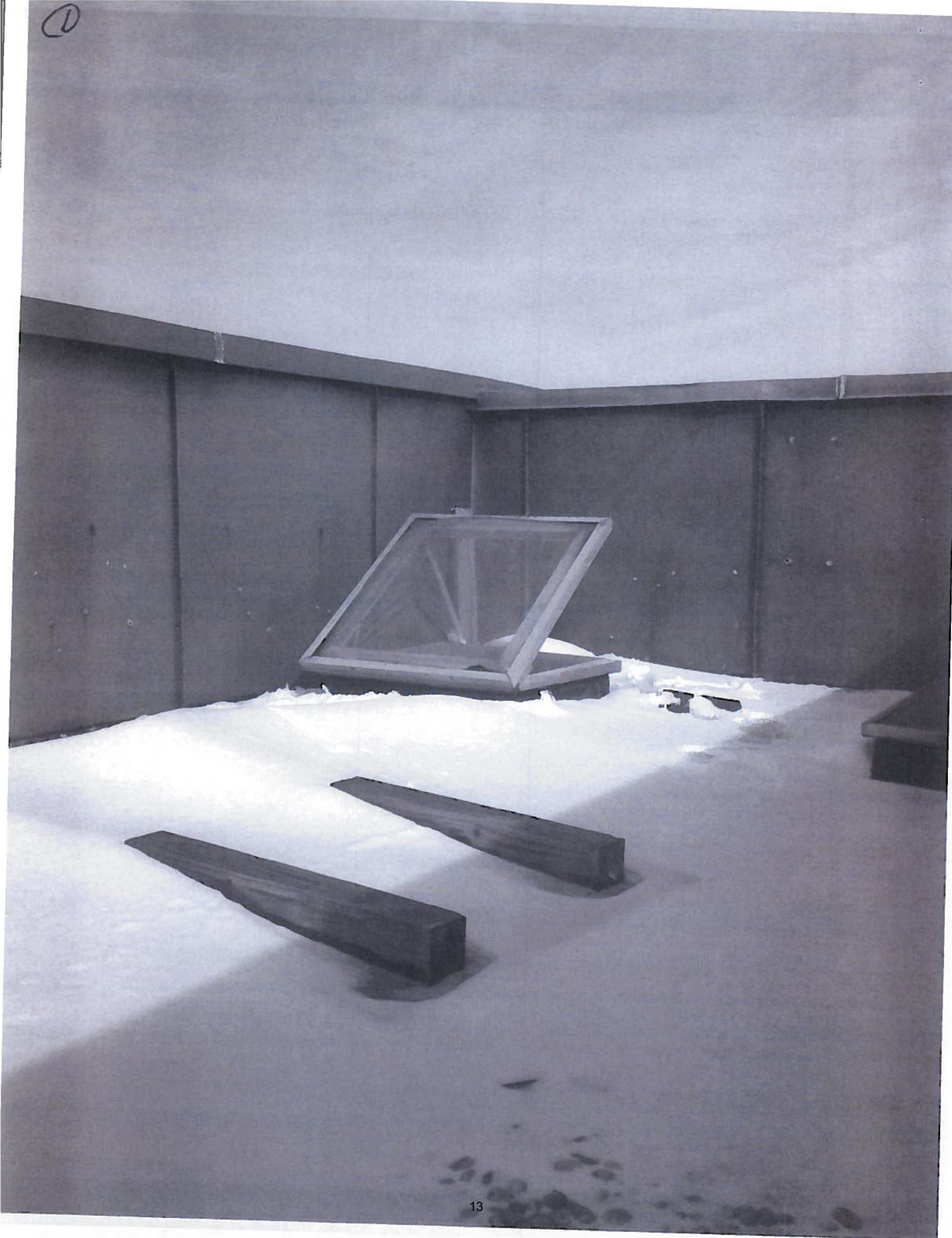
CONCRETE

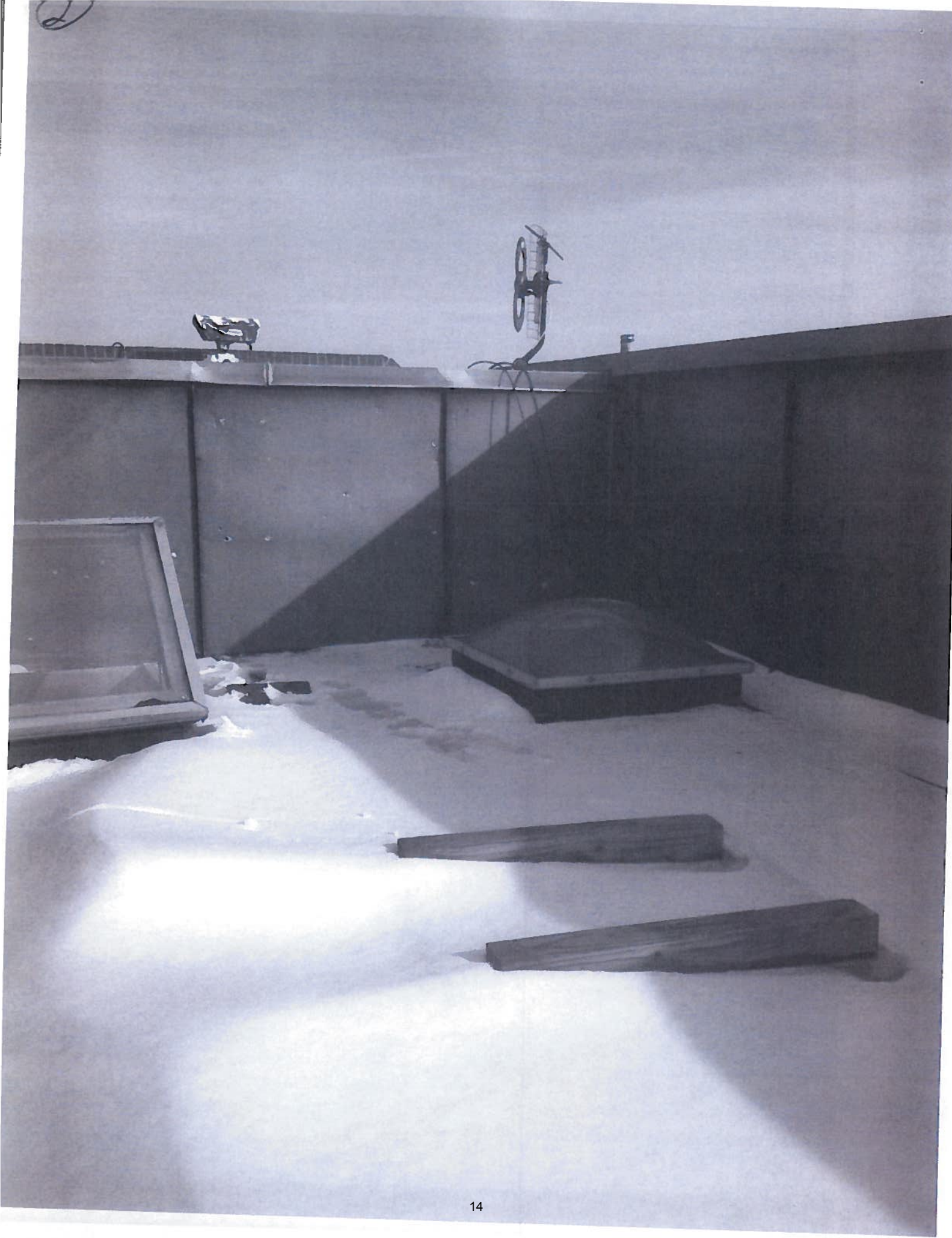
ALL CONCRETE WORK SHALL COMPLY WITH THE LATEST EDITION ON ACI-318. CONCRETE FOR FOOTINGS SHALL HAVE 28 DAY COMPRESSIVE STRENGTH OF $f'_c = 3000$ PSI. COVER FOR REBAR SHALL BE 3 INCHES CLEAR.

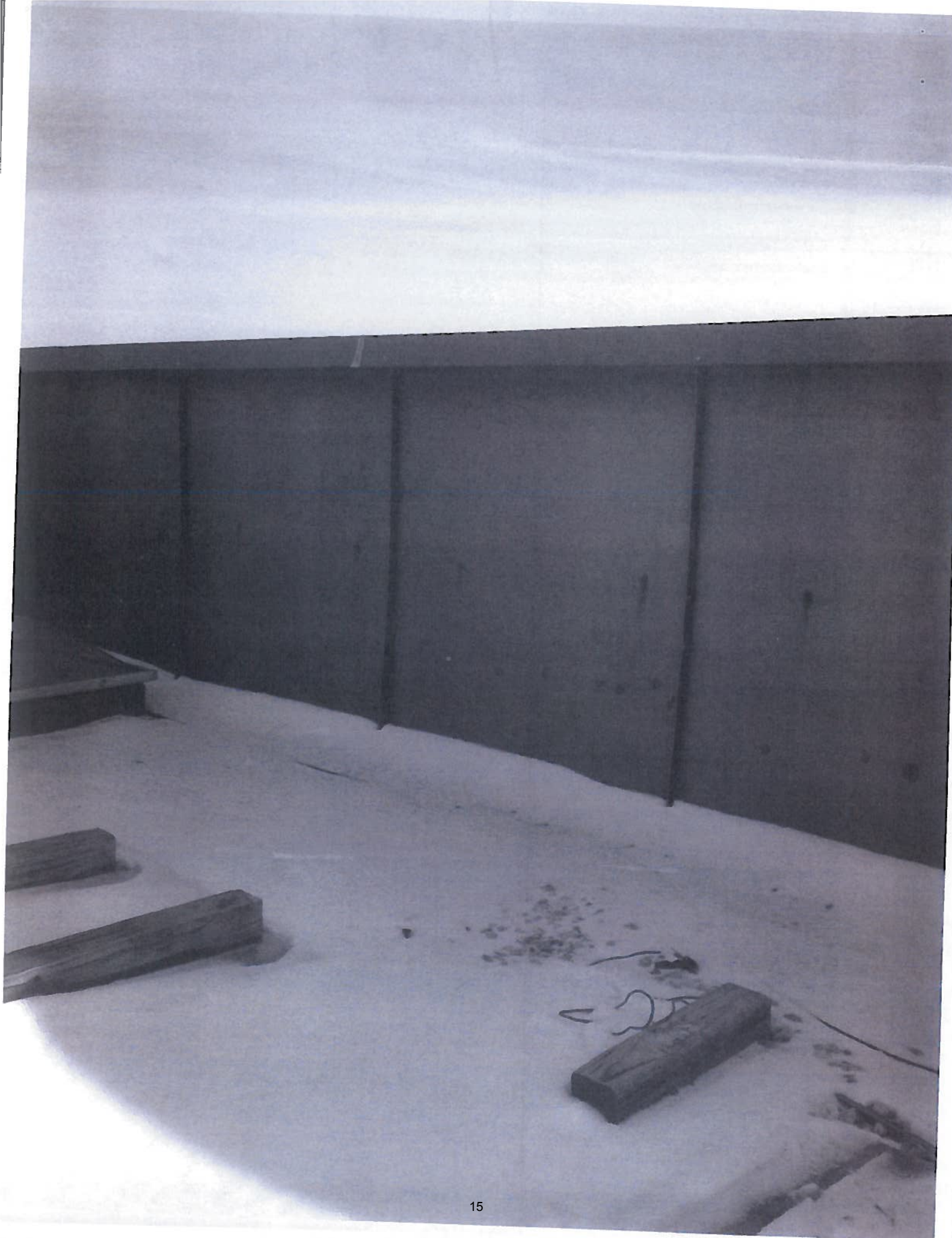
LUMBER

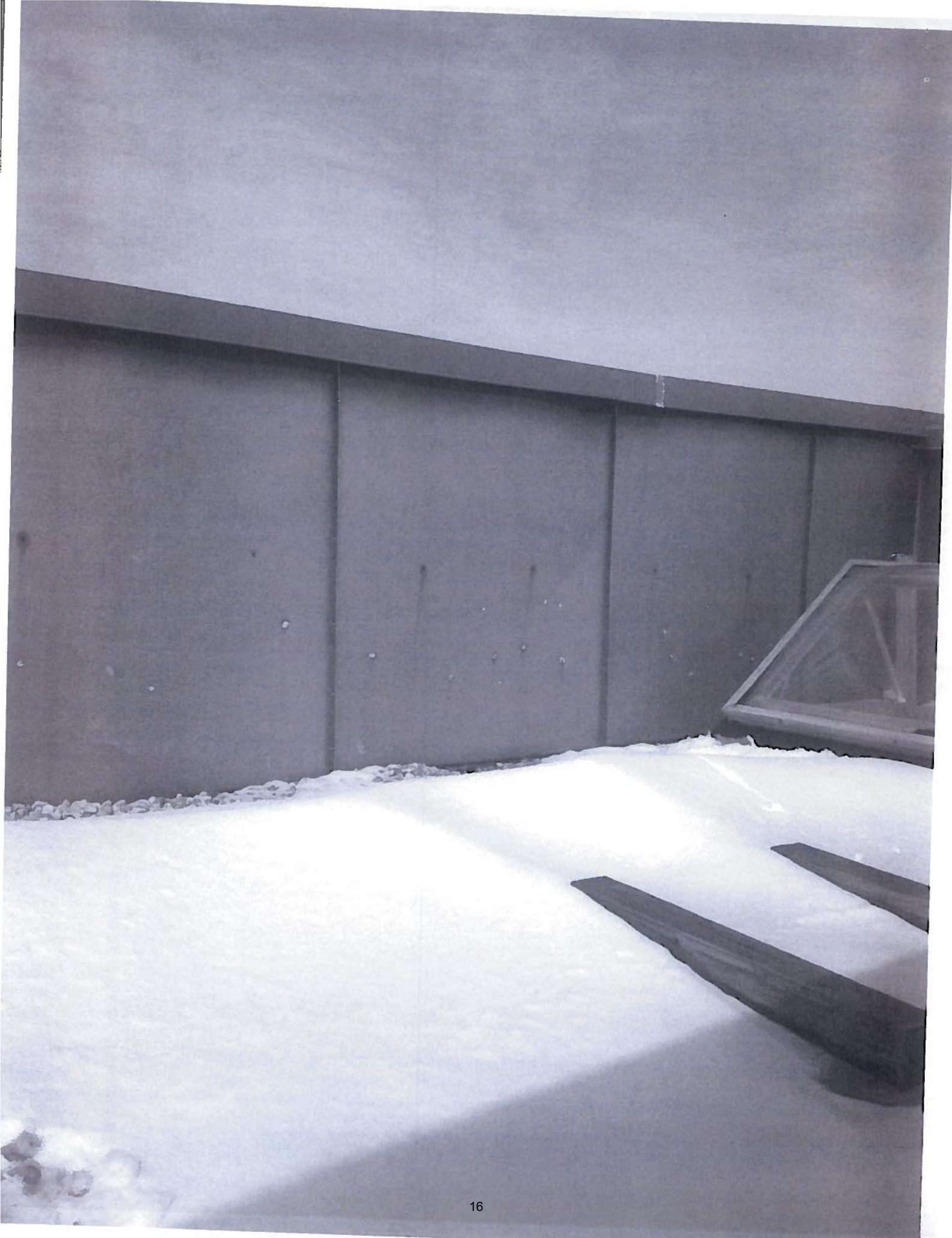
WOOD RAFTERS SHALL BE SPACED WITH $S_1 = 16$ IN. MINIMUM. WOOD JOISTS SHALL BE PRESSURE TREATED 40% GRADE SPF WITH $F_1 = 880$ PSI MINIMUM. WOOD STUD SHALL BE PRESSURE TREATED 40% GRADE SPF WITH $F_1 = 880$ PSI MINIMUM.

①









BAR Case # 2014-00069

ADDRESS OF PROJECT: 419 N. Lee Street

TAX MAP AND PARCEL: 065.01-05-12 ZONING: CD

APPLICATION FOR: (Please check all that apply)

☐ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business (Please provide business name & contact person)

Name: 417N LLC

Address: 417 N. Lee St.

City: Alexandria State: VA Zip: 22314

Phone: 703-373-4000 E-mail: Manager@jsch-lp.com

Authorized Agent (if applicable): ☐ Attorney ☒ Architect ☐ _____

Name: Per Ray Lewis Allen with

Phone: 703-869-6072

E-mail: Allen@SKyline Tech, Com

817-475-2149

Legal Property Owner:

Name: 417N LLC

Address: 417 N. Lee St

City: Alexandria State: VA Zip: 22314

Phone: 703-373-4000 E-mail: Manager@jsch-lp.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
☐ Yes ☒ No If yes, has the easement holder agreed to the proposed alterations?
☒ Yes ☐ No Is there a homeowner's association for this property?
☒ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☐ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--------------------------------------|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☒ ADDITION
- ☒ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

We are proposing to install a handicap accessible elevator from the first floor to the third floor. Installation of elevator override in existing mechanical roof pit.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☒ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Allen Willis

Printed Name: Allen Willis

Date: 3-4-14

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. 417N LLC	417 N. Lee St Alexandria, VA 22314	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 419 N. Lee St, Alexandria VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. 417N LLC	417 N. Lee St. Alexandria, VA 22314	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. 417N LLC	None	None
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

3/4/14
Date

Joel R. Rhoades
Printed Name

Joel R. Rhoades
Signature