

ISSUE: Permit to Demolish (partial) and Certificate of Appropriateness for alterations (addition)

APPLICANT: Ashley Bone

LOCATION: Old and Historic Alexandria District
729 South Pitt Street

ZONE: RM

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish (partial) and Certificate of Appropriateness for alterations, noting the updated comments from Code Administration and Alexandria Archaeology, with the condition that the applicant work with staff to submit window specifications that comply with the BAR's window policy.

Alexandria Archaeology Recommendations:

1. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of historic or prehistoric artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
2. The applicant shall not allow any metal detection and/or artifact collection to be conducted the property, or allow independent parties to collect or excavate artifacts, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)

GENERAL NOTES TO THE APPLICANT

3. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
4. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
5. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, 703-746-4200 for further information.
6. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
7. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
8. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.

Minutes from the July 3, 2024 BAR Hearing:

BOARD ACTION: On a motion by Ms. Miller, seconded by Ms. Zandian, the Board of Architectural Review voted to defer BAR#2024-00222 and BAR#2024-00234. The motion carried on a vote of 5-0.

REASON

The Board would like to see some minor modifications, particularly to the roof design.

SPEAKERS

Ashley Bone, the property owner, was available to answer questions.

DISCUSSION

Mr. Bone stated that the staff report implies that a shingle roof would be used, but it would actually be metal.

Ms. Zandian asked if the wall HVAC would be visible from any public right of way. Mr. Bone replied that it is set back from the alley but may be visible. Ms. Zandian recommended that it be moved to the right to align with the window, instead of the left side. Mr. Bone said there is a small shed in that area, but it may be possible to move it slightly to the right, possibly 2 to 4 feet.

Mr. Adams asked what was on the other side of the public alley. Ms. Bone replied that there are apartments there. Mr. Adams stated that the windows should be sympathetic to the existing house, according to the Design Guidelines, but in this proposal, they are not, and there are too many windows, especially facing north. Mr. Bone said that amount of windows is because it will be used as a sunroom, but that the design of the windows could be changed.

Ms. Del Ninno asked why the roof of the addition wasn't tied into the existing roof, and remarked that it looks incongruous, due to the gap. Mr. Bone replied that the house next door has an addition that looks the same. Ms. Del Ninno recommended aligning the bottom of the new roof with the bottom of the existing roof in order to tie it in and match the pitch, which would make the addition more sensitive. Mr. Bone replied that the proposed design allows for more height. Mr. Spencer said that the proposed roof design can cause waterproofing issues.

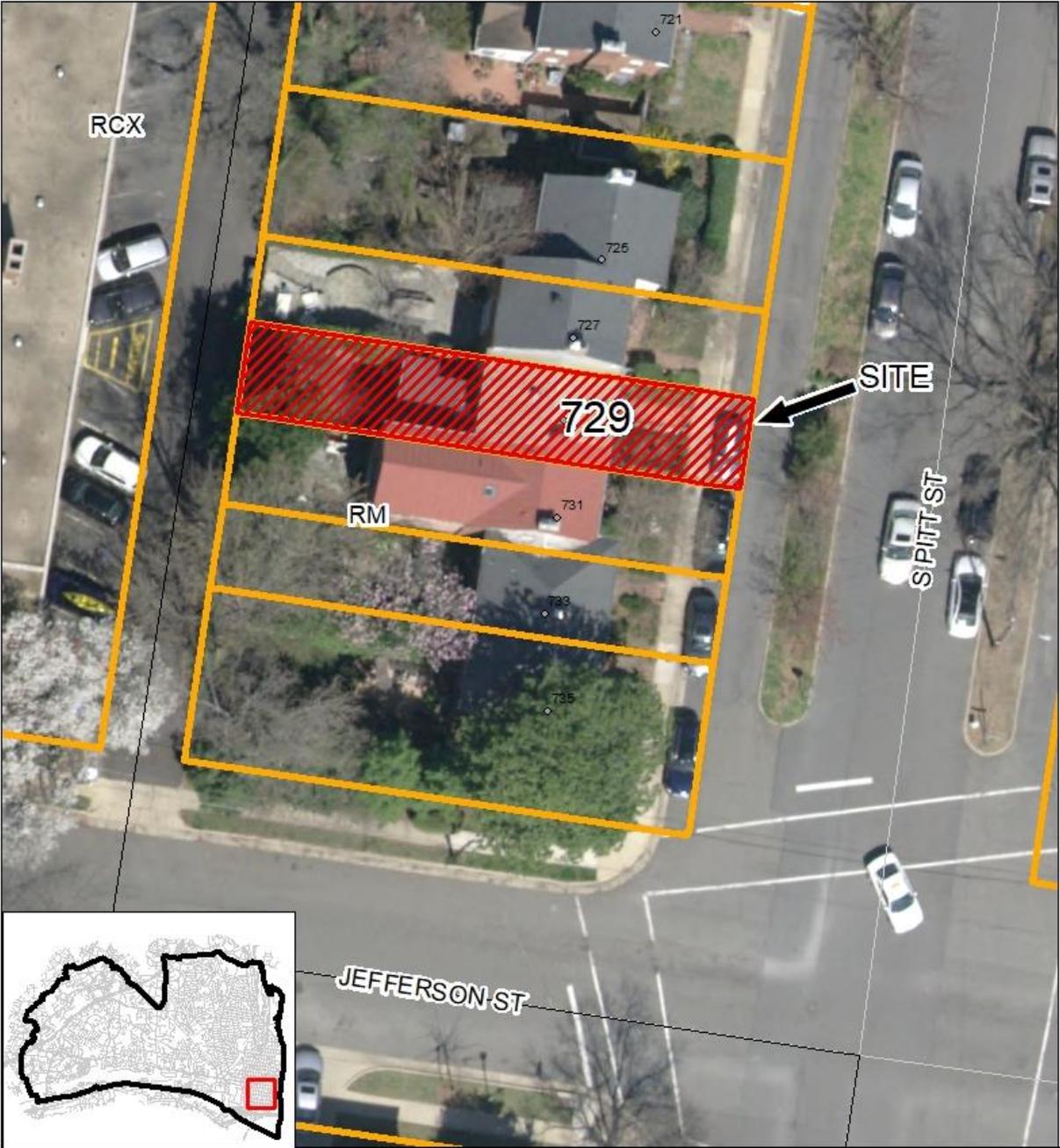
Ms. Zandian asked why the proposed roof design on the side elevation was "cut back" where the larger windows are. Ms. Miller asked for clarification about whether the horizontal element of the roof on the side will be all one line. Mr. Spencer drew a picture for her.

Mr. Adams said that the addition's roof design is flawed and will cause water issues near the gap with the neighbor's wall.

Mr. Spencer recommended asking for a deferral and have the architect come to the next hearing.

Mr. Conkey said that staff could work with the architect and the applicant before returning to the Board.

Ms. Zandian suggested that a flashing is needed between the siding and the existing brick, otherwise water will infiltrate.



BAR#2024-00222 & BAR#2024-00234
729 S Pitt Street



0 12.5 25 50 Feet

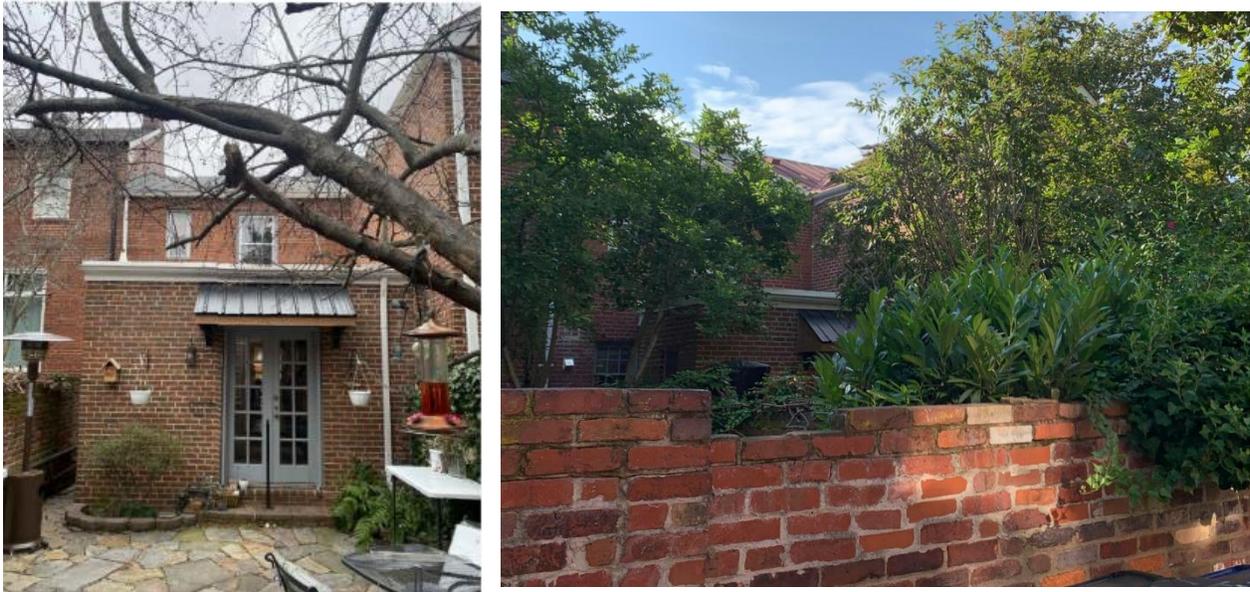


Figure 1. Existing one-story rear addition viewed from backyard (left) and public alley (right).

The new addition will be 194 square feet in area. The addition will have painted Hardie plank siding, a new standing seam metal roof, new skylight, and new windows. The plans note that all window glass will be clear, Low-E with a maximum U-factor of 0.30. The skylight glass will have a maximum U-factor of 0.55. There will be a new HVAC condenser unit mounted to the exterior north wall of the first floor of the rear addition. Otherwise, the existing first floor of the rear addition, as well as the existing roof of the main massing, will remain unchanged.

Figures 2a and 2b on the next page show the original and updated plans for the west elevation of the addition (the rear, facing the alley). Staff makes note of the following updates to the west elevation since the last hearing:

- The applicant has clarified that the new roof material will be metal, not shingles.
- The Board raised concerns that the roofline of the addition, as originally proposed, was incongruous with the existing roofline and would cause water drainage issues. In the new plans, the roofline of the addition has been lowered to be more symmetrical and in line with the existing roof.
- The two center windows have been broken up into four smaller windows to reduce the massing.
- The three siding panels below the windows have been removed to create a more flush siding appearance.

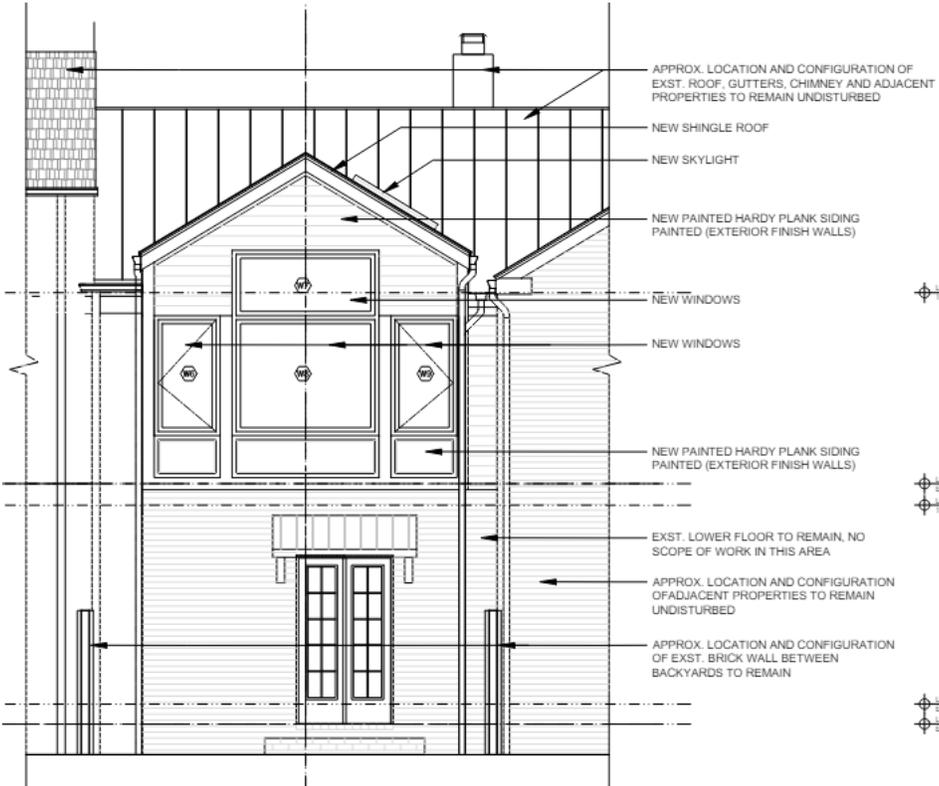


Figure 2a. Original plans for the rear (west) elevation.

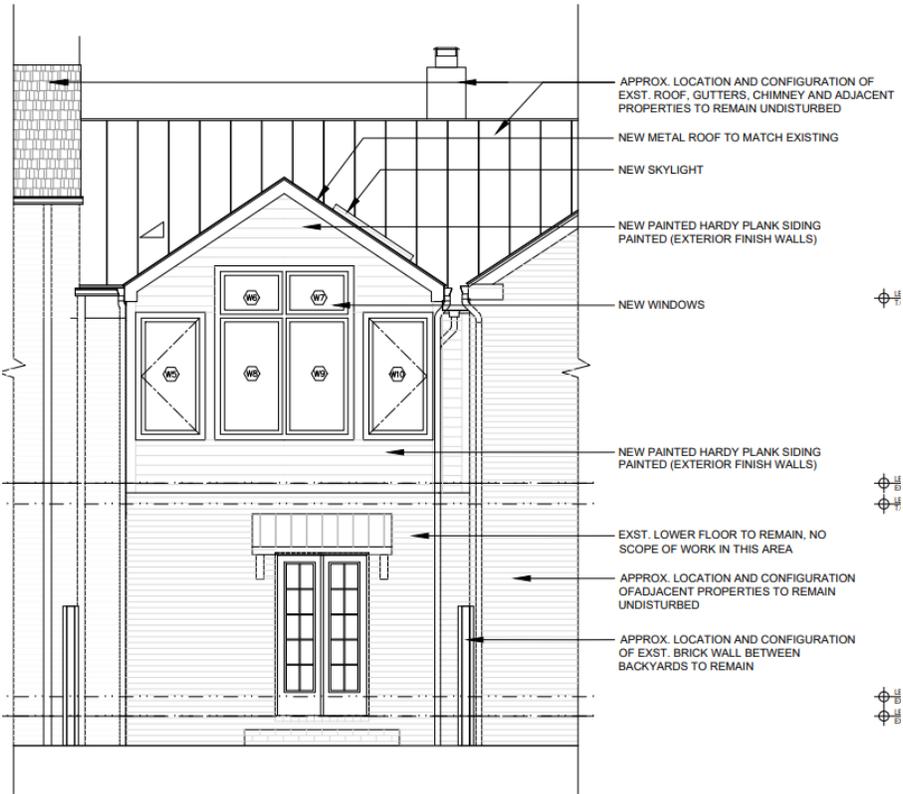


Figure 2b. Updated plans for the rear (west) elevation.

Figures 3a and 3b below show the original and updated plans for the side (north) elevation of the addition. Staff makes note of the following updates to the north elevation since the last hearing:

- The applicant has clarified that the new roof material will be metal, not shingles.
- The Board raised concerns that the roofline of the addition, as originally proposed, was incongruous with the existing roofline and would cause water drainage issues. In the new plans, the roofline of the addition has been lowered to be more symmetrical and in line with the existing roof.
- A Board member said that the original plans had too many windows on the north elevation and it was not sympathetic to the existing structure. The updated plans have removed the top-most window to be less visually overwhelming and more symmetrical.
- The two siding panels below the windows have been removed to create a more flush siding appearance.
- A Board member said that the proposed HVAC condenser unit should be moved to better align with the window. However, staff notes that the unit will not be visible from the public right-of-way and thus is not under the Board’s purview.

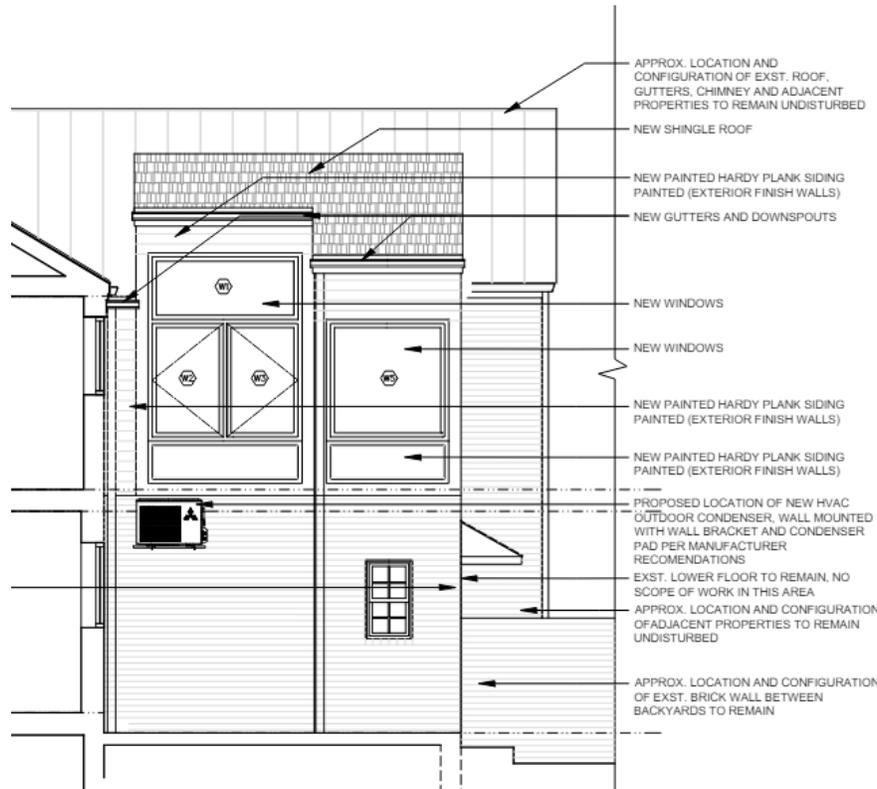


Figure 3a. Original plans for the side (north) elevation.

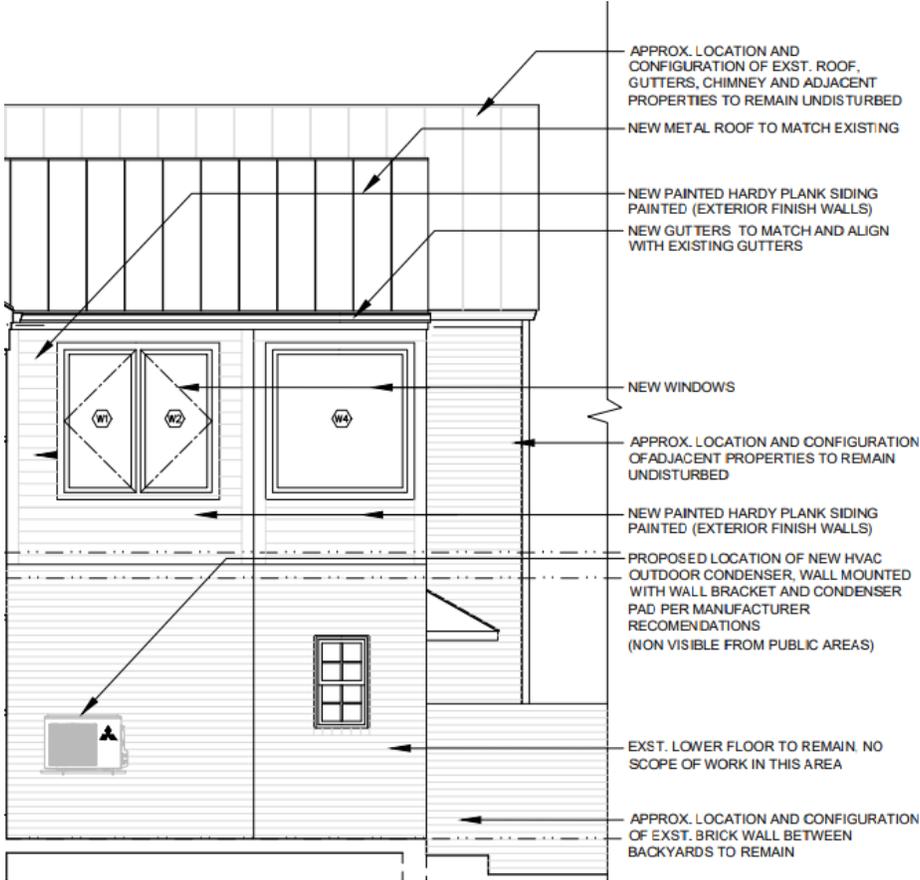


Figure 3b. Updated plans for the side (north) elevation.

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B) which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No

(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relate only to the specific portions of the building proposed for demolition/capsulation, not the overall building. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The select portions of the building proposed for demolition/capsulation are not themselves of unusual or uncommon design. The historic integrity of the structure will be largely unaffected by the proposed work.

Staff therefore has no objection to the partial demolition and recommends approval of the Permit to Demolish/Capsulate.

Certificate of Appropriateness

According to the *Design Guidelines*, “As a general rule, the stylistic characteristics of additions to residential buildings should reflect the historical architectural styles found within the historic districts” and “Additions must be designed so that they are compatible with both the architectural character of the existing house and the immediate neighborhood.” In the opinion of staff, the style of the proposed addition is sympathetic to both the 1941 massing and the 1965 addition. The applicant proposes to use high-quality modern materials that are historically appropriate. The new addition will only be visible from the public alley at certain angles and will blend in with the existing architecture.

Since the last hearing, the applicant has made several changes in the updated plans that address all the comments and concerns raised by the Board during the July hearing, as discussed in the beginning of Section III. Staff believes that the lowering of the roofline on the addition, the reconfiguration of the windows on the west and north elevations, and the removal of the siding panels on the west and north elevations will help to make the addition highly sympathetic to the

existing structure and less visually overwhelming. In addition, staff notes that the visibility of the addition from the public alley is very limited due to vegetation and a brick wall.

Overall, staff finds the new addition appropriate and recommends approval of the Permit to Demolish (partial) and Certificate of Appropriateness for alterations, with the condition that the applicant work with staff to submit window specifications that comply with the BAR's window policy, which in this case allows for any window material except for vinyl and no tinted or reflective glass. In addition, staff notes that Code Administration and Alexandria Archaeology have added updated comments since the last hearing.

STAFF

Brendan Harris, Historic Preservation Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed second story rear addition will comply with zoning

C-2 Addition must not take away from the required open space.

C-3 Addition must meet the 16' minimum required rear setback.

F-1 Party wall on either side will have no required side yard setbacks for this addition.

F-1 The open space requirement for the RM zone is 35% of the lot area.

Code Administration

A building permit is required for review: 1. Per the Virginia Residential Code (VRC) 2021, R302.1(1), no openings, including windows, are permitted within 3 feet of a property line. Window W4 appears to be less than 3 feet from the property line.

Transportation and Environmental Services

CONDITIONS

- R1. The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

FINDINGS:

- F1. After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F2. If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

CODE REQUIREMENTS

- C1. The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C2. The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C3. Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec. 5-6-224) (T&ES)
- C4. All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C5. Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C6. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

FINDINGS:

1. Tax records indicate that a house was present on the block bounded by Franklin, Pitt, Jefferson, and St. Asaph Streets by 1830. The 1877 Hopkins insurance map shows a structure, part of the estate of Samuel Miller, in the north central part of the block. While the known structure was probably not situated on the property of 729 S. Pitt, it is possible that archaeological evidence of structures and activities associated with this early to mid-19th - century homestead at the edge of town could remain buried in the yard areas of this property.

RECOMMENDATIONS:

1. *The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried

structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of historic or prehistoric artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

2. * The applicant shall not allow any metal detection and/or artifact collection to be conducted the property, or allow independent parties to collect or excavate artifacts, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)

3. The statements in archaeology conditions above marked with an asterisk (*) shall appear in the General Notes of all site plans and on grading plans so that on-site contractors are aware of the requirements.

V. ATTACHMENTS

1 – Application Materials

- *Completed application*
- *Plans*
- *Material specifications*
- *Scaled survey plat if applicable*
- *Photographs*

2 – Supplemental Materials

- *Public comment*
- *HOA approval if applicable*
- *Easement approval if applicable*
- *Any other supporting documentation*

ADDRESS OF PROJECT: 729 SOUTH PITT STREET

DISTRICT: Old & Historic Alexandria Parker – Gray 100 Year Old Building

TAX MAP AND PARCEL: 080.04-01-06 ZONING: RM

APPLICATION FOR: *(Please check all that apply)*

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business *(Please provide business name & contact person)*

Name: Ashley Bone

Address: 729 S Pitt St.

City: Alexandria State: va Zip: 22314

Phone: (571) 268 1972 E-mail: ashley.w.bone@gmail.com

Authorized Agent *(if applicable):* Attorney Architect drafter

Name: Carlos Laborde Phone: 702 220 2950

E-mail: f.laborde@verizon.net

Legal Property Owner:

Name: Ashley W. Bone and Samantha L. Shelton

Address: 729 S Pitt St

City: Alexandria State: VA Zip: 22314

Phone: (571) 268 1972 E-mail: ashley.w.bone@gmail.com

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - fence, gate or garden wall
 - HVAC equipment
 - shutters
 - doors
 - windows
 - siding
 - shed
 - lighting
 - pergola/trellis
 - painting unpainted masonry
 - other _____
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

 BUILD A FOUR SEASON PORCH ABOVE EXISTING HOUSE FAMILY ROOM. THE PROPOSED 194 SQ. FT. ADDITION IS TO BE BUILD ON THE BACK
 OF THE HOUSE. AND THE TOTAL HEIGHT OF THE PROPOSED ADDITION WILL BE LOWER THAN THE EXISTING HOUSE ROOF

SUBMITTAL REQUIREMENTS:

Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Ashley W. Bone

Printed Name: Ashley W. Bone

Date: 5/30/2024

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Ashley Bone	729 S Pitt St Alexandria VA 22314	50
2. Samantha Shelton	729 S Pitt St Alexandria VA 22314	50
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 729 S Pitt st Alexandria VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Ashley Bone	729 S Pitt St Alexandria VA 22314	50
2. Samantha Shelton	729 S Pitt St Alexandria VA 22314	50
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

5/30/2024

Date

Ashley W Bone

Printed Name

Ashley W Bone

Signature



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations for

Single and Two-Family Residential Outside Historic Districts

A

A. Property Information

A1. 729 S PITT STREET RM
 Street Address Zone

A2. 1,683.00 x 1.50 = 2,524.50
 Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**		
Basement	420.00	Basement**		B1. 1,454.00 Sq. Ft.
First Floor	614.00	Stairways**		Existing Gross Floor Area*
Second Floor	420.00	Mechanical**		B2. 0.00 Sq. Ft.
Third Floor		Attic less than 7'***		Allowable Floor Exclusions**
Attic		Porches**		B3. 1,454.00 Sq. Ft.
Porches		Balcony/Deck**		Existing Floor Area Minus Exclusions
Balcony/Deck		Garage**		(subtract B2 from B1)
Garage		Other***		
Other***		Other***		
B1. Total Gross 1,454.00		B2. Total Exclusions 0.00		Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**		
Basement		Basement**		C1. 194.00 Sq. Ft.
First Floor		Stairways**		Proposed Gross Floor Area*
Second Floor	194.00	Mechanical**		C2. 0.00 Sq. Ft.
Third Floor		Attic less than 7'***		Allowable Floor Exclusions**
Attic		Porches**		C3. 194.00 Sq. Ft.
Porches		Balcony/Deck**		Proposed Floor Area Minus Exclusions
Balcony/Deck		Garage**		(subtract C2 from C1)
Garage		Other***		
Other***		Other***		
C1. Total Gross 194.00		C2. Total Exclusions 0.00		

D. Total Floor Area

D1. 1,648.00 Sq. Ft.
 Total Floor Area (add B3 and C3)

D2. 2,524.50 Sq. Ft.
 Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

E1. 1,013 Sq. Ft.
 Existing Open Space

E2. 589 ^{35% OF} 1,683 Sq. Ft.
 Required Open Space

E3. 1,013 Sq. Ft.
 Proposed Open Space

Notes

*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

*** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

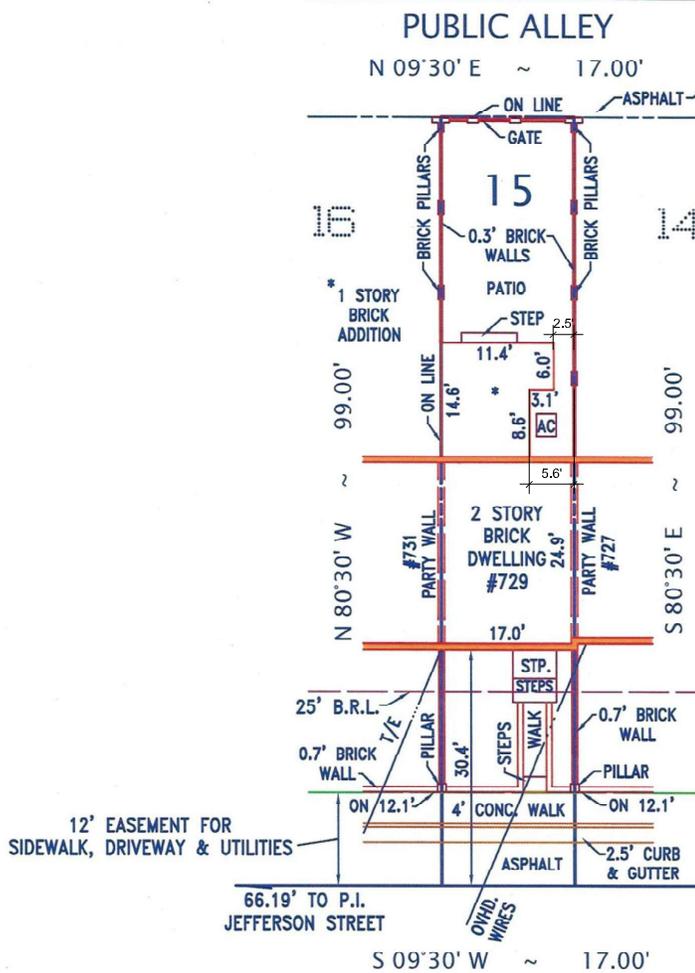
Signature: **Carlos Laborde**

Digitally signed by Carlos Laborde
 Date: 2024.04.16 16:41:12 -04'00'

Date: 4-16-2024

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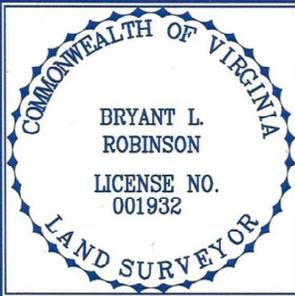
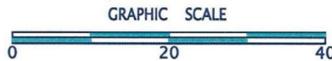
- NOTE: 1. AREA = 1,683 S.F.
 2. WALLS ARE 0.3' BRICK UNLESS NOTED.
 3. SOME IMPROVEMENTS MAY NOT HAVE BEEN VISIBLE BECAUSE OF SNOW AND MAY NOT BE SHOWN.



NOTE:
 THE DISTANCE FROM THE PROPERTY LINE TO THE PROPOSED ADDITION IS EXISTING TO REMAIN.
 (DISTANCES ARE 2.5' AND 5.6' PER PLAT AND FIELD SURVEY)
 THE NEW PROPOSED SECOND FLOOR ADDITION IS FLUSH / ALIGNED WITH THE EXISTING HOUSE.

SOUTH PITT STREET
 66' WIDE

PLAT
 SHOWING HOUSE LOCATION ON
 LOT 15 BLOCK 5
YATES GARDENS
 CITY OF ALEXANDRIA, VIRGINIA
 SCALE: 1" = 20' FEBRUARY 5, 2004



CASE NAME: JACKSON - SHELTON/BONE

PLAT SUBJECT TO RESTRICTIONS OF RECORD.
 TITLE REPORT NOT FURNISHED.

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A TRANSIT TAPE SURVEY AND UNLESS OTHERWISE SHOWN, THERE ARE NO VISIBLE ENCROACHMENTS.

Bryant L. Robinson
 BRYANT L. ROBINSON, L.S.

REQUESTED BY:
 THE SETTLEMENT GROUP

ALEXANDRIA SURVEYS
 INTERNATIONAL, LLC
 6343 SOUTH KINGS HIGHWAY ALEXANDRIA, VIRGINIA 22306
 TEL. NO. 703-660-6615 FAX NO. 703-768-7764

SITE WORK

- ALL BACKFILL AT STRUCTURES, SLABS, STEPS AND PAVEMENTS SHALL BE CLEAR GRANULAR FILL, PLACE IN 8" LAYERS MAXIMUM, AND COMPACT. BUILDING SITES SHALL BE KEPT DRY SO THAT EROSION WILL NOT OCCUR IN THE FOUNDATIONS.
- AT LAWNS AND UNPAVED AREAS SHALL BE FREE FROM DEBRIS, VEGETABLE MATTER, WASTE AND FROZEN MATERIALS, PLACE IN 12" LAYERS AND COMPACT.
- ALL SLABS ON GRADE SHALL BEAR ON MECHANICALLY COMPACTED CRUSHED WASHED STONE CAPABLE OF SUPPORTING 2,000 P.S.F.
- BACKFILL SHALL BE BROUGHT UP EQUALLY ON EACH SIDE OF WALLS, DO NOT BACKFILL UNTIL WALLS HAVE CURED OR ARE PROPERLY BRACED.
- THE CONTRACTOR(S) MUST TAKE MEASURES TO CONTROL SOIL EROSION OF STEEP BANKS DURING CONSTRUCTION, WHEN NEW CONSTRUCTION IS COMPLETE, THE CONTRACTOR(S) SHALL REGRADE DISTURBED AREAS AND PLANT SUITABLE VEGETATION TO PREVENT EROSION.

CONCRETE

- ALL REINFORCED CONCRETE SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE CURRENT ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH FOR 3000 PSI.
- REINFORCING STEEL SHALL CONFORM TO ASTM-A615 GRADE 60, WELDED WIRE FABRIC SHALL BE #2X-10/10 AND CONFORM WITH ASTM A-185.
- ALL EXTERIOR CONCRETE USED FOR SIDEWALKS OR PATIOS SHALL BE AIR-ENTRAINED, 3500 PSI MINIMUM.
- PROVIDE CONCRETE REINFORCING BARS AT FOOTING LOCATIONS, BARS SHALL BE (2) #4 AT INTERIOR FOOTINGS & (3) #4 EXTERIOR FOOTINGS THE BOTTOM WITH A MINIMUM OF 3" CONCRETE COVER UNLESS NOTED OTHERWISE.
- PROVISIONS MUST BE TAKEN TO PROTECT ALL CONCRETE WORK FROM FROST DAMAGE WITH SPECIAL ATTENTION PAID TO FOOTINGS AND OTHER ON-GRADE CONSTRUCTION PRIOR TO BACKFILLING AND ENCLOSING THE BUILDING.
- ANCHOR BOLTS SHALL BE GALVANIZED 1/2" DIAMETER (MIN)-#8 EMBEDDED FOR CONCRETE WALLS, 1" EMBEDDED FOR CMU WALLS & MIN. 7" EMBEDDED FOR WOOD SLAB FLATES FOR EX. IT, & FOR ANCHORING RT. WALLS PLACEMENT OF ANCHOR BOLTS SHALL BE #4" O.C. MAX. SPACING U.O.N., MIN. 2 BOLTS PER PIECE, BOLTS SHALL BE MIN. 4" & MAX. 12" FROM ENDS OF EACH PLATE PIECE.
- PROVIDE 5 MIL POLYETHYLENE VAPOR BARRIER MEMBRANE COMPLYING WITH ASTM D-2103 UNDER SLABS.

MASONRY

- ALL HOLLOW LOAD-BEARING BLOCK TO CONFORM TO ASTM C90. ALL SOLID BLOCK TO CONFORM TO C145, MINIMUM NET COMPRESSIVE STRENGTH SHALL BE 1000 PSI. USE TRUSS TYPE GALVANIZED HORIZONTAL REINFORCEMENT EVERY 2 COURSES MINIMUM THROUGHOUT. INSTALL REINFORCEMENT AT EVERY COURSE FOR 1ST THREE COURSES.

METALS

- STEELWORK SHALL CONFORM TO THE CONFORM TO THE CURRENT SPECIFICATIONS FOR THE DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AS ADOPTED BY THE AISC. CONNECTIONS SHALL BE BOLTED OR WELDED. BOLTS SHALL CONFORM TO ASTM A-325 AND BE 3/4" DIAMETER UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH ASTM SPECIFICATIONS A-36. STEEL FOR PIPE COLUMNS SHALL BE OF EQUIVALENT CAPACITY AND WELDABILITY TO ASTM SPECIFICATIONS A-50.
- ALL STEEL SHALL BE PAINTED WITH ONE SHOP COAT OF RED PAINT PRIMER.

WOOD AND PLASTICS

- ALL WOODS AND WOOD CONSTRUCTION SHALL COMPLY WITH SPECIFICATIONS AND CODES, INCLUDING CURRENT MODIFICATIONS AS SPECIFIED HEREIN:
 1. AMERICAN INSTITUTE OF TIMBER CONSTRUCTION- (STANDARDS MANUAL.)
 2. NATIONAL FOREST PRODUCTS ASSOCIATION- NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION
 3. SOUTHERN PINE INSPECTION BUREAU- STANDARD GRADING SOUTHERN PINE LUMBER
 4. TRUSS PLATE INSTITUTE- DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES
 5. AMERICAN PLYWOOD ASSOCIATION- GUIDE TO PLYWOOD FOR FLOORS PLYWOOD SHEATHING FOR WALLS AND ROOFS
 6. AMERICAN WOOD PRESERVES ASSOCIATION STANDARDS
- ALL STRUCTURAL LUMBER SHALL BE HEM FIR 2, S4F, OR D-FIR IN SUITABLE STRESS GRADE LUMBER UNLESS NOTED OTHERWISE, (6-1,300,000 PSI).
- ALL STRUCTURAL LUMBER SHALL BE STAMPED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S "CONSTRUCTION MANUAL".
- DESIGN FABRICATION AND INSTALLATION OF TRUSSES (IF USED) AND SHEET METAL CONNECTORS SHALL BE IN ACCORDANCE WITH 2018 IRC PER APPLICABILITY LIMITS IN SECTION R602.10.2.1 OR 2018 IBC 2303.4
- SHOP DRAWINGS FOR TRUSSES, (IF USED), SHALL BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER (WHERE REQUIRED BY THE STATUTES OF THE JURISDICTION IN WHICH THE PROJECT IS TO BE CONSTRUCTED) AND SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION, SHOP DRAWINGS SHALL INCLUDE THE FOLLOWING ITEMS:
 1. DRAFTER PLAN LAY-OUTS IDENTIFYING ALL TRUSSES.
 2. CALCULATIONS FOR LOAD DETERMINATION ON TRUSSES, GIVING UNIFORM LOADS (PARTIAL OR OTHERWISE) AND POINT LOADS.
 3. TRUSS CONFIGURATION DRAWING GIVING STRESSES ON ALL MEMBERS REACTIONS AT SUPPORTS, AND STRESSES ON ALL MEMBERS INCLUDING PLATES.
- INSTALL PRESSURE TREATED LUMBER WHERE LUMBER IS IN CONTACT WITH CONCRETE OR EXTERIOR GRADE & AT ALL BALCONY DECKS.
- ALL HEADERS AT BEARING CONDITIONS SHALL BE SIZED AS SHOWN ON PLANS.

- DOUBLE FLOOR TRUSSES SHALL BE INSTALLED UNDER ALL INTERIOR PARTITIONS RUNNING PARALLEL TO FRAMING, PROVIDE SOLID BLOCKING UNDER ALL POINT LOADS AND COLLARS.
- ROOF SHEATHING SHALL BE APA RATED 5/8" EXTERIOR GRADE PLYWOOD (UNLESS OTHERWISE NOTED ON PLANS), PROVIDE PANEL-CLIPS AT MID-SPAN FOR SPANS GREATER THAN 16'-0.0" (OR OSB)
- ALL INTERIOR TRIM TO BE BUILDER STANDARD PINE, PRIMED & PAINTED, U.N.O.
- SOFFITS SHALL BE VENTED VINYL (SEE WALL SECTIONS)

DOORS AND WINDOWS

- REFERENCE STANDARDS FOR METAL DOORS, WOOD DOORS, AND WINDOWS SHALL BE AS FOLLOWS:
 1. UNDERWRITERS LABORATORIES INC. BUILDING MATERIALS DIRECTORY
 2. NATIONAL FIRE PROTECTION ASSOCIATION PAMPHLET NO. 80 STANDARD FOR FIRE DOORS AND WINDOWS
 3. NATIONAL WOODWORK MANUFACTURER'S ASSOCIATION, I.S., 1078 WOOD FLUSH DOORS
 4. AIR LEAKAGE ASTM E283
 5. WATER RESISTANCE ASTM E331
- GLAZING IN LOCATIONS WHICH MAY BE SUBJECT TO HUMAN IMPACT SUCH AS FRAMELESS GLASS DOORS, GLASS ENTRANCED AND EXIT DOORS, FIXED GLASS, PANEL GLASS, SLIDING GLASS DOORS, SHOWER DOORS, TUB ENCLOSURES AND STORM DOORS SHALL MEET THE REQUIREMENTS SET FORTH IN THE BUILDING CODE AND THE SAFETY STANDARDS FOR GLAZING MATERIALS (IF O.P.R. 1203), ANY GLAZED PANELS LOCATED WITHIN 12" OF A DOOR WHICH MAY BE MISTAKEN FOR OPENINGS OF HUMAN PASSAGE SHALL BE TEMPERED GLASS UNLESS SUCH PANELS ARE PROVIDED WITH A HORIZONTAL MEMBER OF 1/2" (MIN) IN WIDTH AND LOCATED 36" ABOVE THE WALKING SURFACE.
- ALL PENETRATION SHALL MEET THE AIR INFILTRATION STANDARDS PER DC ENERGY CONSERVATION CODE TABLE R402.4.3 AND SHALL BE CERTIFIED AND LABELED, MANUFACTURER AS SELECTED BY OWNER OR AS SHOWN ON THE DRAWINGS.
- CONTRACTOR(S) TO PROVIDE SHOP DRAWINGS ON ALL MILLWORK OR NON-STOCK MATERIALS FOR ARCHITECT'S APPROVAL IF REQUESTED BY OWNER.
- WINDOWS BASED UPON MANUFACTURER AS SPECIFIED ON DRAWINGS WITH INSULATING GLASS AND FULL SCREENS.

- EXTERIOR ENTRY DOORS SHALL BE 1-3/4" THICK INSULATED METAL DOORS AND SHALL MEET THE FOLLOWING REQUIREMENTS:
 - AIR INFILTRATION ASTM E283 - WATER RESISTANCE ASTM E331
 - THERMAL TRANSMITTOR R-1.949 CALCULATED, DOORS ARE TO BE PROVIDED WITH FACTORY BAKED OR PRIME PAINT FINISH.
 - Sidelights SHALL BE TEMPERED GLASS AND SIZED AS INDICATED ON DRAWINGS, MANUFACTURER AS SELECTED BY OWNER.
- ALL INTERIOR SWING DOORS SHALL BE 1-3/8" THICK DOORS, SEE SCHEDULE FOR STYLE, TYPE & MANUFACTURE

FINISHES

- PROVIDE AND INSTALL GYPSUM WALLBOARD IN ACCORDANCE WITH AMERICAN STANDARD SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM WALLBOARD AS APPROVED BY THE AMERICAN STANDARDS ASSOCIATION LATEST EDITION. APPLICABLE PARTS THEREOF ARE HEREBY MADE A PART OF THIS SPECIFICATION EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE CALLED FOR IN THIS SPECIFICATION OR IN LOCAL CODES OR BY THE MANUFACTURER OF THE GYPSUM WALLBOARD WHOSE REQUIREMENTS SHALL BE FOLLOWED.
- APPLICATION OF PAINT OR OTHER COATING SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S DIRECTIONS, READY-MIXED PAINT SHALL NOT BE THINDED EXCEPT AS PERMITTED IN THE APPLICATION INSTRUCTIONS.
- ALL INTERIOR SURFACES SHALL RECEIVE PAINT FINISH EXCEPT COLOR COORDINATED FACTORY FINISH SURFACES, TOP AND BOTTOM OF ALL DOORS TO BE SEALED AND PAINTED.
- ALL SURFACES TO BE FINISHED SHALL BE CLEAR AND FREE OF FOREIGN MATERIALS (DIRT, GREASE, ASPHALT, RUST, ETC.)
- APPLICATION SHALL BE WORKMANLIKE MANNER PROVIDING A SMOOTH SURFACE, APPLICATION RATE SHALL BE THAT RECOMMENDED BY THE MANUFACTURER, APPLICATION MAY BE BY BRUSH OR ROLLER OR BY SPRAY IF PAINT IS FORMULATED FOR SPRAY APPLICATION, APPLY PRIME COAT AND FINISHED COAT(S) OF LATEX PAINT AS DIRECTED BY OWNER.
- INTERIOR PAINT SHALL BE BENJAMIN MOORE OR APPROVED EQUAL.
- EXTERIOR FASCIA OR TRIMS TO BE AZEK, JAMES HARDIE OR APPROVED EQUAL. PVC WHITE TRIM BOARDS OR VINYL COVERED WOOD
- FLOORING: PROVIDE & INSTALL CARPET CERAMIC TILE OR VCT AS SHOWN ON PLANS, INSTALL IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.
- PROVIDE CERAMIC TILE, MARBLE TILE AND ACCESSORIES COMPLYING WITH TILE COUNCIL OF AMERICA SPECIFICATION 1371 IN COLORS AND PATTERNS SELECTED BY THE OWNER FROM STANDARD COLORS AND PATTERNS OF THE APPROVED MANUFACTURER TO BE AMERICAN OLEFIN FOR CERAMIC TILE AND MARBLE TECHNIC LTD. FOR MARBLE TILE OR EQUAL.
- INSTALL CERAMIC TILE AND MARBLE TILE IN COMPLIANCE WITH RECOMMENDATIONS CONTAINED IN THE TILE COUNCIL OF AMERICA HANDBOOK FOR CERAMIC TILE INSTALLATION AND MANUFACTURER'S PRINTED INSTRUCTIONS.
- PROVIDE AND INSTALL GYPSUM WALLBOARD 1/2" THICK AT ALL WALLS AND CEILING UNLESS OTHERWISE INDICATED ON DRAWINGS, CONTRACTOR(S) SHALL PROVIDE ALL TRIM ACCESSORIES, FINISH TAPPING, AND SPACKLING, IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

GENERAL REQUIREMENTS

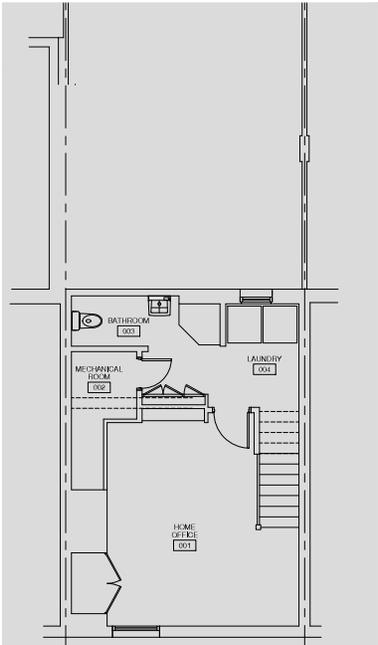
- DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN, LARGE SCALE DETAILS GOVERN OVER SMALL SCALE PLAN.
- ALL PARTITIONS ARE DIMENSIONED TO FACE OF WALL FINISH, UNLESS NOTED OTHERWISE.
- PROVIDE SOLID BLOCKING BETWEEN STUDS TO ATTACH AND SUPPORT WALL-HANG AND WALL-CONNECTED ITEMS (MIRRS, CABINETS, SHELVING, ROOF LADDERS, ETC.) ATTACH BLOCKING TO SUBSTRATE AS REQUIRED TO SUPPORT APPLIED LOADING, MAKE TIGHT CONNECTIONS BETWEEN MEMBERS. INSTALL FASTENERS WITHOUT SPLITTING OF WOOD - PREDRILL AS REQUIRED.
- ALL FLOORS SHALL BE LEVELLED AND FREE OF IRREGULARITIES TO ASSURE ONE CONSTANT FLOOR HEIGHT, SO THAT DOOR BUCKS WHEN SET ARE AT CONSISTENT DIMENSIONS FROM THE CEILING WITH NO GAPS BETWEEN THE BOTTOM OF THE DOOR BUCK AT THE SLAB AFTER CARPETING AND OTHER FLOOR FINISHES ARE INSTALLED.
- ANY SITE DEMOLITION SHALL BE COORDINATED WITH NEW CONSTRUCTION.
- INTERIOR ROOMS SHALL BE MECHANICALLY VENTILATED IN ACCORDANCE WITH STATE AND LOCAL BUILDING CODES.
- DRY-WALL CONTROL JOINTS SHALL BE PROVIDED IN ACCORDANCE WITH RECOMMENDED PRACTICES OF THE UNITED STATES GYPSUM ASSOCIATION.
- THE GENERAL CONTRACTOR MAY SUBSTITUTE MATERIALS, FINISHES, AND/OR EQUIPMENT UPON WRITTEN SUBMITTAL AND APPROVAL ACCORDING TO THE PROJECT.
- DIMENSIONS NOTED "CLEAR" ARE NOT ADJUSTABLE WITHOUT APPROVAL BY THE ARCHITECT/DESIGNER.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS AND REFUSE.
- THE GENERAL CONTRACTOR SHALL REPAIR AND RESTORE EXISTING SITE CONDITIONS DAMAGED DURING CONSTRUCTION.
- ALL DOOR & WINDOWS JAMBS TO BE INSTALLED PLUMB AND SQUARE.
- CONTRACTOR SHALL COORDINATE THE DRAWINGS BETWEEN SUB-CONTRACTORS (I.E. MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL) FOR CONFLICT AND NOTIFY THE ARCHITECT OR DESIGNER PRIOR TO COMM. OF ANY DISCREPANCIES AND/OR CONFLICTS BEFORE PROCEEDING WITH THE CONST., CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AT THE JOB AND SHALL NOTIFY THE ARCHITECT OR DESIGNER AND THE OWNER OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICT BEFORE PROCEEDING WITH THE JOB. CONTRACTOR SHALL REQUEST AN INTERPRETATION FROM THE ARCHITECT OR DESIGNER BEFORE PROCEEDING, TO THE EXTENT CONTRACTOR DISCOVERS DISCREPANCIES AND FAILS TO MAKE SUCH A REQUEST, NO EXCUSE WILL THEREAFTER BE ENTERTAINED FOR FAILURE TO CARRY OUT THE WORK IN A SATISFACTORY MANNER ACCEPTABLE TO THE ARCHITECT AND THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING OF PARTITION WALLS AS REQUIRED AND AT ALL DOOR OPENINGS OR DEMO WORK.
- ALL MATERIALS ARE TO BE STORED PROPERLY, GENERAL CONTRACTOR IS RESPONSIBLE FOR THE SAFEKEEPING OF MATERIALS INCLUDING THOSE SUPPLIED BY THE OWNER.
- ALL DOOR JAMBS TO BE INSTALLED PLUMB AND SQUARE.

FOUR SEASON PORCH ADDITION
 729 S PITT STREET ALEXANDRIA, VA 22314 • 4307
 OWNERS: SAMANTHA L. SHELTON AND ASHLEY W. BONE

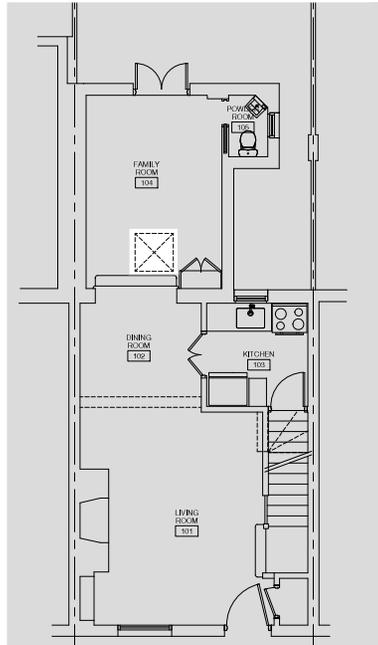
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DATE	06/20/24
SCALE	AS SHOWN
PROJECT	FOUR SEASON PORCH ADDITION
729 S PITT STREET ALEXANDRIA VA 22314 • 4307	

GENERAL NOTES

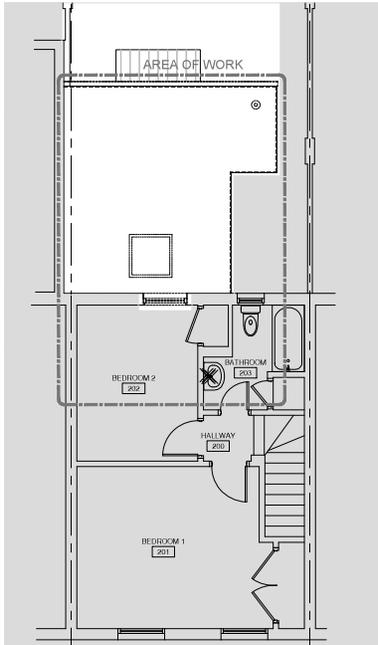
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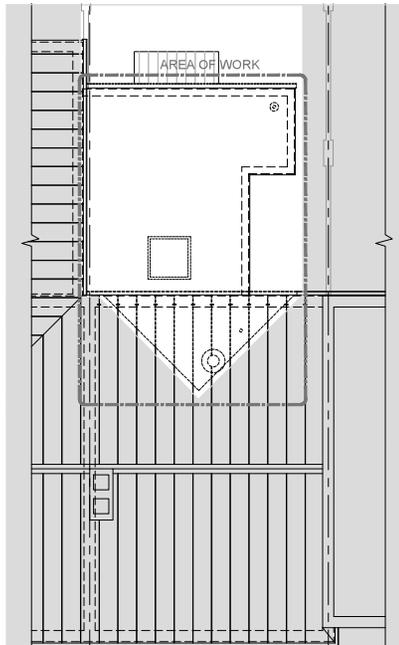
1 BASEMENT FLOOR PLAN - EXISTING
SCALE 1/4"=1'-0"



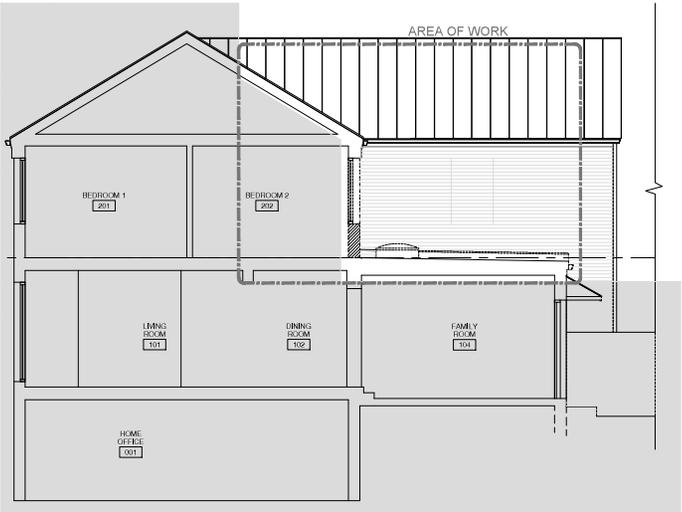
2 MAIN FLOOR PLAN - EXISTING
SCALE 1/4"=1'-0"



3 FIRST FLOOR PLAN - EXISTING
SCALE 1/4"=1'-0"



4 ROOF PLAN - EXISTING
SCALE 1/4"=1'-0"



5 SECTION - EXISTING
SCALE 1/4"=1'-0"



6 SECTION - EXISTING
SCALE 1/4"=1'-0"



7 BACK FACADE - EXISTING
SCALE 1/4"=1'-0"

FOUR SEASON PORCH ADDITION

729 S PITT STREET ALEXANDRIA, VA 22314 • 4307

OWNERS: SAMANTHA L. SHELTON AND ASHLEY W. BONE

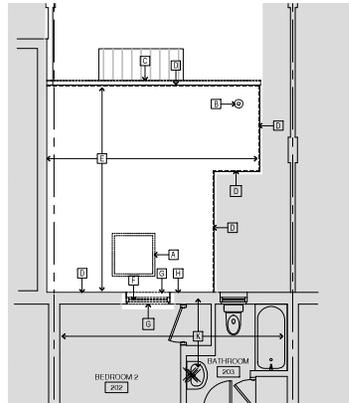
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729 S PITT STREET ALEXANDRIA VA 22314-4307	
FOUR SEASON PORCH ADDITION	

EXISTING HOUSE FLOOR PLANS, SECTIONS AND ELEVATIONS

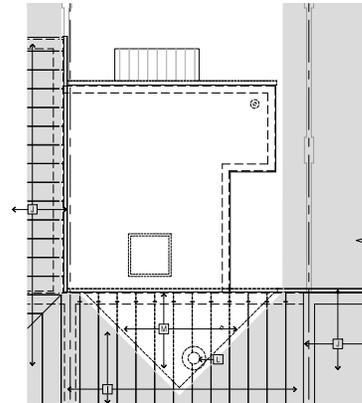
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Demolition Notes - FLOOR AND ROOF PLAN

- A) APPROX. LOCATION AND CONFIGURATION OF EXIST. SKYLIGHT TO BE REMOVED
- B) APPROX. LOCATION AND CONFIGURATION OF EXIST. VENTILATION TO BE RELOCATED ON SIDE WALL
- C) TYP. REMOVE EXISTING GUTTERS AND DOWNSPOUTS AS REQUIRED FOR NEW CONSTRUCTION
- D) TYP. REMOVE EXISTING FLASHING AS REQUIRED FOR NEW CONSTRUCTION
- E) TYP. REMOVE EXISTING WATER PROOFING MEMBRANE AND PLYWOOD AS REQUIRED FOR NEW CONSTRUCTION
- F) TYP. REMOVE EXISTING WINDOW COMPLETELY AND IN ITS ENTIRETY
- G) REMOVE PORTION OF MASONRY WALL, INTERIOR WALL AND BASE BOARD UNDER REMOVED WINDOW AS REQUIRED FOR NEW DOOR INSTALLATION
- H) BRICK WALL AND WINDOW JAMB TO REMAIN, PROTECT DURING DEMOLITION AND NEW CONSTRUCTION, PATCH AND REPAIR AS NECESSARY TO RECEIVE NEW FINISH
- I) TYP. EXST. HOUSE METAL ROOF AND GUTTER SYSTEM TO BE UNDISTURBED AND PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION
- J) TYP. EXST. NEIGHBORS HOUSES WALLS, METAL ROOFS, GUTTER ETC. TO BE UNDISTURBED DURING DEMOLITION AND NEW CONSTRUCTION
- K) NOT SCOPE OF WORK IN EXST. HOUSE INTERIOR UNLESS NEW ACCESS DOOR TO NEW PORCH OR SPECIFIED IN NEW CONSTRUCTION DOCS.
- L) APPROX. LOCATION OF EXST. MEP VENTILATIONS TO BE RELOCATED AS REQUIRED FOR NEW ROOF CONSTRUCTION
- M) APPROX. LOCATION AND CONFIGURATION OF EXST. PORTION OF METAL ROOF TO BE REMOVED / ALTERED AS REQUIRED FOR PROPOSED METAL ROOF.



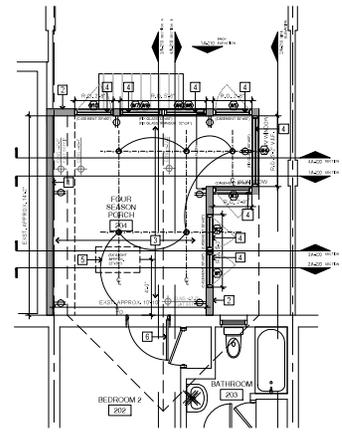
1 FIRST FLOOR PLAN - DEMOLITION
SCALE 1/4"=1'-0"



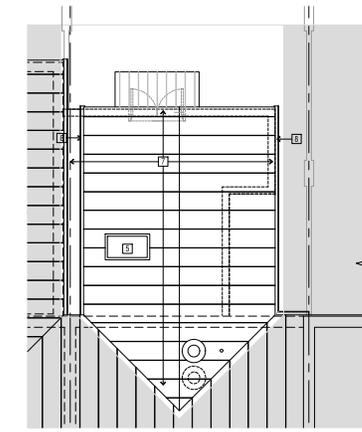
2 ROOF PLAN - DEMOLITION
SCALE 1/4"=1'-0"

New Construction Notes - FLOOR PLAN

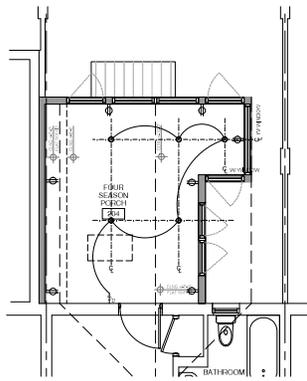
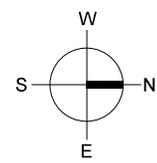
- 1) NEW DEMISING WALL
- 2) NEW INSULATED EXTERIOR WALL
- 3) NEW LEVEL / HORIZONTAL SUB-FLOOR, FINISH FLOOR AND BASEBOARD FOR NEW PORCH PER FINISH SCHEDULE
- 4) NEW WINDOW. SEE WINDOW SCHEDULE
- 5) NEW FIXED SKYLIGHT SIZE APPROX. 22" x 36"
- 6) NEW FULL SECURE GLASS INSULATED EXTERIOR DOOR, APPROX. 36"x84". SIZE TO BE FIELD VERIFIED
- 7) NEW INSULATED METAL ROOF
- 8) NEW GUTTERS AND DOWNSPOUTS



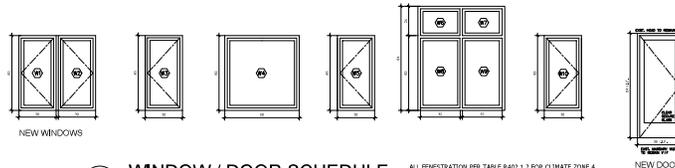
3 FIRST FLOOR PLAN - NEW CONSTRUCTION
SCALE 1/4"=1'-0"



4 ROOF FLOOR PLAN - NEW CONSTRUCTION
SCALE 1/4"=1'-0"



5 ELECTRICAL PLAN - NEW CONSTRUCTION
SCALE 1/4"=1'-0"



6 WINDOW / DOOR SCHEDULE
SCALE 1/4"=1'-0"

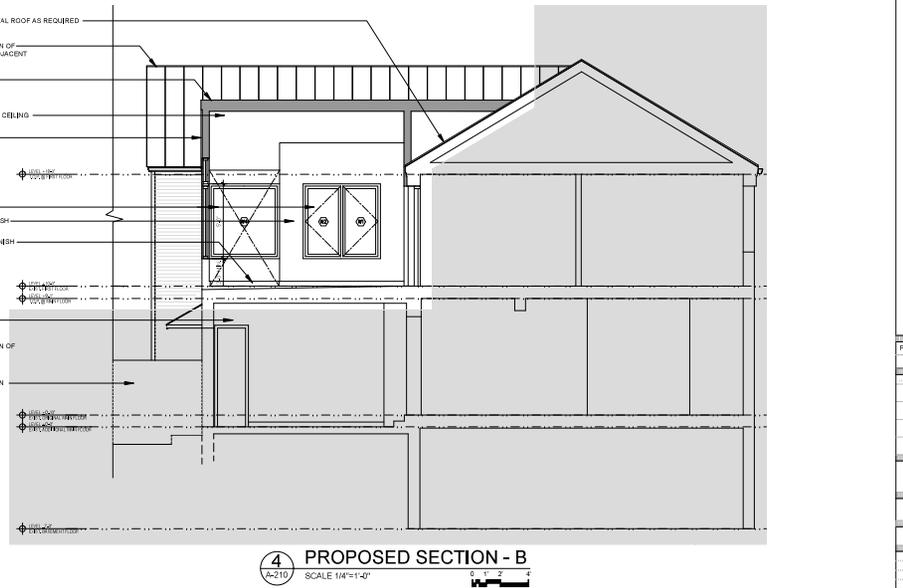
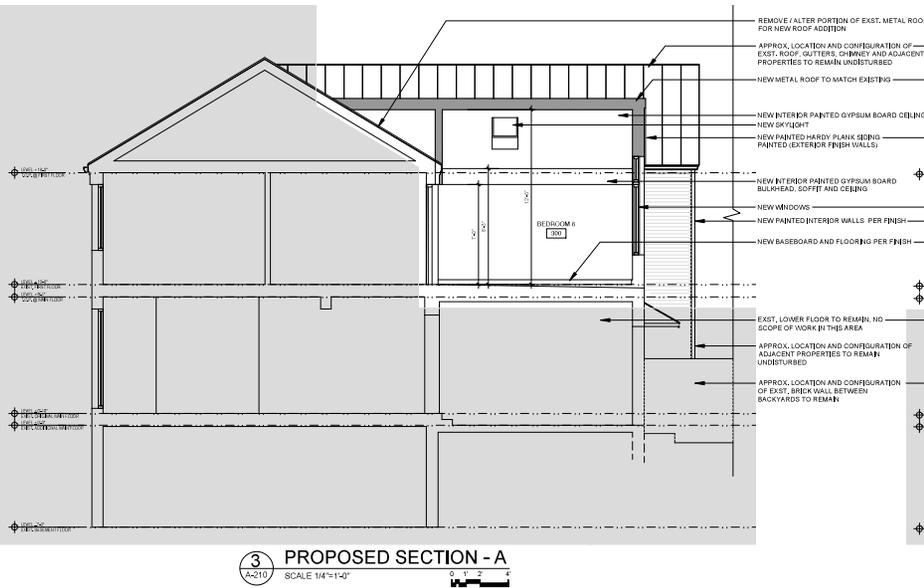
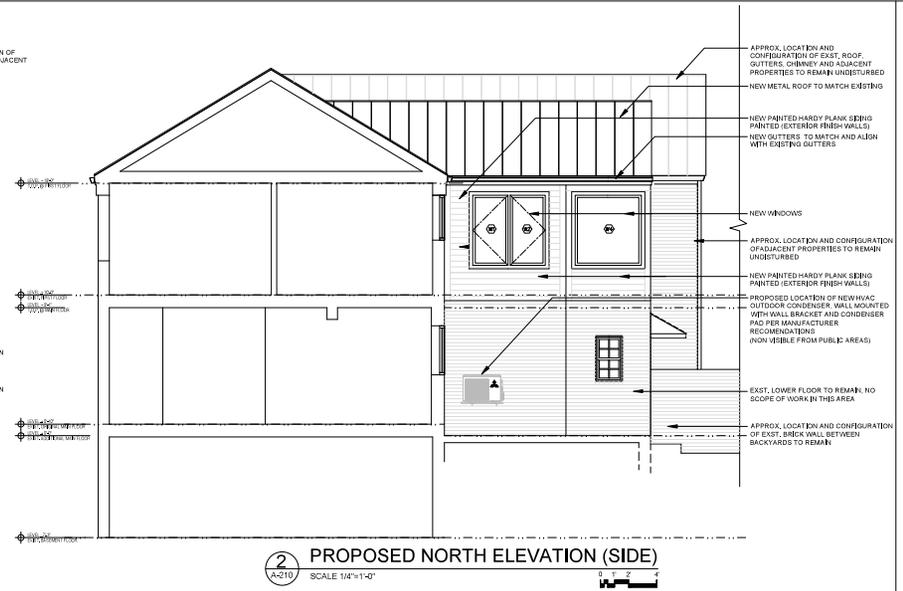
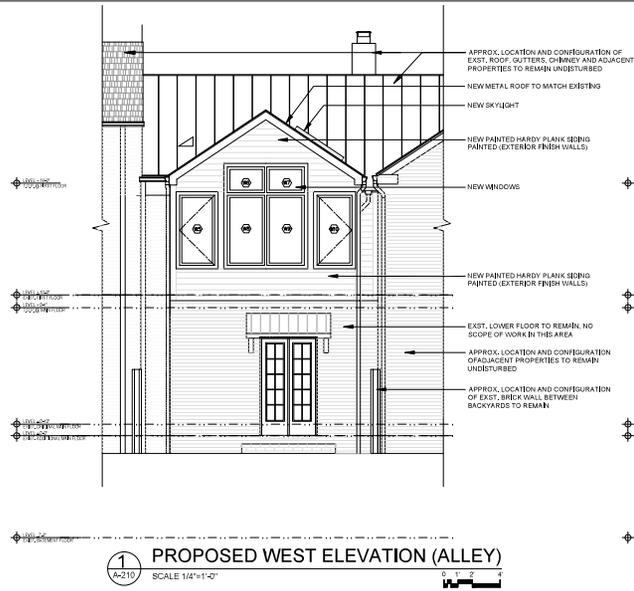
ALL PENETRATION PER TABLE R400.1.2 FOR CLIMATE ZONE 4
SMALL W/VE & U FACTOR LOWER THAN 0.13 AND R-5.0402
LOWER THAN R-6.01
FOR SKYLIGHT THE U FACTOR SHALL BE LOWER THAN 0.55
ALL PENETRATION PER TABLE R400.1.3 SHALL HAVE AN AIR
INFILTRATION RATE NOT GREATER THAN 0.3 cfm per sq. ft.
FOR SWINGING DOORS NOT GREATER THAN 0.5 cfm per sq. ft.

NOTES:
TYP. CLEAR GLASS, LOW E & U FACTOR<0.30 MAX.
MIN. WINDOW SILL 36"
ALL WINDOWS TO HAVE SCREEN
FIELD VERIFY ALL EXST. AND NEW R.G.D. PRIOR TO
FABRICATION
USE SAFETY GLASS WHEN REQUIRED BY CODE

FOUR SEASON PORCH ADDITION
729 S PITT STREET ALEXANDRIA, VA 22314 • 4307
OWNERS: SAMANTHA L. SHELTON AND ASHLEY W. BONE

PERMIT SET	0-00204
DATE	04/20/24
PROJECT	FOUR SEASON PORCH ADDITION
OWNER	SAMANTHA L. SHELTON AND ASHLEY W. BONE
ADDRESS	729 S PITT STREET ALEXANDRIA, VA 22314 • 4307
PROPOSED DEMOLITION AND NEW CONSTRUCTION PLANS	

A-110



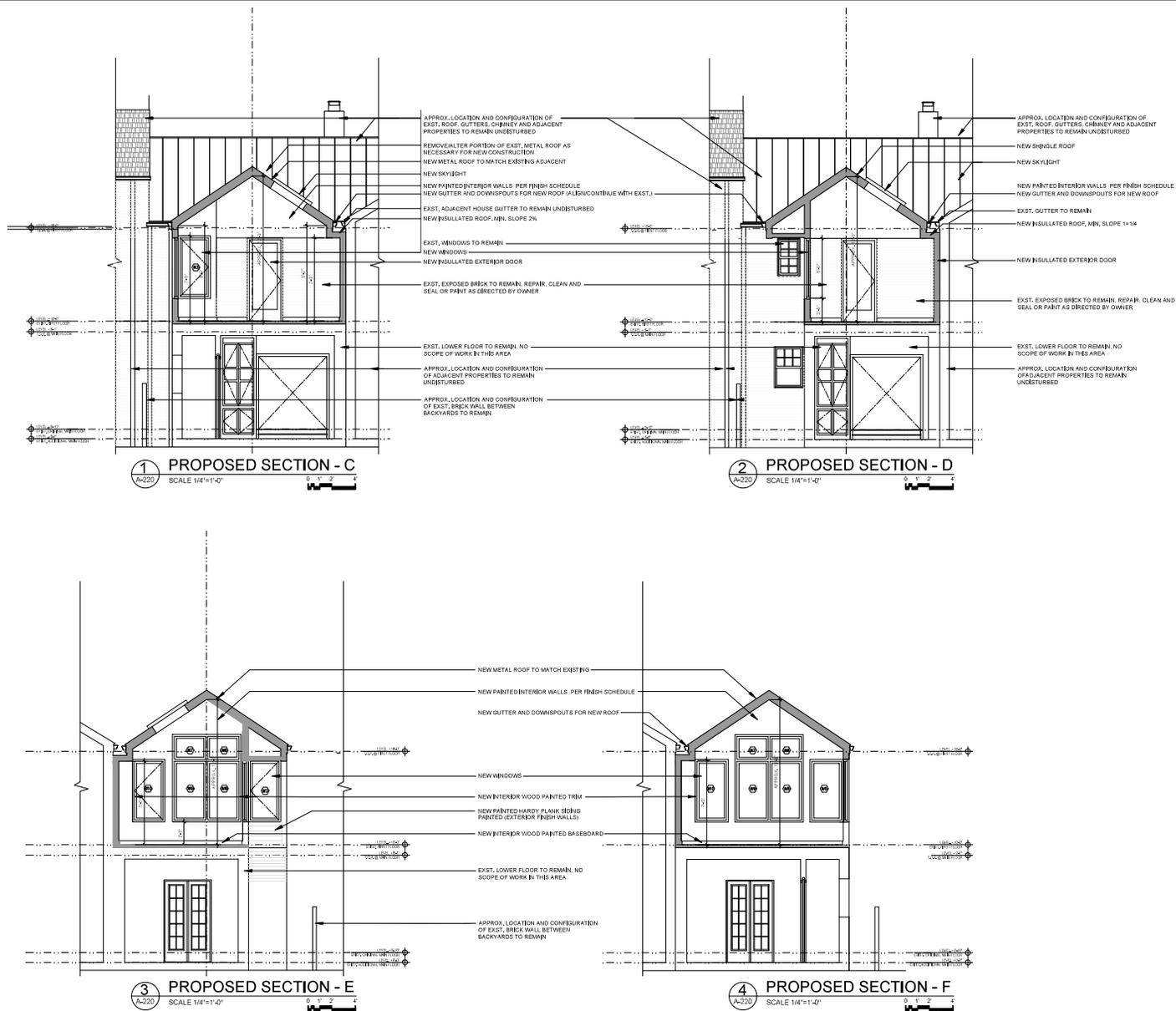
FOUR SEASON PORCH ADDITION

729 S PITT STREET ALEXANDRIA, VA 22314 • 4307

OWNERS: SAMANTHA L. SHELTON AND ASHLEY W. BONE

PERMIT SET	00-0024
DATE	
NO.	
729 S PITT STREET ALEXANDRIA VA 22314 • 4307	
FOUR SEASON PORCH ADDITION	
ELEVATIONS AND SECTIONS	

A-210



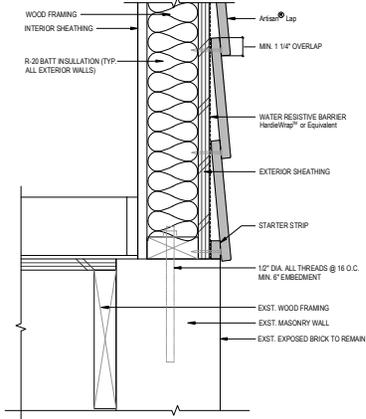
FOUR SEASON PORCH ADDITION

729 S PITT STREET ALEXANDRIA, VA 22314 • 4307

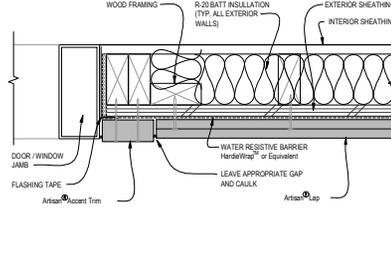
OWNERS: SAMANTHA L. SHELTON AND ASHLEY W. BONE

PERMIT SET	0-2024
DATE	04/23/24
PROJECT	FOUR SEASON PORCH ADDITION
OWNER	SAMANTHA L. SHELTON AND ASHLEY W. BONE
ADDRESS	729 S PITT STREET ALEXANDRIA, VA 22314 • 4307
PROJECT	FOUR SEASON PORCH ADDITION
DESIGNER	DEMOLITION AND NEW CONSTRUCTION PLANS

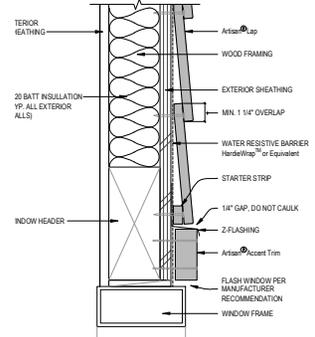
A-220



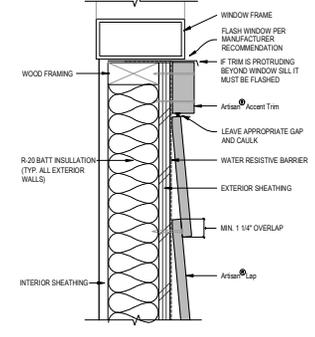
1 BRICK / LAP VIEW
SCALE: 3/4"=1'-0"



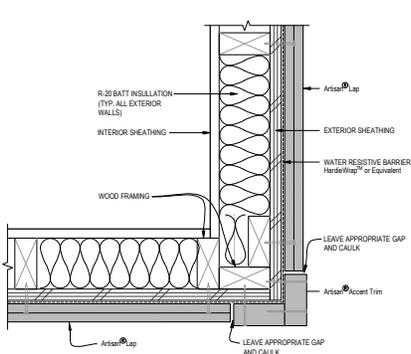
2 WINDOW / DOOR JAMB
SCALE: 3/4"=1'-0"



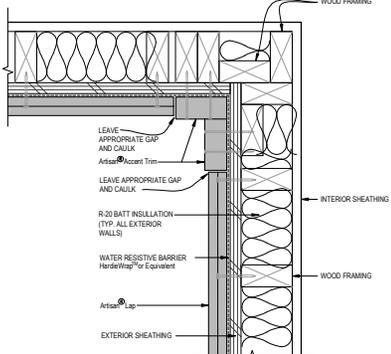
3 WINDOW / DOOR HEAD
SCALE: 3/4"=1'-0"



4 WINDOW SILL
SCALE: 3/4"=1'-0"



5 OUTSIDE CORNER
SCALE: 3/4"=1'-0"

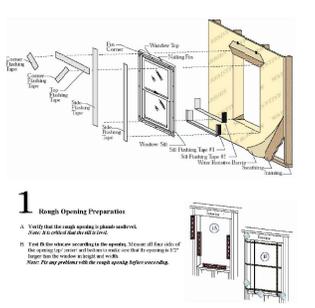


6 INSIDE CORNER
SCALE: 3/4"=1'-0"

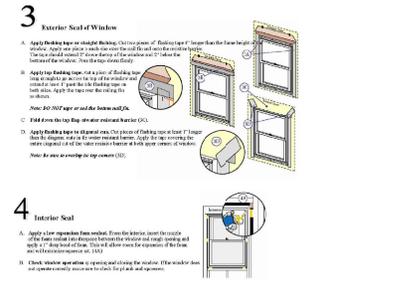
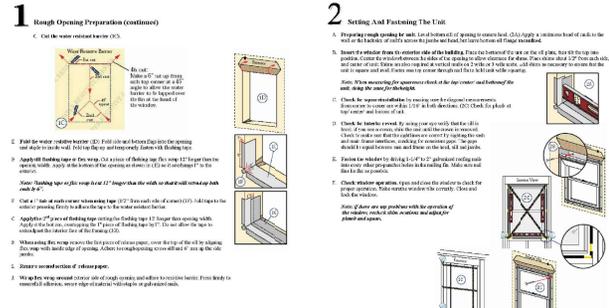
NO. / TITLE	REVISION / DATE	BY
1	10/15/2024	AS
2	10/15/2024	AS
3	10/15/2024	AS
4	10/15/2024	AS
5	10/15/2024	AS
6	10/15/2024	AS
7	10/15/2024	AS
8	10/15/2024	AS

NO.	DESCRIPTION	DATE
1	1.000	10/15/2024
2	1.000	10/15/2024
3	1.000	10/15/2024
4	1.000	10/15/2024
5	1.000	10/15/2024
6	1.000	10/15/2024
7	1.000	10/15/2024
8	1.000	10/15/2024

7 9K BTU HVAC UNIT OR SIMILAR
SCALE: 3/4"=1'-0"



8 WINDOW INSTALLATION
SCALE: 3/4"=1'-0"



FOUR SEASON PORCH ADDITION
729 PITT STREET ALEXANDRIA, VA 22314-4307
OWNERS: SAMANTHA L. SHELTON AND ASHLEY W. BONE

PERMIT SET	4-12-2024
729 PITT STREET ALEXANDRIA, VA 22314-4307	
FOUR SEASON PORCH ADDITION	
EXTERIOR WALL DETAILS	
A-500	

STRUCTURAL NOTES:

A.-DESIGN CRITERIA:

1. ALL CONSTRUCTION SHALL CONFORM TO THE INTERNATIONAL RESIDENTIAL CODE, 2018.
2. DESIGN LOADS:
 - 2.1. WIND SPEED = 115 MPH
 - 2.2. SNOW LOAD = 30 PSF
 - 2.3. SOIL BEARING CAPACITY = 1500 PSF (ASSUMED)
 - 2.4. ROOF = 25 PSF
 - 2.5. SLEEPING ROOMS = 30 PSF
 - 2.6. OTHER THAN SLEEPING ROOMS = 40 PSF
 - 2.7. DECKS = 40 PSF
 - 2.8. STAIR = 40 PSF
 - 2.9. HANDRAILS & GUARDS = 200 LBS (PER SECTION 1607.6)

B.-CONCRETE:

1. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST A.C.I. CODE 318.
2. CONCRETE COMPRESSIVE STRENGTH SHALL BE MINIMUM 3500 PSI
3. WALL FOOTINGS SHALL BE 24"X12" MINIMUM PLACED MONOLITHICALLY AS SHOWN ON DRAWINGS.
4. SLABS ON GRADE SHALL BE UNDERLAIN BY A MINIMUM OF 4" THICK CAST IN PLACE CONCRETE WITH BASE OF GRANULAR MATERIAL HAVING A MAXIMUM AGGREGATE SIZE OF 1.5 INCHES AND NO MORE THAN 2% FINES. PRIOR TO PLACING THE GRANULAR MATERIAL, THE SOIL SHALL BE FREE OF STANDING WATER, MUD AND FROZEN SOIL. BEFORE PLACEMENT OF CONCRETE, A 6 MIL VAPOR BARRIER SHALL BE PLACED ON TOP OF THE GRANULAR FILL.
5. CONCRETE FINISH: ALL EXPOSED EXTERIOR STEPS, STOOPS AND SLABS SHALL FIRST HAVE A STEEL TROWEL FINISH AND THEN A VERY LIGHT BROOM FINISH. EXPOSED INTERIOR AND GARAGE SLABS SHALL RECEIVE A STEEL TROWEL FINISH.
6. REINFORCING STEEL: REINFORCING STEEL SHALL CONFORM TO ASTM A615-60.

C.-FRAMING:

1. FRAMING LUMBER (OTHER THAN STUDS) SHALL BE SPRUCE PINE FIR OR SOUTHERN PINE CONSTRUCTION GRADE, NO. 2 OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES:
 - FB=1400 PSI
 - MODULUS OF ELASTICITY=1,500,000 PSI
2. ALL WALL STUDS SHALL BE SOUTHERN PINE STUD GRADE OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES:
 - COMPRESSION PARALLEL TO GRAIN "FC"=1425 PSI
 - MODULUS OF ELASTICITY "E" = 1,200,000 PSI
3. STUDS SHALL BE SIZED PER DRAWINGS, SPACED 16" O.C. MAXIMUM. ALL STUD PARTITIONS EXCEEDING 8'-0" HIGH SHALL BE BLOCKED AT MID-POINT.

ALL STUD BEARING WALLS SHALL BE PROVIDED WITH 2 CONTINUOUS TOP PLATES AND 1 CONTINUOUS BOTTOM PLATE WITH A MINIMUM OF ONE ROW OF HORIZONTAL BRIDGING AT MID-HEIGHT OF WALL UNLESS NOTED OTHERWISE. SPLICES OF TOP PLATE SHALL OCCUR OVER STUD. SPLICES SHALL BE STAGGERED A MINIMUM OF 4 FEET.

4. HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED ONE-THIRD OF WIDTH
5. ALL LUMBER IN CONTACT WITH EXTERIOR ELEMENTS, CONCRETE, OR CONCRETE BLOCK SHALL BE TREATED.
6. FASTENERS, HANGERS AND METAL ACCESSORIES USED IN PRESSURE TREATED WOOD CONSTRUCTION SHALL BE TYPE 304 OR 316 STAINLESS STEEL. TREATED LUMBER SHALL NOT BE PLACED IN CONTACT WITH ALUMINUM FLASHING OR OTHER ALUMINUM COMPONENTS.

D.-WOOD:

1. ALL LINTELS OVER FRAMED OPENINGS SHALL BE AS SHOWN BELOW, UNLESS NOTED OTHERWISE.
 - FOR ONE STORY + ROOF ABOVE:
 - 2 x 8 FOR OPENINGS UP TO 4'-0"
 - 2 x 10 FOR OPENINGS UP TO 6'-0"
 - 2 x 12 FOR OPENINGS UP TO 8'-0"
 - 3 x 12 FOR OPENINGS UP TO 10'-0"

2. ALL LAMBER IN CONTACT WITH MASONRY, CONCRETE OR EXTERIOR SHALL BE PRESSURE TREATED.
3. THE MINIMUM PROPERTIES SHALL APPLY FOR ALL WOOD FRAMING:

JOISTS, HEADERS & TRIMMERS: (SP#2)
 Fb= 850 PSI
 Fc par.= 405 PSI
 Fv= 150 PSI
 E= 1,300,000 PSI
 BEARING WALLS: (SP#2)
 Fb= 875 PSI
 Fc par.= 1100 PSI
 E= 1,400,000 PSI

WALL TOP PLATES FOR LOAD BEARING WALLS TPY. 2X4 & 2x6 STUDS:
 Fb= 1500 PSI
 Fv= 90 PSI
 E= 1,400,000 PSI
 5"x5" & LARGER POST:
 Fb= 850 PSI
 Fc par.= 375 PSI
 Fc par.= 925 PSI
 E= 1,200,000 PS

4. ALL INTERIOR LUMBER SHOULD BE PROVIDED WITH BORATE TREATMENT & EXTERIOR LUMBER WITH ACQ. TREATMENT.
5. ALL CONNECTIONS SHALL BE GALVANIZED AND SUPPLIED BY SIMPSON STRONG-TIE OR BY APPROVED EQUIVALENT MANUFACTURER.
6. JOIST CONNECTIONS TO FOUNDATION WALLS SHALL BE MADE WITH GALVANIZED STEEL HANGERS. PROVIDE #30 BUILDING FELT SEPARATION BETWEEN END OF JOIST AND MASONRY.

7. CUTTING AND NOTCHING OF DIMENSION LUMBER FLOOR JOIST SHALL CONFORM TO THE FOLLOWING:

- NOTCH DEPTH IN THE TOP OR BOTTOM OF THE JOIST AND BEAMS SHALL NOT EXCEED ONE SIXTH THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE -THIRD OF THE SPAN (INCLUDING BIRDS MOUTH CUTS)
- NOTCH DEPTH AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE -FOURTH THE DEPTH OF THE MEMBER.
- THE TENSION SIDE OF THE BEAM, JOIST, AND RAFTERS OF FOUR INCHES OR GREATER NOMINAL THICKNESS SHALL NOT BE NOTCHED, EXCEPT AT ENDS OF MEMBERS.
- HOLES BORED OR CUT INTO JOIST SHALL NOT BE CLOSER THAN TWO INCHES TO THE TOP OR BOTTOM OF THE JOISTS, THE DIAMETER OF THE HOLE SHALL NOT EXCEED ONE-THIRD THE MEMBER DEPTH.

8. SUB FLOORING SHALL BE 3/4" TONGUE & GROOVE C.D.X. EXTERIOR PLYWOOD, SCREWED AND GLUED TO JOISTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE ANY MATERIALS DAMAGED BY EXPOSURE TO THE ELEMENTS.
9. ROOF SHEATHING SHALL BE 1/2" (AS INDICATED ON DRAWINGS) C.D.X. EXTERIOR PLYWOOD. PROVIDE H CLIPS BETWEEN ALL ROOF TRUSSES OR RAFTERS.
10. EXTERIOR WALL SHEATHING SHALL BE 1/2" EXTERIOR GRADE PLY SCORE, UNLESS NOTED OTHERWISE.
11. PROVIDE BLOCKING BETWEEN ALL JOISTS 2"X12" OR GREATER AT INTERVALS NOT TO EXCEED 8 FEET.
12. PROVIDE SOLID BLOCKING AT 4 FEET ON CENTER BETWEEN BAND JOIST AND FIRST INTERIOR AND PARALLEL JOIST.
13. THE BASIC STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF FLOORS, WALLS & ROOF ACTING TOGETHER. CONTRACTOR SHALL PROVIDE GUYS, BRACES, STRUTS, ETC. AS REQUIRED TO ACCOMMODATE ALL LIVE, DEAD AND WIND LOADS UNTIL ALL FINAL CONNECTIONS BETWEEN THESE ELEMENTS ARE MADE.
14. ALL WOOD BLOCKING, NAILERS SHALL BE ATTACHED TO STEEL OR CONCRETE FRAMING WITH POWDER ACTUATED FASTENERS OR 3/8" DIAMETER BOLTS, UNLESS NOTED OTHERWISE. FASTENERS SHALL BE SPACED AT 24" MAXIMUM, CAPACITY OF 100 PSI.

E.-ENGINEERED WOOD BEAMS:

1. MICROLAM BEAMS SHALL BE AS MANUFACTURED BY TRUSS-JOIST CORPORATION. SUPPLIER SHALL SIZE MEMBERS INDICATED ON DRAWINGS. SUPPLIER SHALL PREPARE SHOP DRAWINGS FOR ARCHITECTS REVIEW OF SYSTEM DESIGN. MICROLAM ALLOWABLE STRESSES:
 - FB - 2,800 PSI
 - FV - 285 PSI
 - FC - 500 PSI
 - FC' - 2,700 PSI
 - FT - 1,850 PSI
 - E - 2,000,000 PSI
2. CONTRACTOR SHALL INSPECT TRUSS JOIST UPON ARRIVAL AT JOB SITE AND REJECT ANY MATERIAL WHICH IS WARPED, WET OR OTHERWISE DEFECTIVE. ALL MICROLAM SHALL BE TRANSPORTED AND STORED IN A VERTICAL POSITION AND SHALL BE KEEP DRY THROUGH DURATION OF CONSTRUCTION.

F.-ENGINEERED WOOD "I" JOISTS:

1. WHERE INDICATED AS TJI OR GPI MEMBERS TO BE FACTORY MANUFACTURED JOISTS BY CERTIFIED TRUSS JOIST CORPORATION. THE JOISTS SHALL BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S SPECIFICATIONS & INSTALLATION DETAILS. THE SELECTED JOISTS MEMBERS AS INDICATED ON THE PLANS SHALL BE CONFIRMED BY THE TRUSS SUPPLIER PRIOR INSTALLATION. THE CONTRACTOR SHALL PROVIDE SOLARIS BLOCKS, BRIDGING, TRIM JOISTS, HANGERS ETC., AS REQUIRED BY MANUFACTURER STANDARD DETAILS. THE JOIST TRUSS SUPPLIER SHALL PREPARE SHOP DRAWINGS PRIOR INSTALLATION.
2. CONTRACTOR SHALL INSPECT TRUSS JOIST UPON ARRIVAL AT JOB SITE AND REJECT ANY MATERIAL WHICH IS WARPED, WET OR OTHERWISE DEFECTIVE. ALL MICROLAM SHALL BE TRANSPORTED AND STORED IN A VERTICAL POSITION AND SHALL BE KEEP DRY THROUGH DURATION OF CONSTRUCTION.

G.-ENGINEERED WOOD ROOF TRUSS:

1. WOOD TRUSS SHALL BE DESIGNED WITH COMPONENTS IN ACCORDANCE WITH APPROVED ENGINEERING PRACTICE & TO BE FACTORY MANUFACTURED BY CERTIFIED ROOF TRUSS CORPORATION. TRUSS COMPONENT MAY BE JOINED BY NAILS, GLUE, TIMBER METAL CONNECTORS OR OTHER APPROVED FASTENING DEVICE. THE DESIGN OF THE METAL PLATE CONNECTED TO WOOD TRUSSES SHALL COMPLY WITH TPI-QST, TPI-PCF AND TPI-1985 DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSSES.
2. TRUSS SHALL BE BRACED ACCORDING TO THEIR APPROPRIATE ENGINEER DESIGN. IN ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSS SHALL BE BRACED IN ACCORDANCE WITH TPI -BWT.
3. TRUSS SHALL NOT BE CUT OR ALTERED.
4. CONTRACTOR SHALL INSPECT TRUSS JOIST UPON ARRIVAL AT JOB SITE AND REJECT ANY MATERIAL WHICH IS WARPED, WET OR OTHERWISE DEFECTIVE. ALL MICROLAM SHALL BE TRANSPORTED AND STORED IN A VERTICAL POSITION AND SHALL BE KEEP DRY THROUGH DURATION OF CONSTRUCTION.

H.-STEEL:

1. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36. PIPE TO BE A-500 OR A-501. DETAILING SHALL BE IN ACCORDANCE WITH AISC STRUCTURAL STEEL DETAILING MANUAL. BOLTED FIELD CONNECTION SHALL BE "X" DIAMETER HIGH STRENGTH BOLTS MEETING ASTM A-325.
2. ALL STEEL GIRLERS SHALL HAVE A MINIMUM OF 8" BEARING PLATES BOLTED TO MASONRY PIERS. PROVIDE 8"X 12"X1/2" STEEL BEARING PLATES BOLTED TO MASONRY PIERS.
3. ALL STEEL ANGLES, LINTELS, BEAMS, COLUMNS, ETC. SHALL BE SHOP PRIMED WITH RED LEAD OR RED OXIDE PRIMER OR APPROVED EQUAL. STRUCTURAL STEEL AT OR BELOW GRADE SHALL BE PAINTED WITH TWO COATS OF AN ASPHALTIC BASE PAINT AND PROTECTED WITH A MINIMUM OF 2" SOLID MASONRY OR CONCRETE.

NOTE: FOR OPENINGS GREATER THAN 8'-0" CONSULT WITH THE STRUCTURAL ENGINEER.

I.-FOUNDATION:

1. COORDINATE ALL DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS AND NOTIFY IF ANY DISCREPANCY IS FOUND.
2. PROVIDE MINIMUM 30" FROST DEPTH FOR ALL EXTERIOR FOOTING.
3. PROVIDE 4" CONCRETE SLAB WITH 6% -W 14XW1.4 W.W.F. TYP.
4. PROVIDE 4" CONCRETE SLAB WITH 6% -W 14XW1.4 W.W.F. TYP.
5. BACKFILL WITH PROPER COMPACTION IN 8" LAYERS TO PREVENT SOIL SETTLEMENT AGAINST PERIMETER WALLS. ROUGH GRADE TO ELEVATIONS SHOWN, LESS ALLOWANCE FOR TOPSOIL, PAVING WALLS, SLABS, ETC. FILL TO BE FURNISHED BY CONTRACTOR AS REQUIRED TO BRING GRADES TO THOSE INDICATED ON THE CIVIL/LANDSCAPE DRAWINGS.
6. BOTTOM OF THE EXCAVATIONS FOR FOUNDATIONS SHALL BE LEVELED AND ON UNDISTURBED SOIL AT LEAST 30" BELOW ORIGINAL GRADE. REMOVE LOOSE MATERIAL. EVACUATION BROUGHT TO APPROVED CONDITION WITH NO EARTH FILL UNDER ANY FOUNDATION.
7. ALL FOOTING SHALL BEAR ON UNDISTURBED SOIL OR SOLID ROCK. REVIEW FOOTING SIZE USING MINIMUM SOIL BEARING CAPACITY PER LOCAL JURISDICTION. CONTRACTOR SHALL NOTIFY OWNER OR STRUCTURAL ENGINEER TO ARRANGE FOR TESTING IF THE EXISTING CAPACITY IS SUSPECTED TO BE BELOW THAT.
8. BOTTOM OF ALL CONCRETE FOOTINGS, MINIMUM OF 30" BELOW FINISHED GRADE.

GENERAL NOTES:

- COORDINATE ALL DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS AND NOTIFY IF ANY DISCREPANCY IS FOUND.
- PROVIDE MINIMUM 30" FROST DEPTH FOR ALL EXTERIOR FOOTING.
- PROVIDE 4" CONCRETE SLAB OR PAD WITH 6% -W 1,4XW1.4 W.W.F. TYP.
- EXTERIOR WOOD TRIM: ALL INTERIOR WOOD TRIM SHALL BE CLEAR PINE OR REDWOOD. ALL TRIM SHALL BE PRIMED ON BOTH SIDES PRIOR TO INSTALLATION. ALL OUTSIDE CORNERS SHALL BE MITERED. NO BUTT JOINS WILL BE ACCEPTED. EXTERIOR SYNTHETIC TRIM SHALL BE "AZEK" OR "JAMES HARDIE" WITH TRADITIONAL SMOOTH OR FLAT SURFACE. FASTENERS, JOINT CEMENT AND INSTALLATION PROCEDURES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- FOUNDATION SHALL BE CONSTRUCTED OF PRESSURE TREATED 2X12 RIPPED TO ACTUAL WIDTH OF MASONRY WALL AND FASTENED WITH "X" DIA. BY 18" LONG ANCHOR BOLTS AT 6'-0" ON CENTER MAXIMUM. PROVIDE ANCHOR BOLT WITHIN 12" OF EACH DOOR OPENING AND WITHIN 12" OF EACH FOUNDATION SILL PIECE.
- FOUNDATION DRAIN TO BE 4" DIAMETER (PERFORATED) PVC DRAIN PIPE INSTALLED IN STONE BACKFILL WITH MINIMUM 12" COVERAGE. PIPE SHALL BE WRAPPED WITH FILTER FABRIC. OUTFALL DOWNHILL OR INTO SUMP PIT, AS REQUIRED BY FINISHED GRADES.
- SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS
- ALL EXTERIOR WALLS TO BE SHEATHED WITH #2 APA RATED OSB WALL SHEATHING & 10d NAILS @ 6" O.C. @ PANEL EDGES @ 12" O.C. AT INTERMEDIATE SUPPORTS
- ALL PARTY WALLS TO BE SHEATHED WITH #2 GYPSUM WALLBOARD NAILED W/ 5d COOLER NAILS OR EQUIVALENT @ 4" O.C. -SPACE STUDS @ 16" O.C. MAX. UNLESS NOTED OTHERWISE
- PROVIDE HURRICANE ANCHORS CAPABLE OF RESIST UPLIFT LOADS
- CONTRACTOR TO VERIFY ROOF SPANS, HEEL HEIGHTS, PITCHES, OVERLUNG W/ ARCH. DWGS.
- LAYOUT SHOWN IS FOR GUIDANCE & SHALL NOT BE USED AS SHOP DWGS.

FOUR SEASON PORCH ADDITION

729 PITT STREET ALEXANDRIA, VA 22314-4307

OWNERS: SAMANTHA L. SHELTON AND ASHLEY W. BONE

PERMIT SET 4-12-2024

NO.	REVISION	DATE

729 PITT STREET
ALEXANDRIA
VA 22314-4307

FOUR SEASON PORCH ADDITION

STRUCTURAL GENERAL
NOTES

S-001

