



Development Special Use Permit # 2024-10002
Rushmark Eisenhower South Tower – Extension
2927 Eisenhower Ave.

Application	General Data	
Project Name: Rushmark Eisenhower South Tower	PC Hearing:	June 24, 2024
	CC Hearing:	July 2, 2024
	Extension Approval, DSUP Expiration:	July 2, 2027
	Plan Acreage:	106,361 square feet (2.44 acres)
Location: 2927 and 2957 Eisenhower Avenue	Zone:	CDD#3 (Cameron Center)
	Approved Use:	Multi-Unit Residential & Retail)
	Dwelling Units	197 units
	Gross Floor Area:	352,827 square feet
	Net Floor Area:	335,107 square feet
Applicant: Rushmark Eisenhower South Tower, LLC, represented by M. Catharine Puskar, attorney	Small Area Plan:	King Street Metro / Eisenhower Avenue Small Area Plan
	Green Building:	LEED Certified Silver or equivalent (retail); LEED Certified or equivalent (residential)

Purpose of Application:

The applicant requests a three-year extension of a previously approved Development Special Use Permit (DSUP2015-0001) with site plan to construct a new multi-unit residential building with ground-level retail/commercial.

Staff Recommendation: APPROVAL WITH CONDITIONS

Staff Reviewers: Robert M. Kerns, AICP, Division Chief robert.kerns@alexandriava.gov
Nathan Randall, Principal Planner nathan.randall@alexandriava.gov
Alexa Powell, Urban Planner alexa.powell@alexandriava.gov

PLANNING COMMISSION ACTION, JUNE 24, 2024: On a motion by Commissioner Brown, seconded by Commissioner Lyle, the Planning Commission voted to recommend approval of DSUP#2024-10002, subject to all conditions, code requirements, and ordinances. The motion carried on a vote of 5-0, with Chair Macek and Commissioner Manor absent.

Reason: The Planning Commission agreed with the staff analysis.

Discussion:

Commissioner Brown felt the description provided in the application was insufficient and asked the applicant to elaborate on the change in circumstances necessitating the extension.

Commissioner Koenig asked staff about the City's expectation for property maintenance in phased development projects and whether an interim use was something that staff considered in this case. Staff responded that vacant sites typically are fenced, are expected to be kept in good condition, and often are not open for public use. Staff also noted it had considered the idea of having an interim use on the site but concluded that it is not a common requirement and presented practical challenges.

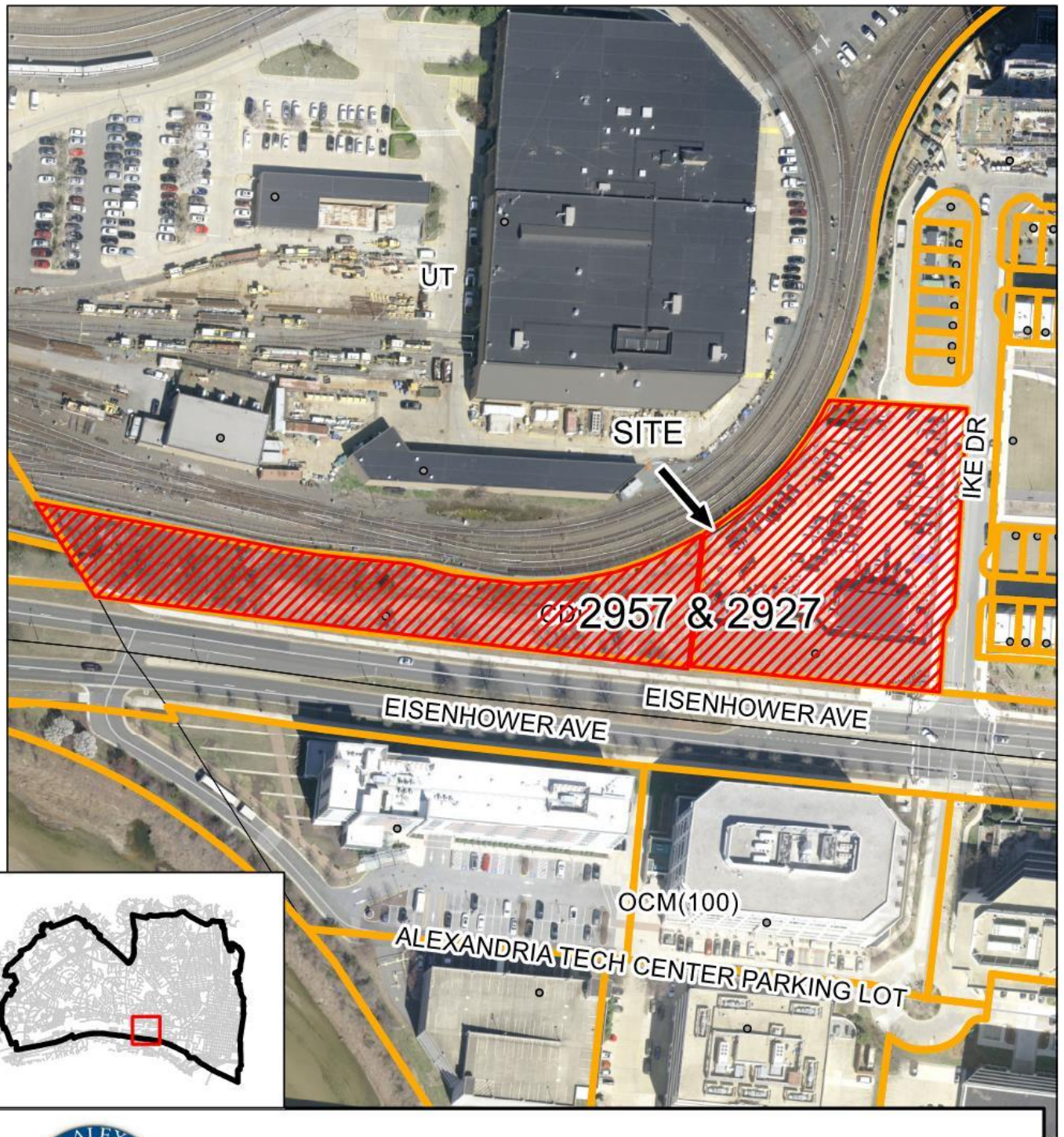
Commissioner Lyle asked if code enforcement could be sent to do a site inspection prior to the City Council meeting. Director Moritz replied in the affirmative.

Vice Chair McMahon commiserated with the community member about their desire for this site to be greenspace in the interim but acknowledged that typically these areas are fenced and generally don't allow public access for liability reasons. Further, she noted that conversion to greenspace generally isn't as simple as removing a fence. She also recognized the financial feasibility challenges that the applicant shared as an explanation for the need for an extension. She expressed a desire for the South Tower investment to be successful and was supportive of the extension to provide time for market conditions to improve.

Speakers:

Lauren Riley, attorney, representing the applicant, spoke about the details of the project including the phased nature of construction, the timeline, and the current market conditions in response to Commissioner Brown's question. In particular, she noted since the original proposal increasing interest rates have essentially doubled the cost of the project. She further explained that the market would not support increasing rents to offset such costs. She also confirmed that the applicant has agreed to the inclusion of Condition #132 and has hired a contractor to clean the site up in the next two weeks.

Adam Stickler, Eisenhower Square Homeowners Association President, expressed concern about the project timeline, potential property value impacts, property maintenance of the site, and strongly encouraged the provision of greenspace in the interim until construction begins.



DSUP#2024-10002
2927 & 2957 Eisenhower Avenue



0 65 130 260 Feet

I. SUMMARY

Staff recommends **approval** of an extension of a previously approved Development Special Use Permit (DSUP) for an additional three years for the “Rushmark Eisenhower South Tower” development. The proposal, which is the first extension request for this project, continues to be reasonable and appropriate for this site and is consistent with the King Street/Eisenhower Avenue Small Area Plan.

The purpose of the current extension request is to allow for the construction of a multi-unit building with up to 197 total dwelling units, 9,000 square feet of retail space, and a shared parking garage on the vacant lot at 2927 Eisenhower Avenue. The applicant has indicated challenging market conditions as the reason for the delay in construction and the need for an extension beyond the current expiration date of June 30, 2024.

II. BACKGROUND

A. *Procedural Background*

The applicant obtained a three-phase land-use approval for the development of the Rushmark Eisenhower project in February 2016 under Development Special Use Permit #2015-00001. Phase I included 67 townhomes which were constructed in the central/eastern portion of the overall project site and occupied after July 21, 2021. Phase II included the North Tower (with 336-units), at the northern portion of the project area, which was constructed and occupied after September 30, 2019.

Phase III, included a 197-unit residential building with ground-level retail/commercial on the southern and western portions of the project area. Known as the South Tower, it received final site plan approval January 11, 2022. Since that time substantial construction has not commenced for this phase of the project.

On April 27, 2023, the applicant requested clarification regarding the period of validity for Phase III, of the project. Staff investigated the question and after internal discussions found that both [Section 11-418](#) of the Zoning Ordinance, which describes the period of validity in the event of an interruption in construction for phased development projects, and the declaration of a local emergency due to COVID which allowed for the extension of projects, were applicable. It identified June 30, 2024 as the revised expiration date.

Subsequently, the applicant informed staff that the South Tower portion of this project would not be built prior to the June expiration and filed for an extension request to enable construction of the final phase of this development.

B. *Site Context*

Phase III of the project includes development of two contiguous vacant lots containing approximately 106,361 square feet (2.44 acres) of land. The lot at 2927 Eisenhower Avenue is the site of the proposed South Tower building and stormwater facilities are located on the adjacent parcel at 2957 Eisenhower Avenue. The property on which the South Tower building is proposed

is accessed by a private street, Ike Drive, which the applicant constructed as part of the overall Rushmark Eisenhower Avenue development. The lots are located on the north side of Eisenhower Avenue bounded by railroad tracks to the north, Washington Metro Transportation Authority's Service & Inspection Yard (WMATA S&I Yard) to the west, and existing residential units to the north and east. The Virginia Department of Motor Vehicles (DMV) office is also located to the east. Two hotels, several office buildings, and Strayer University are located to the south across Eisenhower Avenue.

The site is well connected to the area's regional transportation network. There are several major roads near the site including Interstate 495, Route 611 (Telegraph Road), and Route 236 (Duke Street), as well as the more locally serving Eisenhower Avenue. The site is located 0.7 miles west of the Eisenhower Metro Station, which is located on Eisenhower Avenue. There are bus stops within walking distance of the property that are served by DASH Route 32, which connects the site to the Eisenhower Avenue Metro Station (yellow line) to the east and the Van Dorn Metro Station (blue line) to the west. A paved trail for bicyclists and pedestrians runs west from the project site along Eisenhower Avenue, connecting to Holmes Run Trail and other regional trail networks.

The two parcels comprising the project site each have a short rise in grade immediately adjacent to Eisenhower Avenue, which subsequently levels off on the portion of the site on which the new building would be constructed. Some vegetation exists on both properties, which is partially overgrown on the 2957 Eisenhower parcel. Streetscape improvements, such as new sidewalks and street trees, were constructed on the southern and eastern sides of the 2927 Eisenhower property as part of the two completed phases of the overall Rushmark project. Both parcels are surrounded by alternating wood and chain-link perimeter fencing, portions of which are in need of repair.

The majority of both parcels and portions of adjacent Rushmark Phase II have historically been located in the 100-Year Floodplain. In connection with the original development approval for the project, the applicant received approval in 2017 to raise the grade for all necessary areas of the overall Rushmark project above the base flood elevation and to re-map those areas out of the floodplain. In 2020, as part of its City-wide floodplain re-mapping project, FEMA remapped the area and extended the floodplain beyond that which was previously removed by the original 2017 approval (which is known as a Letter of Map Revision based on fill, or LOMR-F). This remapping added new portions of these sites into the floodplain despite the grade having been raised above the base flood elevation years prior. The applicant is currently in the process of applying for a new LOMR-F from FEMA for the 2927 Eisenhower parcel that would remove the development from the FEMA Special Flood Hazard Area (SFHA), allowing construction of the new mixed-use building as anticipated. The correction would need to be approved prior to release of the new final site plan as provided for in existing Condition #73, which has been carried forward into this approval.

III. PROJECT DESCRIPTION

The applicant, Rushmark Eisenhower South Tower, LLC, requests approval of a three-year extension of a previously approved Development Special Use Permit (DSUP2015-0001) to construct a new multi-unit residential building with ground-level retail/commercial. The project

includes construction of a total of 197 dwelling units, 9,000 square feet of retail space, and an above grade parking garage. The applicant has not requested any changes to the approved final site plan for the South Tower as part of this extension request.

The South Tower will be a total of 14 stories with a maximum height of 150 feet. The above-grade parking garage has been sited such that the rest of the proposed building will screen it from view from Eisenhower Avenue. At the same time, the garage location provides a buffer between the rail yard and the lower residential units. To further mitigate any potential sound impacts to the site from the adjacent WMATA service yard, a sound wall was constructed as part of a previous project phase along the western boundary of the site.

For further reference, the previous DSUP staff report with details about all phases of the project are attached to this report.

IV. ZONING

The subject site is zoned CDD #3/Coordinated Development District #3. Pursuant to Section 5-602 of the Zoning Ordinance, multi-unit residential uses are allowed in CDD #3 with Special Use Permit approval. Several commercial uses, including retail businesses, are allowed on the ground-level of the building without Special Use Permit approval consistent with Section 5-602(E). A summary of the zoning elements of the project are identified in the table below.

Site Area:	106,361 square feet (2.44 acres) in total	
Zone:	CDD #3/Coordinated Development District #3	
Current Use:	Vacant	
Proposed Use:	New Multi-Unit Residential & Retail	
	<i>Permitted / Required</i>	<i>Proposed</i>
FAR	2.75**	2.75**
Height	150 feet*	150 feet**
Setbacks	N/A	N/A
Parking:	248 (residential) 49 (retail)	248 (residential) 28 (retail)***

*As permitted in original DSUP approval (DSUP#2015-0001).

** Including bonus density approved in original DSUP pursuant to section 7-700.

*** A parking reduction SUP was approved for 21 retail parking spaces.

V. STAFF ANALYSIS

Staff recommends extending the period of validity for the applicant's previously approved Development Special Use Permit for an additional three years to July 2, 2027. No changes to the original approval are being sought by the applicant and no circumstances that would alter the

original recommendation have arisen. The proposal to construct a mixed-use building continues to represent a reasonable plan to develop the property and one that is consistent with the King Street Metro / Eisenhower Avenue Small Area Plan (SAP).

A. Consistency with SAP & Zoning

Very few changes have occurred in this area in the last eight years since the original DSUP approval. In the immediate vicinity there have been no other new developments apart from the construction of the townhouses and North Tower that were part of this phased development project. The property is located a short distance outside of the Eisenhower East Small Area Plan, which was updated after the original approval of this project. However, none of those adjacent Small Area Plan's recommendations impact the project site. No other City planning goals have been amended in this area that would change staff's original recommendation for approval. Finally, the use of the property is consistent with the recommendations of the King Street Metro / Eisenhower Avenue Small Area Plan, in which the project site is located, and with the CDD#3 zone.

B. Minor Staff-Requested Revisions

Although the applicant has not requested any changes to the project as part of the extension, staff requested three minor changes that have been incorporated into the current proposal. The first change is a minor revision to the fire service plan to reflect requirements of the current fire truck turning movements. The second change is the inclusion of a new condition (Condition #131) to clarify that construction of the South Tower must follow current fire code standards. The final change is new condition language (Condition #132) to memorialize the applicant's intent to complete minor improvements to the condition of the property and maintain the property in good condition until construction of the South Tower begins. All other conditions of the previous approval have been carried forward into this extension request as originally written.

C. City Policies

All City policies in effect at the time of the original approval are applicable to the current extension request. Planning and Zoning generally does not require projects to be revised for consistency with updated policies as part of a first extension request.

D. Stormwater Mitigation

The applicant plans to continue to mitigate stormwater impacts from new development using stormwater best management practices. The plan incorporates the use of bioretention and existing manufactured treatment device BMPs to achieve a 26% improvement in phosphorus reductions compared to the pre-development condition. The storage volume requirement for water quantity criteria will be satisfied through the onsite bioretention BMP and a stormwater vault detention system adjacent to the project site.

E. Student Generation

The City evaluates the potential student generation from all new residential construction based on student generation rates developed jointly with Alexandria City Public Schools (ACPS). It is estimated that approximately eight students would be generated from the construction of the South Tower, which is the focus of the current extension request. This figure represents a decrease in three students that were previously calculated for the South Tower as part of the original approval. The decrease is due to student generation rate changes that have occurred in intervening years. Currently, students from the project site attend Lyle-Crouch Traditional Academy, George Washington Middle School, and Alexandria City High School. Consistent with School Board policy, ACPS evaluates school boundaries every five years and prior to the opening of each new school to determine if any adjustments are needed for capacity, diversity, or other reasons.

VI. COMMUNITY

The property has been posted with public notice signs announcing the proposed extension request and notification has been sent to all adjacent property owners with information about the proposal, hearing dates and contact information. The applicant has also informed the Eisenhower Partnership Organization of the extension request.

Comments were received by staff from a neighboring property owner and a representative from the adjacent Eisenhower Square Homeowners Association, representing the adjacent townhomes constructed as part of Rushmark Phase I. These individuals noted concern about the condition of the property on which the South Tower would be constructed, noting that they have requested that the applicant provide better maintenance of the subject property and allow the property to be available for either open space or parking in the interim until construction begins on the project. The individuals also raised concern about the Federal Emergency Management Agency (FEMA) having re-mapped some of the units in their community into the floodplain in recent years despite that the grade of their properties was raised above the base flood elevation as part of the construction of their units.

Staff has discussed the condition of the property with the applicant, who has agreed to improve the condition of the fence and trim overgrown vegetation. Staff has memorialized this understanding in new condition language (Condition #132). Regarding floodplain matters, staff has connected the individuals with Department of Transportation & Environmental Services staff regarding the FEMA process that should be completed – parallel to the one that the applicant for this case will need to complete for the 2927 Eisenhower parcel – to confirm that their properties are above the base flood elevation and to remove them from the 100-year floodplain.

VII. CONCLUSION

In conclusion, staff recommends **approval** of the three-year extension of a previously approved Development Special Use Permit (DSUP2015-0001) with site plan to construct a new multi-unit residential building with ground-level retail/commercial subject to compliance with all applicable codes and the staff recommendations contained in Section IX of this report.

Staff:

Robert M. Kerns, AICP, Chief of Development
Nathan Randall, Principal Planner, Development
Alexa Powell, Urban Planner, Development

VIII. GRAPHICS / PHOTOS

Figure 1: Rushmark Eisenhower South Tower Layout and Phasing

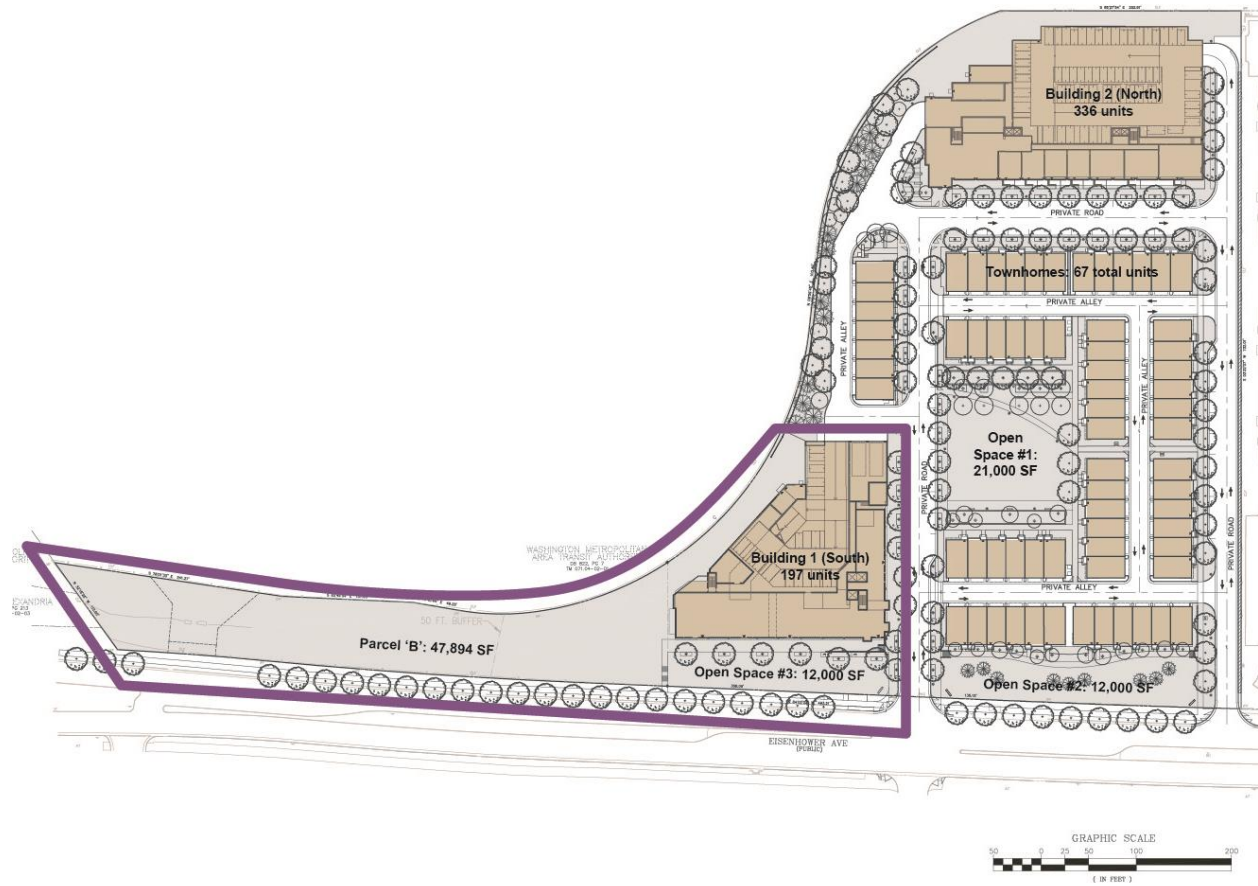


Figure 2: Rushmark Eisenhower South Tower Approved Final Site Plan Elevations

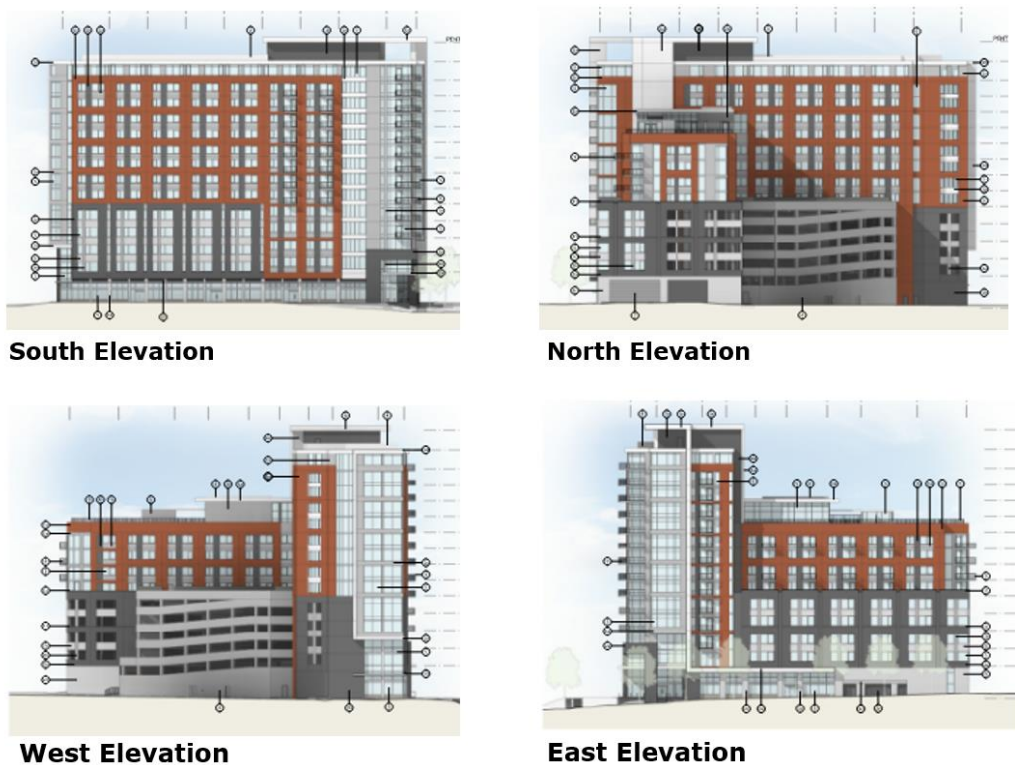
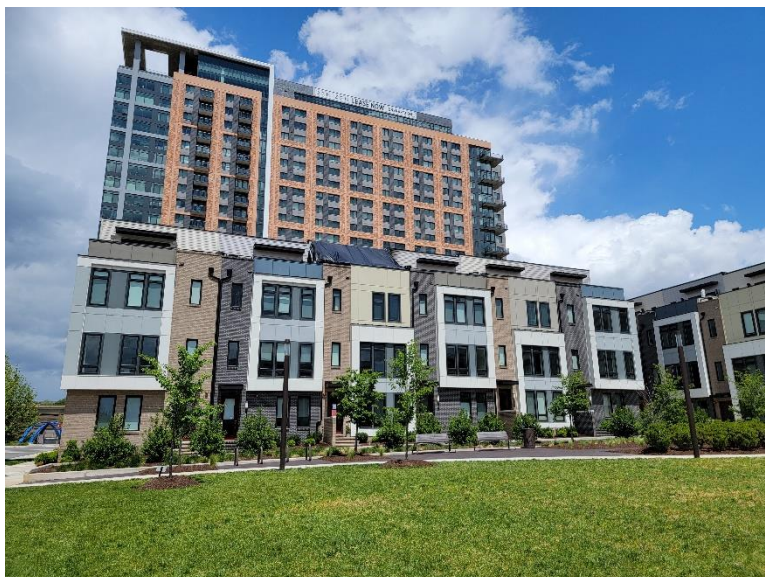


Figure 3: Constructed Rushmark Eisenhower Townhouses & North Tower



IX. STAFF RECOMMENDATIONS (DSUP)

1. **CONDITION AMENDED BY STAFF:** The Final Site shall be in substantial conformance with the preliminary plan dated ~~November 17, 2015~~ April 26, 2024 and comply with the following conditions of approval. (P&Z)

A. PEDESTRIAN/STREETSCAPE:

2. Provide the following pedestrian improvements to the satisfaction of the Directors of P&Z, RP&CA and T&ES:
 - a. If the pedestrian improvements will be phased for any final site plan within this development, provide a plan with the first final site plan submission(s) to support phased installation of permanent improvements. The plan(s) shall also include temporary infrastructure such as asphalt sidewalks (as appropriate) to provide adequate pedestrian access/connectivity to and through the site. Complete all pedestrian improvements prior to the issuance of a certificate of occupancy permit per the pedestrian improvement phasing plan in each site plan. If no phasing plan is provided, all required pedestrian improvements for each site plan must then be installed prior to the issuance of the certificate of occupancy for that plan.
 - b. Install ADA accessible pedestrian crossings serving the site.
 - c. Construct all concrete sidewalks to City standards. The minimum unobstructed width of newly constructed sidewalks shall be 6 feet.
 - d. Sidewalks shall be flush across all driveway crossings.
 - e. All newly constructed curb ramps in Alexandria shall be concrete with detectable warning and shall conform to current VDOT standards.
 - f. Provide separate curb ramps for each direction of crossing (i.e., two ramps per corner). Curb ramps shall be perpendicular to the street to minimize crossing distances. Any changes must be approved by the Director of T&ES.
 - g. Provide thermoplastic pedestrian crosswalks at all crossings at the proposed development, which must be designed to the satisfaction of the Director of T&ES.
 - h. All crosswalks shall be standard, 6 inches wide, white thermoplastic parallel lines with reflective material, with 10 feet in width between interior lines. High-visibility crosswalks (white, thermoplastic ladder crosswalks as shown in the Manual on Uniform Traffic Control Devices (MUTCD)) may be required as directed by staff at Final Site Plan. All other crosswalk treatments must be approved by the Director of T&ES.
 - i. Install pedestrian countdown signals and pedestrian activated push-buttons in accordance with City Standards. All pedestrian-activated push buttons shall be accessible per ADA Accessibility Guidelines (ADAAG).
 - j. All below grade utilities placed within a City sidewalk shall be designed in such a manner as to integrate the overall design of the structure with the

adjacent paving materials so as to minimize any potential visible impacts.
*** (P&Z)(RP&CA)(T&ES)

B. PUBLIC ART:

3. Per the City's Public Art Policy, the applicant shall provide a monetary contribution at a rate of \$.30 per gross square foot with a maximum contribution of \$75,000 per building: Building #1 (342,734 sf): \$75,000 (capped), Building #2 (560,182 sf): \$75,000 (capped), Townhouses (218,767 sf): \$65,630. Per the City's Public Art Policy payment in lieu funds are to be used toward city-acquired public art within the Small Area Plan planning area. **** (P&Z) (RP&CA)

C. OPEN SPACE/LANDSCAPING:

4. Develop, provide, install and maintain an integrated Landscape Plan with the final site plan that is coordinated with other associated site conditions to the satisfaction of the Directors of P&Z and/or RP&CA. At a minimum the Landscape Plan shall:
 - a. Provide an enhanced level of detail for plantings throughout the site (in addition to street trees). Plantings shall include a simple mixture of seasonally variable, evergreen and deciduous shrubs, ornamental and shade trees, groundcovers and perennials that are horticulturally acclimatized to the Mid-Atlantic and Washington, DC National Capital Region.
 - b. Ensure positive drainage in all planted areas.
 - c. Provide detail, section and plan drawings of tree wells showing proposed plantings and associated materials, irrigation, adjacent curb/pavement construction, including edge restraint system, dimensions, drainage, and coordination with site utilities.
 - d. Provide detail sections showing above and below grade conditions for plantings above a structure.
 - e. Provide planting details for all proposed conditions including street trees, multi-trunk trees, shrubs, perennials, and groundcovers.
 - f. All sidewalks and driveways constructed above tree wells/trenches shall be structurally supported. Areas of uncompacted growing medium shall not be used to support sidewalks and driveways without additional structural support. Provide section details both parallel and perpendicular to the street that verify this requirement.
 - g. Identify the extents of any areas of tree wells/trenches within the sidewalk on the landscape and site plans.
 - h. Provide a plan exhibit that verifies the growing medium in street tree wells/trenches meets the requirements of the City's Landscape Guidelines for soil volume and depth. The plan shall identify all areas that are considered to qualify towards the soil requirements, with numerical values illustrating the volumes.
(P&Z)(RP&CA)

5. Provide the following modifications to the landscape plan and supporting drawings to the satisfaction of the Directors of P&Z and/or RP&CA:
 - a. Amend the civil drawings and the detail on Sheet L 2.01 to provide a minimum 3 foot wide landscape strip between the curb and the retaining wall along the eastern property line and provide plant material in the 3 foot wide strip. (P&Z)(RP&CA)
 - b. Provide attractive landscaping in conjunction with each proposed entrance monument sign.
 - c. Provide a continuous landscape buffer consisting of a mixture of evergreen and deciduous trees and shrubs along the property boundary adjacent to the Metro rail from the west side of Building #1 to the northeast side of Building #2.
 - d. Provide additional plant material on the sloped area between the townhouses and Eisenhower Avenue for screening and seasonal interest.
 - e. Provide additional plant material adjacent to the retail sidewalk to provide a sense of enclosure and to provide interest.
6. Provide a site irrigation and/or water management plan developed installed and maintained to the satisfaction of the Directors of RP&CA, P&Z and Code Administration.
 - a. Provide an exhibit that demonstrates that all parts of the site can be accessed by a combination of building mounted hose bibs and ground set hose connections.
 - b. Provide external water hose bibs continuous at perimeter of building. Provide at least one accessible, external water hose bib on all building sides at a maximum spacing of 90 feet apart.
 - c. Hose bibs, ground set water connections and FDCs must be fully accessible and not blocked by plantings, site utilities or other obstructions.
 - d. Install all lines beneath paved surfaces as sleeved connections.
 - e. Locate water sources and hose bibs in coordination with City Staff. (Code Administration) (P&Z)(RP&CA)
7. Develop a palette of site furnishings in consultation with staff.
 - a. Provide location, and specifications, and details for site furnishings that depict the installation, scale, massing and character of site furnishings to the satisfaction of the Directors of RP&CA, and/or P&Z and T&ES.
 - b. Site furnishings shall include benches, bicycle racks, trash and recycling receptacles, drinking fountains and other associated features. (RP&CA)(P&Z)(T&ES)
8. Provide material, finishes, and architectural details for all retaining walls, seat walls, decorative walls, and screen walls. All retaining walls facing a street shall be designed with high quality materials, such as brick or stone. Indicate methods for grade transitions, handrails- if required by code, directional changes, above and below grade conditions. Coordinate with adjacent conditions. Design and

construction of all walls shall be to the satisfaction of the Directors of RP&CA, and/or P&Z, and T&ES. (RP&CA)(P&Z)(T&ES)

9. Provide public access easements for Open Space #1, Open Space #2, and Open Space #3, as defined on Sheet C5.00 and Parcel 'B' on Sheet C13.00 of the Preliminary Site Plan, dated November 17, 2015. (P&Z)(T&ES)(RP&CA)
10. The applicant will work with staff to finalize materials, color, and appearance of the sound wall.
 - a. The sound wall shall be designed to be in character with the residential neighborhood with precast concrete with a decorative form liner that that imitates stone.
 - b. The wall shall be finished with a compatible coping material to the satisfaction of the Director of Planning & Zoning. The structural piers shall be precast concrete compatible with the wall material and have matching caps.
 - c. Materials and color shall be coordinated with the appearance of the other buildings and structures proposed for the site. The wall shall be colored to have a brown or tan hue to match the wood-like features of the townhomes.
 - d. Provide buffer landscaping along the full length of the wall. In addition, provide concentrated sections of landscaping, differentiated with a variety in plant material, along the sound wall at 150 ft intervals or at least at three locations along the wall (at road terminus points or locations visible from Eisenhower Avenue).
 - e. Landscaping planned as additional buffer and screening will be coordinated with the sound wall design.
 - f. Provide material, finishes, and architectural details for the proposed sound walls on the site.
 - g. The design, color, materials and construction of all walls shall be to the satisfaction of the Directors of P&Z and T&ES. (P&Z)(T&ES)

D. TREE PROTECTION AND PRESERVATION:

11. Provide, implement and follow a tree conservation and protection program that is developed per the City of Alexandria Landscape Guidelines and to the satisfaction of the Directors of P&Z, and/or RP&CA and the City Arborist. (P&Z)(RP&CA)
12. A fine shall be paid by the applicant in an amount not to exceed \$10,000 for each tree identified to be preserved on the Preliminary Plan that is destroyed and/or the City may request that replacement trees of similar caliper and species be provided for damaged trees if the approved tree protection methods have not been followed. The replacement trees shall be installed and if applicable the fine shall be paid prior to the issuance of the last certificate of occupancy permit. *** (P&Z)(RP&CA)

13. The area of the limits of disturbance and clearing for the site shall be limited to the areas as generally depicted on the preliminary site plan dated November 17, 2015 and reduced if possible to retain existing trees and grades. (P&Z)(RP&CA)

E. BUILDING:

14. The building design, including the quality of materials, final detailing, and color palette shall be consistent with the elevations dated November 17, 2015 and the following conditions. (P&Z)
15. Provide the following building refinements to the satisfaction of the Director of P&Z:
 - a. Continue to study alternate color schemes for the townhouse groupings.
 - b. Explore the use of a wood-appearing horizontal siding alternative to Hardiplank for portions of the non-masonry townhouse facades.
 - c. Where alternate materials are called out in elevations, provide final materials selections, and review with Staff. (P&Z)
16. Provide detailed drawings (enlarged plan, section and elevation studies) in color to evaluate the building base, entrance canopy, stoops, window and material details including the final detailing, finish and color of these elements during the final site plan review. Separate design drawings shall be submitted for each different building bay typology at a minimum scale of $\frac{1}{4}'' = 1'$, showing coordinated plan/section/elevation, with dimensions and 45 degree vertical/horizontal shadows, in color. (P&Z)
17. The following conditions apply to decks for townhouses:
 - a. Decks shall only be permitted on the second floor of the rear elevations of townhouses facing an alley.
 - b. The size of decks shall be limited to the size shown on the architectural elevations.
 - c. All visible elements of the deck, including the underside of the deck shall be finished and consistent with the quality of materials, final detailing, and color palette of other surfaces.
18. Building materials, finishes, and relationships shall be subject to review and approval by the Department of Planning and Zoning for substantial conformance to the preliminary plan. The following submissions shall be provided to review the materials, finishes and architectural details, prior to selection of final building materials:
 - a. Provide a materials board that includes all proposed materials and finishes at first final site plan. Applicant shall work with Planning and Zoning Staff for preliminary review of materials prior to submission of materials board.

*

- b. The materials board shall remain with the Department of Planning and Zoning until the final certificate of occupancy, upon which all samples shall be returned to the applicant.***
 - c. Provide drawings of a mock-up panel that depict all proposed materials, finishes, and relationships as part of the first final site plan. *
 - d. Construct an on-site, mock-up panel of proposed materials, finishes, and relationships for review and approval prior to final selection of building materials. The mock-up panel shall be constructed and approved prior to vertical (above-grade) construction and prior to ordering final building materials. **
 - e. The mock-up panel shall be located such that it shall remain on-site in the same location through the duration of construction until the first certificate of occupancy. *** (P&Z)
19. Per the City's Green Building Policy adopted April 18, 2009, achieve a green building certification level of LEED Certified or equivalent for the residential portion of the project, and a green building certification level of LEED Silver (or equivalent) for the commercial interiors to the satisfaction of the Directors of P&Z, and/or RP&CA and T&ES. Diligent pursuance and achievement of this certification shall be monitored through the following:
- a. Provide evidence of the project's registration with LEED (or equivalent) with the submission of the first final site plan and provide a draft checklist showing how the project plans to achieve the certification.*
 - b. Provide evidence of submission of materials for Design Phase credits to the U.S. Green Building Council (USGBC) (or equivalent) prior to issuance of a certificate of occupancy. ***
 - c. Provide evidence of submission of materials for Construction Phase credits to USGBC (or equivalent) within six months of obtaining a final certificate of occupancy.
 - d. Provide documentation of LEED Certification from USGBC (or equivalent) within two years of obtaining a final certificate of occupancy.
 - e. Failure to achieve LEED Certification (or equivalent) for the residential project and LEED Silver (or equivalent) for the commercial project will be evaluated by City staff, and if staff determines that a good faith, reasonable, and documented effort was not made to achieve these certification levels, then any City-wide Green Building policies existing at the time of staffs' release of Final Site Plan will apply.
 - f. With the submission of building permits for the fit-out of the commercial use(s), provide evidence of the uses' registration with LEED (or equivalent) and a draft checklist showing how the uses plan to achieve LEED Silver Certification from USGBC (or equivalent) for the commercial interiors. Provide documentation of LEED Silver Certification from USBGC (or equivalent) for the commercial interiors within two years of obtaining a final certificate of occupancy. The requirement to achieve LEED Silver Certification (or equivalent) shall be included in the lease agreement to

notify the tenant of this requirement prior to building permit submission.
(P&Z)(RP&CA)(T&ES)

20. The applicant shall work with the City for recycling and/or reuse of the existing materials as part of the demolition process, including leftover, unused, and/or discarded building materials. (T&ES)(P&Z)
21. Energy Star labeled appliances shall be installed in all multi-family residential units. (T&ES)
22. In order to provide a more sustainable use of natural resources, the applicant shall use EPA-labeled WaterSense or equivalent low flow fixtures. A list of applicable mechanisms can be found at <Http://www.epa.gov/WaterSense/pp/index.htm>. (T&ES)
23. Elevator lobbies and vestibules shall be visible from the parking garage. The design of the elevator lobbies and vestibules in the parking garage shall be as open as code permits. (Police)

F. RETAIL USES:

24. Ground floor uses of areas designated on the plan as “retail” shall be limited to retail, personal service uses, day care centers, and restaurants, as defined in the Zoning Ordinance, with the exceptions identified below:
 - a. Retail shopping establishments shall not include appliance stores, auto parts stores, and lawn and garden supply stores;
 - b. Personal service uses shall not include appliance repair and rental, contractors’ offices, laundromats, and pawnshops;
 - c. Day care centers are subject to the applicable conditions below;
 - d. Restaurants are subject to the applicable conditions below; and
 - e. Other similar pedestrian-oriented uses as approved by the Director of P&Z to meet the intent of providing active pedestrian-oriented neighborhood-serving retail uses that do not occupy more than 1/2 retail square footage are allowed.
 - f. The term “retail” within this DSUP shall include all of the uses listed herein, even if those uses are referred to as “restaurant” or “personal service” in the Zoning Ordinance.
 - g. Personal service uses must not occupy more than 1/2 retail square footage per business unless approved by the Director of Planning & Zoning. (P&Z)(T&ES)
25. Day care centers shall be permitted with an administrative special use permit provided they comply with the criteria listed below. Day care centers that do not meet these criteria may apply for a separate special use permit.
 - a. A plan that shows drop off and pick up areas must be provided and must be reviewed to ensure that the drop off and pick up areas will create minimal

- impact on pedestrian and vehicular traffic and will be safe for the day care users. The plan must be approved by the Directors of P&Z and T&ES.
- b. Day care uses must not occupy more than 1/2 retail square footage unless approved by the Director of Planning & Zoning. (P&Z) (T&ES)
26. Restaurants shall be permitted with an administrative special use permit provided they comply with Section 11-513(C), (L), and (M) of the Zoning Ordinance, with the following exceptions. Restaurants that do not meet these conditions may apply for a separate special use permit.
- a. The maximum number of indoor and outdoor seats allowed shall be determined by the Building Code.
 - b. The hours of operation for the restaurant shall be limited to between 7:00 am and 11:00 pm Sunday through Thursday, and between 7:00 am and midnight Friday and Saturday.
 - c. If entertainment is proposed consistent with the Zoning Ordinance, then it must be demonstrated by a qualified professional that sufficient sound-proofing materials are provided so as to prevent the entertainment from disturbing building residents. (Code)(P&Z)(T&ES)
27. Ensure the following for the retail areas within the development, to the satisfaction of the Director of P&Z:
- a. Provide a minimum 15 feet floor to floor height.
 - b. The placement or construction of items that block the visibility of the interior of the store from the sidewalk (e.g. storage cabinets, carts, shelving, boxes, coat racks, storage bins, closets, etc.) shall be prohibited. This is not intended to prevent retailers from displaying their goods in display cases that are oriented towards the street frontage. This requirement shall be included as part of the lease for each tenant. (P&Z)
28. The Director of Planning and Zoning shall review the administrative Special Use Permit after it has been operational for one year, and shall docket the matter for consideration by the Planning Commission and City Council if (a) there have been documented violations of the permit conditions which were not corrected immediately, constitute repeat violations or which create a direct and immediate adverse zoning impact on the surrounding community; (b) the director has received a request from any person to docket the permit for review as the result of a complaint that rises to the level of a violation of the permit conditions, or (c) the director has determined that there are problems with the operation of the use and that new or revised conditions are needed. (P&Z)

G. SIGNAGE:

29. The coordinated signage program shall be provided with the Final Site Plan submission.
- a. The coordinated signage program shall be conditioned under a separate set of conditions for SUP2015-00101.

- b. Provide signage at the entrances to the parking garage with retail parking that is consistent with the City's Wayfinding standards for identifying parking garages.
 - c. The coordinated signage program shall coordinate the location, scale, massing and character of all proposed signage to the satisfaction of the Directors of Archaeology, P&Z, and/or RP&CA, and T&ES.* (P&Z) (RP&CA) (T&ES)
- 30. A maximum of two freestanding subdivision signs shall be permitted. Revise site plan sheets to correspond with the coordinated signage program.
- 31. Install a temporary informational sign on the site prior to the approval of the final site plan for the project. The sign shall be displayed until construction is complete or replaced with a contractor or real estate sign incorporating the required information; the sign shall notify the public of the nature of the upcoming project and shall provide a phone number for public questions regarding the project.* (P&Z)(T&ES)

H. HOUSING:

Monetary Contributions

- 32. The following voluntary contributions, consistent with the conclusions of the Developer Housing Contribution Work Group accepted by the Alexandria City Council in December 2013, shall be provided to the Housing Trust Fund:
 - a. A voluntary contribution of \$589,718 shall be provided to the Housing Trust Fund for the townhouse component of the plan.
 - b. A voluntary contribution of \$596,182 shall be provided to the Housing Trust Fund for Building 1 (South).
 - c. A voluntary contribution of \$1,015,484 shall be provided to the Housing Trust Fund for Building 2 (North).
(Housing)***

Set Aside Conditions, Rental

- 33. In exchange for the use of Section 7-700 of the City of Alexandria's Zoning Code, the developer shall provide 8 affordable set-aside rental units, to include 6 one-bedroom units and 2 two-bedroom units for Building 1 (South Tower).
 - a. Rents payable for the set-aside units shall not exceed the maximum rents allowed under the Federal Low Income Housing Tax Credit program for households with incomes at or below 60% of the Washington D.C. Metropolitan Area Median Family Income (taking into account utility allowances and any parking charges) for a period of 40 years from the date of initial occupancy of each affordable unit. The developer shall re-certify the incomes of resident households annually.

- b. Once an income-eligible household moves into a unit, that unit will be considered an affordable unit until the household's income increases to more than 140% of the then-current income limit. At that time, the over-income household shall be allowed to remain, but the next available unit of comparable size (i.e., with the same number of bedrooms, den space, and/or approximate square footage) must be made available to a qualified household. Once the comparable unit is rented, the rent of the over-income unit may then be increased to market rate in accordance with any lease restrictions. If a comparable unit within the building does not exist, the over-income tenant must be given notice and required to vacate the unit and replaced with an income-eligible household.
 - c. Households receiving Housing Choice Voucher assistance will not be denied admission on the basis of receiving such assistance. A household will be considered income qualified if the amount of rent it can pay based on income, together with the voucher payment, is sufficient to cover the applicable rent.
 - d. The developer agrees that residents of set-aside units shall have access to all amenities offered on the entire Development.
 - e. The set-aside units shall be of the same size and floor plan and with the same finishes as other similar units in the Development. Concentrations of set-aside units will be avoided.
 - f. If the market rents are less than anticipated, the tax credit rents (as adjusted for utility allowances) will continue to be used as the affordable rents; however, in the event the differential between the market rents and the affordable rents falls below \$150, the affordable rents shall be reduced to maintain a differential of at least \$150 at all times.
 - g. Residents of the set-aside units shall have access to leased parking at the same rates and terms as offered to other residents.
 - h. The developer shall provide the City with access to the necessary records and information to enable annual monitoring for compliance with the above conditions for the 40-year affordability period.
 - i. Changes to the approved Affordable Housing Plan (AHP) impacting the phasing and/or number, type, size (number of bedrooms), cash contribution amount and level and length of affordability of the affordable units will require the submission of an amendment to the AHP to the Office of Housing. Amendments must be reviewed by the Alexandria Housing Affordability Advisory Committee for consideration and require final approval from the City Manager.
34. In exchange for the use of Section 7-700 of the City of Alexandria's Zoning Code, the developer shall provide 13 affordable set-aside rental units, to include 9 one-bedroom units and 4 two-bedroom units, for Building 2 (North Tower).
- a. Rents payable for the set-aside units shall not exceed the maximum rents allowed under the Federal Low Income Housing Tax Credit program for households with incomes at or below 60% of the Washington D.C. Metropolitan Area Median Family Income (taking into account utility

allowances and any parking charges) for a period of 40 years from the date of initial occupancy of each affordable unit. The developer shall re-certify the incomes of resident households annually.

- b. Once an income-eligible household moves into a unit, that unit will be considered an affordable unit until the household's income increases to more than 140% of the then-current income limit. At that time, the over-income household shall be allowed to remain, but the next available unit of comparable size (i.e., with the same number of bedrooms, den space, and/or approximate square footage) must be made available to a qualified household. Once the comparable unit is rented, the rent of the over-income unit may then be increased to market rate in accordance with any lease restrictions. If a comparable unit within the building does not exist, the over-income tenant must be given notice and required to vacate the unit and replaced with an income-eligible household.
- c. Households receiving Housing Choice Voucher assistance will not be denied admission on the basis of receiving such assistance. A household will be considered income qualified if the amount of rent it can pay based on income, together with the voucher payment, is sufficient to cover the applicable rent.
- d. The developer agrees that residents of set-aside units shall have access to all amenities offered on the entire Development.
- e. The set-aside units shall be of the same size and floor plan and with the same finishes as other similar units in the Development. Concentrations of set-aside units will be avoided.
- f. If the market rents are less than anticipated, the tax credit rents (as adjusted for utility allowances) will continue to be used as the affordable rents; however, in the event the differential between the market rents and the affordable rents falls below \$150, the affordable rents shall be reduced to maintain a differential of at least \$150 at all times.
- g. Residents of the set-aside units shall have access to leased parking at the same rates and terms as offered to other residents.
- h. The developer shall provide the City with access to the necessary records and information to enable annual monitoring for compliance with the above conditions for the 40-year affordability period.
- i. Changes to the approved Affordable Housing Plan (AHP) impacting the phasing and/or number, type, size (number of bedrooms), and level and length of affordability of the affordable units will require the submission of an amendment. Amendments must be submitted to the Alexandria Housing Affordability Advisory Committee for consideration and require final approval from the City Manager.

I. PARKING:

- 35. The design and allocation of parking shall be subject to the following to the satisfaction of the directors of P&Z, T&ES, and Code Administration:

- a. All parked vehicles shall be prohibited from encroaching on the proposed streets, pedestrian walkways, or emergency vehicle easements, and all purchasers/renters shall be notified of this prohibition.
 - b. Each of the townhouse units shall provide a sufficient area within each unit, garage, or in an enclosed area for a city standard super can and recycling container exclusive of the area required for parking.
 - c. Individual townhouse garages shall be utilized only for parking and cannot be converted to living space; storage which interferes with the use of the garages for vehicle storage is prohibited. (P&Z)(T&ES)(Code Administration)
36. Locate a minimum of 689 parking spaces in the garages for the residents of the multifamily buildings: 248 spaces for the residents of Building 1 (South) and 441 spaces for the residents of Building 2 (North). A minimum of 49 spaces shall be provided for the retail either in the garage or on the private streets. Residential parking spaces shall be separated from retail spaces. All remaining unassigned spaces in the garage shall be made generally available to residents. (P&Z)(T&ES)
37. All multifamily residential parking shall be unbundled (i.e., the cost to purchase or lease a parking space is separate from the cost to purchase or lease the residential unit). (T&ES)
38. Provide 64 bicycle parking spaces for Building 1 (South) (60 resident and 4 visitor spaces) and 108 bicycle parking spaces for Building 2 (North) (101 resident spaces and 7 visitor spaces) per Alexandria's current Bicycle Parking Standards. Bicycle parking standards, acceptable rack types for short- and long-term parking and details for allowable locations are available at: www.alexandriava.gov/bicycleparking. Details on location and type of bicycle parking shall be provided on the final site plan. Bicycle parking must be installed and operational prior to first CO for each building. *** (T&ES)
39. Provide a Parking Management Plan with the final site plan submission. The Parking Management Plan shall be approved by the Departments of P&Z and T&ES prior to the release of the final site plan and shall at a minimum include the following:
- a. General project information/summary and development point of contact.
 - b. Provide controlled access into the garages for vehicles and pedestrians. The controlled access shall be designed to allow convenient access to the parking for residents.
 - c. A plan of the garage facility – including the number of lanes of traffic for entering / exiting, indicating any reversible lanes.
 - d. Total capacity and a breakdown of parking types (standard, compact, tandem, accessible, etc.).
 - e. Bicycle parking information (number of spaces, type of parking- racks, gated, location, etc.)

- f. Information on the location of any carshare vehicle or electric vehicle spaces.
 - g. A description of and plan showing access control equipment and locations.
 - h. An explanation of how the garage will be managed. Include information on access for residential and non-residential parkers, hours of operation, and accommodation for the various users of the garage (short and long term parking, car and vanpools, bicycles, etc.).
 - i. Information on proposed staffing needs for peak, non-peak and overnight hours.
 - j. How rates will be determined and details of validation program if proposed.
 - k. Details of appropriate signage for the retail parking indicating hours which are reserved for retail patrons.* (P&Z)(T&ES)
40. Parking spaces within the parking garage may be made available for market-rate parking (separate from daily residential visitor parking) through an administrative special use permit, provided excess parking can be demonstrated by a parking study. This request shall be to the satisfaction of the Directors of P&Z and T&ES, and subject to the following requirements:
- a. Provide a parking study to analyze on-site residential parking demand at the time of the request and determine an appropriate number of spaces that are available for market-rate parking.
 - b. Provide a parking management plan to include, at a minimum, the following:
 - i. An explanation of how garage access to the parking spaces leased to non-residents will be provided. Controlled access to the underground garage shall be maintained.
 - ii. Information on how the garage will be managed, including how spaces will be assigned to residents, visitors, and third party lease holders.
 - c. Provide a copy of the lease or other agreement to be used for market rate parkers.
 - d. Provide a parking study one (1) year from the date of approval of the administrative special use permit to evaluate the impacts of providing market-rate parking within the residential garage and determine whether any corrective action or adjustments need to occur. Additional studies may be required in subsequent years as determined by staff. (T&ES) (P&Z)
41. All on-street parking controls and restrictions on Eisenhower Avenue shall be determined by the City. Any such controls and restrictions which the applicant desires shall be shown on the final site plan. (P&Z)(T&ES)

J. TRANSPORTATION MANAGEMENT PLAN:

42. According to Article XI, Section 11-700 of the City's Zoning Ordinance, a Transportation Management Plan is required to implement strategies to encourage residents and employees to take public transportation, walk, bike or share a ride, as

opposed to being a sole occupant of a vehicle. The applicant falls under the tier 3 TMP threshold. The applicant will be required to either partner with an adjacent TMP or create its own District TMP.. (T&ES)

43. Prior to any lease/purchase agreements, the applicant shall prepare appropriate language to inform tenants/owners of the transportation management plan special use permit and conditions therein, as part of its leasing/purchasing agreements; such language to be reviewed and approved by the City Attorney's office. (T&ES)
44. The applicant shall participate in the Citywide TDM program, or partner with an adjacent TMP. The objective of a TMP partnership is to make optimum use of transportation resources for the benefit of residents and employees through economies of scale. No increase in TMP contributions will be required as a result of participation in the TMP partnership. (T&ES)
45. An annual TMP fund shall be created and managed by the TMP Coordinator, and the funds shall be used exclusively for the approved transportation activities detailed in the attachment. The annual base assessment rate for this development shall be \$82.42 per residential unit, \$0.21 per square foot of retail space, \$0.26 per square foot of commercial space, \$41.21 per hotel room and \$0.10 per square foot of industrial/warehouse. The base assessment rate will be adjusted on an annual basis on July 1 of each year in accordance with the Consumers Price Index (CPI-U) as reported by the United States Department of Labor, Bureau of Labor Statistics. The base assessment rate in effect at the time of the project's first certificate of occupancy permit (CO) is the applicable rate when TMP reporting begins.
46. An on-site TMP Coordinator shall be designated for the entire project prior to release of the first certificate of occupancy. The name, location, email and telephone number of the coordinator will be provided to the City at the time, as well as any changes occurring subsequently. This person will be responsible for implementing and managing all aspects of the TMP and the parking management program for the project. *** (T&ES)
47. The Director of T&ES may require that the funds be paid to the City upon determination that the TMP Coordinator or Association has not made a reasonable effort to use the funds for TMP activities. As so determined, any unencumbered funds remaining in the TMP account at the end of each reporting year may be either reprogrammed for TMP activities during the ensuing year or paid to the City for use in transportation support activities which benefit the site. (T&ES)
48. The TMP Coordinator or Association will submit annual reports, fund reports and modes of transportation surveys to the Transportation Planning Division as detailed in the Attachment. (T&ES)

49. As set forth in section 11-711(B) in the Ordinance, civil penalties shall be assessed to the governing entity for lack of timely compliance with the conditions of this TMP SUP. If after assessment of three civil penalties, any use continues to fail to comply with a condition of its approved TMP, the use may be required to participate in the Citywide TMP Program, may be subject to increased review and reporting requirements, and may be subject to a staff recommendation for action by the city council to revoke the TMP SUP pursuant to section 11-205 of the Ordinance. (T&ES)

K. BUS STOPS AND BUS SHELTERS:

50. Show all existing and proposed bus stops with associated features, to include shelters, canopies, and benches in the vicinity of the site on the final site plan. Any proposed features shall be ADA compliant; all bus shelters shall include a bench, illumination (solar or electric), and the ability to accommodate future real time bus information LED screens and electric connections to the satisfaction of the Director of T&ES. The final bus shelter, bus canopy, and bus stop bench design shall meet City standards and the approval of the Director of T&ES. Design and specifications for the City standard bus shelter can be found at <https://www.alexandriava.gov/tes/info/default.aspx?id=6548>. (T&ES)
51. The relocated bus stop, loading pad area, sidewalk, and approach between the loading pad area and the bus shelter on Eisenhower Avenue shall meet ADA requirements and City Standards per the following:
- a. Install an unobstructed ten (10) foot wide, parallel to the roadway, by eight (8) foot wide, perpendicular to the curb, bus stop passenger loading pad. The unobstructed loading area should be at the front of the boarding zone and accessible from a transit shelter (if present or if installed) and adjacent sidewalk. The loading pad's cross slope shall be less than 2%. The exiting width of the sidewalk may be counted towards the 8 foot wide perpendicular to the curb area. Passenger loading pads shall never be placed on storm drain inlets, catch basins, and other obstacles that would make the bus stop and bus stop loading pad inaccessible. See attached standard details.
 - b. Create a 100 foot "No Parking, Bus Stop Zone" if the bus stop is located along the curb for bus stops located on the near side of the intersection. Create a 90 foot "No Parking, Bus Stop Zone" if the bus stop is located along the curb on the far side of an intersection. Create a 150 foot "No Parking, Bus Stop Zone" if the bus stop is located along the curb for midblock bus stops. If the bus stop is located on a bulb out / extension into the roadway, the "No Parking, Bus Stop Zone" shall not be required.
 - c. At minimum, if installed on the near side of an intersection, a bulb out for a bus stop shall be at least 35 feet in length parallel to the curb (does not include the taper) and extend at minimum 7 feet into the roadway. If installed on the far side of an intersection, a bulb out for a transit stop shall be at least 45 feet in length parallel to the curb (taper area is not included in

the 45 feet in length) and extend at minimum 7 feet into the roadway. (T&ES)

52. Street trees in close proximity to bus stop approaches or directly adjacent to travel lanes shall be:
- a. Located to avoid conflict with vehicles, specifically:
 - i. Trees shall be excluded from a 40 ft. zone which represents the length of the bus as it is serving the stop.
 - ii. Trees within both the 10 ft. departure zone and the 20 ft. approach zone (on either side of the 40 ft. zone) shall be selectively located to minimize conflict with vehicles and to allow direct line of sight for approaching buses.
 - b. Subject to the character of the adjacent area and relevant design guidelines for spacing, distance from the curb and species selection. In general, trees shall be of the same species along the entire block face.
 - c. selected from upright branching species in areas where relevant design guidelines do not otherwise specify
 - d. Installed with a minimum six feet of clear stem and gradually pruned to reduce conflict with vehicles, under consultation from a certified arborist. Pruning of street trees is part of the regular maintenance required of applicants under the City's bond for public improvements.
 - e. Set back from the curb edge where the width of sidewalk and adjacent conditions allow. (T&ES)

L. SITE PLAN:

53. Submit the plat of subdivision/consolidation and all applicable easements prior to the final site plan submission. The plat(s) shall be approved prior to the release of the final site plan.* (P&Z)(T&ES)
54. The Applicant(s) shall be responsible for dedicating all necessary public access easement(s) as required herein. Where a public access easement is provided for open space, plazas, streets, and/or sidewalks, the easement(s) shall be a perpetual public access easement for vehicles and/or pedestrians. (T&ES)(P&Z)(RP&CA)
55. Coordinate location of site utilities with other site conditions to the satisfaction of the Directors of P&Z and/or RP&CA, and T&ES. These items include:
- a. Location of site utilities including above grade service openings and required clearances for items such as transformers, telephone, HVAC units and cable boxes.
 - b. Minimize conflicts with plantings, pedestrian areas and major view sheds.
 - c. Do not locate above grade utilities in dedicated open space areas and tree wells.
 - d. If applicable, all utilities shall be screened from the public ROW to the satisfaction of the Director of P&Z. (P&Z)(T&ES)(RP&CA)(BAR)

56. Provide a lighting plan with the final site plan to verify that lighting meets City standards. The plan shall be to the satisfaction of the Directors of T&ES, P&Z, and/or RP&CA in consultation with the Chief of Police and shall include the following:
- a. Clearly show location of all existing and proposed street lights and site lights, shading back less relevant information.
 - b. Determine if existing lighting meets minimum standards within the City right-of-way adjacent to the site. If lighting does not meet minimum standards, additional lighting shall be provided to achieve City standards or to the satisfaction of the Director of T&ES.
 - c. A lighting schedule that identifies each type and number of all fixtures, mounting height, and strength of fixture in Lumens or Watts.
 - d. Manufacturer's specifications and details for all proposed fixtures including site, landscape, pedestrian, sign(s) and security lighting.
 - e. A photometric plan with lighting calculations that include all existing and proposed light fixtures, including any existing street lights located on the opposite side(s) of all adjacent streets. Photometric calculations must extend from proposed building face(s) to property line and from property line to the opposite side(s) of all adjacent streets and/or 20 feet beyond the property line on all adjacent properties and rights-of-way. Show existing and proposed street lights and site lights.
 - f. Photometric site lighting plan shall be coordinated with architectural/building mounted lights, site lighting, street trees and street lights to minimize light spill into adjacent residential areas.
 - g. Provide location of conduit routing between site lighting fixtures so as to avoid conflicts with street trees.
 - h. Detail information indicating proposed light pole and footing in relationship to adjacent grade or pavement. All light pole foundations shall be concealed from view.
 - i. The lighting for the areas not covered by the City of Alexandria' standards shall be designed to the satisfaction of Directors of T&ES and P&Z.
 - j. Provide numeric summary for various areas (i.e., roadway, walkway/sidewalk, alley, and parking lot, etc.) in the proposed development.
 - k. The walls and ceilings in the garage must be painted white or dyed concrete (white) to increase reflectivity and improve lighting levels at night.
 - l. The lighting for the structured parking garage shall be a minimum of 5.0 foot candle maintained, when occupied. When unoccupied the lighting levels will be reduced to no less than 1.5 foot candles.
 - m. Light fixtures for the underground/structured parking garage shall be recessed into the ceiling for any areas that can be seen from the public ROW.
 - n. Light fixtures for open canopies shall be recessed into the ceiling for any areas that can be seen from the public ROW.
 - o. Full cut-off lighting shall be used at the development site to prevent light spill onto adjacent properties. (P&Z)(T&ES)(RP&CA)(Police)(BAR)

M. CONSTRUCTION MANAGEMENT:

57. Submit a construction phasing plan to the satisfaction of the Director of T&ES, for review, approval and partial release of Erosion and Sediment Control for the final site plan. All the requirements of Article XIII Environmental Management Ordinance for quality improvement, quantity control, and the development of Storm Water Pollution Prevention Plan (SWPPP) must be complied with prior to the partial release of the site plan.* (T&ES)
58. Submit a separate construction management plan narrative to the Directors of P&Z, T&ES and Code Administration prior to final site plan release. The plan shall:
 - a. Include an analysis as to whether temporary street or site lighting is needed for safety during the construction on the site and how it is to be installed.
 - b. Include an overall proposed schedule for construction;
 - c. Include a plan for temporary pedestrian circulation;
 - d. Copies of the plan shall be posted in the construction trailer and given to each subcontractor before they commence work. (P&Z)(T&ES)
59. Provide off-street parking for all construction workers without charge to the construction workers. Construction workers shall not be permitted to park on-street. For the construction workers who use Metro, DASH, or another form of mass transit to the site, the applicant shall subsidize a minimum of 50% of the fees for mass transit. Compliance with this condition shall be a component of the construction management plan, which shall be submitted to the Department of P&Z and T&ES prior to final site plan release. This plan shall:
 - a. Establish the location of the parking to be provided at various stages of construction, how many spaces will be provided, how many construction workers will be assigned to the work site, and mechanisms which will be used to encourage the use of mass transit.
 - b. Provide for the location on the construction site at which information will be posted regarding Metro schedules and routes, bus schedules and routes.
 - c. If the off-street construction workers parking plan is found to be violated during the course of construction, a correction notice will be issued to the developer. If the violation is not corrected within five (5) days, a "stop work order" will be issued, with construction halted until the violation has been corrected. * (P&Z)(T&ES)
60. The sidewalks shall remain open during construction or pedestrian access shall be maintained to the satisfaction of the Director of T&ES throughout the construction of the project. (T&ES)
61. No major construction staging shall be allowed within the public right-of-way on Eisenhower Avenue. The applicant shall meet with T&ES to discuss construction staging activities prior to release of any permits for ground disturbing activities. ** (T&ES)

62. Transit stops adjacent to the site shall remain open if feasible for the duration of construction. If construction forces the closure of the stop on Eisenhower Avenue, a temporary ADA accessible transit stop shall be installed. The exact temporary location shall be coordinated with the T&ES Office of Transit Services at 703-746-4075 as well as with the transit agency which provides service to the bus stop. Signs noting the bus stop closure and location of the temporary bus stop must be installed at all bus stops taken out of service due to construction. (T&ES)
63. A “Certified Land Disturber” (CLD) shall be named in a letter to the Division Chief of Infrastructure Right of Way prior to any land disturbing activities. If the CLD changes during the project, that change must be noted in a letter to the Division Chief. A note to this effect shall be placed on the Phase I Erosion and Sediment Control sheets on the site plan. (T&ES)
64. Prior to commencing clearing and grading of the site, the applicant shall hold a meeting with notice to all adjoining property owners and civic associations to review the location of construction worker parking, plan for temporary pedestrian and vehicular circulation, and hours and overall schedule for construction. The Departments of P&Z and T&ES shall be notified of the date of the meeting before the permit is issued. (P&Z)(T&ES)
65. Prior to commencement of landscape installation/planting operations, a pre-installation/construction meeting will be scheduled with the project planner in the Department of Planning & Zoning to review the scope of installation procedures and processes. This is in addition to the pre-construction meeting required above. (P&Z)
66. Identify a person who will serve as a liaison to the community throughout the duration of construction. The name and telephone number, including an emergency contact number, of this individual shall be provided in writing to residents, property managers and business owners whose property abuts the site and shall be placed on the project sign, to the satisfaction of the Directors of P&Z, and/or and T&ES. (P&Z)(T&ES)
67. Implement a waste and refuse control program during the construction phase of this development. This program shall control wastes such as discarded building materials, concrete truck washout, chemicals, litter or trash, trash generated by construction workers or mobile food vendor businesses serving them, and all sanitary waste at the construction site and prevent offsite migration that may cause adverse impacts to neighboring properties or to the environment to the satisfaction of Directors of T&ES and Code Administration. All wastes shall be properly disposed offsite in accordance with all applicable federal, state and local laws. (T&ES)

68. Temporary construction and/or on-site sales trailer(s) shall be permitted and be subject to the approval of the Director of P&Z. The trailer(s) shall be removed prior to the issuance of a final certificate of occupancy permit. *** (P&Z)
69. Submit a wall check prior to the commencement of construction of the first floor above grade framing for the building(s). The wall check shall include the building footprint, as depicted in the approved final site plan, the top-of-slab elevation and the first floor elevation. The wall check shall be prepared and sealed by a registered engineer or surveyor, and shall be approved by the P&Z prior to commencement of framing. (P&Z)
70. Submit an as-built development site plan survey, pursuant to the requirements outlined in the initial as-built submission for occupancy portion of the as-built development site plan survey checklist to the Department of Transportation and Environmental Services Site Plan Coordinator prior to requesting a certificate of occupancy permit. The as-built development site plan survey shall be prepared and sealed by a registered architect, engineer, or surveyor. Include a note which states that the height was calculated based on all applicable provisions of the Zoning Ordinance. *** (P&Z) (T&ES)
71. Contractors shall not cause or permit vehicles to idle for more than 10 minutes when parked. (T&ES)
72. If there are outstanding performance, completion or other bonds for the benefit of the City in effect for the property at such time as it may be conveyed or sold to a party other than the applicant, a substitute bond must be provided by that party or, in the alternative, an assignment or other documentation from the bonding company indicating that the existing bond remains in effect despite the change in ownership may be provided. The bond(s) shall be maintained until such time that all requirements are met and the bond(s) released by the City. (T&ES)

N. FLOODPLAIN MANAGEMENT:

73. Demonstrate compliance with flood plain ordinance Section 6-300 to Section 6-311 of Article VI Special and Overlay Zones. No final plan shall be released until full compliance with flood plain ordinance has been demonstrated. * (T&ES)
74. Furnish specific engineering data and information, in addition to Zoning Ordinance Requirements, as to the effect of the proposed construction on future flood heights. No final site plan shall be released until the applicant has demonstrated that no increase in water surface elevation for the 100-year flood will result due to implementation of this project. Computations are to include backwater calculations starting at a downstream cross section to an upstream cross section. Computations shall be made by modifying the existing HEC-RAS model, as prepared by the U.S. Army Corps of Engineers, Baltimore District. * (T&ES)

75. For all Residential and Non-Residential development (New and/or Substantial Improvement) in Special Flood Hazard Area (SFHA):
- a. Upon placement of the lowest floor (including basements and garages) and prior to further vertical construction, an Elevation Certificate (FEMA Form 086-0-33), completed and certified by a Licensed Land Surveyor or Licensed Professional Engineer, shall be provided to the T&ES Development Coordinator. (T&ES)

O. WASTEWATER / SANITARY SEWERS:

76. Discharge from pool(s) shall be connected to the sanitary sewer. (T&ES)
77. The sewer connection fee must be paid prior to release of the site plan.* (T&ES)

P. SOLID WASTE:

78. Provide \$896 per receptacle to the Director of T&ES for purchase and installation of one (1) Victor Stanley Ironsites Series model SD-42 receptacle with Dome Lid dedicated to trash collection. Receptacles shall be generally located along the property frontage and at strategic locations in the vicinity of the site as approved by the Director of T&ES. Payment required prior to release of Final Site Plan.* (T&ES)
79. Provide \$996 per receptacle to the Director of T&ES for the purchase and installation of one (1) Victor Stanley Ironsites Series Model SD-42 blue receptacle with Dome Lid dedicated to recycling collection. Receptacles shall be generally located along the property frontage and at strategic locations in the vicinity of the site as approved by the Director of T&ES. Payment required prior to release of Final Site Plan. *(T&ES)

Q. STREETS / TRAFFIC:

80. The setback between the buildings and the drive aisles shall be a minimum of 2' to provide adequate turning movements. The setback shall have a maximum length of 4' or a minimum of 18', if a driveway is provided. (T&ES)
81. Provide public access easements for all private streets and sidewalk areas proposed within the project. (P&Z)(T&ES)
82. If the City's existing public infrastructure is damaged during construction, or patch work required for utility installation then the applicant shall be responsible for construction/ installation or repair of the same as per the City of Alexandria standards and specifications and to the satisfaction of Director, Transportation and Environmental Services. (T&ES)

83. A pre-construction walk/survey of the site shall occur with Transportation and Environmental Services Construction & Inspection staff to document existing conditions prior to any land disturbing activities. (T&ES)
84. Mark all private street signs that intersect a public street with a fluorescent green strip to notify the plowing crews, both City and contractor, that they are not to plow those streets. (T&ES)
85. Traffic Studies and Multi-modal Transportation studies shall be signed and sealed by a professional engineer, registered in the Commonwealth of Virginia. (T&ES)
86. Show turning movements of standard vehicles in the parking structure and/or parking lots. Show turning movements of the largest delivery vehicle projected to use the loading dock. Turning movements shall meet AASHTO vehicular guidelines and shall be to the satisfaction of the Director of T&ES. (T&ES)
87. The slope on parking ramp to garage entrance shall not exceed 12 percent. For slopes 10% and greater, provide trench drain connected to a storm sewer to eliminate or diminish the possibility of ice forming. (T&ES)
88. Furnish and install two 3" conduits with pull wires, and junction boxes located at a maximum interval of 300 feet underneath the sidewalks of Eisenhower Avenue along the frontage of the project. These conduits shall terminate in an underground junction box at each corner of the site. The junction box covers shall have the word "TRAFFIC" engraved in them. (T&ES)
89. The main entrance lane width shall be 10ft (excluding the gutter pan) for the truck turning movement coming into the site. *(T&ES)

R. UTILITIES:

90. Locate all private utilities without a franchise agreement outside of the public right-of-way and public utility easements. (T&ES)

S. SOILS:

91. Provide a geotechnical report, including recommendations from a geotechnical professional for proposed cut slopes and embankments. (T&ES)

T. WATERSHED, WETLANDS, & RPAs:

92. The stormwater collection system is located within the Cameron / Holmes Run watershed. All on-site stormwater curb inlets and public curb inlets within 50 feet of the property line shall be duly marked using standard City markers, or to the satisfaction of the Director of T&ES. (T&ES)

93. Provide an Environmental Site Assessment plan note that clearly delineates the individual components of the RPA as well as the total geographic extent of the RPA, to include the appropriate buffer, in a method approved by the Director of Transportation and Environmental Services. The Environmental Site Assessment shall also clearly describe, map or explain intermittent streams and associated buffer; highly erodible and highly permeable soils; steep slopes greater than 15% in grade; known areas of contamination; springs, seeps or related features; and a listing of all wetlands permits required by law. (T&ES)
94. Provide documentation regarding the source of onsite wetland delineation and a description of any actions to be taken to minimize and/or mitigate the impact of the development on existing wetlands as required by Article XIII of the City of Alexandria Zoning Ordinance. (T&ES)
95. The project is located within an existing RPA or mapped wetland area, therefore the applicant shall prepare a Water Quality Impact Assessment in accordance with the provisions of Article XIII of the City of Alexandria Zoning Ordinance to the satisfaction of the Director of Transportation and Environmental Services. (T&ES)
96. Mitigate any impacts on water quality of the development by encroachment into and/or destruction of an existing resource protection areas (RPAs) and mapped wetland area by the following methods to the satisfaction of the Director of Transportation and Environmental Services:
 - a. Increasing vegetation onsite and/or performing offsite plantings.
 - b. Contribution to T&ES/DEQ funds to stream restoration / water quality projects.
 - c. These mitigation efforts shall be quantified and tabulated against encroachments as follows:
 - i. Wetlands destruction shall be mitigated at a ratio of 2:1 and offsite at 3:1.
 - ii. Resource Protection Area Encroachments shall be mitigated according to the guidelines suggested in the “Riparian Buffers Modification & Mitigation Guidance Manual” by the Chesapeake Bay Local Assistance Department. (T&ES)

U. STORMWATER MANAGEMENT:

97. The City of Alexandria’s stormwater management regulations regarding water quality are two-fold: 1) state phosphorus removal requirement and 2) Alexandria Water Quality Volume Default. Compliance with the state phosphorus reduction requirement does not relieve the applicant from the Alexandria Water Quality Default requirement. The Alexandria Water Quality Volume Default, as determined by the site’s post-development impervious area shall be treated in a Best Management Practice (BMP) facility. (T&ES)

98. Provide BMP narrative and complete pre and post development drainage maps that include areas outside that contribute surface runoff from beyond project boundaries to include adequate topographic information, locations of existing and proposed storm drainage systems affected by the development, all proposed BMPs and a completed Virginia Runoff Reduction Method (VRMM) worksheet showing project compliance. The project must use hydrologic soil group "D" in the spreadsheet unless a soils report from a soil scientist or geotechnical engineer delineates onsite soils otherwise. (T&ES)
99. The stormwater Best Management Practices (BMPs) required for this project shall be constructed and installed under the direct supervision of the design professional or his designated representative. Prior to release of the performance bond, the design professional shall submit a written certification to the Director of T&ES that the BMPs are:
- a. Constructed and installed as designed and in accordance with the approved Final Site Plan.
 - b. Clean and free of debris, soil, and litter by either having been installed or brought into service after the site was stabilized. **** (T&ES)
100. Surface-installed stormwater Best Management Practice (BMP) measures, i.e. Bio-Retention Filters, Vegetated Swales, etc. that are employed for this site, require installation of descriptive signage to the satisfaction of the Director of T&ES. (T&ES)
101. Submit two originals of the stormwater quality BMP Maintenance Agreement, to include the BMP Schedule and Guidelines Addendum with the City to be reviewed as part of the Final #2 Plan. The agreement must be executed and recorded with the Land Records Division of Alexandria Circuit Court prior to approval of the final site plan.* (T&ES)
102. The Applicant shall be responsible for maintaining stormwater Best Management Practices (BMPs) until activation of the homeowner's association (HOA) and/or master association for the mix of uses and owners, and the Stormwater Management Master Plan (SWMMP) approach for the phased development. Prior to transferring maintenance responsibility for the BMPs to the HOA or master association, the Applicant shall execute a maintenance service contract with a qualified private contractor for a minimum of three years, and transfer the contract to the HOA or master association. A copy of the contract shall also be placed in the BMP Operation and Maintenance Manual. Prior to release of the performance bond, a copy of the maintenance contract shall be submitted to the City. ****(T&ES)
103. If units will be sold as individual units and a homeowner's association (HOA) established the following two conditions shall apply:
- a. The Applicant shall furnish the Homeowner's Association with an Owner's Operation and Maintenance Manual for all Best Management Practices (BMPs) used on site. The manual shall include at a minimum: an

- explanation of the functions and operations of the BMP(s); drawings and diagrams of the BMP(s) and any supporting utilities; catalog cuts on maintenance requirements including any mechanical or electrical equipment; manufacturer contact names and phone numbers; a copy of the executed maintenance service contract; and a copy of the maintenance agreement with the City.
- b. The Developer shall furnish each home purchaser with a brochure describing the stormwater BMP(s) installed on the site, outlining the responsibilities of the homeowners and the Homeowners Association (HOA) with respect to maintenance requirements. Upon activation of the HOA, the Developer shall furnish five copies of the brochure per unit to the HOA for distribution to subsequent homeowners.
104. The Developer shall furnish the owners with an Owner's Operation and Maintenance Manual for all Best Management Practices (BMPs) on the project. The manual shall include at a minimum: an explanation of the functions and operations of the BMP(s); drawings and diagrams of the BMP(s) and any supporting utilities; catalog cuts on maintenance requirements including mechanical or electrical equipment; manufacturer contact names and phone numbers; a copy of the executed maintenance service contract; and a copy of the maintenance agreement with the City. (T&ES)
105. NON_RESIDENTIAL – RETAIL/OFFICE CONDITION: The Applicant/Owner shall be responsible for installing and maintaining stormwater Best Management Practices (BMPs). The Applicant/Owner shall execute a maintenance service contract with a qualified private contractor for a minimum of three years and develop an Owner's Operation and Maintenance Manual for all Best Management Practices (BMPs) on the project. The manual shall include at a minimum: an explanation of the functions and operations of the BMP(s); drawings and diagrams of the BMP(s) and any supporting utilities; catalog cuts on maintenance requirements including mechanical or electrical equipment; manufacturer contact names and phone numbers; a copy of the executed maintenance service contract; and a copy of the maintenance agreement with the City. A copy of the contract shall also be placed in the BMP Operation and Maintenance Manual. Prior to release of the performance bond, a copy of the maintenance contract shall be submitted to the City. ****(T&ES)
106. Submit a copy of the Operation and Maintenance Manual to the Office of Environmental Quality on digital media prior to release of the performance bond. ****(T&ES)
107. Prior to release of the performance bond, the Applicant is required to submit a certification by a qualified professional to the satisfaction of the Director of T&ES that any existing stormwater management facilities adjacent to the project and associated conveyance systems were not adversely affected by construction operations. If maintenance of the facility or systems were required in order to make

this certification, provide a description of the maintenance measures performed.
****(T&ES)

V. CONTAMINATED LAND:

108. Indicate whether or not there is any known soil and groundwater contamination present on the plan. The applicant must submit supporting reports for associated environmental investigations or assessments performed to substantiate this determination. (T&ES)
109. If environmental site assessments or investigations discover the presence of contamination on site, the final site plan shall not be released, and no construction activity shall take place until the following has been submitted and approved by the Director of T&ES:
 - a. Submit a Site Characterization Report/Extent of Contamination Study detailing the location, applicable contaminants, and the estimated quantity of any contaminated soils and/or groundwater at or in the immediate vicinity of the site.
 - b. Submit a Risk Assessment indicating any risks associated with the contamination.
 - c. Submit a Remediation Plan detailing how any contaminated soils and/or groundwater will be dealt with, including plans to remediate utility corridors. Utility corridors in contaminated soil shall be over excavated by 2 feet and backfilled with “clean” soil. Include description of environmentally sound methods of off-site transport and disposal of contaminated soils and debris (including, but not limited to types of vehicles appropriate for handling specific materials and ensuring vehicle loads are covered).
 - d. Submit a Health and Safety Plan indicating measures to be taken during remediation and/or construction activities to minimize the potential risks to workers, the neighborhood, and the environment. Initial Air Monitoring may be required during site activities to demonstrate acceptable levels of volatiles and/or airborne particles. The determination whether air monitoring is needed must be adequately addressed in the Health and Safety Plan submitted for review.
 - e. The applicant shall screen for PCBs as part of the site characterization if any of the past uses are within the identified high risk category sites for potential sources of residual PCBs, which includes the following SICs: 26&27 (Paper and Allied Products), 30 (Rubber and Misc. Plastics), 33 (Primary Metal Industries), 34 (Fabricated Metal Products), 37 (Transportation Equipment), 49 (Electrical, Gas, and Sanitary Services), 5093 (Scrap Metal Recycling), and 1221&1222 (Bituminous Coal).
 - f. Applicant shall submit three (3) electronic and two (2) hard copies of the above. The remediation plan must be included in the Final Site Plan. * (T&ES)

110. Should any unanticipated contamination, underground storage tanks, drums or containers be encountered at the site during construction, the Applicant must immediately notify the City of Alexandria Department of Transportation and Environmental Services, Office of Environmental Quality. Should unanticipated conditions warrant, construction within the impacted area shall be stopped until the appropriate environmental reports identified in a. through f. above are submitted and approved at the discretion of the Director of Transportation and Environmental Services. This shall be included as a note on the final site plan. (T&ES)
111. If warranted by a Site Characterization report, design and install a vapor barrier and ventilation system for buildings and parking areas in order to prevent the migration or accumulation of methane or other gases, or conduct a study and provide a report signed by a professional engineer showing that such measures are not required to the satisfaction of Directors of T&ES and Code Administration. [The installed vapor barrier and ventilation system must include a passive ventilation system that can be converted to an active ventilation system if warranted. (Include if applicable.)](T&ES)

W.NOISE:

112. Prepare a noise study identifying the levels of noise residents of the project will be exposed to at the present time, and 10 years into the future in a manner consistent with the Noise Guidance Book used by the Department of Housing and Urban Development (HUD). In addition, include analysis of the levels of noise residents of the project will be exposed to due to loading and unloading activities, idling and traffic. Identify options to minimize noise and vibration exposure to future residents at the site, particularly in those units closest to the loading areas, garage entrances, interstate highway, railroad tracks and airport traffic, including triple-glazing for windows, additional wall / roofing insulation, installation of resilient channels between interior gypsum board and wall studs, installation of a berm or sound wall and any other special construction methods to reduce sound transmission. If needed, the applicant shall install some combination of the above to the satisfaction of the Directors of P&Z and T&ES. (T&ES)
113. The noise study and noise commitment letter shall be submitted and approved prior to final site plan approval.* (T&ES)
114. All exterior building-mounted loudspeakers shall be prohibited and no amplified sound shall be audible at the property line. (T&ES)
115. Supply deliveries, loading, and unloading activities shall not occur between the hours of 11:00pm and 7:00am. (T&ES)

X. AIR POLLUTION:

- 116. If fireplaces are utilized in the development, the Applicant is required to install gas fireplaces to reduce air pollution and odors. Animal screens must be installed on chimneys. (T&ES)
- 117. No material may be disposed of by venting into the atmosphere. (T&ES)
- 118. Control odors and any other air pollution sources resulting from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Director of Transportation and Environmental Services. (T&ES)

Y. CONTRIBUTIONS:

- 119. The applicant shall contribute \$60,000 to the city prior to Final Site Plan release for bike share station implementation and/or expansion of existing stations within the vicinity of the project. (T&ES)

Z. ARCHAEOLOGY:

- 120. Hire an archaeological consultant to conduct the archaeological investigations. Complete an Archaeological Evaluation and Resource Management Plan, as outlined in the City of Alexandria Archaeological Standards. Preservation measures presented in the Resource Management Plan, as approved by the City Archaeologist, shall be implemented. The Archaeological Evaluation and implementation of the Resource Management Plan shall be completed prior to submission of the Final Site Plan unless archaeological work is required in concert with demolition and construction activities, which must be demonstrated to the satisfaction of the City Archaeologist. (Archaeology)
- 121. The Final Site Plan, Grading Plan, or any other permits involving ground disturbing activities (such as coring, grading, filling, vegetation removal, undergrounding utilities, pile driving, landscaping and other excavations as defined in Section 2-151 of the Zoning Ordinance) shall not be released until the City archaeologist confirms that all archaeological field work has been completed or that an approved Resource Management Plan is in place to recover significant resources in concert with construction activities. * (Archaeology)
- 122. Call Alexandria Archaeology (703/746-4399) two weeks before the starting date of any ground disturbance so that an inspection or monitoring schedule for city archaeologists can be arranged. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
- 123. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The

language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)

124. The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
125. The final certificate of occupancy shall not be issued for this property until interpretive elements have been constructed, interpretive markers have been erected, and the final archaeological report has been received and approved by the City Archaeologist.*** (Archaeology)
126. The statements in archaeology conditions above marked with an asterisk “*” shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheet piling and Shoring) so that on-site contractors are aware of the requirements
 - a. The applicant/developer shall call Alexandria Archaeology immediately (703.746.4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

AA. DISCLOSURE REQUIREMENTS:

127. All condominium association covenants shall be reviewed by the Director of P&Z and the City Attorney to ensure inclusion of all the conditions of this DSUP prior to applying for the first certificate of occupancy permit for the project. The association covenants shall include the conditions listed below, which shall be clearly expressed in a separate section of the covenants. The language shall establish and clearly explain that these conditions cannot be changed except by an amendment to this development special use permit approved by City Council.
 - a. The principal use of the underground garage and parking spaces shall be for passenger vehicle parking only; storage which interferes with the use of a parking space for a motor vehicle is not permitted.
 - b. No more than two parking spaces shall be assigned to a specific condominium unit until all settlement on the units are complete; all unassigned spaces in the garage shall be made generally available to residents and/or visitors.
 - c. Parking directly outside of the townhouse garages, which would encroach into the 22’ wide alley, is prohibited.

- d. All landscaping and open space areas within the development shall be maintained by the Homeowners' and/or Condominium Owners' Association.
 - e. Exterior building improvements or changes by future residents shall require the approval of the City Council, as determined by the Director of P&Z.
 - f. The specific language of the disclosure statement to be utilized shall be provided to the City for approval prior to release of any certificate of occupancy permit. ***(P&Z)
 - g. Stormwater facility BMPs must be inspected and adequately maintained as designed to ensure proper functioning.
 - h. The specific language of the disclosure statement to be utilized shall be provided to the City for approval prior to release of any certificate of occupancy permit. ***(P&Z) (T&ES)
128. If environmental site assessments or investigations discover the presence of onsite contamination, the applicant or its agent shall furnish each prospective buyer with a statement disclosing the prior history of the site, including previous environmental conditions and on-going remediation measures. Disclosures shall be made to the satisfaction of the Director of Transportation and Environmental Services. (T&ES)
129. Notify prospective buyers, in its homeowner documents, that the internal streets are private streets with public access easements and shall not be maintained by the City of Alexandria; and that the sanitary and storm sewers located within the site are private and shall be maintained privately. (T&ES)
130. Present a disclosure statement to potential buyers disclosing the following to the satisfaction of the Director of P&Z and the City Attorney:
- a. That the internal streets are private streets with public access easements and shall not be maintained by the City of Alexandria; and that the sanitary and storm sewers located within the site are private and shall be maintained privately.
 - b. That heavy industrial uses, the City Waste-To-Energy Plant, the Police Firing Range, Metrorail tracks and other railway operations are located within the vicinity of the project, are permitted to continue indefinitely, and will generate truck traffic, including empty garbage trucks emanating odors, on the public streets surrounding the project.
 - c. That Eisenhower Avenue is a major arterial and that future traffic is expected to increase significantly as development along Eisenhower Avenue continues. (P&Z)(T&ES)

BB. MISCELLANEOUS

131. **CONDITION ADDED BY STAFF:** Update plans building code analysis on the fire service sheet and cover sheet from 2015 to current Virginia Statewide Building Code, as required, prior to final site plan. (P&Z) (Fire)

132. **CONDITION ADDED BY STAFF:** The applicant shall complete site improvements, including but not limited to spot improvements to perimeter fencing and removal of overgrown vegetation, within 60 days of City Council approval of the preliminary site plan. In addition, the property owner is responsible for maintaining the site in good condition to the satisfaction of the Director of Planning and Zoning until ground-disturbing activities commence. (P&Z)

CITY DEPARTMENT CODE COMMENTS

Legend: C - Code Requirement R - Recommendation S - Suggestion F – Finding

Planning and Zoning

- F - 1. In the future, if a property owner requests approval to construct a deck on their property, the property owner must demonstrate continued compliance with open space, floor area ratio requirements and setbacks pursuant to the Zoning Ordinance.
- R - 1. For all first floor bays with a street-facing door providing their primary access, please coordinate with the Geographic Information Systems (GIS) Division for address assignments at tenant fit out. These uses are not permitted to use the primary building address as their address. Please contact the Addressing Coordinator in the GIS Division (703-746-3823) as each new tenant is determined, and an appropriate address based on the location of the primary entrance door of the new space will be assigned.
- C - 1 As-built documents for all landscape and irrigation installations are required to be submitted with the Site as-built and request for Performance Bond release. Refer to City of Alexandria Landscape Guidelines, Section III A & B. ***** (P&Z) (T&ES)
- C - 2 The landscape elements of this development shall be subject to the Performance and Maintenance bonds, based on criteria established by the City and available through T&ES. Release of Performance and Maintenance Bonds are subject to inspections by City staff per City Code requirements. A final inspection for landscaping is also required three years after completion. ***** (P&Z) (T&ES)

Transportation and Environmental Services

- F - 1. The sewer outfall analysis should start from the proposed 10” sanitary sewer all the way to connection to the existing 60” sanitary sewer. Please include all proposed pipes on the table in the analysis. (T&ES)
- F - 2. There are multifamily and townhomes in this project which have different wastewater from factors. Revise the average daily flow on the table using the Memo to Industry 06-14 flow factor which is 300 gpd/unit for multifamily and 350 gpd/unit for townhouse. (T&ES)
- F - 3. For the building one south bicycle parking tabulations shown on sheet 102, in future submissions add an additional two class 2 or class 3 bicycle parking spaces to satisfy the bicycle parking requirement for retail per the City’s “Rules and Regulations Establishing the Dimensional and Equipment Standards for Bicycle Parking Areas.” These regulations state “the retail requirement is two (2) Class 2 or Class 3 spaces for every 10,000 SF, or portion thereof, of the first 50,000 square feet of retail floor area. (T&ES)
- F - 4. Clarify whether the streetlights shown on the drawings are existing or proposed. If proposed, change the symbology to reflect what is shown in the legend. If proposed,

relocate the street light shown in the middle of the curb ramp that connects the sidewalk adjacent to building 8 to the open space. (Shown on various sheets, most visible on C5.10) (T&ES)

- F - 5. On the final site plan, for both multifamily buildings indicate the class of bicycle parking on the site plan and in the bicycle parking tabulations. For more information, please see <http://alexandriava.gov/BicycleParking>. (T&ES)
- F - 6. Per the City of Alexandria's "Rules and Regulations Establishing the Dimensional and Equipment Standards for Bicycle Parking Areas," an additional two (2) bicycle parking spaces are required for the retail tenants. The aforementioned regulations state, "the retail requirement is two (2) Class 2 or Class 3 spaces for every 10,000 SF, or portion thereof, of the first 50,000 square feet of retail floor area. Staff recommends adding these spaces to the rack location shown with four bicycle rack spaces on C5.20. Include the additional two spaces in the bicycle parking tabulation. For more information, please see <http://alexandriava.gov/BicycleParking>. (T&ES)
- F - 7. Per the City of Alexandria's "Rules and Regulations Establishing the Dimensional and Equipment Standards for Bicycle Parking Areas," Details of proposed Class 1 and Class 2 bicycle facilities shall be provided with the first final site plan submission. This shall include dimensions of bicycle parking spaces/facilities. For more information, please see <http://alexandriava.gov/BicycleParking>. (T&ES)
- F - 8. Show and provide a crosswalk traversing the Private Road (parallel to Eisenhower Avenue) at the intersection of Eisenhower Avenue and the Private Road. (T&ES)
- F - 9. Show and provide crosswalks connecting between opposite curb ramps on all locations within the interior of the site. Ensure these are shown on the civil, architectural, and landscape drawings. Ensure that curb ramps are designed to be compliant to VDOT standards. (T&ES)
- F - 10. WMATA continues to have concerns about sound issues resulting from a residential community adjacent to the Alexandria railyard, as they expressed at the meeting a while back. WMATA staff notes the efforts by the developer however, particularly the addition of the sound wall. (T&ES)
- F - 11. Call out and show dimensions of the ADA passenger loading pad for the relocated bus stop on the site plan. (T&ES)
- F - 12. Applicant shall coordinate the relocation and re-installation of the DASH bus stop pole and flag with DASH staff (Brian Robey) – 703.746.3274. (T&ES)
- F - 13. Since the record drawings, maps, and other documents of the City of Alexandria, State, and Federal agencies show the true north pointing upwards, therefore, the Site Plan shall show the true north arrow pointing upward as is customary; however, for the sake of putting the plan together and/or ease of understanding, the project north arrow pointing upward,

preferably east, or west may be shown provided it is consistently shown in the same direction on all the sheets with no exception at all. The north arrow shall show the source of meridian. The project north arrow pointing downward will not be acceptable even if, it is shown consistently on all the sheets. (T&ES)

- F - 14. The Final Site Plan must be prepared per the requirements of Memorandum to Industry 02-09 dated December 3, 2009, Design Guidelines for Site Plan Preparation, which is available at the City's following web address:

<http://alexandriava.gov/uploadedFiles/tes/info/Memo%20to%20Industry%20No.%2002-09%20December%203,%202009.pdf>

- F - 15. The plan shall show sanitary and storm sewer, and water line in plan and profile in the first final submission and cross reference the sheets on which the plan and profile is shown, if plan and profile is not shown on the same sheet. Clearly label the sanitary and storm sewer, or water line plans and profiles. Provide existing and proposed grade elevations along with the rim and invert elevations of all the existing and proposed sanitary and storm sewer at manholes, and water line piping at gate wells on the respective profiles. Use distinctive stationing for various sanitary and storm sewers (if applicable or required by the plan), and water line in plan and use the corresponding stationing in respective profiles. (T&ES)
- F - 16. The Plan shall include a dimension plan with all proposed features fully dimensioned and the property line clearly shown. (T&ES)
- F - 17. Include all symbols, abbreviations, and line types in the legend. (T&ES)
- F - 18. Asphalt patches larger than 20% of the total asphalt surface, measured along the length of the road adjacent to the property frontage and/or extending to the centerline of the street, will require full curb to curb restoration (T&ES)
- F - 19. All storm sewers shall be constructed to the City of Alexandria standards and specifications. Minimum diameter for storm sewers shall be 18" in the public Right of Way (ROW) and the minimum size storm sewer catch basin lead is 15". The acceptable pipe materials will be Reinforced Concrete Pipe (RCP) ASTM C-76 Class IV. Alternatively, AWWA C-151 (ANSI A21.51) Class 52 may be used if approved by the Director of T&ES. For roof drainage system, Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26 and ASTM 1785-76 Schedule 40 pipes will be acceptable. The acceptable minimum and maximum velocities will be 2.0 fps and 15 fps, respectively. The storm sewers immediately upstream of the first manhole in the public Right of Way shall be owned and maintained privately (i.e., all storm drains not shown within an easement or in a public Right of Way shall be owned and maintained privately). (T&ES)
- F - 20. All sanitary sewers shall be constructed to the City of Alexandria standards and specifications. Minimum diameter of sanitary sewers shall be 10" in the public Right of Way and sanitary lateral 6" for all commercial and institutional developments; however, a 4" sanitary lateral will be acceptable for single family residences. The acceptable pipe

materials will be Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26, ASTM 1785-76 Schedule 40, Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52, or reinforced concrete pipe ASTM C-76 Class IV (For 12" or larger diameters); Class III may be acceptable on private properties. The acceptable minimum and maximum velocities will be 2.5 fps and 10 fps, respectively. Laterals shall be connected to the sanitary sewer through a manufactured "Y" or "T" or approved sewer saddle. Where the laterals are being connected to existing Terracotta pipes, replace the section of main and provide manufactured "Y" or "T", or else install a manhole. (T&ES)

- F - 21. Lateral Separation of Sewers and Water Mains: A horizontal separation of 10' (edge to edge) shall be provided between a storm or sanitary sewer and a water line; however, if this horizontal separation cannot be achieved then the sewer and water main shall be installed in separate trenches and the bottom of the water main shall be at least 18" above of the top of the sewer. If both the horizontal and vertical separations cannot be achieved then the sewer pipe material shall be Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 and pressure tested in place without leakage prior to installation. (T&ES)
- F - 22. Crossing Water Main Over and Under a Sanitary or Storm Sewer: When a water main over crosses or under crosses a sanitary / storm sewer then the vertical separation between the bottom of one (i.e., sanitary / storm sewer or water main) to the top of the other (water main or sanitary / storm sewer) shall be at least 18" for sanitary sewer and 12" for storm sewer; however, if this cannot be achieved then both the water main and the sanitary / storm sewer shall be constructed of Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 with joints that are equivalent to water main standards for a distance of 10 feet on each side of the point of crossing. A section of water main pipe shall be centered at the point of crossing and the pipes shall be pressure tested in place without leakage prior to installation. Sewers crossing over the water main shall have adequate structural support (concrete pier support and/or concrete encasement) to prevent damage to the water main. Sanitary sewers under creeks and storm sewer pipe crossings with less than 6" clearance shall be encased in concrete. (T&ES)
- F - 23. No water main pipe shall pass through or come in contact with any part of sanitary / storm sewer manhole. Manholes shall be placed at least 10 feet horizontally from the water main whenever possible. When local conditions prohibit this horizontal separation, the manhole shall be of watertight construction and tested in place. (T&ES)
- F - 24. Crossing Existing or Proposed Utilities: Underground telephone, cable T.V., gas, and electrical duct banks shall be crossed maintaining a minimum of 12" of separation or clearance with water main, sanitary, or storm sewers. If this separation cannot be achieved then the sewer pipe material shall be Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 for a distance of 10 feet on each side of the point of crossing and pressure tested in place without leakage prior to installation. Sanitary / storm sewers and water main crossing over the utilities shall have adequate structural support (pier support and/or concrete encasement) to prevent damage to the utilities. (T&ES)

- F - 25. Dimensions of parking spaces, aisle widths, etc. within the parking garage shall be provided on the plan. Note that dimensions shall not include column widths. (T&ES)
- F - 26. Show the drainage divide areas on the grading plan or on a sheet showing reasonable information on topography along with the structures where each sub-area drains. (T&ES)
- F - 27. Provide proposed elevations (contours and spot shots) in sufficient details on grading plan to clearly show the drainage patterns. (T&ES)
- F - 28. All the existing and proposed public and private utilities and easements shall be shown on the plan and a descriptive narration of various utilities shall be provided. (T&ES)
- F - 29. Add complete streets tabulation to the cover sheet with the Final 1 submission. (T&ES)
- C - 1 Per the requirements of the City of Alexandria Zoning Ordinance Article XI, the applicant shall complete a drainage study and adequate outfall analysis for the total drainage area to the receiving sewer that serves the site. If the existing storm system is determined to be inadequate then the applicant shall design and build on-site or off-site improvements to discharge to an adequate outfall; even if the post development stormwater flow from the site is reduced from the pre-development flow. The Plan shall demonstrate to the satisfaction of the Director of T&ES that a non-erosive stormwater outfall is present. (T&ES)
- C - 2 Per the requirements of the City of Alexandria Zoning Ordinance (AZO) Article XIII, Environmental Management Ordinance, the applicant shall comply with the water quality and quantity requirements and provide channel protection and flood protection in accordance with these requirements. If combined uncontrolled and controlled stormwater outfall is proposed, the peak flow requirements of the Zoning Ordinance shall be met. (T&ES)
- C - 3 Per the requirements of Article 13-114 (f) of the AZO, all stormwater designs that require analysis of pressure hydraulic systems, including but not limited to the design of flow control structures and stormwater flow conveyance systems shall be signed and sealed by a professional engineer, registered in the Commonwealth of Virginia. The design of storm sewer shall include the adequate outfall, inlet, and hydraulic grade line (HGL) analyses that shall be completed to the satisfaction of the Director of T&ES. Provide appropriate reference and/or source used to complete these analyses. (T&ES)
- C - 4 The proposed development shall conform to all requirements and restrictions set forth in Section 6-300 (Flood plain District) of Article VI (Special and Overlay Zones) of the City of Alexandria Zoning Ordinance. (T&ES)
- C - 5 Location of customer utility services and installation of transmission, distribution and main lines in the public rights of way by any public service company shall be governed by franchise agreement with the City in accordance with Title 5, Chapter 3, Section 5-3-2 and

Section 5-3-3, respectively. The transformers, switch gears, and boxes shall be located outside of the public right of way. (T&ES)

- C - 6 (a) Per the requirements of Section 5-3-2, Article A, Chapter 3 of the City of Alexandria Code, all new customer utility services, extensions of existing customer utility services and existing overhead customer utility services supplied by any existing overhead facilities which are relocated underground shall, after October 15, 1971 be installed below the surface of the ground except otherwise exempted by the City Code and to the satisfaction of the Director, Department of Transportation and Environmental Services. (b) Per the requirements of Section 5-3-3, Article A, Chapter 3 of the City of Alexandria Code, all new installation or relocation of poles, towers, wires, lines, cables, conduits, pipes, mains, and appurtenances used or intended to be used to transmit or distribute any service such as electric current, telephone, telegraph, cable television, traffic control, fire alarm, police communication, gas, water, steam or petroleum, whether or not on the streets, alleys, or other public places of the City shall, after October 15, 1971, be installed below the surface of the ground or below the surface in the case of bridges and elevated highways except otherwise exempted by the City Code and to the satisfaction of Director, Department of Transportation and Environmental Services. (T&ES)
- C - 7 Flow from downspouts, foundation drains, and sump pumps shall be discharged to the storm sewer per the requirements of Memorandum to Industry 05-14 that is available on the City of Alexandria's web site. The downspouts and sump pump discharges shall be piped to the storm sewer outfall, where applicable after treating for water quality as per the requirements of Article XIII of Alexandria Zoning Ordinance (AZO). (T&ES)
- C - 8 Per the requirements of Title 4, Chapter 2, Article B, Section 4-2-21, Appendix A, Section A 106(6), Figure A 106.1 Minimum Standards for Emergency Vehicle Access: provide a total turning radius of 25 feet to the satisfaction of Directors of T&ES and Office of Building and Fire Code Administration and show turning movements of standard vehicles in the parking lot as per the latest AASHTO vehicular guidelines. (T&ES)
- C - 9 The applicant shall provide required storage space for both trash and recycling materials containers as outlined in the City's "Solid Waste and Recyclable Materials Storage Space Guidelines", or to the satisfaction of the Director of Transportation & Environmental Services. The plan shall show the turning movements of the collection trucks and the trucks shall not back up to collect trash or recycling. The City's storage space guidelines are available online at: www.alexandriava.gov/solidwaste or by contacting the City's Solid Waste Division at 703-746-4410, or via email at commercialrecycling@alexandriava.gov. (T&ES)
- C - 10 The applicant shall be responsible to deliver all solid waste, as defined by the City Charter and Code of the City of Alexandria, to the Covanta Energy Waste Facility located at 5301 Eisenhower Avenue. A note to that effect shall be included on the plan. The developer further agrees to stipulate in any future lease or property sales agreement that all tenants and/or property owners shall also comply with this requirement. (T&ES)

- C - 11 The applicants shall submit a Recycling Implementation Plan (RIP) form to the Solid Waste Division, as outlined in Article H of Title 5 (Ordinance Number 4438), which requires all commercial properties to recycle. Instructions for how to obtain a RIP form can be found at: www.alexandriava.gov/solidwaste or by calling the Solid Waste Division at 703.746.4410 or by e-mailing CommercialRecycling@alexandriava.gov. (T&ES)
- C - 12 All private streets and alleys shall comply with the City's Minimum Standards for Private Streets and Alleys. (T&ES)
- C - 13 Bond for the public improvements must be posted prior to release of the site plan.* (T&ES)
- C - 14 Plans and profiles of utilities and roads in public easements and/or public Right of Way must be approved prior to release of the plan.* (T&ES)
- C - 15 Provide a phased erosion and sediment control plan consistent with grading and construction plan. (T&ES)
- C - 16 Per the Memorandum to Industry, dated July 20, 2005, the applicant is advised regarding a requirement that applicants provide as-built sewer data as part of the final as-built process. Upon consultation with engineering firms, it has been determined that initial site survey work and plans will need to be prepared using Virginia State Plane (North Zone) coordinates based on NAD 83 and NAVD 88. Control points/Benchmarks which were used to establish these coordinates should be referenced on the plans. To insure that this requirement is achieved, the applicant is requested to prepare plans in this format including initial site survey work if necessary. (T&ES)
- C - 17 The thickness of sub-base, base, and wearing course shall be designed using "California Method" as set forth on page 3-76 of the second edition of a book entitled, "Data Book for Civil Engineers, Volume One, Design" written by Elwyn E. Seelye. Values of California Bearing Ratios used in the design shall be determined by field and/or laboratory tests. An alternate pavement section for Emergency Vehicle Easements (EVE) to support H-20 loading designed using California Bearing Ratio (CBR) determined through geotechnical investigation and using Virginia Department of Transportation (VDOT) method (Vaswani Method) and standard material specifications designed to the satisfaction of the Director of Transportation and Environmental Services (T&ES) will be acceptable. (T&ES)
- C - 18 All pedestrian, traffic, and way finding signage shall be provided in accordance with the Manual of Uniform Traffic Control Devices (MUTCD), latest edition to the satisfaction of the Director of T&ES. (T&ES)
- C - 19 All driveway entrances, curbing, etc. in the public ROW or abutting public ROW shall meet City design standards. (T&ES)
- C - 20 All sanitary laterals and/or sewers not shown in the easements shall be owned and maintained privately. (T&ES)

- C - 21 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C - 22 All construction activities must comply with the Alexandria Noise Control Code Title 11, Chapter 5, Section 11-5-4(b)(15), which permits construction activities to occur between the following hours:
- a. Monday Through Friday from 7 AM To 6 PM and
 - b. Saturdays from 9 AM to 6 PM.
 - c. No construction activities are permitted on Sundays and holidays.
- Section 11-5-4(b)(19) further restricts the Pile Driving to the following hours:
- d. Monday Through Friday from 9 AM To 6 PM and
 - e. Saturdays from 10 AM To 4 PM
 - f. No pile driving is permitted on Sundays and holidays.
- Section 11-5-109 restricts work in the right of way for excavation to the following:
- g. Monday through Saturday 7 AM to 5 pm
 - h. No excavation in the right of way is permitted on Sundays(T&ES)
- C - 23 The applicant shall comply with the Article XIII of the City of Alexandria Zoning Ordinance, which includes requirements for stormwater pollutant load reduction, treatment of the Alexandria Water Quality Volume Default and stormwater quantity management. (T&ES)
- C - 24 The applicant shall comply with the City of Alexandria, Erosion and Sediment Control Code, Section 5, Chapter 4. (T&ES)
- C - 25 All required permits from Virginia Department of Environmental Quality, Environmental Protection Agency, Army Corps of Engineers, and/or Virginia Marine Resources shall be in place for all project construction and mitigation work prior to release of the final site plan. This includes the state requirement for a state General VPDES Permit for Discharges of Stormwater from Construction Activities (general permit) and associated Stormwater Pollution Prevention Plan (SWPPP)_for land disturbing activities equal to or greater than one acre. See memo to industry 08-14 which can be found on-line here: <http://alexandriava.gov/tes/info/default.aspx?id=3522>. *(T&ES)
- C - 26 The applicant must provide a Stormwater Pollution Prevention Plan (SWPPP) Book with the Final 1 submission. The project's stormwater management (SWM) plan, erosion and sediment control (E&SC) plan, and applicable portions of the Pollution Prevention (P2) Plan must be approved prior to the SWPPP being deemed approved and processed to receive coverage under the VPDES Construction General Permit. Upon approval, an electronic copy of the approved SWPPP Book must be provided with the Mylar submission and the coverage letter must be copied onto the plans. An electronic copy and a hardcopy of the SWPPP Book must be included with the released site plans, and the approved hardcopy SWPPP Binder must accompany the construction drawings onsite. Separate parcel owners as an entity incorporated in Virginia will be required to seek separate VPDES Construction General Permit Coverage. (T&ES-Storm)

- C - 27 A Stormwater Management Master Plan (SWMMP) must be created with this DSP that demonstrates overall water quality and quantity compliance with the proposed build-out of the entire project. Each phase of the project must demonstrate compliance with the water quality and quantity requirements individually for each portion of the site under construction; and compliance must be met prior to project closeout. (T&ES-Storm)

VAWC Comments:

1. Proposed 8" W/L at "Open Space #2": reroute it to private alley (asphalt paving).
2. Based on our maintenance experience, existing job site soil is corrosive to Ductile Iron pipe. We may use PVC pressure pipe (AWWA C900 DR14) for job site water main extension, and all water facilities owned by VAW shall be constructed by us.
3. We also suggest proposed water main around "Open Space #1" is rerouted to private alley (asphalt paving).
4. All proposed water meter shall be located at sidewalk (just behind curb).
5. Lot 1050 & 1051, Lot 1021 & 1022: please provide detail how to run water copper service line to these townhomes.

AlexRenew Comments:

1. Any connection to a manhole on the Holmes Run Trunk Sewer (60") will require pre- and post-inspection/assessment consistent with NASSCO MAPCP guidelines.
2. Replacement of the Holmes Run Trunk Sewer existing manhole frame and cover with a new hinged manhole frame and cover, as well. Other potential required manhole rehabilitation could include manhole lining (structural and/or waterproofing) and grade adjustment/improvements.
3. The Applicant shall coordinate with City of Alexandria T&ES to insure in writing to AlexRenew that additional flow planned does not exceed flow capacity in AlexRenew Interceptors & Trunk Sewers during wet & average flow conditions.

Fire Department

- F - 1. All new fire hydrants on private property shall be City owned and maintained with the appropriate easements granted to the City for access, inspection, testing, maintenance and service.

Code Administration (Building Code)

- F - 1. The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact the Code Administration Office, Plan Review Supervisor at 703-746-4200.
- C - 1 New construction or alterations to existing structures must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C - 2 The developer shall provide a building code analysis with the following building code data on the plan: a) use group; b) number of stories; c) type of construction; d) total floor area per floor; e) height of structure f) non-separated or separated mixed use g) fire protection system requirements.
- C - 3 A soils report must be submitted with the building permit application for all new and existing building structures.
- C - 4 The most restrictive type of construction shall apply to the structure for height and area limitations for non-separated uses.
- C - 5 Where required per the current edition Virginia Uniform Statewide Building Code exits, parking, and facilities shall be accessible for persons with disabilities.
- C - 6 All proposed buildings where an occupied floor exceeds 75 feet above the lowest level of fire department vehicle access shall meet the Virginia Uniform Statewide Building Code for HIGH-RISE buildings.
- C - 7 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to the Department of Code Administration that will outline the steps that will be taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C - 8 Sheeting and shoring shall not extend beyond the property line; except when the developer has obtained a written release from adjacent property owners which has been recorded in the land records; or through an approved encroachment process.
- C - 9 A wall location plat prepared by a land surveyor is required to be submitted to the Department of Code Administration prior to any building framing inspection.

Police

Parking Garage Recommendations

- R - 1. It is recommended that the section of the underground garage dedicated to the residents is gated off from the retail section and is controlled by electronic means. This should help alleviate unwanted persons tampering with resident's vehicles and other crimes.

- R - 2. It is recommended that the doors in the garage (garage level only) leading into the stairwell have controlled electronic access.
- R - 3. Only residents with proper electronic access cards should be able to enter into the stairwells from the underground parking garage. This makes the stairwells safer for residents.
- R - 4. The controlled electronic access should not interfere with the emergency push-bar release located on the inside of the stairwell door that allows for emergency exit of the building.

Landscape Recommendations

- R - 5. The proposed shrubbery should have a natural growth height of no more than 2 ½ to 3 feet with a maximum height of 36 inches when it matures and should not hinder the unobstructed view of patrolling law enforcement vehicles.

Parks

- R - 6. It is recommended that the applicant choose a style bench that has an armrest in the middle of the bench to deter unwanted sleeping and skateboarding on the benches.

Miscellaneous

- R - 7. It is recommended that the buildings have an address number which is contrasting in color to the background, at least 3 inches high, reflective, and visible from the street placed on the front and back of each home. It is strongly suggested that no brass or gold colored numbers are used. This aids in a timely response from emergency personnel should they be needed.
- R - 8. It is recommended that all of the ground floor level windows be equipped with a device or hardware that allows windows to be secured in a partially open position. This is to negate a “breaking and entering” when the windows are open for air.
- R - 9. It is recommended that a “door-viewer” (commonly known as a peep-hole) be installed on all doors on the ground level that lead directly into an apartment. This is for the security of the occupant.

Health Department

Food Facilities

1. An Alexandria Health Department Permit is required for all regulated facilities. A permit shall be obtained prior to operation, and is not transferable between one individual, corporation or location to another. Permit application and fee are required.
2. Construction plans shall be submitted to the Health Department located at 4480 King Street and through the Multi-Agency Permit Center. Plans shall be submitted and approved by the Health Department prior to construction. There is a \$200.00 plan review fee payable to the City of Alexandria.
3. Construction plans shall comply with Alexandria City Code, Title 11, Chapter 2, The Food Safety Code of the City of Alexandria. Plans shall include a menu of food items to be

offered for service at the facility and specification sheets for all equipment used in the facility, including the hot water heater.

4. A Food Protection Manager shall be on-duty during all operating hours.
5. The facility shall comply with the Virginia Indoor Clean Air Act and the Code of Alexandria, Title 11, Chapter 10, Smoking Prohibitions.
6. In many cases, original wooden floors, ceilings and wall structures in historical structures may not be suitable for food service facilities. Wood materials shall be finished in a manner that is smooth, durable, easily-cleanable, and non-absorbent.
7. Facilities engaging in the following processes may be required to submit a HACCP plan and/or obtain a variance: Smoking as a form of food preservation; curing/drying food; using food additives to render food not potentially-hazardous; vacuum packaging, cook-chill, or sous-vide; operating a molluscan shellfish life-support system; sprouting seeds or beans; and fermenting foods.

Hotel/Motels

8. An Alexandria Health Department Permit is required for all regulated facilities. A permit shall be obtained prior to operation, and is not transferable between one individual, corporation or location to another. Permit application and fee are required.
9. Construction plans shall be submitted to the Health Department located at 4480 King Street and the Multi-Agency Permit Center. Construction plans shall be submitted and approved by the Health Department prior to construction. There is a \$40.00 plan review fee payable to the Alexandria Health Department.
10. Construction plans shall comply with State Code 35.1, Hotels, Restaurants, Summer Camps and Campgrounds. Construction plans shall include equipment specification sheets including hot water information.

Aquatic Facilities

11. An Alexandria Health Department Permit is required for each regulated facility, including: swimming pools, wading pools, spas, waterparks, interactive water features and water activity pools. A permit shall be obtained prior to operation, and is not transferable between one individual, corporation or location to another.
12. Construction plans shall be submitted to the Health Department located at 4480 King Street and through the Multi-Agency Permit Center. Plans shall be submitted and approved by the Health Department prior to construction. There is a plan review fee per body of water payable to the City of Alexandria.
13. Construction plans shall comply with Alexandria City Code, Title 11, Chapter 11, The Aquatic Health Ordinance. Pump curves, hydraulic calculations, equipment specifications, site plans, and piping plans must be submitted.
14. The filter room shall be located so that the pool operator does not have to leave the pool enclosure, it opens onto pool deck, and so pool operator has a full line of sight when inside room.

15. The bathhouse shall be located to open onto the pool deck with patrons being required to enter and pass through bathhouse prior to accessing pool.
16. All regulated aquatic facilities shall have a pool operator on-duty. Pool operators must be on-site during all operating hours except for spas and interactive water features.
17. At least one certified lifeguard shall be on-duty during all operating hours for aquatic facilities with the exception of spas and interactive water features. Additional lifeguards may be required due to the configuration of the facility and/or use of the facility.

Child Care Facility

18. An Alexandria Health Department Permit is required for all regulated facilities that are serving and/or preparing food. A permit shall be obtained prior to operation, and is not transferable between one individual, corporation or location to another.
19. Construction plans shall be submitted to the Health Department located at 4480 King Street and through the Multi-Agency Permit Center. Construction plans shall be submitted and approved by the Health Department prior to construction. There is a \$200.00 plan review fee payable to the City of Alexandria.
20. Construction plans shall comply with Alexandria City Code, Title 11, Chapter 2, The Food Safety Code of the City of Alexandria. Plans shall include a menu of food items to be offered for service at the facility and specification sheets for all equipment used in the facility, including the hot water heater.
21. A Food Protection Manager shall be on-duty during all operating hours.
22. The facility shall comply with the Virginia Indoor Clean Air Act and the Code of Alexandria, Title 11, Chapter 10, Smoking Prohibitions.

Archaeology

- F - 1. This is the property formerly owned by the Lehigh Portland Cement Company from 1970 to 1983, and currently is owned by the State of Virginia who has erected several temporary buildings. A review of historic maps and aerial photographs that depict the 8.978 acre property from 1865 to the present day indicate that it has remained largely vacant until the temporary structures recently were built. Alexandria Archaeology vetted the property in 1993 and concluded that the archaeological potential for the property was low. Our position remains the same, the property has low potential to contain significant archaeological resources.
- F - 2. If this project is a federal undertaking or involves the use of any federal funding, the applicant shall comply with federal preservation laws, in particular Section 106 of the National Historic Preservation Act of 1966. The applicant will coordinate with the Virginia Department of Historic Resources and the federal agency involved in the project, as well as with Alexandria Archaeology.

C - 1 All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

Asterisks denote the following:

- * Condition must be fulfilled prior to release of the final site plan
- ** Condition must be fulfilled prior to release of the building permit
- *** Condition must be fulfilled prior to release of the certificate of occupancy
- **** Condition must be fulfilled prior to release of the bond

X. STAFF RECOMMENDATIONS (Coordinated Sign SUP)

1. All signs shall be in conformance with the Coordinated Sign Program dated November 17, 2015, as amended to comply with the following:
 - a. A maximum of two signs total for each multifamily building shall be permitted, each not to exceed 80 square feet in area each.
 - b. Retail signage shall not exceed 1 square foot of sign face per linear foot of building width facing the street, alley or parking area.
 - c. Business signs shall employ variety and creativity of design. Tenant designers shall bring a sculptural and dimensional quality to their signs.
 - d. Highlight the identity of individual business tenants through signage and storefront design. Coordinate signage with the building design and with individual storefront designs, including but not limited to integration with any proposed awnings, canopies, etc.
 - e. Pedestrian-oriented signs (e.g. projecting signs, window signs, etc.) are encouraged. Tenants with main storefront entrances on Street(s) may incorporate a projecting or under-canopy sign. (P&Z)
2. The building signs shall be designed to relate in material, color and scale to the building and the tenant bay on which the sign is displayed to the satisfaction of the Director of P&Z.
 - a. The building signs shall be designed of high quality materials.
 - b. Installation of building mounted signage shall not damage the building and signage shall comply with all applicable codes and ordinances. (P&Z)
3. Internally illuminated box signs are prohibited. Any illuminated signs shall be halo lit signs. (P&Z)
4. A maximum of two freestanding subdivision signs shall be permitted.
 - a. The subdivision signs shall not be located within 10 feet of the right-of-way and shall be appropriately landscaped.
 - b. If subdivision signs are two-sided, they shall be 90 degrees to the right-of-way. (P&Z)
5. Coordinated Sign Program Conditions shall be included on the cover sheet of the final document. (P&Z)
6. Provide signage at the entrances to the parking garage with retail parking that is consistent with the City's Wayfinding standards for identifying parking garages. (T&ES)
7. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- 8.

CITY DEPARTMENT CODE COMMENTS

Legend: C - Code Requirement R - Recommendation S - Suggestion F – Finding

Transportation and Environmental Services

- C-1 A sign may be erected or displayed flat against a building wall or at an angle thereto, so long as the sign does not project more than four feet from the building wall or within one foot of an established curb line and the bottom of the sign is at least eight feet above a sidewalk or parking area and at least 14.5 feet above any alley. (Sec. 5-2-29(c)) (T&ES)
- C-2 Canopies, awnings and marquees suspended from a building or structure with no ground supports, having a clearance of at least eight feet above a sidewalk, extending no more than four feet beyond the front property line and extending to no more than one foot from the established curb line, may be erected. (Sec. 5-2-29(d)) (T&ES)
- C-3 If applicable, the owner shall obtain and maintain a policy of general liability insurance in the amount of \$1,000,000 which will indemnify the owner (and all successors in interest); and the City as an Additional Insured. (Sec. 5-29 (h)(1)) (T&ES)
- C-4 Any work from or within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-5 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Code Administration (Building Code):

No comment

Asterisks denote the following:

- * Condition must be fulfilled prior to release of the final site plan
- ** Condition must be fulfilled prior to release of the building permit
- *** Condition must be fulfilled prior to release of the certificate of occupancy
- **** Condition must be fulfilled prior to release of the bond



APPLICATION

DEVELOPMENT SPECIAL USE PERMIT with SITE PLAN

DSUP # _____ **Project Name:** _____

PROPERTY LOCATION: 2927 & 2957 Eisenhower Avenue

TAX MAP REFERENCE: 071.04-02-85 & 071.04-02-86 **ZONE:** CDD#3

APPLICANT:

Name: Rushmark Eisenhower South Tower, LLC

Address: 2900 Fairview Park Drive, Falls Church, VA 22042

PROPERTY OWNER:

Name: Rushmark Eisenhower South Tower, LLC

Address: 2900 Fairview Park Drive, Falls Church, VA 22042

SUMMARY OF PROPOSAL Request for extension of DSUP#2015-0001

MODIFICATIONS REQUESTED _____

SUP's REQUESTED _____

☒ **THE UNDERSIGNED** hereby applies for Development Site Plan with Special Use Permit approval in accordance with the provisions of Section 11-400 of the Zoning Ordinance of the City of Alexandria, Virginia.

☒ **THE UNDERSIGNED**, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301 (B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

☒ **THE UNDERSIGNED** also attests that all of the information herein provided and specifically including all surveys, drawings, etc., required of the applicant are true, correct and accurate to the best of his/her knowledge and belief.

Rushmark Eisenhower South Tower, LLC By: M. Catharine Puskar

Print Name of Applicant or Agent

2200 Clarendon Boulevard, Unit 1300

Mailing/Street Address

Arlington, VA 22201

City and State Zip Code

Signature

(703)528-4700

Telephone #

Fax #

cpuskar@thelandlawyers.com

Email address

3/14/2024 - (Revised 06-05-2024)

Date

DO NOT WRITE IN THIS SPACE - OFFICE USE ONLY

Application Received: _____

Received Plans for Completeness: _____

Fee Paid and Date: _____

Received Plans for Preliminary: _____

ACTION - PLANNING COMMISSION: _____

ACTION - CITY COUNCIL: _____

ALL APPLICANTS MUST COMPLETE THIS FORM.

Supplemental forms are required for child care facilities, restaurants, automobile oriented uses and freestanding signs requiring special use permit approval.

1. The applicant is: (check one)

- ☒ The Owner ☐ Contract Purchaser ☐ Lessee or ☐ Other: _____ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership in which case identify each owner of more than three percent.

See Attachement

If property owner or applicant is being represented by an authorized agent, such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

- ☐ **Yes.** Provide proof of current City business license. **N/A**
- ☐ **No.** The agent shall obtain a business license prior to filing application, if required by the City Code.

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Rushmark Eisenhower South Tower, LLC	2900 Fairview Park Drive, Falls Church, VA 22042	See Attachment
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 2927 & 2957 Eisenhower Avenue (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Rushmark Eisenhower South Tower, LLC	2900 Fairview Park Drive, Falls Church, VA 22042	See Attachment
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Rushmark Eisenhower South Tower, LLC	None	None
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

3/14/2024 (Revised 06/5/2024)

Rushmark Eisenhower South Tower, LLC By: M. Catharine Puskar

Date

Printed Name


Signature

Rushmark

Properties

Rushmark Properties, LLC
2900 Fairview Park Drive
Falls Church, VA 22042

Rushmark Eisenhower South Tower, LLC
2900 Fairview Park Drive
Falls Church, VA 22042

March 14, 2024

Karl Moritz
301 King Street
City Hall, Room 2100
Alexandria, Virginia 22314

Re: Authorization to File for a Development Special Use Permit
2927 & 2957 Eisenhower Avenue, Tax Map No. 071.04-02-85 & -86 (the "Property")

Dear Mr. Moritz:

Rushmark Eisenhower South Tower, LLC hereby authorizes Walsh, Colucci, Lubeley & Walsh, P.C. to act as agent on its behalf for the filing and representation for a Development Special Use Permit of the Property and any related requests.

Very truly yours,

Rushmark Eisenhower South Tower, LLC

By: _____

Its: Vice President

Date: 3/14/2024

Rushmark Eisenhower South Tower, LLC
Ownership Disclosure
March 14, 2024

Rushmark Eisenhower South Tower, LLC	
(Owner of 2927 & 2957 Eisenhower Ave)	
Brett R. Hitt and James E. McNair, Trustees of the BRH Family Dynasty Trust	12.045%
James E. Millar and James E. McNair, Trustees of the JEM Family Dynasty Trust	12.045%
Brett R. Hitt*	24.09%
James E. Millar*	24.09%
Patrick J. Kearney*	23.73%

None of the above members have other business or financial relationships as defined by Section 11-350 of the Zoning Ordinance.

**Denotes Managing Member of Rushmark Eisenhower South Tower, LLC*

- 2. Narrative description.** The applicant shall describe below the nature of the request **in detail** so that the Planning Commission and City Council can understand the nature of the operation and the use, including such items as the nature of the activity, the number and type of patrons, the number of employees, the hours, how parking is to be provided for employees and patrons, and whether the use will generate any noise. If not appropriate to the request, delete pages 6-9. (Attach additional sheets if necessary.)

Rushmark Eisenhower South Tower, LLC (the "Applicant") requests approval of an extension of a previously approved Development Special Use Permit.

On February 20, 2016 City Council approved DSUP 2015-0001 for the construction of two multi-family buildings containing a total of 533 units with 9,000 SF of retail and 67 townhomes. The first multi-family building and the townhomes have since been built and are occupied. Due to unfavorable market conditions, construction of the second multi-family building was delayed.

In accordance with section 11-418(A) of the Zoning Ordinance, as modified by Resolution No. 3015 adopted by City Council on September 24, 2021, extending the Declaration of Local Emergency due to Covid, the current expiration date is June 30, 2024. The Applicant intends to move forward with construction of the last building as soon as market conditions and financing allow, in furtherance of the current approvals.

3. How many patrons, clients, pupils and other such users do you expect?

Specify time period (i.e., day, hour, or shift).

N/A

4. How many employees, staff and other personnel do you expect?

Specify time period (i.e. day, hour, or shift).

N/A

5. Describe the proposed hours and days of operation of the proposed use:

Day	Hours	Day	Hours
N/A			

6. Describe any potential noise emanating from the proposed use:

A. Describe the noise levels anticipated from all mechanical equipment and patrons.

N/A

B. How will the noise from patrons be controlled?

N/A

7. Describe any potential odors emanating from the proposed use and plans to control them:

N/A

8. Provide information regarding trash and litter generated by the use:

A. What type of trash and garbage will be generated by the use?

N/A

B. How much trash and garbage will be generated by the use?

N/A

C. How often will trash be collected?

N/A

D. How will you prevent littering on the property, streets and nearby properties?

N/A

9. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

☐ Yes. ☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

10. Will any organic compounds (for example: paint, ink, lacquer thinner, or cleaning or degreasing solvent) be handled, stored, or generated on the property?

☐ Yes. ☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

11. What methods are proposed to ensure the safety of residents, employees and patrons?

N/A

ALCOHOL SALES

12. Will the proposed use include the sale of beer, wine or mixed drinks?

☐ **Yes.** ☒ **No.**

If yes, describe alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales. Existing uses must describe their existing alcohol sales and/or service and identify any proposed changes in that aspect of the operation.

PARKING AND ACCESS REQUIREMENTS

13. Provide information regarding the availability of off-street parking:

A. How many parking spaces are required for the proposed use pursuant to section 8-200 (A) of the zoning ordinance?

N/A

B. How many parking spaces of each type are provided for the proposed use:

 N/A Standard spaces

 N/A Compact spaces

 N/A Handicapped accessible spaces

 N/A Other

- C. Where is required parking located? (check one) ☐ on-site ☐ off-site N/A

If the required parking will be located off-site, where will it be located?

Pursuant to section 8-200 (C) of the zoning ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

- D. If a reduction in the required parking is requested, pursuant to section 8-100 (A) (4) or (5) of the zoning ordinance, complete the **Parking Reduction Supplemental Application**.

14. Provide information regarding loading and unloading facilities for the use:

- A. How many loading spaces are required for the use, per section 8-200 (B) of the zoning ordinance? N/A
- B. How many loading spaces are available for the use? N/A
- C. Where are off-street loading facilities located? N/A
- D. During what hours of the day do you expect loading/unloading operations to occur?
N/A
- E. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?
N/A

15. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

Street access to the site is adequate.

ABBREVIATIONS

A	AREA OF ARC	F	FIRE LINE
AASHTO	AMERICAN ASSOCIATION OF STATE HWY & TRANSP OFFICIALS	FAR	FLOOR AREA RATIO
AC	ACRE	FC	FACE OF CURB
ADJ	ADJACENT	FCPA	FAIRFAX COUNTY PARK AUTHORITY
AFG	AVERAGE FINISHED GRADE	FCWA	FAIRFAX COUNTY WATER AUTHORITY
AGGR	AGGREGATE	FD	FLOOR DRAIN
AHD	AHEAD	FF	FIRST FLOOR
AMI	AVERAGE MEDIAN INCOME	FG	FINISH GRADE
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	FH	FIRE HYDRANT
APPROX	APPROXIMATE	FL	FLOW LINE
ARCH	ARCHITECTURAL	FND	FOUNDATION
ASPH	ASPHALT	FOY	FOYER
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	FP	FLOOD PLAIN
AWWA	AMERICAN WATER WORKS ASSOCIATION	FPS	FEET PER SECOND
		FS	FIRE SERVICE OR FACTOR OF SAFETY
B	BREADTH	FT	FOOT / FEET
BC	BACK OF CURB	G	GAS
BF	BASEMENT FLOOR	GAR	GARAGE
BLDG	BUILDING	GFA	GROSS FLOOR AREA
BM	BENCHMARK	GR	GUARD RAIL OR GRATE INLET
BMP	BEST MANAGEMENT PRACTICES (WATER QUALITY)	H	HEAD
BOV	BLOW OFF VALVE	HC	HANDICAP
BRG	BEARING	HB	HORIZONTAL BEND
BRL	BUILDING RESTRICTION LINE	HGL	HYDRAULIC GRADE LINE
BVCE	BEGINNING VERTICAL CURVE ELEVATION	HORZ	HORIZONTAL
BVCS	BEGINNING VERTICAL CURVE STATION	HP	HIGH POINT
BW	BOTTOM OF WALL	HR	HAND RAIL
c.e	CENTER CORRECTION ON VERTICAL CURVE	HT	HEIGHT
C	RUNOFF COEFFICIENT	HW	HEADWATER
C&G	CABLE TELEVISION	I	RAINFALL INTENSITY
CATV	CURB AND GUTTER	ID	INSIDE DIAMETER OR IDENTIFICATION
CB	CATCH BASIN	IE	INVERT ELEVATION
CBR	CALIFORNIA BEARING RATIO	IN	INCH
CC	CENTER TO CENTER	INV	INVERT
CF	CUBIC FEET	IP	IRON PIPE
CFS	CUBIC FEET PER SECOND	IPF	IRON PIPE FOUND
CG(R)	CURB AND GUTTER (REVERSE SLOPE)	IPS	IRON PIPE SET
CH	CHORD	JB	JUNCTION BOX
CHBRG	CHORD BEARING	JNT	JOINT
CIP	CAST IRON PIPE		
CL	CENTERLINE OR CLASS	K	SIGHT DISTANCE COEFFICIENT
C/L	CENTERLINE	Ke	CULVERT ENTRANCE LOSS COEFFICIENT
CLR	CLEAR	L	LENGTH
CM	CUBIC METERS	LAT	LATERAL
OMP	CORRUGATED METAL PIPE	LCG	LIMITS OF CLEARING & GRADING
CMS	CUBIC METERS PER SECOND	LF	LINEAR FEET
CN	RUNOFF CURVE NUMBER	LL	LOWER LEVEL
CONT	CONTINUOUS	LOS	LINE OF SIGHT
CO	CLEAN OUT	LP	LOW POINT
CONC	CONCRETE	LS	LOADING SPACE
CS	CURB STOP	LT	LEFT
CT	COURT	M	MONUMENT FOUND
CTR	CENTERLINE	MAX	MAXIMUM
CY	CUBIC YARD	MECH	MECHANICAL
D	DEPTH	MH	MANHOLE
DA	DRAINAGE AREA	MI	MILE
DB	DEED BOOK	MIN	MINIMUM
DEQ	VA. DEPARTMENT OF ENVIRONMENTAL QUALITY	MISC	MISCELLANEOUS
DET	DETAIL	MPH	MILES PER HOUR
DIA	DIAMETER	MS	MEDIAN STRIP
DIP	DUCTILE IRON PIPE	MSL	MEAN SEA LEVEL
DI	DROP INLET	NA OR N/A	NOT APPLICABLE
DIST	DISTANCE	NBL	NORTH BOUND LANE
DL	DOMESTIC LINE	N/F	NOW OR FORMERLY
DM	DROP MANHOLE	NFA	NET FLOOR AREA
DOM	DOMESTIC	NO. OR #	NUMBER
DR	DRIVE	OC	ON CENTER
DRN	DRAINAGE AREA	OBJ	OBJECT
DS	DOWN SPOUT	OD	OUTSIDE DIAMETER
DU	DWELLING UNITS	OH	OVERHANG
DWG	DRAWING	O/H	OVERHEAD
D/W	DRIVEWAY	OHC	OVERHEAD CABLE
Δ	DELTA	OHE	OVERHEAD ELECTRIC
E	RATE OF SUPER ELEVATION	OHT	OVERHEAD TELEPHONE
EA	EACH	P	PERIMETER
EBL	EAST BOUND LANE	P&P	PLAN AND PROFILE
EC	EROSION CONTROL	PC	POINT OF CURVATURE
EG	EDGE OF GUTTER	PCC	POINT OF COMPOUND CURVE
EGL	ENERGY GRADIENT LINE	PCEP	POINT OF CURVATURE TOP OF CURB
EL	ELEVATION	PCEP	POINT OF CURVE EDGE OF PAVEMENT
ELEC	ELECTRIC	PFM	PUBLIC FACILITIES MANUAL
ELEV	ELEVATION	PG	PAGE
ENGR	ENGINEER	PGL	POINT OF GRADE LINE
ENT	ENTRANCE	PI	POINT OF INTERSECTION
EP	EDGE OF PAVEMENT	PL	PROPERTY LINE
EQUIP	EQUIPMENT	PL	PROPERTY LINE
ES	END SECTION	PRC	POINT OF REVERSE CURVE
ESMT	EASEMENT		
ETD	EXISTING TO BE DEMOLISHED		
ETR	EXISTING TO REMAIN		
ETRL	EXISTING TO BE RELOCATED		
ETRP	EXISTING TO BE REPLACED		
EVCE	ENDING VERTICAL CURVE ELEVATION		
EVCS	ENDING VERTICAL CURVE STATION		
EW	END WALL		
EX	EXISTING		
EQC	ENVIRONMENTAL QUALITY CORRIDOR		

NOTE:
THIS IS A STANDARD SHEET. THEREFORE, SOME
ABBREVIATIONS MAY APPEAR ON THIS SHEET AND
NOT BE USED ON THE PROJECT.

GREEN BUILDING NARRATIVE:

PLEASE SEE ARCHITECTURAL SHEET A003 FOR THE
LEED REGISTRATION FOR THIS PROJECT.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	INDEX CONTOUR	
	INTERMEDIATE CONTOUR	
	EDGE OF PAVEMENT	
	CURB AND GUTTER	
	TRANSITION FROM CSCG-2 TO CSCG-1	
	PROPOSED HEADER CURB	
	PROPERTY LINE	
	DEPARTING PROPERTY LINE	
	LOT LINE	
	RIGHT-OF-WAY	
	CENTERLINE	
	FLOOD PLAIN	
	LIMITS OF DISTURBANCE	
	TREE LINE	
	FLOW LINE OF SWALE	
	STREAM	
	OVERLAND RELIEF PATHWAY	
	FENCE LINE	
	EASEMENT	
	WATER LINE	
	WATER VALVE	
	WATER REDUCER	
	SANITARY SEWER	
	STORM SEWER	
	CABLE TV	
	ELECTRIC SERVICE	
	TELEPHONE SERVICE	
	GAS LINE	
	OVERHEAD ELECTRIC	
	OVERHEAD TELEPHONE	
	SPOT ELEVATION	
	UTILITY POLE	
	SIGN	
	SANITARY SEWER IDENTIFIER	
	STORM DRAIN IDENTIFIER	
	WATER METER	
	FIRE HYDRANT	
	PARKING INDICATOR INDICATES THE NUMBER OF TYPICAL PARKING SPACES	
	STREET LIGHT	
	VEHICLES PER DAY (TRAFFIC COUNT)	
	TEST PIT LOCATION RECOMMENDED/REQUIRED	
	CRITICAL SLOPE SLOPES TO BE STABILIZED PURSUANT TO VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK	
	DOOR ENTRANCE	
	HANDICAP RAMP (CG-12)	
	DENOTES CLEAR SIGHT TRIANGLE	
	TREE	
	BENCHMARK	
	ASPHALT TRAIL	
	CONCRETE SIDEWALK	
	BRICK SIDEWALK	
	END WALLS	
	END SECTIONS	
	STOP SIGN	
	STREET SIGN	
	HANDICAP PARKING SPACE (VAN)	
	RIP RAP	

DESIGN ENGINEER / SURVEYOR

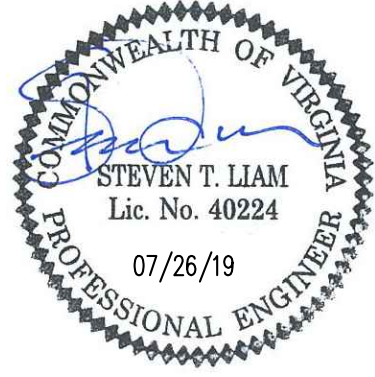
Bowman
CONSULTING

Bowman Consulting Group, Ltd.
1000 West Main Street, Suite 500
Harrison, VA 24043
Phone: (703) 464-1000
Fax: (703) 464-9720
www.bowmanconsulting.com

SCALE: N/A DATE: JULY 26, 2019 DRAWN: DA

PLAN STATUS	
DATE	DESCRIPTION
07/26/19	FINAL SUBMISSION

SEAL:



REVISION		APPROVED BY	
NO.	DESCRIPTION	REV. BY	DATE

RUSHMARK EISENHOWER
SOUTH TOWER
FINAL DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME:

NOTES, ABBREVIATIONS AND LEGEND

APPROVED	2018-0027
SPECIAL USE PERMIT NO.	
DEPARTMENT OF PLANNING & ZONING	
AEF for K. Moritz	1/11/2022
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No. _____	
_____	01/12/2022
DIRECTOR	DATE
_____	1/11/2022
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED _____	
INSTRUMENT NO.	DEED BOOK NO.
PAGE NO.	

SHEET: C2.00

1. THE SUBJECT SITE IS LOCATED ON CITY OF ALEXANDRIA ASSESSMENT MAP NO. 071.04-02-85 IS ZONED CDD#3
2. OWNER: RUSHMARK EISENHOWER SOUTH TOWER, LLC.
3. EXISTING USE: VACANT LAND
PROPOSED USE: MIXED USE
4. 2901 EISENHOWER AVENUE, ALEXANDRIA, VA 22314
5. AREA TABULATION (SEE COVER SHEET).
6. SOILS MAP PROVIDED ON THE EROSION AND SEDIMENT CONTROL NOTES SHEET (C14.20).
7. THE SITE IS LOCATED IN THE CAMERON RUN WATERSHED.
8. CONSTRUCTION PERMITS ARE REQUIRED FOR THIS PROJECT. THE APPROVED SITE PLAN MUST BE ATTACHED TO THE PERMIT APPLICATION THAT FULLY DETAILS THE CONSTRUCTION AS WELL AS LAYOUTS AND SCHEMATICS OF THE MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
9. ALL PUBLIC AND PRIVATE EASEMENTS OR ALL KNOWN PUBLIC AND PRIVATE EASEMENTS, INCLUDING ALL UTILITY, EGRESS, AND CONSERVATION RESTRICTIONS ARE SHOWN. THE APPLICANT SHALL NOT CONSTRUCT ANY PERMANENT STRUCTURES OVER ANY EXISTING OR PROPOSED PUBLIC AND/OR PRIVATE EASEMENTS UNLESS OTHERWISE APPROVED BY THE PLANNING COMMISSION AND CITY OF ALEXANDRIA COUNCIL.
10. PLAT SUBJECT TO RESTRICTIONS OF RECORD.
11. BUILDING HEIGHT SHALL NOT EXCEED THE ALLOWABLE LIMIT BY CITY OF ALEXANDRIA ZONING ORDINANCE OR AS APPROVED BY THE PLANNING COMMISSION AND CITY OF ALEXANDRIA COUNCIL.
12. ALL NEW CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA AND TO THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC).
13. FLOOR AREA CALCULATIONS WITH ALLOWABLE LIMITS, AS APPROVED BY PLANNING COMMISSION AND CITY COUNCIL, ARE DEMONSTRATED HEREIN.
14. PRIOR TO COMMENCING NEW WORK, THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING ADJACENT AREAS. IF CITY'S EXISTING PUBLIC INFRASTRUCTURE, INCLUDING BUT NOT LIMITED, TO STREETS, ALLEYS, DRIVEWAY APRONS, SANITARY AND STORM SEWERS, STREET LIGHTING, TRAFFIC AND PEDESTRIAN SIGNALS, SIDEWALKS, CURB AND GUTTER, AND STORM WATER DRAIN INLET STRUCTURES ARE DAMAGED BY THE CONTRACTOR OR BY ACTIVITIES RELATING TO THE SITE CONSTRUCTION THEN THE APPLICANT SHALL REPAIR THE SAME TO THE SATISFACTION OF DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES (T&ES). A PRE-CONSTRUCTION WALK/SURVEY OF THE SITE SHALL OCCUR WITH CONSTRUCTION AND INSPECTION STAFF TO DOCUMENT EXISTING CONDITIONS PRIOR TO ANY LAND DISTURBING ACTIVITY.
15. ALL IMPROVEMENTS TO THE CITY'S RIGHT-OF-WAY SUCH AS CURB, GUTTER, SIDEWALK, AND DRIVEWAY APRONS, ETC., ARE DESIGNED PER THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS.
16. ALL STREET CUT AND PATCH WORK LOCATED IN PUBLIC RIGHT-OF-WAYS, REQUIRED FOR ANY UTILITY INSTALLATION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS AND TO THE SATISFACTION OF THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES (T&ES).
17. CONTRACTOR MUST ENSURE THAT THERE IS NO DISTURBANCE ON ADJACENT PROPERTIES WITHOUT RECORDED EASEMENT OR NOTARIZED LETTER OF PERMISSION FROM THE ADJACENT PROPERTY OWNERS.
18. ALL REQUIRED STATE AND FEDERAL PERMITS, WHICH COULD INCLUDE PERMITS FROM THE VIRGINIA DEPARTMENT OF CONSERVATION AND RECREATION (VDOR), VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY (VDEQ), VIRGINIA DEPARTMENT OF HISTORIC RESOURCES (VDHR), UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA), ARMY CORPS OF ENGINEERS AND VIRGINIA MARINE RESOURCES, MUST BE IN PLACE FOR ALL PROJECT CONSTRUCTION AND MITIGATION WORK PRIOR TO RELEASE OF THE FINAL SITE PLAN. THIS INCLUDES THE STATE REQUIREMENT FOR A VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMGP) GENERAL PERMIT FOR DISCHARGES OF STORMWATER FROM CONSTRUCTION ACTIVITIES FOR LAND DISTURBING ACTIVITIES GREATER THAN 2,500. INFORMATION REGARDING THE VSMGP GENERAL PERMIT CAN BE FOUND ONLINE AT: [HTTP://WWW.DEQ.VIRGINIA.GOV/PROGRAMS/WATER/_STORMWATERMANAGEMENT/VSMGPPERMITS.ASPX](http://www.deq.virginia.gov/PROGRAMS/WATER/_STORMWATERMANAGEMENT/VSMGPPERMITS.ASPX)
19. PERMITS FROM THE CITY OF ALEXANDRIA OFFICE OF ENVIRONMENTAL QUALITY (EQ), TRANSPORTATION AND ENVIRONMENTAL SERVICES (T&ES), AND BUILDING AND FIRE CODE ADMINISTRATION SHALL BE OBTAINED BY THE APPLICANT, AS REQUIRED AND DOCUMENTED HEREIN. THE CONTRACTOR CAN CONTACT ALEXANDRIA FIRE AND CODE ADMINISTRATION DEPARTMENT AT (703) 746-4644 OR (703) 746-4200 FOR ANY QUESTIONS OR ADDITIONAL INFORMATION.
20. ANY WORK IN THE PUBLIC RIGHT OF WAY SHALL REQUIRE A SEPARATE PERMIT FROM THE DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES. THE CONTRACTOR CAN CONTACT THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES AT (703) 746-4035 FOR ANY QUESTIONS OR ADDITIONAL INFORMATION.
21. THE PROPERTY ADDRESS MUST BE CLEARLY MARKED IN THE FRONT AND BACK OF THE PROPOSED DEVELOPMENT SITE DURING CONSTRUCTION FOR EMERGENCY RESPONSE PURPOSE IN CONTRASTING COLORS FOR EASY IDENTIFICATION.
22. THE APPLICANT SHALL CONTACT THE CRIME PREVENTION UNIT OF THE ALEXANDRIA POLICE DEPARTMENT AT (703) 746-4520 REGARDING SECURITY HARDWARE FOR NEW CONSTRUCTION. THIS SHALL BE COMPLETED PRIOR TO ISSUANCE OF BUILDING PERMIT.

3. ROOF DRAINAGE SYSTEM, SUMP PUMP DISCHARGE, AND FOUNDATION DRAIN SYSTEM MUST BE INSTALLED SO AS NEITHER TO ADVERSELY IMPACT UPON, NOR CAUSE EROSION DAMAGE TO ADJACENT PROPERTIES OR THE PUBLIC RIGHT OF WAY.
24. THE CONTRACTOR MUST ENSURE THAT POSITIVE DRAINAGE OCCURS ON SITE TO PREVENT PONDING OR DRAINAGE PROBLEMS ON ADJACENT PROPERTIES.
25. IN THE EVENT, THE PROPOSED ROOF DRAINAGE AND/OR SUMP PUMP DISCHARGE, AND FOUNDATION DRAIN SYSTEMS AND/OR GRADING ADVERSELY IMPACTS AND/OR CREATES A NUISANCE ON PUBLIC RIGHT OF WAY OR PRIVATE PROPERTIES THEN THE APPLICANT SHALL BE RESPONSIBLE TO PROVIDE ADDITIONAL IMPROVEMENTS TO THE ROOF DRAINAGE AND/OR SUMP PUMP DISCHARGE AND FOUNDATION DRAIN SYSTEMS AND/OR GRADING TO THE SATISFACTION OF DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES.
25. PER THE REQUIREMENTS OF SECTION 8-1-12 OF THE CITY CHARTER AND CODE, WHEN THE BUILDING FOOTING HAS BEEN PLACED AND THE WALLS HAVE BEEN RAISED TO THE FIRST JOIST BEARING OR STORY HEIGHT ABOVE GRADE, A PLOT PLAN SHOWING THE EXACT LOCATION OF THE WALLS SHALL BE PREPARED BY A LICENSED, CERTIFIED PUBLIC LAND SURVEYOR OR PROFESSIONAL ENGINEER AND FILED WITH THE BUILDING OFFICIAL FOR APPROVAL BEFORE PROCEEDING FURTHER WITH THE CONSTRUCTION.
26. A SEPARATE DESIGN IS REQUIRED FOR ALL WALLS 24" AND OVER IN HEIGHT FROM THE GRADE AND SUBJECT TO SEPARATE PERMITS TO BE OBTAINED BY THE OWNERS. GEOTECHNICAL AND STRUCTURAL DESIGN IS TO BE COMPLETED BY OTHERS. THIS FINAL SITE PLAN SHOWS LOCATION, PROPOSED GRADING, AND DESIGN OF ALL THE WALLS.
27. SUBMIT A SURVEY, CONSISTENT WITH THE REQUIREMENTS FOR CERTIFICATE OF OCCUPANCY CHECKLIST, TO THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES PRIOR TO REQUESTING AN INSPECTION FOR A CERTIFICATE OF OCCUPANCY.
28. ALL SANITARY LATERALS AND/OR SEWERS NOT SHOWN IN THE EASEMENTS SHALL BE OWNED AND MAINTAINED PRIVATELY.
29. ALL STORM DRAINS NOT SHOWN WITHIN AN EASEMENT OR IN A PUBLIC RIGHT OF WAY SHALL BE OWNED AND MAINTAINED PRIVATELY.
30. ALL WATER FACILITY CONSTRUCTIONS SHALL CONFORM TO VIRGINIA AMERICAN WATER (VAW) STANDARDS AND SPECIFICATIONS. DEVELOPER OR CONTRACTOR SHALL CONTACT VAWC AT 703-706-3889, OBTAIN AN APPROVED PROPOSAL AND PAY ALL REQUIRED FEES PRIOR TO THE START OF CONSTRUCTION, DEMOLITION, AND INSPECTION OF WATER FACILITIES, INCLUDING, BUT NOT LIMITED TO, WATER MAINS, FIRE HYDRANTS, DOMESTIC AND FIRE SERVICE LINES. ALL PROPOSED WE TAPS ON AN EXISTING WATER MAIN SHALL BE CONSTRUCTED BY VAW.
31. THE SIDEWALKS SHALL REMAIN OPENED DURING CONSTRUCTION OR PEDESTRIAN ACCESS SHALL BE MAINTAINED TO THE SATISFACTION OF THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES THROUGHOUT THE CONSTRUCTION OF THE PROJECT.
32. PRIOR TO THE RELEASE OF THE FINAL SITE PLAN, A TRAFFIC CONTROL PLAN FOR CONSTRUCTION DETAILING PROPOSED CONTROLS TO TRAFFIC MOVEMENT, LANE CLOSURES, CONSTRUCTION ENTRANCES, HAUL ROUTES, AND STORAGE AND STAGING SHALL BE PROVIDED FOR INFORMATION PURPOSE; HOWEVER, AN AMENDED TRAFFIC CONTROL PLAN, IF REQUIRED BY THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES SHALL BE SUBMITTED TO THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES ALONG WITH THE BUILDING PERMIT APPLICATION. THE FINAL SITE PLAN SHALL INCLUDE A STATEMENT "FOR INFORMATION ONLY" ON THE TRAFFIC CONTROL PLAN SHEETS.
33. A CERTIFICATE OF OCCUPANCY SHALL BE OBTAINED PRIOR TO ANY OCCUPANCY OF THE BUILDING OR PORTION THEREOF, IN ACCORDANCE WITH VIRGINIA USBC 115.0.

UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS DESCRIBED IN SECTION 4VAC50-30-40 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (YESCH) AND ADDITIONAL APPLICABLE PRACTICES FOLLOWED BY THE CITY OF ALEXANDRIA:

A. ALL PRIVATE UTILITIES SHALL BE LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY AND PUBLIC UTILITY EASEMENTS UNLESS THE UTILITY OWNERS HAVE FRANCHISE AGREEMENT WITH THE CITY OF ALEXANDRIA; HOWEVER, NO ELECTRIC TRANSFORMERS AND SWITCH GEARS / CONTROL BOXES SHALL BE PLACED IN THE PUBLIC RIGHT OF WAY.

B. ALL THE EXISTING AND PROPOSED PUBLIC AND PRIVATE UTILITIES AND EASEMENTS SHALL BE SHOWN AND A DESCRIPTIVE NARRATION OF VARIOUS UTILITIES SHALL BE PROVIDED ON THE PLAN.

C. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN UTILITY SERVICES AT ALL TIMES DURING CONNECTION AND/OR CONSTRUCTION.

D. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED A ONE TIME.

E. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.

F. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.

G. MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ACCORDANCE WITH THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS TO MINIMIZE EROSION AND PROMOTE STABILIZATION.

H. SHOULD UTILITY CONSTRUCTION BE PERFORMED AFTER COMPLETING EARTHWORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACHIEVING 98 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1551) COMPACTION IN ALL TRENCH BACKFILL.

I. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE VIRGINIA REGULATIONS §4VAC50-30 EROSION AND SEDIMENT CONTROL REGULATIONS, VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (YESCH).

J. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.

K. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL CONTROL MEASURES AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION, AS DETERMINED BY THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, CITY OF ALEXANDRIA.

L. A REMEDIATION PLAN SHALL BE SUBMITTED DETAILING HOW CONTAMINATED SOILS AND/OR GROUNDWATER WILL BE DEALT WITH, INCLUDING PLANS TO REMEDIATE UTILITY CORRIDORS.

M. UTILITY CORRIDORS IN CONTAMINATED SOIL SHALL BE OVER EXCAVATED BY 2 FEET AND BACKFILLED WITH "CLEAN" SOIL.

N. GRADING CAN BE PERFORMED ON INSTALLATION OF UTILITIES.

O. ALL UTILITIES SUCH AS ELECTRICAL LINES, GAS PIPES, COMMUNICATION CABLES, INCLUDING WATER AND SEWER LATERALS ON PRIVATE AND PUBLIC PROPERTY IN THE CITY OF ALEXANDRIA SHALL BE PROVIDED WITH MINIMUM 3" WIDE 5 MIL OVERALL THICKNESS DETECTABLE UNDERGROUND WARNING TAPE (DUWT). THE DUWT SHALL BE INSTALLED AT DEPTHS OF 12" TO 18" FOR DUWT WIDTHS OF 3" AND 24" FOR WIDTHS OF 6" SO AS TO MAKE UNDERGROUND INSTALLATIONS EASY TO FIND USING A NON-FERROUS LOCATOR. THE DUWT SHALL BE WITH ALUMINUM BACKING OR SOLID ALUMINUM CORE LAMINATED WITH A PROTECTIVE CLEAR FILM ON BOTH SIDES, SEALING AND PROTECTING THE GRAPHICS FROM UNDERGROUND MOISTURE, ACIDS, ALKALIS, AND OTHER SOIL SUBSTANCES. ALL DUWT TAPES SHALL BE PRINTED IN BLACK INK ON AMERICAN PUBLIC WORKS ASSOCIATION (APWA) APPROVED COLORS TO MEET OR EXCEED INDUSTRY STANDARDS.

COLOR	CODES
RED	CAUTION BURIED ELECTRIC POWER LINES, CABLES, CONDUITS AND LIGHTING CABLES
YELLOW	CAUTION GAS, OIL, STEAM, PETROLEUM, OR GASEOUS MATERIALS
ORANGE	CAUTION COMMUNICATIONS, ALARM OR SIGNAL LINES, CABLES, OR CONDUITS
BLUE	CAUTION POTABLE WATER
PURPLE	CAUTION RECLAIMED WATER, IRRIGATION AND SLURRY LINES
GREEN	CAUTION SEWER, DRAIN LINES, AND FORCE MAIN

IF YOU HAVE ANY QUESTIONS OR REQUIRE ADDITIONAL INFORMATION, PLEASE CONTACT BRIAN DOFFLEMEYER, P.E. AT 703-746-4008.

1. A SEPARATE PERMIT IS REQUIRED FOR DEMOLITION; HOWEVER, NO DEMOLITION SHALL BEGIN UNTIL ALL EROSION AND SEDIMENT AND TREE PROTECTION CONTROLS ARE IN PLACE AND ARE APPROVED BY AN EROSION AND SEDIMENT CONTROL INSPECTOR OF THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES.
2. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE MOST CURRENT APPLICABLE FEDERAL, STATE , AND LOCAL LAWS AND REGULATIONS, INCLUDING BUT NOT LIMITED, TO ENVIRONMENTAL PROTECTION AGENCY (EPA), OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), VIRGINIA OCCUPATIONAL AND SAFETY HEALTH COMPLIANCE PROGRAM (VOSH ENFORCEMENT), VIRGINIA OVERHEAD HIGH VOLTAGE LINE SAFETY ACT, NATIONAL EMISSIONS STANDARDS FOR HAZARDOUS AIR POLLUTANTS (NESHAPS), AND NATIONAL INSTITUTE OF OCCUPATIONAL SAFETY AND HEALTH (NIOSH).
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK WITH REPRESENTATIVE UTILITY COMPANIES AND FOR THE IMPLEMENTATION OF REQUIRED UTILITY-RELATED WORK.
4. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY HAZARDOUS MATERIALS DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL DOCUMENT SAME TO THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
5. DISCONNECTION OF SERVICES AND SYSTEMS SUPPLYING UTILITIES TO BE ABANDONED OR DEMOLISHED SHALL BE COMPLETED PRIOR TO OTHER SITE DEMOLITION IN FULL COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, AND THE REQUIREMENTS OF UTILITY PURVEYORS HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE UTILITY PURVEYORS, PAYMENT OF ASSOCIATED FEES AND PROCUREMENT OF ALL NECESSARY PERMITS.
6. PRIOR TO REMOVAL OF MATERIALS OVER EXISTING UTILITY SYSTEMS, THE CONTRACTOR SHALL DOCUMENT EXISTING CONDITIONS AND, IF AT VARIANCE WITH CONDITIONS AS REPRESENTED ON THE PLANS, NOTIFY THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTIONS AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
7. THE CONTRACTOR SHALL BACKFILL EXCAVATED AREAS WITH APPROVED MATERIALS / CLEAN FILL AS PER THE REQUIREMENTS OF VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT).
8. THE CONTRACTOR SHALL PROTECT AND PREVENT DAMAGE TO EXISTING ON-SITE UTILITY DISTRIBUTION FACILITIES THAT ARE TO REMAIN. ACTIVE UTILITY DISTRIBUTION FACILITIES ENCOUNTERED DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES SHALL BE SHUT OFF AT THE SERVICE MAIN WITH THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
9. DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY EXISTING UTILITIES AND/OR UTILITY SYSTEM STRUCTURES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DOCUMENT THE SAME AND FORWARD THE INFORMATION TO THE RESIDENT ENGINEER / OWNER'S REPRESENTATIVE, AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
10. THE CONTRACTOR OR APPLICANT SHALL WORK WITH THE CITY STAFF TO REUSE THE EXISTING, LEFTOVER, UNUSED, AND/OR DISCARDED BUILDING MATERIALS AS PART OF THE DEMOLITION PROCESS OR THE CONSTRUCTION DEBRIS MUST BE REMOVED TO AN APPROVED LANDFILL WITH ADEQUATE FREQUENCY IN ACCORDANCE WITH THE VIRGINIA STATE LITTER CONTROL ACT

ARCHAEOLOGICAL TESTING MUST BE COMPLETED PRIOR TO GROUND DISTURBANCE. IF SIGNIFICANT RESOURCES ARE DISCOVERED, THE CONSULTANT MUST COMPLETE A RESOURCE MANAGEMENT PLAN, AS OUTLINED IN THE CITY OF ALEXANDRIA ARCHAEOLOGICAL STANDARDS. PRESERVATION MEASURES PRESENTED IN THE RESOURCE MANAGEMENT PLAN, AS APPROVED BY THE CITY ARCHAEOLOGIST, WILL BE IMPLEMENTED.

B. ALL ARCHAEOLOGICAL PRESERVATION MEASURES MUST BE COMPLETED PRIOR TO GROUND-DISTURBING ACTIVITIES (SUCH AS CORING, GRADING, FILLING, VEGETATION REMOVAL, UNDERGROUND UTILITIES, PILE DRIVING, LANDSCAPING AND OTHER EXCAVATIONS AS DEFINED IN SECTION 2-151 OF THE ZONING ORDINANCE. TO CONFIRM, CALL ALEXANDRIA ARCHAEOLOGY AT (703)-746-4399.

C. CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS ETC.) OR CONCENTRATIONS OR ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO SITE AND RECORDS FINDS.

D. CERTIFICATES OF OCCUPANCY WILL NOT BE ISSUED FOR THIS PROPERTY UNTIL THE FINAL ARCHAEOLOGICAL REPORT HAS BEEN RECEIVED AND APPROVED BY THE CITY ARCHAEOLOGIST.

E. IF WARRANTED BY THE CITY ARCHAEOLOGIST, THE DEVELOPER WILL ERECT A HISTORIC MARKER ON THE PROPERTY ACCORDING TO SPECIFICATIONS PROVIDED BY ALEXANDRIA ARCHAEOLOGY. THE MARKER WILL HIGHLIGHT THE HISTORICAL AND ARCHAEOLOGICAL SIGNIFICANCE OF THE PROPERTY.

F. IF WARRANTED BY THE CITY ARCHAEOLOGIST, THE DEVELOPER WILL PRODUCE A BOOKLET FOR THE PUBLIC ON THE HISTORY AND ARCHAEOLOGY OF THE PROPERTY, ACCORDING TO SPECIFICATIONS PROVIDED BY ALEXANDRIA ARCHAEOLOGY.

G. THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.

SURVEY NOTES

1. THE SURVEYED PROPERTY DELINEATED HEREON IS LOCATED ON CITY OF ALEXANDRIA REAL ESTATE ASSESSMENT MAPS AT PARCEL 071.04-02-85 AND IS ZONED CDD#3.

2. THE SURVEYED PROPERTY IS NOW IN THE NAME OF RUSHMARK EISENHOWER SOUTH TOWER LLC AND IS RECORDED IN DEED BOOK 1658 AT PAGE 200 AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.

3. BOUNDARY INFORMATION AS SHOWN HEREON IS COMPILED FROM EXISTING LAND RECORDS OF CITY OF ALEXANDRIA AND A FIELD SURVEY PERFORMED BY BOWMAN CONSULTING GROUP, LTD. IN OCTOBER 2018.

4. THE TOPOGRAPHY DEPICTED HEREON IS BASED UPON A FIELD RUN SURVEY BY BOWMAN CONSULTING IN OCTOBER, 2018 UTILIZING A COMBINATION OF TERRESTRIAL LIDAR AND CONVENTIONAL SURVEY METHODS. THE CONTOUR INTERVAL IS ONE (1) FOOT.

5. THIS SURVEY IS REPRESENTED HORIZONTALLY TO THE VIRGINIA COORDINATE SYSTEM OF 1983 AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY, AND VERTICALLY TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS COMPUTED FROM A FIELD RUN VERTICAL CONTROL SURVEY.

6. THE SURVEYED PROPERTY AS SHOWN HEREON IS SUBJECT TO ALL COVENANTS AND RESTRICTIONS OF RECORD AND THOSE RECORDED HERETO, BOWMAN CONSULTING GROUP, LTD. WAS PROVIDED A COMMITMENT FOR TITLE INSURANCE FROM FIRST AMERICAN LAND TITLE INSURANCE COMPANY, AND SCHEDULE B - SECTION II IS ADDRESSED IN THE TITLE COMMITMENT REVIEW.

7. THE SURVEYED PROPERTY SHOWN HEREON IN ZONE "X" (SHADED)(AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD), ZONE "X" (UN-SHADED)(AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND ZONE AE (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP FOR CITY OF ALEXANDRIA, VIRGINIA, COMMUNITY-PANEL NUMBER 5155190037E, MAP REVISED JUNE 16, 2011.

8. THE PLANIMETRIC FEATURES AS SHOWN HEREON WERE COMPILED FROM CONVENTIONAL SURVEY METHODS.

9. THE LOCATION OF ALL VISIBLE BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE SURVEYED PROPERTY, WHICH HAS BEEN CAREFULLY ESTABLISHED BY THE CLASSIFICATION AND SPECIFICATIONS FOR CADASTRAL SURVEYS ARE CORRECTLY SHOWN.

10. ALL EASEMENTS AND RIGHTS-OF-WAY APPARENT FROM A CAREFUL PHYSICAL INSPECTION OF THE SURVEYED PROPERTY, OR AS IDENTIFIED IN SCHEDULE B - SECTION II OF THE COMMITMENT FOR TITLE ARE CORRECTLY SHOWN UNLESS OTHERWISE NOTED.

11. THERE ARE NO VISIBLE ENCROACHMENTS ON ADJOINING PREMISES, STREETS OR EASEMENTS, BY VISIBLE BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS, NOR VISIBLE ENCROACHMENTS ON SAID PROPERTY BY VISIBLE STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES EXCEPT AS SHOWN.

[illegible]

1. THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH MAY OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUANCE OF SERVICE.
2. THE CONTRACTOR SHALL DIG TEST PITS AS REQUIRED FOLLOWING NOTIFICATION AND MARKING OF ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES TEST HOLES TO BE PERFORMED AT LEAST 30 DAYS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE OWNER AND ENGINEER. REDESIGN AND APPROVAL BY REVIEWING AGENCIES SHALL BE OBTAINED IF REQUIRED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
4. THE CONTRACTOR SHALL VISIT THE SITE AND SHALL VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
5. THE CONTRACTOR SHALL CLEAR THE SITE OF ALL TREES, BUILDINGS, FOUNDATIONS, ETC. WITHIN THE LIMITS OF CONSTRUCTION UNLESS OTHERWISE SPECIFIED, AND SHALL BE RESPONSIBLE FOR CAUSING EXISTING UTILITIES TO BE DISCONNECTED.
6. THE DEVELOPER SHALL PROVIDE OVER-LOT GRADING TO PROVIDE POSITIVE DRAINAGE AND PRECLUDE PONDING OF WATER.
7. ALL AREAS, ON OR OFF-SITE, WHICH ARE DISTURBED BY THIS CONSTRUCTION AND WHICH ARE NOT PAVED OR BUILT UPON, SHALL BE ADEQUATELY STABILIZED TO CONTROL EROSION AND SEDIMENTATION. THE MINIMUM ACCEPTABLE STABILIZATION SHALL CONSIST OF PERMANENT GRASS, SEED MIXTURE TO BE AS RECOMMENDED BY THE COUNTY AGENT, ALL SLOPES 3:1 AND GREATER SHALL BE SODDED AND PEGGED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE CITY OF ALEXANDRIA.
8. EXISTING WELLS SHALL BE PERMANENTLY ABANDONED IN ACCORDANCE WITH VIRGINIA STATE WATER CONTROL BOARD REQUIREMENTS.
9. EXISTING SEPTIC FIELDS SHALL BE ABANDONED IN ACCORDANCE WITH VIRGINIA HEALTH DEPARTMENT STANDARDS AND SPECIFICATIONS.
10. ALL OVER HEAD POLE LINES SHALL BE RELOCATED AS REQUIRED BY THE OWNING UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL ARRANGEMENTS AND COORDINATING ALL WORK REQUIRED FOR THE NECESSARY RELOCATIONS.
11. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL VERIFY FROM THE ARCHITECTURAL DRAWINGS ALL DIMENSION, DETAILS, AND TREATMENTS FOR THE PROPOSED BUILDINGS, WALKWAYS, AND OTHER PROPOSED CONSTRUCTION WHERE INDICATED ON THE PLANS.
12. THE CONTRACTOR IS TO VERIFY INVERT, SIZE AND LOCATION OF BUILDING UTILITY CONNECTIONS WITH THE MECHANICAL PLANS PRIOR TO PLACEMENT OF UNDERGROUND UTILITIES.
13. EXISTING BUILDINGS, FENCES AND OTHER EXISTING PHYSICAL FEATURES ARE TO BE REMOVED AS REQUIRED BY THE CONTRACTOR.
14. EXISTING UNDERGROUND UTILITY CONSTRUCTION SHALL BE REMOVED TO NEAREST JOINT. NEW UNDERGROUND CONSTRUCTION SHALL BE PROVIDED AS SHOWN AND ANY DAMAGED AREAS SHALL BE REPAIRED TO MATCH CONDITIONS EXISTING PRIOR TO CONSTRUCTION OR TO THE SATISFACTION OF DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES.
15. DAMAGE TO ANY EXISTING ENTRANCES, CURB AND GUTTER, PAVEMENT OR OTHER EXISTING STRUCTURES NOT PROPOSED TO BE DISTURBED WITH THIS DEVELOPMENT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE REPAIRED TO THE SATISFACTION OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION AND ANY ADJOINING OWNERS THAT MAY BE AFFECTED.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING A SMOOTH TRANSITION TO EXISTING CURB.
17. ALL PRIVATE BUILDING CONNECTIONS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
18. TOPS OF EXISTING STRUCTURES WHICH REMAIN IN USE ARE TO BE ADJUSTED IN ACCORDANCE WITH THE GRADING PLAN. ALL PROPOSED STRUCTURE TOP ELEVATIONS ARE TO BE VERIFIED BY THE CONTRACTOR WITH THE SITE GRADING PLANS. IN CASE OF CONFLICT, THE GRADING PLAN SHALL SUPERSEDE PROFILE ELEVATIONS. MINOR ADJUSTMENTS TO MEET FINISHED GRADE ELEVATIONS MAY BE REQUIRED.
19. THE DESIGN, CONSTRUCTION, FIELD PRACTICES AND METHODS SHALL CONFORM TO THE REQUIREMENTS SET FORTH BY THE CITY OF ALEXANDRIA AND ITS CURRENT ZONING ORDINANCE AND CONSTRUCTION STANDARDS MANUAL. FAILURE TO COMPLY WITH THE CODE, APPLICABLE MANUALS, PROVISIONS OF THE CONSTRUCTION AND ESROW AGREEMENTS OR THE PERMITS SHALL BE DEEMED A VIOLATION.
20. THE APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE OWNER/DEVELOPER OR HIS AGENT OF ANY LEGAL RESPONSIBILITIES WHICH MAY BE REQUIRED BY THE CODE OF VIRGINIA OR ANY ORDINANCE ENACTED BY THE CITY OF ALEXANDRIA.
21. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE SURE THAT ANY EXISTING LANDSCAPING WHICH IS TO BE RELOCATED ON THE SITE WILL BE CAREFULLY STORED IN A DESIGNATED AREA BEFORE BEING REPLANTED. COORDINATION WITH THE OWNER FOR MUTUALLY AGREEABLE STORAGE LOCATIONS FOR LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF PLANT MATERIAL THAT DOES NOT SURVIVE STORAGE AND REPLANTING.

22. CONSTRUCTION STAKEOUT SHALL BE UNDER THE DIRECT SUPERVISION OF A LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA.
23. NO EVIDENCE OF GRAVES OR BURIAL SITES HAS BEEN FOUND ON THIS PROPERTY.
24. THERE ARE NO MAPPED RESOURCE PROTECTION AREAS ON THIS PROPERTY.
25. ALL ON-SITE RETAINING WALLS ARE SUBJECT TO SEPARATE PERMITS TO BE OBTAINED BY THE OWNERS. THIS PLAN IS FOR LOCATION AND PROPOSED GRADING ONLY. GEOTECHNICAL AND STRUCTURAL DESIGN IS TO BE ACCOMPLISHED BY OTHERS.
26. THE CONTRACTOR IS REFERRED TO STRUCTURAL, GEOTECHNICAL, MECHANICAL AND ARCHITECTURAL PLANS FOR FOUNDATION TREATMENT INCLUDING, BUT NOT LIMITED TO, SHEETING AND SHORING FOR BUILDING EXCAVATION, WATERPROOFING FOR FILL AGAINST BUILDINGS AND LOCATION OF MECHANICAL EQUIPMENT AND CONNECTIONS AT THE FACES OF BUILDINGS.
27. SMOOTH GRADE SHALL BE MAINTAINED FROM THE CENTERLINE OF EXISTING ROAD TO THE PROPOSED ENTRANCE AND/OR CURB & GUTTER TO PRECLUDE THE FORMING OF FALSE GUTTER AND/OR THE PONDING OF WATER ON THE ROADWAY.
28. EMERGENCY VEHICLE EASEMENTS AND HANDICAPPED PARKING SPACES TO BE MARKED BY CITY OF ALEXANDRIA STANDARD SIGNAGE AND ADA REQUIREMENTS.
29. ALL STRIPING TO MEET MUTCD STANDARDS (LATEST EDITION) AND SHALL BE THERMOPLASTIC UNLESS OTHERWISE SPECIFIED.
30. ALL EROSION CONTROLS SHALL CONFORM TO THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (THIRD ADDITION 1992) AND MUST BE SUBMITTED AND APPROVED BY T&ES.
31. ALL EMERGENCY VEHICLE EASEMENTS MUST BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH CITY STANDARDS (CSAP-1A).
32. ALL EARTHWORK, CONCRETE AND ASPHALT OPERATIONS ARE TO BE PERFORMED UNDER THE FULL TIME, ON-SITE SUPERVISION OF A REGISTERED GEOTECHNICAL ENGINEER WITH GEOTECHNICAL TESTING IN ACCORDANCE WITH CONSTRUCTION SPECIFICATIONS AND SOILS REPORT REQUIREMENTS.
33. SOLID WASTE SHALL BE DELIVERED TO ENERGY FACILITY.
34. NEW CONSTRUCTION MUST COMPLY WITH THE CURRENT EDITION OF THE UNIFORM STATEWIDE BUILDING CODE (USBC).
35. ALL UTILITIES SERVING THIS SITE ARE TO BE UNDERGROUND.
36. CONTRACTORS SHALL NOT CAUSE OR PERMIT VEHICLES TO IDLE ON THE SITE FOR MORE THAN 10 MINUTES WHEN PARKED.
37. CUT SHEETS MUST BE SUBMITTED AND APPROVED BY THE C&I SITE INSPECTOR PRIOR TO THE START OF WORK.
38. SEPARATE PLUMBING PERMITS MUST BE OBTAINED FROM CODE ADMINISTRATION FOR INSTALLATION OF SANITARY LATERALS.
39. VIDEO TAPES OF SANITARY STORM LINES MUST BE SUBMITTED TO C&I FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF THE FIRST CO.
40. ALL ABOVE GROUND UTILITIES SERVING THE SITE SHALL BE RELOCATED AS REQUIRED BY THE OWNING UTILITY COMPANY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL ARRANGEMENTS AND COORDINATING ALL WORK REQUIRED FOR THE NECESSARY RELOCATIONS.
41. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING A SMOOTH TRANSITION TO EXISTING CURB AND SIDEWALKS, IF APPLICABLE.
42. THE CALIFORNIA BEARING RATIO (CBR) VALUES OF IN-SITU MATERIALS SHALL BE DETERMINED BY FIELD AND/OR LABORATORY TESTS FOR ACTUAL DETERMINATION OF REQUIRED THICKNESSES OF SURFACE, BASE, SUB-BASE, AND SUB GRADE MATERIALS. THE PAVEMENT SECTION SHALL BE DESIGNED BY A GEOTECHNICAL /LICENSED PROFESSIONAL ENGINEER TO THE SATISFACTION OF DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES FOR ALL PAVEMENTS INCLUDING EMERGENCY VEHICLE EASEMENT (EVE) TO SUPPORT H-20 LOADING. IN THE CASE OF PAVEMENT PATCHES, PAVEMENT SECTION MUST MEET OR EXCEED EXISTING SECTION.
43. THE THICKNESSES OF SUB-BASE, BASE, AND WEARING COURSE SHALL BE DESIGNED USING "CALIFORNIA METHOD" AS SET FORTH ON PAGE 3-76 OF THE SECOND EDITION OF A BOOK ENTITLED, "DATA BOOK FOR CIVIL ENGINEERS, VOLUME ONE, DESIGN" WRITTEN BY ELWYN E. SEELYE. AN ALTERNATE PAVEMENT SECTION DESIGNED TO THE SATISFACTION OF DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES FOR ALL PAVEMENTS INCLUDING EMERGENCY VEHICLE EASEMENT (EVE) TO SUPPORT H-20 LOADING BASED ON CBR AND VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) METHOD (VASWANI METHOD) AND STANDARD MATERIAL SPECIFICATIONS SHALL BE ACCEPTABLE.
44. EMERGENCY VEHICLE EASEMENTS (EVE) AND AMERICAN WITH DISABILITY (ADA) ACCESSIBLE PARKING SPACES MUST BE DELINEATED WITH PAVEMENT MARKINGS PER THE CITY OF ALEXANDRIA STANDARD SIGNAGE AND AMERICAN WITH DISABILITIES (ADA) REQUIREMENTS.
45. UNLESS OTHERWISE APPROVED THE CONTRACTOR SHALL PROVIDE THERMOPLASTIC LADDER STYLE / STANDARD PEDESTRIAN CROSS WALKS AT ALL CROSSINGS AT THE PROPOSED DEVELOPMENT, WHICH MUST BE DESIGNED TO THE SATISFACTION OF THE DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES. THE DESIGN OF LADDER STYLE OR STANDARD PEDESTRIAN CROSS WALK SHALL BE EVALUATED ON A CASE BY CASE BASIS AND SHALL COMPLY WITH THE REQUIREMENTS OF POLICY MANUAL SECTION 30.18, PEDESTRIAN CROSSWALKS, JON 13, 2006. A COPY OF THE POLICY MANUAL CAN BE OBTAINED FROM YULY LAMBERT, BICYCLE AND PEDESTRIAN COORDINATOR / TRANSPORTATION PLANNER, TELEPHONE (703) 746-4081

THE DEVELOPER AND CONTRACTORS ARE TO KEEP DENUDED AREAS TO A MINIMUM. AN EROSION AND SEDIMENT CONTROL PLAN IS INCLUDED WITH THESE FINAL PLANS FOR APPROVAL BY T&ES FOR REFERENCE BY THE EROSION AND SEDIMENT CONTROL PERMIT. ALL EROSION / SEDIMENT CONTROL MEASURES WILL CONFORM TO THE CURRENT STANDARDS OF THE CITY OF ALEXANDRIA AND THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.

UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATIONS §4VAC50-30 EROSION AND SEDIMENT CONTROL REGULATIONS.

T&ES MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENTS OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION. CERTIFIED RESPONSIBLE LAND DISTURBER IS REQUIRED TO ATTEND PRE-CONSTRUCTION MEETING.

ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING. AN INSPECTION BY THE CITY OF ALEXANDRIA IS REQUIRED AFTER INITIAL INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND BEFORE ANY CLEARING OR GRADING CAN BEGIN.

A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.

PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE CITY OF ALEXANDRIA.

ALL DISTURBED AREAS OF THE SITE THAT ARE NOT TO BE WORKED FOR SEVEN OR MORE CALENDAR DAYS MUST BE STABILIZED.

ALL TEMPORARY EARTH BERMS, DIVERSIONS AND SEDIMENT CONTROL DAMS SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED AS SOON AS POSSIBLE BUT NO LATER THAN 48 HOURS AFTER GRADING.

ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.

DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED THROUGH AN APPROVED FILTERING DEVICE.

THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES DAILY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.

PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL NOT BE WORKED FOR SEVEN OR MORE CALENDAR DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.

ANY STOCKPILED MATERIAL WHICH WILL REMAIN IN PLACE LONGER THAN 10 DAYS IS TO BE SEEDED FOR TEMPORARY VEGETATION AND MULCHED WITH STRAW MULCH OR OTHERWISE STABILIZED. ALL APPLICABLE EROSION AND SEDIMENT CONTROL MEASURES MUST BE EMPLOYED FOR STOCKPILE AREAS.

ANY DENUDED SLOPES, EITHER DISTURBED OR CREATED BY THIS PLAN THAT EXCEED 25% ARE TO BE SODDED AND PEGGED FOR STABILITY AND EROSION CONTROL.

TO THE EXTENT POSSIBLE ALL TREE PROTECTION SHALL BE INSTALLED AT THE DRIP LINE OF THE TREE(S).

AT THE COMPLETION OF THE PROJECT AND PRIOR TO THE RELEASE OF THE BOND ALL DISTURBED AREAS SHALL BE STABILIZED AND ALL TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE REMOVED.

CONCERNING UTILITY WORKS

NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.

ALL EXCAVATED MATERIAL TO BE REPLACED INTO THE TRENCH SHALL BE STOCKPILED ON THE HIGH SIDE OF THE TRENCH. IF ANY TRENCH WORK WILL REMAIN OPEN AFTER THE END OF THE WORKDAY ALL NEEDED EROSION AND SEDIMENT CONTROLS SHALL BE EMPLOYED. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.

THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION AND AS DETERMINED BY THE CITY OF ALEXANDRIA.

STORMWATER MANAGEMENT NOTES

THE STORMWATER BEST MANAGEMENT PRACTICES (BMPs) REQUIRED FOR THIS PROJECT SHALL BE CONSTRUCTED AND INSTALLED UNDER THE DIRECT SUPERVISION OF THE DESIGN ENGINEER OR HIS DESIGNATED REPRESENTATIVE. THE DESIGN ENGINEER SHALL MAKE A WRITTEN CERTIFICATION TO THE CITY THAT THE BMP(S) ARE CONSTRUCTED AND INSTALLED AS DESIGNED AND IN ACCORDANCE WITH THE APPROVED FINAL SITE PLAN. IN ADDITION, AGGREGATE LAYERS AND COLLECTOR PIPES MAY NOT BE INSTALLED UNLESS THE DESIGN ENGINEER OR HIS REPRESENTATIVE IS PRESENT.

BMPs ARE PROVIDED UNDER POTOMAC AVENUE SITE PLAN.

THE DEVELOPER SHALL FURNISH THE OWNERS WITH AN OPERATION AND MAINTENANCE MANUAL FOR ALL BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT. THE MANUAL SHALL INCLUDE AN EXPLANATION OF THE FUNCTIONS AND OPERATIONS OF EACH BMP AND ANY SUPPORTING UTILITIES, CATALOG CUTS ON ANY MECHANICAL OR ELECTRICAL EQUIPMENT, A SCHEDULE OF ROUTINE MAINTENANCE FOR THE BMP(S) AND SUPPORTING EQUIPMENT, AND A COPY OF THE MAINTENANCE AGREEMENT WITH THE CITY.

BENCHMARK INFORMATION

BENCHMARK #1
EX 1086 STORM SEWER MANHOLE TOP = 18.16' (SHEET C5.00)

BENCHMARK #2
EX 10 STORM SEWER MANHOLE TOP = 28.69' (SHEET C5.00)

GEOTECHNICAL REPORT NOTE

CONTRACTOR IS ADVISED TO REVIEW SEPARATELY PREPARED GEOTECHNICAL REPORT FOR DESCRIPTION OF SOILS, SUBSURFACE CONDITIONS AND FOUNDATION CRITERIA. THIS GEOTECHNICAL REPORT, PREPARED BY OTHERS, HAS BEEN SEPARATELY SUBMITTED TO THE CITY OF ALEXANDRIA FOR REVIEW.

PLAN SOURCE DATES

1. ARCHITECTURAL DRAWINGS RECEIVED FROM HORD, COPLAN, MACHT ON 11/08/18

THE REDEVELOPMENT AREA LOCATED WITHIN THE EXISTING RPA ZONE ALONG EISENHOWER AVENUE WAS PART OF PHASE 1 OF THIS PROJECT, AND CONSISTED OF ONLY WORK WITHIN THE RIGHT-OF-WAY, AS SHOWN IN APPROVED DSUP 2015-00001.

THE APPLICANT VERIFIES THE FOLLOWING ABOUT THE SITE AT THE ABOVE LOCATION FOR A REDEVELOPMENT, IN LINE WITH CODE OF ALEXANDRIA CODE FOR ENVIRONMENTAL MANAGEMENT, ARTICLE XIII:

- THERE IS NO INCREASE IN IMPERVIOUS SURFACE COVER OF THE RPA.
- THERE IS NO FURTHER ENCROACHMENT WITHIN THE RPA.
- THE PROPOSED REDEVELOPMENT IS CONSISTENT WITH THE CITY MASTER PLAN.

THE SITE LIES IN A NOTED FLOODPLAIN WITH AN ELEVATION OF 25 FT. BCG HAS MODELED THE NEW FLOODPLAIN ON THE SITE AND IT WILL NOT IMPACT RESIDENTIAL HOUSING OR SURROUNDING PROPERTIES. SEE CITY APPROVAL LETTER ON C21.00.

ALL EMERGENCY VEHICLE EASEMENTS ARE SHOWN ON THE PLAN AND SHALL BE RECORDED WITH ALEXANDRIA LAND RECORDS.

THERE ARE NO OBSERVABLE, HISTORICAL OR ARCHAEOLOGICAL EVIDENCE OF CEMETERIES OR BURIAL GROUNDS ON THIS PROPERTY.

1. THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, DIVISION OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASE TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY REGULATIONS.
2. ALL WELLS TO BE DEMOLISHED ON THIS PROJECT, INCLUDING MONITORING WELLS, MUST BE CLOSED IN ACCORDANCE WITH STATE WELL REGULATION. CONTACT JOE FIANDER AND COORDINATE WITH THE ALEXANDRIA HEALTH DEPARTMENT AT 703-746-4996 EXT. 255.
3. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE 11, CHAPTER 5, WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:
MONDAY THROUGH FRIDAY FROM 7AM TO 6PM AND
SATURDAYS FROM 9AM TO 6PM
NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS.
PILE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING HOURS:
MONDAY THROUGH FRIDAY FROM 9AM TO 6PM
AND SATURDAYS FROM 10AM TO 4PM

PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT OR LAND DISTURBANCE PERMIT, A RODENT ABATEMENT PLAN SHALL BE SUBMITTED TO THE CITY OF ALEXANDRIA BUILDING AND FIRE CODE ADMINISTRATION THAT WILL OUTLINE STEPS THAT WILL BE TAKEN TO PREVENT THE SPREAD OF RODENTS FROM THE CONSTRUCTION SITE TO THE SURROUNDING COMMUNITY AND SEWERS. THE CONTRACTOR CAN CONTACT ALEXANDRIA BUILDING AND FIRE CODE ADMINISTRATION DEPARTMENT AT (703) 746-4200 FOR ANY QUESTIONS OR ADDITIONAL INFORMATION.

1. SINCE STORM WATER MANAGEMENT (SWM) AND BEST MANAGEMENT PRACTICE (BMP) SYSTEMS THAT HOLD WATER FOR MORE THEN 5 DAYS BETWEEN THE MONTHS OF MAY --- OCTOBER HAVE THE POTENTIAL TO CAUSE MOSQUITO BREEDING HABITATS; THEREFORE, SUCH BMPs SHALL BE TREATED WITH A REGISTERED MOSQUITO LARVAL CONTROL PRODUCT. ALL LABELS SHOULD BE FOLLOWED FOR APPLICATION RATES AND AMOUNTS.
2. SINCE EXCESSIVE VEGETATION IN EXISTING BMPs ALSO INCREASES THE POTENTIAL FOR MOSQUITO PROBLEMS; THEREFORE, VEGETATION SHALL BE CONTROLLED AND CUT TO REDUCE MOSQUITO BREEDING
3. CONTACT THE CITY OF ALEXANDRIA ENVIRONMENTAL HEALTH VECTOR BORNE ILLNESS PROGRAM (703-746-4910) FOR QUESTIONS OR TREATMENT ASSISTANCE.

PER CONDITION 32 THROUGH 34 OF THIS DEVELOPMENT, 8 AFFORDABLE HOUSING UNITS ARE BEING PROPOSED.

THE SITE CONTAINS A WETLAND AREA THAT IS SHOWN IN THE SOUTHWEST PORTION OF THE SITE. THIS WETLAND IS NOTED WITH A 50 FT BUFFER AND INCLUDES ROADWAY IMPROVEMENTS ALONG EISENHOWER AVE. THE ROADWAY IMPROVEMENTS INCLUDE REPLACING A 4 FT EXISTING SIDEWALK WITH A 6 FT SIDEWALK. ADDITIONAL STREET TREES SHALL BE PLANTED WITHIN A LANDSCAPE STRIP ALONG THE ROADWAY. IT IS OUR OPINION THAT THE IMPROVEMENTS WITHIN THE BUFFER ZONE ARE CONSISTENT WITH THE CITY STANDARDS AND WILL NOT ADVERSELY IMPACT THE WETLAND AREA. SEE LETTER FOR ADDITIONAL DETAILS C21.00.

SOIL SAMPLES WERE FOUND TO CONTAIN RELATIVELY LOW CONCENTRATIONS OF TOTAL PETROLEUM HYDROCARBONS DIESEL-RANGE ORGANICS (TPH DR), 4.9 MILLIGRAM PER KILOGRAM (MG/KG) TO 57 MG/KG, AT VARIOUS LOCATIONS ACROSS THE PROPERTY. SEVERAL SOIL SAMPLES WERE ALSO FOUND TO CONTAIN POLY-CYCLIC AROMATIC HYDROCARBONS (PAHs) AT CONCENTRATIONS IN EXCESS OF THE VIRGINIA VOLUNTARY REMEDIATION PROGRAM (VRP) TIER II SCREENING LEVELS FOR UNRESTRICTED RESIDENTIAL SITES. SPECIFICALLY, PAHs DETECTED IN EXCESSANCE OF THE SCREENING CONCENTRATIONS WERE BENZO(A)PYRENE, BENZO(B)FLUORANTHENE, AND DIBENZ(A,H)ANTHRACENE. WITH ONE EXCEPTION, THE TPH DR AND PAH IMPACTED SOILS APPEARED LIMITED TO THE TOP TEN FEET BELOW SURFACE. NO GASOLINE-RANGE ORGANICS (TPH RG) OR SIGNIFICANT VOLATILE ORGANIC COMPOUND (VOCs) WERE DETECTED IN SOIL SAMPLES ANALYZED.

ARSENIC AND CHROMIUM WERE ALSO DETECTED AT CONCENTRATIONS ABOVE THEIR RESPECTIVE SCREENING LEVELS. HOWEVER, ONLY TOTAL CHROMIUM WAS TESTED RATHER THAN SPECIATED CHROMIUM III VS. CHROMIUM VI. BASED ON STUDIES PUBLISHED BY THE USGS, ALL DETECTED ARSENIC AND CHROMIUM CONCENTRATIONS IN SOILS WERE WITHIN EXPECTED BACKGROUND CONCENTRATIONS FOR THIS GEOLOGIC AREA.

GROUNDWATER SAMPLES EXHIBIT SIGNIFICANT PETROLEUM CONCENTRATIONS, WITH TPH DRO DETECTED IN ALL SIX OF THE GROUNDWATER SAMPLES COLLECTED AT CONCENTRATIONS RANGING FROM 3.6 MILLIGRAMS PER LITER (MG/L) TO 76.0 MG/L. THE DETECTED TPH DRO CONCENTRATIONS IN GROUNDWATER WERE CONSIDERED UNUSUALLY HIGH GIVEN THE RELATIVELY LOW TPH DRO CONCENTRATIONS IN SOIL. TRACE TPH GRO (0.020 TO 0.021 MG/L) WAS DETECTED IN TWO OF THE GROUNDWATER SAMPLES. LOW CONCENTRATIONS TO ACETONE AND TETRACHLOROETHENE (PCE) WERE ALSO DETECTED IN SOME GROUNDWATER SAMPLES AT CONCENTRATIONS BELOW THEIR RESPECTIVE VRP RESIDENTIAL CONCENTRATIONS.

[illegible]

CDD2015-0006, DSUP2015-00001, TMP SUP 2015-00100 2901 Eisenhower		CDD2015-0006, DSUP2015-00001, TMP SUP 2015-00100 2901 Eisenhower		CDD2015-0006, DSUP2015-00001, TMP SUP 2015-00100 2901 Eisenhower		CDD2015-0006, DSUP2015-00001, TMP SUP 2015-00100 2901 Eisenhower	
recorded with the Land Records Division of Alexandria Circuit Court prior to approval of the final site plan.* (T&ES)		vehicles appropriate for handling specific materials and ensuring vehicle loads are covered).		concert with demolition and construction activities, which must be demonstrated to the satisfaction of the City Archaeologist. (Archaeology)		130. Present a disclosure statement to potential buyers disclosing the following to the satisfaction of the Director of P&Z and the City Attorney: a. That the internal streets are private streets with public access easements and shall not be maintained by the City of Alexandria; and that the sanitary and storm sewers located within the site are private and shall be maintained privately. b. That heavy industrial uses, the City Waste-To-Energy Plant, the Police Firing Range, Metrorail tracks and other railway operations are located within the vicinity of the project, are permitted to continue indefinitely, and will generate truck traffic, including empty garbage trucks emanating odors, on the public streets surrounding the project. c. That Eisenhower Avenue is a major arterial and that future traffic is expected to increase significantly as development along Eisenhower Avenue continues. (P&Z)(T&ES)	
102. The Applicant shall be responsible for maintaining stormwater Best Management Practices (BMPs) until activation of the homeowner's association (HOA) and/or master association for the mix of uses and owners, and the Stormwater Management Master Plan (SWMMP) approach for the phased development. Prior to transferring maintenance responsibility for the BMPs to the HOA or master association, the Applicant shall execute a maintenance service contract with a qualified private contractor for a minimum of three years, and transfer the contract to the HOA or master association. A copy of the contract shall also be placed in the BMP Operation and Maintenance Manual. Prior to release of the performance bond, a copy of the maintenance contract shall be submitted to the City. ****(T&ES)		d. Submit a Health and Safety Plan indicating measures to be taken during remediation and/or construction activities to minimize the potential risks to workers, the neighborhood, and the environment. Initial Air Monitoring may be required during site activities to demonstrate acceptable levels of volatiles and/or airborne particles. The determination whether air monitoring is needed must be adequately addressed in the Health and Safety Plan submitted for review. e. The applicant shall screen for PCBs as part of the site characterization if any of the past uses are within the identified high risk category sites for potential sources of residual PCBs, which includes the following SICs: 26&27 (Paper and Allied Products), 30 (Rubber and Misc. Plastics), 33 (Primary Metal Industries), 34 (Fabricated Metal Products), 37 (Transportation Equipment), 49 (Electrical, Gas, and Sanitary Services), 5093 (Scrap Metal Recycling), and 1221&1222 (Bituminous Coal). f. Applicant shall submit three (3) electronic and two (2) hard copies of the above. The remediation plan must be included in the Final Site Plan. * (T&ES)		121. The Final Site Plan, Grading Plan, or any other permits involving ground disturbing activities (such as coring, grading, filling, vegetation removal, undergrounding utilities, pile driving, landscaping and other excavations as defined in Section 2-151 of the Zoning Ordinance) shall not be released until the City archaeologist confirms that all archaeological field work has been completed or that an approved Resource Management Plan is in place to recover significant resources in concert with construction activities. * (Archaeology) 122. Call Alexandria Archaeology (703/746-4399) two weeks before the starting date of any ground disturbance so that an inspection or monitoring schedule for city archaeologists can be arranged. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology) 123. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology) 124. The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology) 125. The final certificate of occupancy shall not be issued for this property until interpretive elements have been constructed, interpretive markers have been erected, and the final archaeological report has been received and approved by the City Archaeologist.*** (Archaeology) 126. The statements in archaeology conditions above marked with an asterisk "*" appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheet piling and Shoring) so that on-site contractors are aware of the requirements a. The applicant/developer shall call Alexandria Archaeology immediately (703/746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.		121. The Final Site Plan, Grading Plan, or any other permits involving ground disturbing activities (such as coring, grading, filling, vegetation removal, undergrounding utilities, pile driving, landscaping and other excavations as defined in Section 2-151 of the Zoning Ordinance) shall not be released until the City archaeologist confirms that all archaeological field work has been completed or that an approved Resource Management Plan is in place to recover significant resources in concert with construction activities. * (Archaeology) 122. Call Alexandria Archaeology (703/746-4399) two weeks before the starting date of any ground disturbance so that an inspection or monitoring schedule for city archaeologists can be arranged. 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Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.	
103. If units will be sold as individual units and a homeowner's association (HOA) established the following two conditions shall apply: a. The Applicant shall furnish the Homeowner's Association with an Owner's Operation and Maintenance Manual for all Best Management Practices (BMPs) used on site. The manual shall include at a minimum: an explanation of the functions and operations of the BMP(s); drawings and diagrams of the BMP(s) and any supporting utilities; catalog cuts on maintenance requirements including any mechanical or electrical equipment; manufacturer contact names and phone numbers; a copy of the executed maintenance service contract; and a copy of the maintenance agreement with the City. b. The Developer shall furnish each home purchaser with a brochure describing the stormwater BMP(s) installed on the site, outlining the responsibilities of the homeowners and the Homeowners Association (HOA) with respect to maintenance requirements. Upon activation of the HOA, the Developer shall furnish five copies of the brochure per unit to the HOA for distribution to subsequent homeowners.		110. Should any unanticipated contamination, underground storage tanks, drums or containers be encountered at the site during construction, the Applicant must immediately notify the City of Alexandria Department of Transportation and Environmental Services, Office of Environmental Quality. Should unanticipated conditions warrant, construction within the impacted area shall be stopped until the appropriate environmental reports identified in a. through f. above are submitted and approved at the discretion of the Director of Transportation and Environmental Services. This shall be included as a note on the final site plan. (T&ES) 111. If warranted by a Site Characterization report, design and install a vapor barrier and ventilation system for buildings and parking areas in order to prevent the migration or accumulation of methane or other gases, or conduct a study and provide a report signed by a professional engineer showing that such measures are not required to the satisfaction of Directors of T&ES and Code Administration. [The installed vapor barrier and ventilation system must include a passive ventilation system that can be converted to an active ventilation system if warranted. (Include if applicable.)(T&ES)		127. The final certificate of occupancy shall not be issued for this property until interpretive elements have been constructed, interpretive markers have been erected, and the final archaeological report has been received and approved by the City Archaeologist.*** (Archaeology) 128. The statements in archaeology conditions above marked with an asterisk "*" appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheet piling and Shoring) so that on-site contractors are aware of the requirements a. The applicant/developer shall call Alexandria Archaeology immediately (703/746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.		130. Present a disclosure statement to potential buyers disclosing the following to the satisfaction of the Director of P&Z and the City Attorney: a. That the internal streets are private streets with public access easements and shall not be maintained by the City of Alexandria; and that the sanitary and storm sewers located within the site are private and shall be maintained privately. b. That heavy industrial uses, the City Waste-To-Energy Plant, the Police Firing Range, Metrorail tracks and other railway operations are located within the vicinity of the project, are permitted to continue indefinitely, and will generate truck traffic, including empty garbage trucks emanating odors, on the public streets surrounding the project. c. That Eisenhower Avenue is a major arterial and that future traffic is expected to increase significantly as development along Eisenhower Avenue continues. (P&Z)(T&ES)	
104. The Developer shall furnish the owners with an Owner's Operation and Maintenance Manual for all Best Management Practices (BMPs) on the project. The manual shall include at a minimum: an explanation of the functions and operations of the BMP(s); drawings and diagrams of the BMP(s) and any supporting utilities; catalog cuts on maintenance requirements including mechanical or electrical equipment; manufacturer contact names and phone numbers; a copy of the executed maintenance service contract; and a copy of the maintenance agreement with the City. (T&ES)		112. Prepare a noise study identifying the levels of noise residents of the project will be exposed to at the present time, and 10 years into the future in a manner consistent with the Noise Guidance Book used by the Department of Housing and Urban Development (HUD). In addition, include analysis of the levels of noise residents of the project will be exposed to due to loading and unloading activities,		127. The final certificate of occupancy shall not be issued for this property until interpretive elements have been constructed, interpretive markers have been erected, and the final archaeological report has been received and approved by the City Archaeologist.*** (Archaeology) 128. The statements in archaeology conditions above marked with an asterisk "*" appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheet piling and Shoring) so that on-site contractors are aware of the requirements a. The applicant/developer shall call Alexandria Archaeology immediately (703/746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.		130. Present a disclosure statement to potential buyers disclosing the following to the satisfaction of the Director of P&Z and the City Attorney: a. That the internal streets are private streets with public access easements and shall not be maintained by the City of Alexandria; and that the sanitary and storm sewers located within the site are private and shall be maintained privately. b. That heavy industrial uses, the City Waste-To-Energy Plant, the Police Firing Range, Metrorail tracks and other railway operations are located within the vicinity of the project, are permitted to continue indefinitely, and will generate truck traffic, including empty garbage trucks emanating odors, on the public streets surrounding the project. c. That Eisenhower Avenue is a major arterial and that future traffic is expected to increase significantly as development along Eisenhower Avenue continues. (P&Z)(T&ES)	
105. NON_RESIDENTIAL – RETAIL/OFFICE CONDITION: The Applicant/Owner shall be responsible for installing and maintaining stormwater Best Management Practices (BMPs). The Applicant/Owner shall execute a maintenance service contract with a qualified private contractor for a minimum of three years and the maintenance agreement with the City. (T&ES)		113. The noise study and noise commitment letter shall be submitted and approved prior to final site plan approval.* (T&ES) 114. All exterior building-mounted loudspeakers shall be prohibited and no amplified sound shall be audible at the property line. (T&ES) 115. Supply deliveries, loading, and unloading activities shall not occur between the hours of 11:00pm and 7:00am. (T&ES)		127. The final certificate of occupancy shall not be issued for this property until interpretive elements have been constructed, interpretive markers have been erected, and the final archaeological report has been received and approved by the City Archaeologist.*** (Archaeology) 128. The statements in archaeology conditions above marked with an asterisk "*" appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheet piling and Shoring) so that on-site contractors are aware of the requirements a. The applicant/developer shall call Alexandria Archaeology immediately (703/746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.)			

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2901 Eisenhower

F - 4. Clarify whether the streetlights shown on the drawings are existing or proposed. If proposed, change the symbology to reflect what is shown in the legend. If proposed, relocate the street light shown in the middle of the curb ramp that connects the sidewalk adjacent to building 8 to the open space. (Shown on various sheets, most visible on C5.10) (T&ES)

F - 5. On the final site plan, for both multifamily buildings indicate the class of bicycle parking on the site plan and in the bicycle parking tabulations. For more information, please see <http://alexandriava.gov/BicycleParking>. (T&ES)

F - 6. Per the City of Alexandria's "Rules and Regulations Establishing the Dimensional and Equipment Standards for Bicycle Parking Areas," an additional two (2) bicycle parking spaces are required for the retail tenants. The aforementioned regulations state, "the retail requirement is two (2) Class 2 or Class 3 spaces for every 10,000 SF, or portion thereof, of the first 50,000 square feet of retail floor area. Staff recommends adding these spaces to the rack location shown with four bicycle rack spaces on C5.20. Include the additional two spaces in the bicycle parking tabulation. For more information, please see <http://alexandriava.gov/BicycleParking>. (T&ES)

F - 7. Per the City of Alexandria's "Rules and Regulations Establishing the Dimensional and Equipment Standards for Bicycle Parking Areas," Details of proposed Class 1 and Class 2 bicycle facilities shall be provided with the first final site plan submission. This shall include dimensions of bicycle parking spaces/facilities. For more information, please see <http://alexandriava.gov/BicycleParking>. (T&ES)

F - 8. Show and provide a crosswalk traversing the Private Road (parallel to Eisenhower Avenue) at the intersection of Eisenhower Avenue and the Private Road. (T&ES)

F - 9. Show and provide crosswalks connecting between opposite curb ramps on all locations within the interior of the site. Ensure these are shown on the civil, architectural, and landscape drawings. Ensure that curb ramps are designed to be compliant to VDOT standards. (T&ES)

F - 10. WMATA continues to have concerns about sound issues resulting from a residential community adjacent to the Alexandria railroad, as they expressed at the meeting a while back. WMATA staff notes the efforts by the developer however, particularly the addition of the sound wall. (T&ES)

F - 11. Call out and show dimensions of the ADA passenger loading pad for the relocated bus stop on the site plan. (T&ES)

F - 12. Applicant shall coordinate the relocation and re-installation of the DASH bus stop pole and flag with DASH staff (Brian Robey) – 703.746.3274. (T&ES)

F - 13. Since the record drawings, maps, and other documents of the City of Alexandria, State, and Federal agencies show the true north pointing upwards, therefore, the Site Plan shall

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show the true north arrow pointing upward as is customary; however, for the sake of putting the plan together and/or ease of understanding, the project north arrow pointing upward, preferably east, or west may be shown provided it is consistently shown in the same direction on all the sheets with no exception at all. The north arrow shall show the source of meridian. The project north arrow pointing downward will not be acceptable even if, it is shown consistently on all the sheets. (T&ES)

F - 14. The Final Site Plan must be prepared per the requirements of Memorandum to Industry 02-09 dated December 3, 2009, Design Guidelines for Site Plan Preparation, which is available at the City's following web address:

<http://alexandriava.gov/uploadedFiles/tes/info/Memo%20to%20Industry%20No.%2002-09%20December%203,%20202009.pdf>

F - 15. The plan shall show sanitary and storm sewer, and water line in plan and profile in the first final submission and cross reference the sheets on which the plan and profile is shown, if plan and profile is not shown on the same sheet. Clearly label the sanitary and storm sewer, or water line plans and profiles. Provide existing and proposed grade elevations along with the rim and invert elevations of all the existing and proposed sanitary and storm sewer at manholes, and water line piping at gate wells on the respective profiles. Use distinctive stationing for various sanitary and storm sewers (if applicable or required by the plan), and water line in plan and use the corresponding stationing in respective profiles. (T&ES)

F - 16. The Plan shall include a dimension plan with all proposed features fully dimensioned and the property line clearly shown. (T&ES)

F - 17. Include all symbols, abbreviations, and line types in the legend. (T&ES)

F - 18. Asphalt patches larger than 20% of the total asphalt surface, measured along the length of the road adjacent to the property frontage and/or extending to the centerline of the street, will require full curb to curb restoration (T&ES)

F - 19. All storm sewers shall be constructed to the City of Alexandria standards and specifications. Minimum diameter for storm sewers shall be 18" in the public Right of Way (ROW) and the minimum size storm sewer catch basin lead is 15". The acceptable pipe materials will be Reinforced Concrete Pipe (RCP) ASTM C-76 Class IV. Alternatively, AWWA C-151 (ANSI A21.51) Class 52 may be used if approved by the Director of T&ES. For roof drainage system, Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26 and ASTM 1785-76 Schedule 40 pipes will be acceptable. The acceptable minimum and maximum velocities will be 2.0 fps and 15 fps, respectively. The storm sewers immediately upstream of the first manhole in the public Right of Way shall be owned and maintained privately (i.e., all storm drains not shown within an easement or in a public Right of Way shall be owned and maintained privately). (T&ES)

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F - 20. All sanitary sewers shall be constructed to the City of Alexandria standards and specifications. Minimum diameter of sanitary sewers shall be 10" in the public Right of Way and sanitary lateral 6" for all commercial and institutional developments; however, a 4" sanitary lateral will be acceptable for single family residences. The acceptable pipe materials will be Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26, ASTM 1785-76 Schedule 40, Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52, or reinforced concrete pipe ASTM C-76 Class IV (For 12" or larger diameters); Class III may be acceptable on private properties. The acceptable minimum and maximum velocities will be 2.5 fps and 10 fps, respectively. Laterals shall be connected to the sanitary sewer through a manufactured "Y" or "T" or approved sewer saddle. Where the laterals are being connected to existing Terracotta pipes, replace the section of main and provide manufactured "Y" or "T", or else install a manhole. (T&ES)

F - 21. Lateral Separation of Sewers and Water Mains: A horizontal separation of 10' (edge to edge) shall be provided between a storm or sanitary sewer and a water line; however, if this horizontal separation cannot be achieved then the sewer and water main shall be installed in separate trenches and the bottom of the water main shall be at least 18" above the top of the sewer. If both the horizontal and vertical separations cannot be achieved then the sewer pipe material shall be Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 and pressure tested in place without leakage prior to installation. (T&ES)

F - 22. Crossing Water Main Over and Under a Sanitary or Storm Sewer: When a water main over crosses or under crosses a sanitary / storm sewer then the vertical separation between the bottom of one (i.e., sanitary / storm sewer or water main) to the top of the other (water main or sanitary / storm sewer) shall be at least 18" for sanitary sewer and 12" for storm sewer; however, if this cannot be achieved then both the water main and the sanitary / storm sewer shall be constructed of Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 with joints that are equivalent to water main standards for a distance of 10 feet on each side of the point of crossing. A section of water main pipe shall be centered at the point of crossing and the pipes shall be pressure tested in place without leakage prior to installation. Sewers crossing over the water main shall have adequate structural support (concrete pier support and/or concrete encasement) to prevent damage to the water main. Sanitary sewers under creeks and storm sewer pipe crossings with less than 6" clearance shall be encased in concrete. (T&ES)

F - 23. No water main pipe shall pass through or come in contact with any part of sanitary / storm sewer manhole. Manholes shall be placed at least 10 feet horizontally from the water main whenever possible. When local conditions prohibit this horizontal separation, the manhole shall be of watertight construction and tested in place. (T&ES)

F - 24. Crossing Existing or Proposed Utilities: Underground telephone, cable T.V., gas, and electrical duct banks shall be crossed maintaining a minimum of 12" of separation or clearance with water main, sanitary, or storm sewers. If this separation cannot be achieved then the sewer pipe material shall be Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 for a distance of 10 feet on each side of the point of crossing

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and pressure tested in place without leakage prior to installation. Sanitary / storm sewers and water main crossing over the utilities shall have adequate structural support (pier support and/or concrete encasement) to prevent damage to the utilities. (T&ES)

F - 25. Dimensions of parking spaces, aisle widths, etc. within the parking garage shall be provided on the plan. Note that dimensions shall not include column widths. (T&ES)

F - 26. Show the drainage divide areas on the grading plan or on a sheet showing reasonable information on topography along with the structures where each sub-area drains. (T&ES)

F - 27. Provide proposed elevations (contours and spot shots) in sufficient details on grading plan to clearly show the drainage patterns. (T&ES)

F - 28. All the existing and proposed public and private utilities and easements shall be shown on the plan and a descriptive narration of various utilities shall be provided. (T&ES)

F - 29. Add complete streets tabulation to the cover sheet with the Final 1 submission. (T&ES)

C - 1 Per the requirements of the City of Alexandria Zoning Ordinance Article XI, the applicant shall complete a drainage study and adequate outfall analysis for the total drainage area to the receiving sewer that serves the site. If the existing storm system is determined to be inadequate then the applicant shall design and build on-site or off-site improvements to discharge to an adequate outfall; even if the post development stormwater flow from the site is reduced from the pre-development flow. The Plan shall demonstrate to the satisfaction of the Director of T&ES that a non-erosive stormwater outfall is present. (T&ES)

C - 2 Per the requirements of the City of Alexandria Zoning Ordinance (AZO) Article XIII, Environmental Management Ordinance, the applicant shall comply with the water quality and quantity requirements and provide channel protection and flood protection in accordance with these requirements. If combined uncontrolled and controlled stormwater outfall is proposed, the peak flow requirements of the Zoning Ordinance shall be met. (T&ES)

C - 3 Per the requirements of Article 13-114 (f) of the AZO, all stormwater designs that require analysis of pressure hydraulic systems, including but not limited to the design of flow control structures and stormwater flow conveyance systems shall be signed and sealed by a professional engineer, registered in the Commonwealth of Virginia. The design of storm sewer shall include the adequate outfall, inlet, and hydraulic grade line (HGL) analyses that shall be completed to the satisfaction of the Director of T&ES. Provide appropriate reference and/or source used to complete these analyses. (T&ES)

C - 4 The proposed development shall conform to all requirements and restrictions set forth in Section 6-300 (Flood plain District) of Article VI (Special and Overlay Zones) of the City of Alexandria Zoning Ordinance. (T&ES)

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C - 5 Location of customer utility services and installation of transmission, distribution and main lines in the public rights of way by any public service company shall be governed by franchise agreement with the City in accordance with Title 5, Chapter 3, Section 5-3-2 and Section 5-3-3, respectively. The transformers, switch gears, and boxes shall be located outside of the public right of way. (T&ES)

C - 6 (a) Per the requirements of Section 5-3-2, Article A, Chapter 3 of the City of Alexandria Code, all new customer utility services, extensions of existing customer utility services and existing overhead customer utility services supplied by any existing overhead facilities which are relocated underground shall, after October 15, 1971 be installed below the surface of the ground except otherwise exempted by the City Code and to the satisfaction of the Director, Department of Transportation and Environmental Services. (b) Per the requirements of Section 5-3-3, Article A, Chapter 3 of the City of Alexandria Code, all new installation or relocation of poles, towers, wires, lines, cables, conduits, pipes, mains, and appurtenances used or intended to be used to transmit or distribute any service such as electric current, telephone, telegraph, cable television, traffic control, fire alarm, police communication, gas, water, steam or petroleum, whether or not on the streets, alleys, or other public places of the City shall, after October 15, 1971, be installed below the surface of the ground or below the surface in the case of bridges and elevated highways except otherwise exempted by the City Code and to the satisfaction of Director, Department of Transportation and Environmental Services. (T&ES)

C - 7 Flow from downspouts, foundation drains, and sump pumps shall be discharged to the storm sewer per the requirements of Memorandum to Industry 05-14 that is available on the City of Alexandria's web site. The downspouts and sump pump discharges shall be piped to the storm sewer outfall, where applicable after treating for water quality as per the requirements of Article XIII of Alexandria Zoning Ordinance (AZO). (T&ES)

C - 8 Per the requirements of Title 4, Chapter 2, Article B, Section 4-2-21, Appendix A, Section A 106(6), Figure A 106.1 Minimum Standards for Emergency Vehicle Access: provide a total turning radius of 25 feet to the satisfaction of Directors of T&ES and Office of Building and Fire Code Administration and show turning movements of standard vehicles in the parking lot as per the latest AASHTO vehicular guidelines. (T&ES)

C - 9 The applicant shall provide required storage space for both trash and recycling materials containers as outlined in the City's "Solid Waste and Recyclable Materials Storage Space Guidelines", or to the satisfaction of the Director of Transportation & Environmental Services. The plan shall show the turning movements of the collection trucks and the trucks shall not back up to collect trash or recycling. The City's storage space guidelines are available online at: www.alexandriava.gov/solidwaste or by contacting the City's Solid Waste Division at 703-746-4410, or via email at commercialrecycling@alexandriava.gov (T&ES)

C - 10 The applicant shall be responsible to deliver all solid waste, as defined by the City Charter and Code of the City of Alexandria, to the Covanta Energy Waste Facility

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located at 5301 Eisenhower Avenue. A note to that effect shall be included on the plan. The developer further agrees to stipulate in any future lease or property sales agreement that all tenants and/or property owners shall also comply with this requirement. (T&ES)

C - 11 The applicants shall submit a Recycling Implementation Plan (RIP) form to the Solid Waste Division, as outlined in Article H of Title 5 (Ordinance Number 4438), which requires all commercial properties to recycle. Instructions for how to obtain a RIP form can be found at: www.alexandriava.gov/solidwaste or by calling the Solid Waste Division at 703.746.4410 or by e-mailing CommercialRecycling@alexandriava.gov. (T&ES)

C - 12 All private streets and alleys shall comply with the City's Minimum Standards for Private Streets and Alleys. (T&ES)

C - 13 Bond for the public improvements must be posted prior to release of the site plan.* (T&ES)

C - 14 Plans and profiles of utilities and roads in public easements and/or public Right of Way must be approved prior to release of the plan.* (T&ES)

C - 15 Provide a phased erosion and sediment control plan consistent with grading and construction plan. (T&ES)

C - 16 Per the Memorandum to Industry, dated July 20, 2005, the applicant is advised regarding a requirement that applicants provide as-built sewer data as part of the final as-built survey. Upon consultation with engineering firms, it has been determined that initial site survey work and plans will need to be prepared using Virginia State Plane (North Zone) coordinates based on NAD 83 and NAVD 88. Control points/Benchmarks which were used to establish these coordinates should be referenced on the plans. To insure that this requirement is achieved, the applicant is requested to prepare plans in this format including initial site survey work if necessary. (T&ES)

C - 17 The thickness of sub-base, base, and wearing course shall be designed using "California Method" as set forth on page 3-76 of the second edition of a book entitled, "Data Book for Civil Engineers, Volume One, Design" written by Elwyn E. Seelye. Values of California Bearing Ratios used in the design shall be determined by field and/or laboratory tests. An alternate pavement section for Emergency Vehicle Easements (EVE) to support H-20 loading designed using California Bearing Ratio (CBR) determined through geotechnical investigation and using Virginia Department of Transportation (VDOT) method (Vaswani Method) and standard material specifications designed to the satisfaction of the Director of Transportation and Environmental Services (T&ES) will be acceptable. (T&ES)

C - 18 All pedestrian, traffic, and way finding signage shall be provided in accordance with the Manual of Uniform Traffic Control Devices (MUTCD), latest edition to the satisfaction of the Director of T&ES. (T&ES)

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C - 19 All driveway entrances, curbing, etc. in the public ROW or abutting public ROW shall meet City design standards. (T&ES)

C - 20 All sanitary laterals and/or sewers not shown in the easements shall be owned and maintained privately. (T&ES)

C - 21 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C - 22 All construction activities must comply with the Alexandria Noise Control Code Title 11, Chapter 5, Section 11-5-4(b)(15), which permits construction activities to occur between the following hours:
a. Monday Through Friday from 7 AM To 6 PM and
b. Saturdays from 9 AM to 6 PM.
c. No construction activities are permitted on Sundays and holidays.
Section 11-5-4(b)(19) further restricts the Pile Driving to the following hours:
d. Monday Through Friday from 9 AM To 6 PM and
e. Saturdays from 10 AM To 4 PM
f. No pile driving is permitted on Sundays and holidays.
Section 11-5-109 restricts work in the right of way for excavation to the following:
g. Monday through Saturday 7 AM to 5 pm
h. No excavation in the right of way is permitted on Sundays(T&ES)

C - 23 The applicant shall comply with the Article XIII of the City of Alexandria Zoning Ordinance, which includes requirements for stormwater pollutant load reduction, treatment of the Alexandria Water Quality Volume Default and stormwater quantity management. (T&ES)

C - 24 The applicant shall comply with the City of Alexandria, Erosion and Sediment Control Code, Section 5, Chapter 4. (T&ES)

C - 25 All required permits from Virginia Department of Environmental Quality, Environmental Protection Agency, Army Corps of Engineers, and/or Virginia Marine Resources shall be in place for all project construction and mitigation work prior to release of the final site plan. This includes the state requirement for a state General VPDES Permit for Discharges of Stormwater from Construction Activities (general permit) and associated Stormwater Pollution Prevention Plan (SWPPP) for land disturbing activities equal to or greater than one acre. See memo to industry 08-14 which can be found on-line here: <http://alexandriava.gov/tes/info/default.aspx?id=3522>. *(T&ES)

C - 26 The applicant must provide a Stormwater Pollution Prevention Plan (SWPPP) Book with the Final 1 submission. The project's stormwater management (SWM) plan, erosion and sediment control (E&SC) plan, and applicable portions of the Pollution Prevention (P2) Plan must be approved prior to the SWPPP being deemed approved and processed to

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2901 Eisenhower

receive coverage under the VPDES Construction General Permit. Upon approval, an electronic copy of the approved SWPPP Book must be provided with the Mylar submission and the coverage letter must copied onto the plans. An electronic copy and a hardcopy of the SWPPP Book must be included with the released site plans, and the approved hardcopy SWPPP Binder must accompany the construction drawings onsite. Separate parcel owners as an entity incorporated in Virginia will be required to seek separate VPDES Construction General Permit Coverage. (T&ES-Storm)

C - 27 A Stormwater Management Master Plan (SWMMP) must be created with this DSP that demonstrates overall water quality and quantity compliance with the proposed build-out of the entire project. Each phase of the project must demonstrate compliance with the water quality and quantity requirements individually for each portion of the site under construction; and compliance must be met prior to project closeout. (T&ES-Storm)

VAVC Comments:

1. Proposed 8" W/L at "Open Space #2": reroute it to private alley (asphalt paving).

2. Based on our maintenance experience, existing job site soil is corrosive to Ductile Iron pipe. We may use PVC pressure pipe (AWWA C900 DR14) for job site water main extension, and all water facilities owned by VAW shall be constructed by us.

3. We also suggest proposed water main around "Open Space #1" is rerouted to private alley (asphalt paving).

4. All proposed water meter shall be located at sidewalk (just behind curb).

5. Lot 1050 & 1051, Lot 1021 & 1022: please provide detail how to run water copper service line to these townhomes.

AlexRenew Comments:

1. Any connection to a manhole on the Holmes Run Trunk Sewer (60") will require pre- and post-inspection/assessment consistent with NASSCO MAPCP guidelines.

2. Replacement of the Holmes Run Trunk Sewer existing manhole frame and cover with a new hinged manhole frame and cover, as well. Other potential required manhole rehabilitation could include manhole lining (structural and/or waterproofing) and grade adjustment/improvements.

3. The Applicant shall coordinate with City of Alexandria T&ES to insure in writing to AlexRenew that additional flow planned does not exceed flow capacity in AlexRenew Interceptors & Trunk Sewers during wet & average flow conditions.

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DESIGN ENGINEER / SURVEYOR

Bowman
CONSULTING

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Herndon, VA 20171
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www.bowmanconsulting.com

Phone: (703) 464-1000
Fax: (703) 464-9720

SEAL:

STEVEN T. LIAM
Lic. No. 40224
07/26/19
PROFESSIONAL ENGINEER
COMMONWEALTH OF VIRGINIA

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

RUSHMARK EISENHOWER
SOUTH TOWER
FINAL DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME:
DEVELOPMENT CONDITIONS (5 OF 6)

APPROVED
SPECIAL USE PERMIT NO. 2018-0027

DEPARTMENT OF PLANNING & ZONING

AEF for K. Moritz 1/11/2022
DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____
Kate M. 01/12/2022
DIRECTOR DATE
Michelle M. 1/11/2022
CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED _____
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

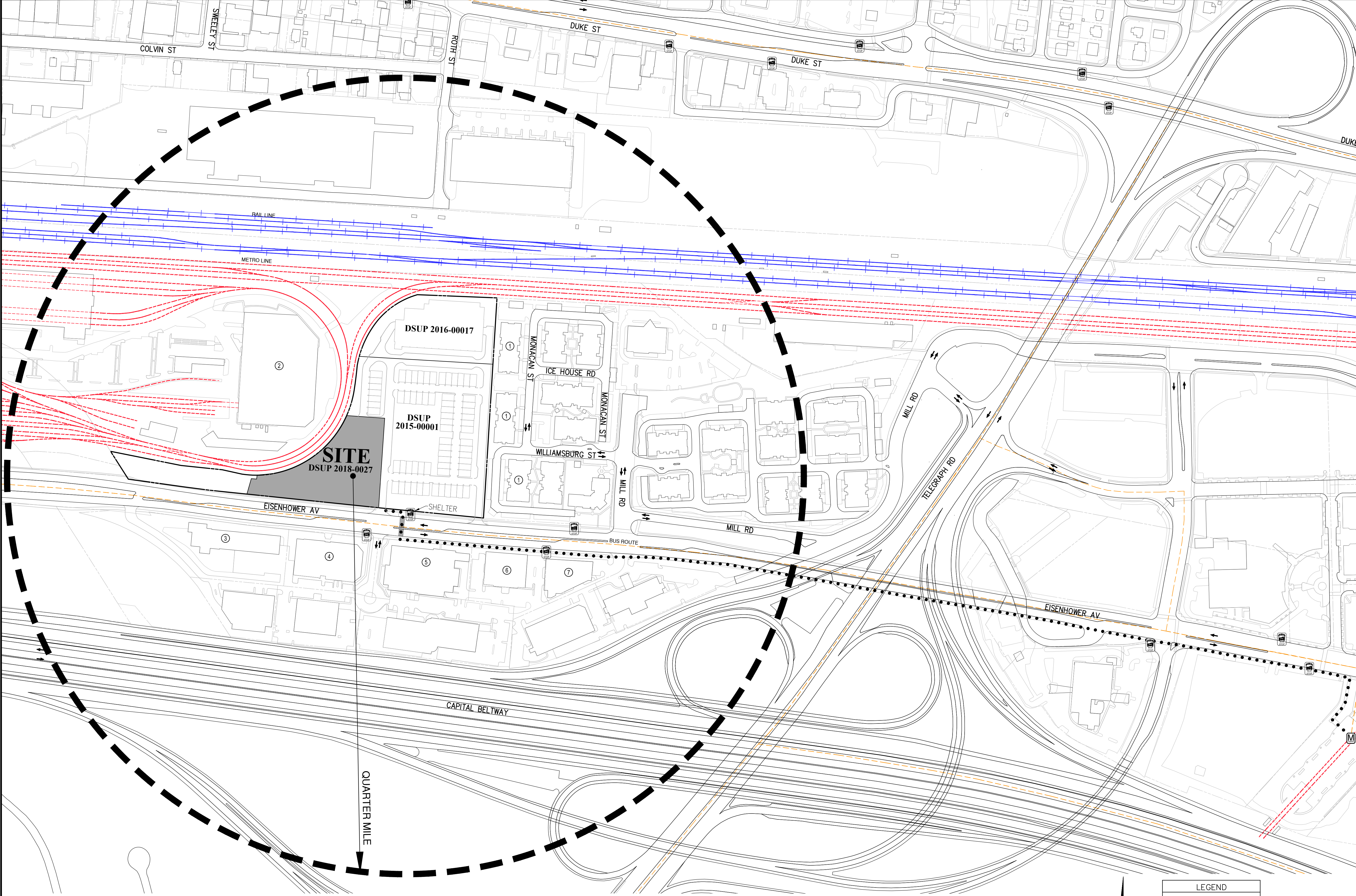
SHEET: **C3.40**

1071.04-02-04, 071.04-02-05

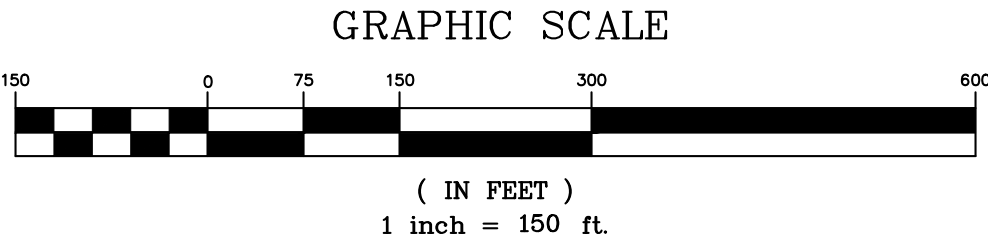
File No. 8316-D-CP01

Job No. 8316-01-004

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PROPERTY	PARCEL ID	ADDRESS	PROPERTY NAME	LAND DESCRIPTION	OWNER ADDRESS	LAND SF	ZONING
1	072.03-06-03	2751 EISENHOWER AV	AVALON APARTMENTS	MED RISE ELEV (4-65)	AEW CAPITAL MGMT LP	306730	CDD#3
2	071.04-02-01	3001 EISENHOWER AV	MAINTENANCE BUILDING	WASH METRO TRAN AUTH	600 5TH ST NW	866945	UT
3	071.04-02-14	2950 EISENHOWER AV	SPRINGHILL SUITES MARRIOTT	HOTEL AND MOTEL	814 E MAIN ST	88860	OCM(100)
4	071.04-02-11	2930 EISENHOWER AV	PENTAGON FEDERAL CREDIT UNION OFFICE BUILDING	OFFICE BUILDINGS	ATTN DEBORAH JOHNSON	55986	OCM(100)
5	071.04-02-08	2850 EISENHOWER AV	ALEXANDRIA TECH CENTER IV	OFFICE BUILDINGS	PO BOX 430	55249	OCM(100)
6	071.04-02-07	2760 EISENHOWER AV	STARR BUILDING (ATC)	OFFICE BUILDINGS	PO BOX 430	47502	OCM(100)
7	072.03-06-05	2750 EISENHOWER AV	J. LEWEE CARAWAY OFFICE BLDG	OFFICE BUILDINGS	2750 EISENHOWER AVE	27284	OCM(100)



LEGEND	
	METRO STATION
	BUS STOP
	BUS ROUTE
	RAIL LINE
	METRO LINE
	DISTANCE TO METRO (3565 FEET)

APPROVED SPECIAL USE PERMIT NO. 2018-0027

DEPARTMENT OF PLANNING & ZONING

AEF for K. Moritz 1/11/2022

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN No. 01/12/2022

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

SHEET: C4.00

DESIGN ENGINEER / SURVEYOR

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SCALE: 1"=150'

DATE: JULY 26, 2019

DRAWN: DA

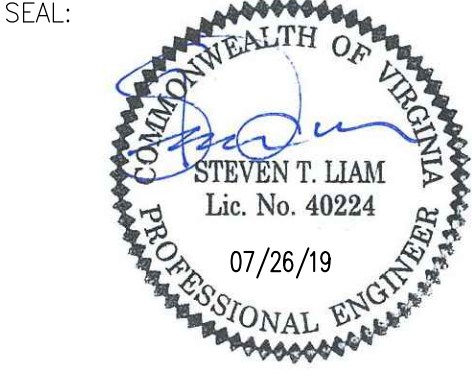
DATE: 07/26/19

FINAL SUBMISSION

DATE: 07/26/19

DESCRIPTION

PLAN STATUS



REVISION APPROVED BY			
NO.	DESCRIPTION	DATE	APPROVED

RUSHMARK EISENHOWER SOUTH TOWER

FINAL DEVELOPMENT SPECIAL USE PERMIT

CITY OF ALEXANDRIA, VIRGINIA

CONTEXTUAL PLAN

SHEET NAME:

ARCHAEOLOGICAL NOTE:

1. CALL ALEXANDRIA ARCHAEOLOGY (703-746-4399) TWO WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT AN INSPECTION OR MONITORING SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED. THE LANGUAGE NOTED ABOVE SHALL BE INCLUDED ON ALL FINAL SITE PLAN SHEETS INVOLVING ANY GROUND DISTURBING ACTIVITIES.
2. CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
3. THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

NOTES:

1. THE TOPOGRAPHY DEPICTED HEREON IS BASED UPON A FIELD RUN SURVEY BY THIS FIRM IN OCTOBER, 2018 UTILIZING A COMBINATION OF TERRESTRIAL LIDAR AND CONVENTIONAL SURVEY METHODS. THE CONTOUR INTERVAL IS ONE (1) FOOT.
2. THIS SURVEY IS REFERENCED HORIZONTALLY TO THE VIRGINIA COORDINATE SYSTEM OF 1983 AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY, AND VERTICALLY TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS COMPUTED FROM A FIELD RUN VERTICAL CONTROL SURVEY.
3. ACCORDING TO THE CITY OF ALEXANDRIA GEOLOGY MAP, THERE ARE NOT MARINE CLAYS KNOWN TO BE LOCATED ON THE PROPOSED SITE.
4. THERE IS NO KNOWN OR EXPECTED SITE CONTAMINATION AT THIS TIME.

LEGEND:

- HYDRANT
- LAMP POST
- ELECTRIC MANHOLE
- GROUND LIGHT
- CROSSWALK SIGNAL
- STORM MANHOLE
- TRAFFIC POLE
- GAS METER
- GAS VALVE
- SIGN
- WATER METER
- WATER VALVE

SIGN LEGEND:

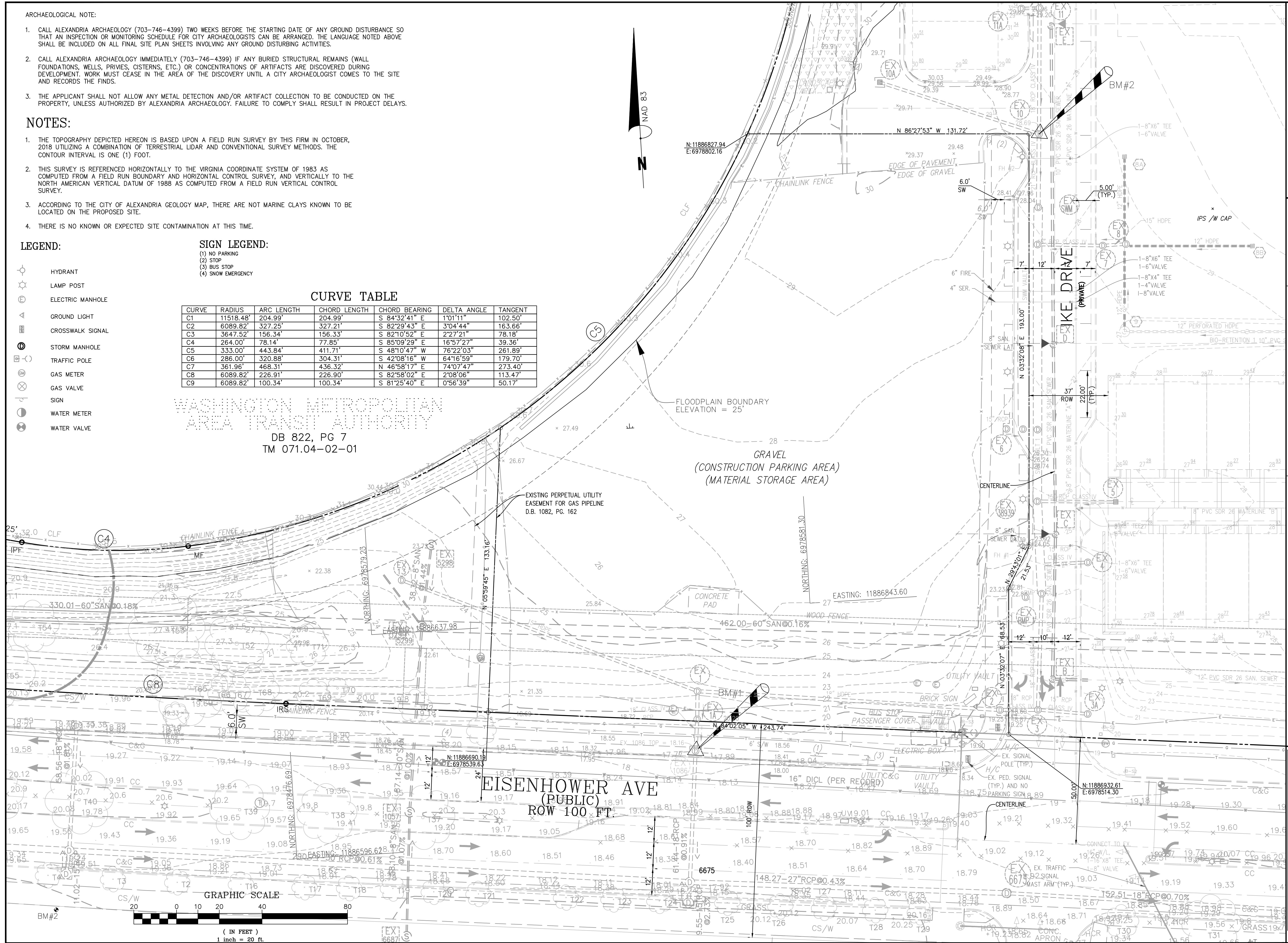
- (1) NO PARKING
- (2) STOP
- (3) BUS STOP
- (4) SNOW EMERGENCY

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	11518.48'	204.99'	204.99'	S 84°32'41" E	101°11"	102.50'
C2	6089.82'	327.25'	327.21'	S 82°29'43" E	3°04'44"	163.66'
C3	3647.52'	156.34'	156.33'	S 82°10'52" E	2°27'21"	78.18'
C4	264.00'	78.14'	77.85'	S 85°09'29" E	16°57'27"	39.36'
C5	333.00'	443.84'	411.71'	S 48°10'47" W	76°22'03"	261.89'
C6	286.00'	320.88'	304.31'	S 42°08'16" W	64°16'59"	179.70'
C7	361.96'	468.31'	436.32'	N 46°58'17" E	74°07'47"	273.40'
C8	6089.82'	226.91'	226.90'	S 82°58'02" E	2°08'06"	113.47'
C9	6089.82'	100.34'	100.34'	S 81°25'40" E	0°56'39"	50.17'

WASHINGTON METROPOLITAN
AREA TRANSIT AUTHORITY

DB 822, PG 7
TM 071.04-02-01



DESIGN ENGINEER / SURVEYOR

Bowman
CONSULTING

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SCALE: 1"=20'
DATE: JULY 26, 2019
DRAWN: DA

PLAN STATUS
DATE: 07/26/19
DESCRIPTION: FINAL SUBMISSION

SEAL:



REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV.	BY	APPROVED

**RUSHMARK EISENHOWER
SOUTH TOWER**

FINAL DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME:
EXISTING CONDITIONS

APPROVED
SPECIAL USE PERMIT NO.

2018-0027

DEPARTMENT OF PLANNING & ZONING

AEF for K. Moritz 1/11/2022

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN No. 01/12/2022

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION 1/11/2022

DATE RECORDED DATE

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

SHEET: C5.00

TOP=18.16
OUT=12.64 (18" RCP TO 6675)

EX 6689 TOP = 22.61
IN = 8.66 (72" SAN TO 1029)
OUT = 8.66 (72" SAN Fr WEST)

81

1. CALL ALEXANDRIA ARCHAEOLOGY (703-746-4399) TWO WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT AN INSPECTION OR MONITORING SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED. THE LANGUAGE NOTED ABOVE SHALL BE INCLUDED ON ALL FINAL SITE PLAN SHEETS INVOLVING ANY GROUND DISTURBING ACTIVITIES.
2. CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
3. THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS




Bowman Consulting Group, Ltd.
13461 Sunrise Valley Dr, Suite 500
Herndon, VA 20171
Phone: (703) 464-1000
Fax: (703) 481-9720
www.bowmanconsulting.com

DATE: JULY 26, 2019	DRAWN: DA
CALE: 1"=20'	

PLAN STATUS		
DATE	DESCRIPTION	DATE

7/26/19	FINAL SUBMISSION		

[illegible]

FINAL DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME:

GRADING PLAN

SHEET NAME:

SHEET: **C8.00**

1. CALL ALEXANDRIA ARCHAEOLOGY (703-746-4399) TWO WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT AN INSPECTION OR MONITORING SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED. THE LANGUAGE NOTED ABOVE SHALL BE INCLUDED ON ALL FINAL SITE PLAN SHEETS INVOLVING ANY GROUND DISTURBING ACTIVITIES.
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DESIGN ENGINEER / SURVEYOR

Bowman

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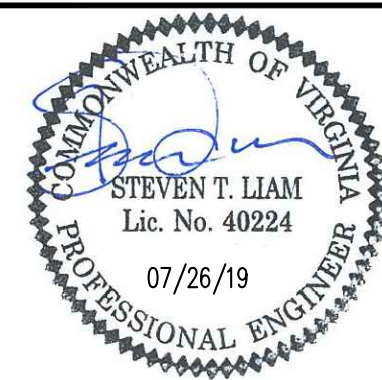
SCALE: 1"=20'	DATE: JULY 26, 2019	DRAWN: DA
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PLAN STATUS

DATE	DESCRIPTION	DATE	DESCRIPTION
7/28/10	FINAL SUBMISSION		

Code File Name: P:\8316 - 2901 Eisenhower Ave\8316-01-004 (ENG) - PDSP & FDSUP\Engineering\Engineering Plans\Multifamily Bldg South FDSUP\MF_S_2901 Eisenhower Avenue FDSUP\8316-D-CP-004-C9.00-DIM-DIMENSION.dwg

SEAL:



REVISION APPROVED BY

[illegible]

RUSHMARK EISENHOWER SOUTH TOWER

FINAL DEVELOPMENT SPECIAL USE PERMIT

CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: **DIMENSION PLAN**

SHEET NAME:


APPROVED
SPECIAL USE PERMIT

2018-0027

DEPARTMENT OF PLANNING & ZONING

AEF for K. Moritz	1/11/2011
DIRECTOR	DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

	01/12/2022
DIRECTOR	DATE

 Nathan M. Masack 1/11/2

CHAIRMAN, PLANNING

DATE RECORDED

INSTRUMENT NO.	DEED BOOK NO.	PAGE
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SHEET: **C9.00**

ARCHAEOLOGICAL NOTE:

1. CALL ALEXANDRIA ARCHAEOLOGY (703-746-4399) TWO WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT AN INSPECTION OR MONITORING SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED. THE LANGUAGE NOTED ABOVE SHALL BE INCLUDED ON ALL FINAL SITE PLAN SHEETS INVOLVING ANY GROUND DISTURBING ACTIVITIES.
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SANITARY SEWER NARRATIVE

THE SANITARY SEWER WILL BE COLLECTED THROUGH PROPOSED PIPES AND OUTFALL INTO AN EXISTING MANHOLE LOCATED WITHIN AN EASEMENT ON THE PROJECT SITE. THIS MANHOLE TIES INTO AN EXISTING 60" SANITARY SEWER LINE - HOLMES RUN TRUNK LINE.

NOTES

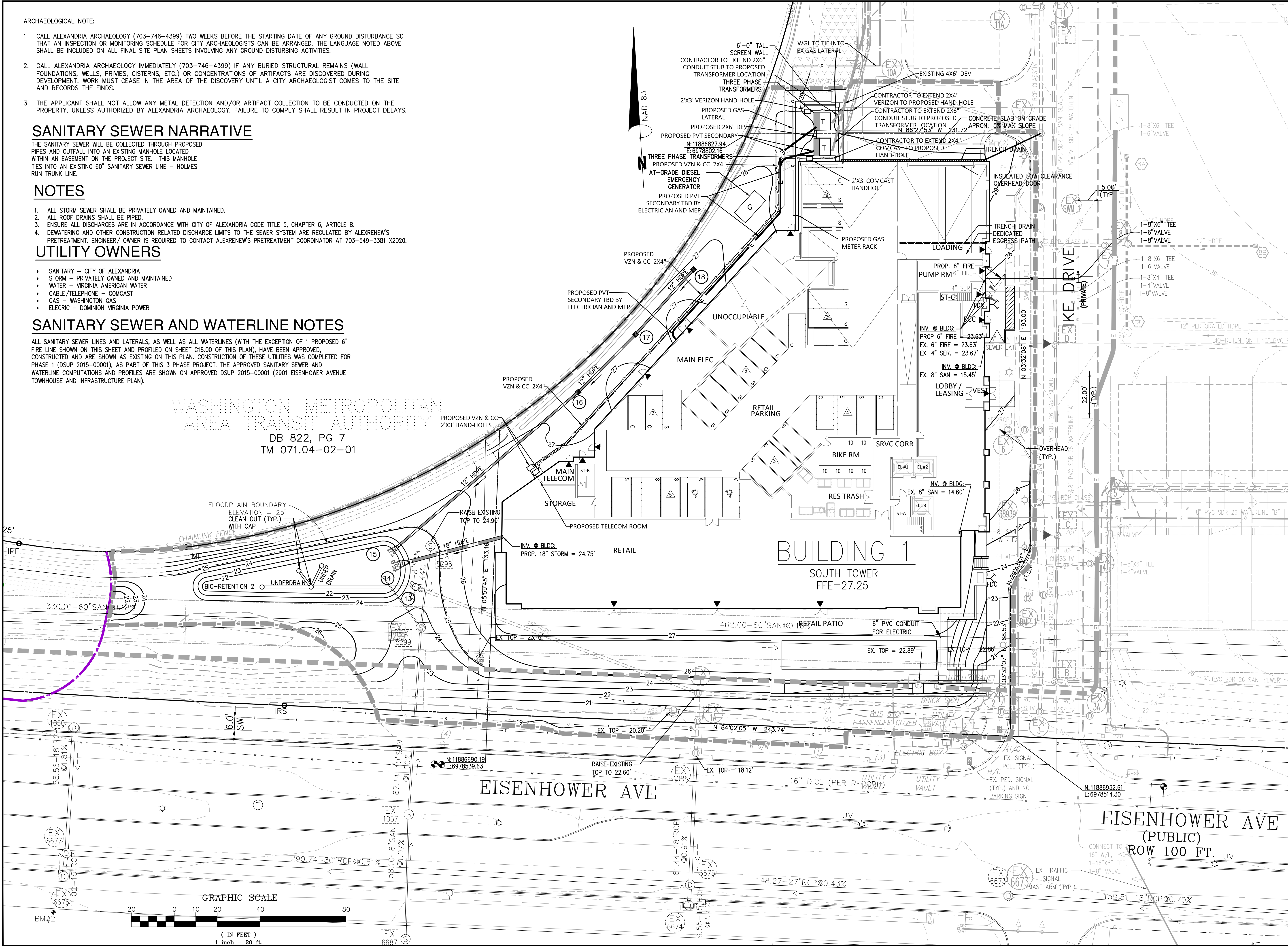
1. ALL STORM SEWER SHALL BE PRIVATELY OWNED AND MAINTAINED.
2. ALL ROOF DRAINS SHALL BE PIPED.
3. ENSURE ALL DISCHARGES ARE IN ACCORDANCE WITH CITY OF ALEXANDRIA CODE TITLE 5, CHAPTER 6, ARTICLE B.
4. DEWATERING AND OTHER CONSTRUCTION RELATED DISCHARGE LIMITS TO THE SEWER SYSTEM ARE REGULATED BY ALEXRENEW'S PRETREATMENT. ENGINEER/ OWNER IS REQUIRED TO CONTACT ALEXRENEW'S PRETREATMENT COORDINATOR AT 703-549-3381 X2020.

UTILITY OWNERS

- SANITARY - CITY OF ALEXANDRIA
- STORM - PRIVATELY OWNED AND MAINTAINED
- WATER - VIRGINIA AMERICAN WATER
- CABLE/TELEPHONE - COMCAST
- GAS - WASHINGTON GAS
- ELECTRIC - DOMINION VIRGINIA POWER

SANITARY SEWER AND WATERLINE NOTES

ALL SANITARY SEWER LINES AND LATERALS, AS WELL AS ALL WATERLINES (WITH THE EXCEPTION OF 1 PROPOSED 6" FIRE LINE SHOWN ON THIS SHEET AND PROFILED ON SHEET C16.00 OF THIS PLAN), HAVE BEEN APPROVED, CONSTRUCTED AND ARE SHOWN AS EXISTING ON THIS PLAN. CONSTRUCTION OF THESE UTILITIES WAS COMPLETED FOR PHASE 1 (DSUP 2015-00001), AS PART OF THIS 3 PHASE PROJECT. THE APPROVED SANITARY SEWER AND WATERLINE COMPUTATIONS AND PROFILES ARE SHOWN ON APPROVED DSUP 2015-00001 (2901 EISENHOWER AVENUE TOWNHOUSE AND INFRASTRUCTURE PLAN).



DESIGN ENGINEER / SURVEYOR

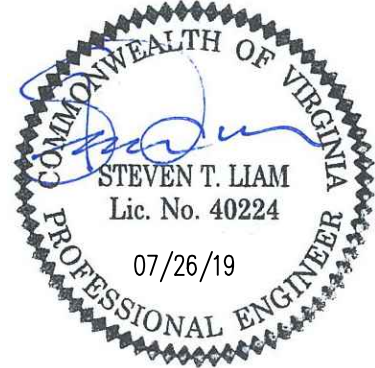
Bowman
CONSULTING

Bowman Consulting Group, Ltd.
1400 Sully Dr., Suite 500
Herndon, VA 20171
Phone: (703) 464-1000
Fax: (703) 464-9720
www.bowmanconsulting.com

SCALE: 1"=20'
DATE: JULY 26, 2019
DRAWN: DA

PLAN STATUS
DATE DESCRIPTION DATE
07/26/19 FINAL SUBMISSION

SEAL:



REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV.	BY	APPROVED

RUSHMARK EISENHOWER
SOUTH TOWER

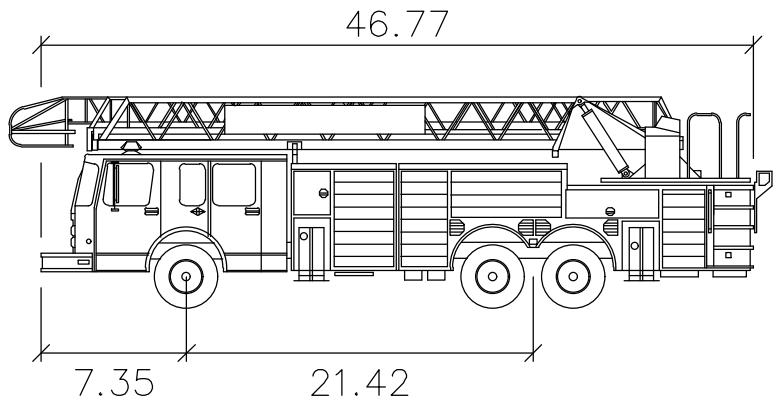
FINAL DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: **UTILITY PLAN**

APPROVED SPECIAL USE PERMIT NO.	2018-0027
DEPARTMENT OF PLANNING & ZONING	
AEF for K. Moritz	1/11/2022
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No.	
01/12/2022	
DIRECTOR	DATE
1/11/2022	
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
PAGE NO.	
SHEET: C10.00	

LEGEND

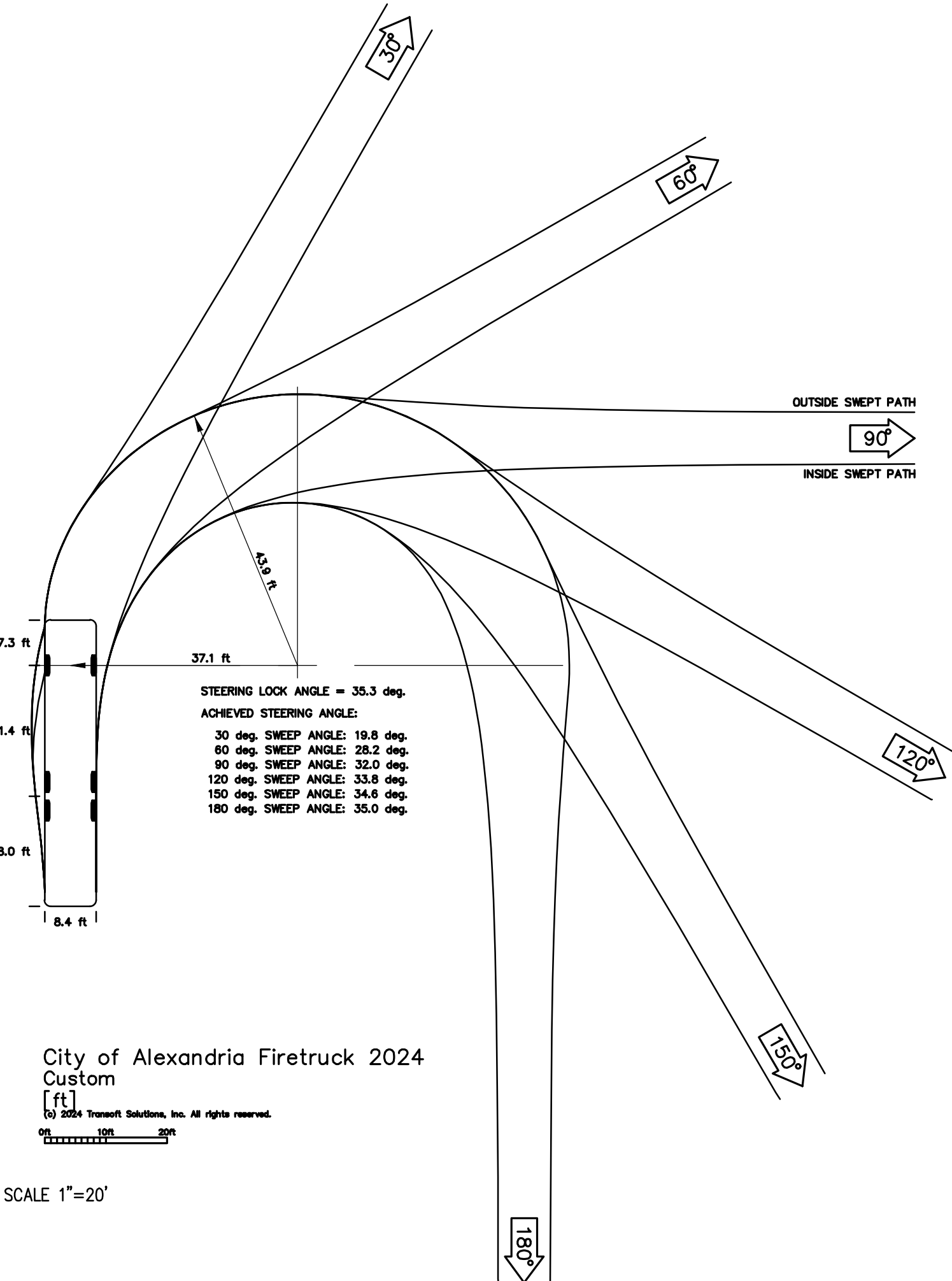
- INDICATES LOCATION OF FDC
- INDICATES LOCATION OF EXISTING F.H.
- "NO PARKING FIRE LANE SIGNS"
(SEE TYPE BELOW)
- 22' EVE



City of Alexandria Firetruck 2024

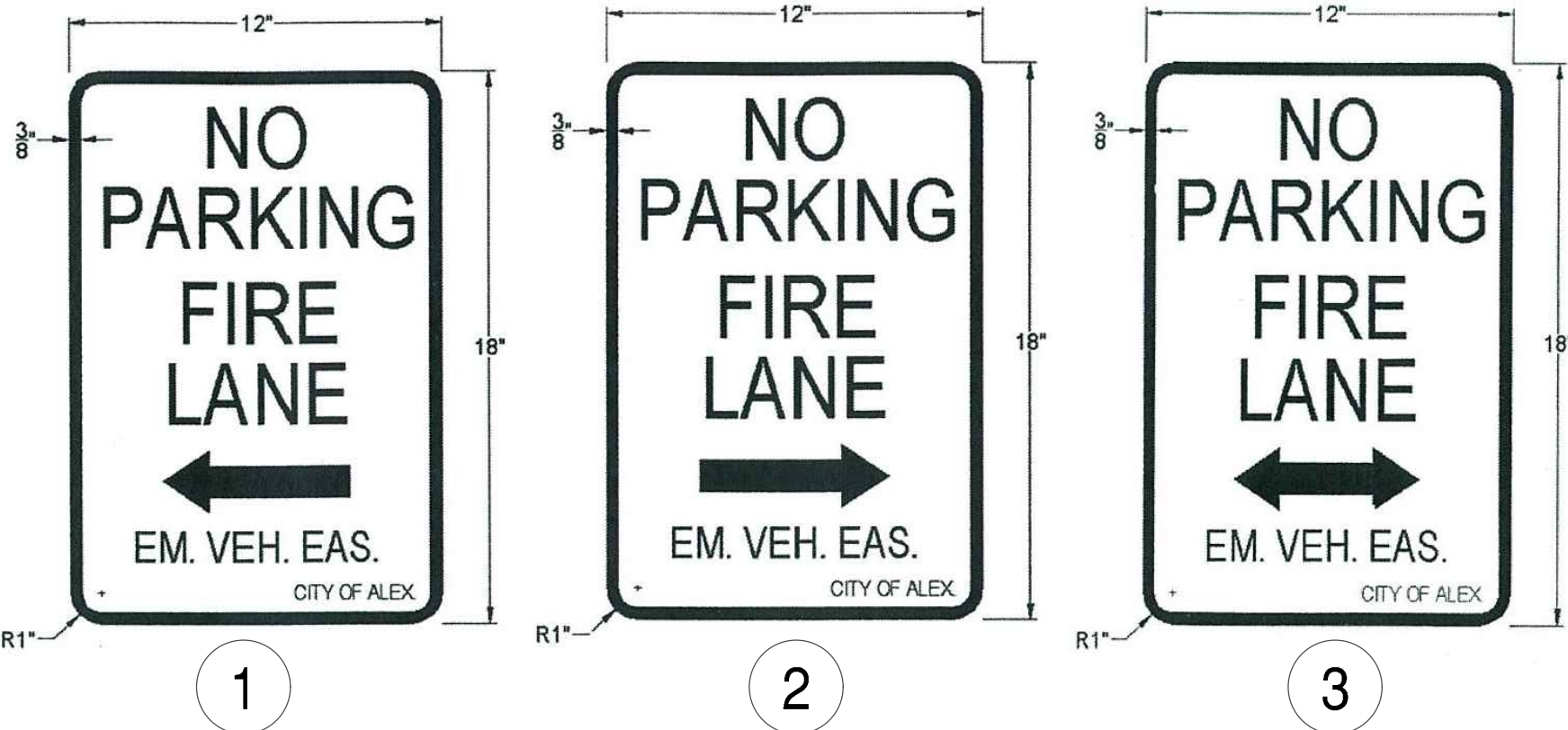
Width : 8.42
Track : 8.42
Lock to Lock Time : 6.0
Steering Angle : 35.3

SCALE 1"=10'

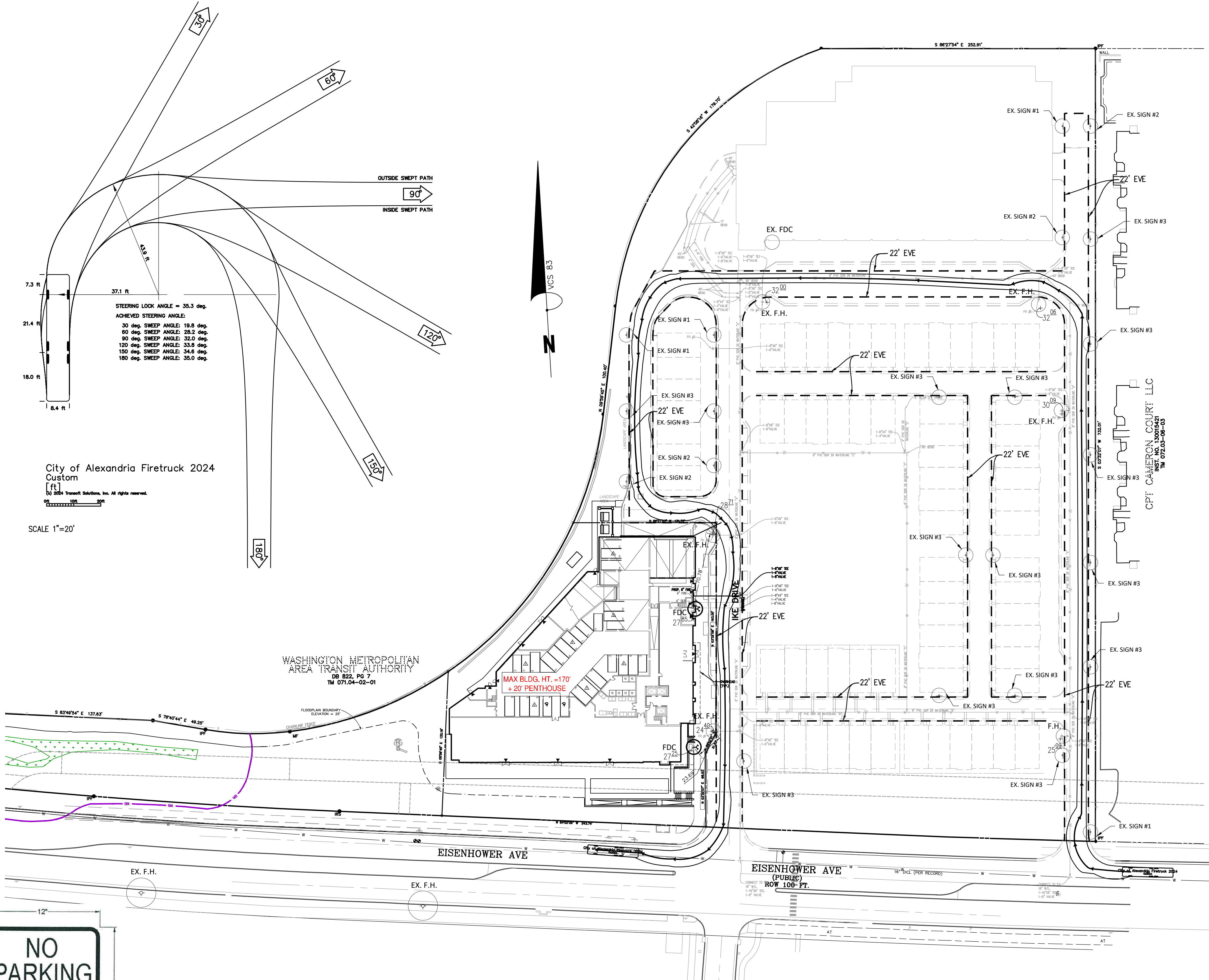
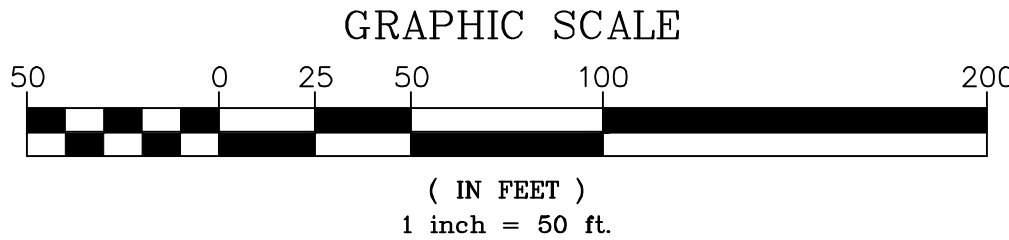


NOTES:

USE GROUP: R3
TYPE OF CONSTRUCTION: 3A
FIRE FLOW: C21.20
FIRE PROTECTION: SPRINKLER



NOTE:
FIRE LANE PARKING SIGNS ARE
EXISTING, AND ARE LABELED AS
SUCH IN PLAN VIEW.



DESIGN ENGINEER / SURVEYOR

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CONSULTING

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Harrisburg, PA 17101
Phone: (703) 464-1000
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www.bowmanconsulting.com

SEAL:

REVISION		APPROVED BY	
NO.	DESCRIPTION	DATE	DATE

**RUSHMARK EISENHOWER
SOUTH TOWER**

FINAL DEVELOPMENT SPECIAL USE PERMIT EXTENSION
CITY OF ALEXANDRIA, VIRGINIA

APPROVED
SPECIAL USE PERMIT NO. 2024-10002

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

SHEET: **C11.00**

SCALE: 1"=50'

DATE: MARCH 27, 2024

DRAWN: DA

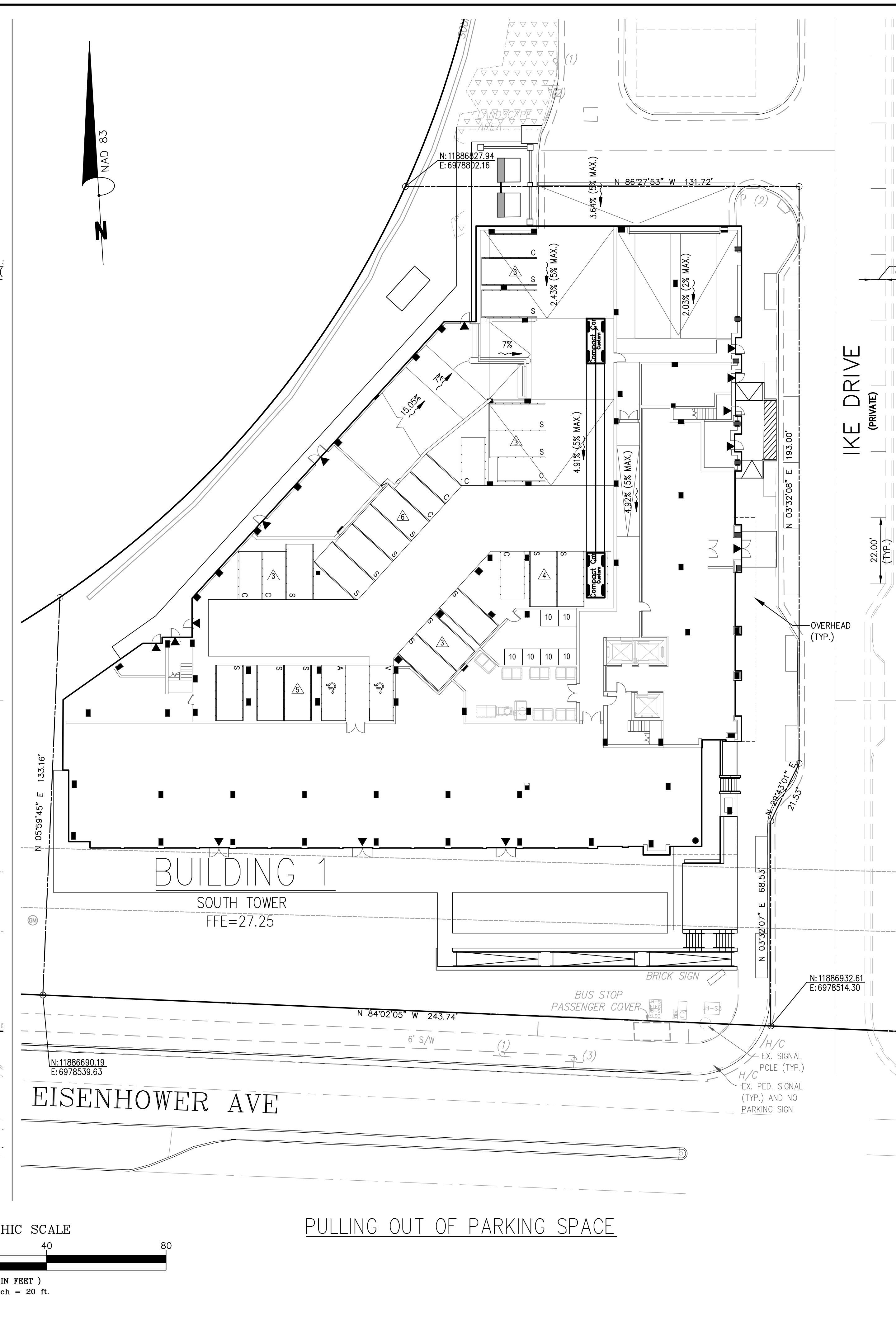
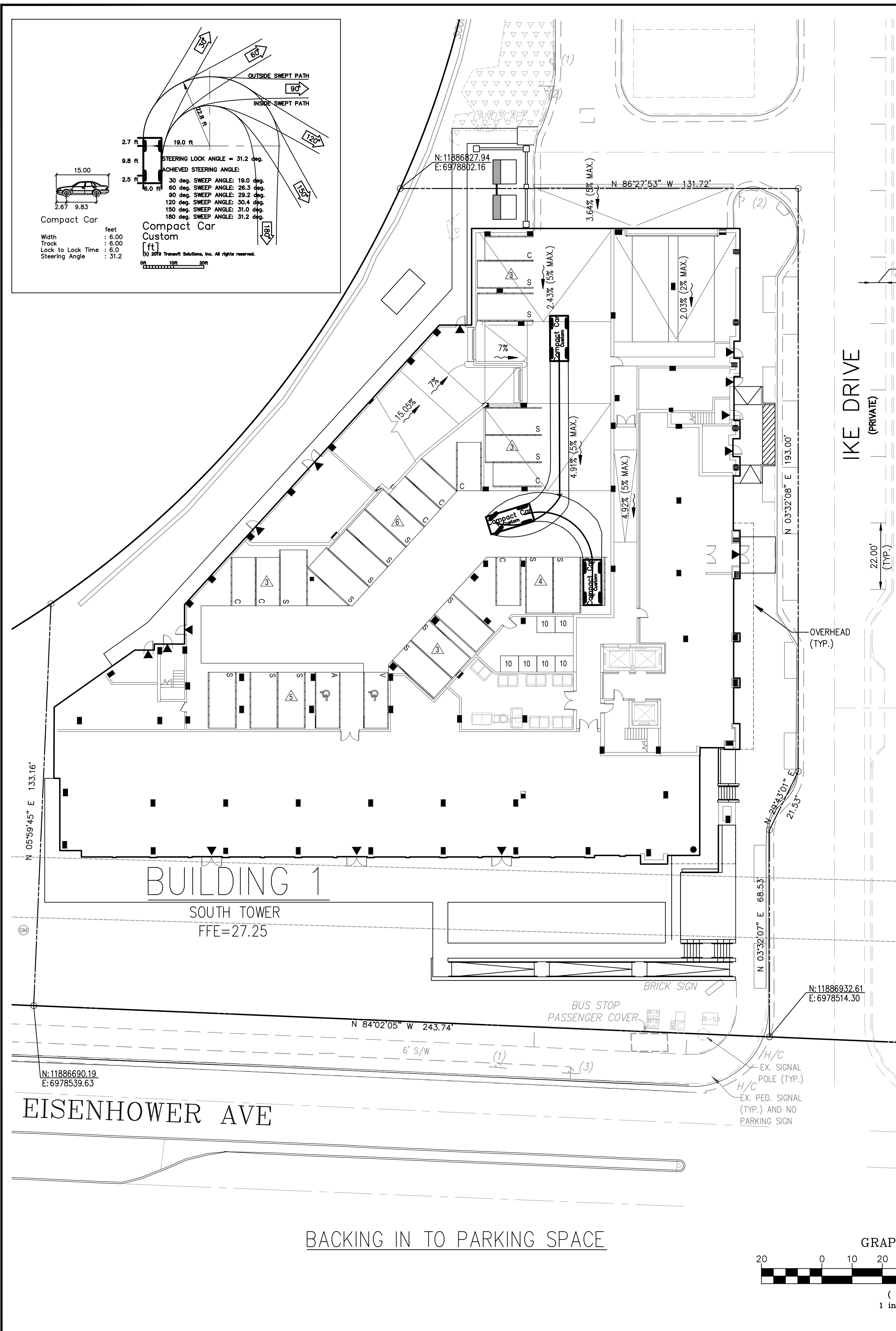
PLAN STATUS

DATE DESCRIPTION

03/27/24 FINAL SUBMISSION

Tax Map No. 071.04-02-04, 071.04-02-05 File No. 8316-D-CP01 Job No. 8316-01-004

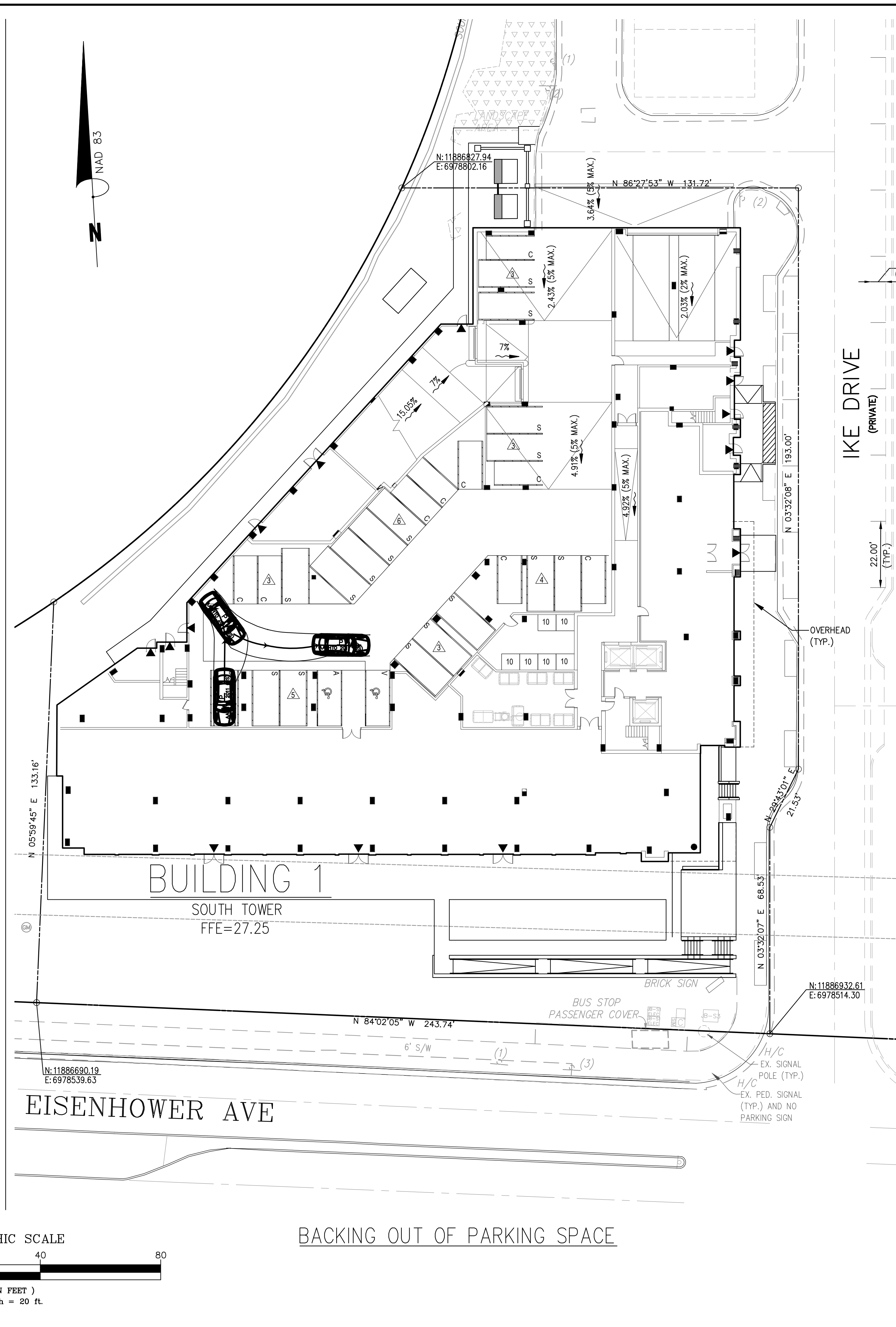
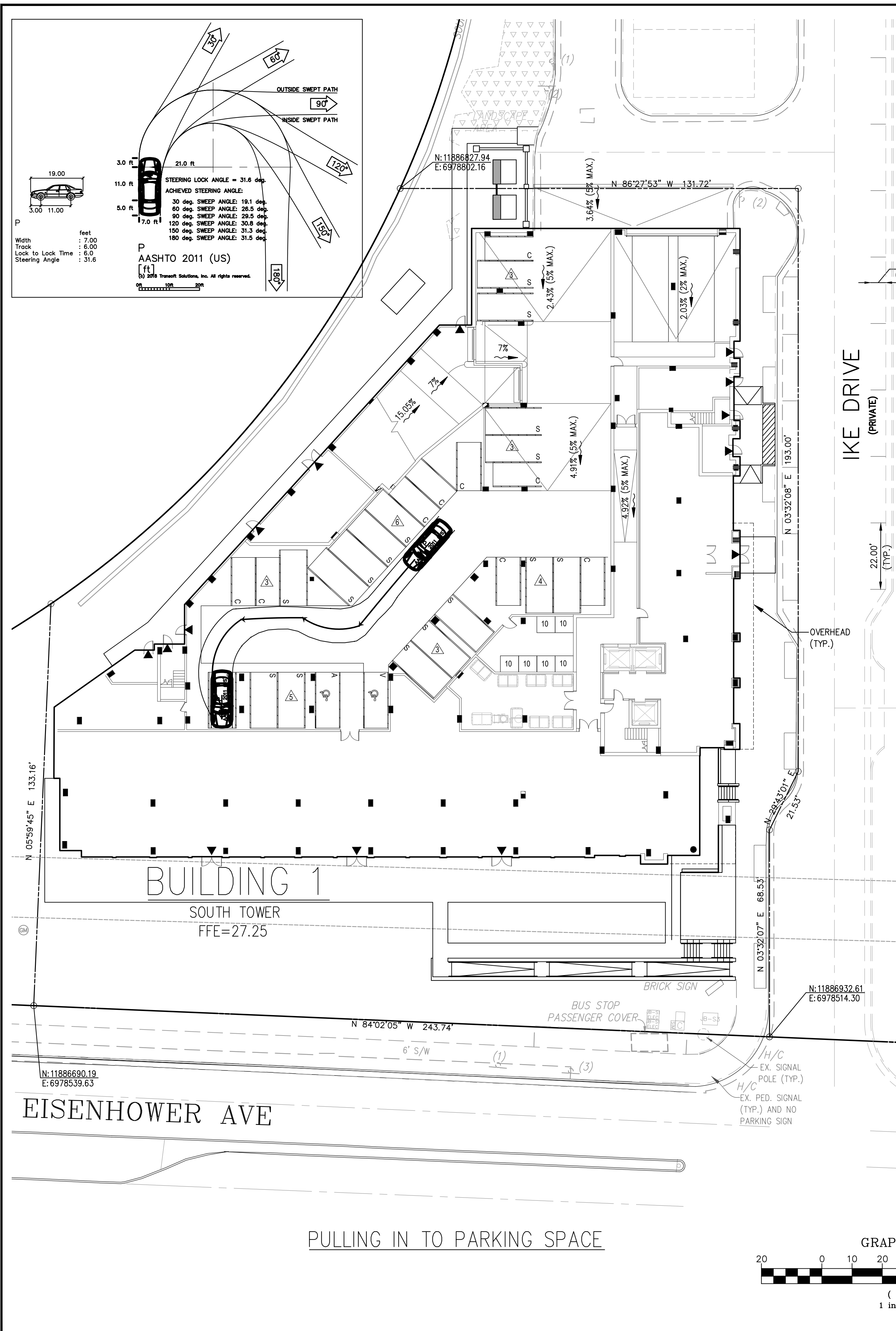
88

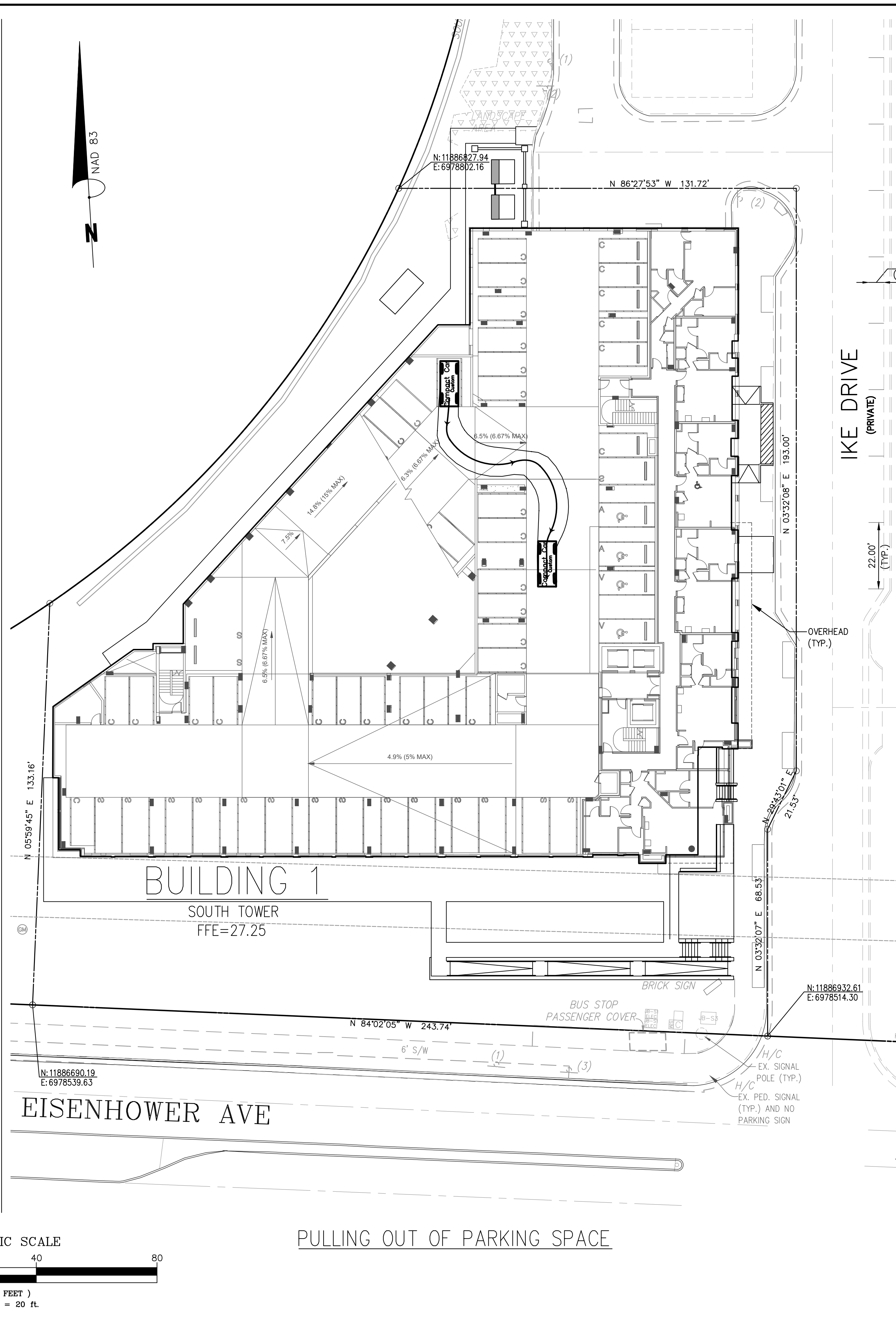
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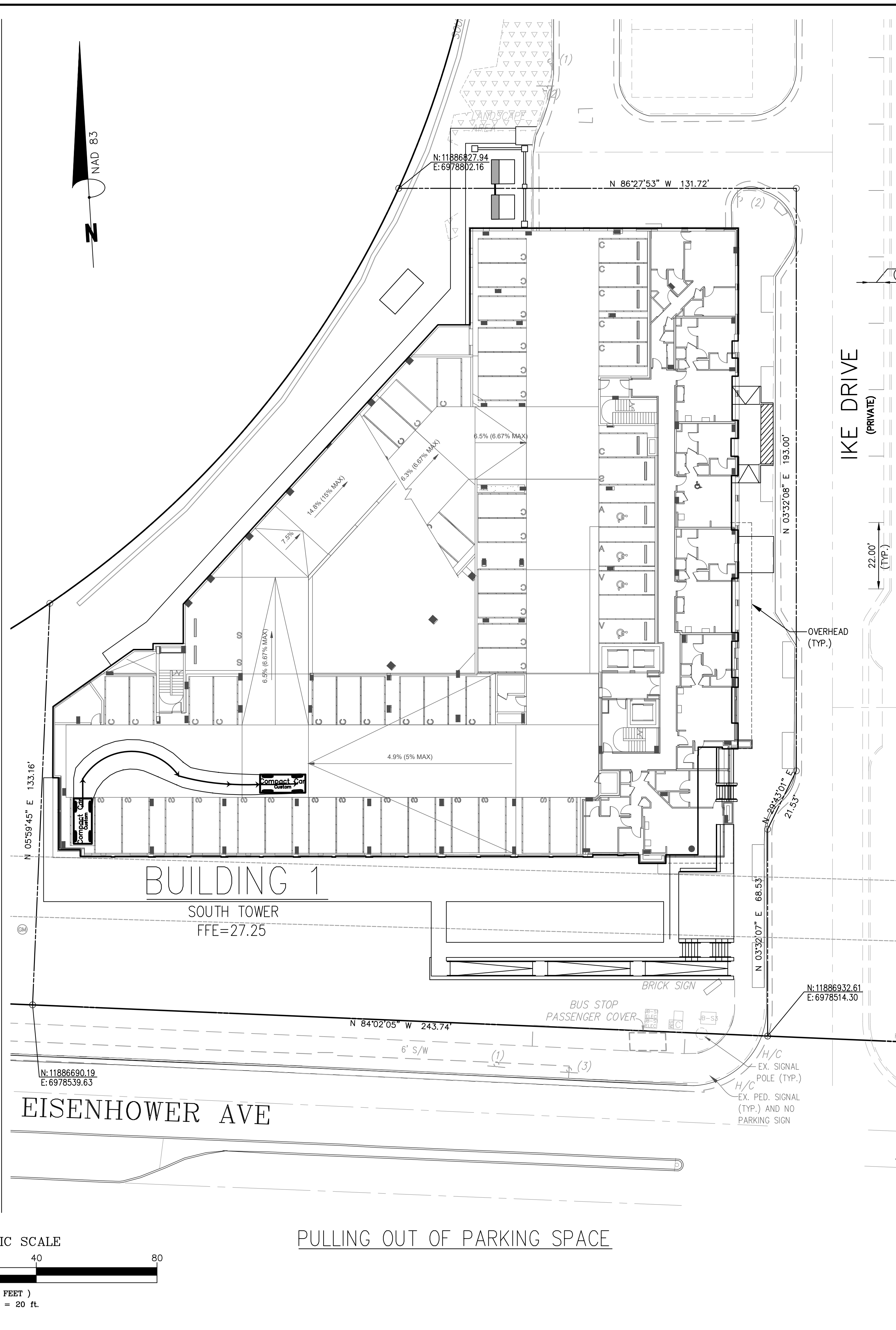


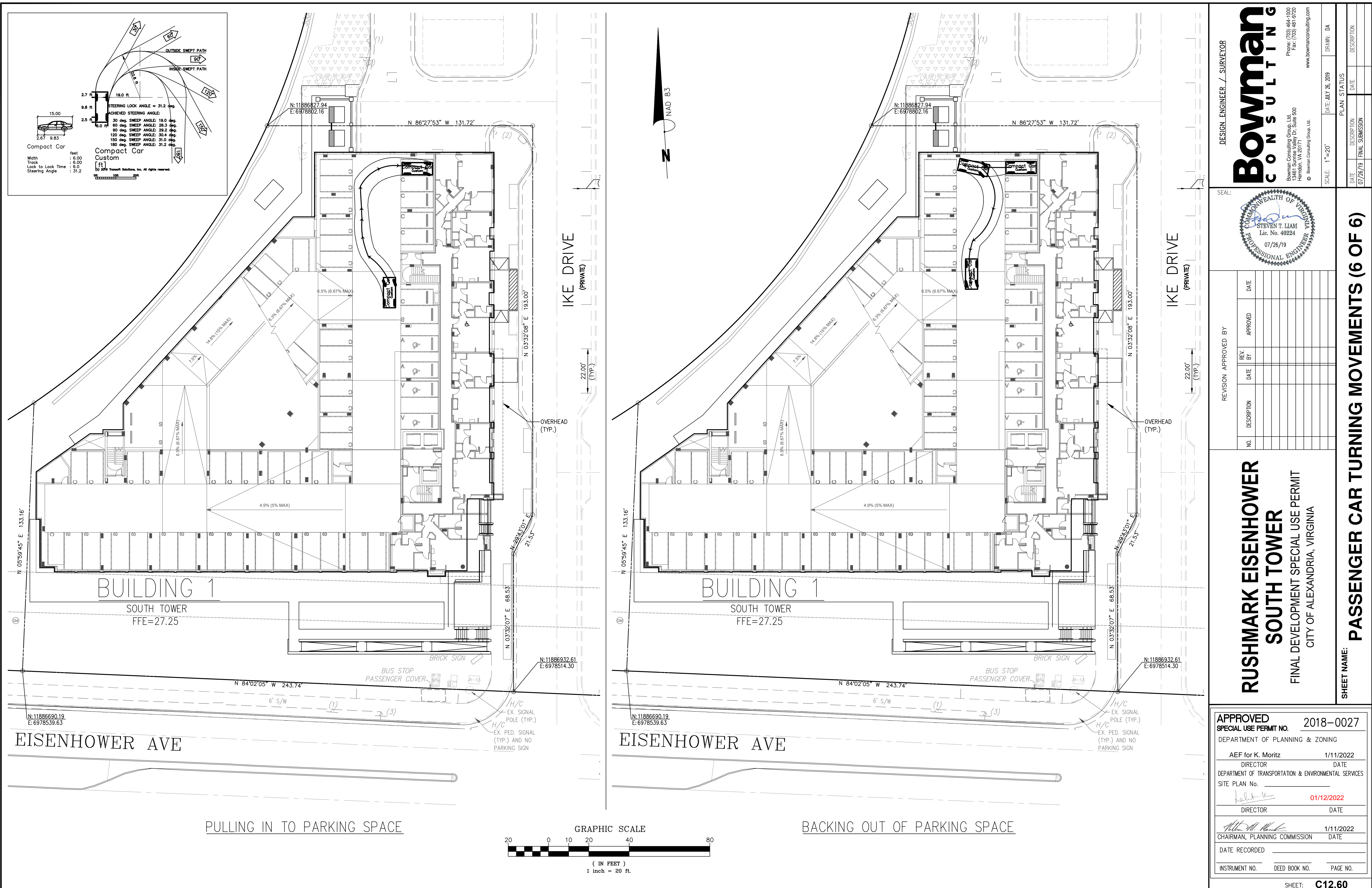
DESIGN ENGINEER / SURVEYOR Bowman CONSULTING Phone: (703) 464-1000 Fax: (703) 461-9720 www.bowmanconsulting.com Bowmar Consulting Group, Ltd. Herndon, VA 20171 © Bowman Consulting Group, Ltd.		SCALE: 1" = 20' DATE: JULY 26, 2019 DRAWN: DA																																																																			
SEAL: 		PLAN STATUS <table border="1" style="width: 100%;"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		DATE	DESCRIPTION	DATE	DESCRIPTION																																																														
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REVISION APPROVED BY <table border="1" style="width: 100%;"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>REV. BY</th> <th>APPROVED</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>		NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE																																																													<p style="font-size: 2em; font-weight: bold; text-align: center;">PASSENGER CAR TURNING MOVEMENTS (2 OF 6)</p>	
NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE																																																																
<p style="font-size: 1.5em; font-weight: bold;">RUSHMARK EISENHOWER SOUTH TOWER</p> <p style="font-weight: bold;">FINAL DEVELOPMENT SPECIAL USE PERMIT CITY OF ALEXANDRIA, VIRGINIA</p>		SHEET NAME:																																																																			

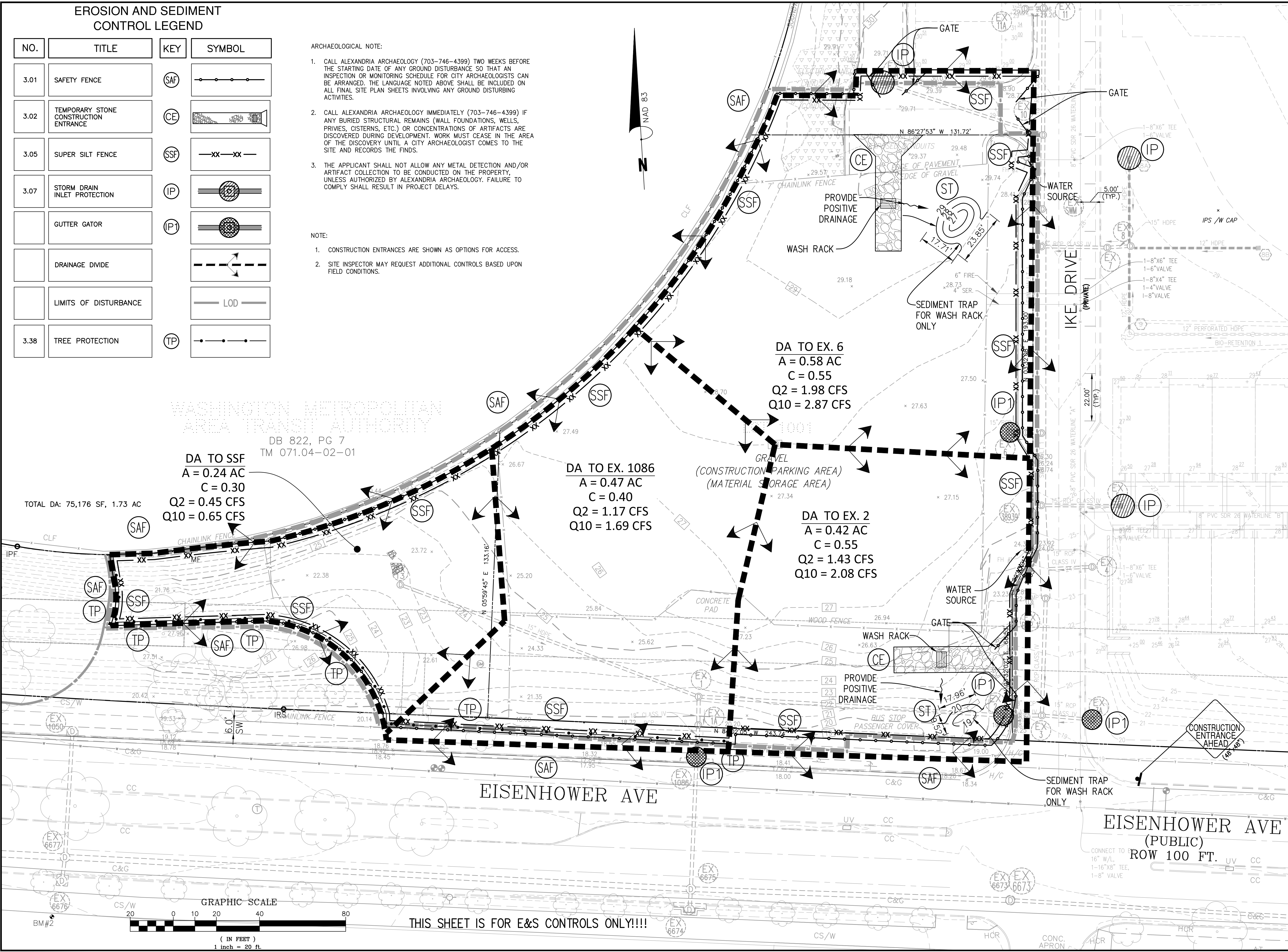
APPROVED SPECIAL USE PERMIT NO. 2018-0027	
DEPARTMENT OF PLANNING & ZONING AEF for K. Moritz 1/11/2022 DIRECTOR DATE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN No. _____ <i>[Signature]</i> 01/12/2022 DIRECTOR DATE <i>[Signature]</i> 1/11/2022 CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED _____ INSTRUMENT NO. DEED BOOK NO. PAGE NO.	



[illegible]

[illegible]





EROSION AND SEDIMENT CONTROL LEGEND			
NO.	TITLE	KEY	SYMBOL
3.01	SAFETY FENCE	SAF	
3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE	
3.05	SUPER SILT FENCE	SSF	
3.07	STORM DRAIN INLET PROTECTION	IP	
	GUTTER GATOR	IP1	
	DRAINAGE DIVIDE		
	LIMITS OF DISTURBANCE		
3.38	TREE PROTECTION	TP	

- ARCHAEOLOGICAL NOTE:
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- NOTE:
1. CONSTRUCTION ENTRANCES ARE SHOWN AS OPTIONS FOR ACCESS.
 2. SITE INSPECTOR MAY REQUEST ADDITIONAL CONTROLS BASED UPON FIELD CONDITIONS.

DESIGN ENGINEER / SURVEYOR

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SEAL:

REVISION		APPROVED BY	
NO.	DESCRIPTION	REV.	DATE

RUSHMARK EISENHOWER SOUTH TOWER

FINAL DEVELOPMENT SPECIAL USE PERMIT

CITY OF ALEXANDRIA, VIRGINIA

APPROVED SPECIAL USE PERMIT NO. 2018-0027

DEPARTMENT OF PLANNING & ZONING

AEF for K. Moritz 1/11/2022

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN No. 01/12/2022

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION 1/11/2022

DATE RECORDED DATE

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

SHEET: C14.00

NO.	TITLE	KEY	SYMBOL
3.01	SAFETY FENCE	(SAF)	
3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	(CE)	
3.05	SUPER SILT FENCE	(SSF)	
3.07	STORM DRAIN INLET PROTECTION	(IP)	
	GUTTER GATOR	(IP1)	
	DRAINAGE DIVIDE		
	LIMITS OF DISTURBANCE		
3.18	STORM DRAIN OUTLET PROTECTION	(OP)	
3.38	TREE PROTECTION	(TP)	

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2. SITE INSPECTOR MAY REQUEST ADDITIONAL CONTROLS BASED UPON FIELD CONDITIONS.

DB 822, PG 7
TM 071.04-02-01

FLOODPLAIN BOUNDARY
ELEVATION = 25'
CLEAN OUT (TYP.) —
WITH CAP

DA TO PROP. 16
A = 0.017 AC
C = 0.60
Q2 = 0.06 CFS
Q10 = 0.09 CFS

DA TO BIO 2
A = 0.76 AC
C = 0.90
Q2 = 4.26 CFS
Q10 = 6.19 CFS

DA TO EX. 6

$A = 0.14 AC$

$C = 0.80$

$Q2 = 0.69 CFS$

$Q10 = 1.00 CFS$

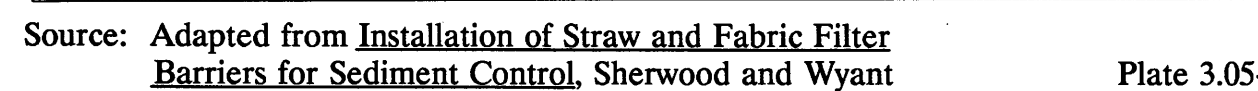
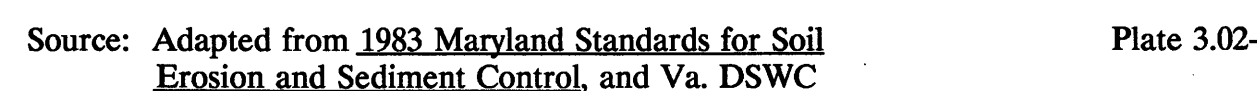
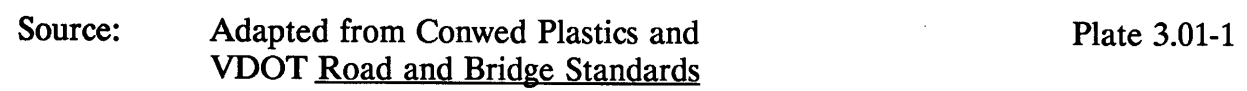
DA TO EX. 1086

A = 0.19 AC
C = 0.50
Q2 = 0.58 CFS
Q10 = 0.84 CFS

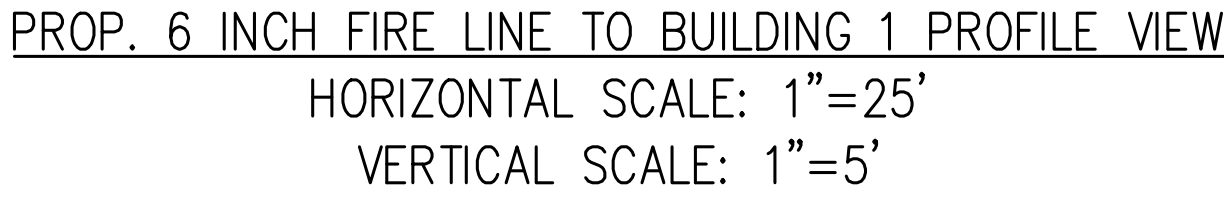
DA TO EX. 2
A = 0.25 AC
C = 0.70
Q2 = 1.07 CFS
Q10 = 1.56 CFS

EISENHOWER AVE
(PUBLIC)
ROW 100 FT.

99

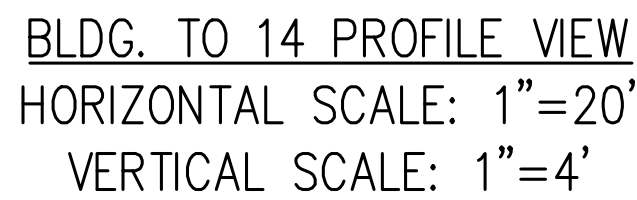
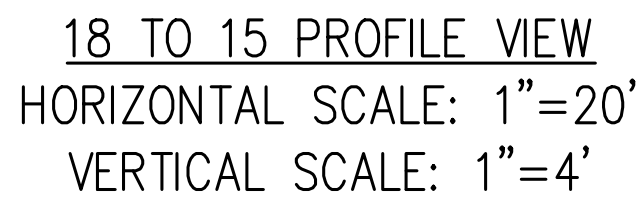


TEMPORARY SEEDING SCHEDULE		
PLANTING DATES	SPECIES	RATE (LBS/AC)
SEPT. 1 – FEB. 15	50/50 MIX OF ANNUAL RYEGRASS (LOLIUM MULTI-FLORUM) AND CEREAL (WINTER) RYE (SECALE CEREALE)	50–100
FEB. 16 – APRIL 30	ANNUAL RYEGRASS (LOLIUM MULTI-FLORUM)	60–100
MAY 1 – AUGUST 31	GERMAN MILLET (SETARIA ITALICA)	50



Cad File Name: P:\8316 - 2901 Eisenhower Ave\8316-01-004 (ENG) - PDSP & FDSUP\Engineering\Plans\Multifamily Bldg South FDSUP\WF_S_2901 Eisenhower Avenue FDSUP\8316-D-CP-004-C16.00-WUP-WATERLINE PROFILES.dwg

SHEET: **C16.00**



STORM SEWER COMPUTATIONS

POST DEVELOPMENT STORM WATER INLET COMPUTATIONS

NOTES:

- SHEET: **C17.00**

APPROVED 2018-0027
SPECIAL USE PERMIT NO.

STORMWATER MANAGEMENT NARRATIVE

THE APPLICANT PROPOSES THE CONSTRUCTION OF TWO (2) MULTIFAMILY RESIDENTIAL BUILDINGS WITH APPROXIMATELY 533 UNITS AND 67 TOWNHOUSES. ADDITIONALLY, PRIVATE ROADS, ALLEYS, AND SUPPORT UTILITY INFRASTRUCTURE IS PROPOSED FOR CONSTRUCTION. THERE ARE NO EXISTING STORMWATER MANAGEMENT FACILITIES ON SITE.

STORMWATER QUALITY:
THE STORMWATER MANAGEMENT FACILITIES PROPOSED FOR THIS PROJECT INCLUDE THE USE OF BIO-RETENTION AND JELLYFISH FILTERS TO ACHIEVE THE REQUIRED PHOSPHORUS REMOVAL AS PER VRRM. PER VRRM, THE REQUIRED PHOSPHORUS REMOVED HAS BEEN MET.

STORMWATER QUANTITY:
THE REQUIRED STORAGE QUANTITY FOR THIS SITE HAS BEEN CALCULATED PER ENERGY BALANCE. SEE THIS SHEET. THE REQUIRED STORAGE VOLUME IS 16,898 CF. STORMWATER QUANTITY SHALL BE ACHIEVED THROUGH DETENTION AND CONTROLLED RELEASE RATES FROM 3 VAULT CONFIGURATIONS AND 2 BIO-RETENTION PONDS. SEE DETAILS FOR MORE INFORMATION. ULTIMATELY, THE TOTAL STORAGE VOLUME PROVIDED ON THIS SITE IS 17,116 CF, THEREFORE, STORMWATER QUANTITY HAS BEEN MET.

THERE ARE THREE OUTFALLS FOR THIS SITE, TWO ALONG THE EAST BOUNDARY OF THE SITE AND ONE ALONG EISENHOWER AVENUE. THE OUTFALLS ARE 15", 18", 21" AND 27" STORM SEWERS.

SWM PHASING NARRATIVE

THE SITE PROPOSES TO STAGGER CONSTRUCTION INTO 3 PHASES. PHASE I SHALL INCLUDE ALL CONSTRUCTION OF TOWNHOUSES AND ALL INFRASTRUCTURE INCLUDED IN THIS PLAN SET. PHASES II AND III SHALL INCLUDE THE CONSTRUCTION OF BUILDINGS 2 & 3 RESPECTIVELY. CORRESPONDING STORMWATER MANAGEMENT SHALL BE CONSTRUCTED DURING PHASE I TO BE BROUGHT ONLINE AT COMPLETION OF REMAINING PHASES.

SOUTH TOWER SITE NARRATIVE

PHASE III INCLUDES THE CONSTRUCTION OF BUILDING 2 AND RELATED INFRASTRUCTURE. CORRESPONDING STORMWATER MANAGEMENT CONSTRUCTED DURING PHASE I OF CONSTRUCTION (APPROVED DSUP 2015-00001) WILL BE BROUGHT ONLINE AT COMPLETION OF PHASE III (SOUTH TOWER DSUP 2018-0027).

THE SOUTH TOWER SITE (DSUP 2018-0027) WILL REMAIN UNDER CONSTRUCTION BY RUSHMARK EISENHOWER LLC. THE CORRESPONDING SWPPP WITH REGISTRATION STATEMENT FOR THE SOUTH TOWER HAS BEEN SUBMITTED TO THE CITY OF ALEXANDRIA, AND THE APPROVED DOCUMENT WILL BE KEPT ON SITE THROUGHOUT CONSTRUCTION.

THE POST-DEVELOPMENT RELEASE, AS SHOWN IN THE SOUTH TOWER OUTFALL COMPUTATIONS ON THIS SHEET, IS 7.66 CFS. THE POST-DEVELOPMENT PEAK FLOW FOR THE BIORETENTION FOR THE SOUTH TOWER PROJECT IS 2.41 CFS FOR THE 2 YEAR AND 3.02 CFS FOR THE 10 YEAR.

SWM Water Quantity Energy Balance Worksheet

SITE AREA (acre)	1-year		10-year	
	PRE	POST (adjusted)	PRE	POST (adjusted)
P	2.7	2.7	5.2	5.2
CN	90.00	92.00	90.00	92.00
S=1000/CN-10	1.11	0.87	1.11	0.87
0.25	0.22	0.17	0.22	0.17
RV=(P-0.25)^(P-0.25)+S	1.71	1.88	4.07	4.28

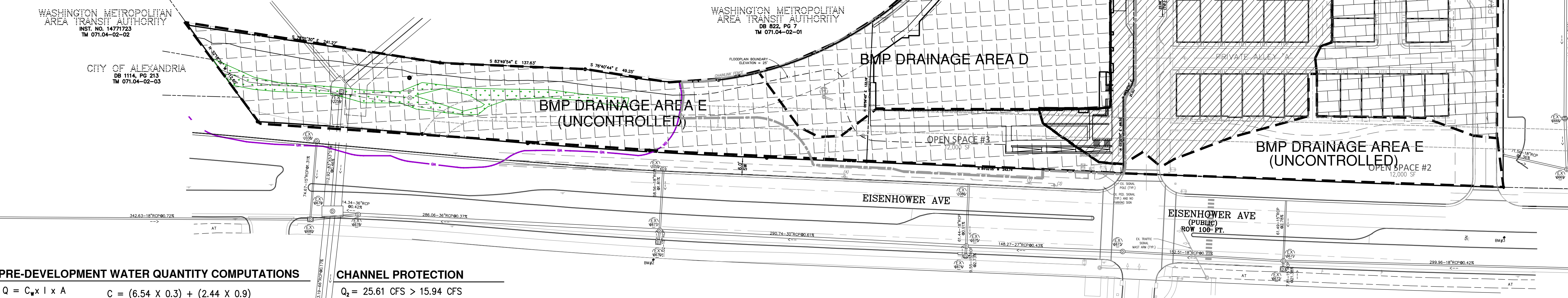
QPost Development <= I.F.* (Qpre-development* RVpre-development)/RVDeveloped)

I.F.	0.8
CHANNEL PROTECTION	
Qpre-development	23.51
QPost Development	25.51
RVPost Development (with runoff reduction)	0.92
Qallowable	34.97

Qallowable/QPost Development	1.37
Vs/Vr	0.18
Vs	0.17
Storage required (cf)	5398

FLOOD CONTROL	
Qpre-development	49.02
QPost Development	50.95
RVPost Development (with runoff reduction)	2.88
Qallowable	69.26

Qallowable/QPost Development	1.36
Vs/Vr	0.18
Vs	0.52
Storage required (cf)	16898



PRE-DEVELOPMENT WATER QUANTITY COMPUTATIONS

Q = C_s x I x A C = (6.54 X 0.3) + (2.44 X 0.9) / 8.98
C = 0.46
Q_iPRE = (0.46 x 6.2 x 8.98 Ac.) = 25.61 CFS
Q_oPRE = (0.46 x 9.0 x 8.98 Ac.) = 37.18 CFS

POST-DEVELOPMENT WATER QUANTITY COMPUTATIONS

Q = C_s x I x A C = (3.04 X .3) + (5.94 X .9) / 8.98
C = 0.70
Q_iPOST = (0.70 x 6.2 x 8.98 Ac.) = 38.97 CFS - 5.94 - 9.66 - 7.43
Q_oPOST = (0.70 x 9.0 x 8.98 Ac.) = 56.57 CFS - 5.94 - 9.66 - 7.43

CHANNEL PROTECTION

Q₂ = 25.61 CFS > 15.94 CFS

FLOOD PROTECTION

Q_o = 37.18 CFS > 33.54 CFS

ALLOWABLE RELEASE RATES

18" OUTFALL = 5.94 CFS
21" OUTFALL = 9.66 CFS
27" OUTFALL = 7.43 CFS

ALEXANDRIA WATER QUALITY VOLUME DEFAULT

WQv = 1815 X IMPERVIOUS AREA (AC.) (0.50 INCH DEPTH)
WQv = 1815 X 5.94 = 10,781 CF REQUIRED

FOR FLOW-THROUGH EACH BMP (1 BMP PER VAULT):

SWM 1 VAULT
I = 1.75 IN/HR (3-MONTH)
Q = C x I x A
= 0.9 x 1.75 x 2.67
= 1.53 CFS
SWM 1 VAULT = 2.43 CFS

SWM 2 VAULT
I = 1.75 IN/HR (3-MONTH)
Q = C x I x A
= 0.9 x 1.75 x 1.61
= 1.53 CFS
SWM 2 VAULT = 2.43 CFS

SWM 3 VAULT
I = 1.75 IN/HR (3-MONTH)
Q = C x I x A
= 0.9 x 1.75 x 2.02
= 1.32 CFS
SWM 3 VAULT = 2.43 CFS

Q = 2.43 + 2.43 = 4.86 CFS PROVIDED (PER DOWNSTREAM DEFENDER)
Q = 4.86 CFS > 2.85 CFS, THEREFORE QUALITY VOLUME IS MET

Project Description

Development or Redevelopment

BMP TREATMENT AREA

Drainage Area	Impervious	Pervious	Total
Site Area	5.790	3.190	8.980
On-Site Treated	5.740	1.620	7.360
Off-Site Treated	0.000	0.000	0.000
Total Treated/Retained	5.740	1.620	7.360
Total Undetained	0.050	1.570	1.620

Water Treatment on site

BMP Type	Area Treated by BMP (acres)	Impervious area treated by BMP (acres)	Treated efficiency %
ADS Bayfilter	5.750	4.840	50.00%
Bio-Retention	1.610	0.900	50.00%

Miscellaneous

Total WQV Treated: YES
Detention on site: YES

Project is within which watershed: Cameron Run
Project discharges to which body of water? Cameron Run

SOUTH TOWER OUTFALL COMPUTATIONS

PRE-DEVELOPMENT

AREA = 2.67 CFS + 1.06 CFS
= 3.73 CFS

Q_{PRE} = C x I x A
= 0.46 x 9 x 3.73
= 15.44 CFS

Q_{POST} = RELEASE FROM VAULT 1 + RELEASE FROM BIORETENTION POND
= 4.64 CFS + 3.02 CFS
= 7.66 CFS

STORMWATER QUALITY NARRATIVE

THE RUSHMARK EISENHOWER SOUTH TOWER SITE SHALL COMPLY WITH ARTICLE XIII OF THE CITY OF ALEXANDRIA ZONING ORDINANCE FOR CHANNEL AND FLOOD PROTECTION AND ALL OTHER APPLICABLE CITY, STATE, AND FEDERAL STORMWATER MANAGEMENT GUIDELINES. THE SOUTH TOWER SITE PROPOSES THE USE OF 1 BIORETENTION TO BE LOCATED AT THE OUTFALLS OF THE SITE.

RPA NOTE

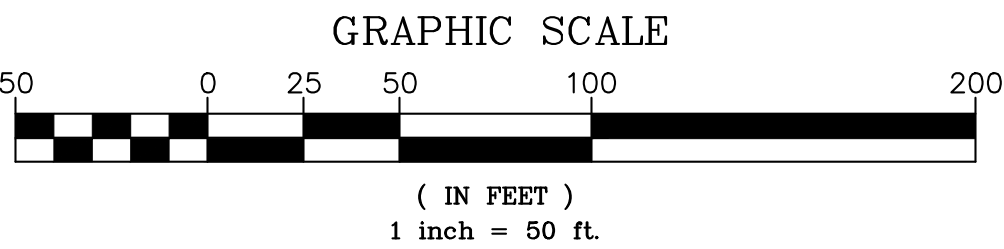
THE REDEVELOPMENT AREA LOCATED WITHIN THE EXISTING RPA ZONE ALONG EISENHOWER AVENUE SHALL CONSIST OF ONLY WORK WITHIN THE RIGHT-OF-WAY. ALL DISTURBED AND PROPOSED WORK IS LIMITED TO REPLACEMENT OF THE CONCRETE SIDEWALK AND RESPECTIVE TREE VEGETATION.

THE APPLICANT VERIFIES THE FOLLOWING ABOUT THE SITE AT THE ABOVE LOCATION FOR A REDEVELOPMENT, IN LINE WITH CITY OF ALEXANDRIA CODE FOR ENVIRONMENTAL MANAGEMENT, ARTICLE XIII:

- THERE IS NO INCREASE IN IMPERVIOUS SURFACE COVER.
- THERE IS NO FURTHER ENCRoACHMENT WITHIN THE RPA.
- THE PROPOSED REDEVELOPMENT IS CONSISTENT WITH THE CITY MASTER PLAN.

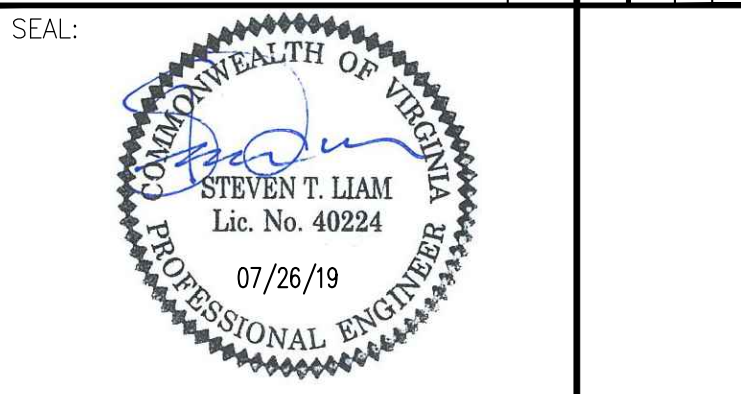
LEGEND

- DRAINAGE AREA A
- DRAINAGE AREA B
- DRAINAGE AREA C
- DRAINAGE AREA D



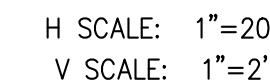
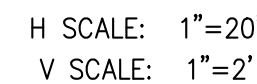
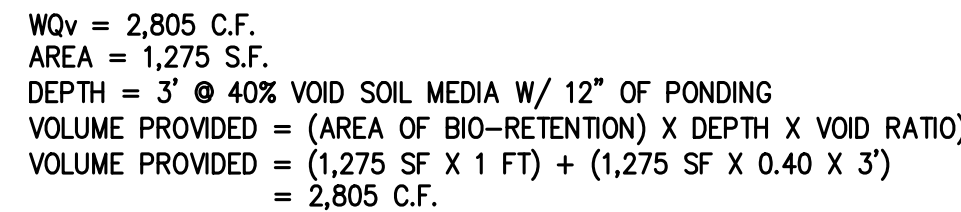
APPROVED SPECIAL USE PERMIT NO. 2018-0027
DEPARTMENT OF PLANNING & ZONING
AEF for K. Moritz 1/11/2022
DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. 01/12/2022
DIRECTOR DATE
CHAIRMAN, PLANNING COMMISSION 1/11/2022
DATE RECORDED DATE
INSTRUMENT NO. DEED BOOK NO. PAGE NO.
SHEET: C18.00

DESIGN ENGINEER / SURVEYOR
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© Bowman Consulting Group, Ltd.
STEVEN T. LIAM
Lic. No. 40224
07/26/19
SCALE: 1"=50'
DATE: JULY 26, 2019
DRAWN: DA
PLAN STATUS
DATE DESCRIPTION DATE
07/26/19 FINAL SUBMISSION



REVISION APPROVED BY		REVISION APPROVED BY	
NO.	DESCRIPTION	DATE	APPROVED

RUSHMARK EISENHOWER SOUTH TOWER
FINAL DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA
SHEET NAME: STORMWATER MANAGEMENT PLAN



Enter Total Disturbed Area (acres) →	8.98
Maximum reduction required:	20%
The site's net increase in impervious cover (acres) is:	3.35
Post-Development TP Load Reduction for Site (lb/yr):	7.20

Post-Development Land Cover (acres)					
	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested				1.12	1.12
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				2.07	2.07
Impervious Cover (acres)				5.79	5.79
Area Check	OK.	OK.	OK.	OK.	8.98

Land Cover Summary-Pre		
Pre-ReDevelopment	Listed	Adjusted ¹
Forest/Open Space Cover (acres)	1.74	1.12
Weighted Rv(forest)	0.05	0.05
% Forest	19%	20%
Managed Turf Cover (acres)	4.80	2.07
Weighted Rv(turf)	0.25	0.25
% Managed Turf	53%	37%
Impervious Cover (acres)	2.44	2.44
Rv(impervious)	0.95	0.95
% impervious	27%	43%
Total Site Area (acres)	8.98	5.63
Site Rv	0.40	0.51

Land Cover Summary-Post (Final)	
Post ReDev. & New Improvements	
Forest/Open Space Cover (acres)	1.12
Weighted Rv(forest)	0.05
% Forest	12%
Managed Turf Cover (acres)	2.07
Weighted Rv (turf)	0.25
% Managed Turf	23%
Impervious Cover (acres)	5.79
Rv(impervious)	0.95
% Impervious	64%
Final Site Area (acres)	9.88
Final Post Dev Site Rv	0.68

Land Cover Summary	
Post-ReDeve Impervious	
Forest/Open Space Cover (acres)	
Weighted Rv(forest)	
% Forest	
Managed Turf Cover (acres)	
Weighted Rv (turf)	
% Managed Turf	
ReDev. Impervious Cover (acres)	
Rv(Impervious)	
% Impervious	
Total ReDeve. Site Area (acres)	
ReDev Site Rv	

Pre-Post	Land Cover S
Percent	Post-Development
1.12	
0.05	
20%	
2.07	
0.25	
37%	
2.44	
0.95	New Impervious Cov (acres)
43%	Rv(impervious)
5.63	
0.51	

1.32

Summary-Post	
Net New Impervious	
er	3.35
	0.95

TP	7.26
	11,552
	0.2652

n	5.88
---	------

Site Compliance Summary

Pre-ReDevelopment Land Cover (acres)					
	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested				1.74	1.74
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				4.80	4.80
Impervious Cover (acres)				2.44	2.44
					8.98

Post-Development Land Cover (acres)					
	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested				1.12	1.12
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				2.07	2.07
Impervious Cover (acres)				5.79	5.79

Maximum % Reduction Required Below Pre-ReDevelopment Load		20%
-----------------------------------------------------------	--	-----

Total Runoff Volume Reduction (ft ³)	2,998
Total TP Load Reduction Achieved (lb/yr)	7.61
Total TN Load Reduction Achieved (lb/yr)	15.48
Remaining Post Development TP Load (lb/yr)	6.24
Remaining TP Load Reduction (lb/yr) Required	0.00

** TARGET TP R

TECHNOLOGY DEVELOPMENT

Pre-Post	Land Cover S
Percent	Post-Development
1.12	
0.05	
20%	
2.07	
0.25	
37%	
2.44	
0.95	New Impervious Cov (acres)
43%	Rv(impervious)
5.63	
0.51	

Nutrient Load	
0.2410	Post-Development Treatment Volume (acre-ft)
10,436	Post-Development Treatment Volume (cubic feet)
6.59	Post-Development Load (lb/yr)
1.17	
20%	

1.32

	Practice	Runoff Reduction Credit (%)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft³)	Runoff Reduction (ft³)	Remaining Runoff Volume (ft³)	Total BMP Treatment Volume (ft³)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (lb)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed By Practice (lb)	Remaining Phosphorus Load (lb)	Downstream Practice to be Employed
	6. Bioretention (RR)													
DA. A	6.b. Bioretention #2 or Micro-Bioretention #2 (Spec #9)	80	0.40	0.15	0	704	176	880	50	0.00	0.55	0.50	0.06	
DA. D	6.b. Bioretention #2 or Micro-Bioretention #2 (Spec #9)	80	0.31	0.75	0	2,294	574	2,868	50	0.00	1.80	1.62	0.18	
	14. Manufactured Treatment Devices (no RR)													
VAULT 1	14.b. Manufactured Treatment Device-Filtering	0	0.44	1.68	0	0	6,193	6,193	50	0.00	3.89	1.94	1.94	
VAULT 2	14.b. Manufactured Treatment Device-Filtering	0	0.05	1.56	0	0	5,425	5,425	50	0.00	3.40	1.70	1.70	
VAULT 3	14.b. Manufactured Treatment Device-Filtering	0	0.42	1.60	0	0	5,899	5,899	50	0.00	3.70	1.85	1.85	

	Practice	Runoff Reduction Credit (%)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft³)	Runoff Reduction (ft³)	Remaining Runoff Volume (ft³)	Total BMP Treatment Volume (ft³)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (lb)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed By Practice (lb)	Remaining Phosphorus Load (lb)	Downstream Practice to be Employed
	6. Bioretention (RR)													
DA. A	6.b. Bioretention #2 or Micro-Bioretention #2 (Spec #9)	80	0.40	0.15	0	704	176	880	50	0.00	0.55	0.50	0.06	
DA. D	6.b. Bioretention #2 or Micro-Bioretention #2 (Spec #9)	80	0.31	0.75	0	2,294	574	2,868	50	0.00	1.80	1.62	0.18	

		14. Manufactured Treatment Devices (no RR)												
VAULT 1	14.b. Manufactured Treatment Device-Filtering	0	0.44	1.68	0	0	6,193	6,193	50	0.00	3.89	1.94	1.94	
	14.b. Manufactured Treatment Device-Filtering	0	0.05	1.56	0	0	5,425	5,425	50	0.00	3.40	1.70	1.70	
VAULT 2	14.b. Manufactured Treatment Device-Filtering	0	0.42	1.60	0	0	5,899	5,899	50	0.00	3.70	1.85	1.85	
	14.b. Manufactured Treatment Device-Filtering	0	0.05	1.56	0	0	5,425	5,425	50	0.00	3.40	1.70	1.70	
VAULT 3	14.b. Manufactured Treatment Device-Filtering	0	0.42	1.60	0	0	5,899	5,899	50	0.00	3.70	1.85	1.85	
	14.b. Manufactured Treatment Device-Filtering	0	0.05	1.56	0	0	5,425	5,425	50	0.00	3.40	1.70	1.70	

Drainage Area A		A Soils	B Soils	C Soils	D Soils	Total Area (acres): 2.67
Forest/Open Space -- undisturbed, protected forest/open space or reforested land	Area (acres)	0.00	0.00	0.00	0.00	Runoff Reduction Volume (ft³): 704
	CN	30	55	70	77	
Managed Turf -- disturbed, graded for yards or other turf to be mowed/managed	Area (acres)	0.00	0.00	0.00	0.84	
	CN	39	61	74	80	
Impervious Cover	Area (acres)	0.00	0.00	0.00	1.83	
	CN	98	98	98	98	
					CN (D.A. A)	
					92	
		1-year storm	2-year storm	10-year storm		
RV _{Developed} (watershed-inch) with no Runoff Reduction*		1.88	2.35	4.28		
RV _{Developed} (watershed-inch) with Runoff Reduction*		1.81	2.28	4.21		
Adjusted CN*		91	91	91		

Drainage Area B		A Soils	B Soils	C Soils	D Soils	Total Area (acres): 1.61
Forest/Open Space -- undisturbed, protected forest/open space or reforested land	Area (acres)	0.00	0.00	0.00	0.00	Runoff Reduction Volume (ft³): 0
	CN	30	55	70	77	
Managed Turf -- disturbed, graded for yards or other turf to be mowed/managed	Area (acres)	0.00	0.00	0.00	0.05	
	CN	39	61	74	80	
Impervious Cover	Area (acres)	0.00	0.00	0.00	1.56	
	CN	98	98	98	98	
					CN (D.A. B)	
					97	
		1-year storm	2-year storm	10-year storm		
RV _{Developed} (watershed-inch) with no Runoff Reduction*		2.36	2.86	4.85		
RV _{Developed} (watershed-inch) with Runoff Reduction*		2.36	2.86	4.85		
Adjusted CN*		97	97	97		

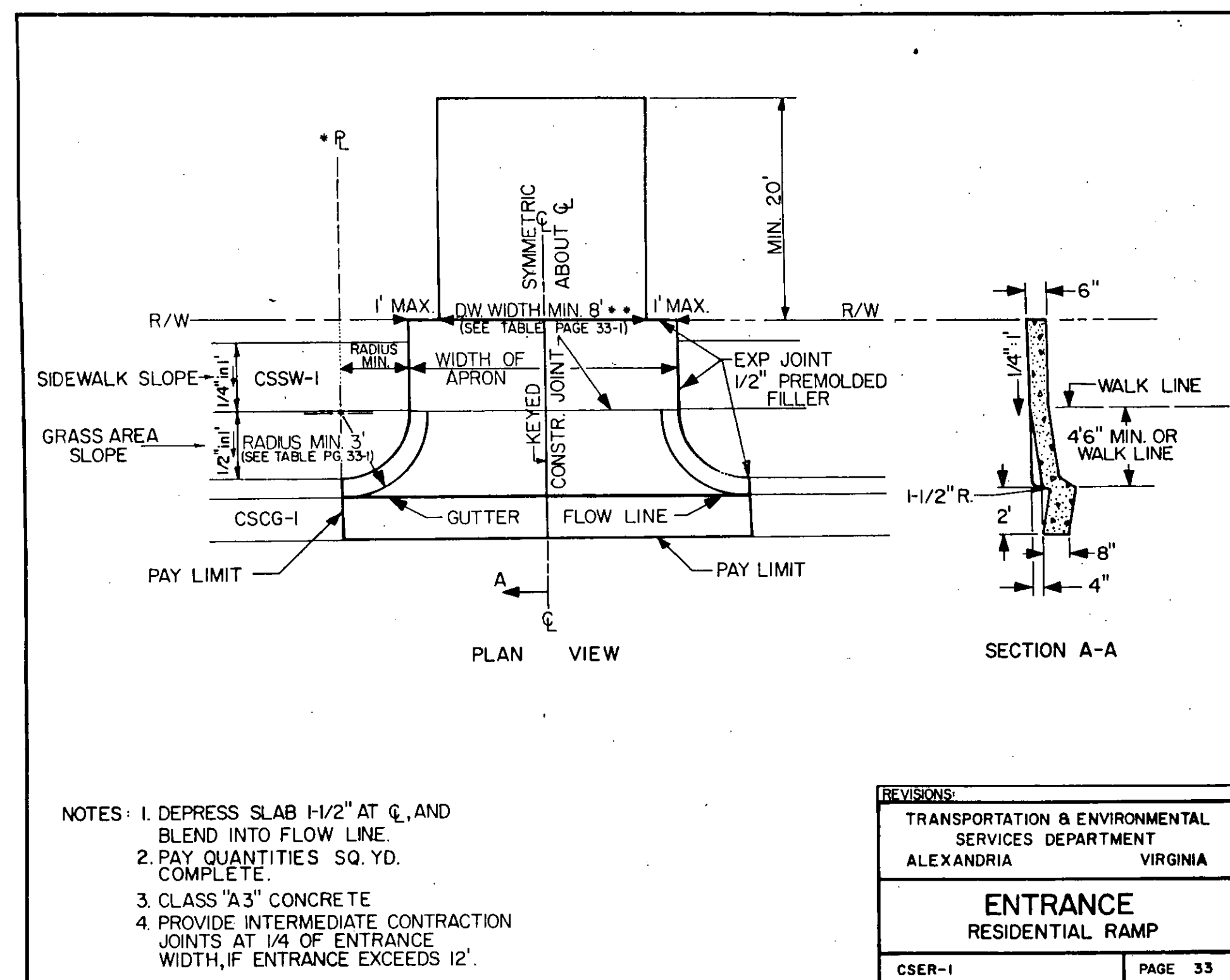
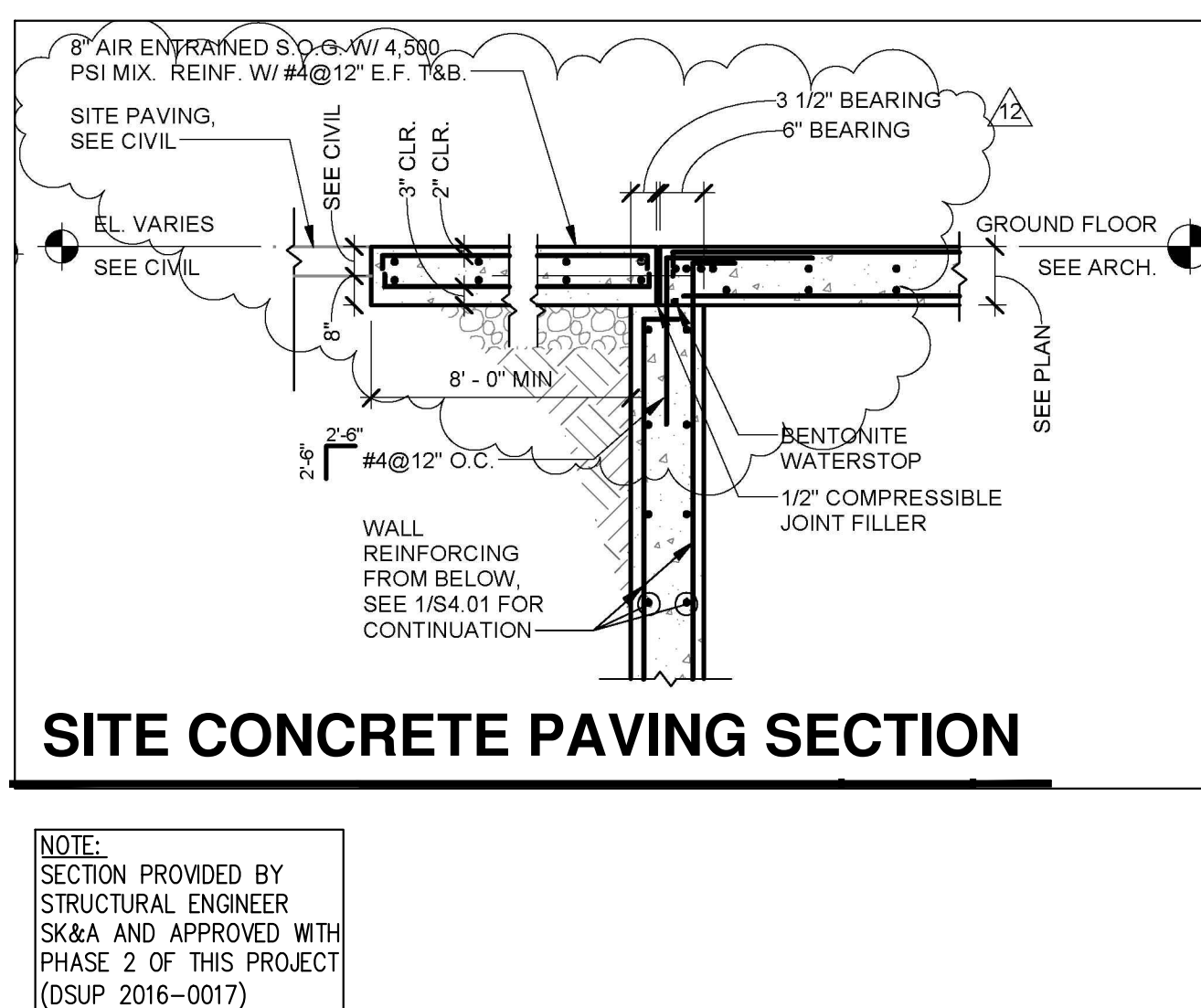
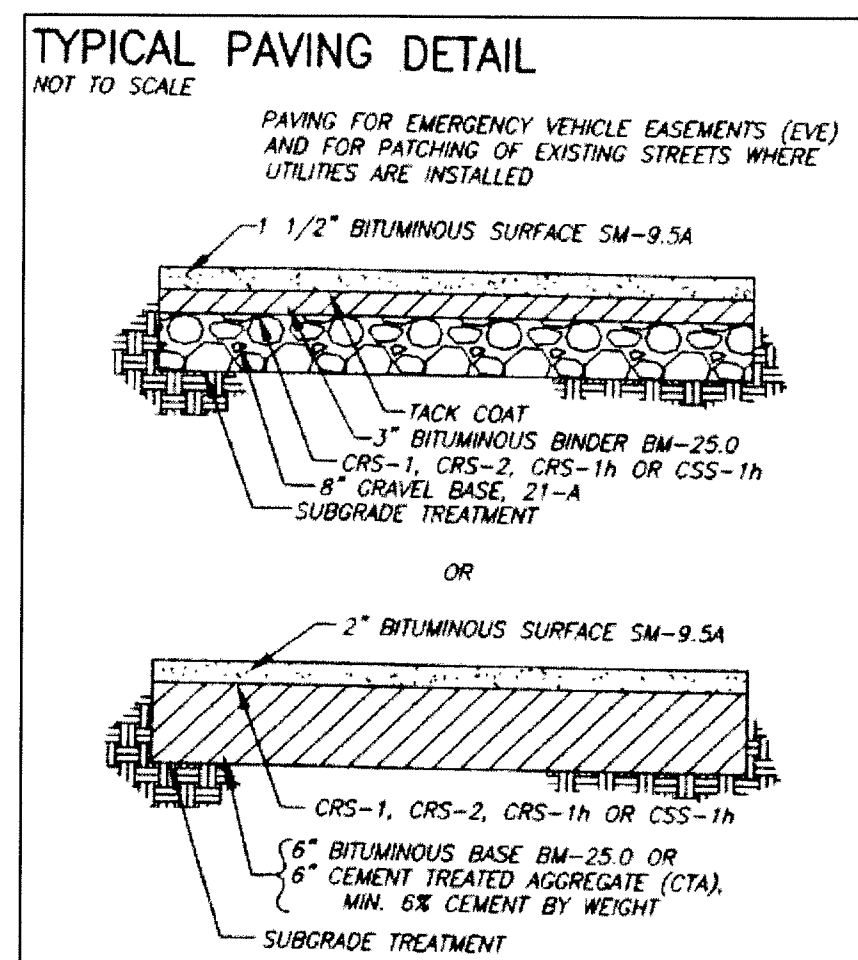
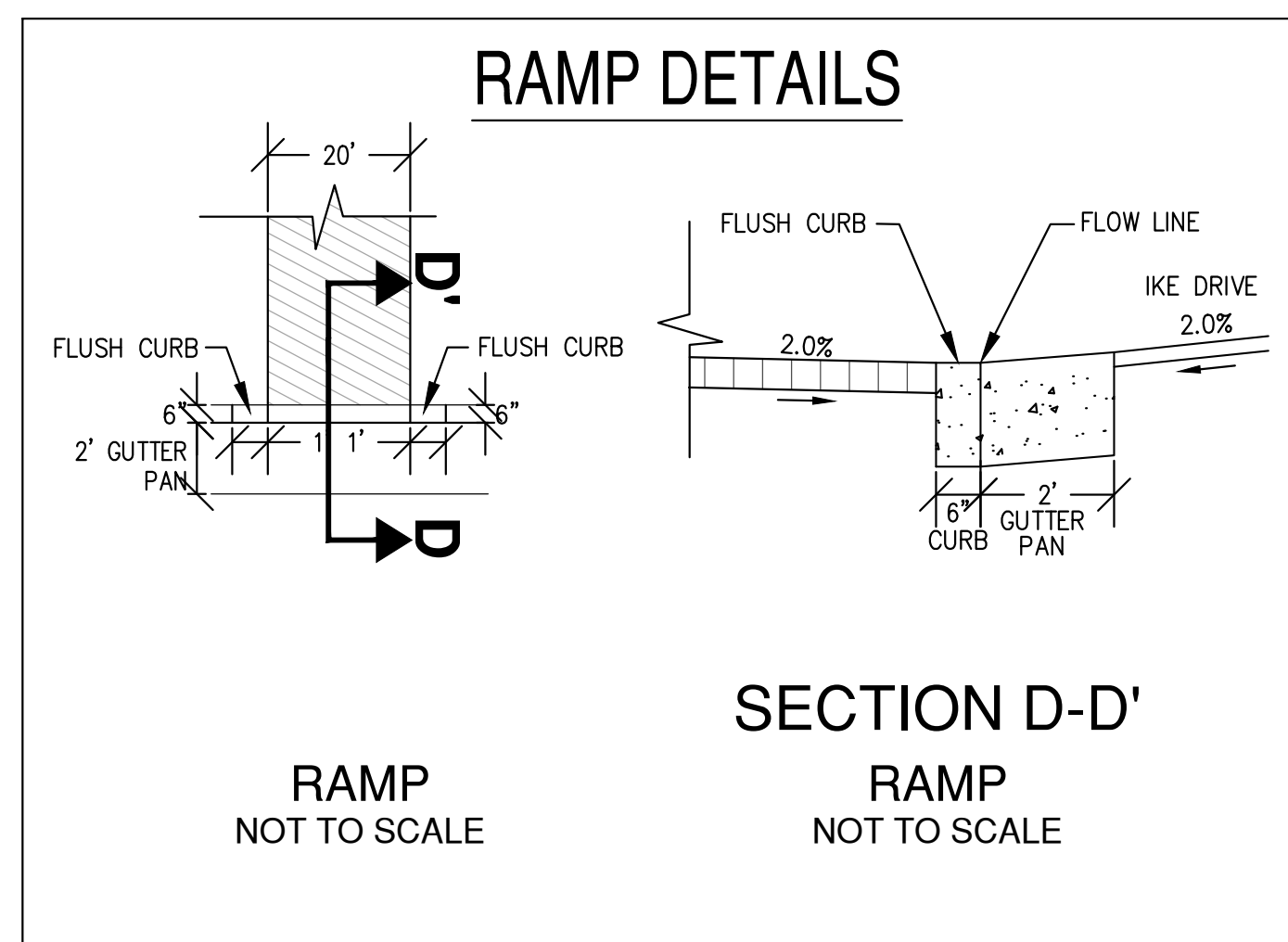
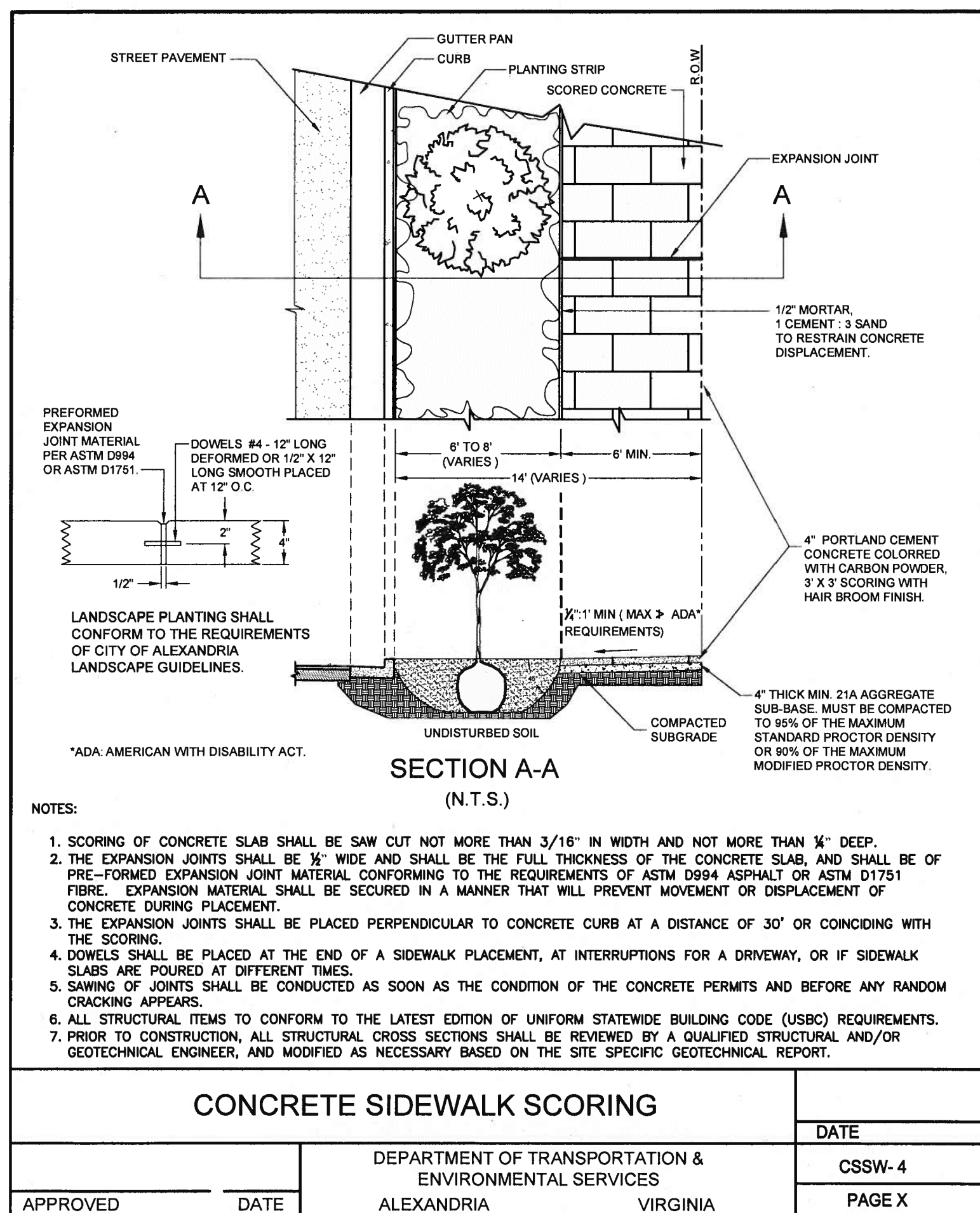
Drainage Area C		A Soils	B Soils	C Soils	D Soils	Total Area (acres): 2.02
Forest/Open Space -- undisturbed, protected forest/open space or reforested land	Area (acres)	0.00	0.00	0.00	0.00	Runoff Reduction Volume (ft³): 0
	CN	30	55	70	77	
Managed Turf -- disturbed, graded for yards or other turf to be mowed/managed	Area (acres)	0.00	0.00	0.00	0.42	
	CN	39	61	74	80	
Impervious Cover	Area (acres)	0.00	0.00	0.00	1.60	
	CN	98	98	98	98	
					CN (D.A. C)	
					94	
		1-year storm	2-year storm	10-year storm		
RV _{Developed} (watershed-inch) with no Runoff Reduction*		2.06	2.54	4.51		
RV _{Developed} (watershed-inch) with Runoff Reduction*		2.06	2.54	4.51		
Adjusted CN*		94	94	94		

Drainage Area D		A Soils	B Soils	C Soils	D Soils	Total Area (acres): 1.06
Forest/Open Space -- undisturbed, protected forest/open space or reforested land	Area (acres)	0.00	0.00	0.00	0.00	Runoff Reduction Volume (ft³): 2,294
	CN	30	55	70	77	
Managed Turf -- disturbed, graded for yards or other turf to be mowed/managed	Area (acres)	0.00	0.00	0.00	0.31	
	CN	39	61	74	80	
Impervious Cover	Area (acres)	0.00	0.00	0.00	0.75	
	CN	98	98	98	98	
					CN (D.A. D)	
					93	
		1-year storm	2-year storm	10-year storm		
RV _{Developed} (watershed-inch) with no Runoff Reduction*		1.97	2.45	4.39		
RV _{Developed} (watershed-inch) with Runoff Reduction*		1.37	1.85	3.80		
Adjusted CN*		85	86	87		

Drainage Area E		A Soils	B Soils	C Soils	D Soils	Total Area (acres): 1.62
Forest/Open Space -- undisturbed, protected forest/open space or reforested land	Area (acres)	0.00	0.00	0.00	1.12	Runoff Reduction Volume (ft³): 0
	CN	30	55	70	77	
Managed Turf -- disturbed, graded for yards or other turf to be mowed/managed	Area (acres)	0.00	0.00	0.00	0.45	
	CN	39	61	74	80	
Impervious Cover	Area (acres)	0.00	0.00	0.00	0.05	
	CN	98	98	98	98	
					CN (D.A. E)	
					78	
		1-year storm	2-year storm	10-year storm		
RV _{Developed} (watershed-inch) with no Runoff Reduction*		0.92	1.27	2.88		
RV _{Developed} (watershed-inch) with Runoff Reduction*		0.92	1.27	2.88		
Adjusted CN*		78	78	78		

Nitrogen Removal Efficiency (%)	Nitrogen Load from Upstream Practices (lbs)	Untreated Nitrogen Load to Practice (lbs)	Nitrogen Removed By Practice (lbs)	Remaining Nitrogen Load (lbs)
6. Bioretention (RR)				
60	0.00	3.95	3.64	0.32
60	0.00	12.87	11.84	1.03
14. Manufactured BMP (no RR)				
0	0.00	27.80	0.00	27.80
0	0.00	24.36	0.00	24.36
0	0.00	26.48	0.00	26.48

[illegible]



DESIGN ENGINEER / SURVEYOR

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Fax: 1(409)-481-9200


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Suite 200
Herdon, VA 20171

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www.bowmanconsulting.com

SCALE: N/A DATE: JULY 26, 2019 DRAWN: DA

SEAL:



REVISION APPROVED BY

No.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

RUSHMARK EISENHOWER SOUTH TOWER

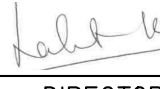
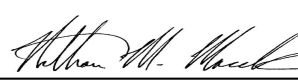
FINAL DEVELOPMENT SPECIAL USE PERMIT CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME:

DETAILS (1 OF 4)

APPROVED
SPECIAL USE PERMIT NO. 2018-0027

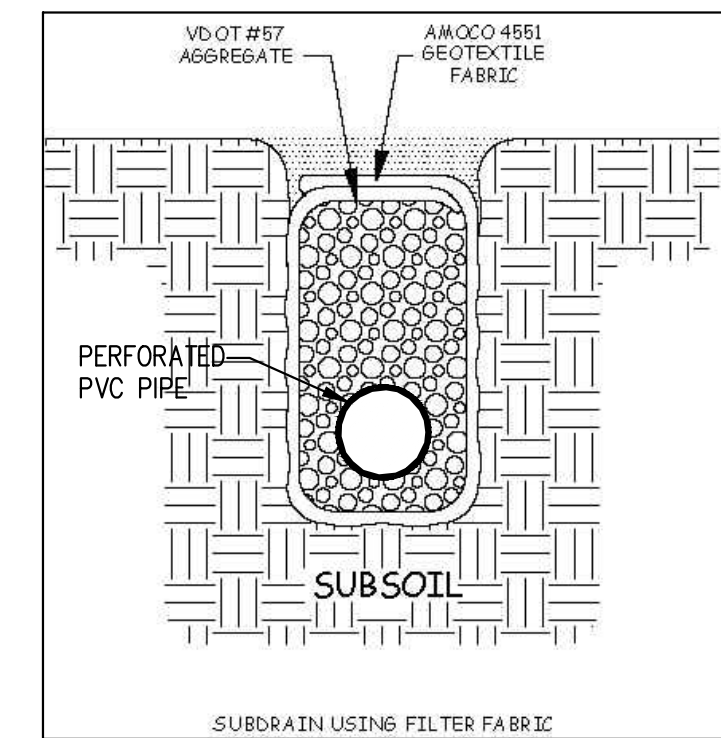
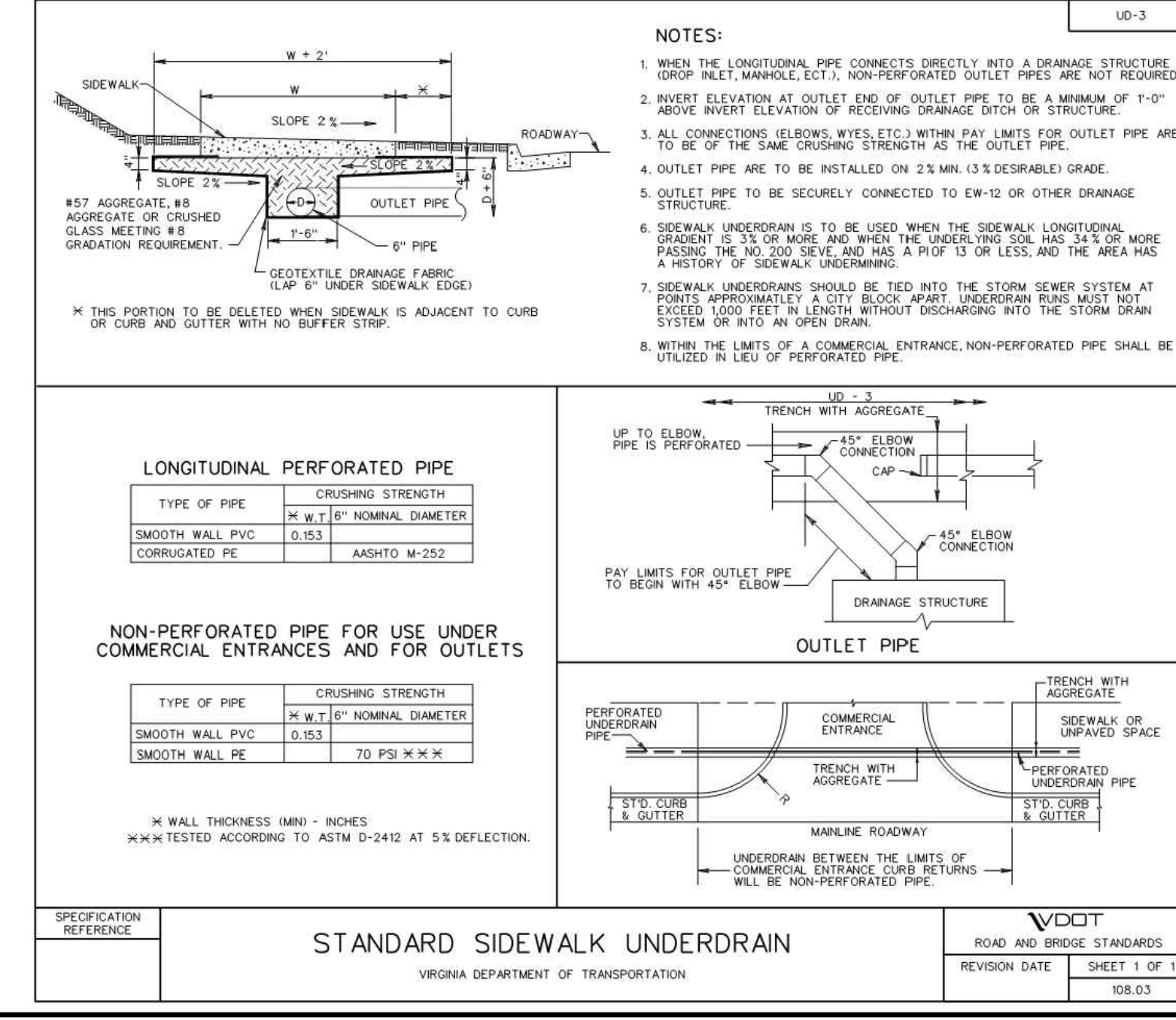
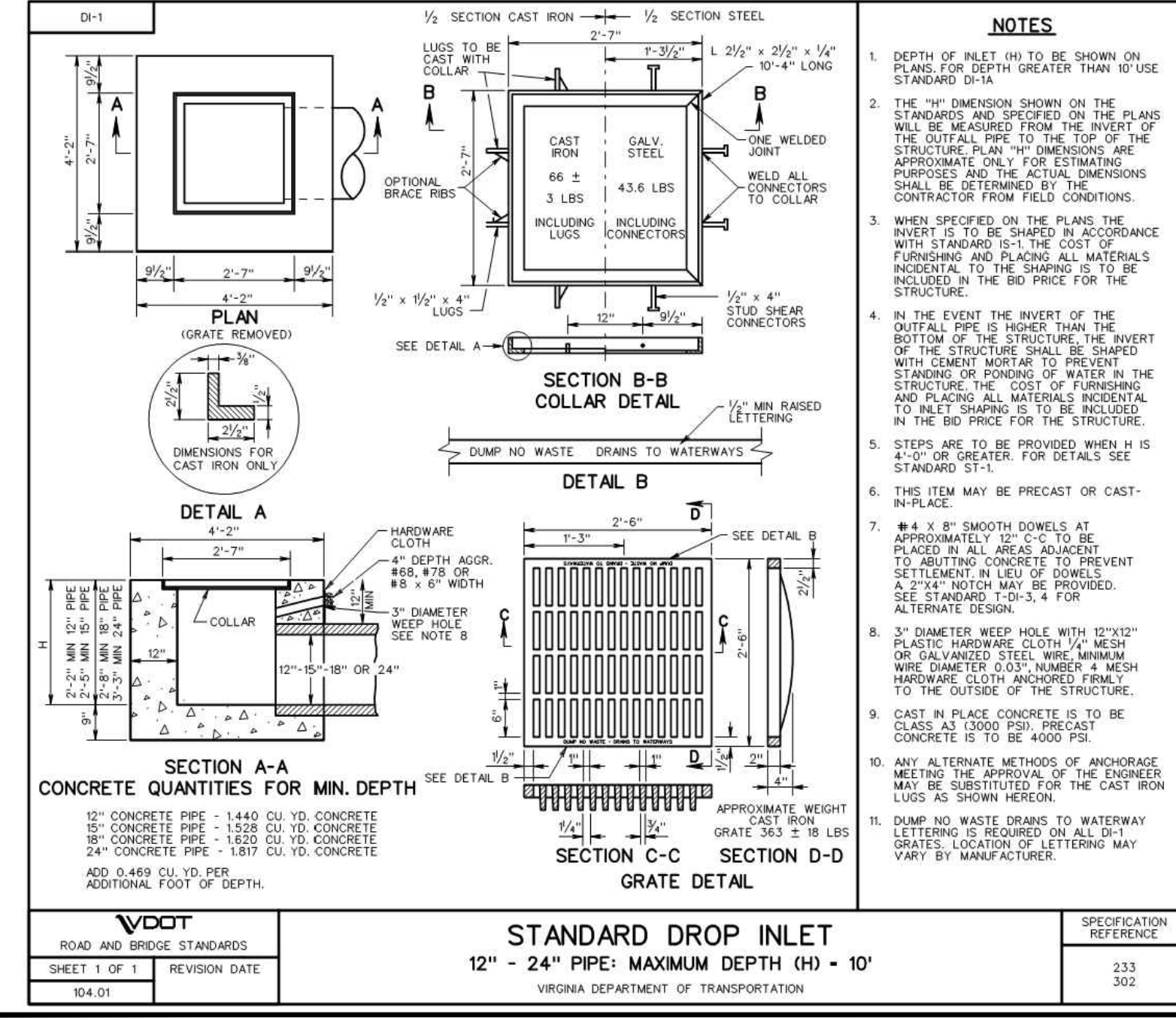
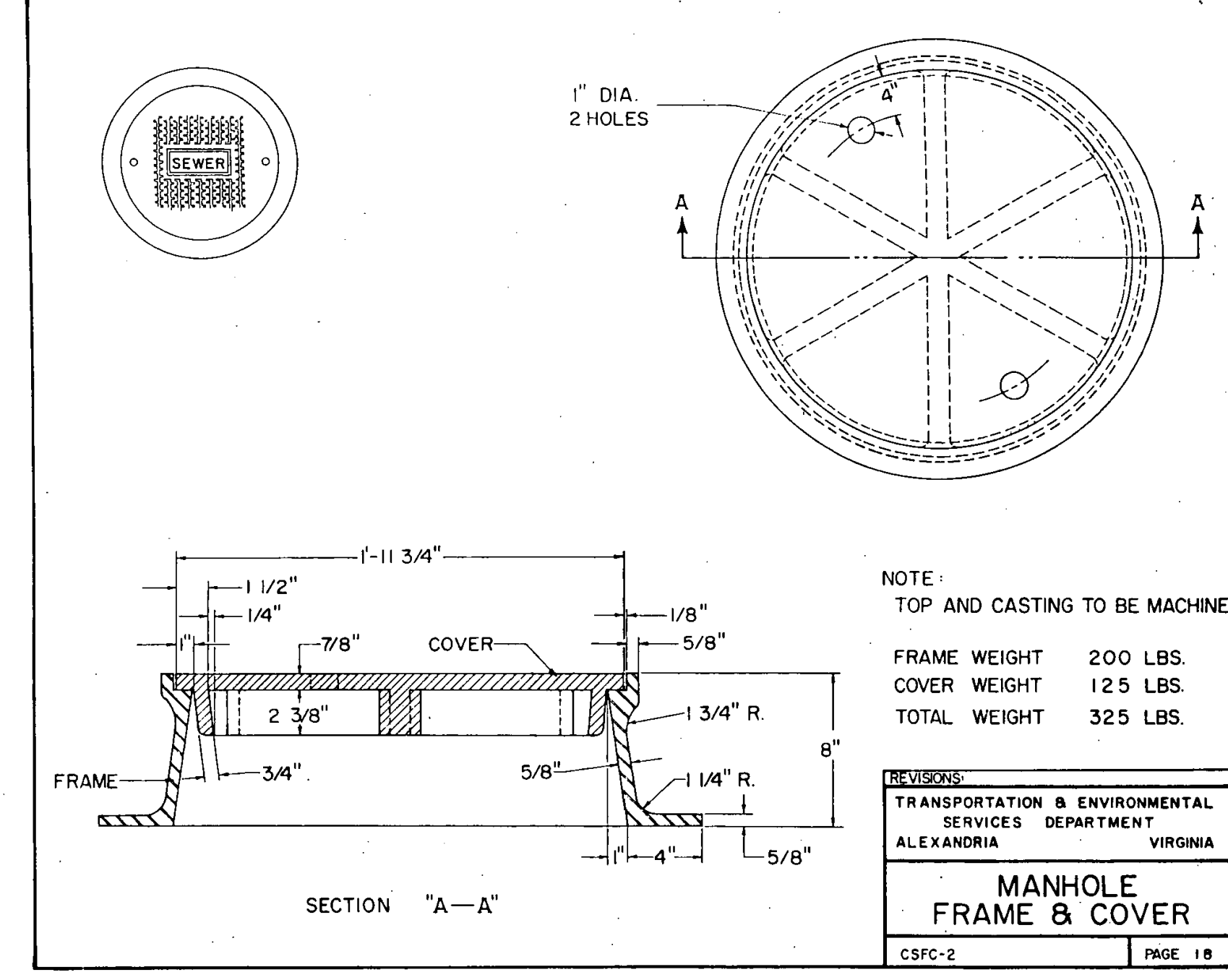
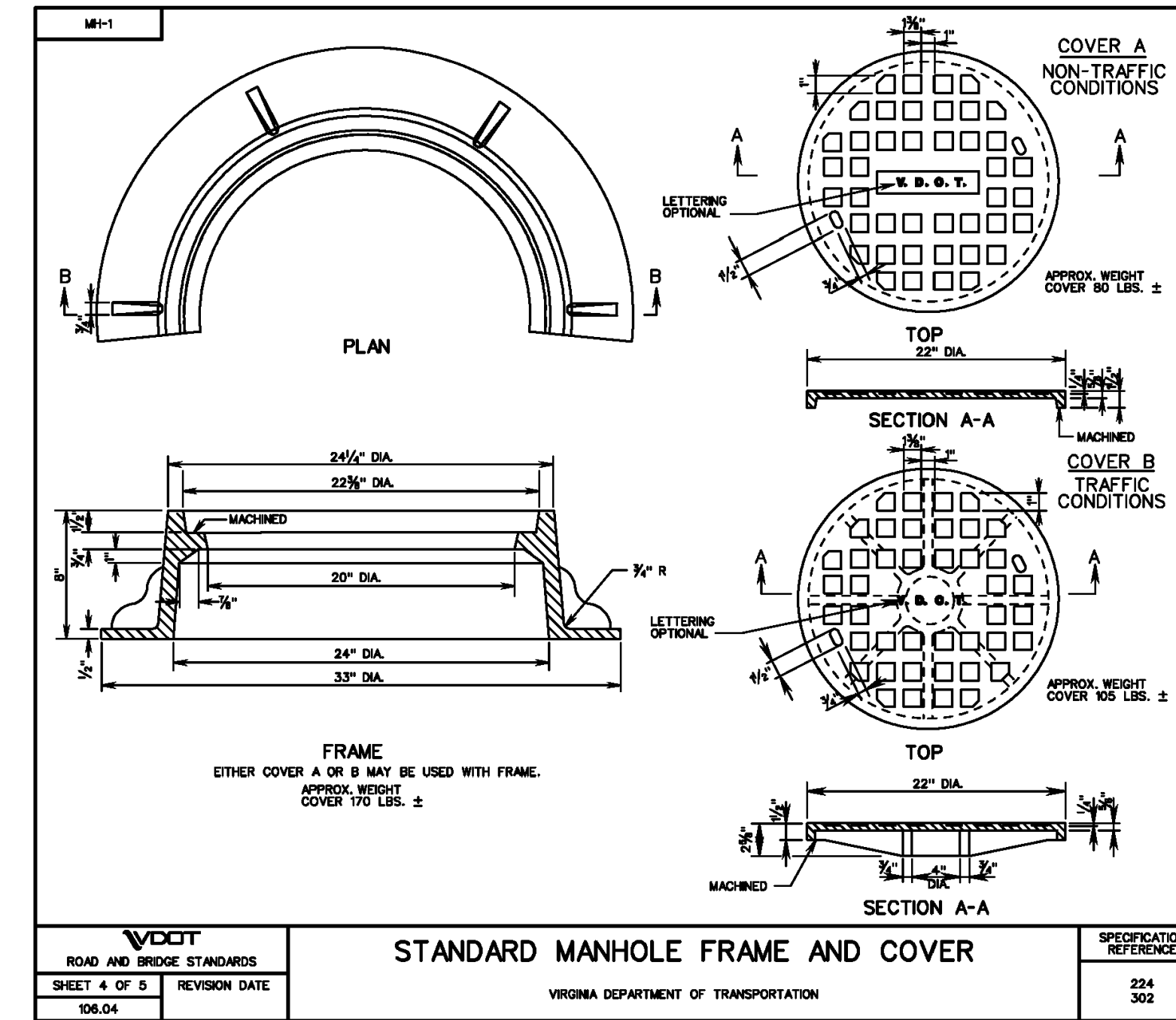
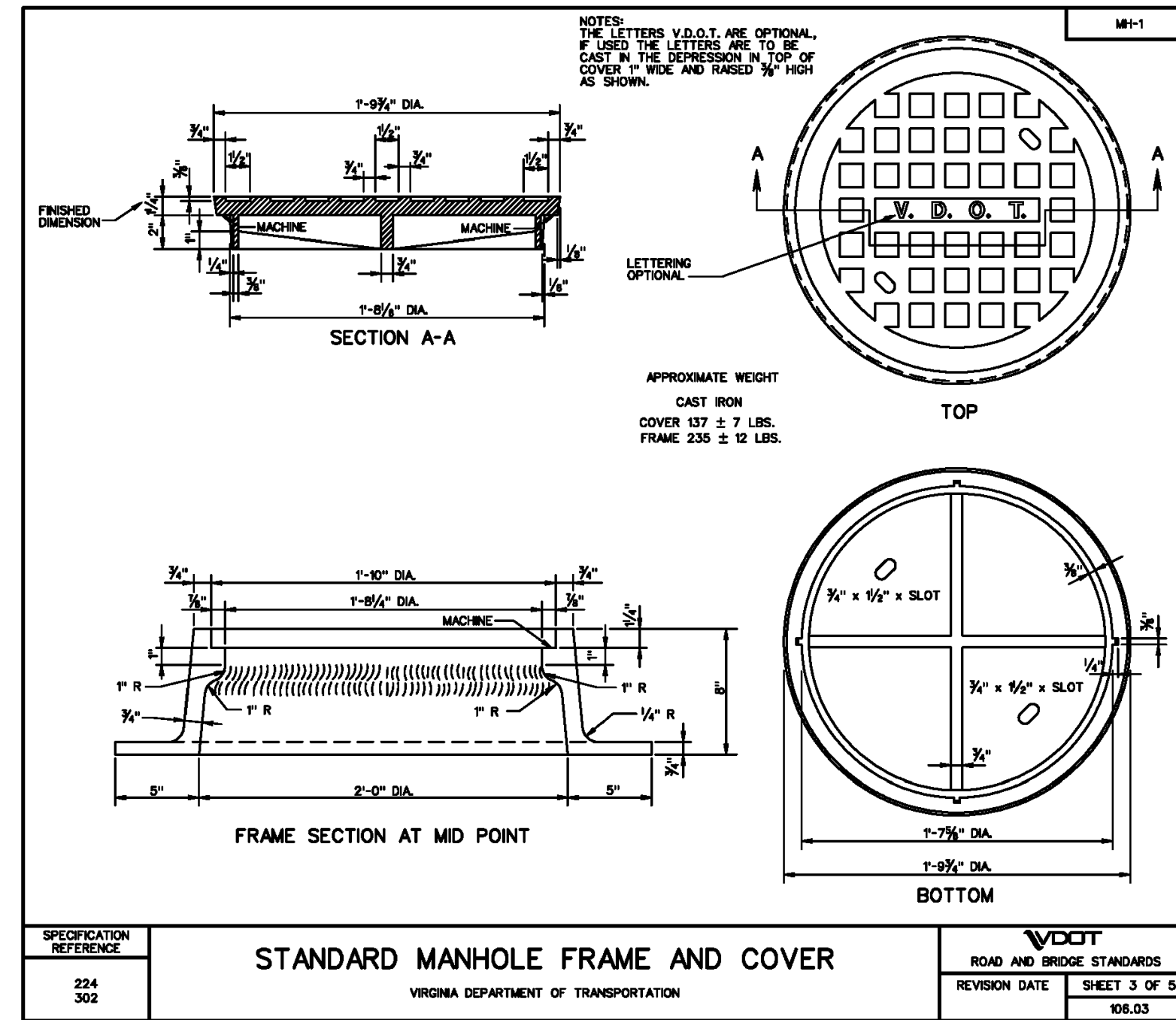
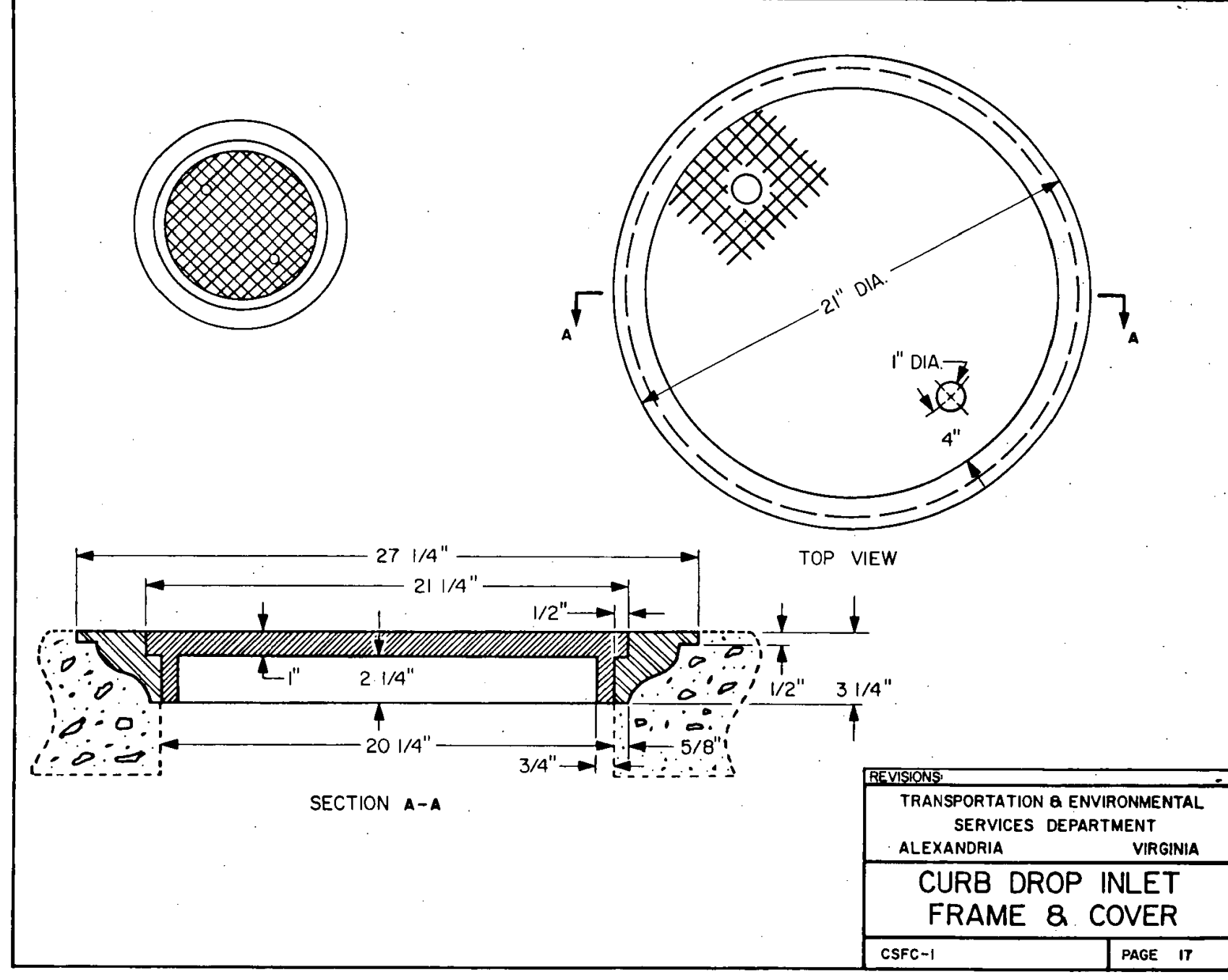
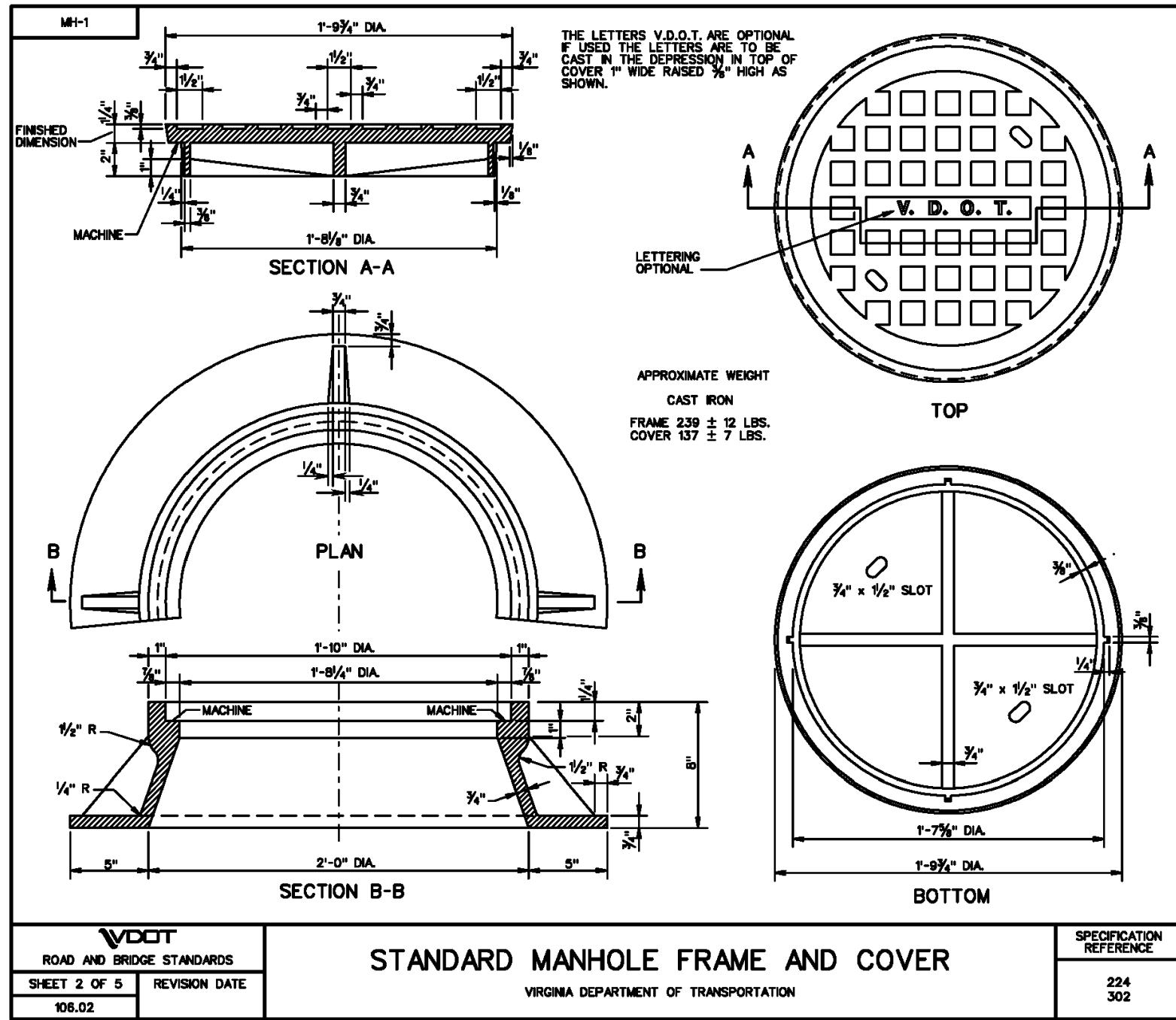
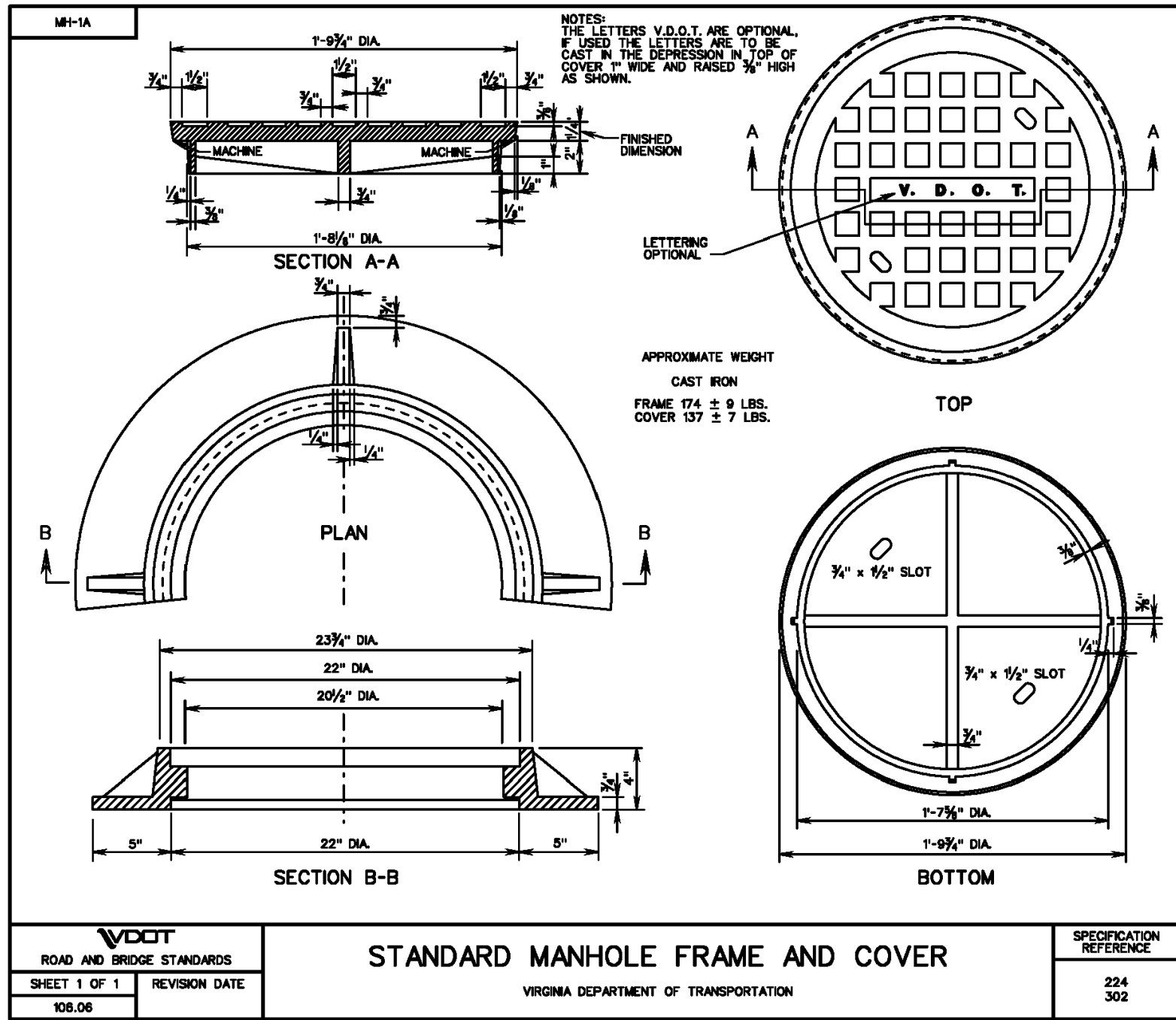
DEPARTMENT OF PLANNING & ZONING

AEF for K. Moritz 1/11/2022
DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____
 01/12/2022
DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION 1/11/2022 DATE
DATE RECORDED _____
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

DIVISION OF LAND MANAGEMENT AND CONSERVATION

CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO.: C20.00



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STEVEN T. LIAM
Lic. No. 40224
07/26/19
PROFESSIONAL ENGINEER

DATE	DESCRIPTION	DATE	PLAN STATUS
07/26/19	FINAL SUBMISSION		

REVISION APPROVED BY

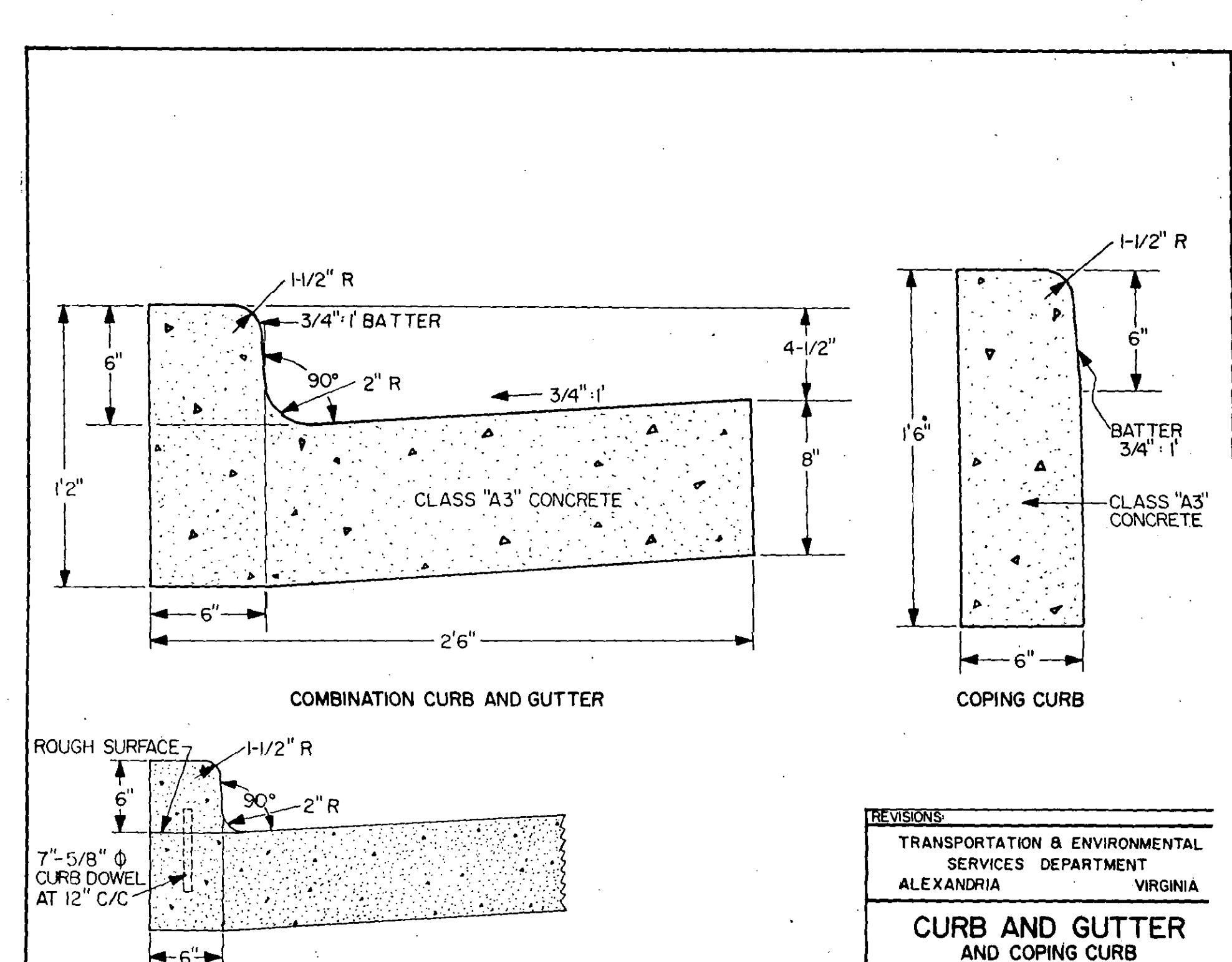
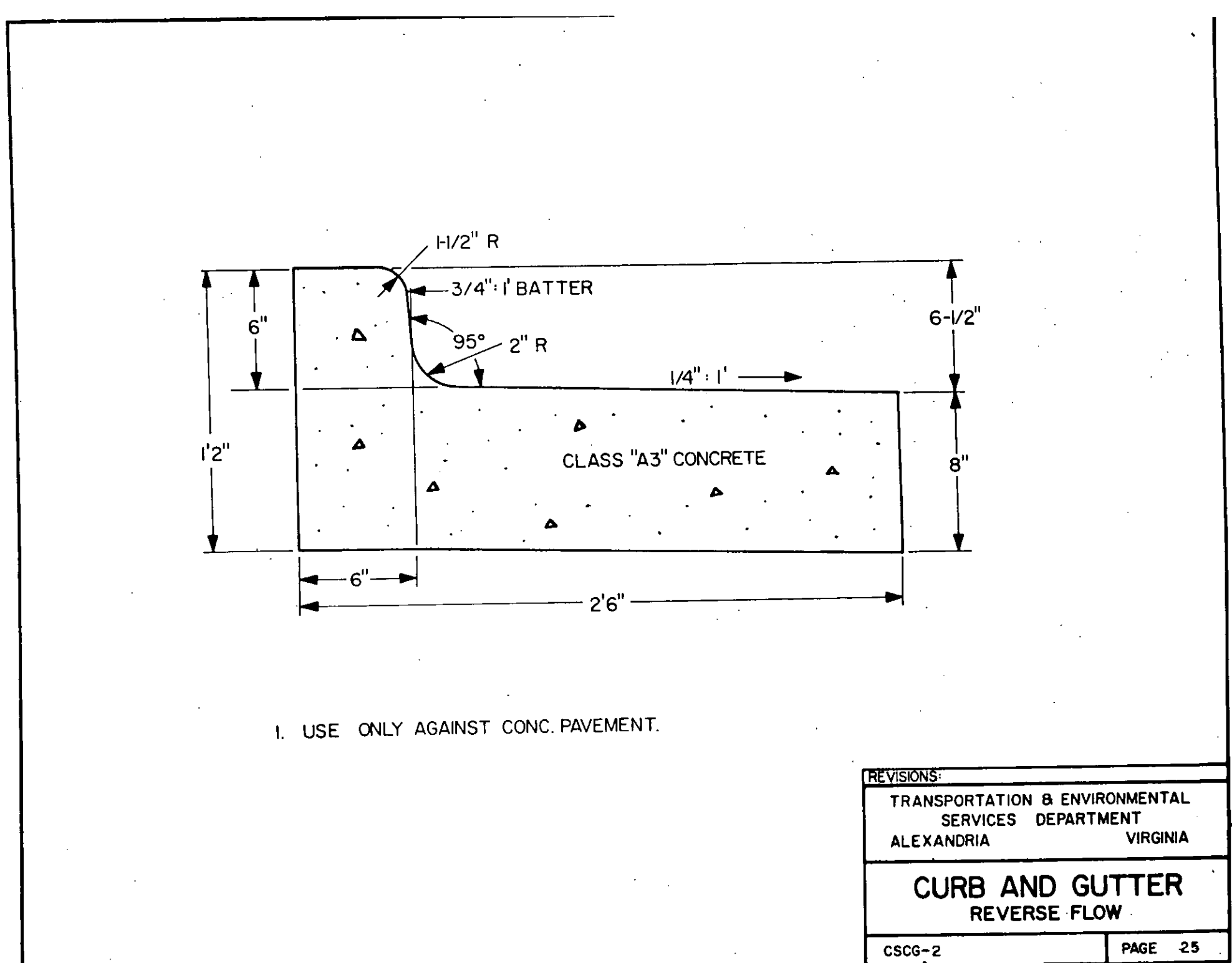
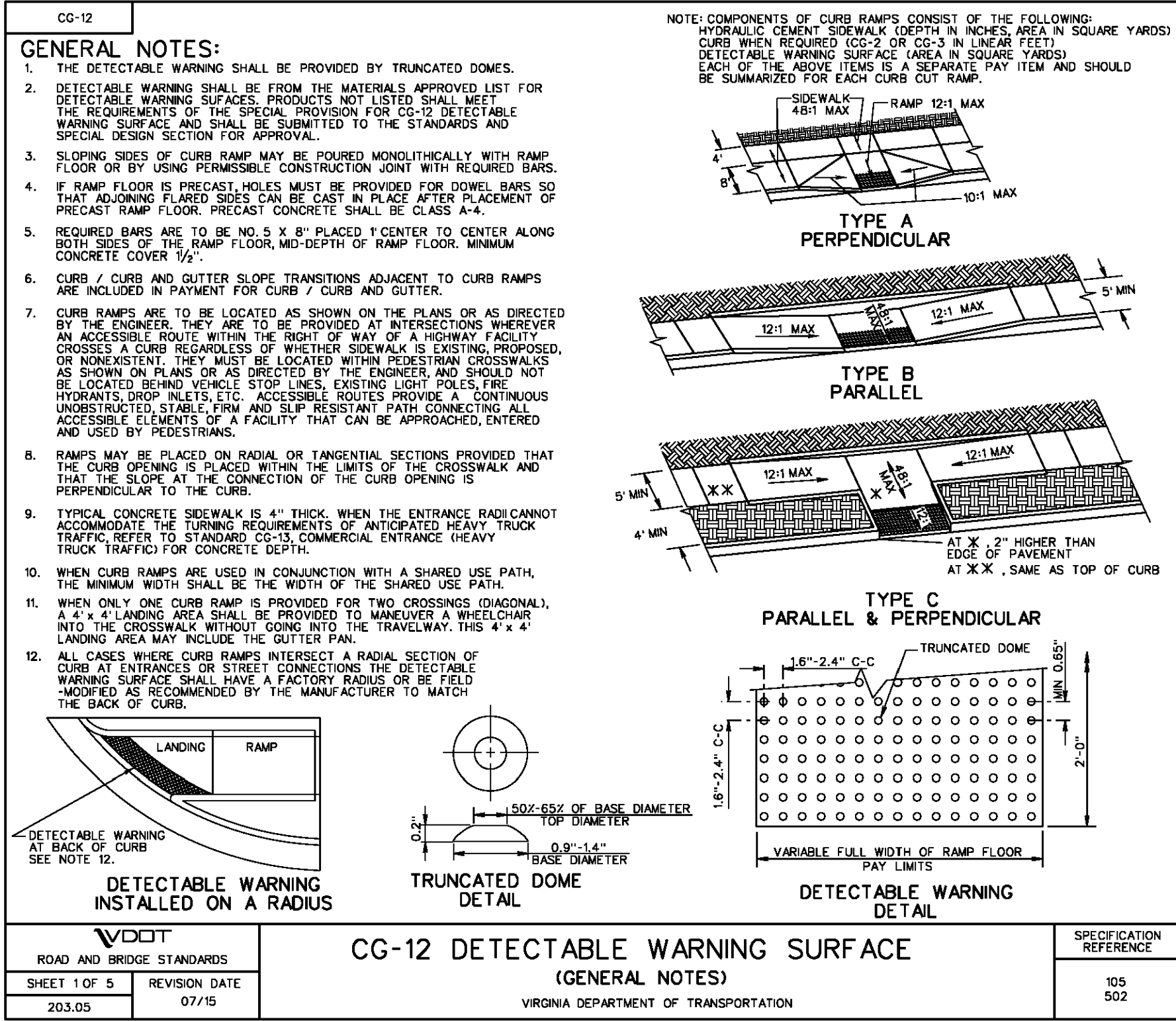
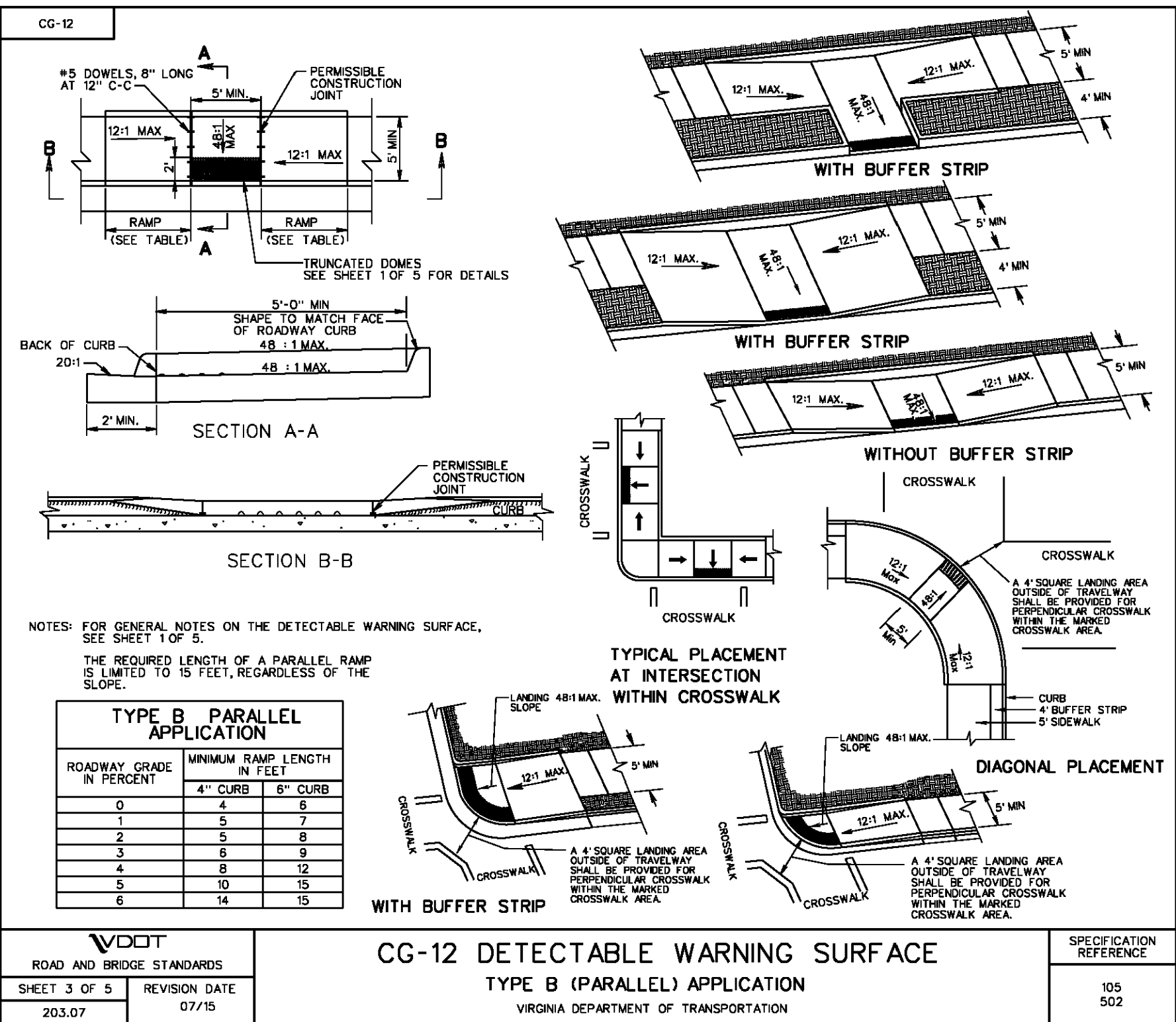
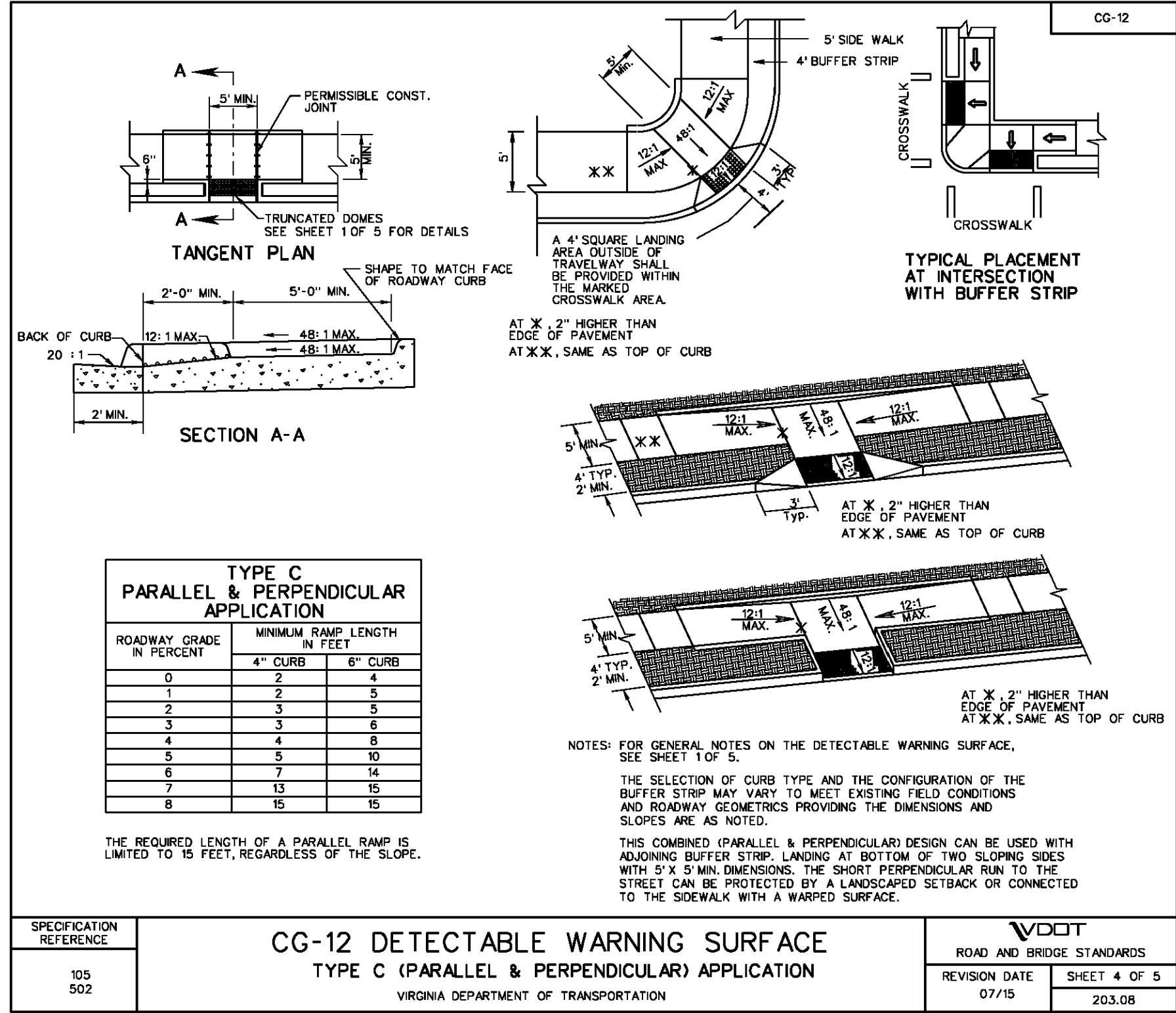
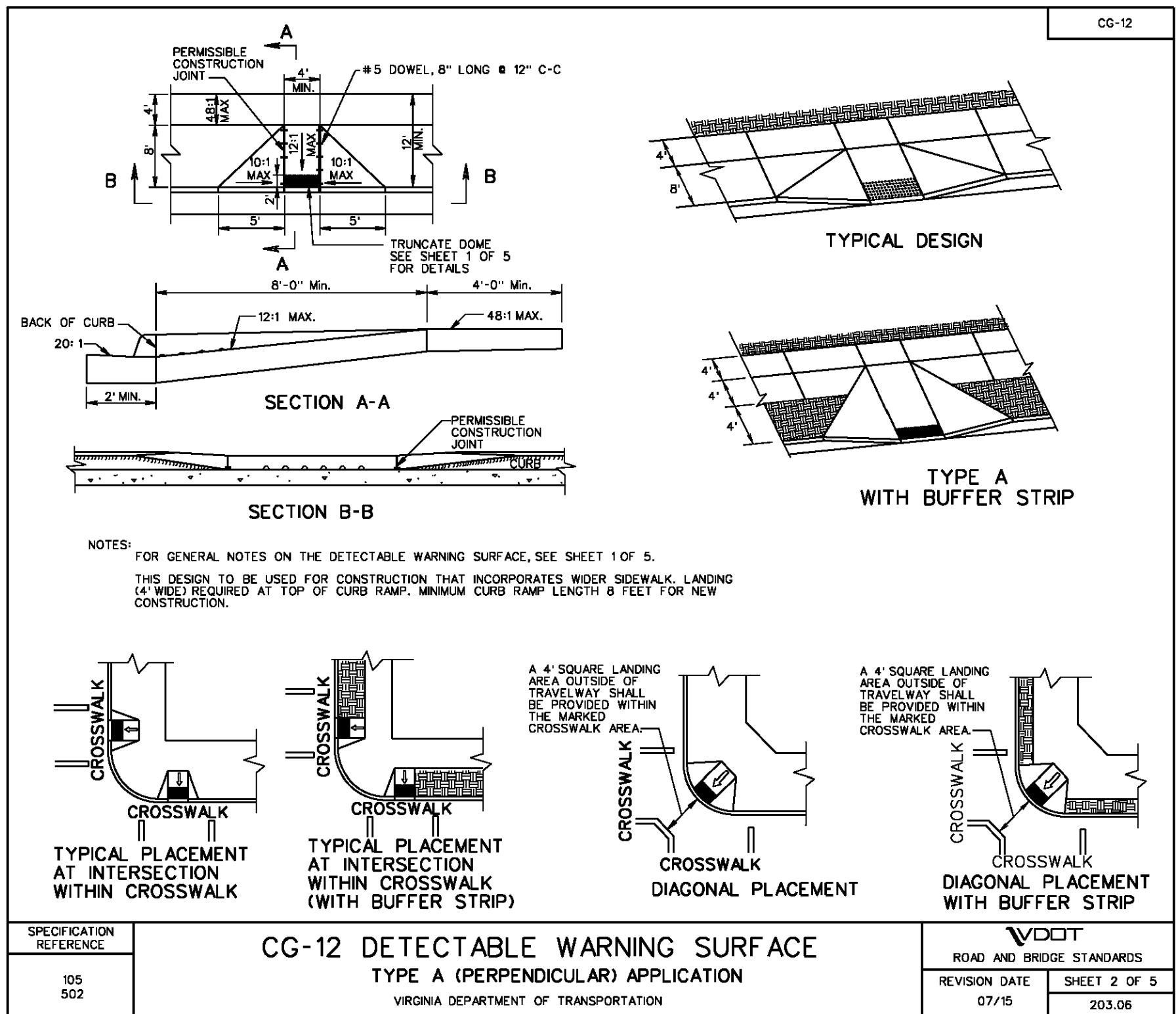
NO.	DESCRIPTION	DATE	APPROVED

RUSHMARK EISENHOWER SOUTH TOWER
FINAL DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

APPROVED SPECIAL USE PERMIT NO. 2018-0027
DEPARTMENT OF PLANNING & ZONING

AEF for K. Moritz 1/11/2022
DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. 10112/2022
DIRECTOR DATE
CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED
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DESIGN ENGINEER / SURVEYOR

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DRAWN: DA

PLAN STATUS
DATE: 07/26/19
DESCRIPTION: FINAL SUBMISSION

SEAL:

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED

**RUSHMARK EISENHOWER
SOUTH TOWER**

FINAL DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

DETAILS (3 OF 4)

SHEET NAME:

APPROVED
SPECIAL USE PERMIT NO. 2018-0027

DEPARTMENT OF PLANNING & ZONING

AEF for K. Moritz 1/11/2022
DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. 01/12/2022
DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION 1/11/2022
DATE RECORDED DATE

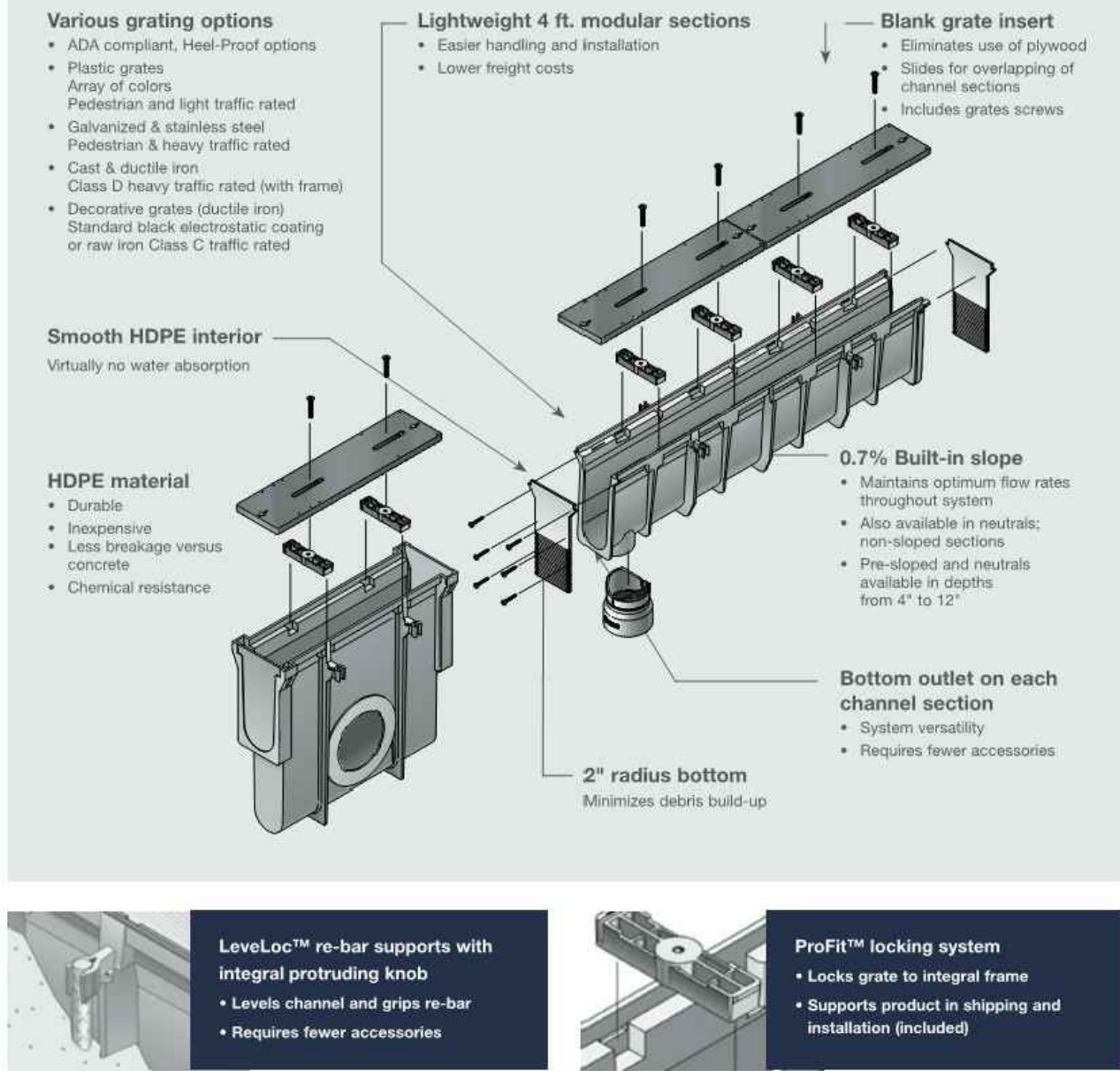
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SHEET: **C20.20**



DURA SLOPE™ TRENCH DRAIN – PRE-SLOPED (PATENTED)

Product Features & Benefits



DURA SLOPE™ TRENCH DRAIN – PRE-SLOPED

Dura Slope™ Channel Drain Sections

Part No.	Description	Color	Pkg. Qty.	Wt. Ea. (lbs.)	Product Class
DS-000N	3.99" Deep Neutral Dura Slope Channel	Light Gray	1	7.45	250S
DS-001	3.99" to 4.34" Deep Dura Slope Channel	Light Gray	1	7.52	250S
DS-001N	4.34" Deep Neutral Dura Slope Channel	Light Gray	1	7.81	250S
DS-002	4.34" to 4.67" Deep Dura Slope Channel	Light Gray	1	7.82	250S
DS-003	4.67" to 5.00" Deep Dura Slope Channel	Light Gray	1	8.27	250S
DS-004	5.00" to 5.34" Deep Dura Slope Channel	Light Gray	1	8.64	250S
DS-004N	5.34" Deep Neutral Dura Slope Channel	Light Gray	1	8.93	250S
DS-005	5.34" to 5.68" Deep Dura Slope Channel	Light Gray	1	8.99	250S
DS-006	5.68" to 6.01" Deep Dura Slope Channel	Light Gray	1	9.36	250S
DS-007	6.01" to 6.35" Deep Dura Slope Channel	Light Gray	1	9.74	250S
DS-007N	6.35" Deep Neutral Dura Slope Channel	Light Gray	1	10.04	250S
DS-008	6.35" to 6.69" Deep Dura Slope Channel	Light Gray	1	10.11	250S
DS-009	6.69" to 7.02" Deep Dura Slope Channel	Light Gray	1	10.48	250S
DS-100	7.02" to 7.36" Deep Dura Slope Channel	Light Gray	1	10.86	250S
DS-100N	7.36" Deep Neutral Dura Slope Channel	Light Gray	1	11.16	250S
DS-101	7.36" to 7.69" Deep Dura Slope Channel	Light Gray	1	11.23	250S
DS-102	7.69" to 8.03" Deep Dura Slope Channel	Light Gray	1	11.60	250S
DS-103	8.03" to 8.37" Deep Dura Slope Channel	Light Gray	1	11.98	250S
DS-103N	8.37" Deep Neutral Dura Slope Channel	Light Gray	1	12.27	250S
DS-104	8.37" to 8.70" Deep Dura Slope Channel	Light Gray	1	12.34	250S
DS-105	8.70" to 9.04" Deep Dura Slope Channel	Light Gray	1	12.71	250S
DS-106	9.04" to 9.37" Deep Dura Slope Channel	Light Gray	1	13.07	250S
DS-106N	9.37" Deep Neutral Dura Slope Channel	Light Gray	1	13.39	250S
DS-107	9.37" to 9.70" Deep Dura Slope Channel	Light Gray	1	13.49	250S
DS-108	9.70" to 10.04" Deep Dura Slope Channel	Light Gray	1	13.83	250S
DS-109	10.04" to 10.38" Deep Dura Slope Channel	Light Gray	1	14.20	250S
DS-109N	10.38" Deep Neutral Dura Slope Channel	Light Gray	1	14.50	250S
DS-110	10.38" to 10.71" Deep Dura Slope Channel	Light Gray	1	14.57	250S
DS-111	10.71" to 11.05" Deep Dura Slope Channel	Light Gray	1	14.95	250S
DS-112	11.05" to 11.39" Deep Dura Slope Channel	Light Gray	1	15.32	250S
DS-112N	11.39" Deep Neutral Dura Slope Channel	Light Gray	1	15.60	250S
DS-113	11.39" to 11.72" Deep Dura Slope Channel	Light Gray	1	15.89	250S
DS-114	11.72" to 12.06" Deep Dura Slope Channel	Light Gray	1	16.06	250S



DURA SLOPE™ TRENCH DRAIN – PRE-SLOPED

Slot Top

Part No.	Description	Color	Pkg. Qty.	Wt. Ea. (lbs.)	Product Class	Specifications
DS-ST1000	4 ft. Slot Top with Galvanized Steel Grate	Galvanized Steel	1	17.63	250S	
DS-ST300	2 ft. Slot Top with Galvanized Steel Grate	Galvanized Steel	1	8.86	250S	
DS-STMAINT	2 ft. Slot Top Maintenance Unit		1	14.86	250S	

Decorative Grates

Part No.	Description	Color	Pkg. Qty.	Wt. Ea. (lbs.)	Product Class	Specifications
DS-601	Weave Pattern	Raw Iron	1	14.50	250S	Decorative grates are made of ductile iron. Weave open area 6.75 square inches per foot. 20.65 GPM. Diamond open area 9.55 square inches per foot. 29.21 GPM. Tile open area 7.95 square inches per foot. 24.35 GPM. Brick open area 11.35 square inches per foot. 34.72 GPM. Deco slot open area 16.75 square inches per foot. 51.84 GPM.
DS-602	Diamond Pattern	Raw Iron	1	14.30	250S	
DS-603	Tile Pattern	Raw Iron	1	14.70	250S	
DS-604	Brick Pattern	Raw Iron	1	14.30	250S	
DS-605	Deco Slot	Raw Iron	1	14.30	250S	

In-Line Catch Basin

The NDS Dura Slope™ in-line catch basin is designed to fit all depth ranges of the Dura Slope™ trench drain sections. Catch basin inlets are designed to be sized as required to accept the Dura Slope™ trench drain section. The Dura Slope™ catch basin is 2 feet long and 2 feet deep with an outlet on both sides of the basin. One Universal Adapter Plug, one blank grate insert and two grate screws are included with each Dura Slope™ in-line catch basin. The NDS universal blank outlets are used to adapt the catch basin to 3", 4", 6" and 8" pipe.

Part No.	Description	Color	Pkg. Qty.	Wt. Ea. (lbs.)	Product Class
DS-340	Dura Slope™ In-Line Catch Basins	Light Gray	1	12.00	250S

Trash Bucket

Dura Slope™ Trash Bucket is made to fit inside the Dura Slope™ Catch Basin (part number DS-340). It has a handle for easy removal to clean leaves and debris; it requires removal of the grate. Made of zinc plated steel, it is durable to climatic conditions. The Trash Bucket is not intended for use with any of the Dura Slope™ Channels. Note: DS-340 Trash Bucket is not for use with the DS-200H Ductile Iron Frame.

Part No.	Description	Color	Pkg. Qty.	Wt. Ea. (lbs.)	Product Class
DS-240	Dura Slope™ Trash Bucket	Steel Zinc-Plated Steel	1	9.00	250S



DURA SLOPE™ TRENCH DRAIN – PRE-SLOPED

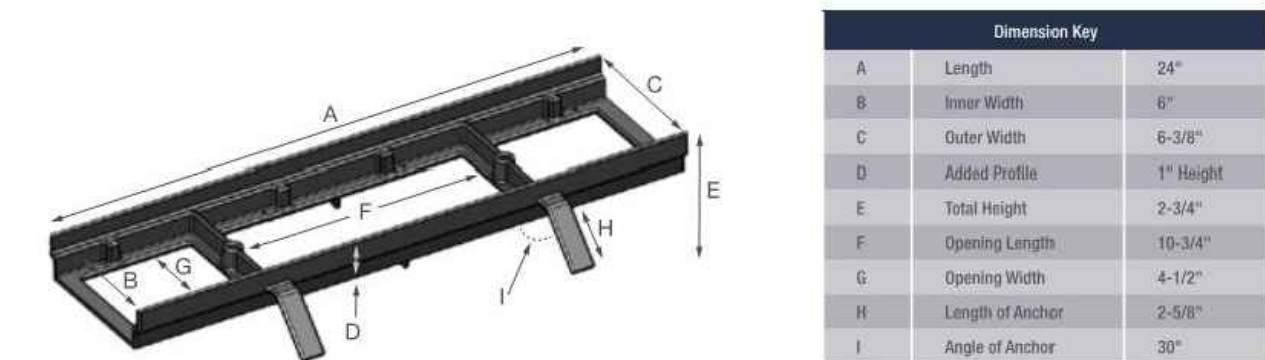
Accessories

Part No.	Description	Color	Pkg. Qty.	Wt. Ea. (lbs.)	Product Class
DS-122	ProFit™ Grate Lock	Black	8	0.80	250S
DS-123	Dura Slope Frame & End Cap Screws PH #6	Steel	12		250S
DS-224	Universal End Cap	Gray	8	0.63	250S
DS-227	Universal End Outlet	Gray	6	0.75	250S
DS-126	Bottom Outlet Adapter	Gray	6	0.33	250S
629	Grate Screws PH # 1/4 - 20 x 1-1/2"	Steel	40	0.70	250F
DS-600	Flat Drilled Spigot End Cap Screws #6, 3/4"	Steel	12	1	250S

Ductile Iron Frame

Dura Slope Ductile Iron Frame provides a Class D load rating of 326-575 psi and is suitable for heavy-duty hard tire equipment at speeds less than 20 mph. The DS-200H Ductile Iron Frame is recommended for use with pneumatic tire traffic such as forklifts. The ductile iron frame can be used with the cast and ductile iron grates. Note: DS-123 screws must be ordered to secure frame to the channel.

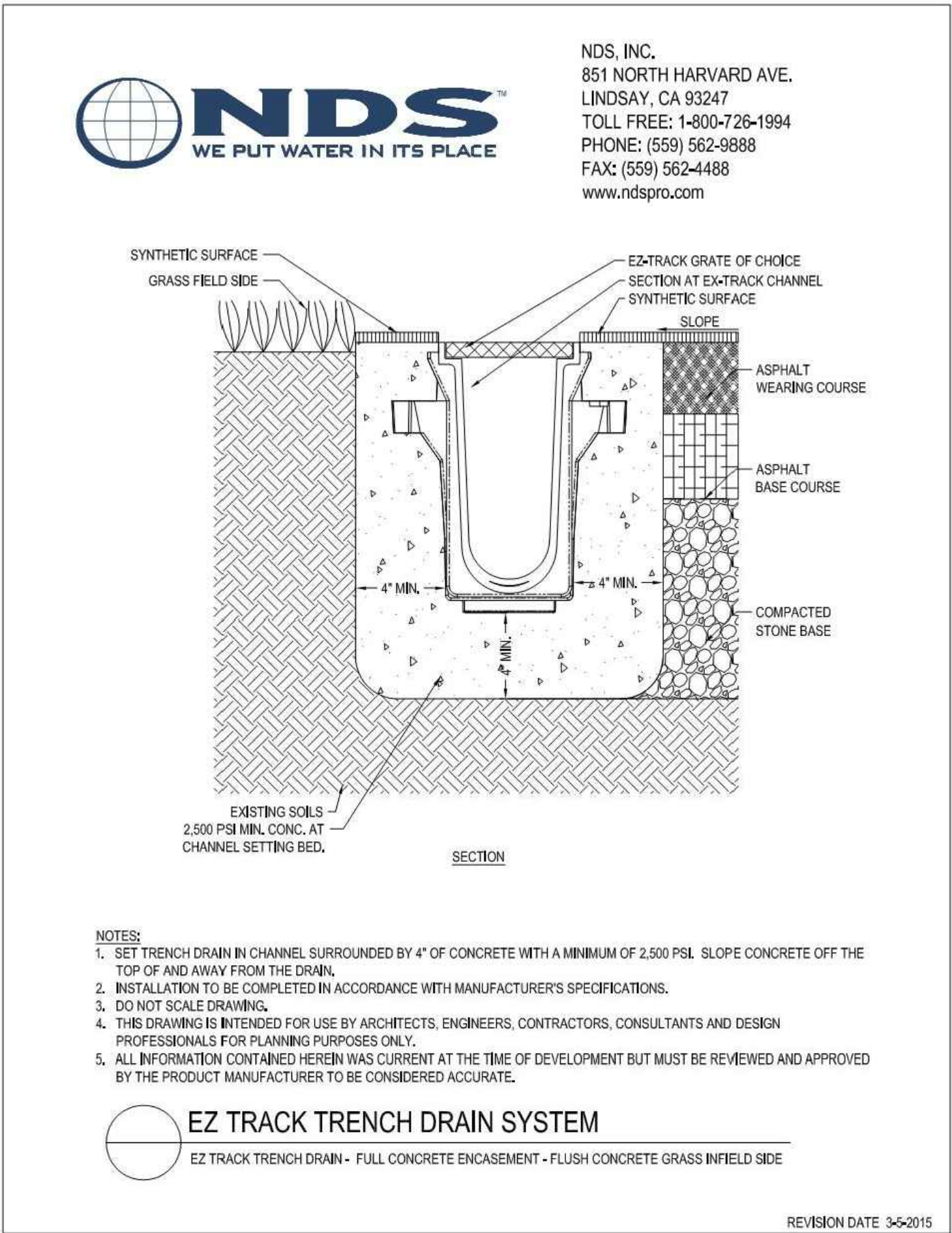
Part No.	Description	Color	Pkg. Qty.	Wt. Ea. (lbs.)	Product Class
DS-200H	Dura Slope™ Ductile Iron Frame	Black	2 ft.	7.50	250S



DURA SLOPE™ TRENCH DRAIN – PRE-SLOPED

Standard Grates

Part No.	Description	Color	Pkg. Qty.	Wt. Ea. (lbs.)	Product Class	Specifications
660	2 ft. Channel Grate	White	24 ft.	2.82	250S	2 ft. Structural Foam Polyethylene, secured Channel Grate with UV inhibitor. Open surface area 25.40 square inches per foot. 77.70 GPM per foot.
661	2 ft. Channel Grate	Dark Gray	24 ft.	2.82	250S	
661LG	2 ft. Channel Grate	Light Gray	24 ft.	2.82	250S	
662	2 ft. Channel Grate	Green	24 ft.	2.82	250S	
663	2 ft. Channel Grate	Black	24 ft.	2.82	250S	
664	2 ft. Channel Grate	Sand	24 ft.	2.82	250S	
665	2 ft. Channel Grate	Brick Red	24 ft.	2.82	250S	
Use with Dura Slope Drains (page 51), Dura Slope Catch Basins (page 53), (see page 70, ADA Compliant).						
Part No.	Description	Color	Pkg. Qty.	Wt. Ea. (lbs.)	Product Class	Specifications
DS-670	2 ft. Plastic Perforated Channel Grate	Light Gray	24 ft.	2.81	250S	2 ft. Perforated Metal Grate, pedestrian traffic rated, heavy-duty ADA compliant. Open surface area 8.75 square inches per foot. 26.27 GPM per foot.
DS-671	2 ft. Plastic Perforated Channel Grate	White	24 ft.	2.81	250S	
Use with Dura Slope Drains (page 51), Dura Slope Catch Basins (page 53), (see page 70, ADA Compliant/Heel-proof).						
Part No.	Description	Color	Pkg. Qty.	Wt. Ea. (lbs.)	Product Class	Specifications
DS-226	2 ft. Stainless Steel Perforated Channel Grate	Steel	24 ft.	3.16	250S	Perforated Metal Grate, pedestrian traffic rated, heavy-duty ADA compliant. Open surface area 7.83 square inches per foot. 23.34 GPM per foot.
DS-228	2 ft. Galvanized Steel Perforated Channel Grate	Steel	24 ft.	3.83	250S	
Use with Dura Slope Drains (page 51), Dura Slope Catch Basins (page 53), (see page 70, ADA Compliant/Heel-proof).						
Part No.	Description	Color	Pkg. Qty.	Wt. Ea. (lbs.)	Product Class	Specifications
DS-231	2 ft. Cast Iron Channel Grate	Black	1	18.90	250S	2 ft. heavy-duty Iron Channel Grate. Open surface area 20.85 square inches per foot. 63.76 GPM per foot. H-20 load rating.
DS-232	2 ft. Ductile Iron	Black	1	15.20	250S	
Use with Dura Slope Drains (page 51), Dura Slope Catch Basins (page 53), (see page 70, ADA Compliant. Must be used with DS-200H to achieve Class D Load Rating).						
Part No.	Description	Color	Pkg. Qty.	Wt. Ea. (lbs.)	Product Class	Specifications
DS-221	2 ft. Galvanized Steel Channel Grate	Steel	24 ft.	6.64	250S	2 ft. Galvanized Rolled Steel Grate. Open surface area 23.09 square inches per foot. 70.64 GPM per foot.
Use with Dura Slope Drains (page 51), Dura Slope Catch Basins (page 53), (see page 70, ADA Compliant. Must be used with DS-200H to achieve Class D Load Rating).						



DESIGN ENGINEER / SURVEYOR

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SCALE: N/A DATE: JULY 26, 2019 DRAWN: DA

PLAN STATUS
DATE DESCRIPTION DATE
07/26/19 FINAL SUBMISSION

SEAL:

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED

RUSHMARK EISENHOWER
SOUTH TOWER
FINAL DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

DETAILS (4 OF 4)
SHEET NAME:

APPROVED
SPECIAL USE PERMIT NO. 2018-0027

DEPARTMENT OF PLANNING & ZONING

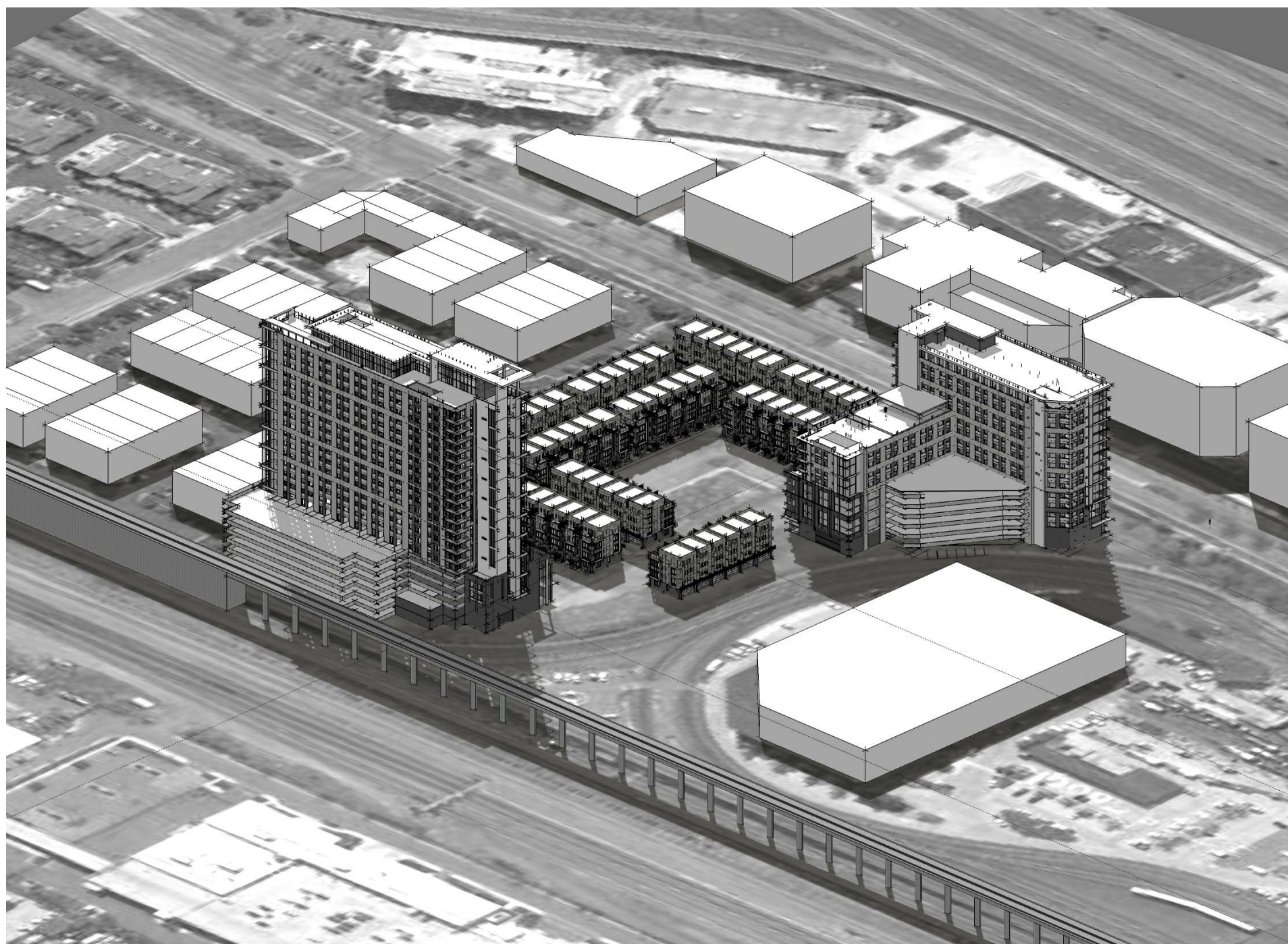
AEF for K. Moritz 1/11/2022
DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____
10/12/2022
DIRECTOR DATE
CHAIRMAN, PLANNING COMMISSION 1/11/2022
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BUILDING MASSING - NORTHEAST VIEW



BUILDING MASSING - NORTHWEST VIEW



BUILDING MASSING - SOUTHEAST VIEW



BUILDING MASSING - SOUTHWEST VIEW



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EXPIRATION DATE:

no.	date	revision

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Building Massing Study

A100

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APPROVED

SPECIAL USE PERMIT NO. DSUP2018-0027
DEPARTMENT OF PLANNING & ZONING

AEF for K. Moritz 1/11/2022
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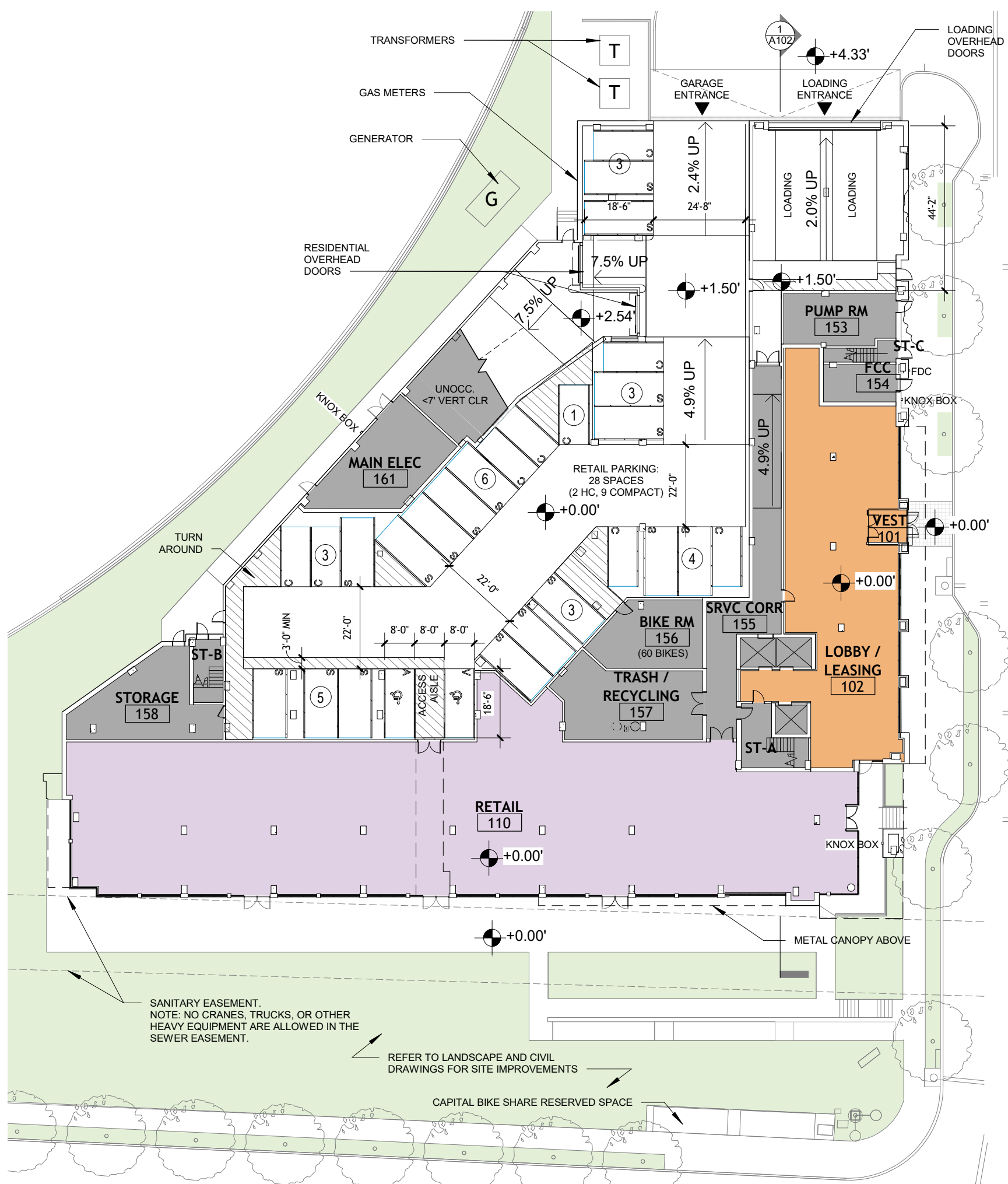
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. 218108-00 01/12/2022
DIRECTOR DATE

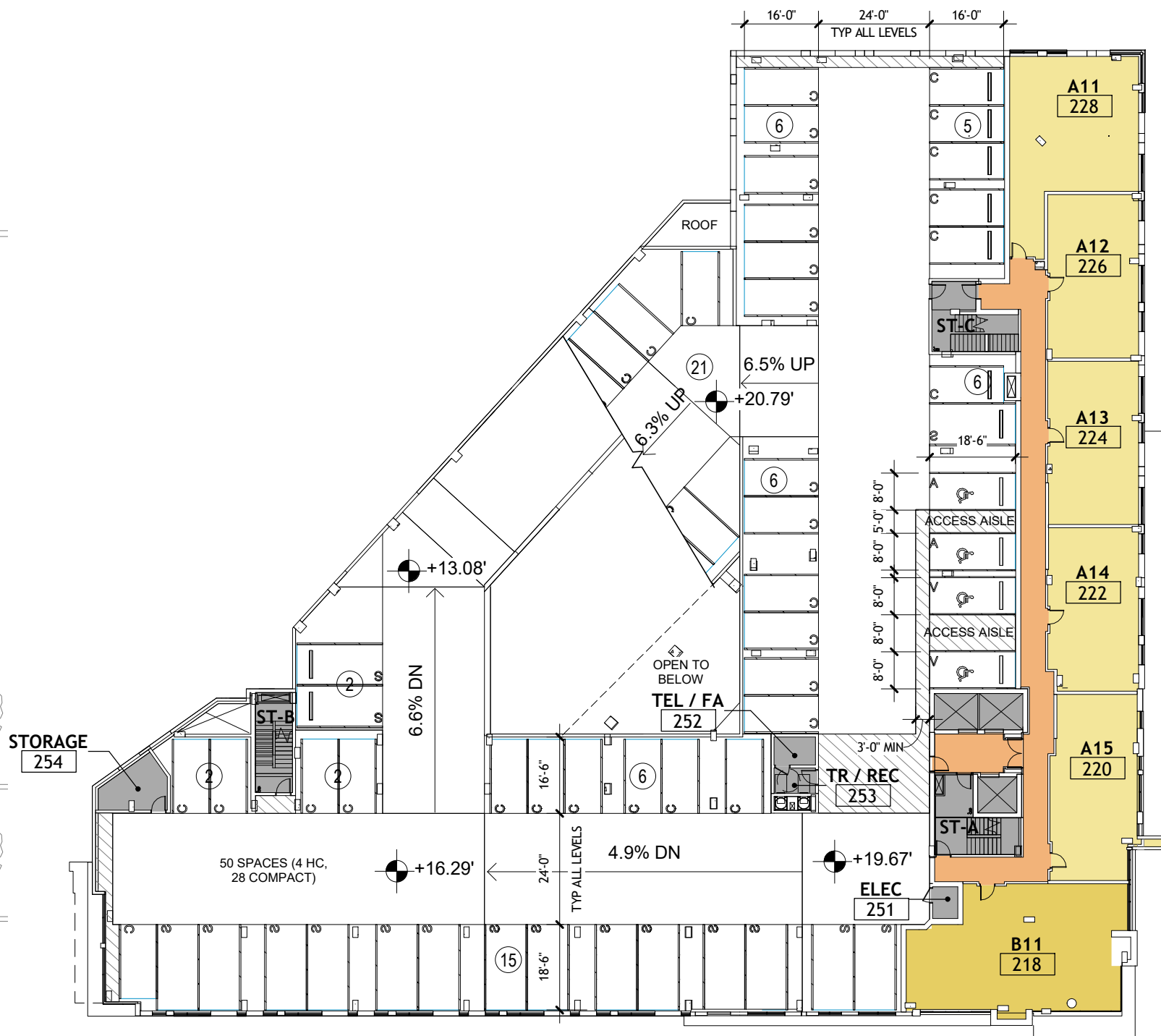
Brian M. Moritz 1/11/2022
CHAIRMAN, PLANNING COMMISSION DATE

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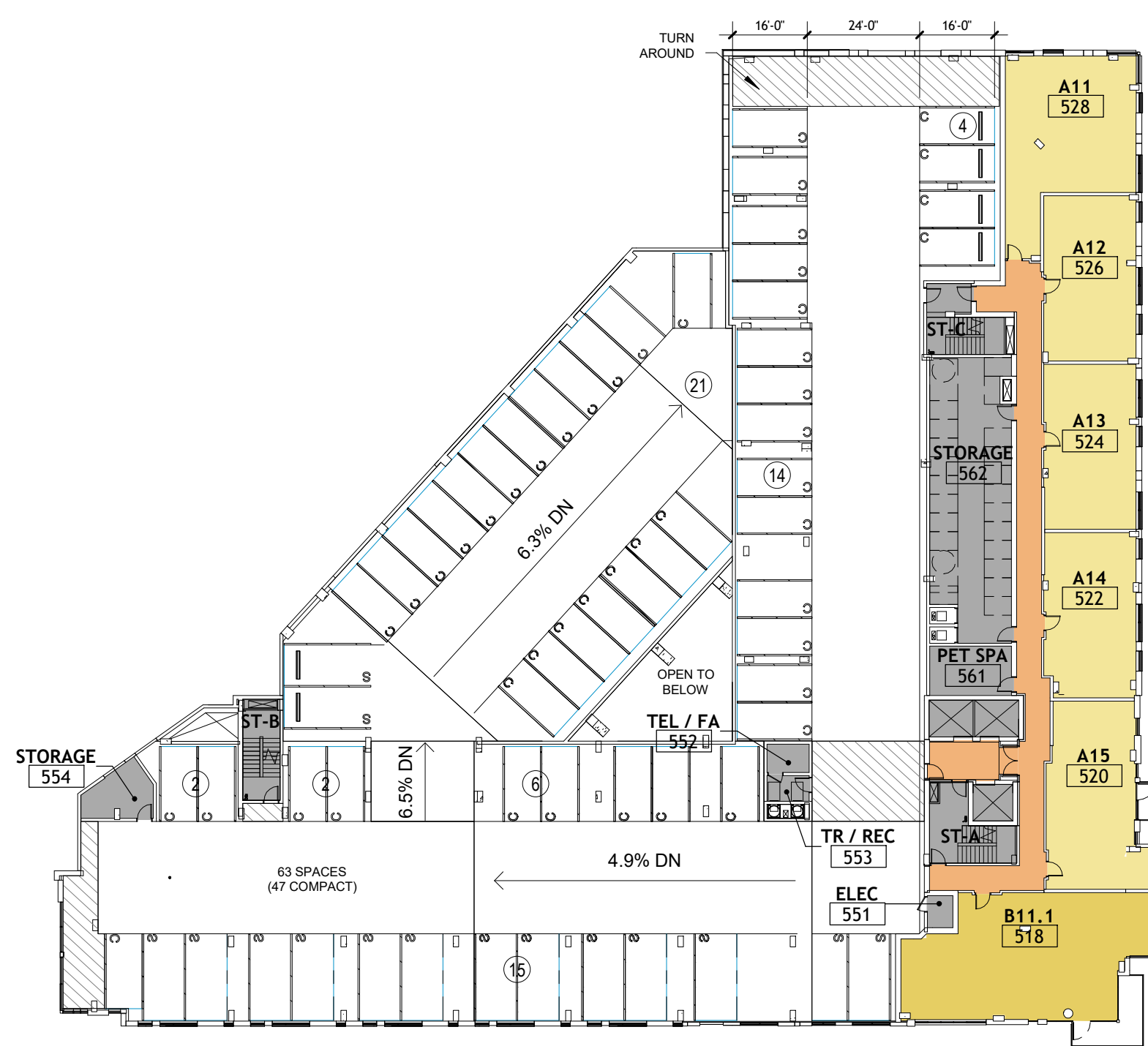
LEVEL 1



LEVEL 2



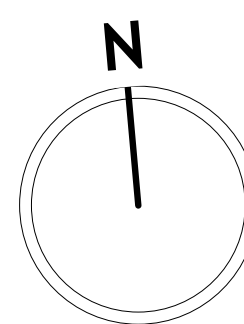
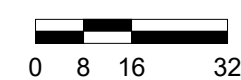
LEVELS 3 - 4



LEVEL 5



LEVEL 6



APPROVED
SPECIAL USE PERMIT NO. DSUP2018-0027
DEPARTMENT OF PLANNING & ZONING
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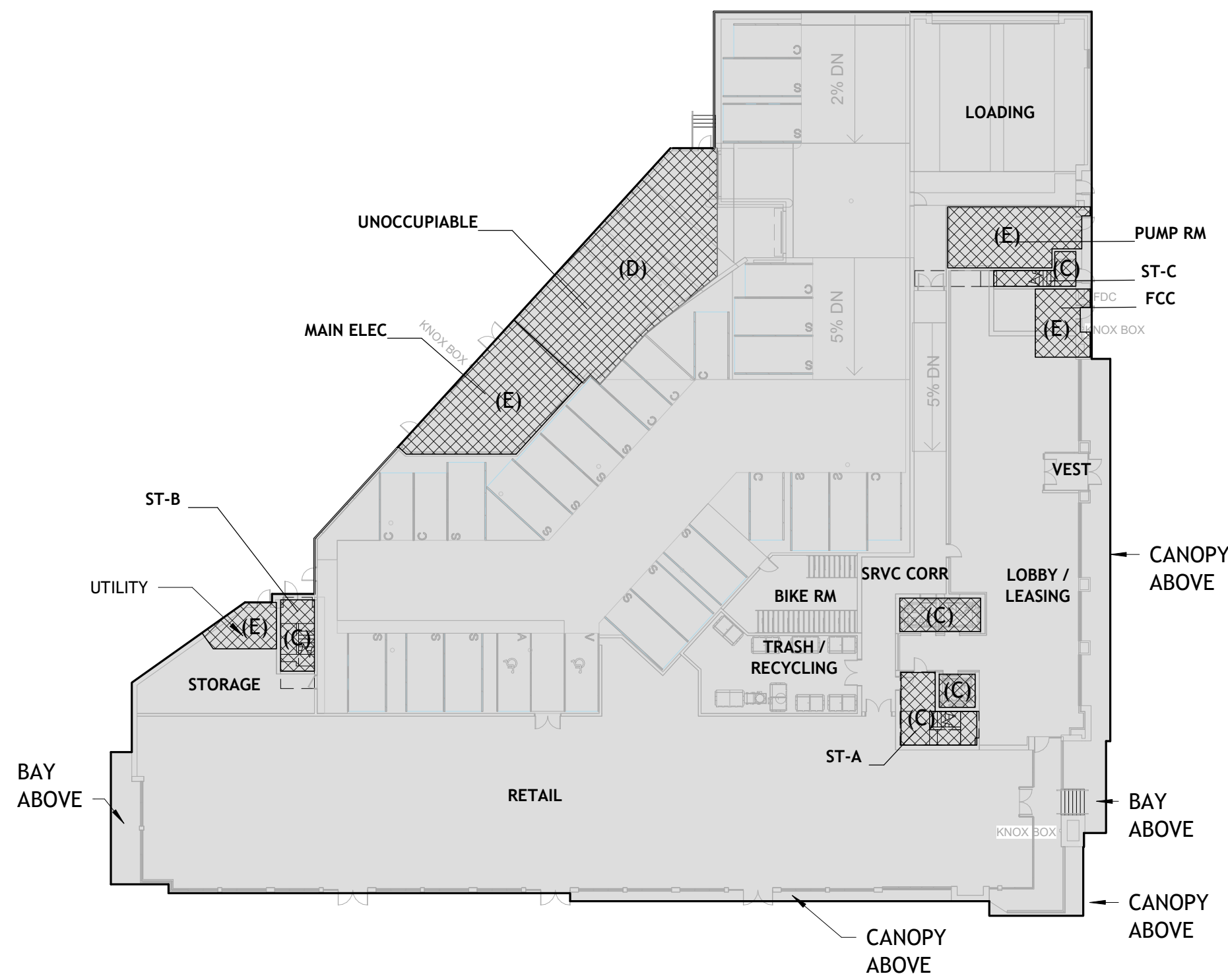
no. date revision

Project Name
2901 Eisenhower Ave.
Project Number
218108.00
Date
July 26, 2019
Scale
1" = 30'-0"
Drawing
Building 1 (South)
Floor Plans

A103

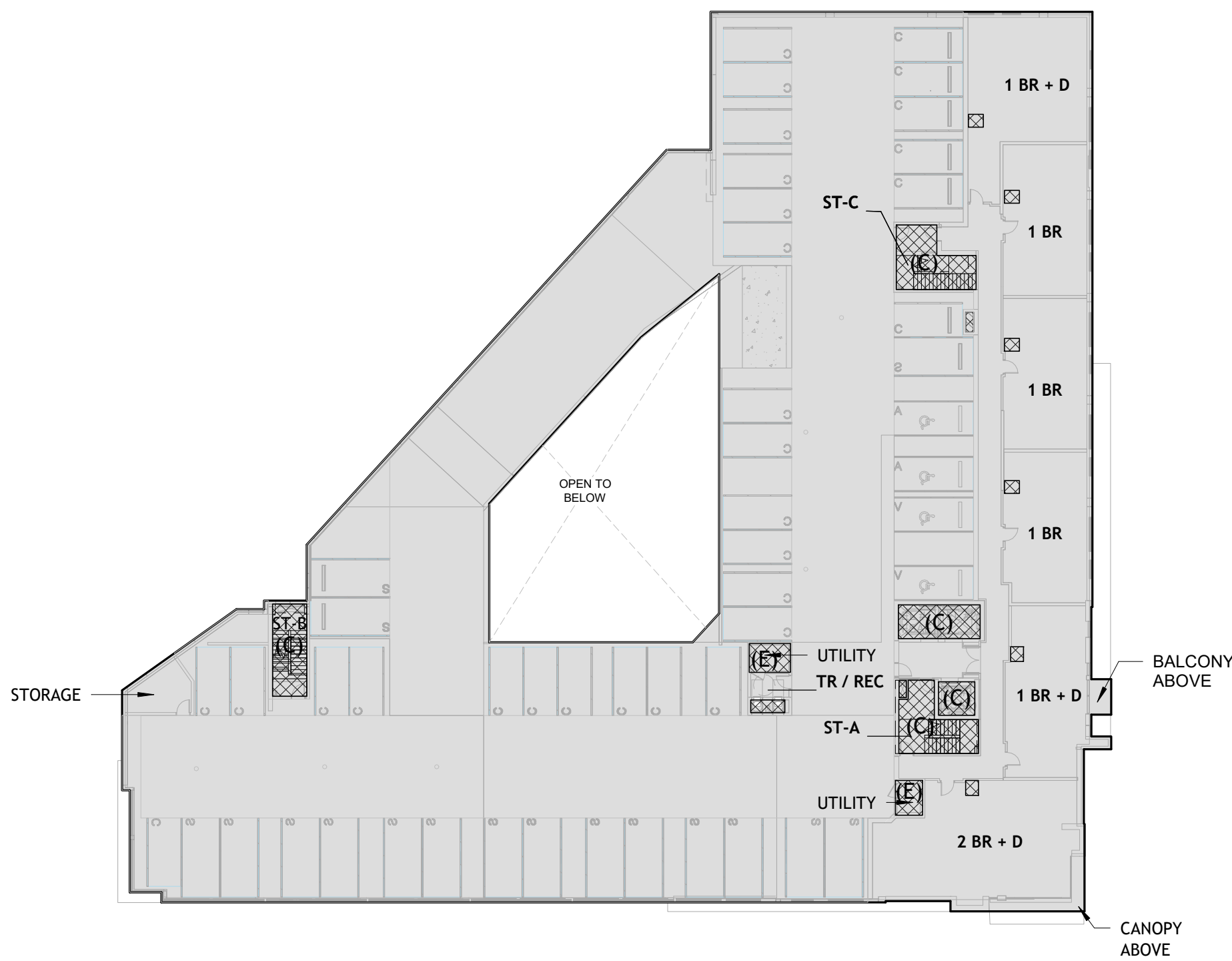
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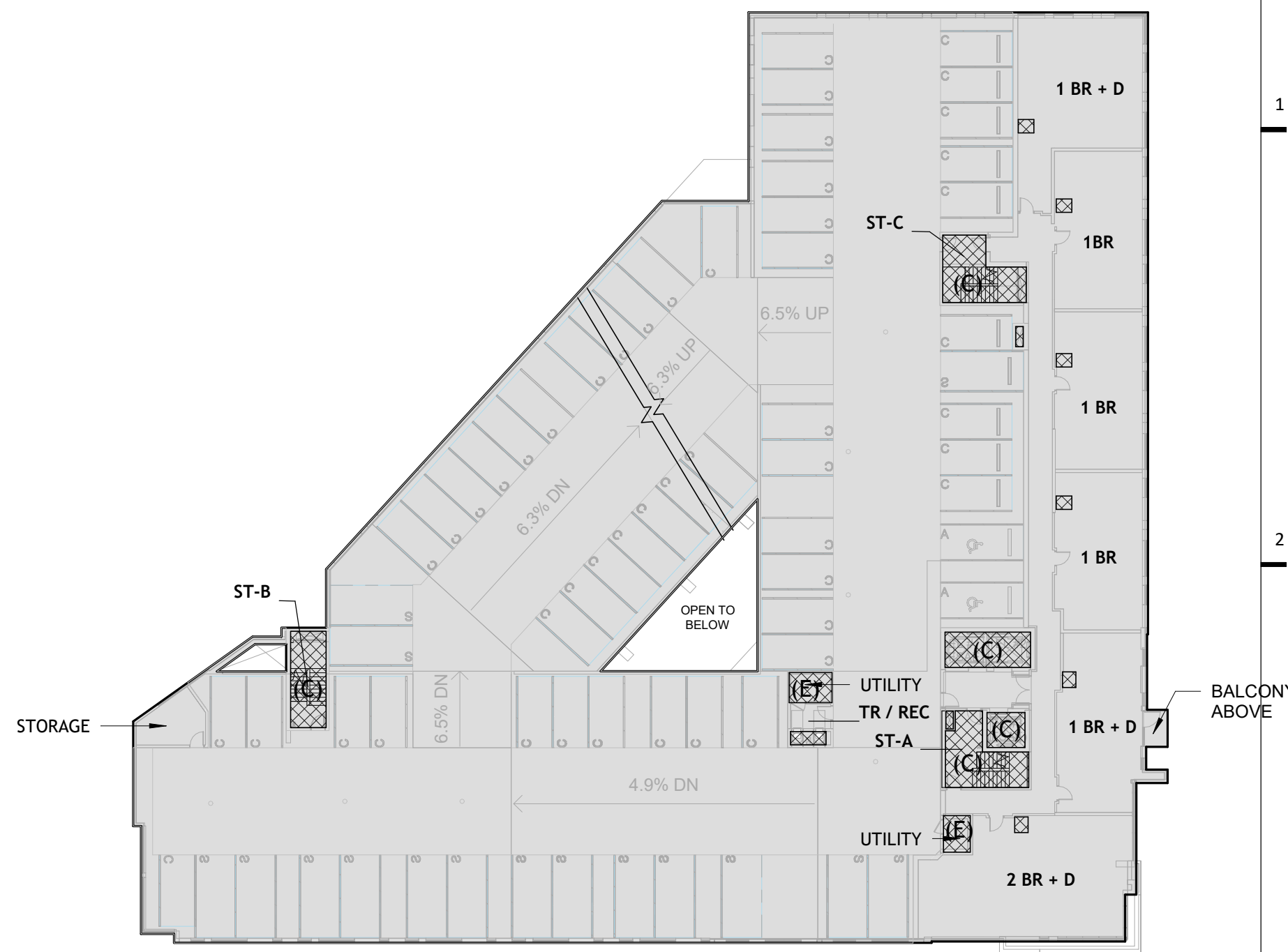
LEVEL 1

FLOOR AREA EXCLUSIONS AT LEVEL 1	
(C) STAIRS & ELEVATORS:	667 SF
(D) UNOCCUPIABLE (<7'-6" VERT CLR)	1,425 SF
(E) MECHANICAL SPACES:	1,500 SF
TOTAL AREA DEDUCTED:	3,592 SF



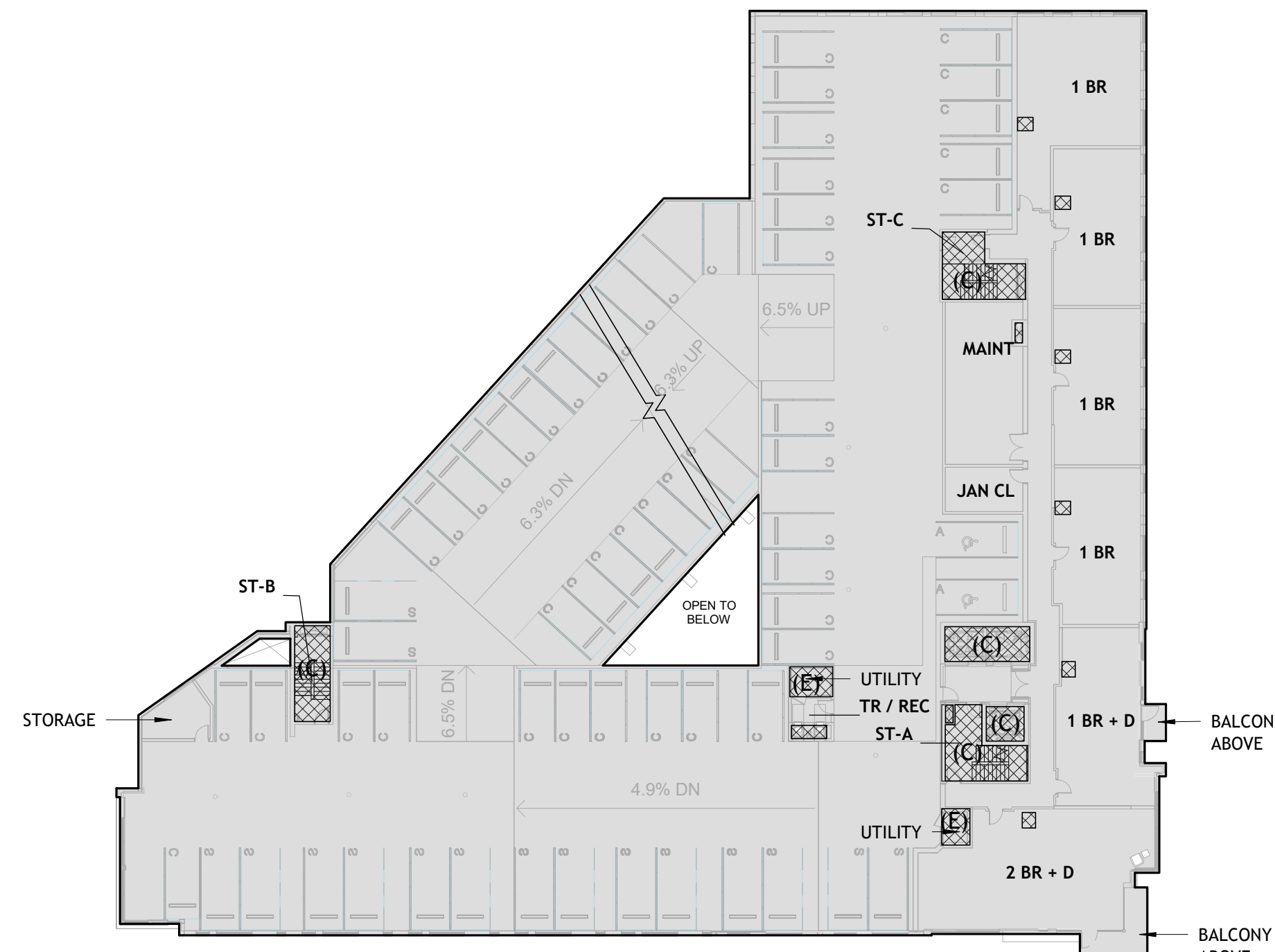
LEVEL 2

FLOOR AREA EXCLUSIONS AT LEVEL 2	
(C) STAIRS & ELEVATORS:	825 SF
(D) UNOCCUPIABLE (<7'-6" VERT CLR)	0 SF
(E) MECHANICAL SPACES:	219 SF
TOTAL AREA DEDUCTED:	1,044 SF



LEVEL 3

FLOOR AREA EXCLUSIONS AT LEVEL 3	
(C) STAIRS & ELEVATORS:	825 SF
(D) UNOCCUPIABLE (<7'-6" VERT CLR)	0 SF
(E) MECHANICAL SPACES:	215 SF
TOTAL AREA DEDUCTED:	1,040 SF



LEVEL 4

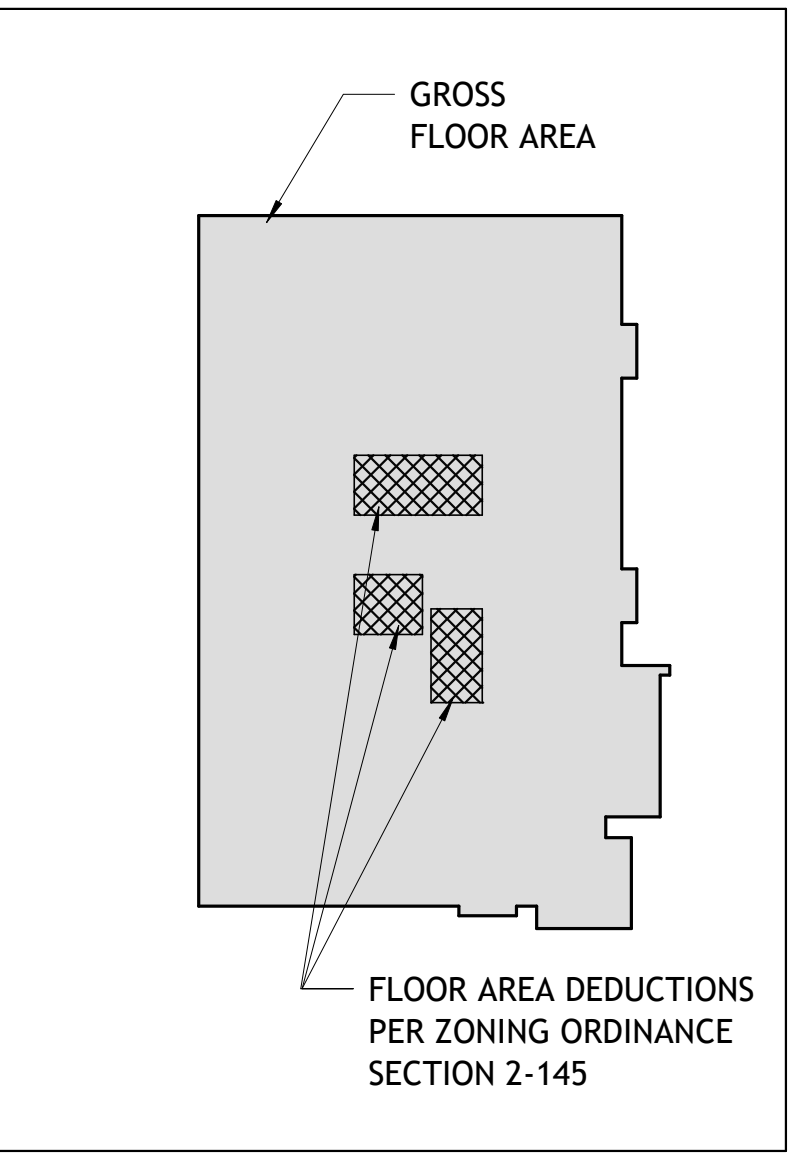
FLOOR AREA EXCLUSIONS AT LEVEL 4	
(C) STAIRS & ELEVATORS:	825 SF
(D) UNOCCUPIABLE (<7'-6" VERT CLR)	0 SF
(E) MECHANICAL SPACES:	218 SF
TOTAL AREA DEDUCTED:	1,043 SF



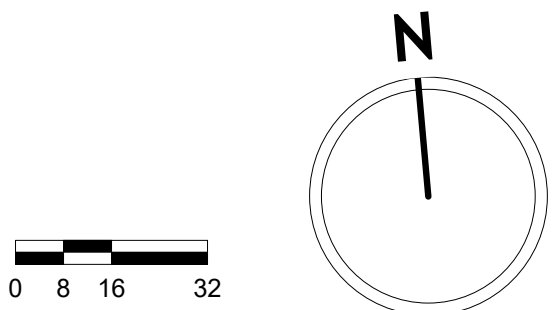
LEVEL 5

FLOOR AREA EXCLUSIONS AT LEVEL 5	
(C) STAIRS & ELEVATORS:	824 SF
(D) UNOCCUPIABLE (<7'-6" VERT CLR)	0 SF
(E) MECHANICAL SPACES:	269 SF
TOTAL AREA DEDUCTED:	1,093 SF

KEY



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SPECIAL USE PERMIT NO. <u>DSUP2018-0027</u>	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR <u>AEF for K. Moritz</u>	DATE <u>1/11/2022</u>
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. <u>100-0</u>	DATE <u>01/12/2022</u>
DIRECTOR <u>[Signature]</u>	DATE <u>1/11/2022</u>
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED _____	
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____	



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Project Name
2901 Eisenhower Ave.

Project Number
218108.00

Date
July 26, 2019

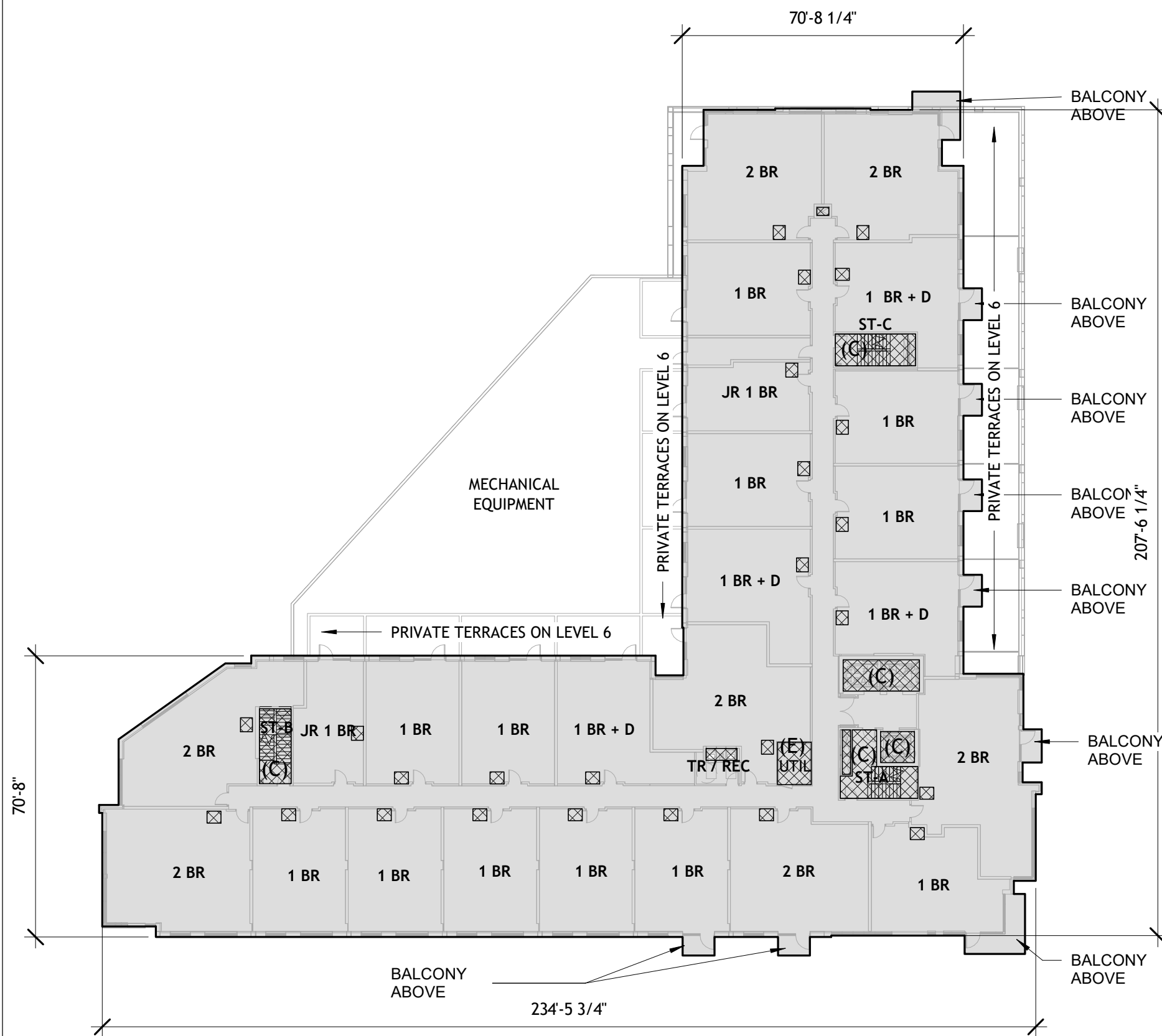
Scale
1" = 30'-0"

Drawing
**Building 1 (South)
Area Plans**

A105

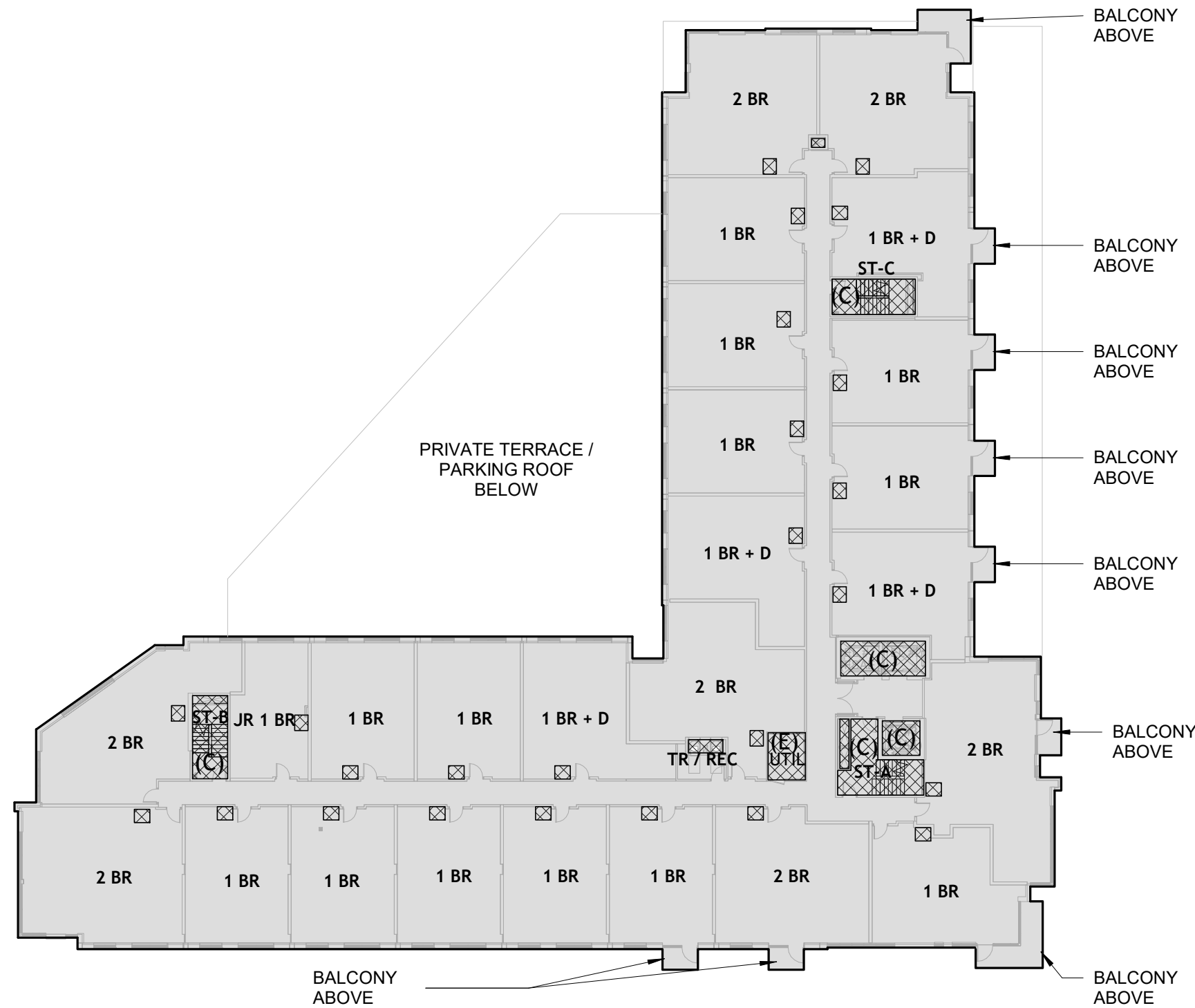
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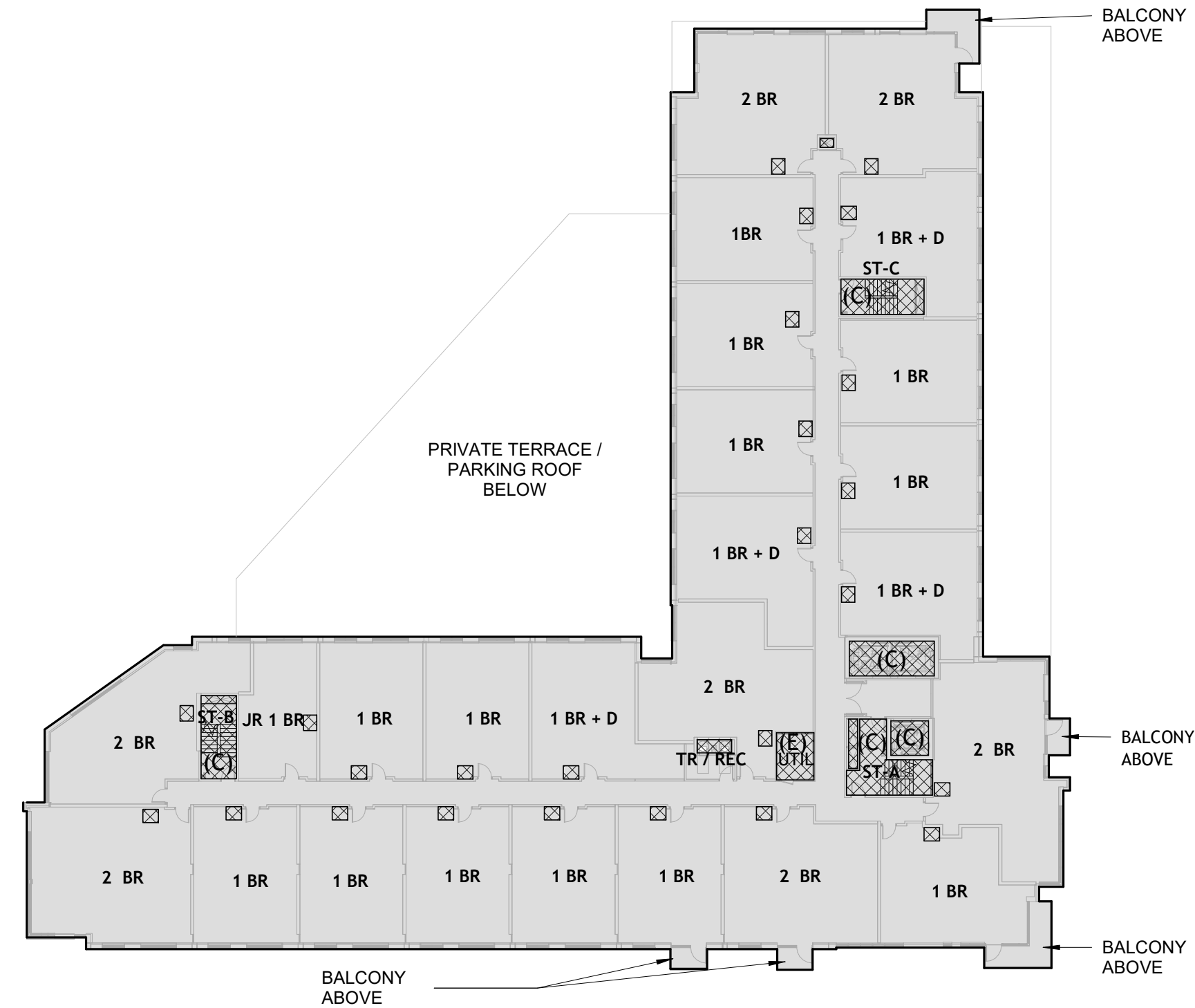
LEVEL 6

FLOOR AREA EXCLUSIONS AT LEVEL 6	
(C) STAIRS & ELEVATORS:	735 SF
(D) UNOCCUPIABLE (<7'-6" VERT CLR)	0 SF
(E) MECHANICAL SPACES:	405 SF
TOTAL AREA DEDUCTED:	1,140 SF



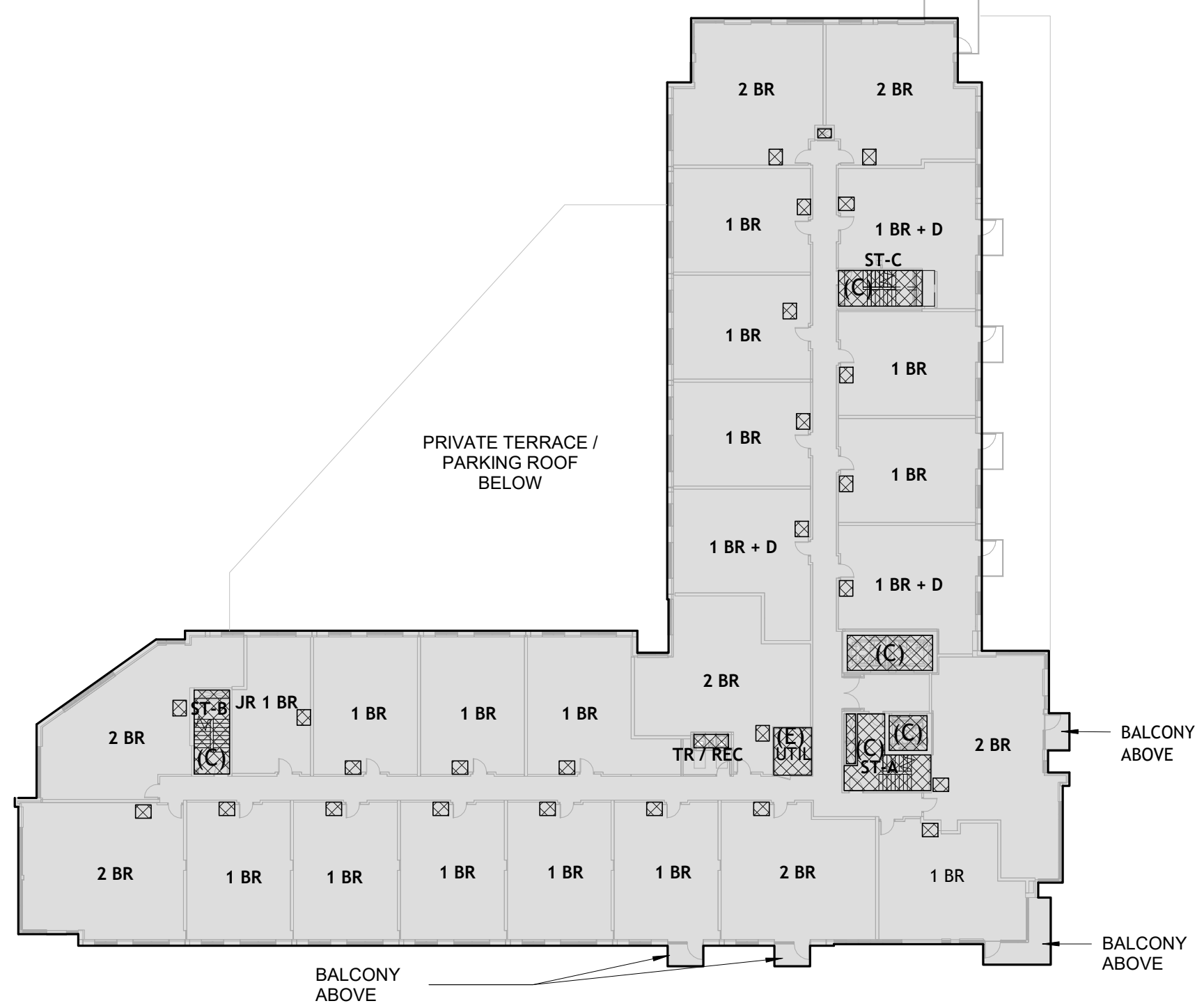
LEVEL 7

FLOOR AREA EXCLUSIONS AT LEVEL 7	
(C) STAIRS & ELEVATORS:	725 SF
(D) UNOCCUPIABLE (<7'-6" VERT CLR)	0 SF
(E) MECHANICAL SPACES:	405 SF
TOTAL AREA DEDUCTED:	1,130 SF



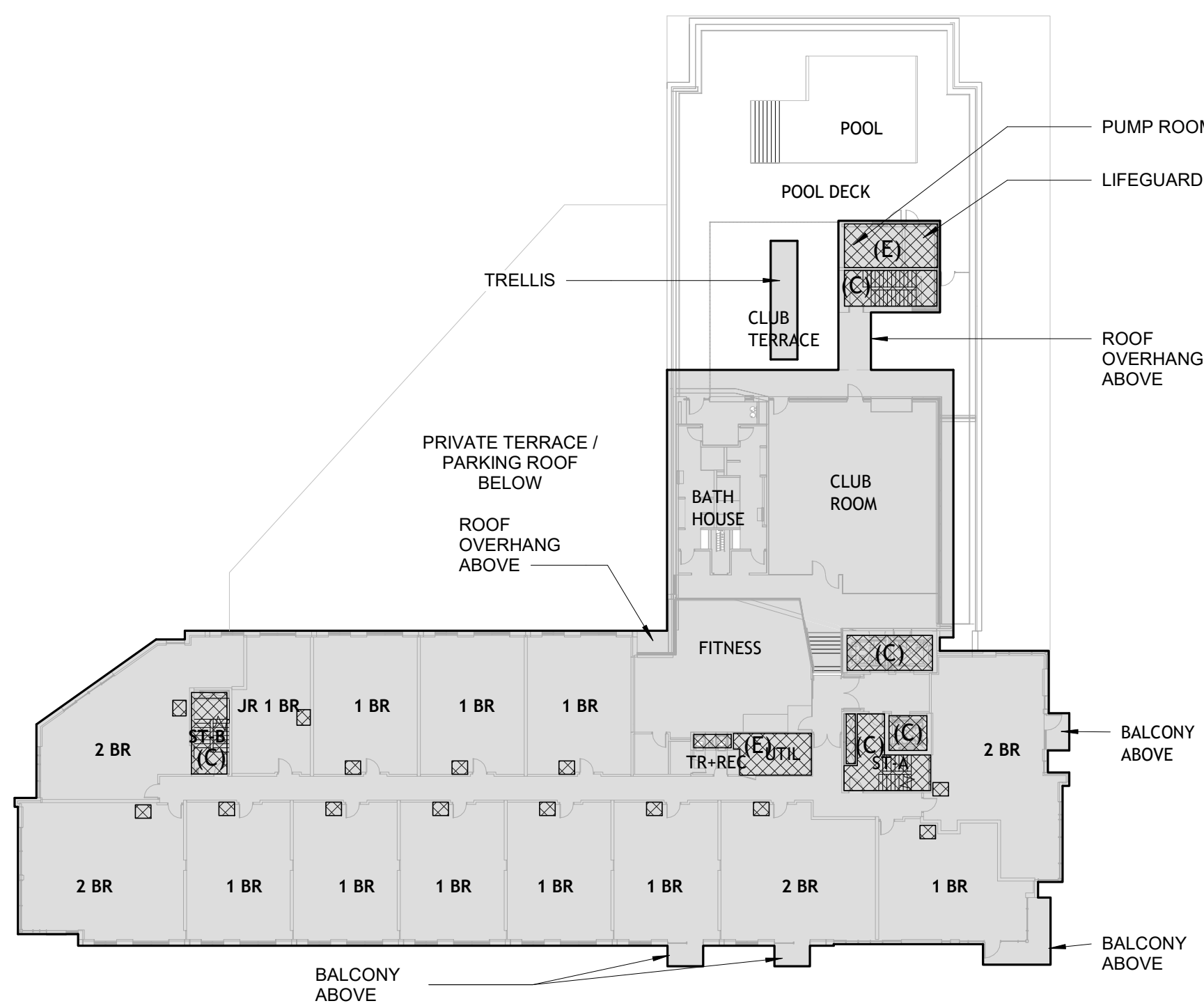
LEVEL 8

FLOOR AREA EXCLUSIONS AT LEVEL 8	
(C) STAIRS & ELEVATORS:	725 SF
(D) UNOCCUPIABLE (<7'-6" VERT CLR)	0 SF
(E) MECHANICAL SPACES:	405 SF
TOTAL AREA DEDUCTED:	1,130 SF



LEVEL 9

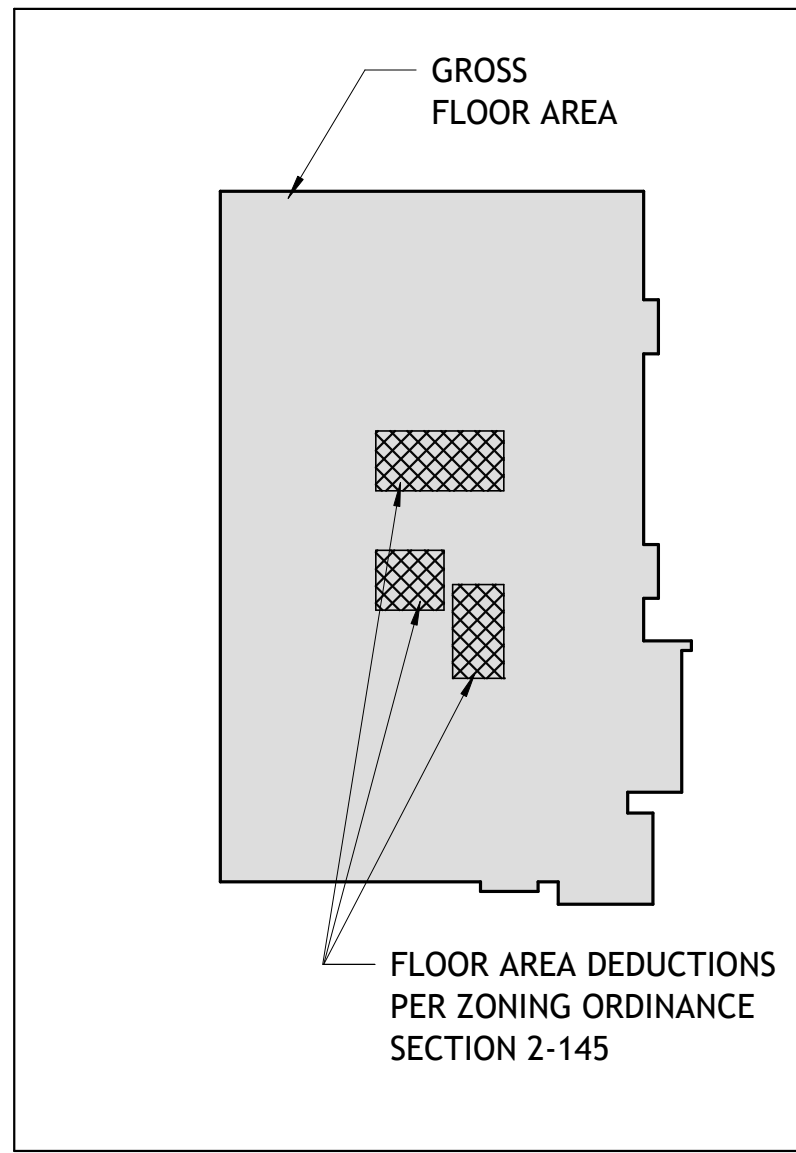
FLOOR AREA EXCLUSIONS AT LEVEL 9	
(C) STAIRS & ELEVATORS:	725 SF
(D) UNOCCUPIABLE (<7'-6" VERT CLR)	0 SF
(E) MECHANICAL SPACES:	405 SF
TOTAL AREA DEDUCTED:	1,130 SF



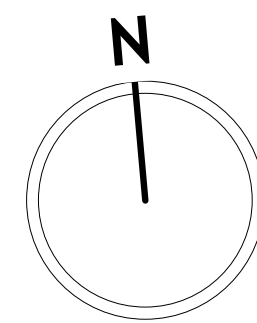
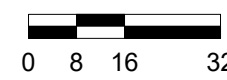
LEVEL 10

FLOOR AREA EXCLUSIONS AT LEVEL 10	
(C) STAIRS & ELEVATORS:	735 SF
(D) UNOCCUPIABLE (<7'-6" VERT CLR)	0 SF
(E) MECHANICAL SPACES:	557 SF
TOTAL AREA DEDUCTED:	1,292 SF

KEY



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DEPARTMENT OF PLANNING & ZONING	
AEF for K. Moritz 1/11/2022	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. 01/12/2022	
DIRECTOR	DATE
Chairman, Planning Commission 1/11/2022	
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
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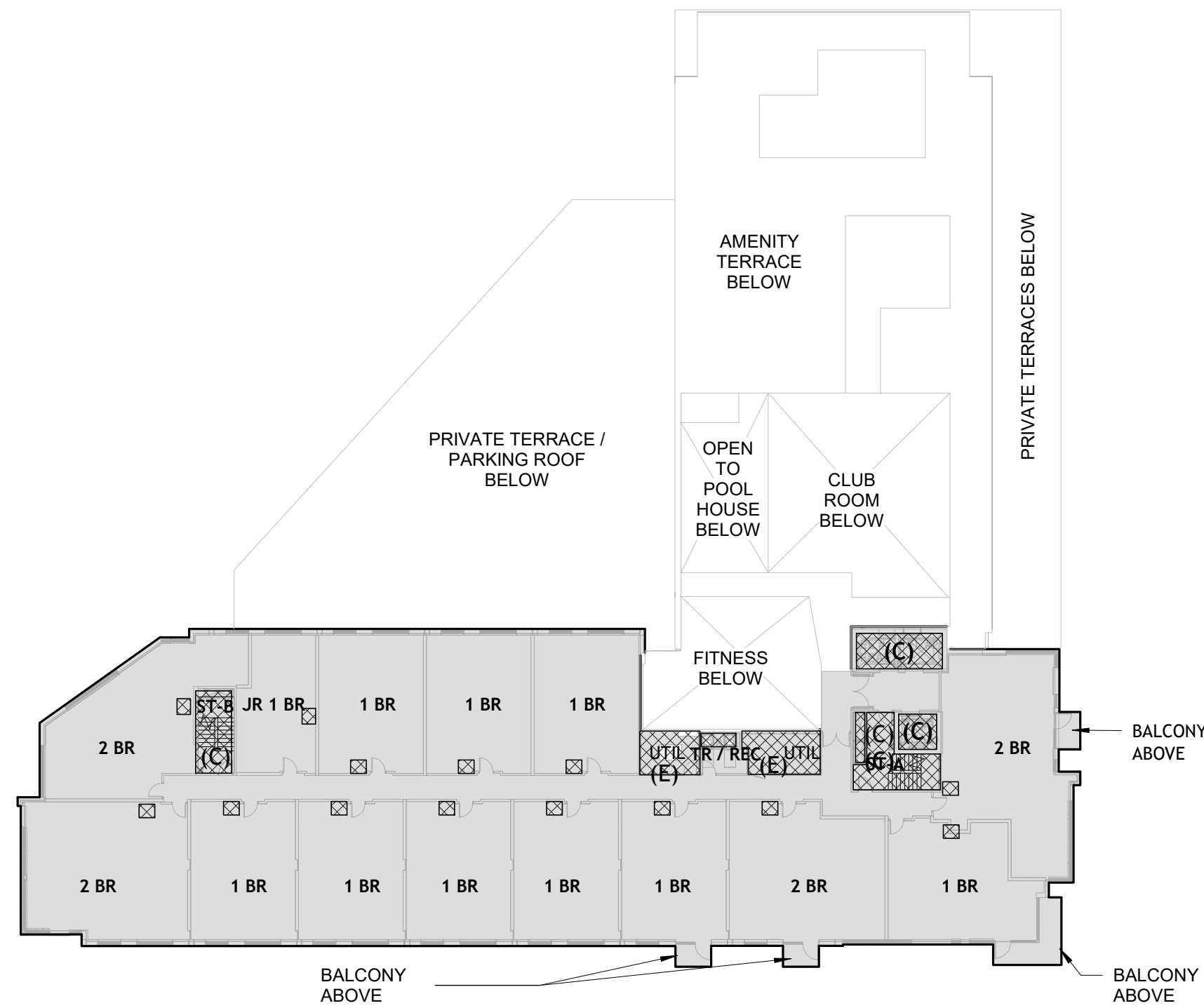
no.	date	revision

Project Name
2901 Eisenhower Ave.
Project Number
218108.00
Date
July 26, 2019
Scale
1" = 30'-0"
Drawing
Building 1 (South)
Area Plans

A106

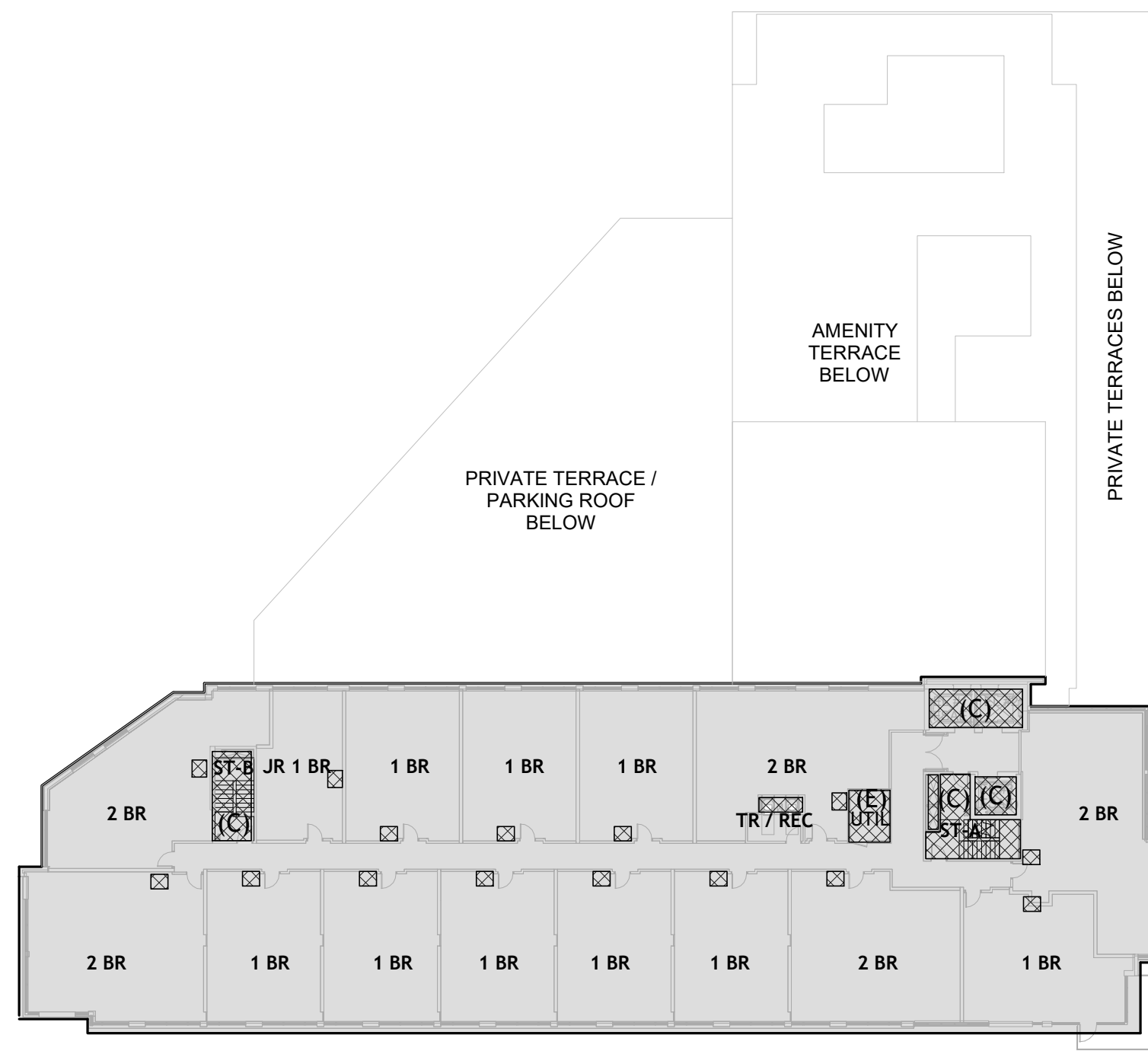
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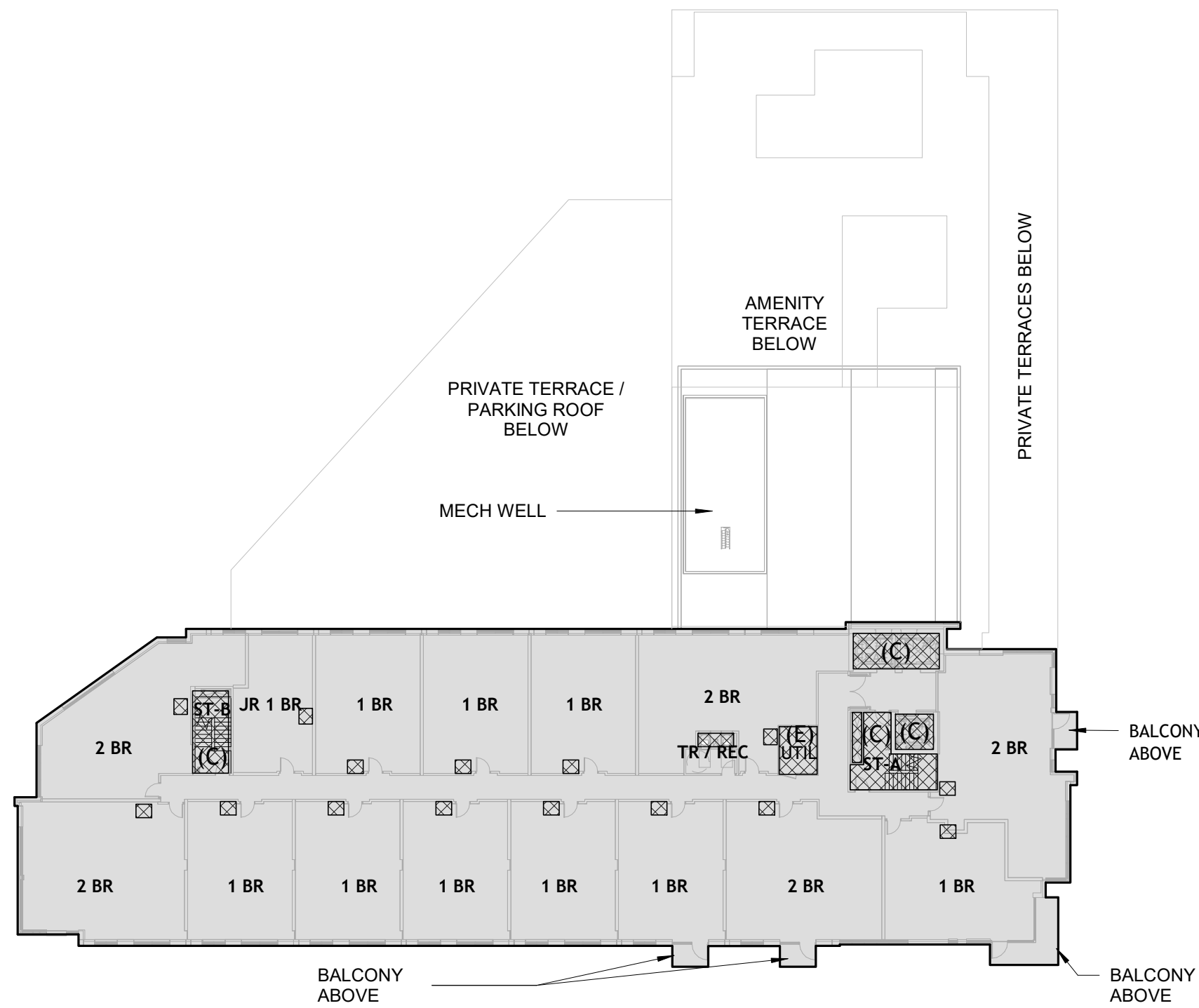
LEVEL 11

FLOOR AREA EXCLUSIONS AT LEVEL 11	
(C) STAIRS & ELEVATORS:	565 SF
(D) UNOCCUPIABLE (<7'-6" VERT CLR)	0 SF
(E) MECHANICAL SPACES:	485 SF
TOTAL AREA DEDUCTED:	1,050 SF



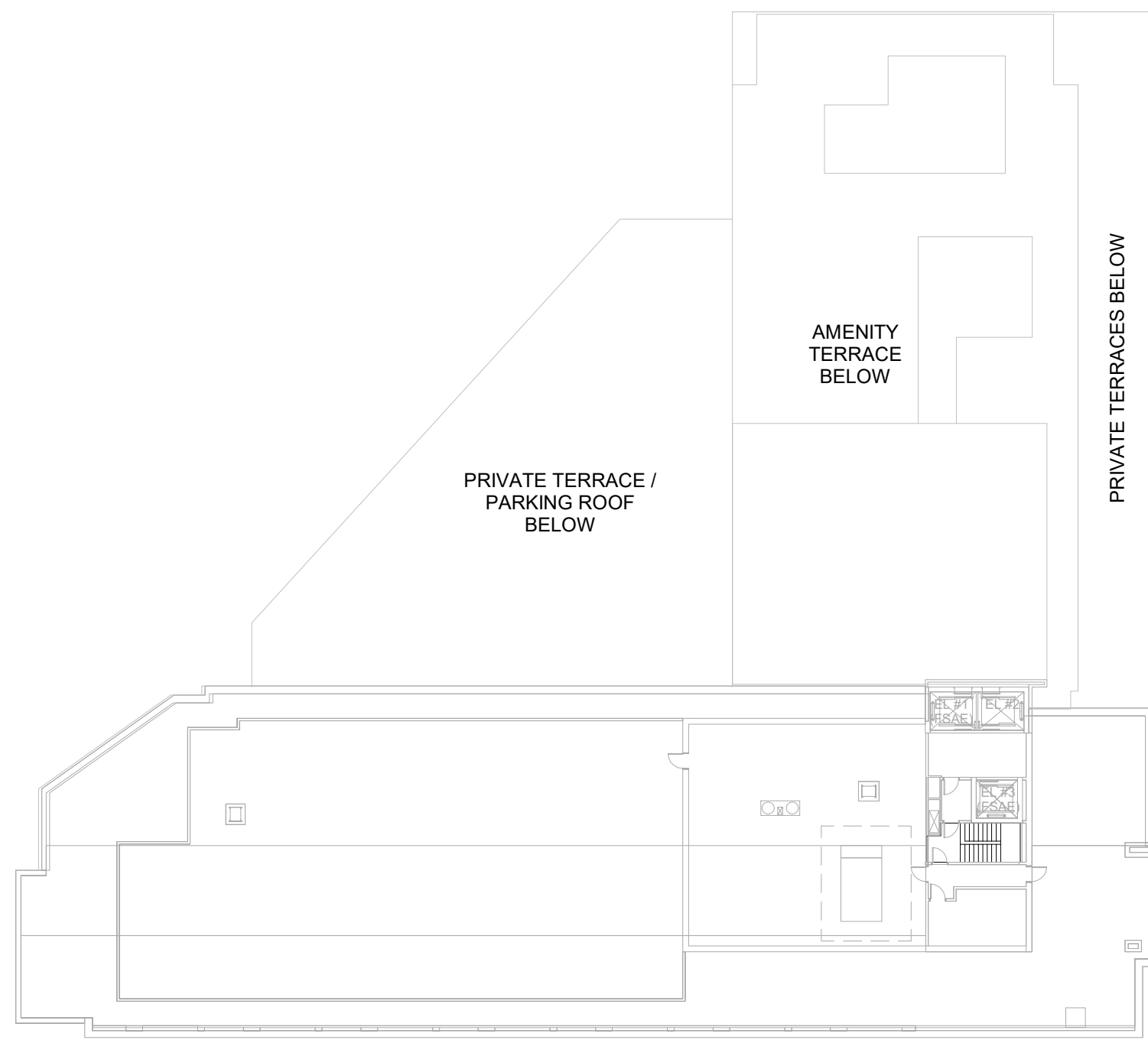
LEVEL 14

FLOOR AREA EXCLUSIONS AT LEVEL 14	
(C) STAIRS & ELEVATORS:	565 SF
(D) UNOCCUPIABLE (<7'-6" VERT CLR)	0 SF
(E) MECHANICAL SPACES:	295 SF
TOTAL AREA DEDUCTED:	860 SF



LEVEL 12

FLOOR AREA EXCLUSIONS AT LEVEL 12	
(C) STAIRS & ELEVATORS:	565 SF
(D) UNOCCUPIABLE (<7'-6" VERT CLR)	0 SF
(E) MECHANICAL SPACES:	295 SF
TOTAL AREA DEDUCTED:	860 SF



NOTE: MECHANICAL PENTHOUSE DOES NOT COUNT TOWARDS FLOOR AREA.

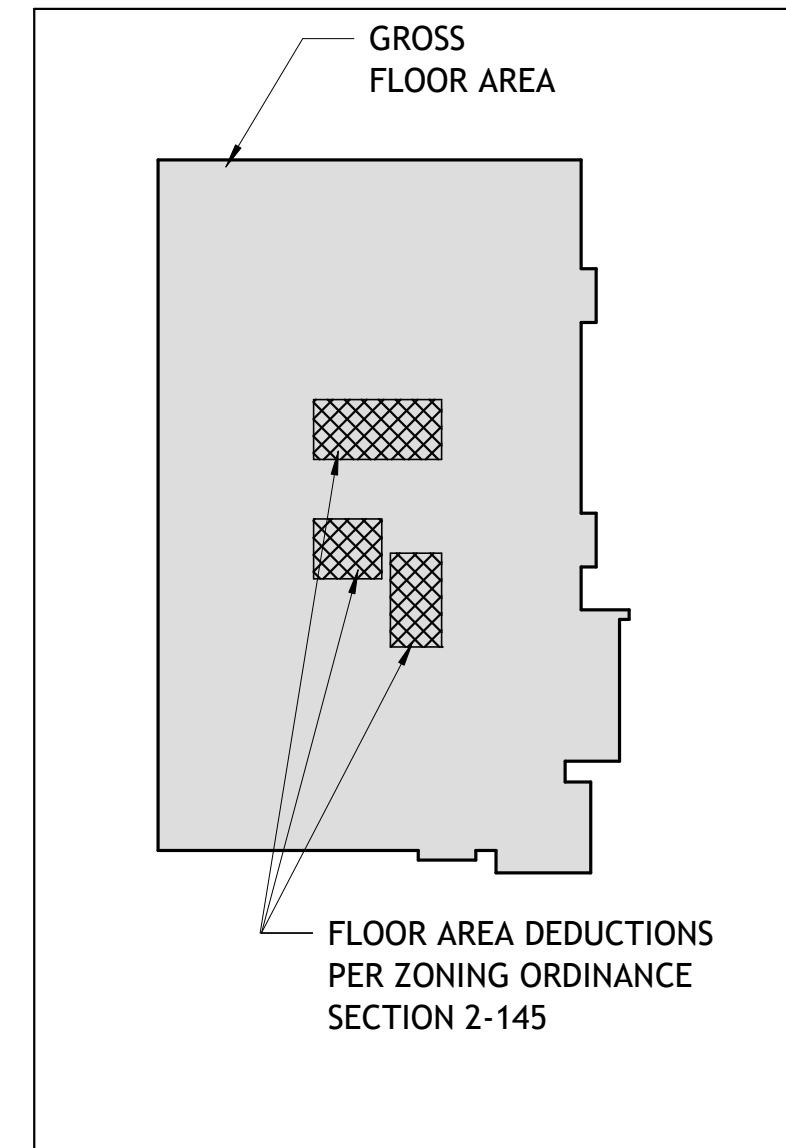
PENTHOUSE



LEVEL 13

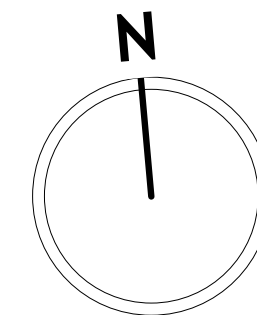
FLOOR AREA EXCLUSIONS AT LEVEL 13	
(C) STAIRS & ELEVATORS:	565 SF
(D) UNOCCUPIABLE (<7'-6" VERT CLR)	0 SF
(E) MECHANICAL SPACES:	295 SF
TOTAL AREA DEDUCTED:	860 SF

KEY



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DEPARTMENT OF PLANNING & ZONING	
AEF for K. Moritz	1/11/2022
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. <u>2018-0027</u>	01/12/2022
DIRECTOR	DATE
<i>William M. Moritz</i> 1/11/2022	
CHAIRMAN, PLANNING COMMISSION DATE	
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no.	date	revision

Project Name
2901 Eisenhower Ave.

Project Number
218108.00

Date
July 26, 2019

Scale
1" = 30'-0"

Drawing

**Building 1 (South)
Area Plans**

A106.1

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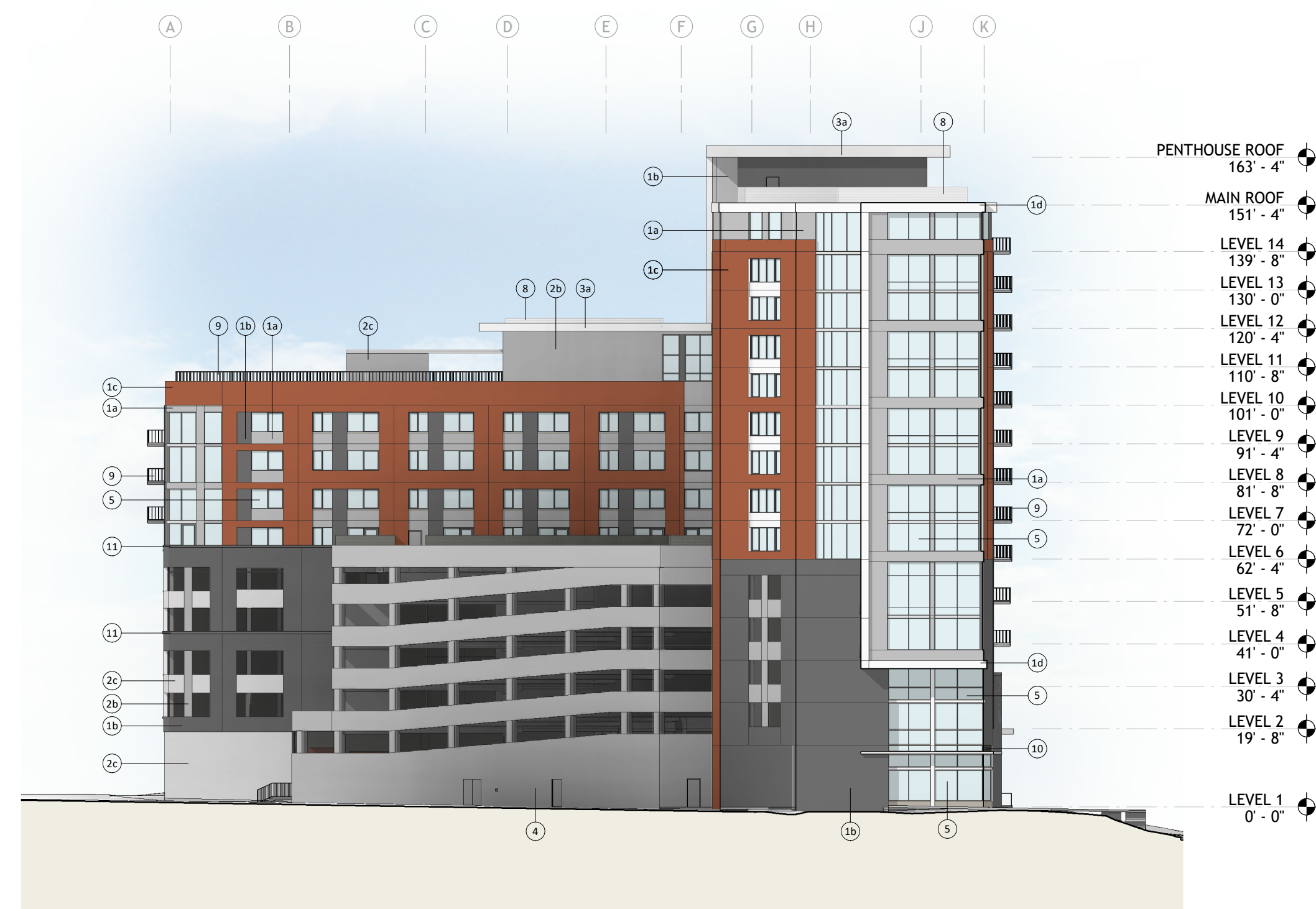
1 SOUTH ELEVATION



2 EAST ELEVATION



3 NORTH ELEVATION



4 WEST ELEVATION

MATERIAL SCHEDULE	
KEYNOTE	DESCRIPTION
1a	PRECAST CONCRETE PANEL - LIGHT COLOR
1b	PRECAST CONCRETE PANEL - DARK COLOR
1c	PRECAST CONCRETE PANEL - WARM COLOR
1d	PRECAST CONCRETE PANEL - WHITE COLOR
2a	BRICK VENEER - DARK COLOR
2b	BRICK VENEER - LIGHT COLOR 1
2c	BRICK VENEER - LIGHT COLOR 2
3a	METAL PANEL - LIGHT COLOR
3b	METAL PANEL - DARK COLOR
4	CAST IN PLACE CONCRETE (UNPAINTED)
5	WINDOW SYSTEM WITH METAL COLUMN COVERS, METAL SLAB COVERS AND/OR SPANDREL
6	SPANDREL GLAZING
7	COILING DOOR
8	MECHANICAL SCREEN
9	METAL RAILING
10	METAL LOUVER OR PERFORATED METAL PANEL
11	CAST STONE - DARK COLOR

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SPECIAL USE PERMIT NO. DSUP2018-0027

DEPARTMENT OF PLANNING & ZONING

AEF for K. Moritz 1/11/2022

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO 01/12/2022

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION 1/11/2022

CHAIRMAN, PLANNING COMMISSION DATE

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Project Name

2901 Eisenhower Ave.

Project Number

218108.00

Date

July 26, 2019

Scale

1" = 30'-0"

Drawing

Building 1 (South)
Elevations

A107

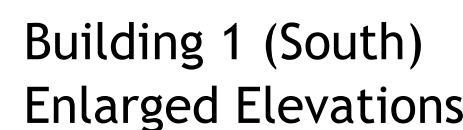
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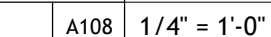
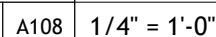
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SITE PLAN NO.

01/12/2022

J. S. V.

DIRECTOR

DATE

William M. Hancock

1/11/2022

CHAIRMAN, PLANNING COMMISSION

DATE

DATE RECORDED

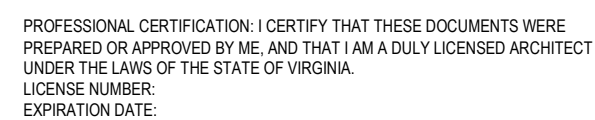
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218108.00

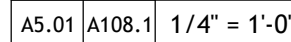
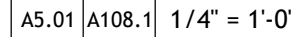
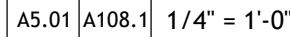
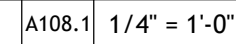
June 21, 2019

$$1/4'' = 1'-0''$$

Building 1 (South) Enlarged Elevations Section and Plans

A108.1

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SITE PLAN NO. 1991

DIRECTOR

111 " " "

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DATE RECORDED _____

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MATERIAL SCHEDULE	
KEYNOTE	DESCRIPTION
1a	PRECAST CONCRETE PANEL - LIGHT COLOR
1b	PRECAST CONCRETE PANEL - DARK COLOR
1c	PRECAST CONCRETE PANEL - WARM COLOR
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11	CAST STONE - DARK COLOR

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AEF for K. Moritz	
DIRECTOR	DATE <u>1/11/2022</u>
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. <u>10124 V</u>	
DIRECTOR	DATE <u>01/12/2022</u>
<u>William A. Hunk</u>	
CHAIRMAN, PLANNING COMMISSION	
DATE <u>1/11/2022</u>	
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no.	date	revision
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Project Name

2901 Eisenhower Ave.

Project Number

218108.00

Date _____

June 21, 201

Scale _____

1/4"

Building 1 (South) Enlarged Elevations Section and Plans

A108.2

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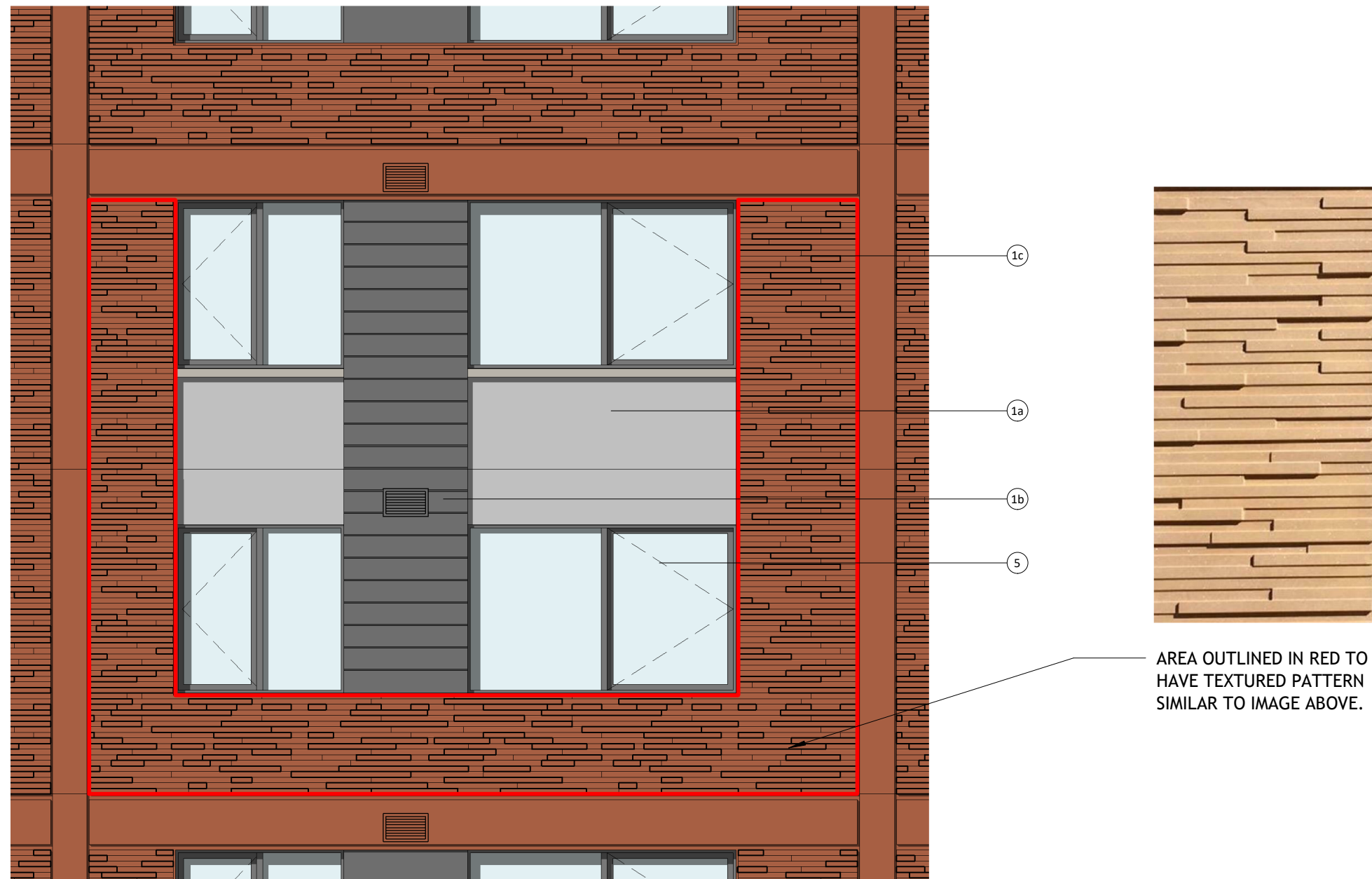
4A ENLARGED ELEVATION - SOUTH RES / RETAIL ENTRY

A109 1/4" = 1'-0"



4E ENLARGED ELEVATION - EAST RES / RETAIL ENTRY

A109 1/4" = 1'-0"



7E ENLARGED ELEVATION - TYPICAL PRECAST BAY

A109 1/4" = 1'-0"

MATERIAL SCHEDULE	
KEYNOTE	DESCRIPTION
1a	PRECAST CONCRETE PANEL - LIGHT COLOR
1b	PRECAST CONCRETE PANEL - DARK COLOR
1c	PRECAST CONCRETE PANEL - WARM COLOR
1d	PRECAST CONCRETE PANEL - WHITE COLOR
2a	BRICK VENEER - DARK COLOR
2b	BRICK VENEER - LIGHT COLOR 1
2c	BRICK VENEER - LIGHT COLOR 2
3a	METAL PANEL - LIGHT COLOR
3b	METAL PANEL - DARK COLOR
4	CAST IN PLACE CONCRETE (UNPAINTED)
5	WINDOW SYSTEM WITH METAL COLUMN COVERS, METAL SLAB COVERS AND/OR SPANDREL
6	SPANDREL GLAZING
7	COILING DOOR
8	MECHANICAL SCREEN
9	METAL RAILING
10	METAL LOUVER OR PERFORATED METAL PANEL
11	CAST STONE - DARK COLOR

APPROVED

SPECIAL USE PERMIT NO. DSUP2018-0027

DEPARTMENT OF PLANNING & ZONING

AEF for K. Moritz 1/11/2022

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. 2018-0027 01/12/2022

DIRECTOR DATE

1/11/2022

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

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2901 Eisenhower Ave.
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ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN



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LICENSE NUMBER:
EXPIRATION DATE:

no. date revision

Project Name
2901 Eisenhower Ave.

Project Number
218108.00

Date
July 26, 2019

Scale
1/4" = 1'-0"

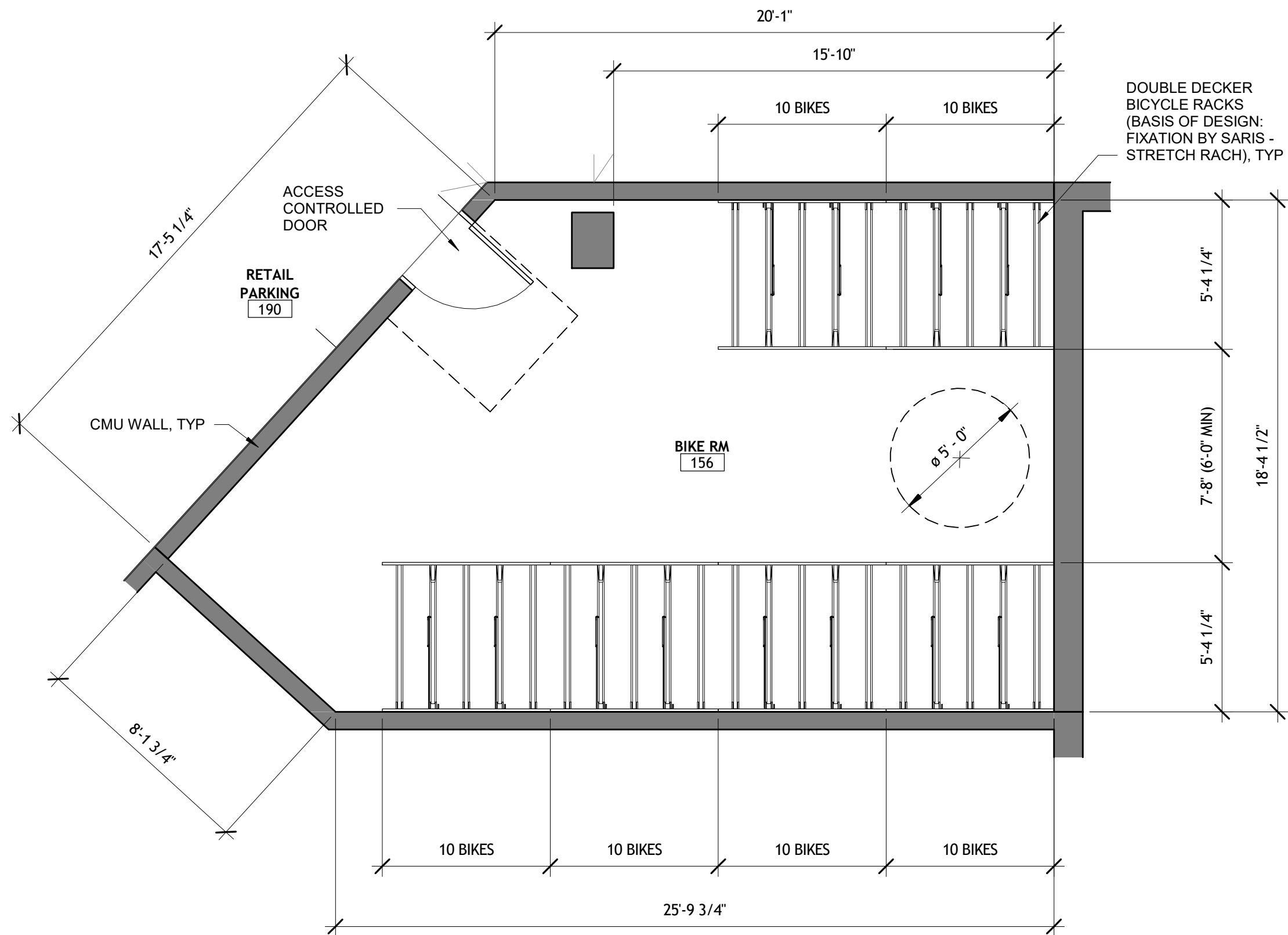
Drawing

Building 1 (South)
Enlarged Elevations
Section and Plans

A109


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3F LEVEL 1 - ENLARGED BICYCLE ROOM

A000 A110 1/4" = 1'-0"



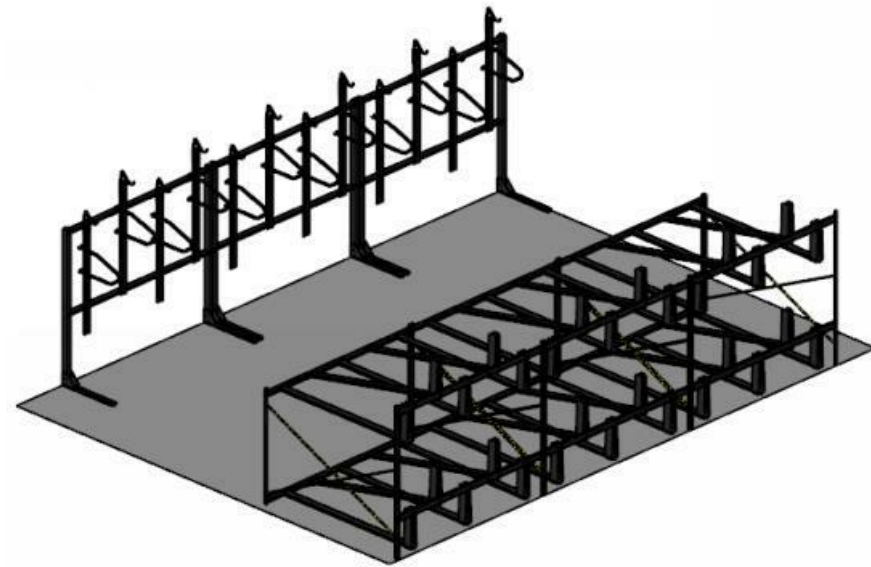
STRETCH RACK

The stretch rack provides the most dense bike parking solution. The two tier design minimizes footprint, and the space saving vertical stagger further maximizes bike density. Available in locking and non-locking options, the stretch rack is a versatile, modular indoor solution for long term parking needs.



Stretch Rack

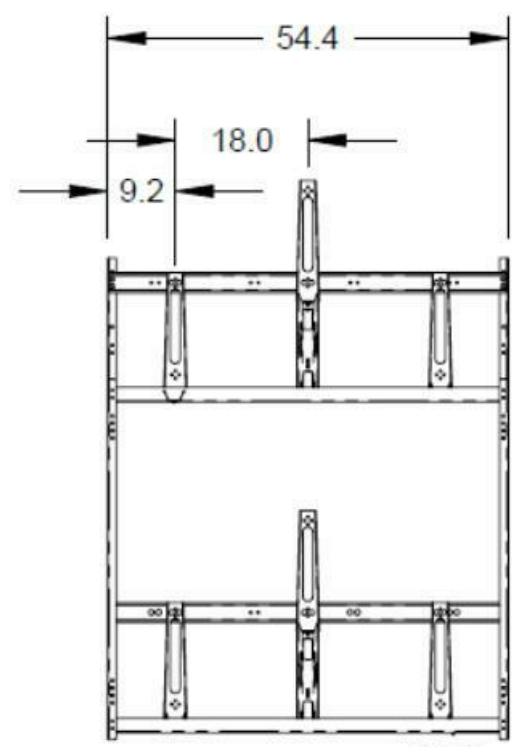
Recommended Spacing



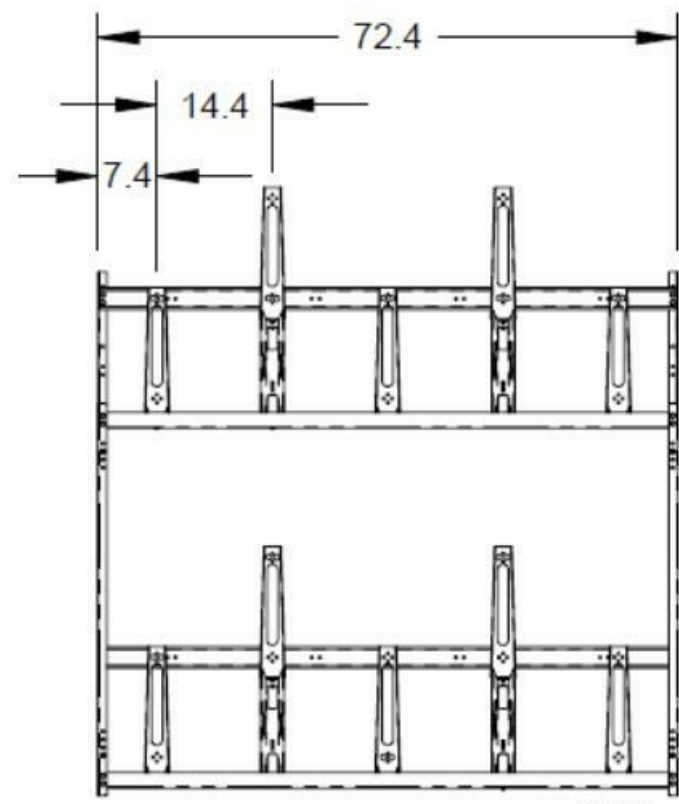
Product Details

- Modular construction allows for easy expansion, side by side or back to back
- Staggered bike position saves space and eases clearance between bikes
- Can be combined with vertical racks for full bike room layout
- Does not require anchoring (wall or floor)
- Bolt together design

Product Dimensions



8016 Shown



8010 Shown

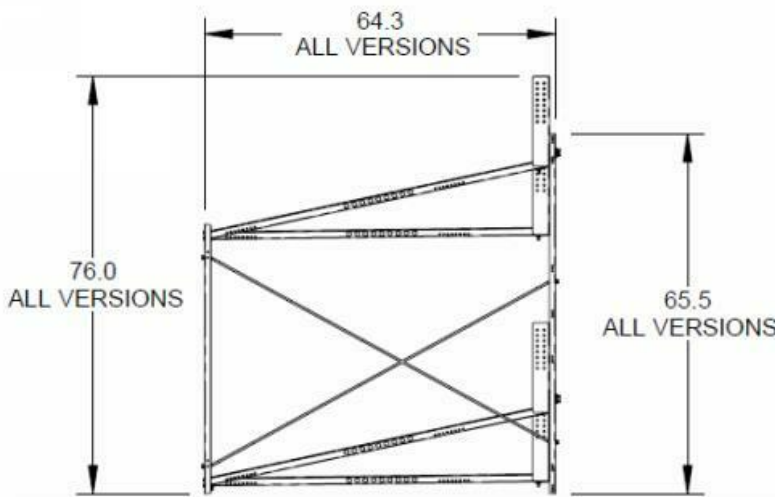
Downloadable product resources available online:



Bike Fixation by Saris 800.783.7257 www.bikefixation.com



8010 Shown



Specifications	Stretch Rack, Non-Locking				Stretch Rack, Locking			
	10 bike	8 bike	8 bike	6 bike	10 bike	8 bike	8 bike	6 bike
Bike Capacity	10 bike	8 bike	8 bike	6 bike	10 bike	8 bike	8 bike	6 bike
Model Number	8010	8090	8018	8016	8110	8180	8118	8116
Bike Spacing	14.4"	18"	13.5"	18"	14.4"	18"	13.5"	18"
Foot Print (width x depth)	72x63"	72x63"	54x63"	54x63"	72x63"	72x63"	54x63"	54x63"
Ceiling Height Min.	8ft	8ft	8ft	8ft	8ft	8ft	8ft	8ft

Our Bike Fixation representatives can assist with custom layout and spacing to meet your room dimensions and desired bike capacity.

ARCHITECT

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2901 Eisenhower Ave.

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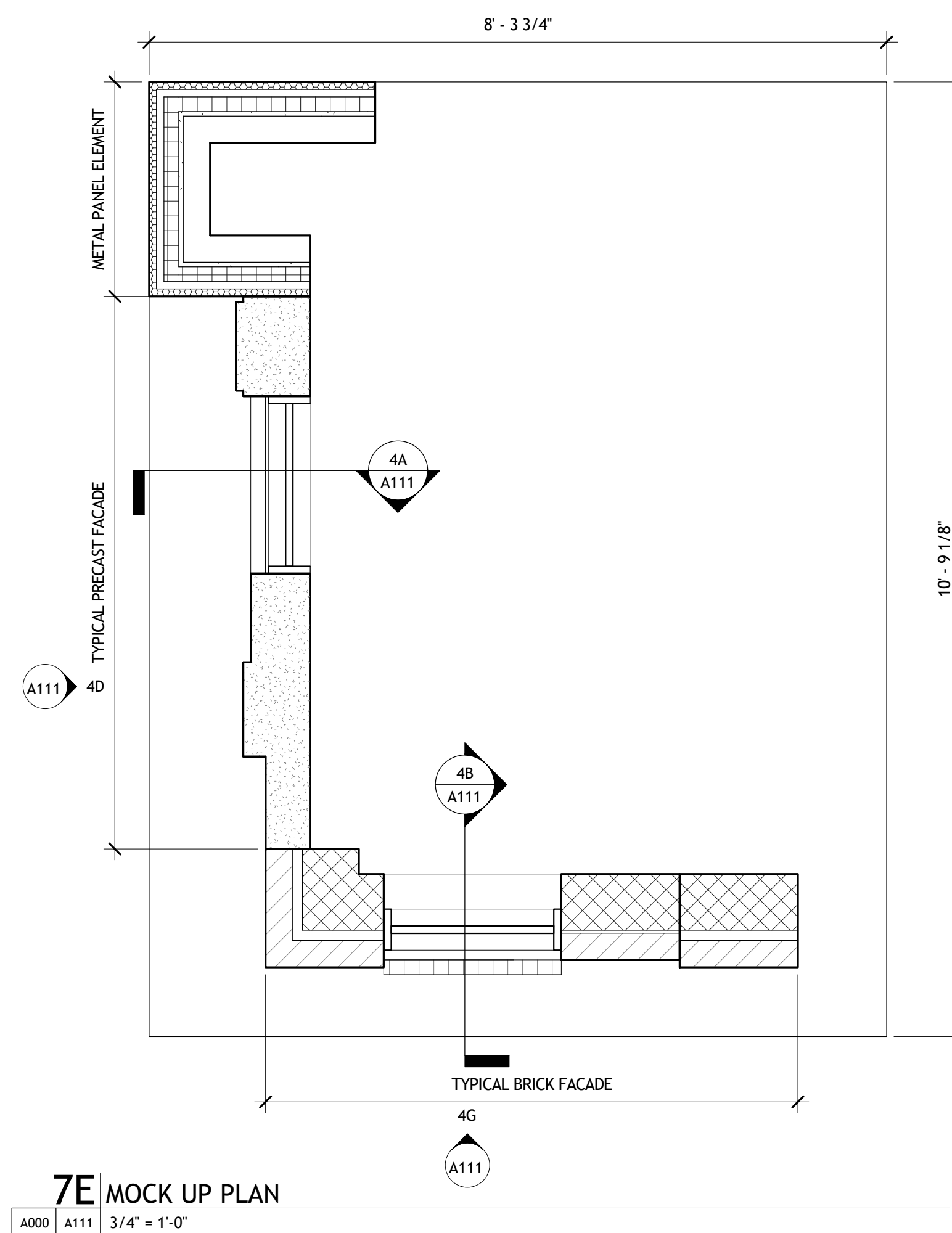
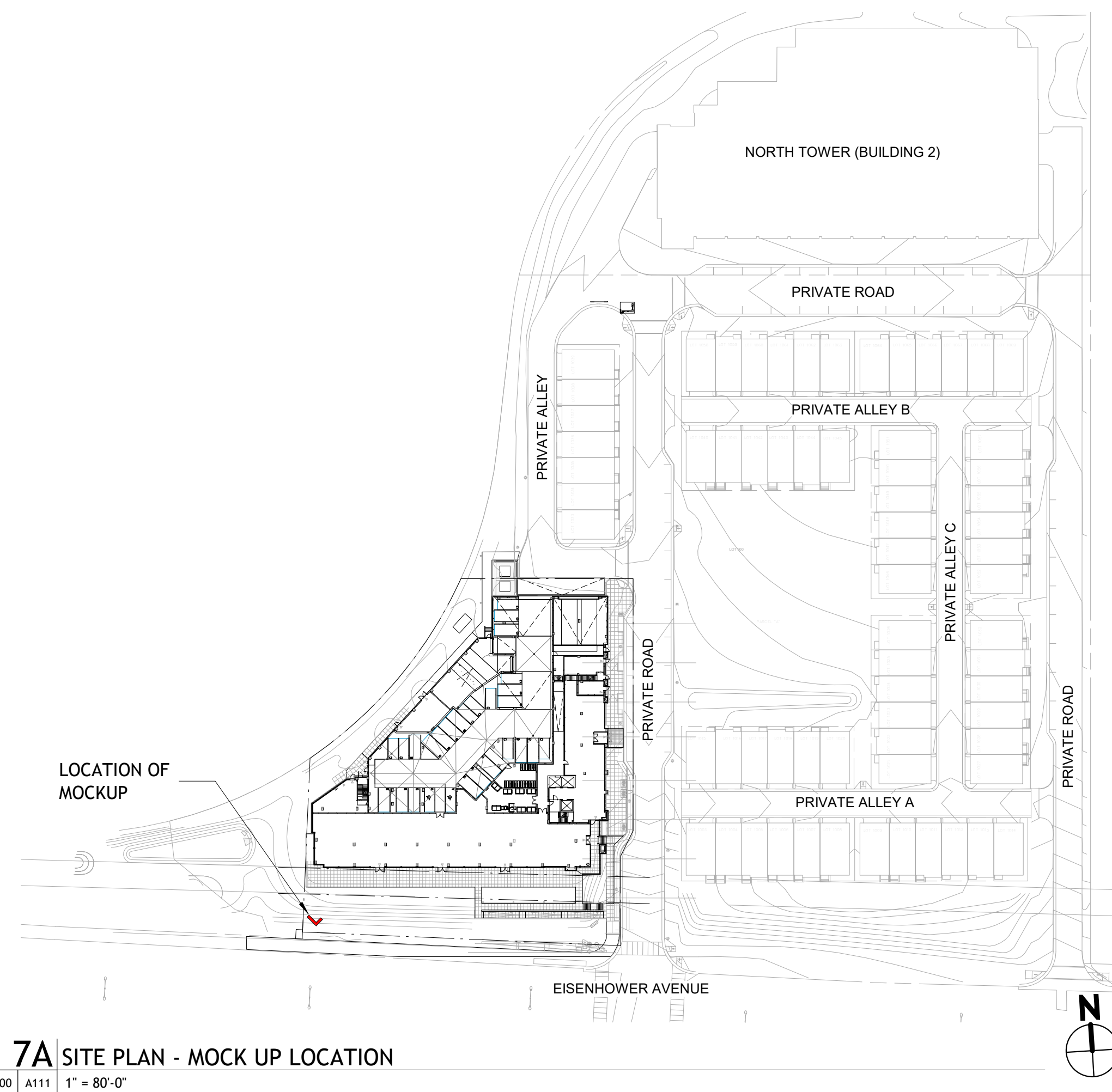
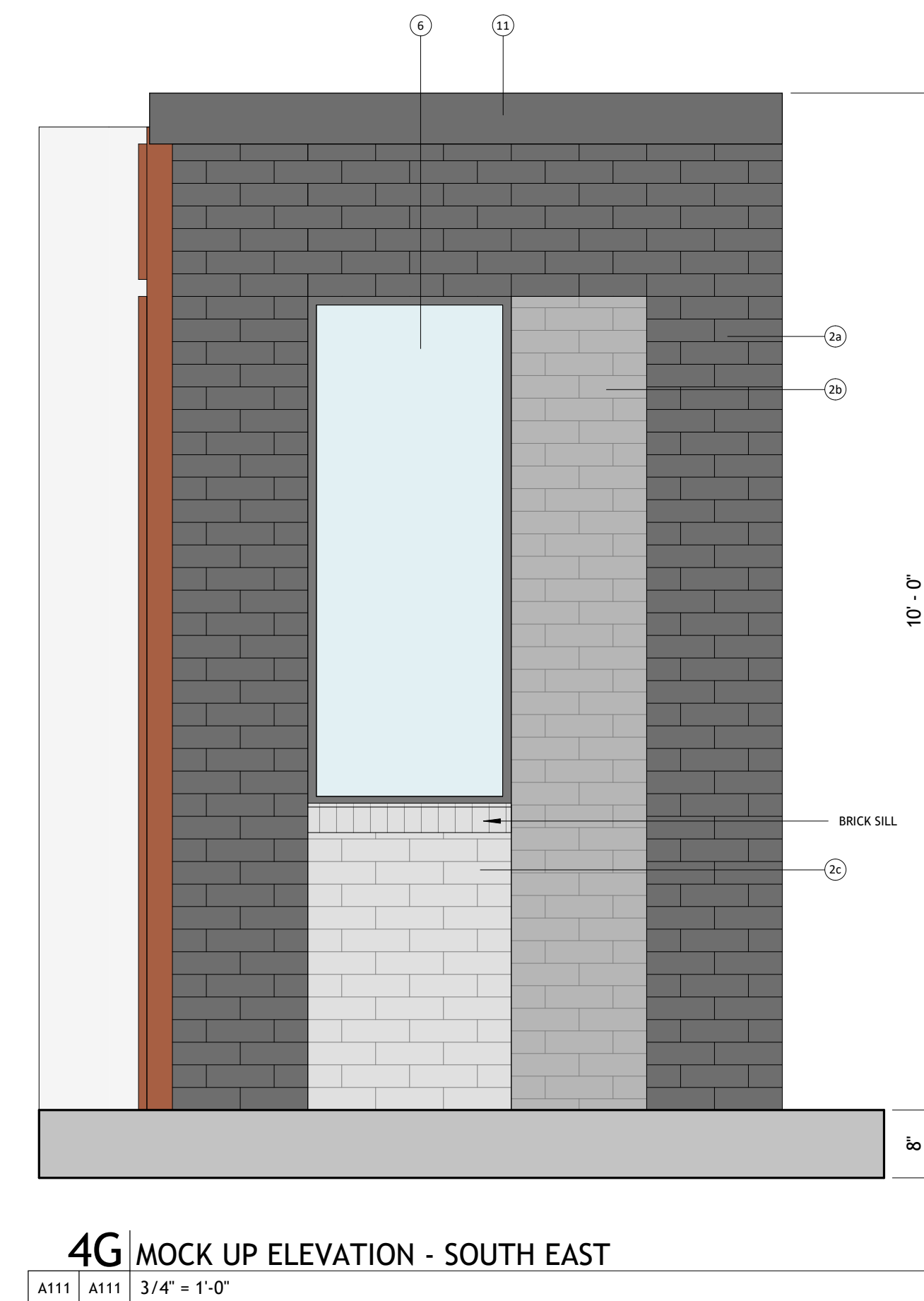
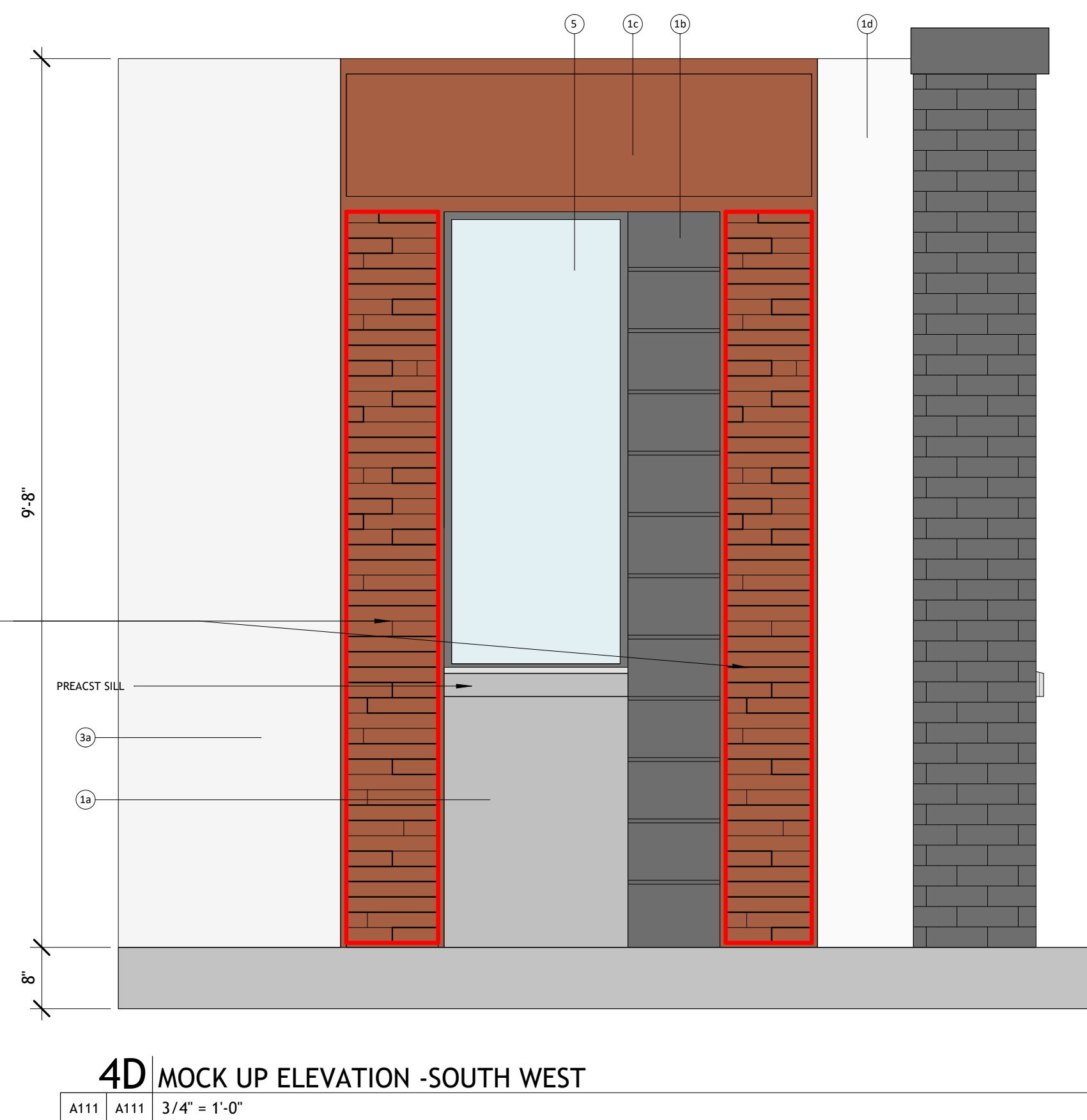
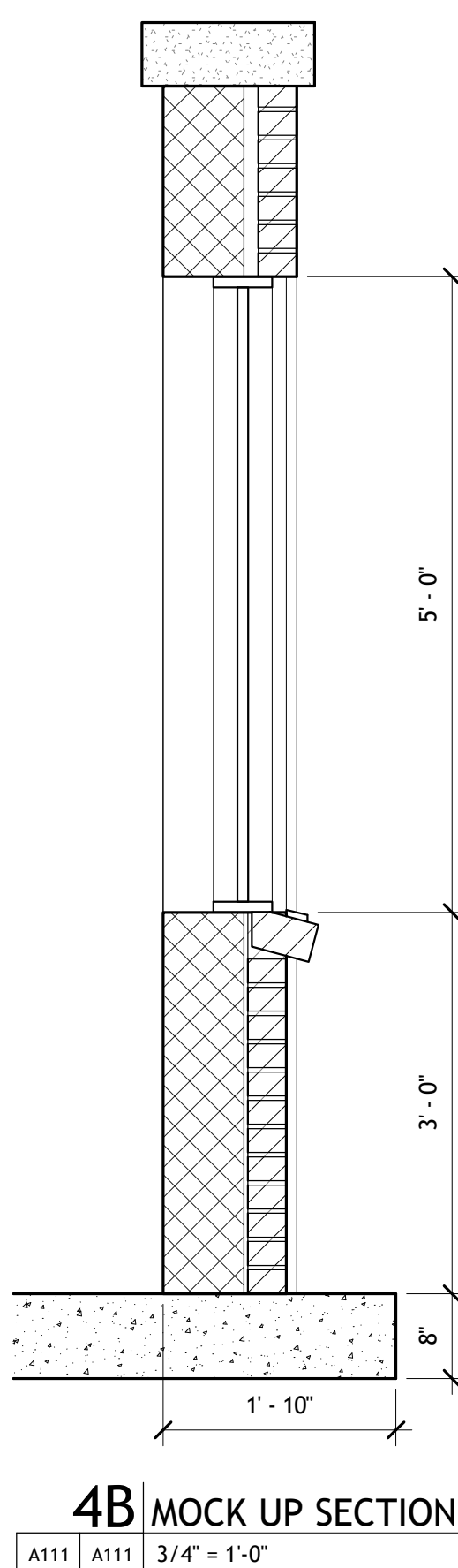
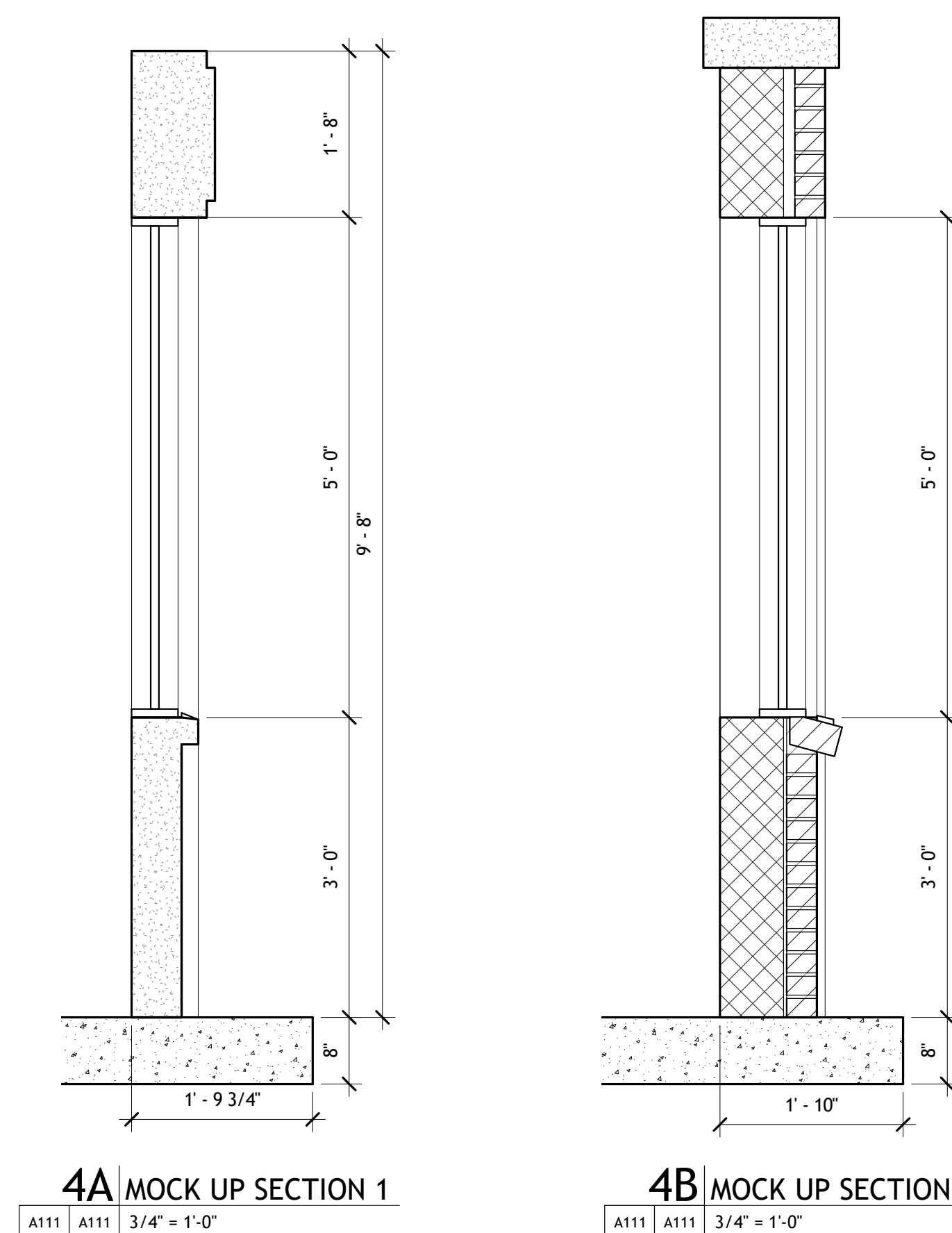
Drawing

Building 1 (South)
Bicycle Room

A110

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MOCK UP MATERIAL SCHEDULE	
KEYNOTE	DESCRIPTION
1a	PRECAST CONCRETE PANEL - LIGHT COLOR
1b	PRECAST CONCRETE PANEL - DARK COLOR
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DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. <u>10000000</u>	01/12/2022
DIRECTOR	DATE
<u>John M. Moritz</u>	1/11/2022
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED _____	
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PAGE NO. _____	

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Scale

As ind
Drawing

A111

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RUSHMARK EISENHOWER SOUTH TOWER

CITY OF ALEXANDRIA, VA

FINAL SITE PLAN

JULY 26, 2019

REVISION INDEX

REVISION DATE	REVISED ITEM DESCRIPTION
MM.DD.YY	(DESCRIPTION)

CLIENT

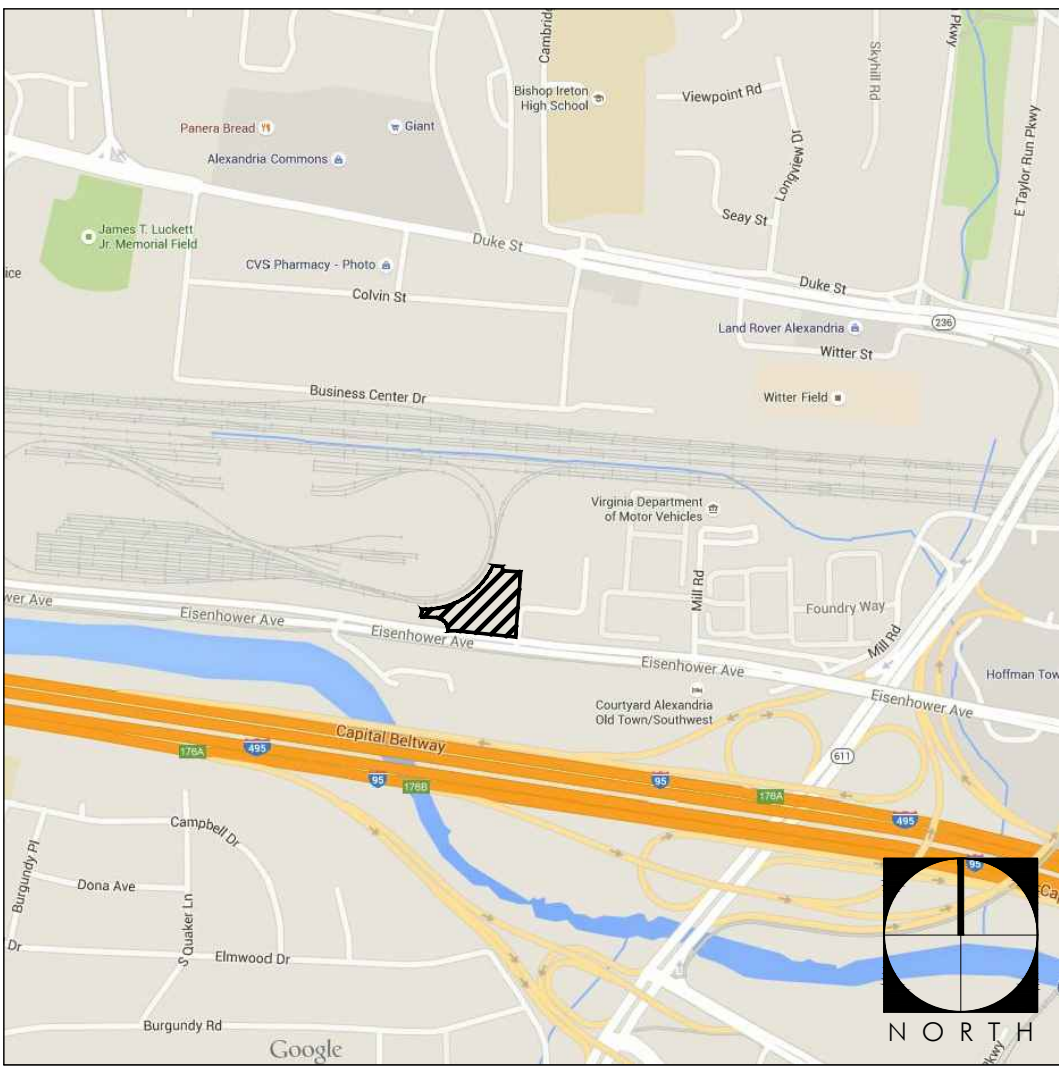
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TEL: (703) 464-9477
FAX: (703) 481-9720
CONTACT: STEVEN LIAM, P.E.



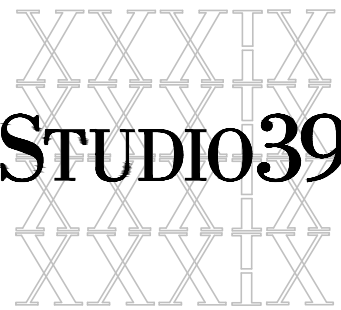
VICINITY MAP
NOT TO SCALE

Sheet List Table

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L0.02	SITE PLAN
L0.03	OPEN SPACE PLAN
L0.04	WATER MANAGEMENT PLAN
L0.05	SOIL VOLUME PLAN
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L1.01A	HARDSCAPE PLAN LEVEL 01 - NORTH
L1.01B	HARDSCAPE PLAN LEVEL 01 - SOUTH
L1.01C	HARDSCAPE PLAN LEVEL 01 - WEST
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GRADING PLANS	
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L3.01B	GRADING PLAN LEVEL 01 - SOUTH
L3.01C	GRADING PLAN LEVEL 01 - WEST
L3.10	GRADING PLAN LEVEL 10

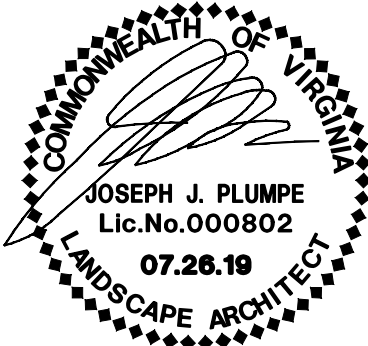
HARDSCAPE DETAILS	
L4.01	HARDSCAPE DETAILS 01
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LANDSCAPE DETAILS	
L6.01	LANDSCAPE DETAILS 01
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LIGHTING PRODUCT INFORMATION	
L8.01	LIGHTING PRODUCT INFORMATION 01
L8.02	LIGHTING PRODUCT INFORMATION 02

LANDSCAPE ARCHITECT



Landscape Architecture, P.C.

6416 GROVEDALE DRIVE, SUITE 100-A
ALEXANDRIA, VIRGINIA 22310
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p:\2015\15046 2901 eisenhower avenue\6.0 cad files\REST DD\0.01 GENERAL NOTES.dwg

COMMON ABBREVIATIONS

A/C	AIR CONDITIONING	I	ID	INSIDE DIAMETER
AASHTO	AMERICAN ASSOCIATION OF STATE HWY & TRANSPORTATION. OFFICIALS	INSTL	INSTL	INSTALLATION
AB	ANCHOR BOLT	INV	INV	INVERT
ABRSV	ABRASIVE	IP	IP	IRON PIPE
ABV	ABOVE	J	JST	JOIST
AC	ACRE	JT	JT	JOINT
ACD	ACCESS DOOR	L	LAM	LAMINATED
AD	AREA DRAIN	LB	LB	POUND
ADA	AMERICAN WITH DISABILITIES ACT	LBR	LBR	LUMBER
ADEN	ADDENDA, ADDENDUM	LH	LH	LEFT HAND
ADD	ADDITIONAL	LOD	LOD	LIMITS OF DISTURBANCE
ADH	ADHESIVE	LOS	LOS	LINE OF SIGHT
ADJ	ADJACENT	LOW	LOW	LIMITS OF WORK
ADJT	ADJUSTABLE	LTP	LTP	LIGHT POLE
A-E	ARCHITECT ENGINEER	LP	LP	LOW POINT
AFF	ABOVE FINISH FLOOR	LS	LS	LANDSCAPE
AFG	ABOVE FINISH GRADE	LT	LT	LIGHT
AGGR	AGGREGATE	LTG	LTG	LIGHTING
ALUM	ALUMINUM	LVL	LVL	LEVEL
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	M	MAS	MASONRY
APPROX	APPROXIMATE	MATL	MATL	MATERIAL
APT	APARTMENT	MAX	MAX	MAXIMUM
ASPH	ASPHALT	MECH	MECH	MECHANICAL
ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS	MED	MED	MEDIUM
AVE	AVENUE	MET	MET	METAL
B		METB	METB	METAL BASE
B&B	BALL AND BURLAP	MFG	MFG	MANUFACTURING
BC	BOTTOM OF CURB, BOTTOM OF COLUMN	MH	MH	MANHOLE
BE	BEAM	MIN	MIN	MINIMUM
BITUM	BITUMINOUS	MISC	MISC	MISCELLANEOUS
BL	BASELINE	MILDG	MILDG	MOLDING
BLDG	BUILDING	MTG	MTG	MOUNTING
BLK	BLOCK	MULL	MULL	MULLION
BLVD	BOULEVARD	MUTCD	MUTCD	MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES
BM	BENCHMARK	N	N	NORTH
BMP	BEST MANAGEMENT PRACTICES	N/A	N/A	NOT APPLICABLE
BOC	BACK OF CURB	NIC	NIC	NOT IN CONTRACT
BP	BREAK POINT	NO	NO	NUMBER
BRK	BRICK	NOM	NOM	NOMINAL
BRKT	BRACKET	NTS	NTS	NOT TO SCALE
BRL	BUILDING RESTRICTION LINE	O	OA	OVERALL
BS	BOTTOM OF STEP	OC	OC	ON CENTER
BSMT	BASEMENT	OD	OD	OUTSIDE DIAMETER
BTWN	BETWEEN	OPNG	OPNG	OPENING
BW	BOTTOM OF WALL	OPT	OPT	OPTIONAL
BEV	BEVEL	ORIG	ORIG	ORIGINAL
C		P	PAR	PARALLEL
CB	CATCH BASIN	PERP	PERP	PERPENDICULAR
CC	CENTER TO CENTER	PI	PI	POINT OF INTERSECTION
CEM	CEMENT	PIE	PIE	PUBLIC IMPROVEMENT EASEMENT
CI	CAST IRON	PKWY	PKWY	PARKWAY
CIP	CAST IRON PIPE	PL	PL	PROPERTY LINE
CIPC	CAST-IN-PLACE CONCRETE	PLBG	PLBG	PLUMBING
CJ	CONTROL JOINT	PLYWD	PLYWD	PLYWOOD
CL	CENTER LINE	PNL	PNL	PANEL
CLO	CLOSET	PNT	PNT	PAINT
CLR	CLEAR	POB	POB	POINT OF BEGINNING
CMU	CONCRETE MASONRY UNIT	PR	PR	PAIR
COL	COLUMN	PRCST	PRCST	PRECAST
CONC	CONCRETE	PRELIM	PRELIM	PRELIMINARY
CONN	CONNECTION	PRKG	PRKG	PARKING
CONST	CONSTRUCTION	PROP	PROP	PROPOSED
CONT	CONTINUOUS	PSF	PSF	POUNDS PER SQUARE FOOT
COORD	COORDINATE	PSI	PSI	POUNDS PER SQUARE INCH
D		PT	PT	PRESSURE TREATED
DF	DRINKING FOUNTAIN	PTD	PTD	PAINTED
DIA	DIAMETER	PUE	PUE	PUBLIC UTILITY EASEMENT
DIM	DIMENSION	PVMT	PVMT	PAVEMENT
DIST	DISTANCE	R	R	RISER, RADIUS
DR	DRIVE	RC	RC	REINFORCED CONCRETE
DRN	DRAIN	RD	RD	ROAD
DWG	DRAWING	RDWY	RDWY	ROADWAY
DEMO	DEMOLITION	REC	REC	RECESSED
DET	DETAIL	REF	REF	REFERENCE
DI	DROP INLET	REQD	REQD	REQUIRED
DN	DOWN	RFD	RFD	ROOF DRAIN
DS	DOWNSPOUT	RH	RH	RIGHT HAND
DT	DRAIN TILE	RIM	RIM	DRAIN INLET RIM ELEVATION
DWL	DOWEL	RLG	RLG	RAILING
E		RM	RM	ROOM
E	EAST	RND	RND	ROUND
EA	EACH	ROW	ROW	RIGHT OF WAY
ELEC	ELECTRICAL	RP	RP	RADIUS POINT
ELEC P	ELECTRICAL PANEL	RPA	RPA	RESOURCE PROTECTION AREA
ELEV	ELEVATION	RTE	RTE	ROUTE
ENCL	ENCLOSURE	S	S	SOUTH
ENTR	ENTRANCE	SD	SD	SURFACE DRAIN
EP	EDGE OF PAVEMENT	SECT	SECT	SECTION
EQ	EQUAL	SGL	SGL	SINGLE
EQL SP	EQUALLY SPACED	SJ	SJ	SCORED JOINT
EQUIP	EQUIPMENT	SLP	SLP	SLOPE
ESMT	EASEMENT	SM	SM	SMOOTH
ETD	EXISTING TO BE DEMOLISHED	SPEC	SPEC	SPECIFICATION
ETR	EXISTING TO REMAIN	SQ FT	SQ FT	SQUARE FOOT
ETRL	EXISTING TO BE RELOCATED	SQ IN	SQ IN	SQUARE INCH
ETRP	EXISTING TO BE REPLACED	SST	SST	STAINLESS STEEL
EW	EACH WAY	ST	ST	STREET
EX	EXISTING	STA	STA	STATION POINT
EXP	EXPANSION	STD	STD	STANDARD
EXT	EXTERIOR	STL	STL	STEEL
F		STM	STM	STORM DRAIN
FAR	FLOOR AREA RATIO	SW	SW	SIDEWALK
FBD	FIBER BOARD	SWM	SWM	STORM WATER MANAGEMENT
FD	FLOOR DRAIN	T	T	TONGUE AND GROOVE
FDN	FOUNDATION	TG	TG	TOP OF CURB, TOP OF COLUMN
FFE	FINISHED FLOOR ELEVATION	TD	TD	TRENCH DRAIN
FIN	FINISH	TEMP	TEMP	TEMPORARY
FIN FL	FINISH FLOOR	TS	TS	TOP OF STEP
FIN GR	FINISH GRADE	TW	TW	TOP OF WALL
FN	FENCE	TXT	TXT	TEXT
FOC	FRONT OF CURB	TYP	TYP	TYPICAL
FT	FOOT/FEET	U	UNFIN	UNFINISHED
FTG	FOOTING	V	VERT	VERTICAL
FUT	FUTURE	W	W	WEST
FXTR	FIXTURE	WD	WD	WOOD
G		WI	WI	WROUGHT IRON
GA	GAUGE	WLD	WLD	WELDED
GAB	GRADED AGGREGATE BASE	WP	WP	WATER PROOFING
GALV	GALVANIZED	WR	WR	WATER RESISTANT
GC	GENERAL CONTRACTOR	WWM	WWM	WELDED WIRE MESH
GDR	GUARD RAIL	WWR	WWR	WELDED WIRE REINFORCEMENT
GFA	GROSS FLOOR AREA	Y	YD	YARD DRAIN
GIP	GALVANIZED IRON PIPE			
GL	GLASS			
GP	GUTTER PAN			
GVL	GRAVEL			
H				
HB	HOSE BIBB			
HC	HANDICAP PARKING SPACE			
HDPE	HIGH DENSITY POLYETHYLENE PIPE			
HDWD	HARDWOOD			
HDWE	HARDWARE			
HT	HEIGHT			
HNDRL	HANDRAIL			
HORZ	HORIZONTAL			
HP	HIGH POINT			
HS	HARDSCAPE			

PROFESSIONAL TITLES

ARCH	ARCHITECT
CIVIL	CIVIL ENGINEER
ENGR	ENGINEER
GC	GENERAL CONTRACTOR
ID	INTERIOR DESIGNER
MEP	MECHANICAL/ELECTRICAL/PLUMBING
LA	LANDSCAPE ARCHITECT
LC	LANDSCAPE CONTRACTOR
STR	STRUCTURAL ENGINEER

MATERIAL GRAPHICS

	CONCRETE		FABRIC SEPARATOR
	COMPACTED AGGREGATE SUB-BASE		STEEL / IRON
	SAND		ALUMINUM
	MORTAR		BRASS / BRONZE / COPPER
	MORTAR NEXT TO SAND SETTING BED		WOOD
	BRICK / PAVER		MULCH
	DRAINAGE GRAVEL		PLASTIC
	SOIL / COMPACTED SOIL / UNDISTURBED SUBGRADE		ARCHITECTURAL PRECAST
	STRUCTURAL / PLANTING / LIGHTWEIGHT SOIL		WELDED WIRE REINFORCEMENT
	EXPANSION JOINT W/ BACKER ROD		CMU
	REBAR		RIGID INSULATION W/ OPEN JOINTS FOR DRAINAGE
	STONE		BRICK / CONCRETE PAVER RUNNING BOND
	ASPHALT CONCRETE W/ NEOPRENE TACK COAT		BRICK / CONCRETE PAVER HERRINGBONE

LEGEND

	EXISTING INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	PROPOSED INDEX CONTOUR
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	ELEVATION
	STATION POINT
	EASEMENT (PUE, PIE, ETC.)
	CENTER LINE
	PROPERTY LINE
	RIGHT OF WAY
	LOT LINE
	CENTER LINE OF SWALE
	EXPANSION JOINT
	STEP
	EXISTING LIGHT
	PROPOSED POLE LIGHT
	PROPOSED PEDESTRIAN LIGHT
	PROPOSED WALL LIGHT
	PROPOSED BOLLARD
	PROPOSED FOUNTAIN LIGHT
	PROPOSED FLOODLIGHT
	PROPOSED UPLIGHT
	PROPOSED STEP LIGHT
	SLAB DRAIN
	SURFACE DRAIN / YARD DRAIN
	TRENCH DRAIN
	PLANT CALLOUT
	MATERIAL OR DETAIL CALLOUT
	ELEVATION CALLOUT
	SECTION CALLOUT
	TREE PROTECTION FENCE

GENERAL NOTES

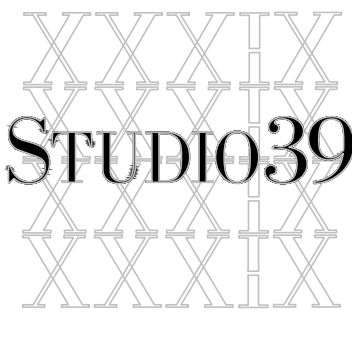
GENERAL LAYOUT NOTES:

- BASE TOPOGRAPHICAL AND EXISTING CONDITIONS TAKEN FROM DRAWING FURNISHED BY BOWMAN CONSULTING.
- DRAWINGS PREPARED FROM CIVIL AND ARCHITECTURAL DRAWINGS, NOT AS-BUILT DATA PREPARED BY BOWMAN CONSULTING AND PREPARED BY HORD COPLAN MACHT.
- UTILITY WORK IS NOT INDICATED ON THIS DRAWING. REFER TO CIVIL DRAWINGS FOR WORK RELATED TO UTILITIES.
- DO NOT SCALE THESE DRAWINGS.
- DIMENSIONS ARE FROM BACK OF CURB, TO FACE OF WALL, TO OUTSIDE EDGE OF PAVEMENTS; FROM COLUMN CENTERLINES TO HARDSCAPE CENTERLINES, TO CENTERLINE OF PAVEMENTS, TO OUTSIDE EDGE OF PAVEMENTS, TO CENTERLINES OF STAIRS; FROM EDGE OF PAVEMENT TO FACE OF WALL UNLESS OTHERWISE SPECIFIED.
- ALL CURVES TO BE TRUE RADII WITHOUT STRAIGHT SEGMENTS.
- ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
- CHANGES IN LAYOUT MAY BE MADE AT THIS TIME TO ACCOMMODATE DESIGN INTENT OR FIELD CONDITIONS. NO ADDITIONAL PAYMENT WILL BE MADE TO THE CONTRACTOR FOR THIS WORK.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND IN PLANS AND ANY CONFLICTS ENCOUNTERED IN FIELD.
- QUANTITIES REFERENCED IN PLANS ARE SHOWN AS A COURTESY ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL WALLS, SIDEWALKS, PATHWAYS, FENCES, AND STAIRWAYS SHALL BE COMPLETELY LAID OUT AND STAKED WITH VISIBLE MARKERS. THE STAKES SHALL BE APPROVED IN THE FIELD BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO SITE VISIT.
- CONTRACTOR IS RESPONSIBLE FOR ALL WIRING, CONDUIT, FOOTINGS, PERMITS, ETC. NECESSARY TO COMPLETE SITE LIGHTING INSTALLATION. CONTRACTOR TO COORDINATE POWER CONNECTIONS WITH ELECTRICAL ENGINEER AND OWNER.
- BENCH AND LITTER RECEPTACLE LAYOUT SHOWN IS APPROXIMATE. LAYOUT TO BE APPROVED IN THE FIELD BY LANDSCAPE ARCHITECT.

ARCHAEOLOGY NOTES:

- THE APPLICANT SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703.746.4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
- THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY UNLESS AUTHORIZED BY THE ALEXANDRIA ARCHAEOLOGY.
- ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE

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DIRECTOR		DATE	
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SITE PLAN No.			
		01/12/2022	
DIRECTOR		DATE	
		1/11/2022	
CHAIRMAN, PLANNING COMMISSION		DATE	
DATE RECORDED			
INSTRUMENT NO.		DEED BOOK NO.	
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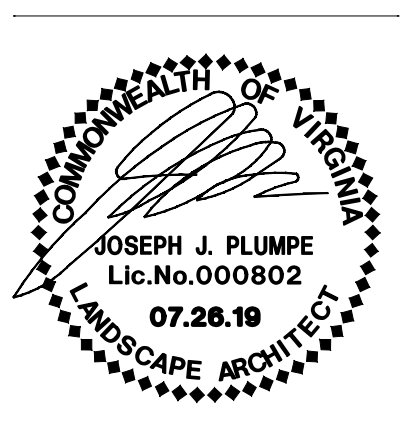
Landscape Architecture, P.C.

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GENERAL NOTES

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	DRAWN:	PT
	CHECKED:	DD

SCALE: NTS



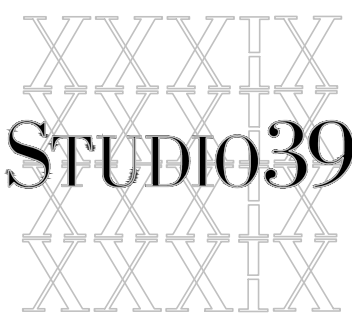
PROJECT NO: 15046

DATE: 07.26.19

L0.01

FINAL SITE PLAN

FINAL SUBMISSION

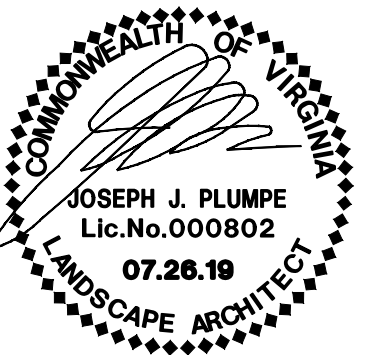


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REVISIONS:

NO.	DESCRIPTION	DATE

SITE PLAN

DESIGN: CO/PT
DRAWN: PT
CHECKED: DD

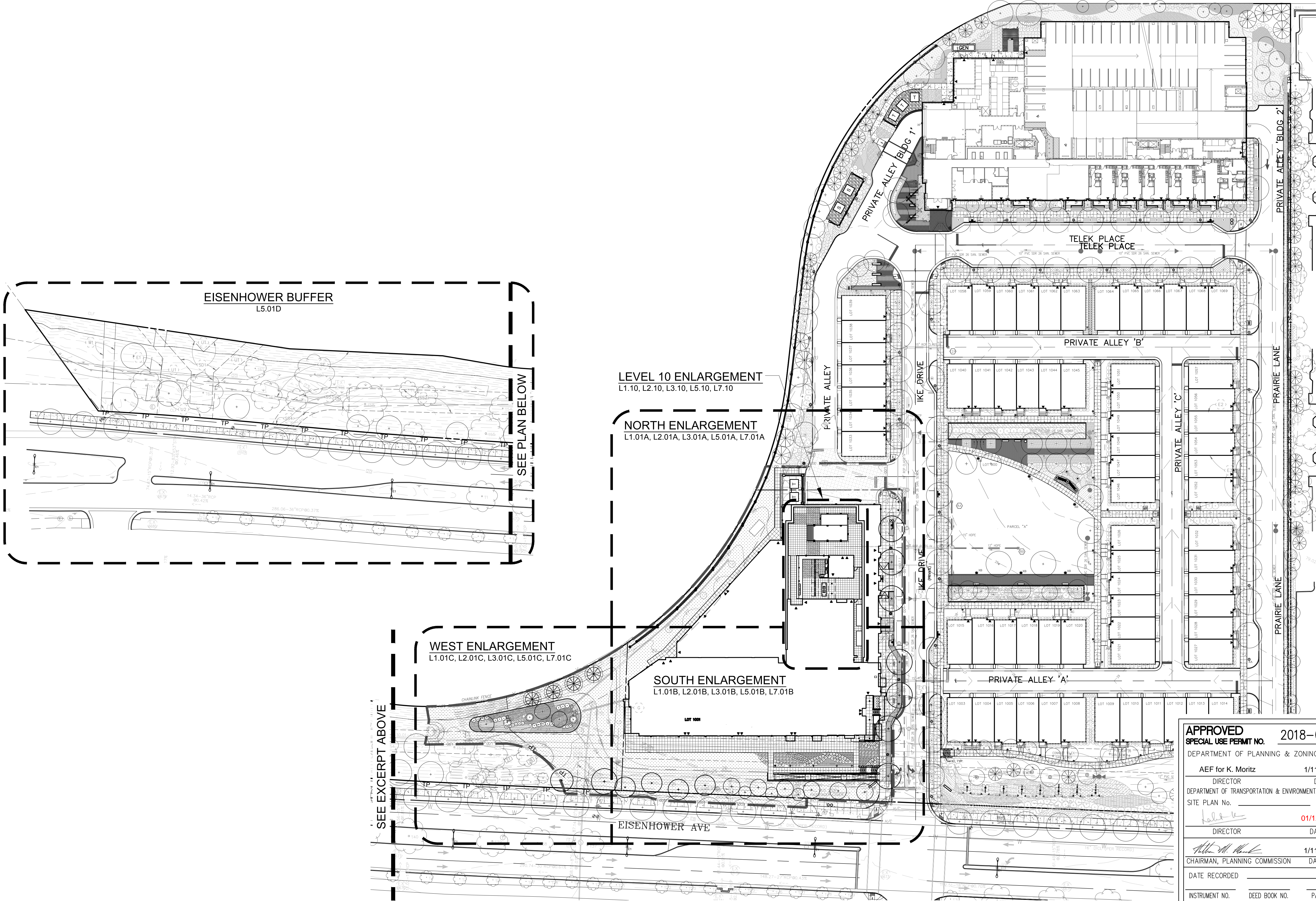
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PROJECT NO: 15046
DATE: 07.26.19

L0.02

FINAL SITE PLAN

FINAL SUBMISSION



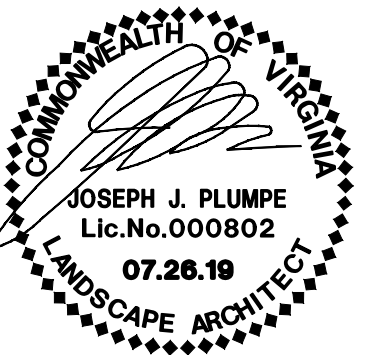
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AEF for K. Moritz		1/11/2022	
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		01/12/2022	
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		1/11/2022	
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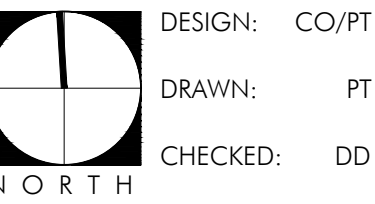
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REVISIONS:

OPEN SPACE PLAN





SCALE: $1'' = 40'-0''$

A horizontal number line with tick marks at 0, 20, 40, 60, 80, and 100. The segment between 20 and 40 is shaded black.

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L0.03

FINAL SITE PLAN

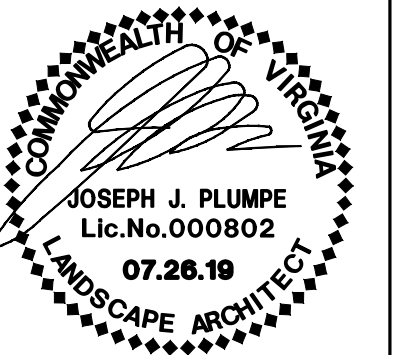
OPEN SPACE TABULATIONS				
		AREA (SF)	ACREAGE	PERCENT
LOT 1001		106,391	2.44	100%
	GROUND FLOOR	71,019	1.63	67%
	TENTH FLOOR	5,374	0.12	5%
SUBTOTAL		76,393	1.75	72%

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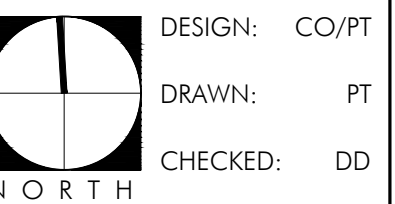
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WATER MANAGEMENT PLAN



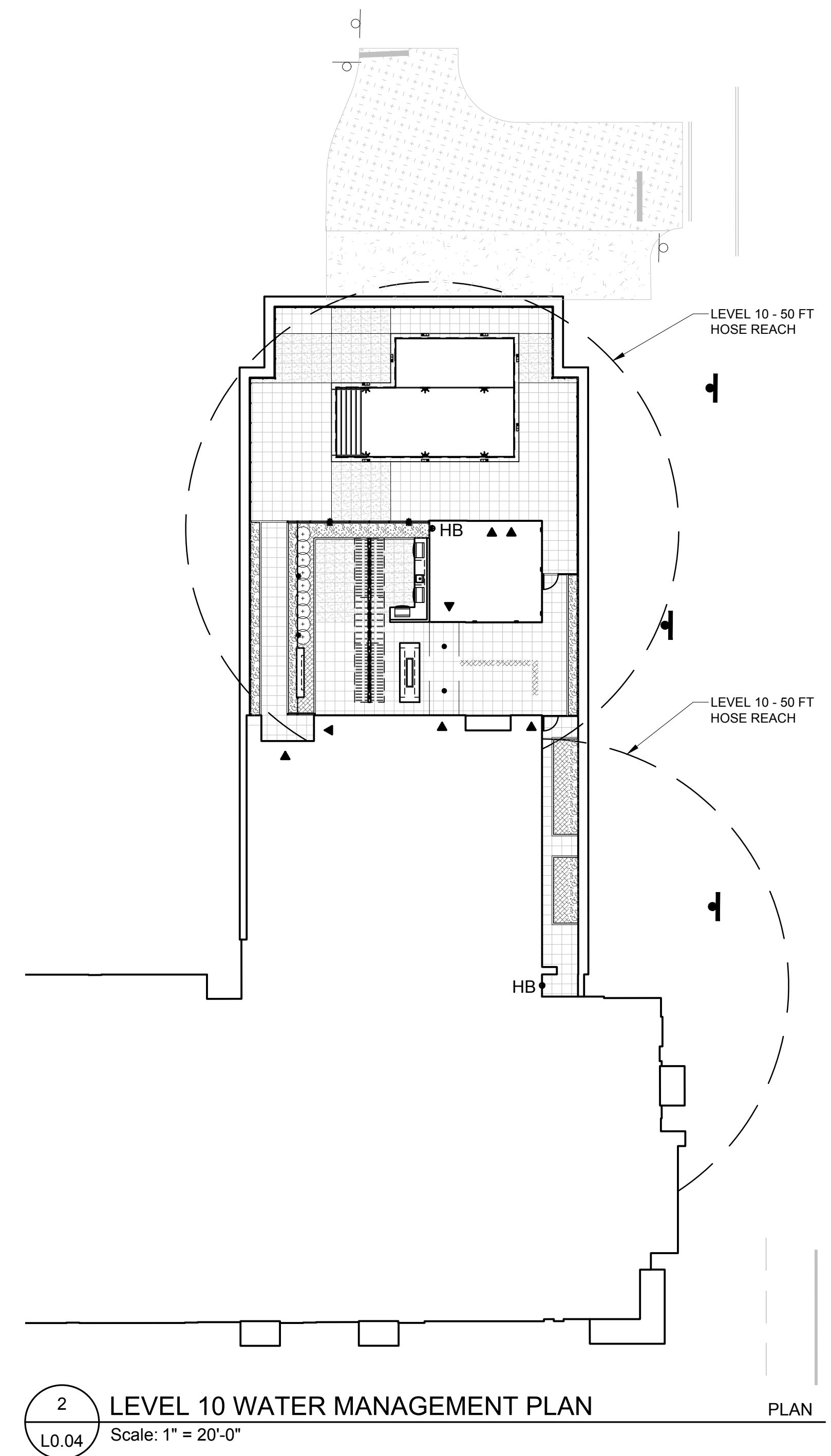
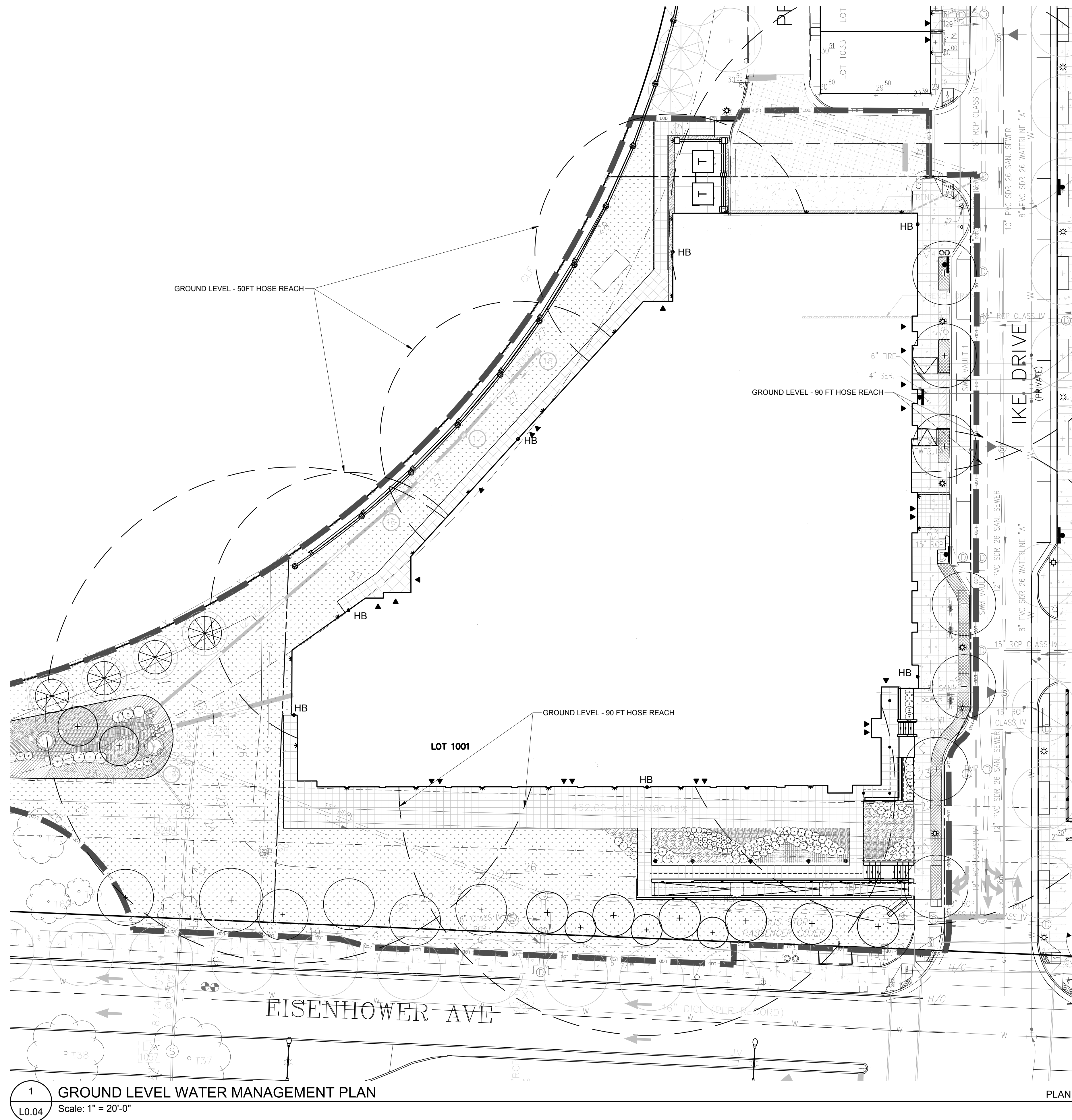
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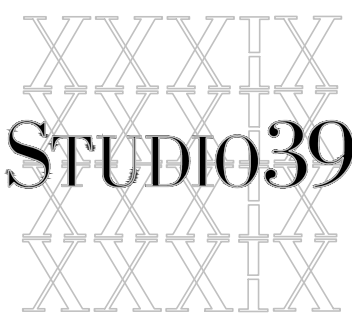
PROJECT NO: 15046

DATE: 07.26.19

L0.04

FINAL SITE PLAN



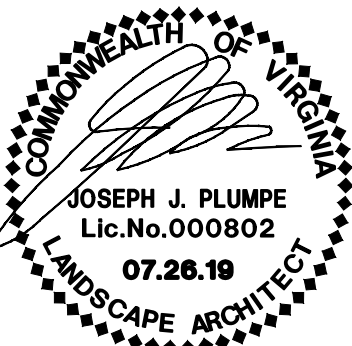


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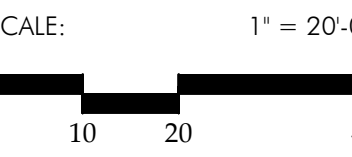
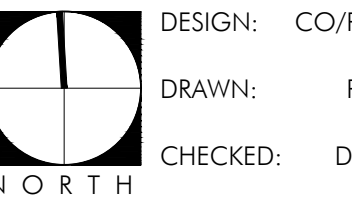
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SOIL VOLUME
PLAN

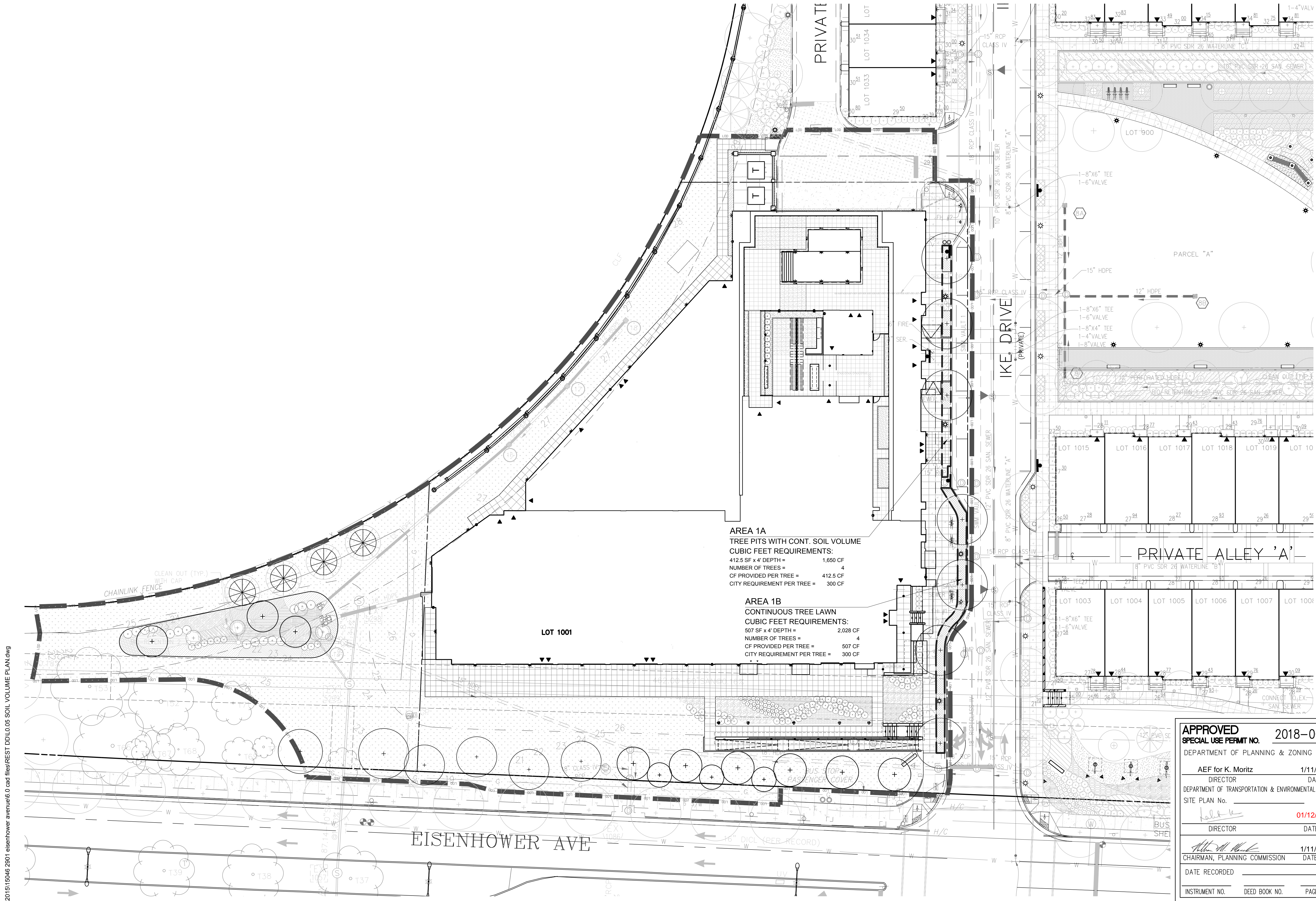


PROJECT NO: 15046
DATE: 07.26.19

L0.05

FINAL SITE PLAN

FINAL SUBMISSION



AREA 1A
TREE PITS WITH CONT. SOIL VOLUME
CUBIC FEET REQUIREMENTS:
412.5 SF x 4' DEPTH = 1,650 CF
NUMBER OF TREES = 4
CF PROVIDED PER TREE = 412.5 CF
CITY REQUIREMENT PER TREE = 300 CF

AREA 1B
CONTINUOUS TREE LAWN
CUBIC FEET REQUIREMENTS:
507 SF x 4' DEPTH = 2,028 CF
NUMBER OF TREES = 4
CF PROVIDED PER TREE = 507 CF
CITY REQUIREMENT PER TREE = 300 CF

p:\2015\15046 2001 eisenhower avenue\6.0 cad files\REST DDLO.05 SOIL VOLUME PLAN.dwg

NORTH ENLARGEMENT
HARDSCAPE PLAN L1.01A
LAYOUT PLAN L2.01A
GRADING PLAN L3.01A
LANDSCAPE PLAN L5.01A
LIGHTING PLAN L7.01A

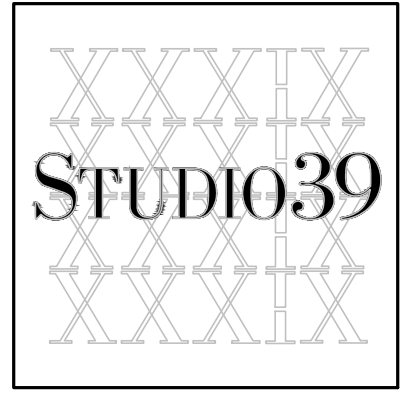
LEVEL 10 ENLARGEMENT
HARDSCAPE PLAN L1.10
LAYOUT PLAN L2.10
GRADING PLAN L3.10
LANDSCAPE PLAN L5.10
LIGHTING PLAN L7.10

SEE L5.01D FOR LANDSCAPE
PLAN LEVEL 01 - EISENHOWER
BUFFER
FOR ADJACENT AREA

WEST ENLARGEMENT
HARDSCAPE PLAN L1.01C
LAYOUT PLAN L2.01C
GRADING PLAN L3.01C
LANDSCAPE PLAN L5.01C
LIGHTING PLAN L7.01C

SOUTH ENLARGEMENT
HARDSCAPE PLAN L1.01B
LAYOUT PLAN L2.01B
GRADING PLAN L3.01B
LANDSCAPE PLAN L5.01B
LIGHTING PLAN L7.01B

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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. 10/12/2022
DIRECTOR DATE
CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

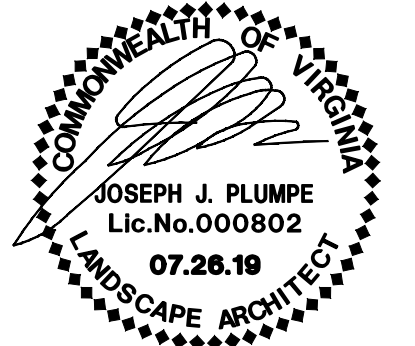


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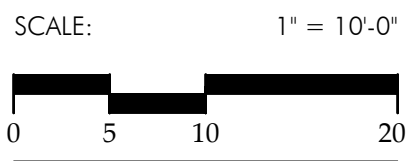
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HARDSCAPE PLAN
LEVEL 01 - NORTH

	DESIGN:	CO/PT
	DRAWN:	PT
	CHECKED:	DD

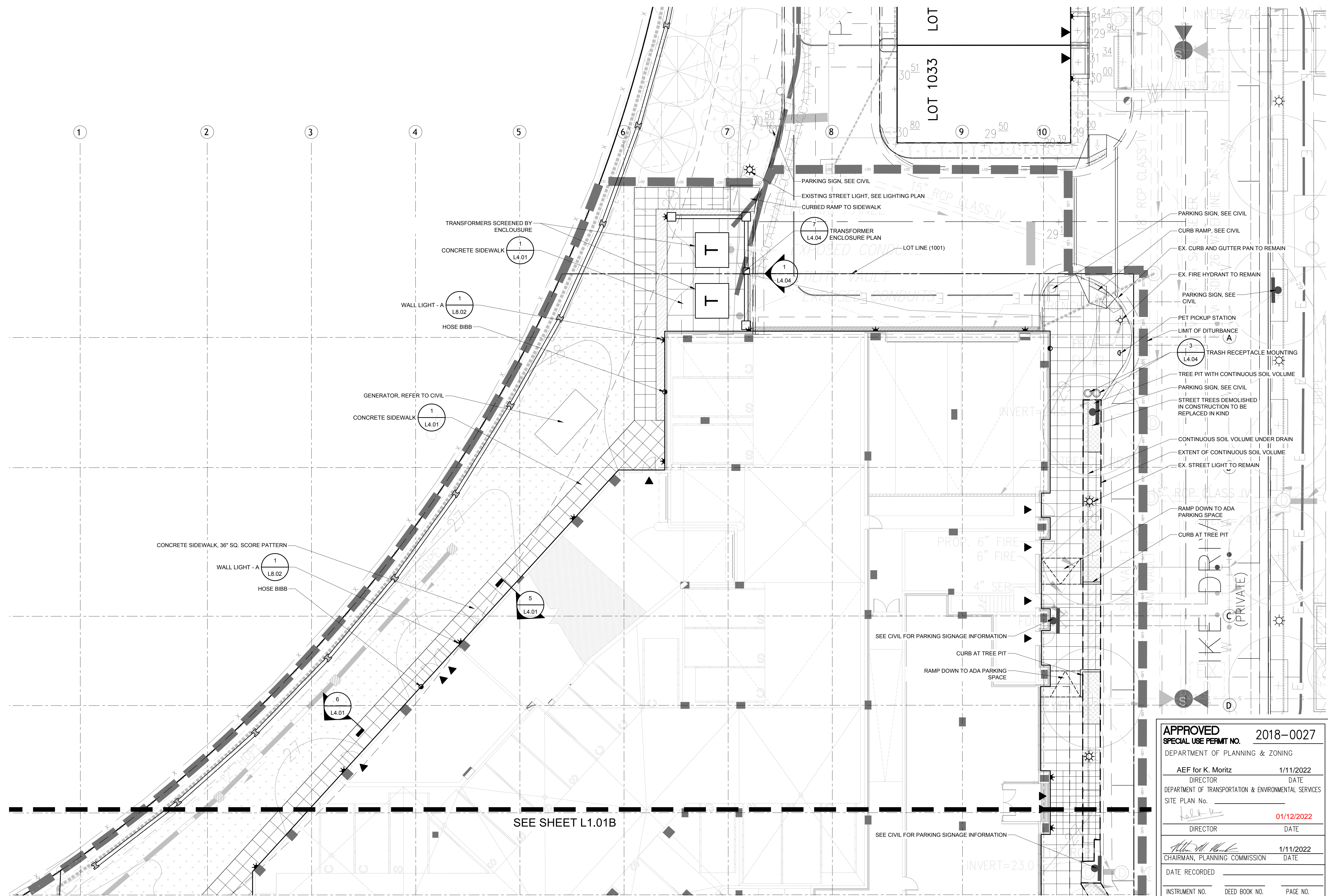


PROJECT NO: 15046
DATE: 07.26.19

L1.01A

FINAL SITE PLAN

FINAL SUBMISSION

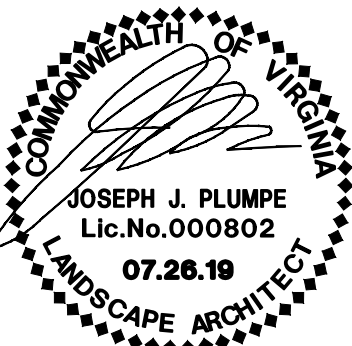


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SITE PLAN No.			
DIRECTOR		DATE	
[Signature]		01/12/2022	
CHAIRMAN, PLANNING COMMISSION		DATE	
[Signature]		1/11/2022	
DATE RECORDED			
INSTRUMENT NO. DEED BOOK NO. PAGE NO.			

p:\2015\15046 2001 eisenhower avenue\6.0 cad files\REST DDL L1.01A HARDSCAPE PLAN LEVEL 01 - NORTH.dwg

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REVISIONS:

HARDSCAPE PLAN
LEVEL 01 - SOUTH

DESIGN: CO/PT
DRAWN: PT
CHECKED: DD
N O R T H

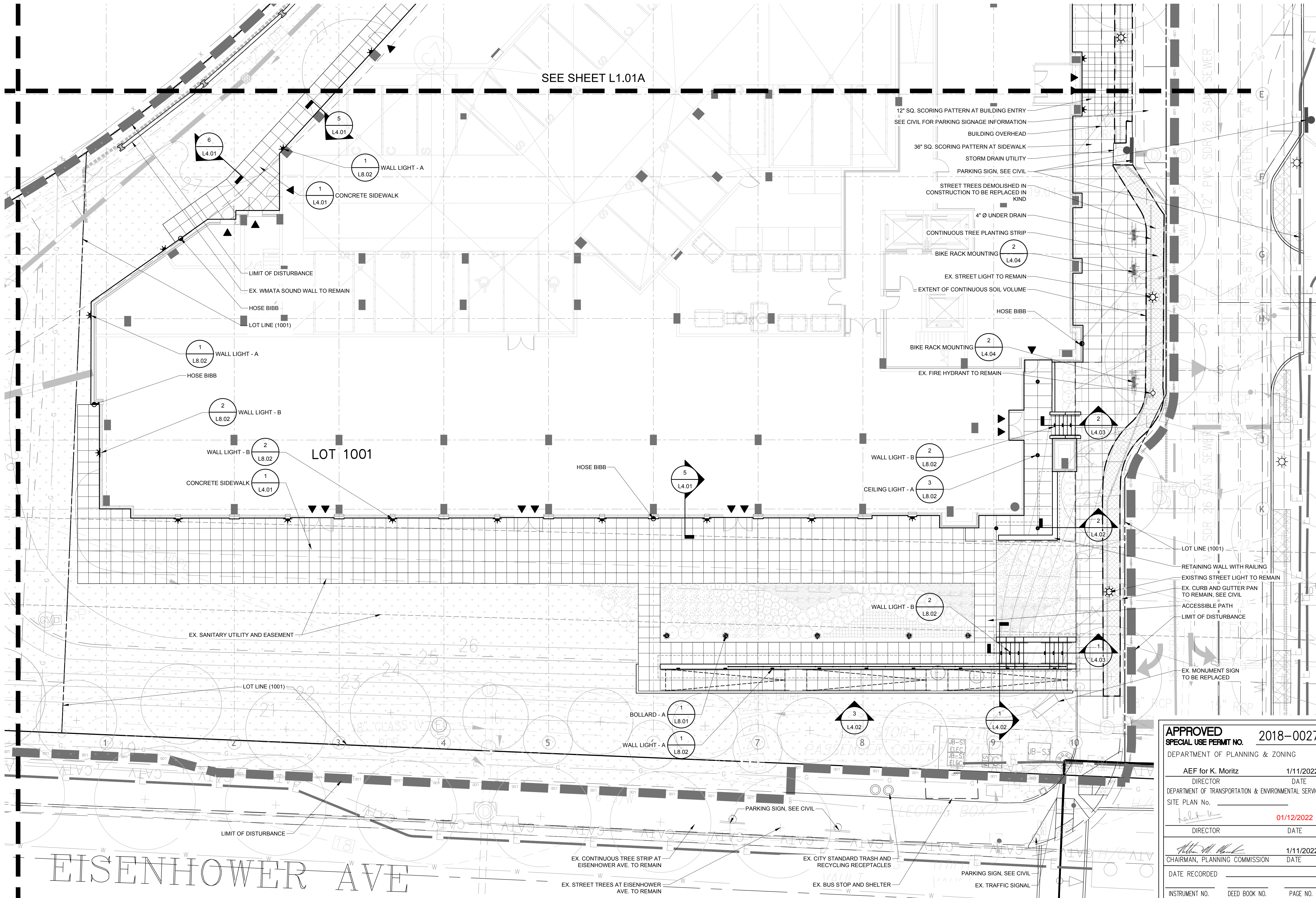
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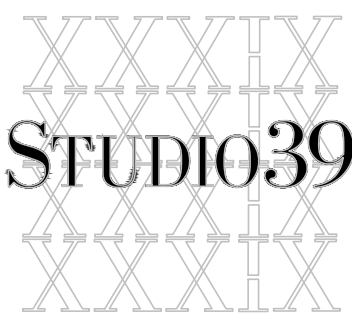
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L1.01B

FINAL SITE PLAN

FINAL SUBMISSION



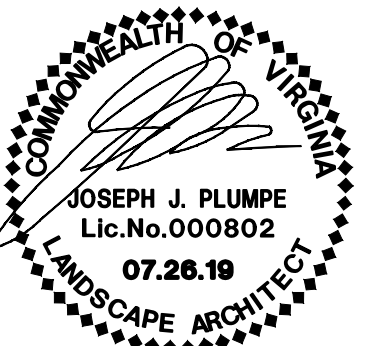


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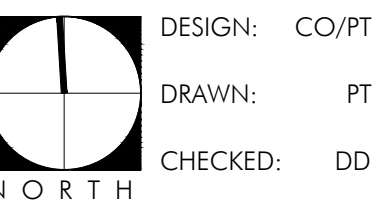
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REVISIONS:

HARDSCAPE PLAN
LEVEL 01 - WEST

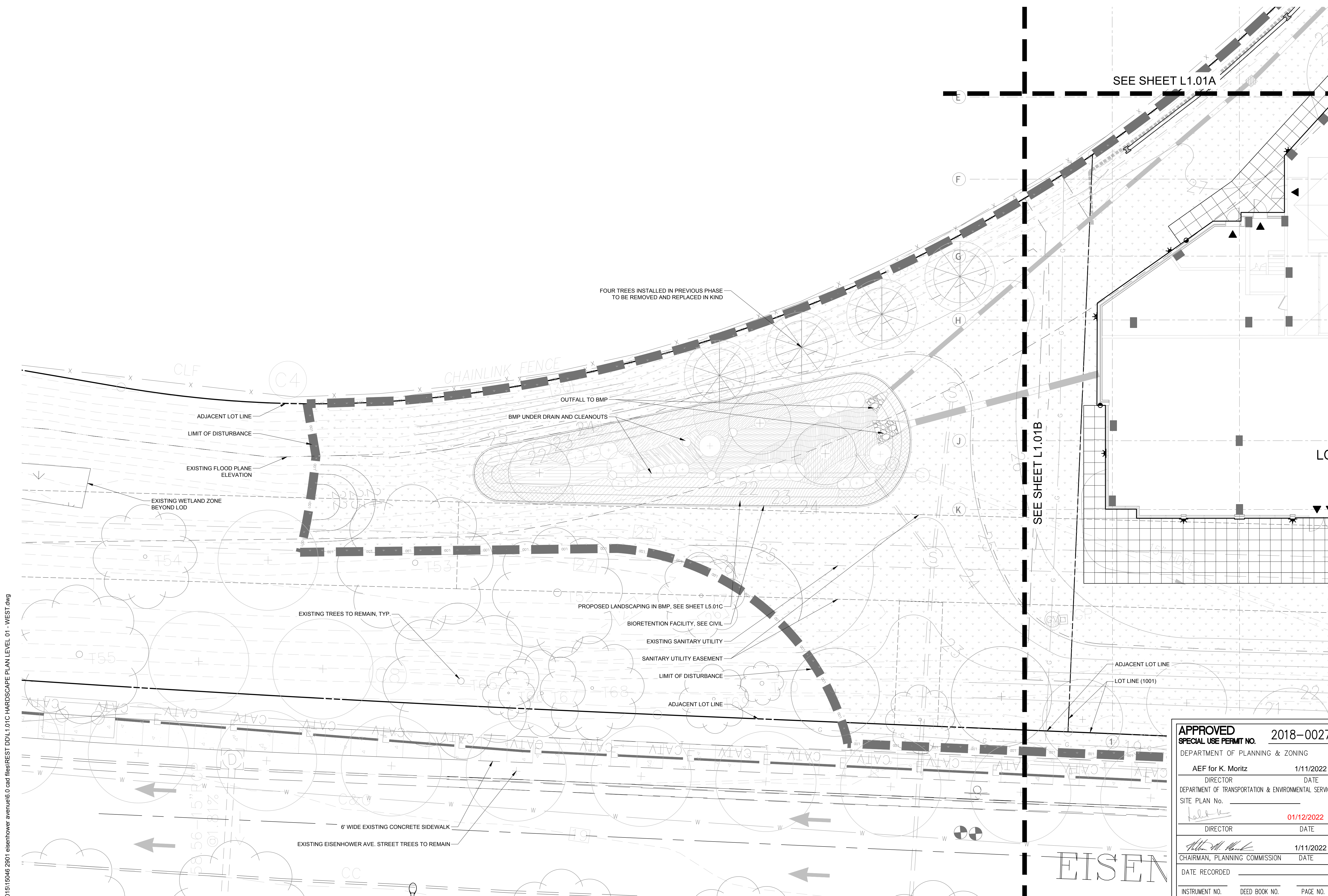


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PROJECT NO: 15046
DATE: 07.26.19

L1.01C

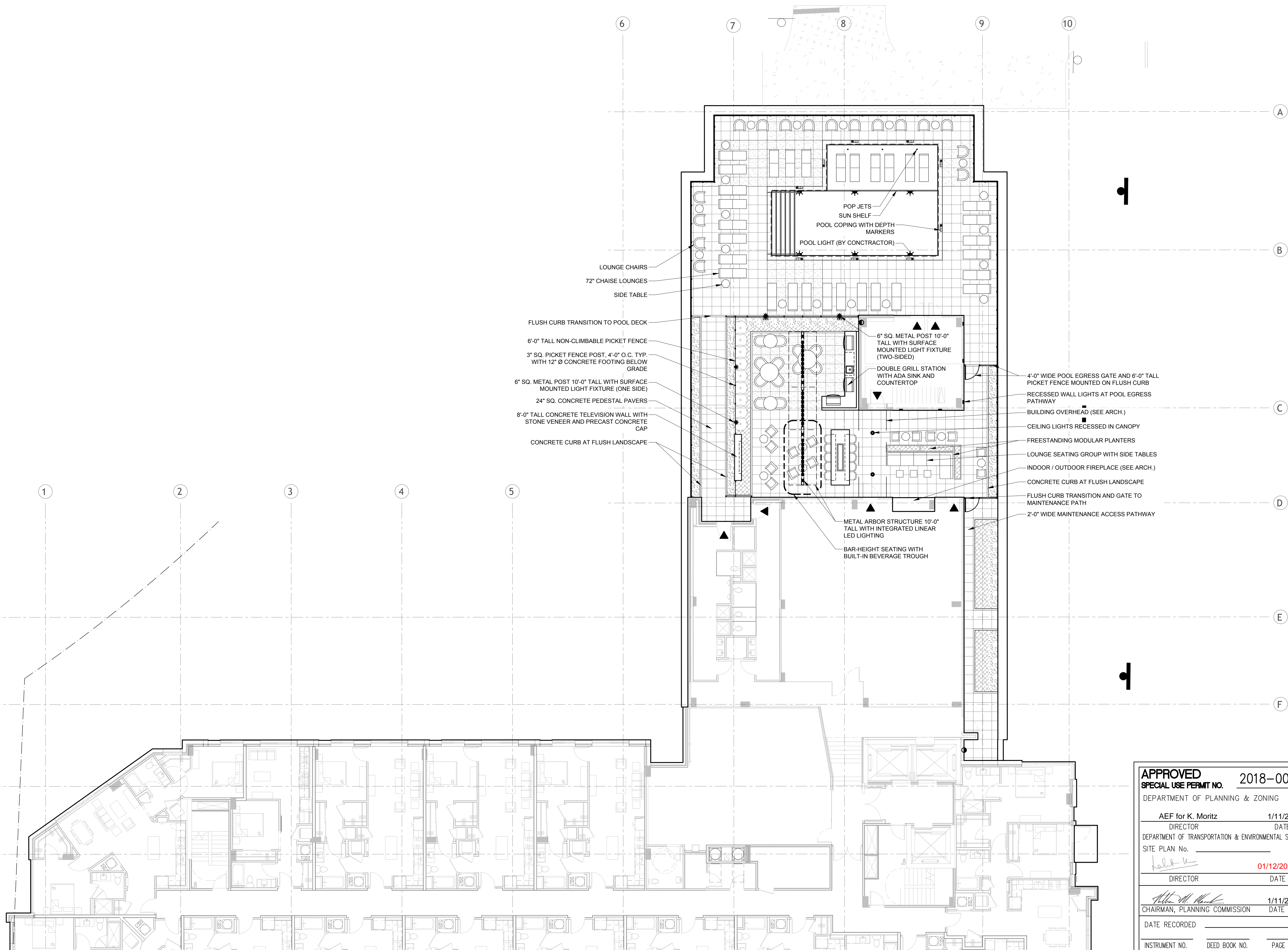
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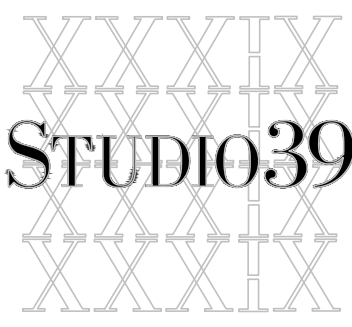
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DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No.	
<i>John V.</i>	01/12/2022
DIRECTOR	DATE
<i>Allen M. Morris</i>	1/11/2022
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
PAGE NO.	

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SITE PLAN No.	01/12/2022	
DIRECTOR	DATE	
CHAIRMAN, PLANNING COMMISSION	1/11/2022	
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INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.

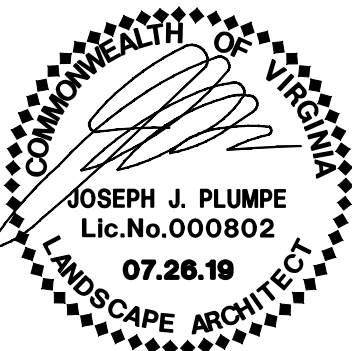


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HARDSCAPE
PLAN LEVEL 10

DESIGN: CO/PT
DRAWN: PT
CHECKED: DD
N O R T H

SCALE: 1" = 10'-0"
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PROJECT NO: 15046
DATE: 07.26.19

L1.10

FINAL SITE PLAN

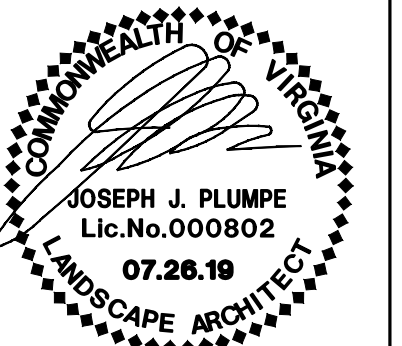
FINAL SUBMISSION

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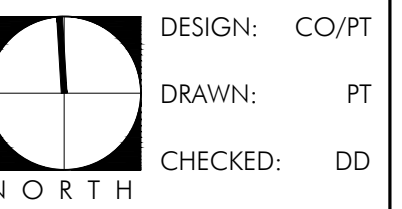
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REVISIONS:

LAYOUT PLAN
LEVEL 01 - NORTH



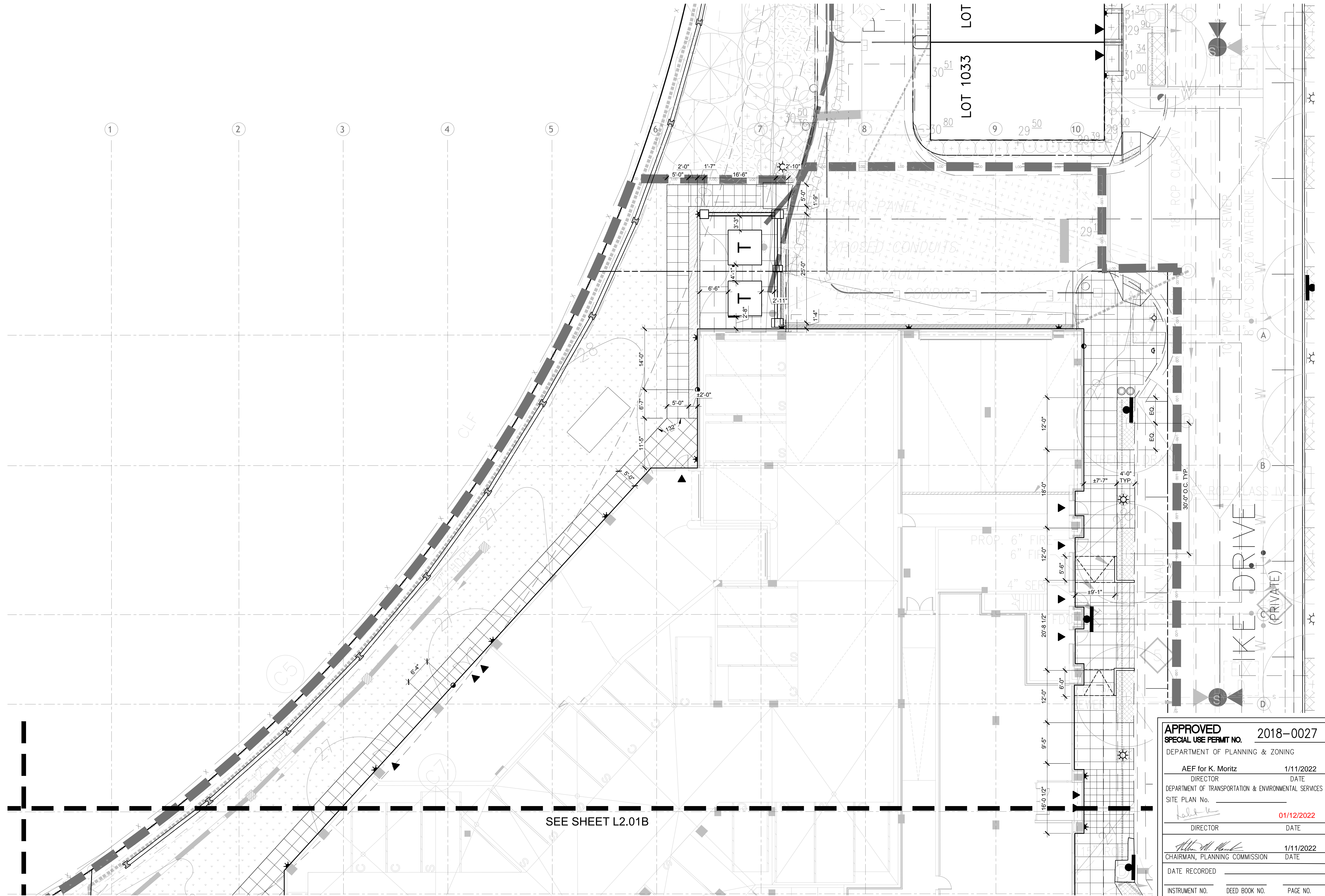
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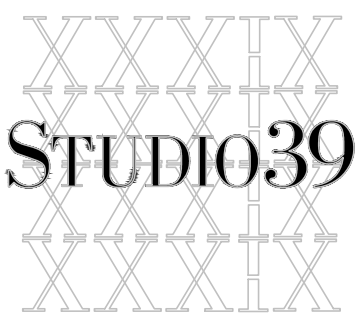
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DATE: 07.26.19

2.01A

FINAL SITE PLAN



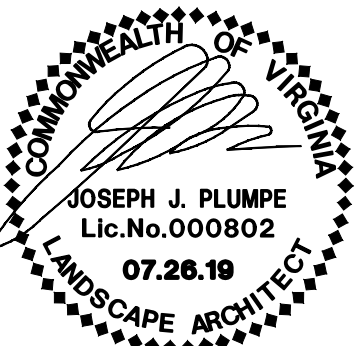


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Tel: 703.719.6500 Fax: 703.719.6503
Email: frontdesk@studio39.com

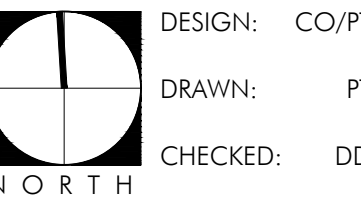
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LAYOUT PLAN
LEVEL 01 - SOUTH

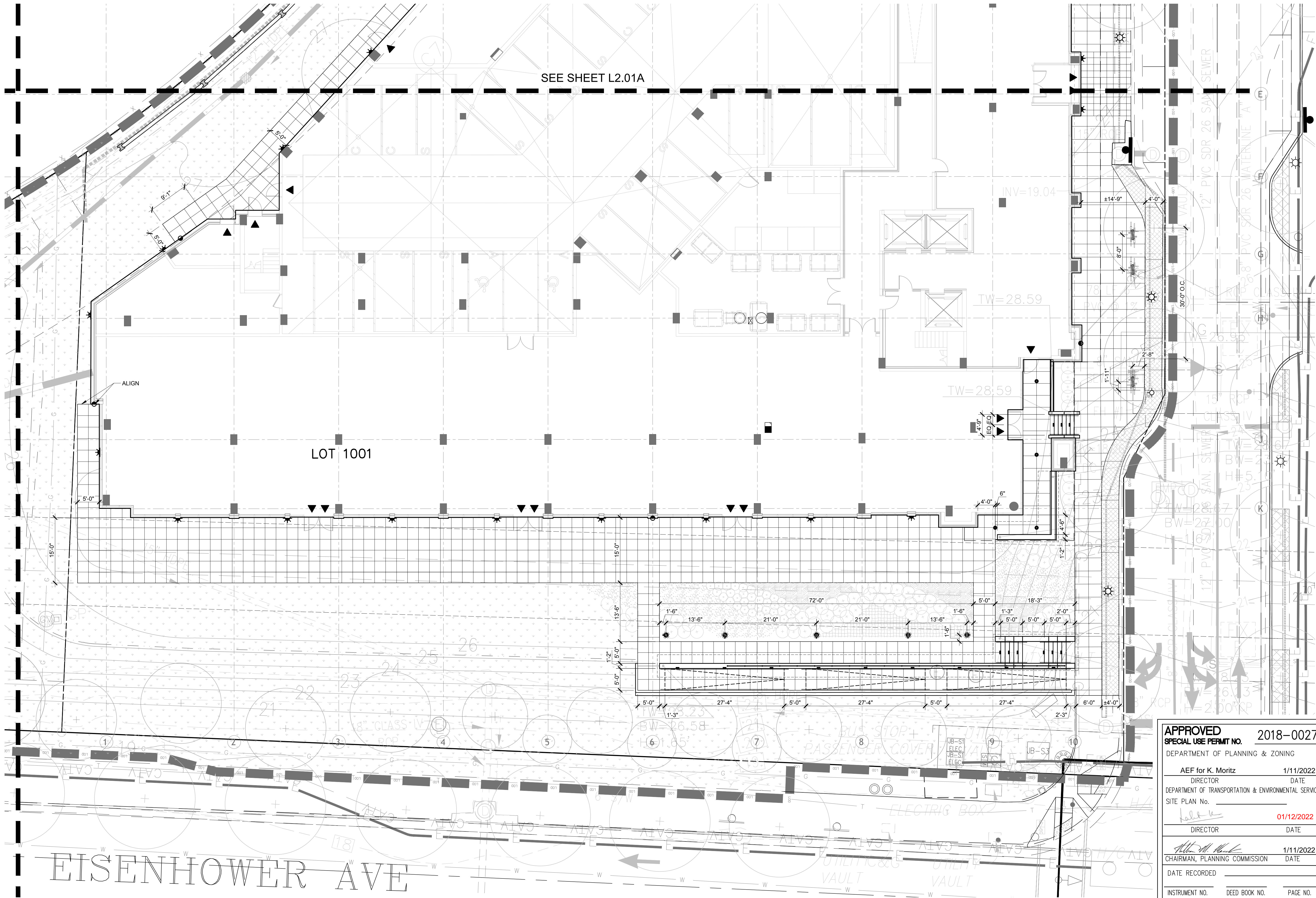


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PROJECT NO: 15046
DATE: 07.26.19

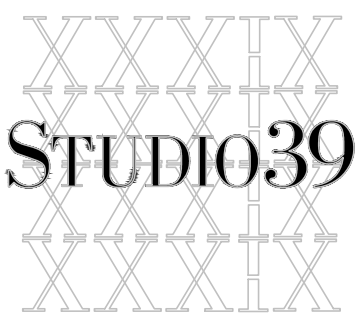
L2.01B

FINAL SITE PLAN

FINAL SUBMISSION



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SITE PLAN No.			
1/11/2022		01/12/2022	
DIRECTOR		DATE	
1/11/2022		1/11/2022	
CHAIRMAN, PLANNING COMMISSION		DATE	
DATE RECORDED			
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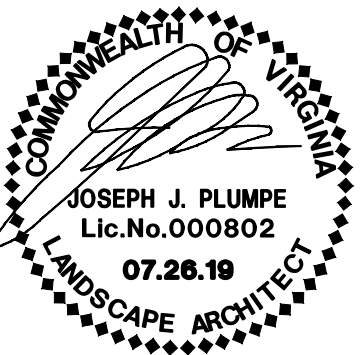


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LEVEL 01 - WEST

DESIGN: CO/PT
DRAWN: PT
CHECKED: DD
N O R T H

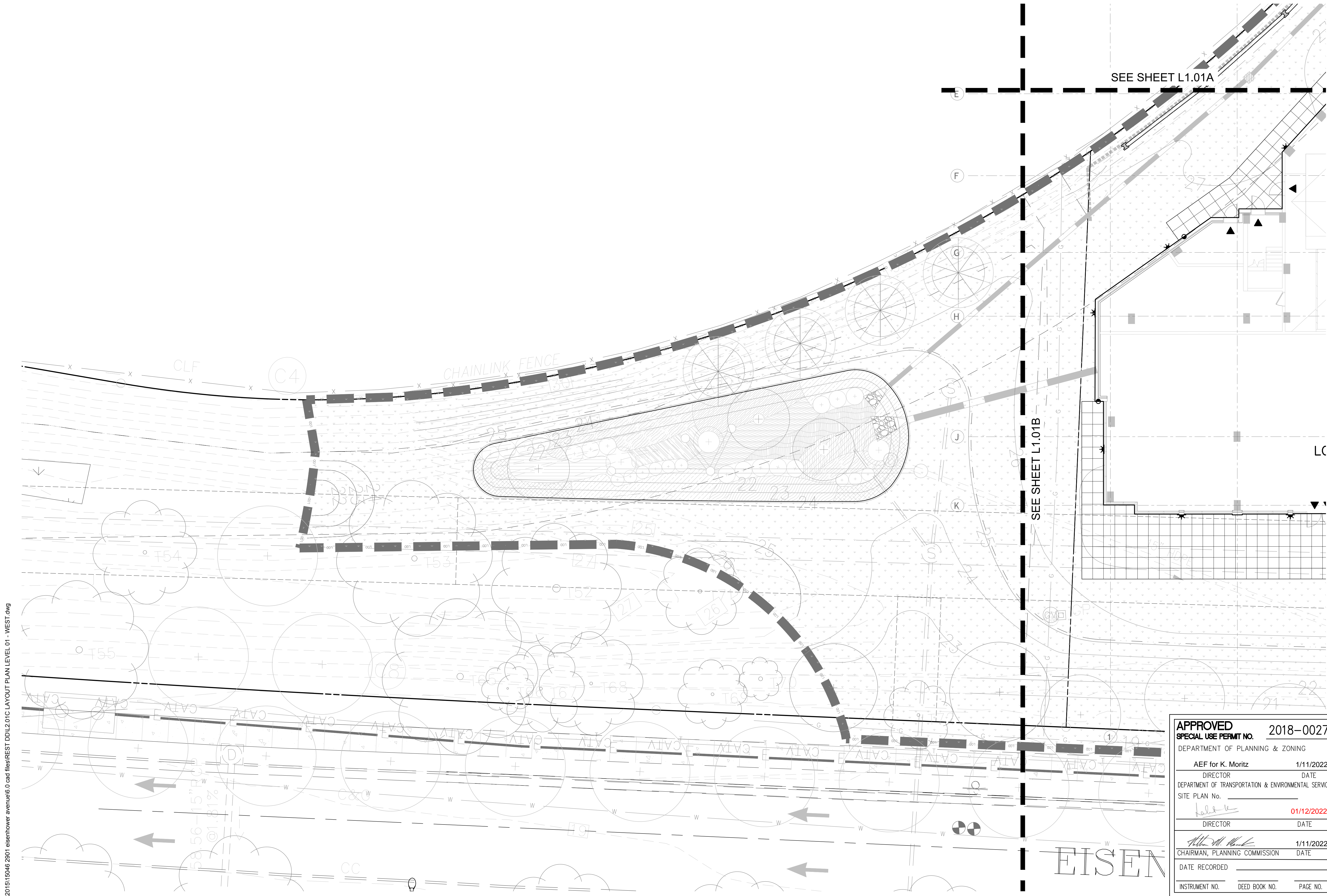
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PROJECT NO: 15046
DATE: 07.26.19

L2.01C

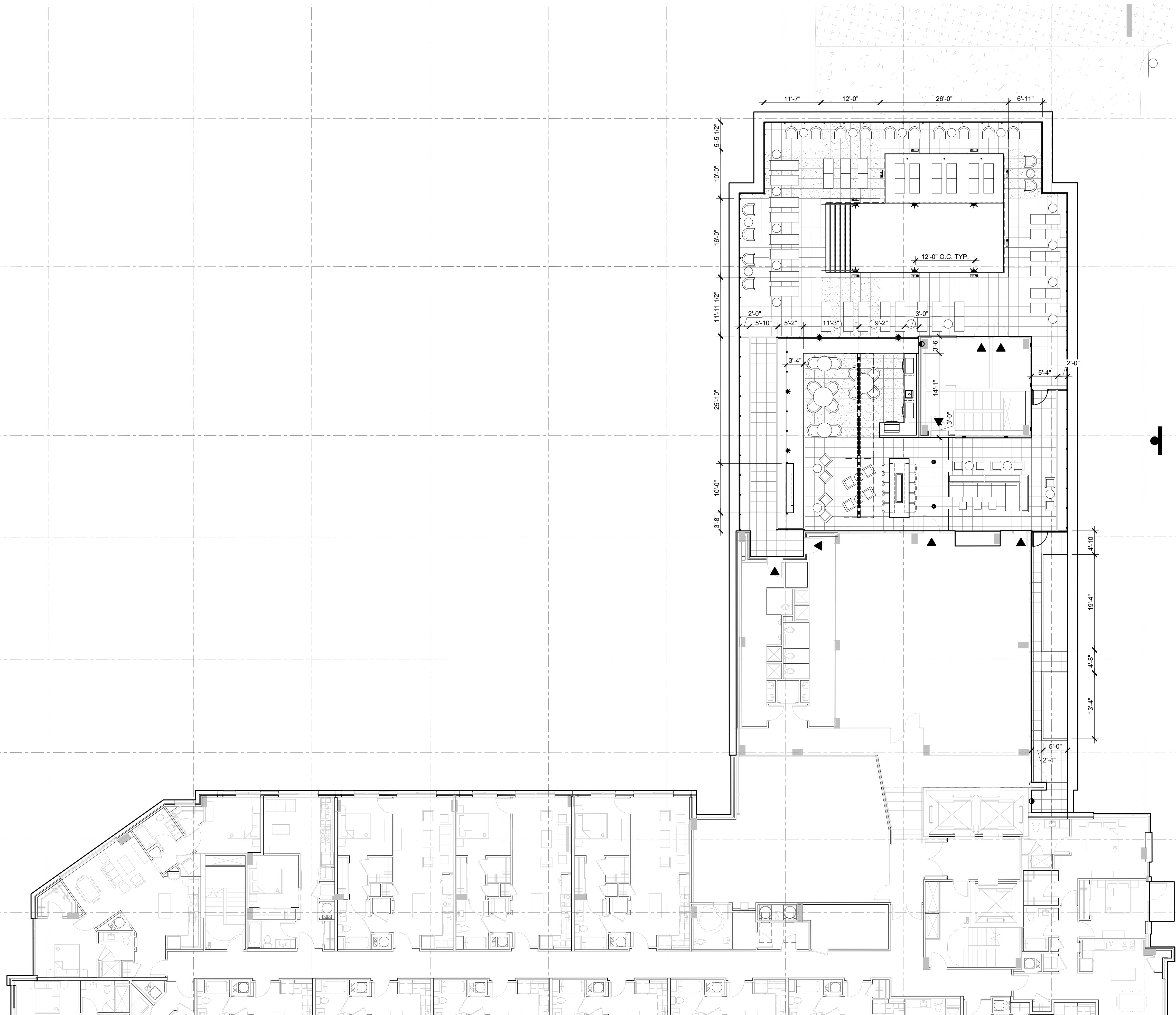
FINAL SITE PLAN

FINAL SUBMISSION



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<i>John V.</i>	01/12/2022	
DIRECTOR	DATE	
<i>John M. Moritz</i>	1/11/2022	
CHAIRMAN, PLANNING COMMISSION	DATE	
DATE RECORDED		
INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.

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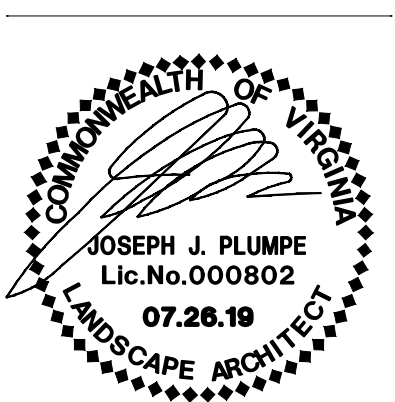
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LAYOUT PLAN
LEVEL 10

N O R T H

DESIGN: CO/PT
DRAWN: PT
CHECKED: DD

SCALE: 1" = 10'-0"

0 5 10 20

PROJECT NO: 15046
DATE: 07.26.19

L2.10
FINAL SITE PLAN

COMMONWEALTH OF VIRGINIA
 JOSEPH J. PLUMPE
 Lic.No.000802
 07.26.19
 LANDSCAPE ARCHITECT

GRADING PLAN
LEVEL 01 - NORTH

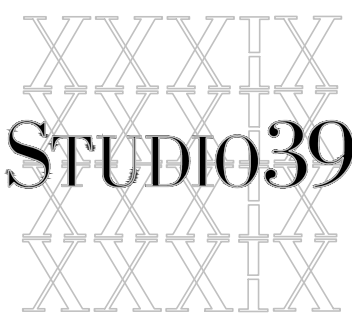
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DATE:	07.26.19

3.01A

FINAL SITE PLAN



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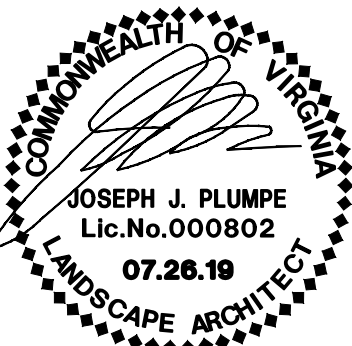


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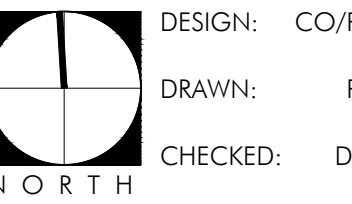
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LEVEL 01 - SOUTH



SCALE: 1" = 10'-0"

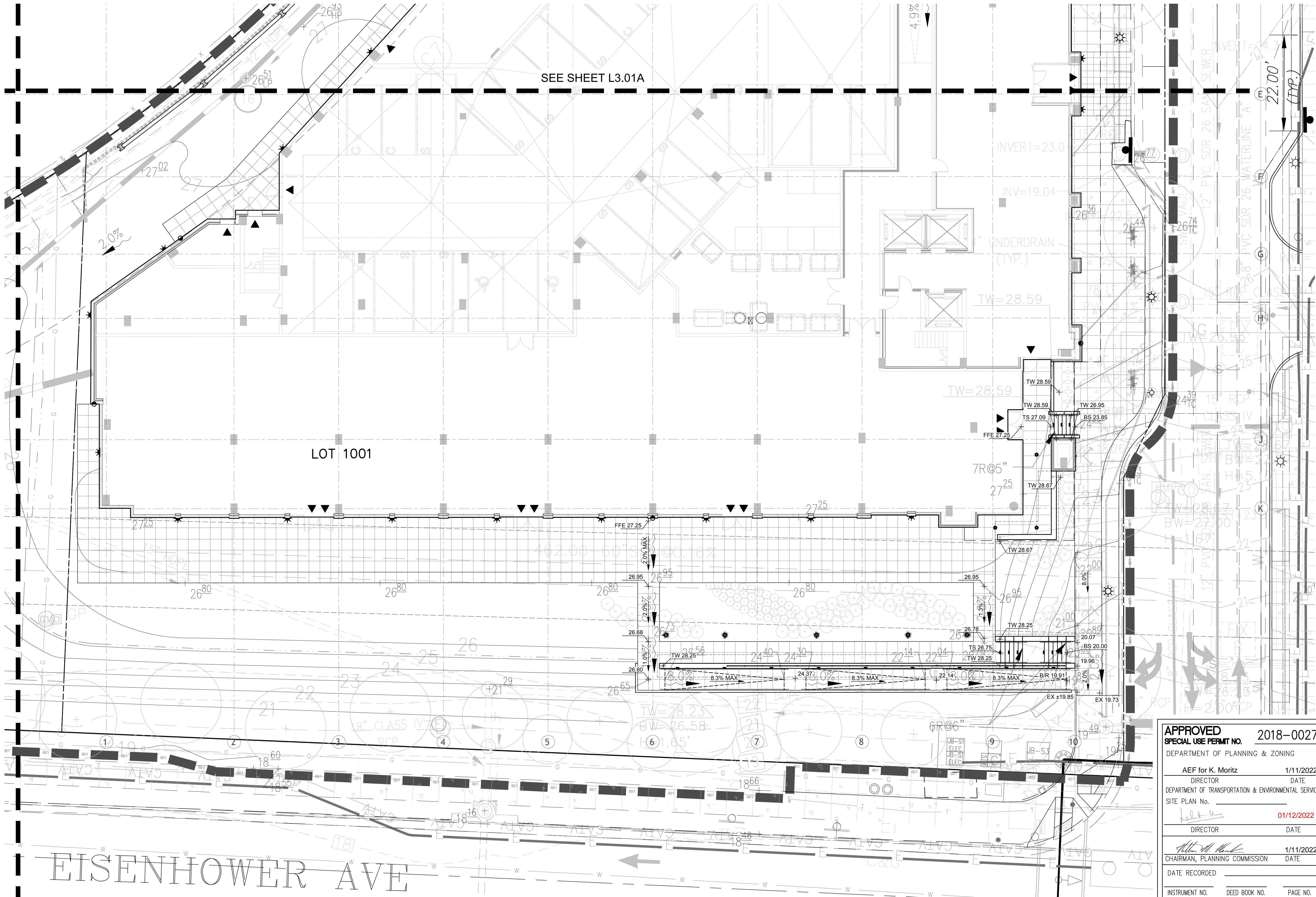
PROJECT NO: 15046

DATE: 07.26.19

L3.01B

FINAL SITE PLAN

FINAL SUBMISSION



SEE SHEET L3.01A

LOT 1001

EISENHOWER AVE

APPROVED SPECIAL USE PERMIT NO. 1818-0027	
DEPARTMENT OF PLANNING & ZONING	
AEF for K. Moritz	1/11/2022
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SITE PLAN No.	
<i>John V.</i>	01/12/2022
DIRECTOR	DATE
<i>John M. Moritz</i>	1/11/2022
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
PAGE NO.	



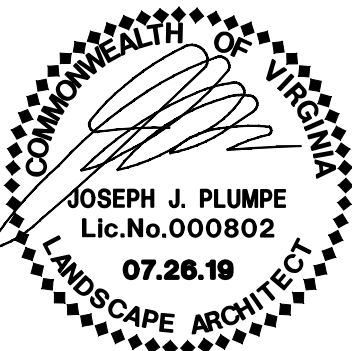
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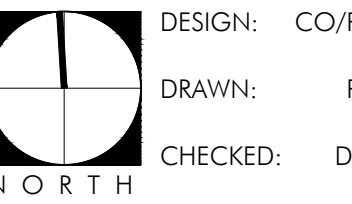
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LEVEL 01 - WEST

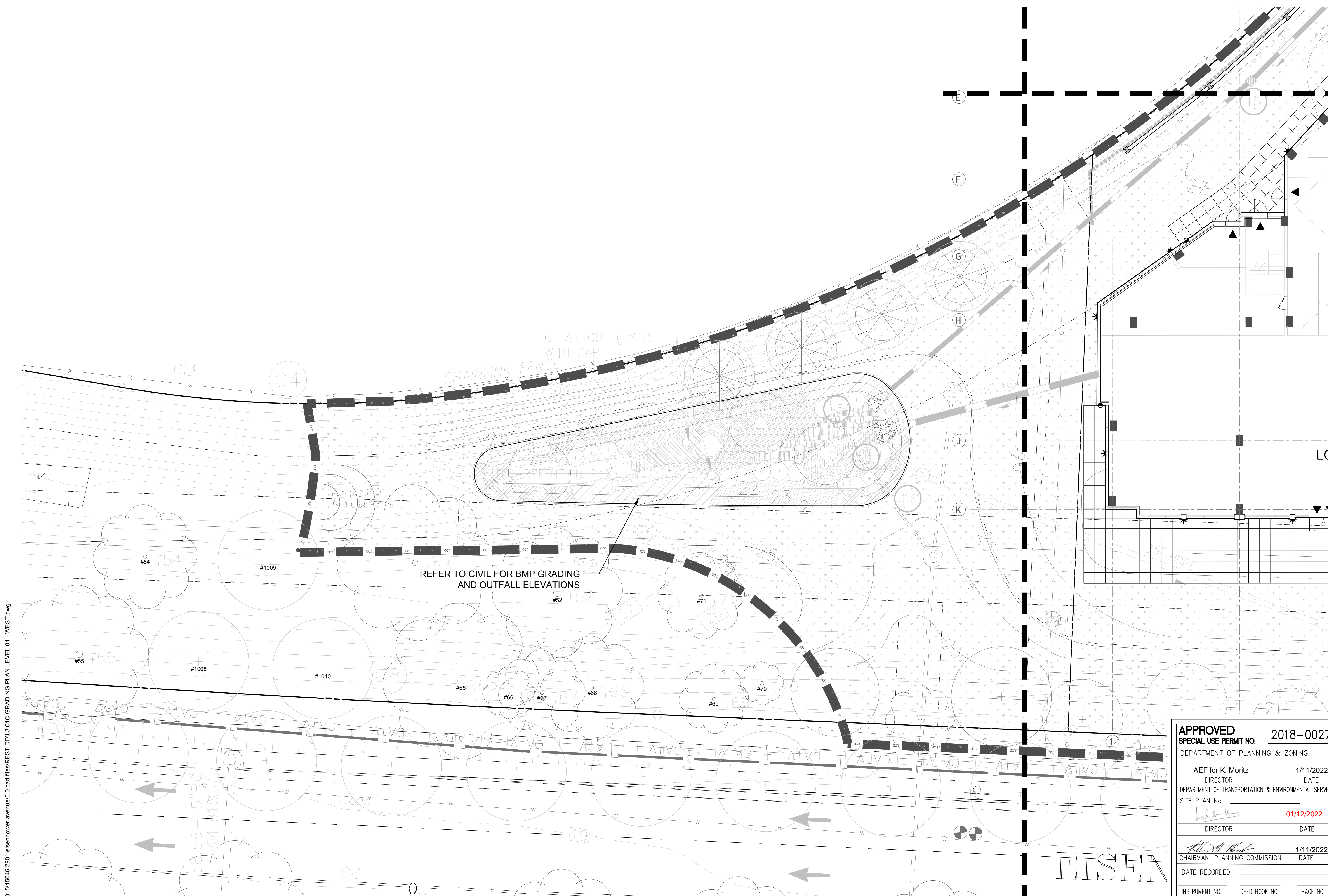


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DATE: 07.26.

FINAL SITE PLAN



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APPROVED 2018-0027
SPECIAL USE PERMIT NO.

DEPARTMENT OF PLANNING & ZONING

AEF for K. Moritz 1/11/2022

DIRECTOR	DATE
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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN No. _____

01/12/2022

DIRECTOR _____ DATE _____

[illegible]

Arthur M. Macch 1/11/2022

CHAIRMAN, PLANNING COMMISSION	DATE
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DATE RECORDED _____

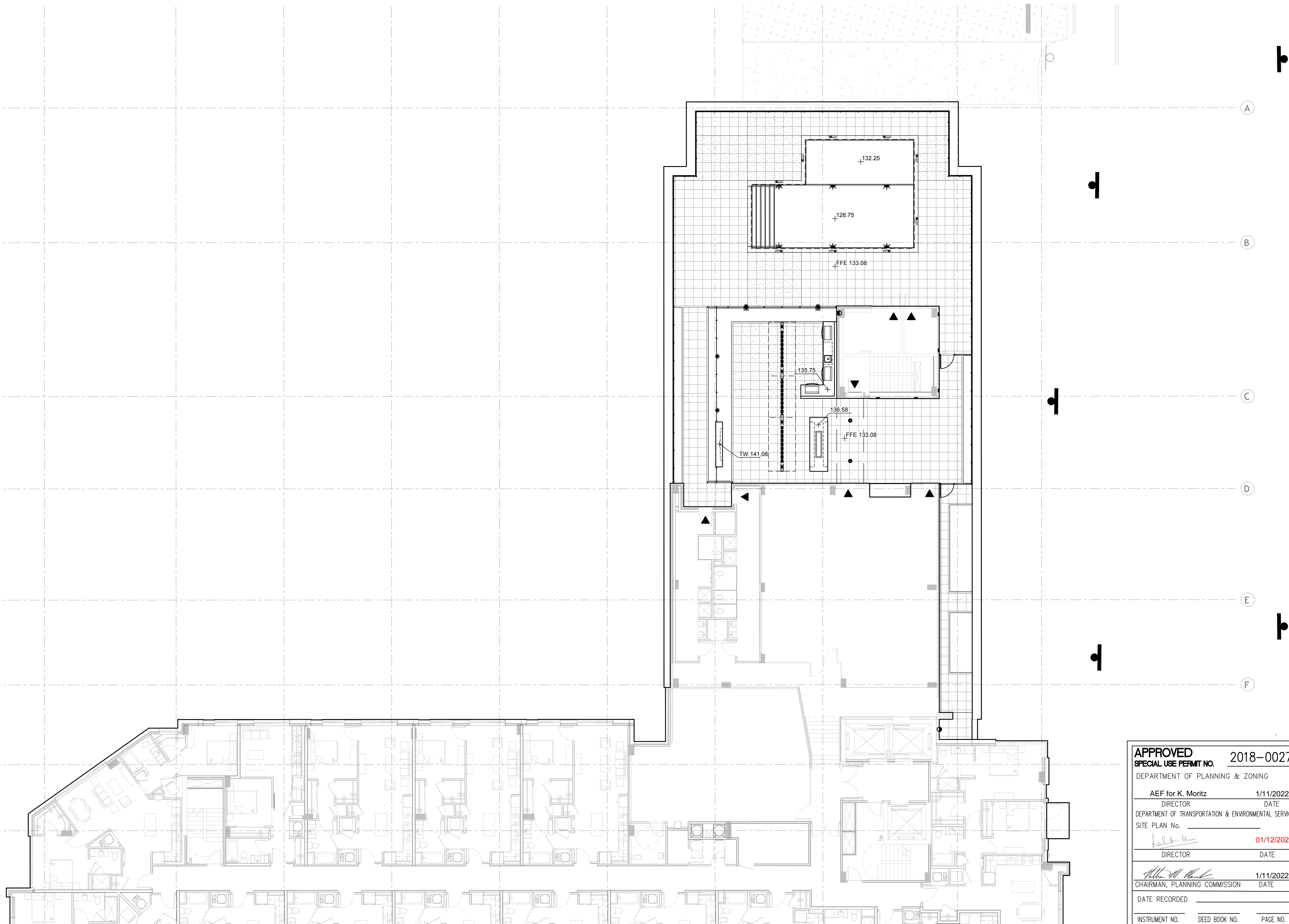
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L3.01C

FINAL SITE PLAN

FINAL SUBMISSION

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DIRECTOR	DATE	
CHAIRMAN, PLANNING COMMISSION	1/11/2022	
DATE RECORDED	DATE	
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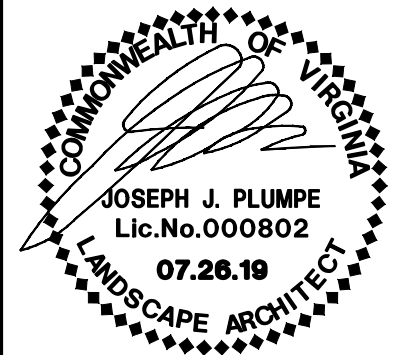
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GRADING PLAN
LEVEL 10

N O R T H

DESIGN: CO/PT
DRAWN: PT
CHECKED: DD

SCALE: 1" = 10'-0"

0 5 10 20

PROJECT NO: 15046

DATE: 07.26.19

L3.10

FINAL SITE PLAN

REVISIONS:

HARDSCAPE DETAILS 01

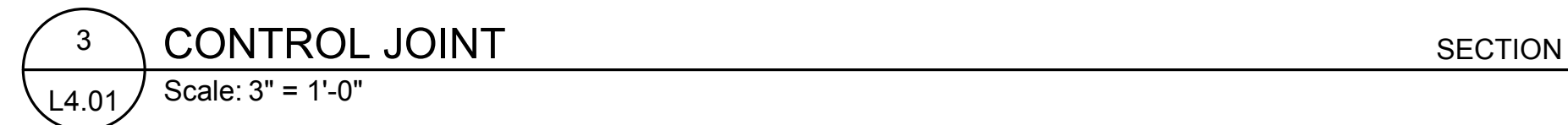
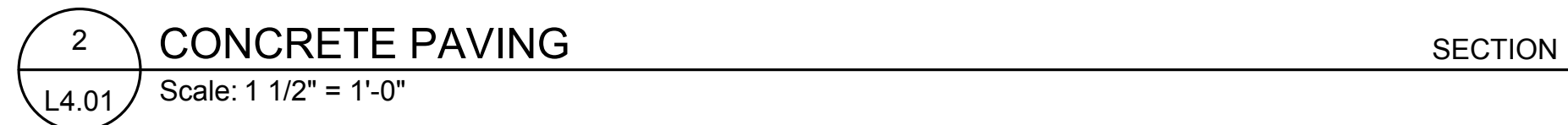
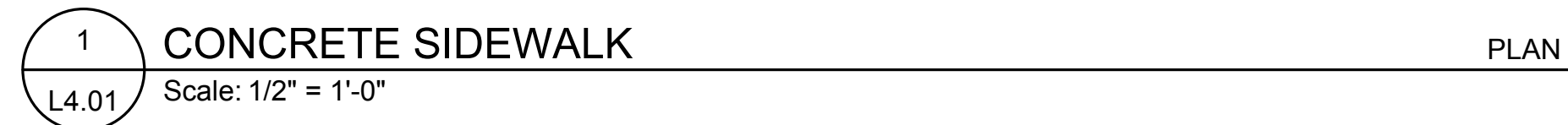
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CHECKED: D

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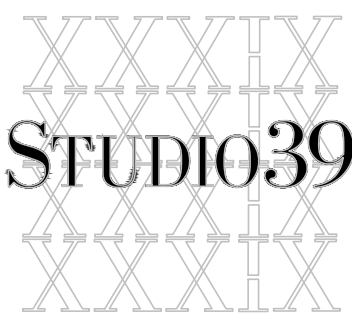
PROJECT NO: 1504

L4.01

FINAL SITE PLAN



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SITE PLAN No. _____		01/12/2022	
DIRECTOR		DATE	
CHAIRMAN, PLANNING COMMISSION		1/11/2022	
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INSTRUMENT NO.		DEED BOOK NO.	
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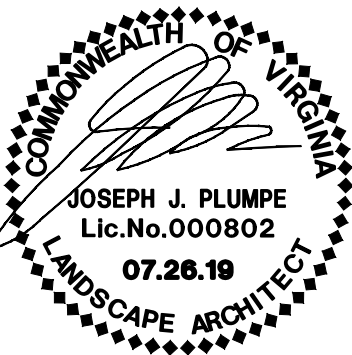


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HARDSCAPE
DETAILS 02

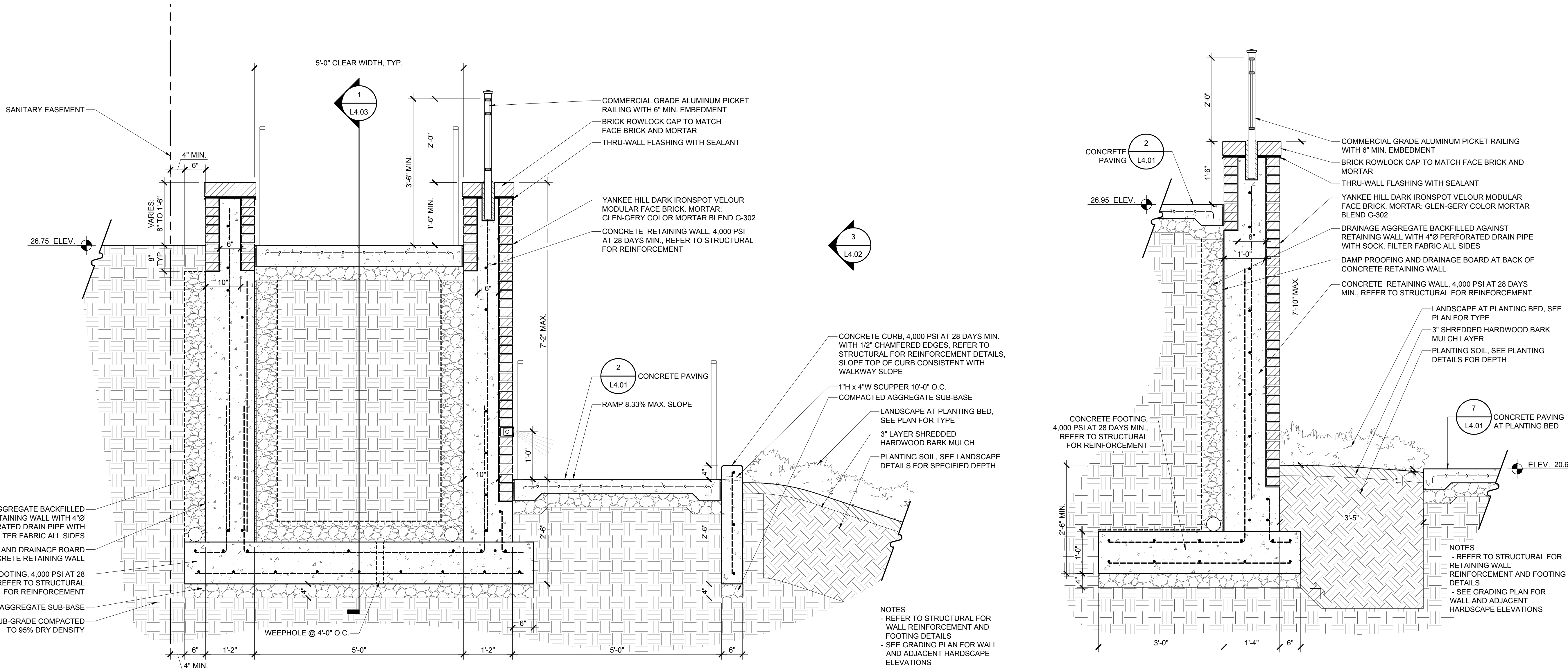
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PROJECT NO:	15046
DATE:	07.26.19

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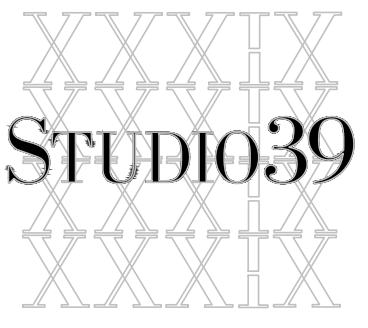
FINAL SITE PLAN

FINAL SUBMISSION



1 RETAINING WALLS AT WALKWAY Scale: 3/4" = 1'-0" SECTION
2 RETAINING WALL WITH RAILING Scale: 3/4" = 1'-0" SECTION
3 WALKWAY DETAIL Scale: 1/4" = 1'-0" ELEVATION

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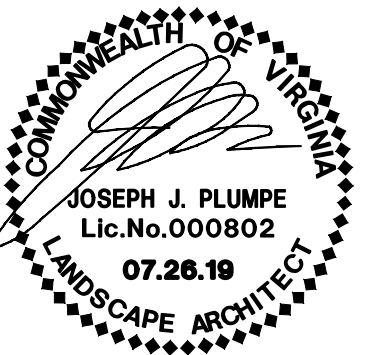


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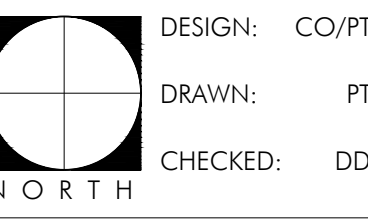
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HARDSCAPE
DETAILS 03

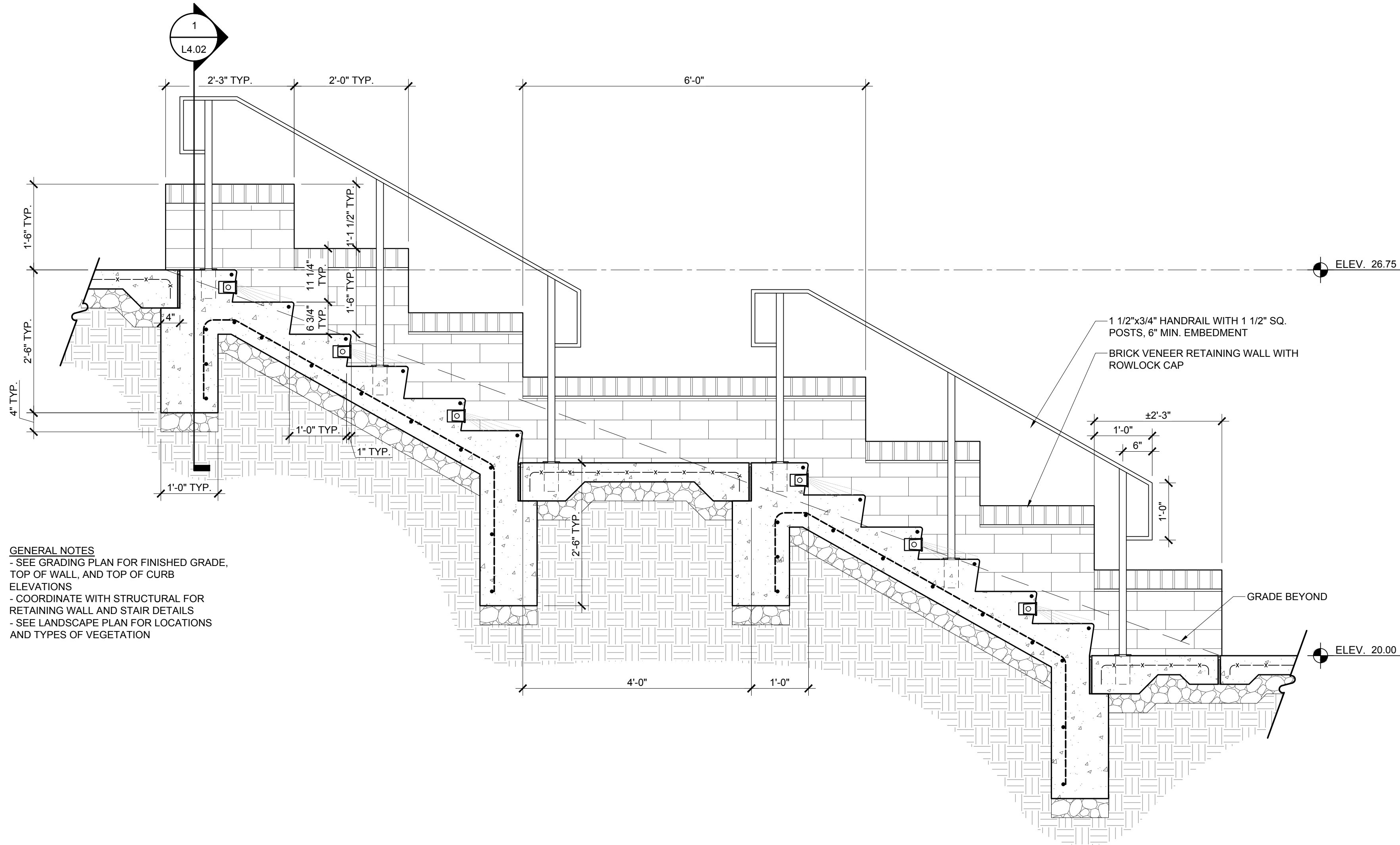


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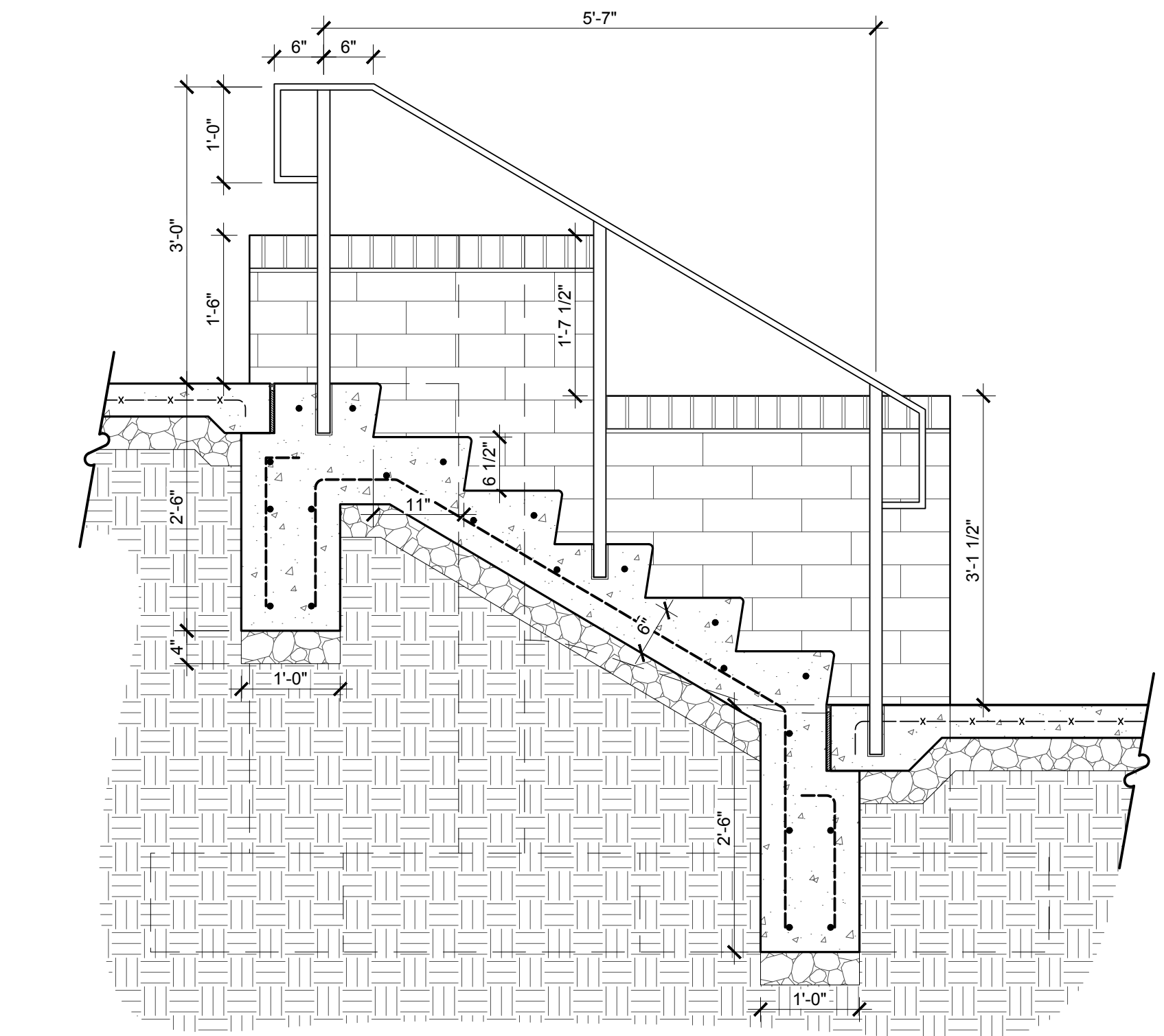
FINAL SITE PLAN



GENERAL NOTES
- SEE GRADING PLAN FOR FINISHED GRADE,
TOP OF WALL, AND TOP OF CURB
ELEVATIONS
- COORDINATE WITH STRUCTURAL FOR
RETAINING WALL AND STAIR DETAILS
- SEE LANDSCAPE PLAN FOR LOCATIONS
AND TYPES OF VEGETATION

1 STAIR DETAIL - A
L4.03 Scale: 3/4" = 1'-0"

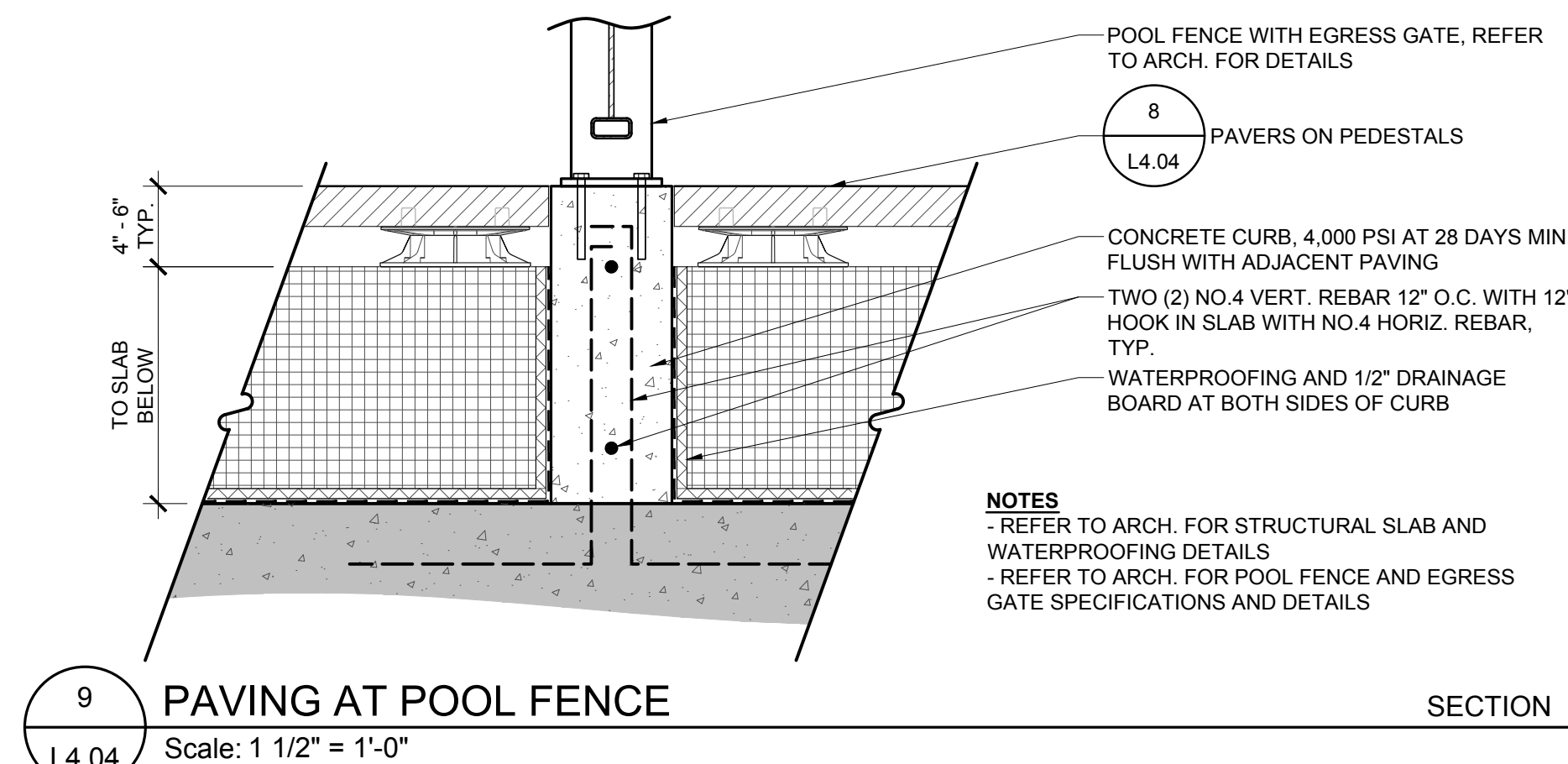
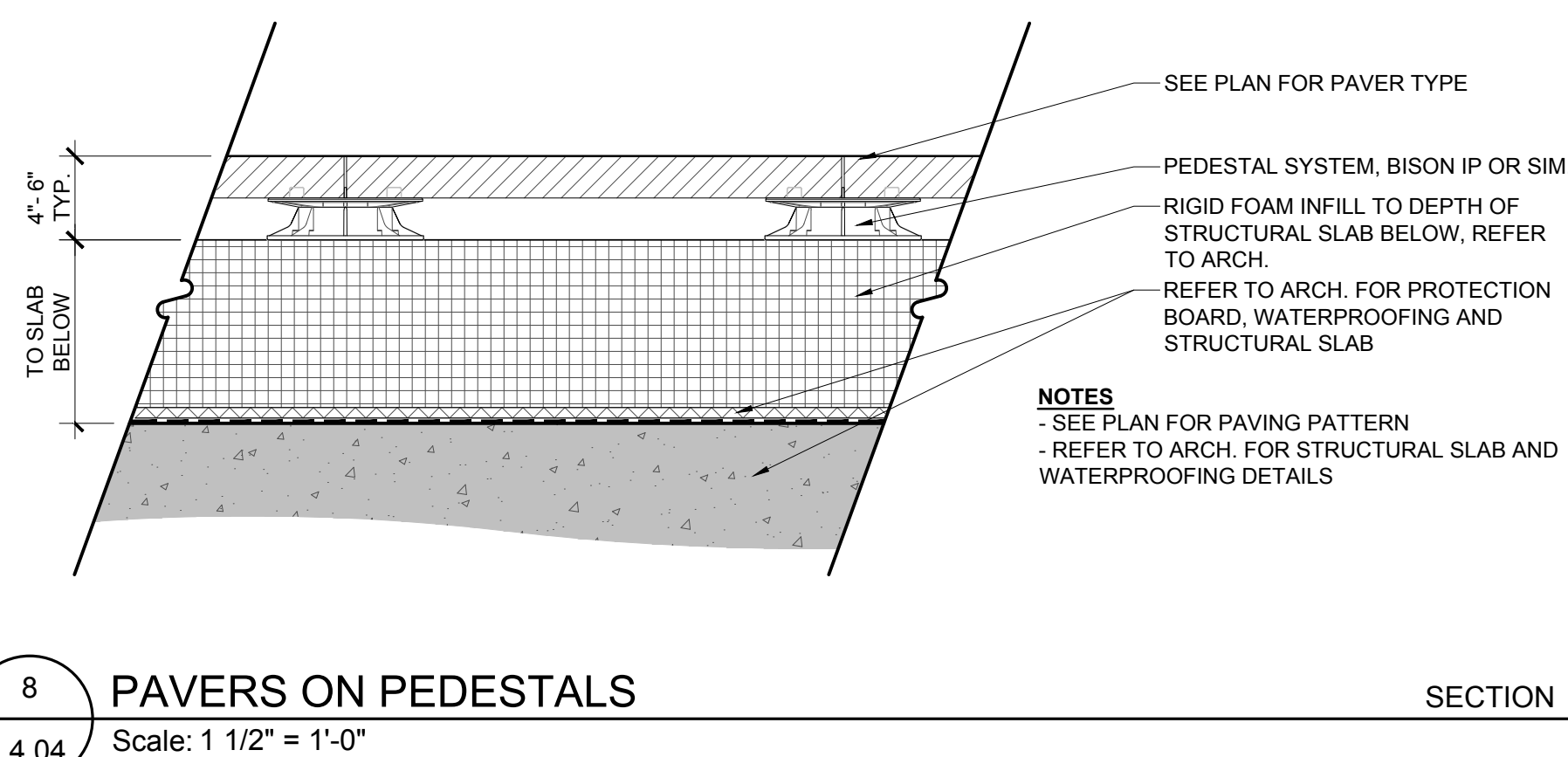
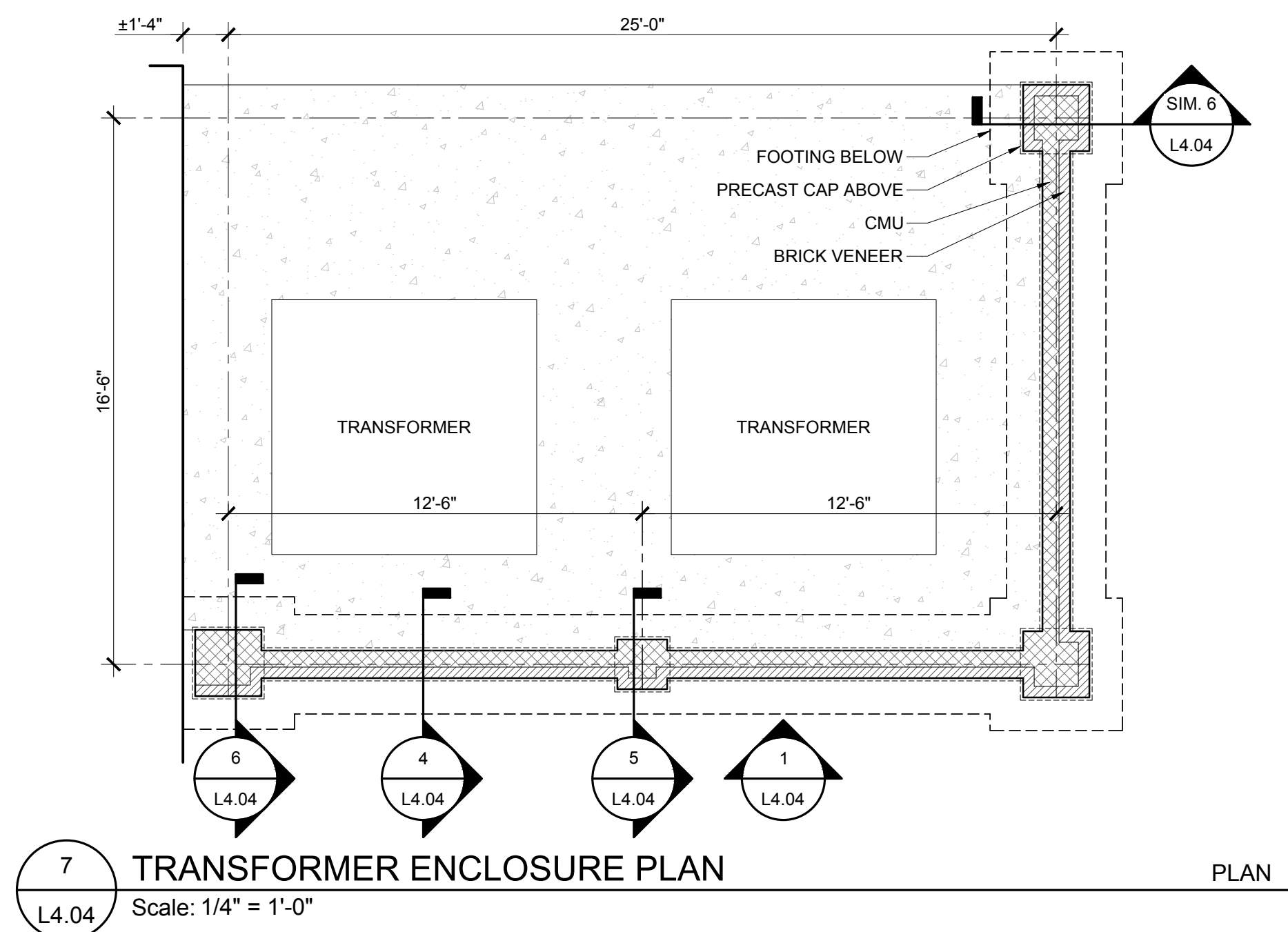
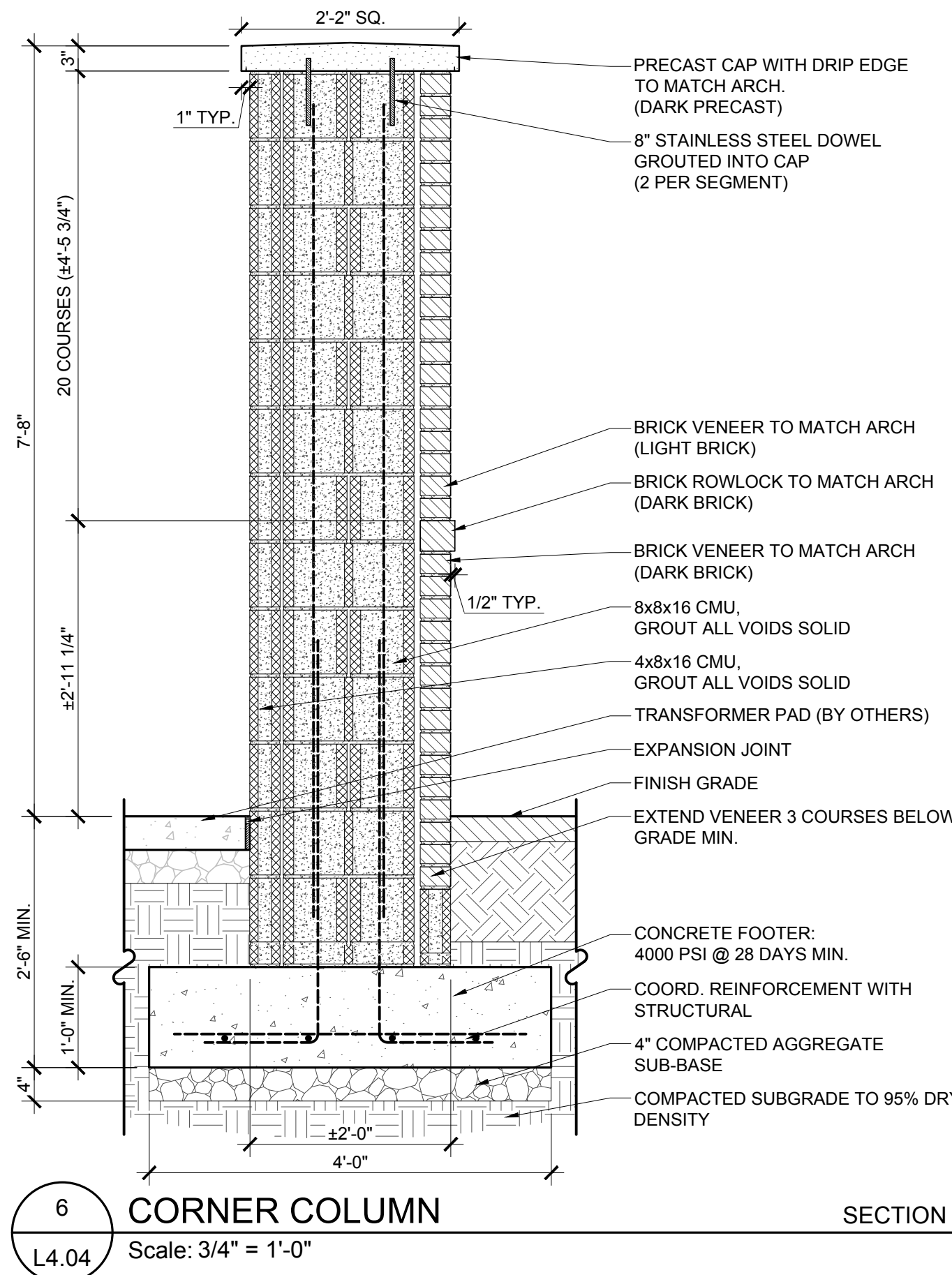
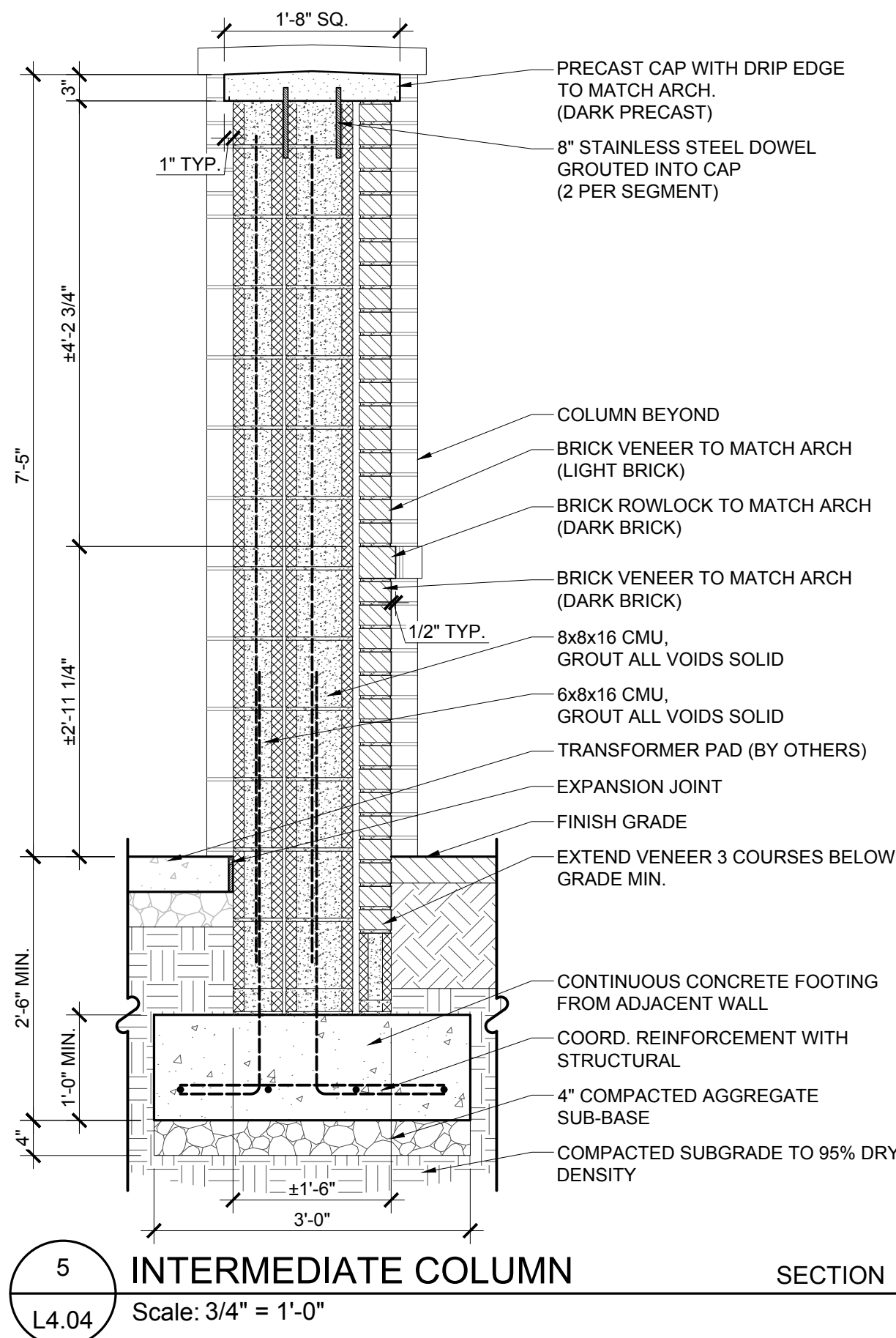
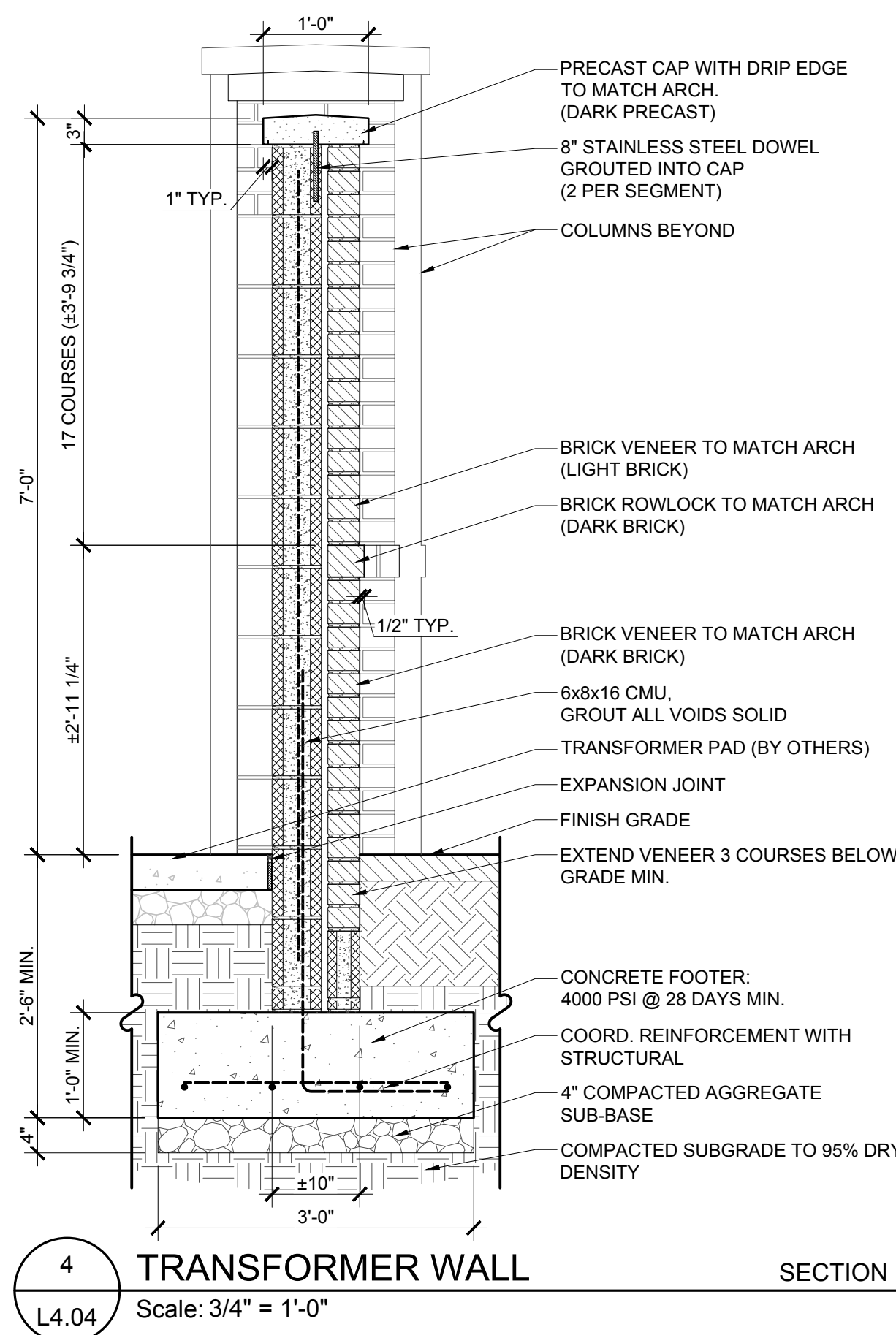
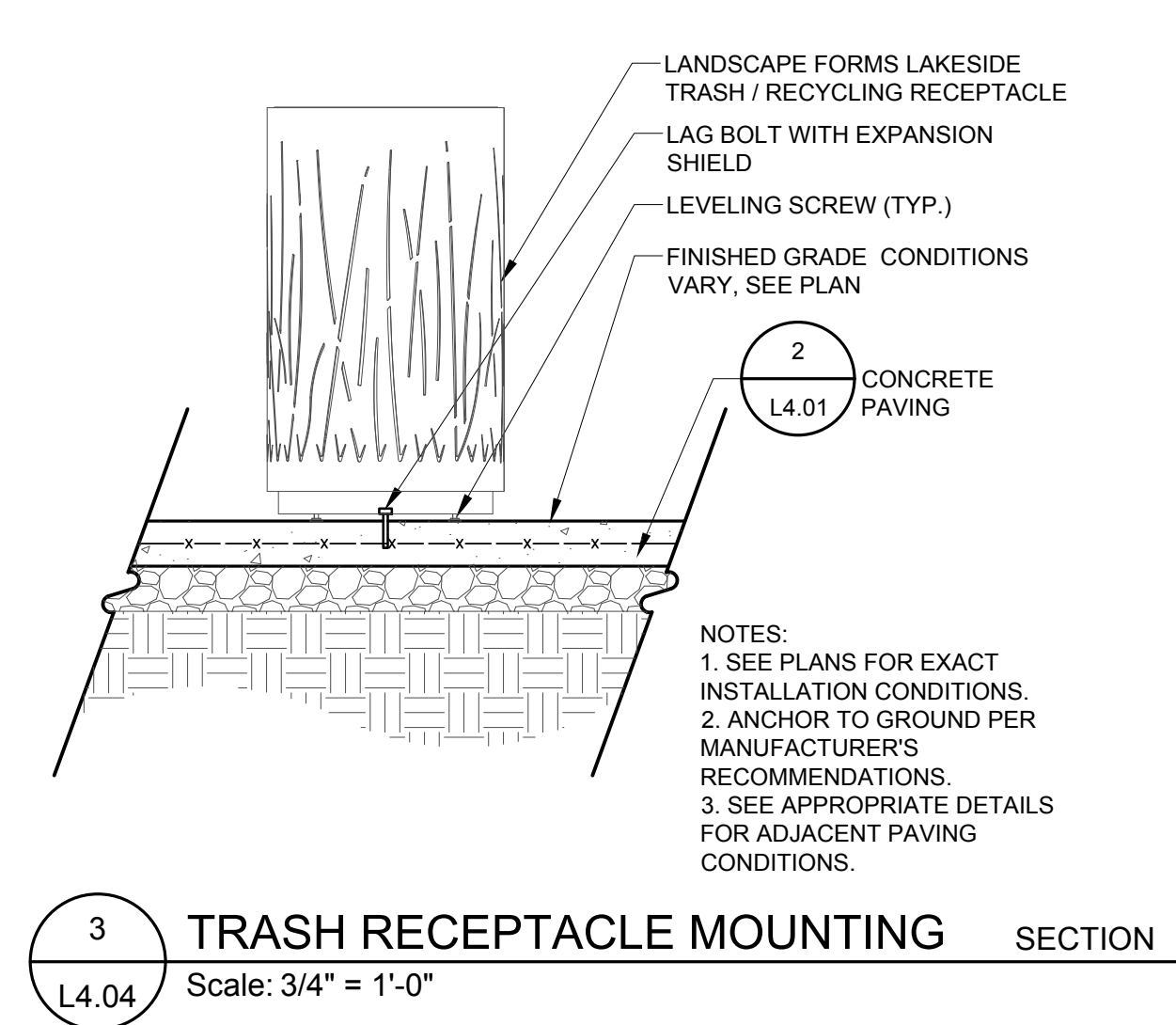
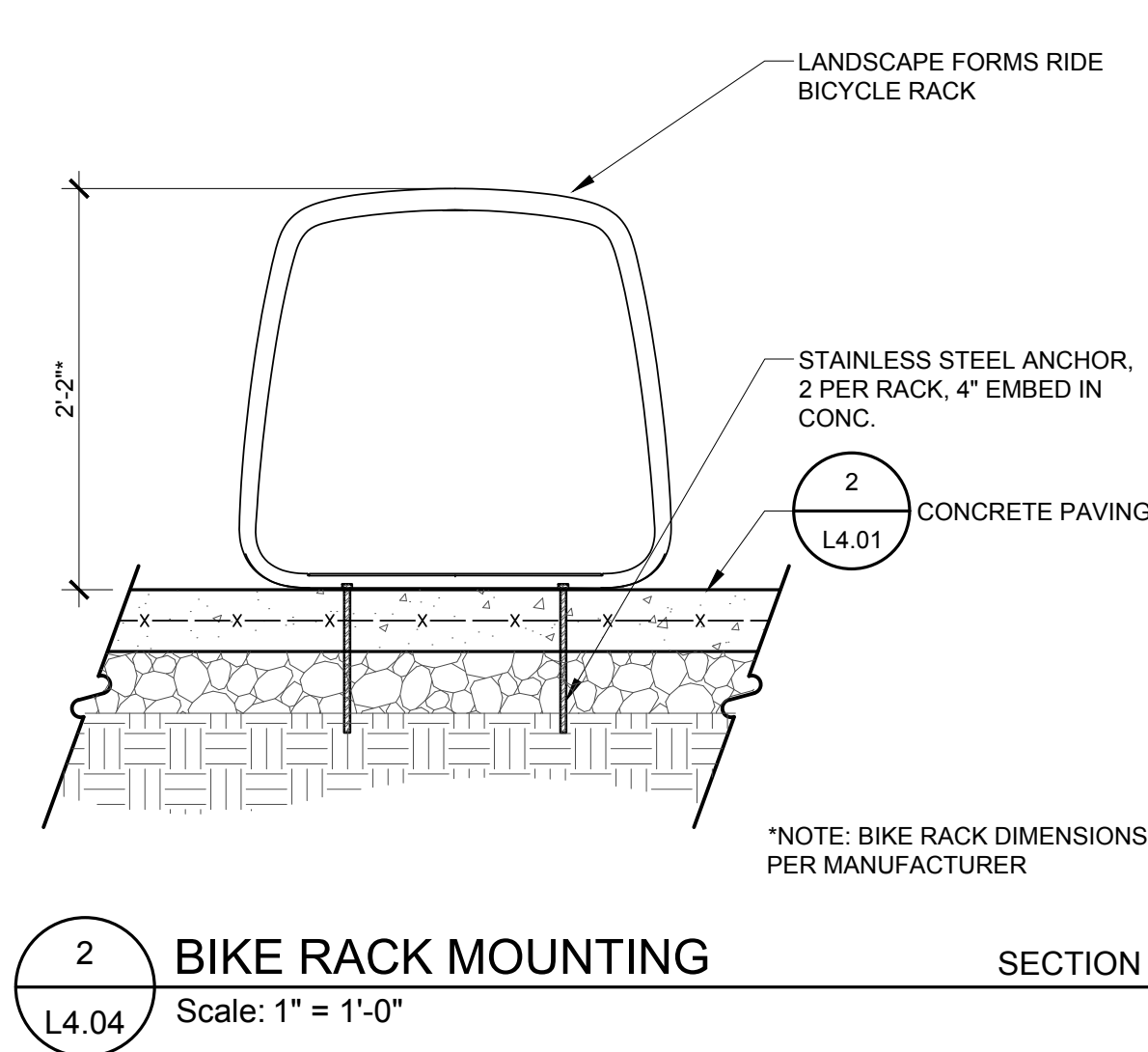
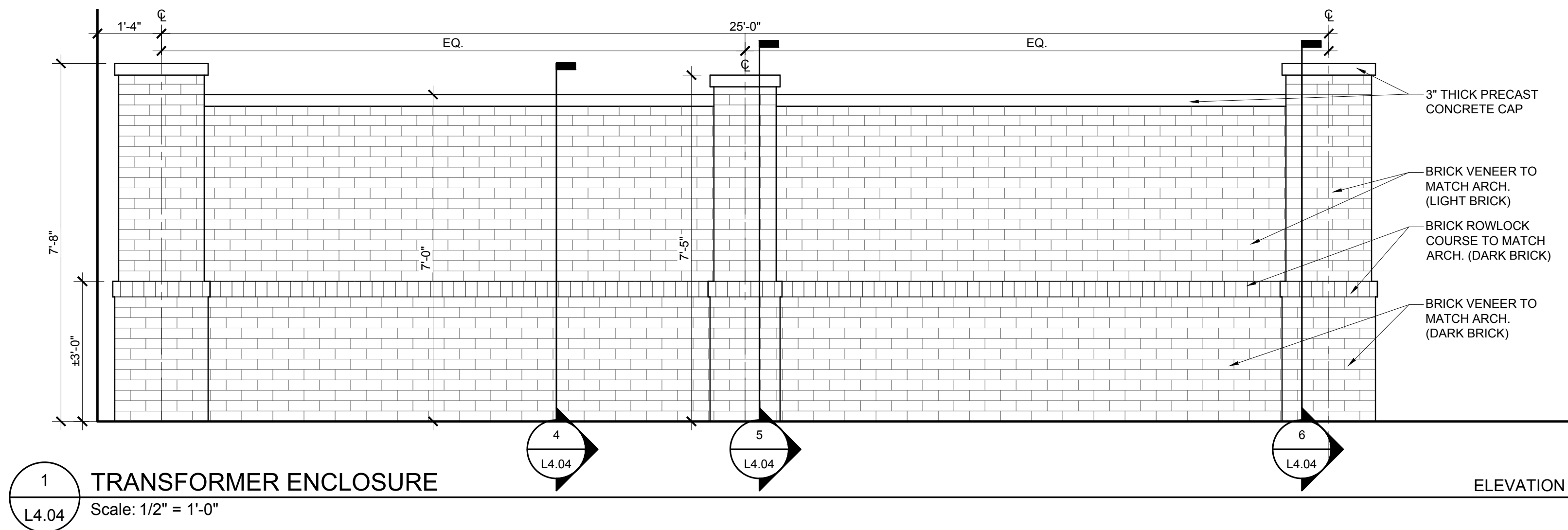
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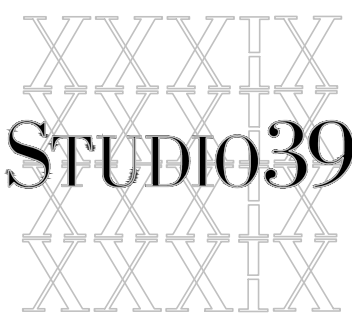
2 STAIR DETAIL - B
L4.03 Scale: 3/4" = 1'-0"

SECTION

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DIRECTOR	DATE		
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SITE PLAN No.			
10/11/2022		01/12/2022	
DIRECTOR	DATE		
1/11/2022		1/11/2022	
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SITE PLAN No.		01/12/2022	
DIRECTOR		DATE	
CHAIRMAN, PLANNING COMMISSION		1/11/2022	
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		PAGE NO.	



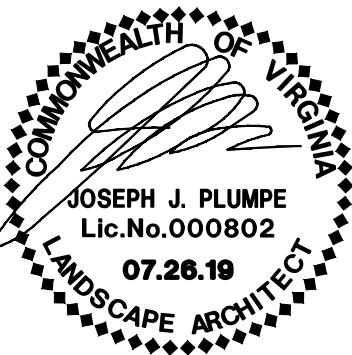
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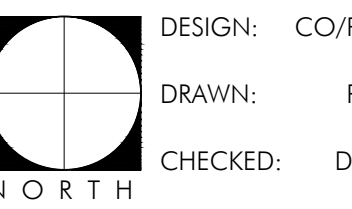
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REVISIONS:

HARDSCAPE
DETAILS 05



SCALE: AS NOTED

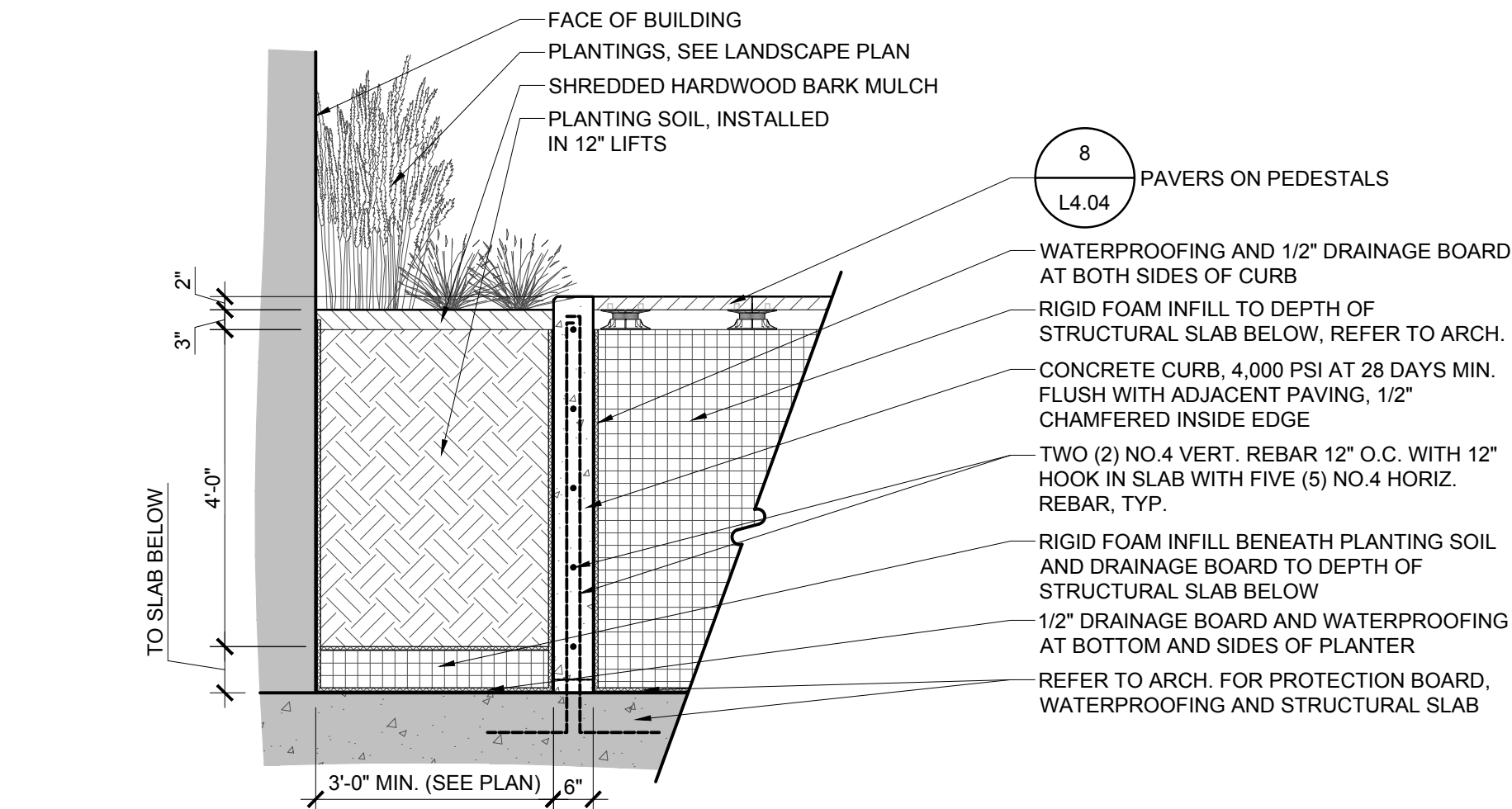


PROJECT NO: 15046

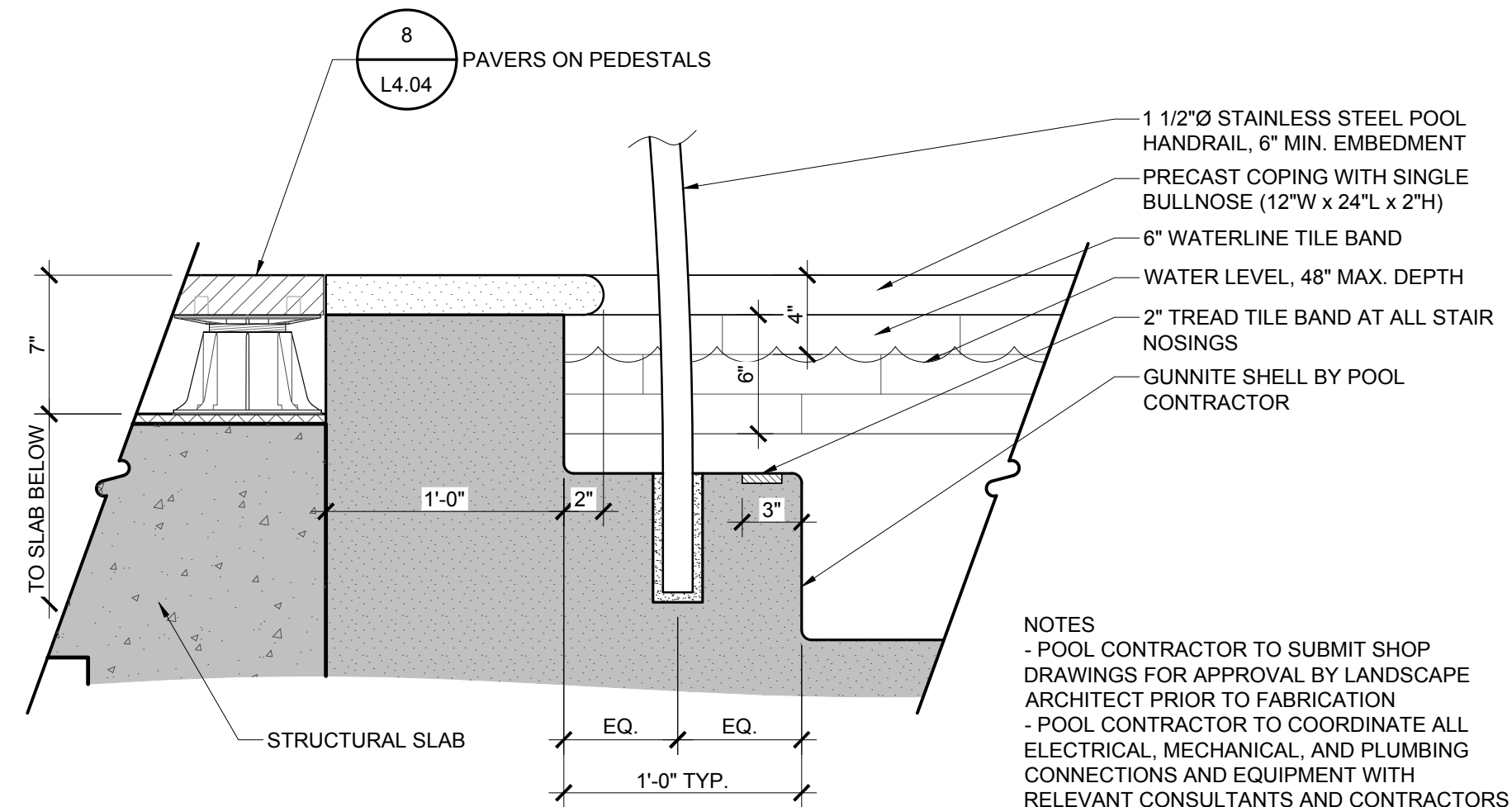
DATE: 07.26.19

L4.05

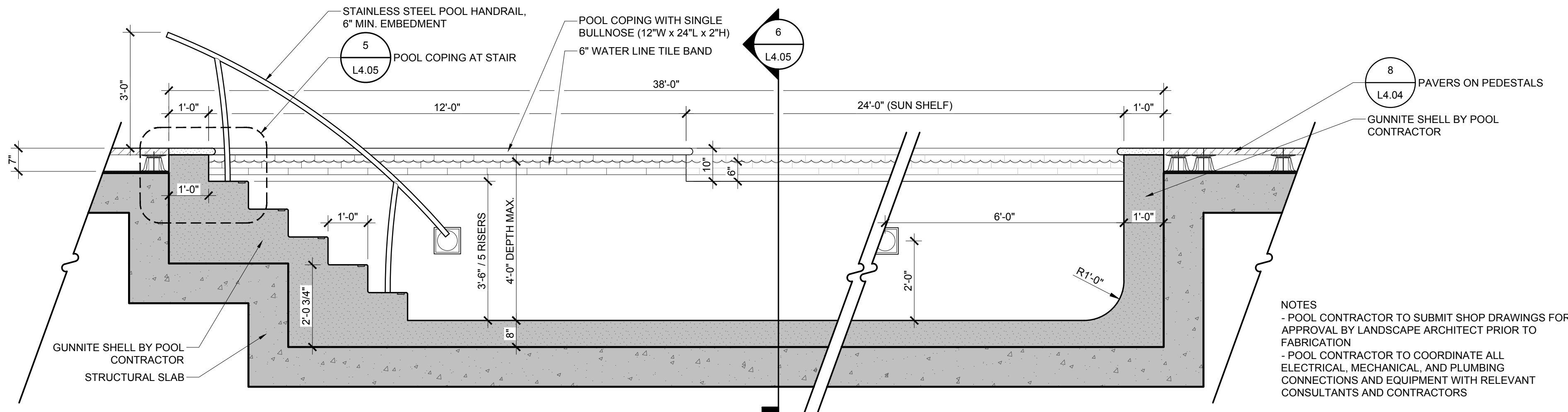
FINAL SITE PLAN



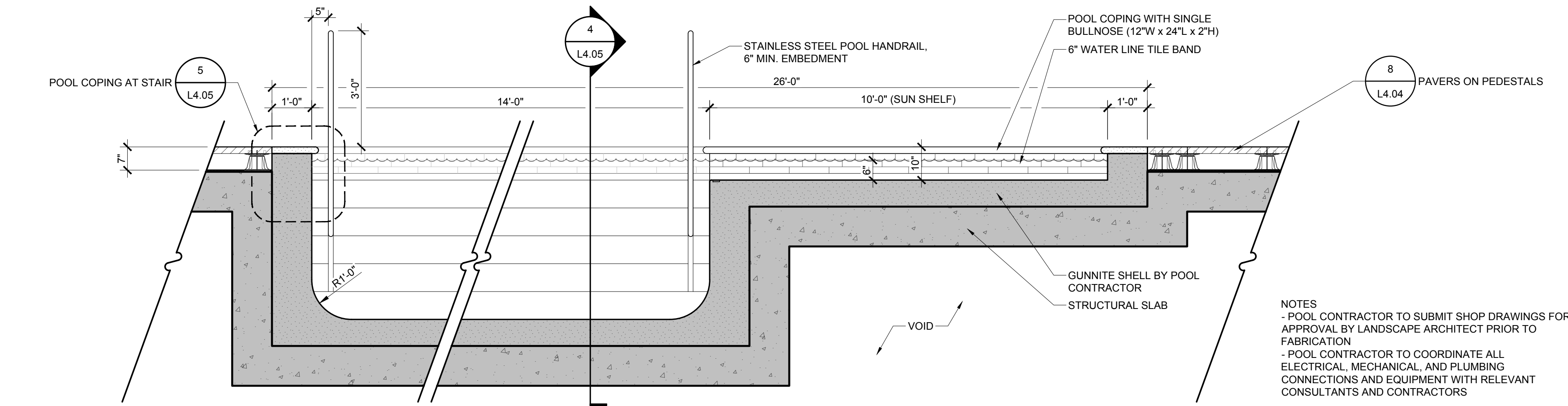
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5 POOL COPING AT STAIR SECTION
Scale: 1 1/2" = 1'-0"

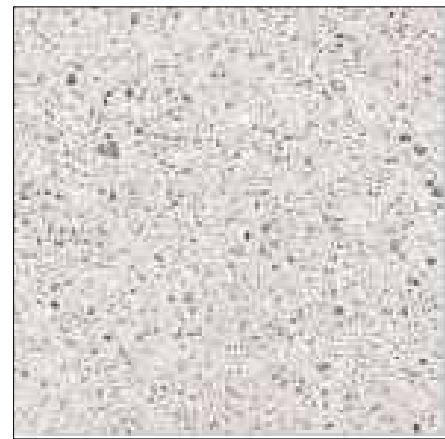


4 POOL DETAIL - A SECTION
Scale: 1/2" = 1'-0"



6 POOL DETAIL - B SECTION
Scale: 1/2" = 1'-0"

APPROVED SPECIAL USE PERMIT NO.	2018-0027
DEPARTMENT OF PLANNING & ZONING	
AEF for K. Moritz	1/11/2022
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No.	
<i>John V.</i>	01/12/2022
DIRECTOR	DATE
<i>William M. Moritz</i>	1/11/2022
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
	PAGE NO.



MODEL: TRAILS PREMIUM CONCRETE PAVERS
OR APPROVED EQUAL

COLOR: TBD

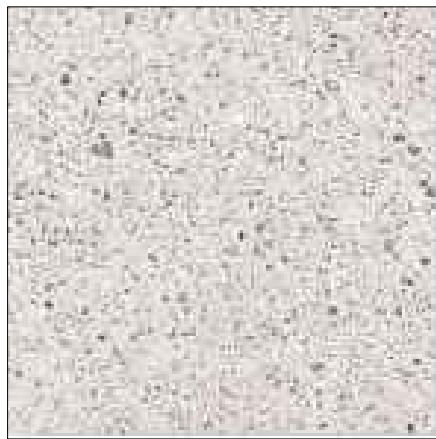
FINISH: MID-GRIND

MANUFACTURER: CONCRETE COLLABORATIVE
WWW.CONCRETE-COLLABORATIVE.COM
(P): 1.855.268.0800

QUANTITY: PER PLAN

SIZE: 24" x 48" x 2"

NOTE: INSTALL PER MANUFACTURER'S
RECOMMENDATION,
AND GOVERNING MUNICIPAL REQ. OR
APPROVED EQUAL



MODEL: TRAILS PREMIUM CONCRETE PAVERS
OR APPROVED EQUAL

COLOR: TBD

FINISH: MID-GRIND

MANUFACTURER: CONCRETE COLLABORATIVE
WWW.CONCRETE-COLLABORATIVE.COM
(P): 1.855.268.0800

QUANTITY: PER PLAN

SIZE: 18" x 24" x 2"

NOTE: INSTALL PER MANUFACTURER'S
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APPROVED EQUAL



MODEL: TRAILS PREMIUM CONCRETE PAVERS
OR APPROVED EQUAL

COLOR: FOSSIL

FINISH: BOARDFORM

MANUFACTURER: CONCRETE COLLABORATIVE
CONCRETE-COLLABORATIVE.COM
SALES@CONCRETE-COLLABORATIVE.COM

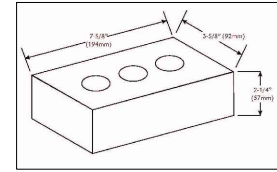
QUANTITY: PER PLAN

SIZE: 24" x 24" x 2"

NOTE: INSTALL PER MANUFACTURER'S
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APPROVED EQUAL



REPRESENTATIVE OF COLOR
AND TEXTURE ONLY



MODEL: FACE BRICK

COLOR: DARK IRON SPOT - VELOUR

SIZE: MODULAR (7 5/8"x3 5/8"x2 1/4")

MANUFACTURER: ENDICOTT CLAY PRODUCTS

CONTACT: CHRIS MAYER
POTOMAC VALLEY BRICK
8306 CINDERBED ROAD
NEWINGTON, VA 22079
703.587.9803

QUANTITY: PER PLAN

NOTES: - INSTALL PER MANUFACTURER'S
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AND GOVERNING MUNICIPAL REQ. OR
APPROVED EQUAL
- OR APPROVED EQUAL

1
L4.51

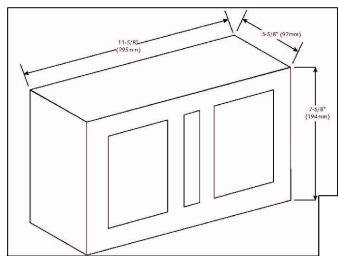
CONCRETE PAVER - A

PROD. INFO.

Scale: NTS



REPRESENTATIVE OF COLOR
AND TEXTURE ONLY



MODEL: STRUCTURAL BRICK

COLOR: DARK IRON SPOT - VELOUR

SIZE: 8" THRU-WALL (11 5/8"x7 5/8"x3 5/8")

MANUFACTURER: ENDICOTT CLAY PRODUCTS

CONTACT: CHRIS MAYER
POTOMAC VALLEY BRICK
8306 CINDERBED ROAD
NEWINGTON, VA 22079
703.587.9803

QUANTITY: PER PLAN

NOTES: - INSTALL PER MANUFACTURER'S
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- OR APPROVED EQUAL

5
L4.51

STRUCTURAL BRICK - A

PROD. INFO.

Scale: NTS

2
L4.51

CONCRETE PAVER - B

PROD. INFO.

Scale: NTS

3
L4.51

CONCRETE PAVER - C

PROD. INFO.

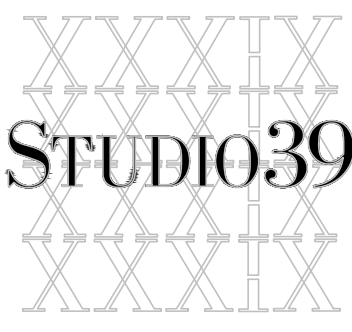
Scale: NTS

4
L4.51

FACE BRICK - A

PROD. INFO.

Scale: NTS



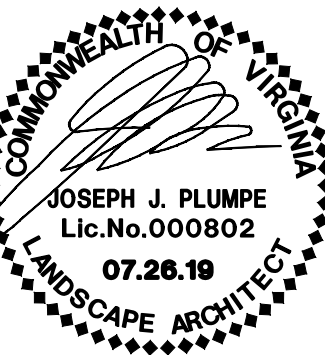
Landscape Architecture, P.C.

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Alexandria, Virginia 22310
Tel: 703.719.6500 Fax: 703.719.6503
Email: fromdesk@studio39.com

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PRODUCT
INFORMATION 01

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AEF for K. Moritz		1/11/2022	
DIRECTOR	DATE		
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES			
SITE PLAN No.			
<i>[Signature]</i>		01/12/2022	
DIRECTOR	DATE		
<i>[Signature]</i>		1/11/2022	
CHAIRMAN, PLANNING COMMISSION	DATE		
DATE RECORDED			
INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.	

DESIGN: CO/PT
DRAWN: PT
CHECKED: DD

SCALE: Viewport Scale

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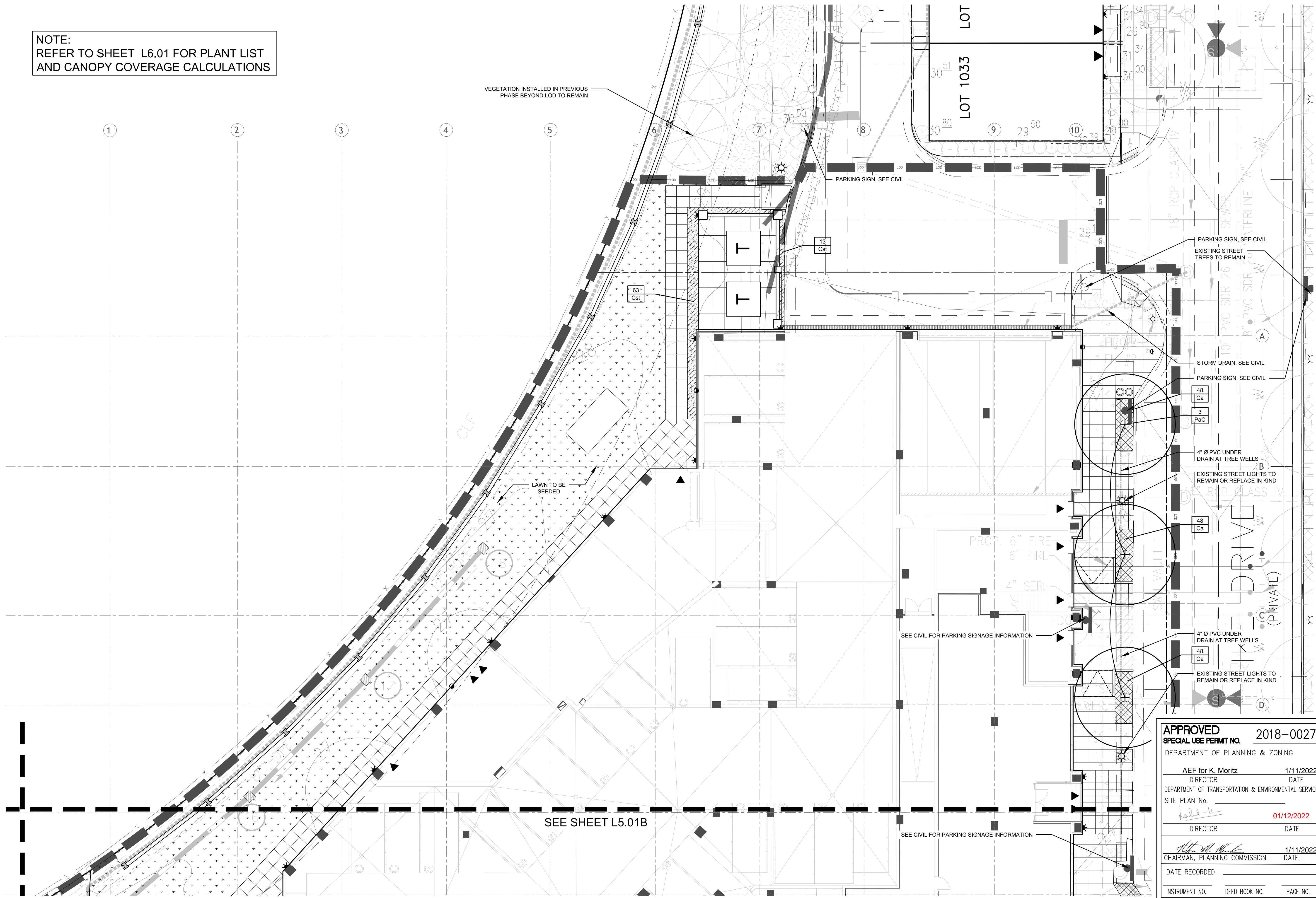
PROJECT NO: 15046

DATE: 07.26.19

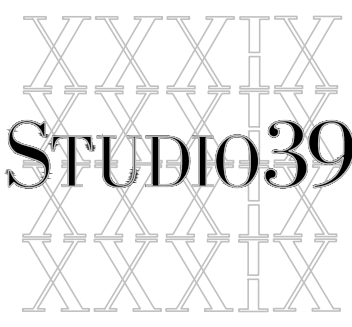
L4.51

FINAL SITE PLAN

NOTE:
REFER TO SHEET L6.01 FOR PLANT LIST
AND CANOPY COVERAGE CALCULATIONS



p:\2015\15046 2001 eisenhower avenue\6.0 cad files\REST DDL\5.01A LANDSCAPE PLAN LEVEL 01 - NORTH.dwg



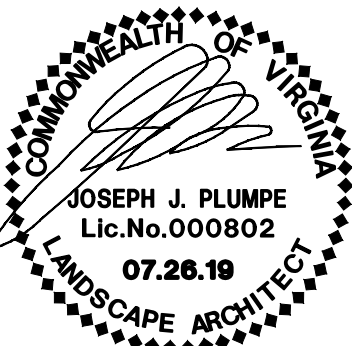
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REVISIONS:

LANDSCAPE PLAN
LEVEL 01 - NORTH

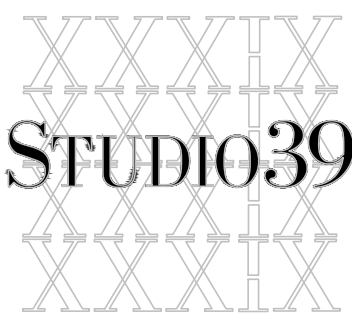
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DRAWN: PT
CHECKED: DD
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PROJECT NO: 15046
DATE: 07.26.19

L5.01A

FINAL SITE PLAN

APPROVED SPECIAL USE PERMIT NO. 2018-0027	
DEPARTMENT OF PLANNING & ZONING	
AEF for K. Moritz	1/11/2022
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No. <u>15046</u>	
<u>John V.</u>	01/12/2022
DIRECTOR	DATE
<u>John V.</u>	1/11/2022
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
PAGE NO.	

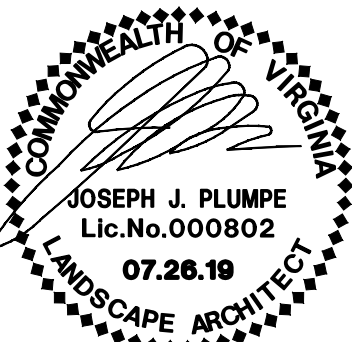


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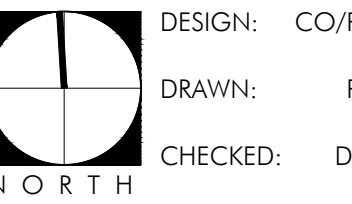
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REVISIONS:

LANDSCAPE PLAN
LEVEL 01 - SOUTH

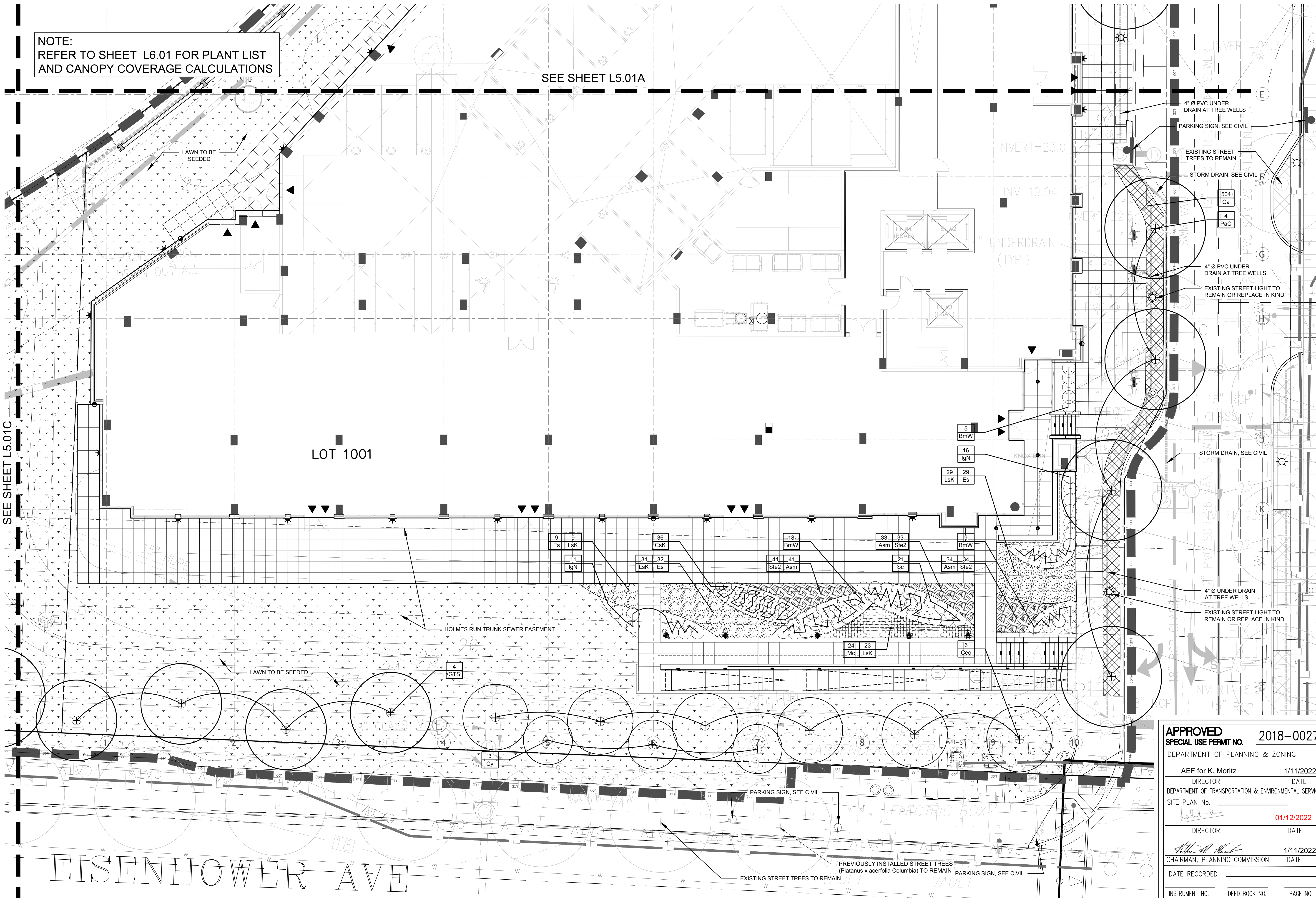


PROJECT NO: 15046
DATE: 07.26.19

L5.01B

FINAL SITE PLAN

FINAL SUBMISSION



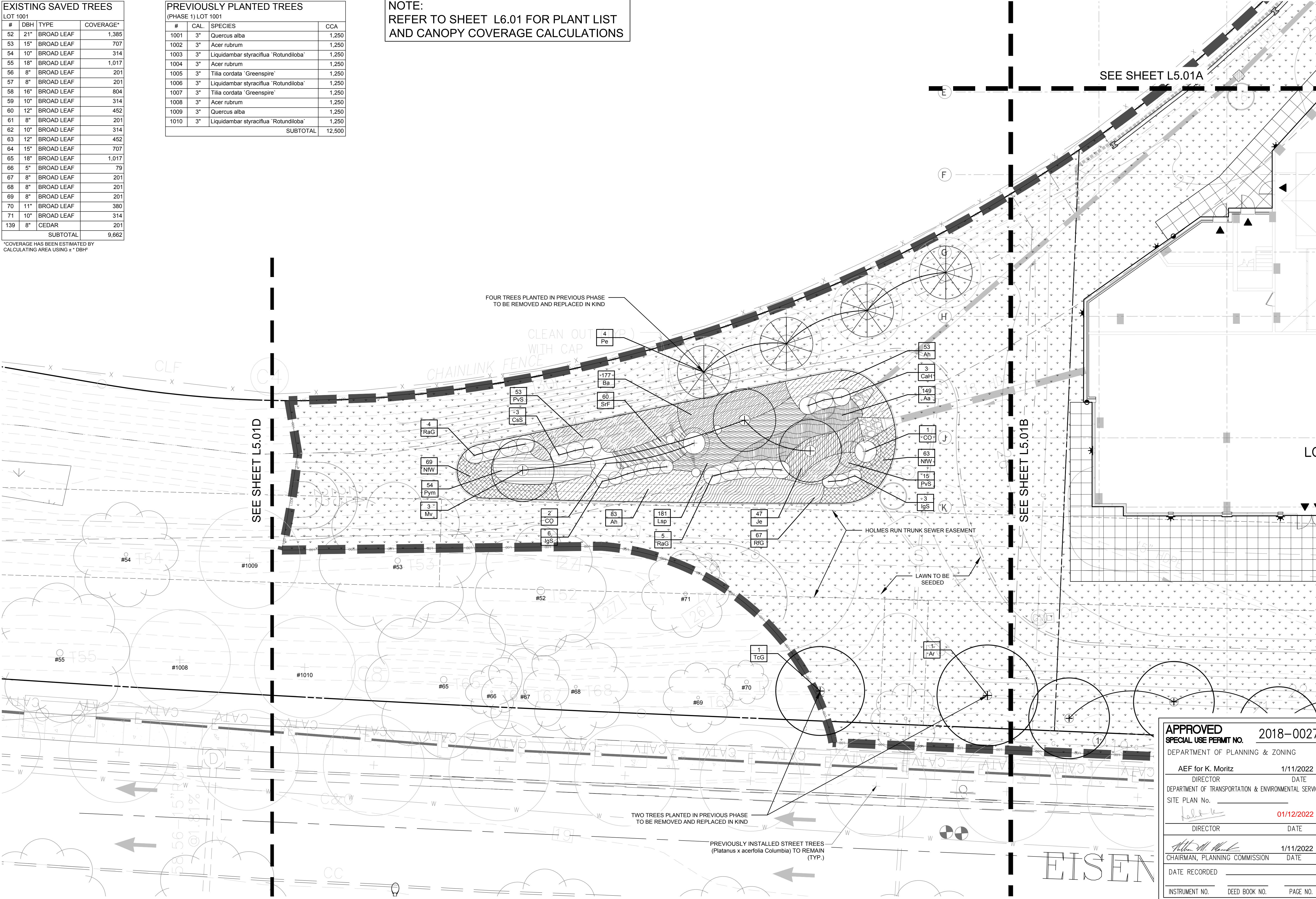
APPROVED SPECIAL USE PERMIT NO. 2018-0027	
DEPARTMENT OF PLANNING & ZONING	
AEF for K. Moritz	1/11/2022
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No. 1011-0001	
10/12/2022	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
1/11/2022	
DATE	
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
PAGE NO.	

EXISTING SAVED TREES			
LOT 1001	#	DBH	TYPE
	52	21"	BROAD LEAF
	53	15"	BROAD LEAF
	54	10"	BROAD LEAF
	55	18"	BROAD LEAF
	56	8"	BROAD LEAF
	57	8"	BROAD LEAF
	58	16"	BROAD LEAF
	59	10"	BROAD LEAF
	60	12"	BROAD LEAF
	61	8"	BROAD LEAF
	62	10"	BROAD LEAF
	63	12"	BROAD LEAF
	64	15"	BROAD LEAF
	65	18"	BROAD LEAF
	66	5"	BROAD LEAF
	67	8"	BROAD LEAF
	68	8"	BROAD LEAF
	69	8"	BROAD LEAF
	70	11"	BROAD LEAF
	71	10"	BROAD LEAF
	139	8"	CEDAR
	SUBTOTAL		9,662

*COVERAGE HAS BEEN ESTIMATED BY CALCULATING AREA USING π * DBH²

PREVIOUSLY PLANTED TREES			
(PHASE 1) LOT 1001	#	CAL	SPECIES
	1001	3"	Quercus alba
	1002	3"	Acer rubrum
	1003	3"	Liquidambar styraciflua 'Rotundiloba'
	1004	3"	Acer rubrum
	1005	3"	Tilia cordata 'Greenspire'
	1006	3"	Liquidambar styraciflua 'Rotundiloba'
	1007	3"	Tilia cordata 'Greenspire'
	1008	3"	Acer rubrum
	1009	3"	Quercus alba
	1010	3"	Liquidambar styraciflua 'Rotundiloba'
	SUBTOTAL		12,500

NOTE:
REFER TO SHEET L6.01 FOR PLANT LIST
AND CANOPY COVERAGE CALCULATIONS



APPROVED
SPECIAL USE PERMIT NO. 2018-0027

DEPARTMENT OF PLANNING & ZONING

AEF for K. Moritz 1/11/2022

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN No. 01/12/2022

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION 1/11/2022

DATE RECORDED DATE

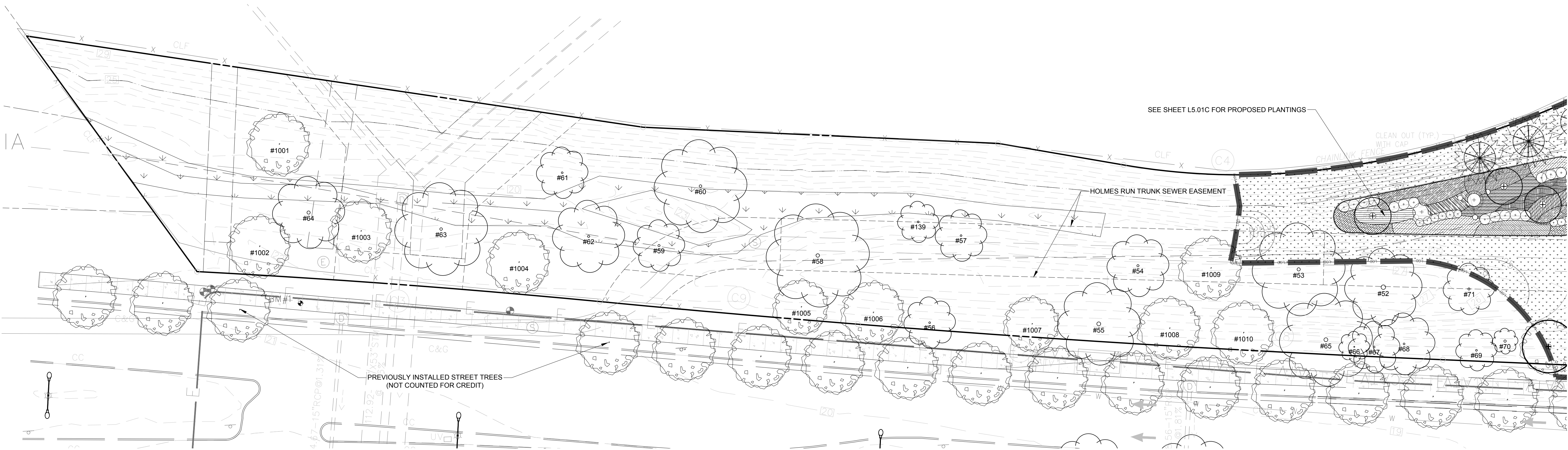
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

EXISTING SAVED TREES			
LOT 1001			
#	DBH	TYPE	COVERAGE*
52	21"	BROAD LEAF	1,385
53	15"	BROAD LEAF	707
54	10"	BROAD LEAF	314
55	18"	BROAD LEAF	1,017
56	8"	BROAD LEAF	201
57	8"	BROAD LEAF	201
58	16"	BROAD LEAF	804
59	10"	BROAD LEAF	314
60	12"	BROAD LEAF	452
61	8"	BROAD LEAF	201
62	10"	BROAD LEAF	314
63	12"	BROAD LEAF	452
64	15"	BROAD LEAF	707
65	18"	BROAD LEAF	1,017
66	5"	BROAD LEAF	79
67	8"	BROAD LEAF	201
68	8"	BROAD LEAF	201
69	8"	BROAD LEAF	201
70	11"	BROAD LEAF	380
71	10"	BROAD LEAF	314
139	8"	CEDAR	201
SUBTOTAL			9,662

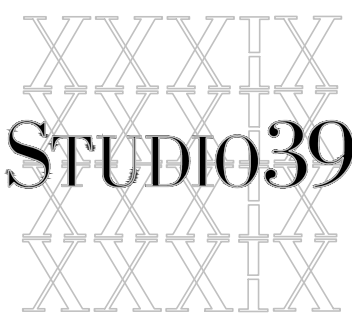
*COVERAGE HAS BEEN ESTIMATED BY
CALCULATING AREA USING π * DBH²

PREVIOUSLY PLANTED TREES			
(PHASE 1) LOT 1001			
#	CAL.	SPECIES	CCA
1001	3"	Quercus alba	1,250
1002	3"	Acer rubrum	1,250
1003	3"	Liquidambar styraciflua 'Rotundiloba'	1,250
1004	3"	Acer rubrum	1,250
1005	3"	Tilia cordata 'Greenspire'	1,250
1006	3"	Liquidambar styraciflua 'Rotundiloba'	1,250
1007	3"	Tilia cordata 'Greenspire'	1,250
1008	3"	Acer rubrum	1,250
1009	3"	Quercus alba	1,250
1010	3"	Liquidambar styraciflua 'Rotundiloba'	1,250
SUBTOTAL			12,500

NOTE:
REFER TO SHEET L6.01 FOR PLANT LIST
AND CANOPY COVERAGE CALCULATIONS



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AEF for K. Moritz		1/11/2022	
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SITE PLAN No.		01/12/2022	
DIRECTOR		DATE	
CHAIRMAN, PLANNING COMMISSION		1/11/2022	
DATE RECORDED		DATE	
INSTRUMENT NO.		DEED BOOK NO.	
		PAGE NO.	

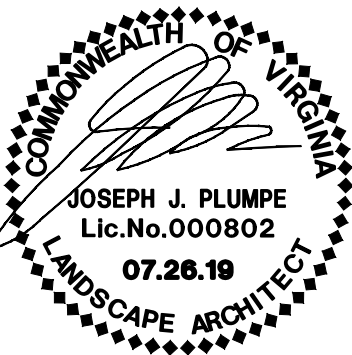


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REVISIONS:

NO.	DESCRIPTION

LANDSCAPE PLAN
LEVEL 10

DESIGN: CO/PT
DRAWN: PT
CHECKED: DD
N O R T H

SCALE: 1" = 10'-0"
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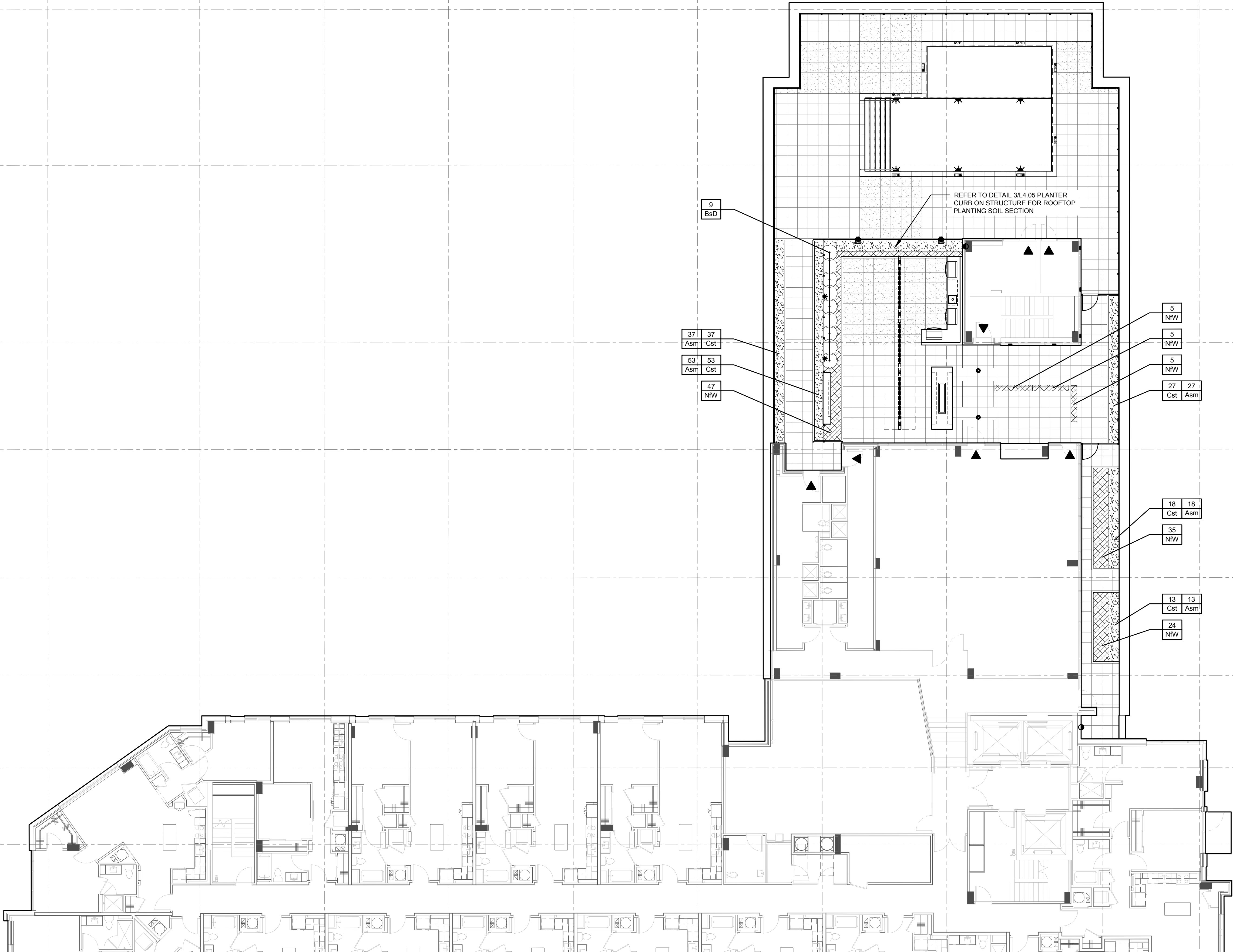
PROJECT NO: 15046
DATE: 07.26.19

L5.10

FINAL SITE PLAN

FINAL SUBMISSION

NOTE:
REFER TO SHEET L6.01 FOR PLANT LIST
AND CANOPY COVERAGE CALCULATIONS



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DEPARTMENT OF PLANNING & ZONING			
AEF for K. Moritz		1/11/2022	
DIRECTOR		DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES			
SITE PLAN No.		01/12/2022	
DIRECTOR		DATE	
CHAIRMAN, PLANNING COMMISSION		1/11/2022	
DATE RECORDED		DATE	
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PAGE NO.			

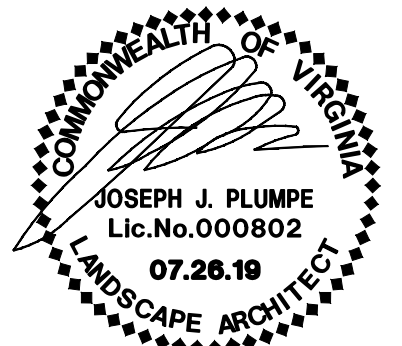


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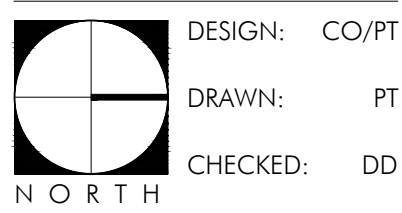
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REVISIONS:

LANDSCAPE
DETAILS 01



SCALE: Viewport Scale

PROJECT NO: 15046

DATE: 07.26.19

L6.01

FINAL SITE PLAN

GROUND LEVEL PLANT LIST

TREES										
KEY	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	SPREAD	BRANCH HT.	REMARKS	CCA	TOTAL (SF)
Ar	1	Acer rubrum	Red Maple	14'-16'	3" - 3 1/2"		7'-0" **	B&B, full uniform crown, symmetrical branching, full specimen	1,250	1,250
GIS	4	Gleditsia triacanthos inermis 'Skycole'	Skyline Honey Locust	14'-16'	3" - 3 1/2"		7'-0" **	B&B, full uniform crown, symmetrical branching, full specimen	1,250	5,000
PaC	7	Platanus x acerifolia 'Columbia'	London Plane Tree	14'-16'	3" - 3 1/2"		7'-0" **	B&B, full uniform crown, symmetrical branching, full specimen	1,250	8,750
ToG	1	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	14'-16'	3" - 3 1/2"		7'-0" **	B&B, full uniform crown, symmetrical branching, full specimen	1,250	1,250
									SUBTOTAL	16,250
ORNAMENTAL TREES										
KEY	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	SPREAD	BRANCH HT.	REMARKS	CCA	TOTAL (SF)
Cec	6	Cercis canadensis	Eastern Redbud	8'-10'	1 1/2" min.		7'-0" **	B&B, multi-trunk, 3 trunk minimum, full symmetrical branching	500	3,000
Cv	3	Chionanthus virginicus	White Fringetree	8'-10'	2 1/2" min.		7'-0" **	B&B, uniform branching, full specimen	500	1,500
									SUBTOTAL	4,500
EVERGREEN TREES										
KEY	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	SPREAD		REMARKS	CCA	TOTAL (SF)
Pe	4	Pinus echinata	Shortleaf Pine	6'-8'		3 1/2'-5'		B&B, full to ground with good seasonal flush	750	3,000
SHRUBS										
KEY	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	SIZE	SPACING	REMARKS	CCA	TOTAL (SF)
BmW	32	Buxus microphylla 'Winter Gem'	Globe Winter Gem Boxwood	18"-24"	18"-24"	#3 cont.	3' o.c.	healthy vigorous, well-rooted & established in container	2	64
CsK	36	Cornus sericea 'Kelsey'	Kelsey Dogwood	18"-24"	18"-24"	#3 cont.	2' o.c.	full specimen, healthy, vigorous, well-rooted and established	2	72
IgN	27	Ilex glabra 'Nigra'	Inkberry	24"-30"	18"-24"	#3 cont.	3' o.c.	healthy, vigorous, well-rooted & established in container	2	54
Sc	21	Sarcococca hookeriana var humilis	Sweetbox	15"-18"	18"-24"	#3 cont.	3' o.c.	healthy, vigorous, well-rooted & established in container	0	0
									SUBTOTAL	190
GROUND COVERS										
KEY	QTY	BOTANICAL NAME	COMMON NAME	CONT.	COLOR	SPACING		REMARKS		
Asm	108	Allium sphaerocephalum	Drumstick Allium		Bulb	18" o.c.		full specimen, healthy, vigorous, well-rooted and established		
Ca	648	Carex amphibola	Eastern Narrowleaf Sedge	#1 cont.		12" o.c.		full specimen, healthy, vigorous, well-rooted and established		
Cst	76	Carex stricta	Tussock Sedge	#1 cont.		18" o.c.		full specimen, healthy, vigorous, well-rooted and established		
Es	70	Eragrostis spectabilis	Purple Love Grass	#1 cont.		30" o.c.		full specimen, healthy, vigorous, well-rooted and established		
LsK	92	Liatris spicata 'Kobold'	Spike Gayfeather	#1 cont.	purple	30" o.c.		full specimen, healthy, vigorous, well-rooted and established		
Mc	24	Muhlenbergia capillaris	Pink Muhly	#2 cont.		30" o.c.		full specimen, healthy, vigorous, well-rooted and established		
Ste2	108	Stipa tenuissima	Finestem Needlegrass	#1 cont.		18" o.c.		full specimen, healthy, vigorous, well-rooted and established		
LAWN										
Seed Mix	21,687 sf	90% Tall Fescue (Festuca arundinacea): 'Rebel IV' or 'Mow Less' variety or equal 10% Kentucky bluegrass (Poa pratensis): 'Midnight' variety or equal.						State-certified seed with not less than 95 percent germination, not less than 85 percent pure seed, and not more than 0.5 percent weed seed.		

BIORETENTION PLANT LIST

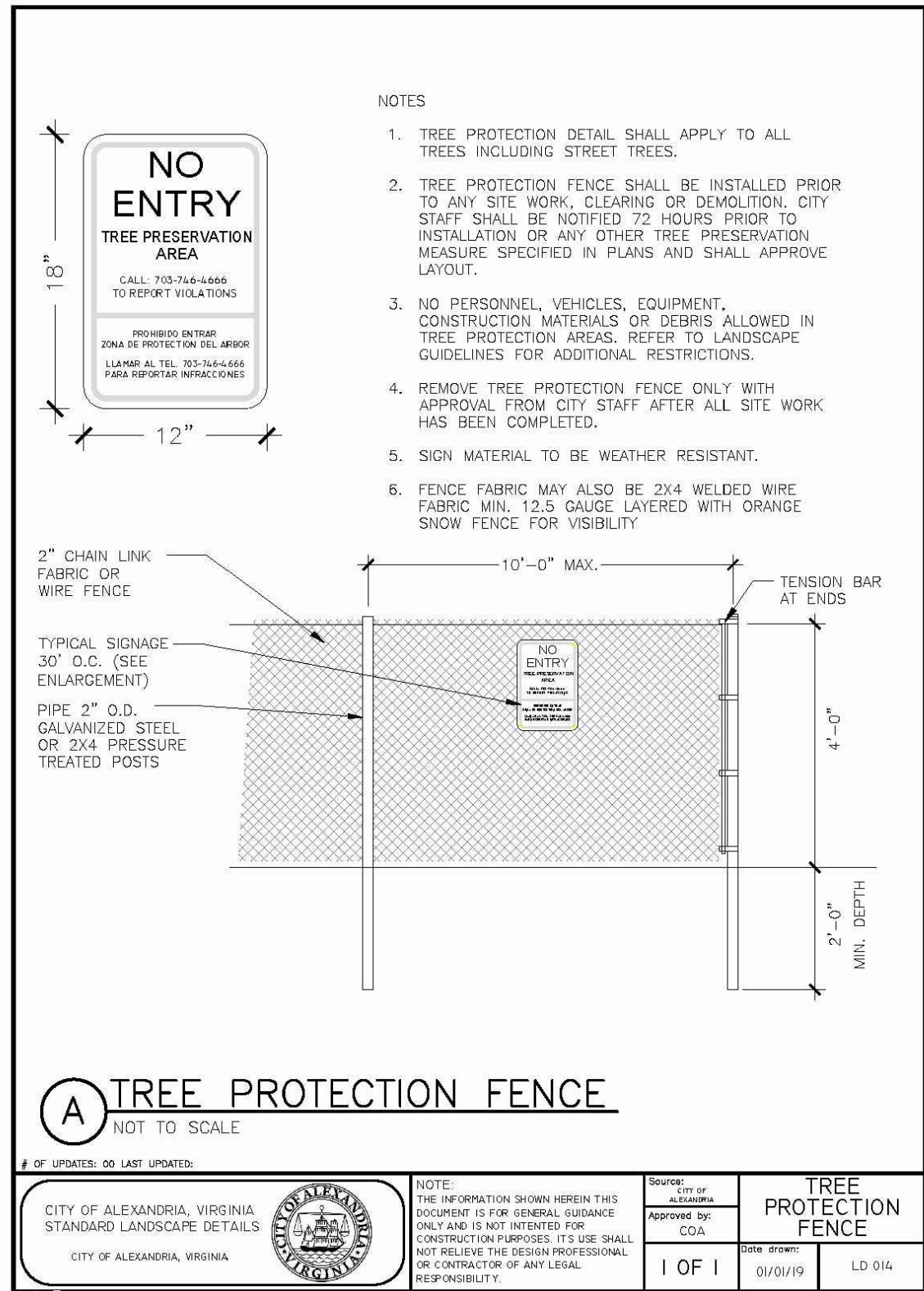
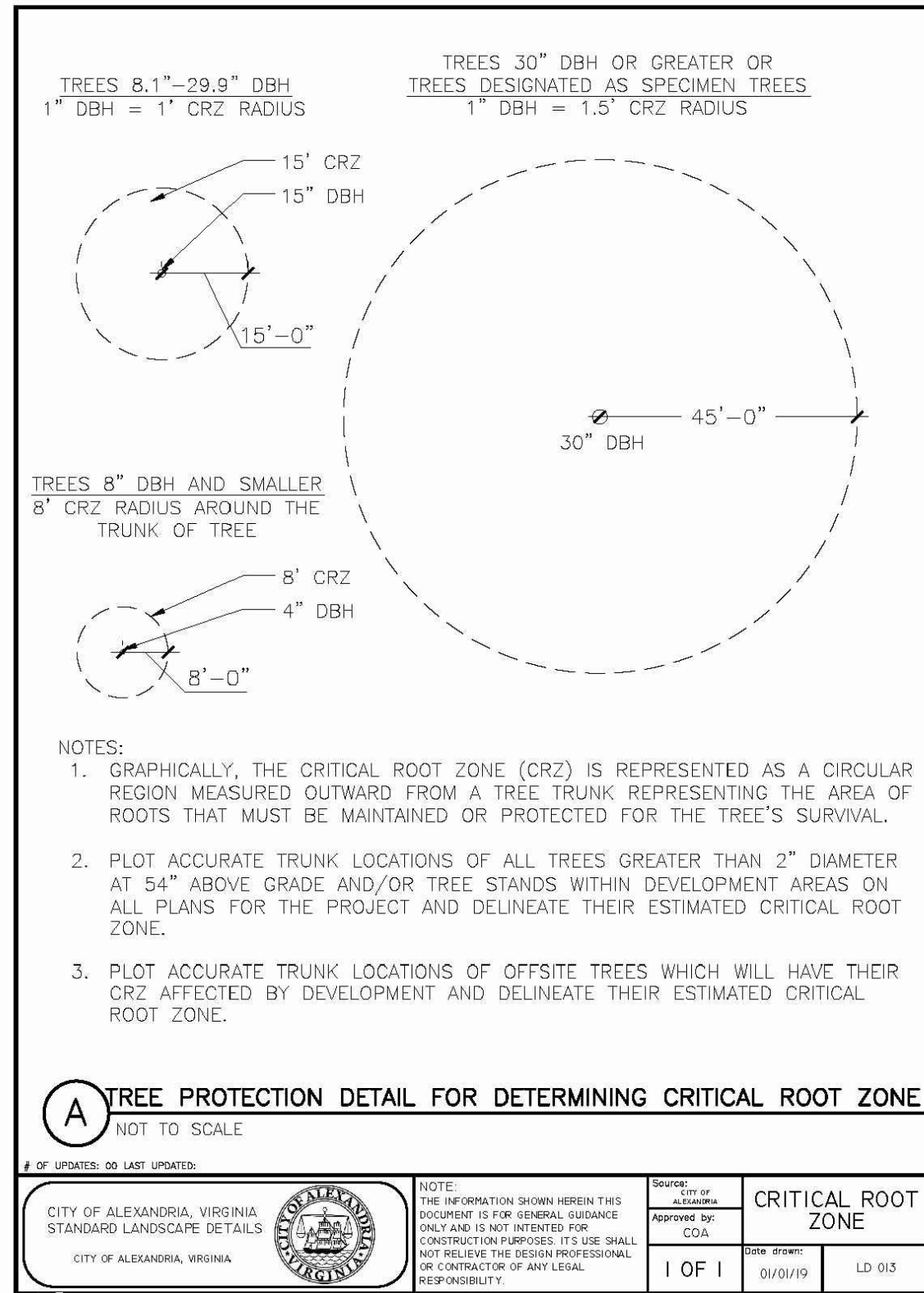
ORNAMENTAL TREES										
KEY	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	SPREAD	BRANCH HT.	REMARKS	CCA	TOTAL (SF)
Mv	3	Magnolia virginiana	Sweet Bay	8'-10"	1 1/2" min.		7'-0" **	B&B, multi-trunk, 3 trunk minimum, full symmetrical branching	250	750
SHRUBS										
	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	SIZE	SPACING	REMARKS	CCA	TOTAL (SF)
CO	3	Cephalanthus occidentalis	Buttonbush	24"-36"	24"-36"	#5 cont.	4' o.c.	healthy, vigorous, well-rooted & established	10	30
CaH	3	Clethra alnifolia 'Hummingbird'	Summersweet	18"-24"	18"-24"	#3 cont.	4' o.c.	healthy, vigorous, well-rooted & established	2	6
CsS	3	Cornus sericea 'Isanti'	Isanti Redosier Dogwood	24"-36"	24"-36"	#5 cont.	4' o.c.	healthy, vigorous, well-rooted & established	10	30
IgS	9	Ilex glabra 'Shamrock'	Inkberry	24"-30"	18"-24"	#3 cont.	3' o.c.	healthy, vigorous, well-rooted & established in container	2	18
RaG	9	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	12"-15"	15"-18"	#3 cont.	4' o.c.	full specimen, healthy, vigorous, well-rooted and established	0	0
SUBTOTAL										84
GROUND COVERS										
KEY	QTY	BOTANICAL NAME	COMMON NAME	CONT.	COLOR	SPACING		REMARKS		
Aa	149	Acorus americanus	Sweet Flag	#1 cont.		12" o.c.		full specimen, healthy, vigorous, well-rooted and established		
Ah	136	Amsonia hubrichtii	Hubricht's Bluestar	#1 cont.		18" o.c.		full specimen, healthy, vigorous, well-rooted and established		
Ba	177	Baptisia australis	Blue Wild Indigo	#1 cont.	blue	12" o.c.		full specimen, healthy, vigorous, well-rooted and established		
Je	47	Juncus effusus	Soft Rush	#2 cont.		18" o.c.		full specimen, healthy, vigorous, well-rooted and established		
Lsp	181	Liatris spicata	Spike Gayfeather	#1 cont.	purple	8" o.c.		full specimen, healthy, vigorous, well-rooted and established		
NW	132	Nepeta x faassenii 'Walkers Low'	Walkers Low Catmint	#1 cont.	blue	16" o.c.		full specimen, healthy, vigorous, well-rooted and established		
PvS	68	Panicum virgatum 'Shenendoah'	Burgundy Switch Grass	#3 cont.		24" o.c.		full specimen, healthy, vigorous, well-rooted and established		
Pym	54	Pycnanthemum muticum	Clustered Mountainmint	#1 cont.		18" o.c.		full specimen, healthy, vigorous, well-rooted and established		
RtG	67	Rudbeckia fulgida sullivantii 'Goldsturm'	Black-eyed Susan	#1 cont.	yellow	18" o.c.		full specimen, healthy, vigorous, well-rooted and established		
SrF	60	Solidago rugosa 'Fireworks'	Wrinkleleaf Goldenrod	#1 cont.	yellow	14" o.c.		full specimen, healthy, vigorous, well-rooted and established		

** FOLLOW APPLICABLE PRUNING GUIDELINES TO ACHIEVE BRANCHING HEIGHT CLEARANCE OF 7'-0" PER CITY STANDARDS

PLANT SCHEDULE UPPER FLOOR

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	SIZE	SPACING	REMARKS
BsD	9	Buxus sempervirens 'Dee Runk'	Dee Runk Boxwood	36 - 48"	15"-18"	#3 cont.	2' o.c.	healthy, vigorous, well-rooted & established
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	COLOR	SPACING	REMARKS	
Asm	148	Allium sphaerocephalum	Drumstick Allium		Bulb	18" o.c.		
Cst	148	Carex stricta	Tussock Sedge	#1 cont.		18" o.c.	full specimen, healthy, vigorous, well-rooted and established	
NW	121	Nepeta x faassenii 'Walkers Low'	Walkers Low Catmint	#1 cont.	blue	16" o.c.	full specimen, healthy, vigorous, well-rooted and established	

1 PLANT LIST
L6.01 Scale: NTS



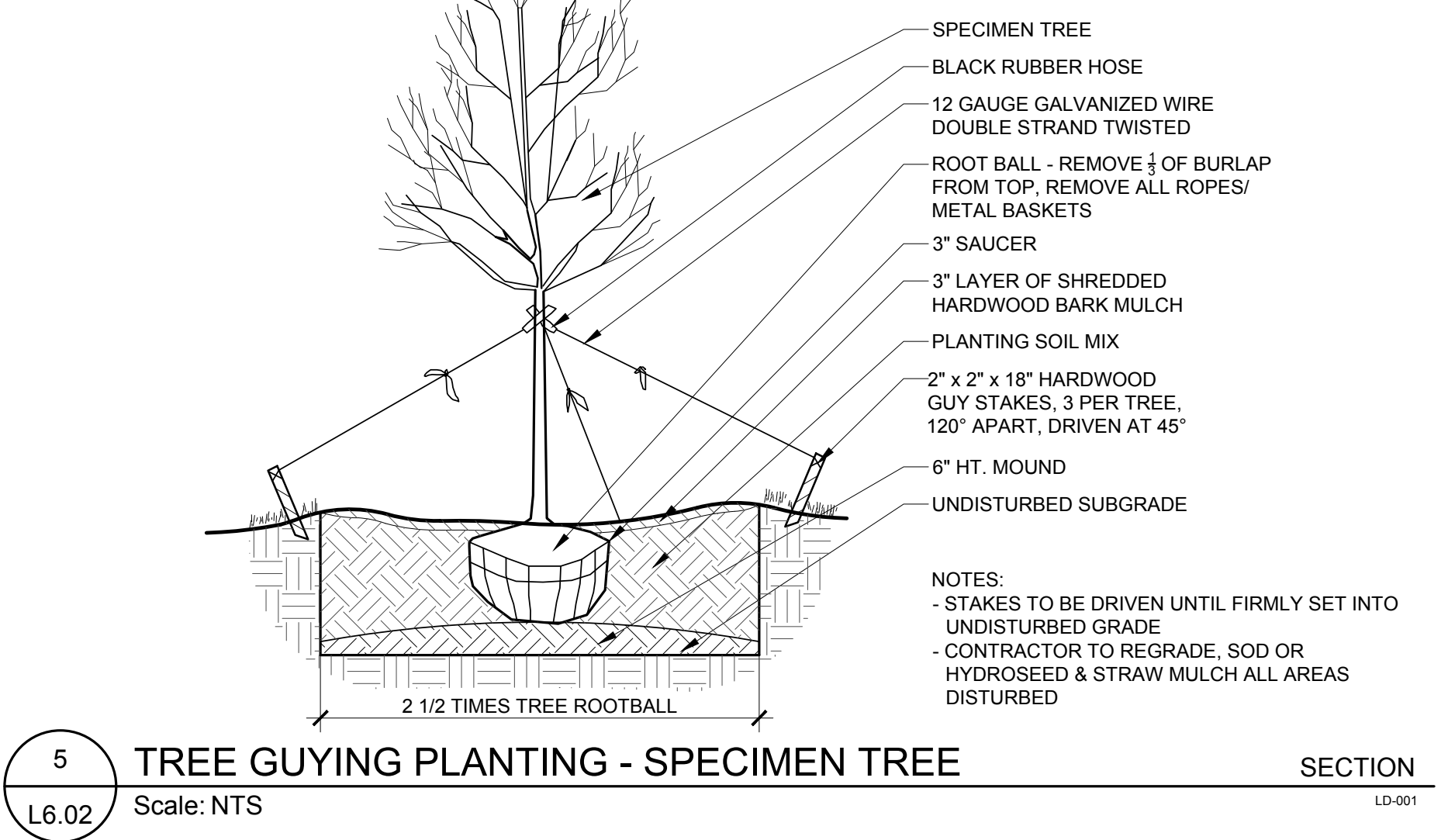
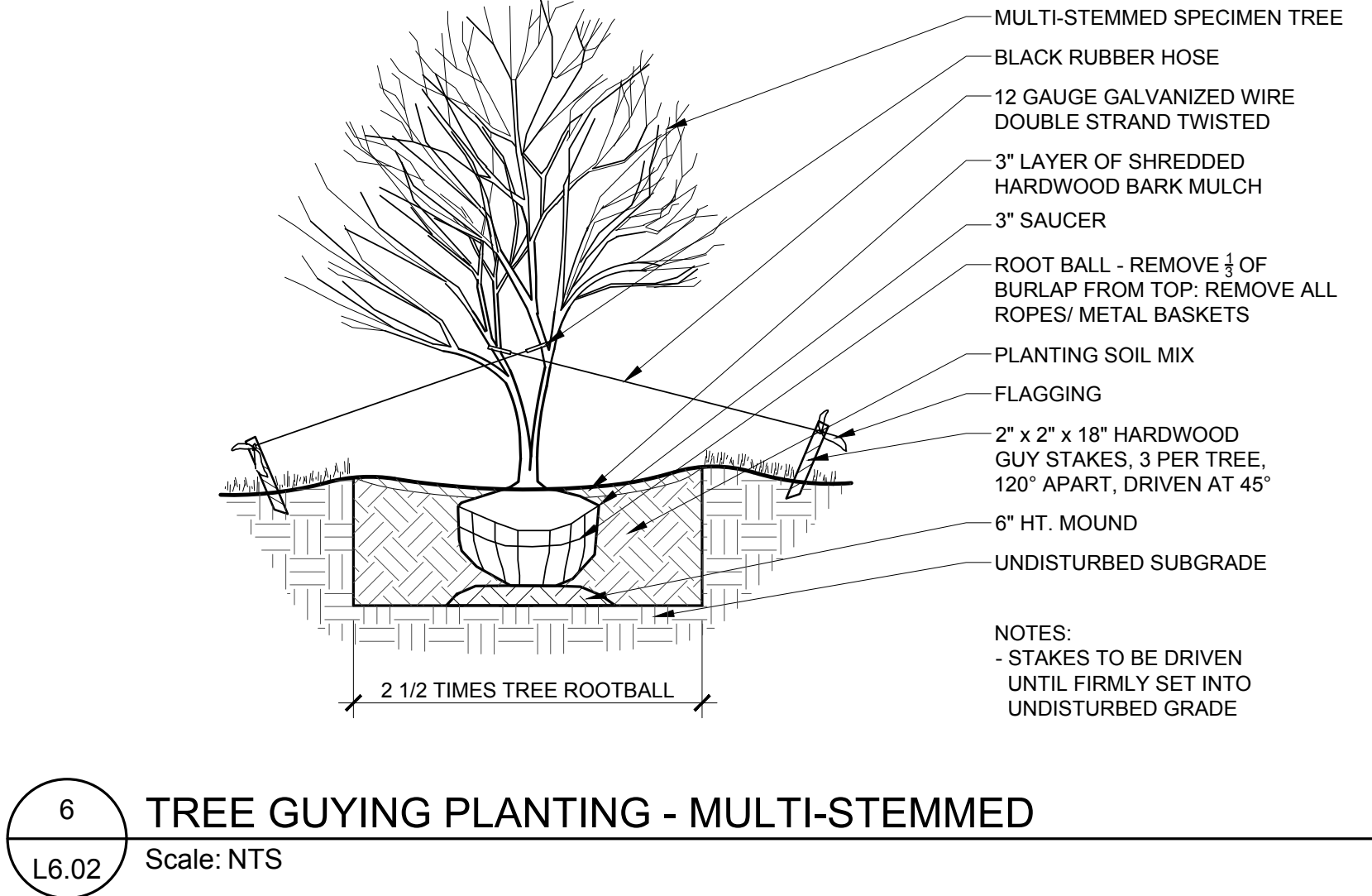
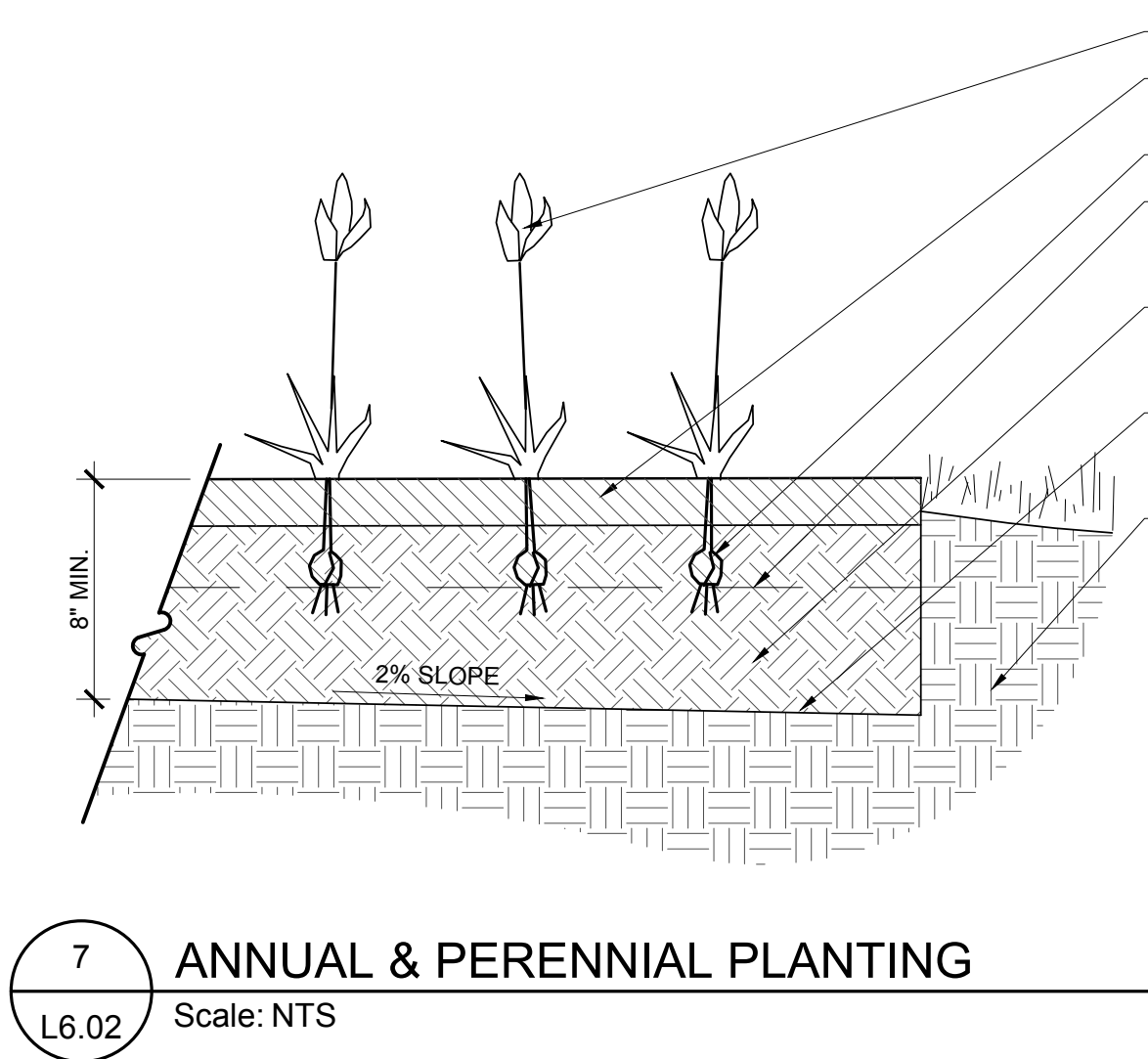
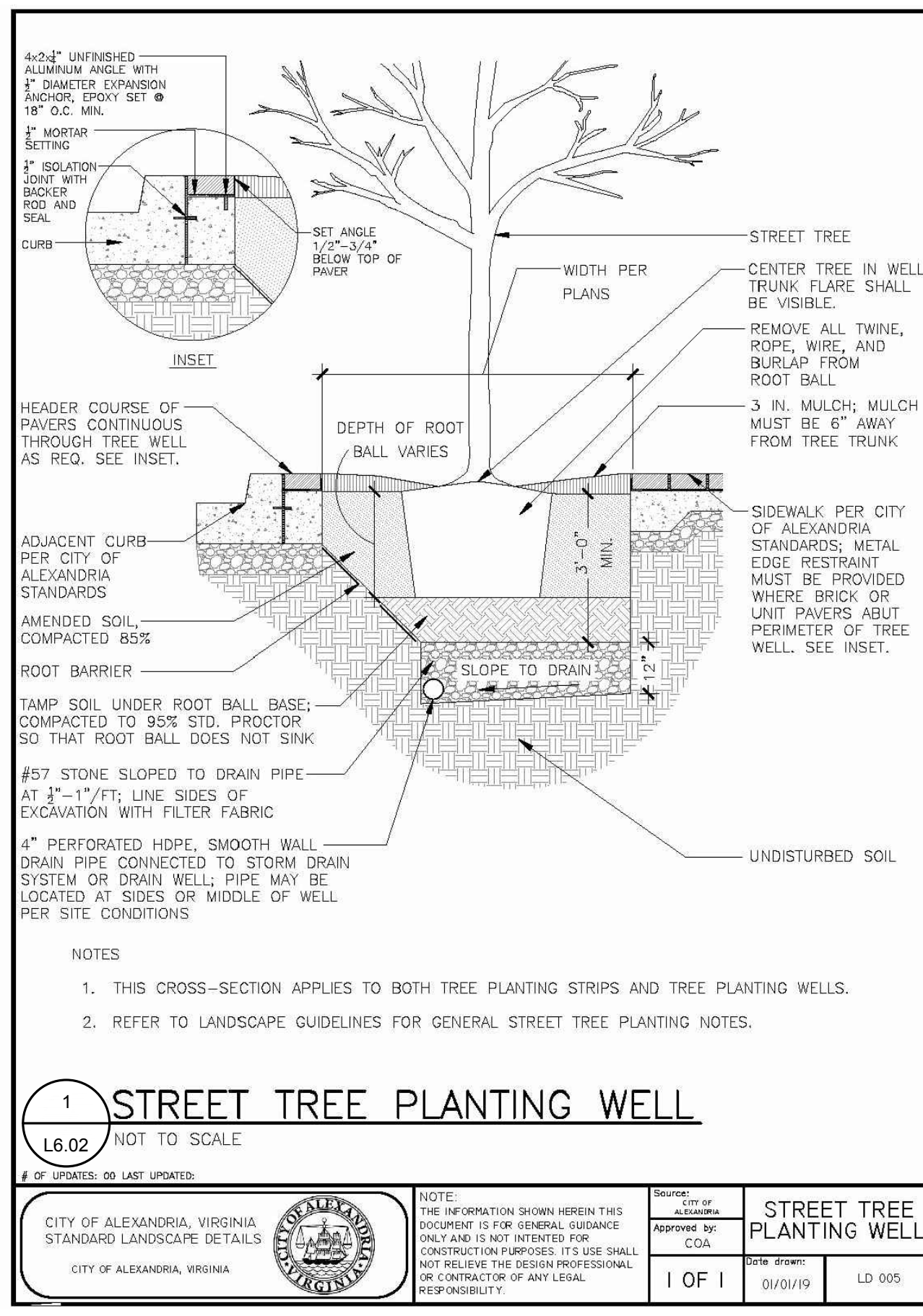
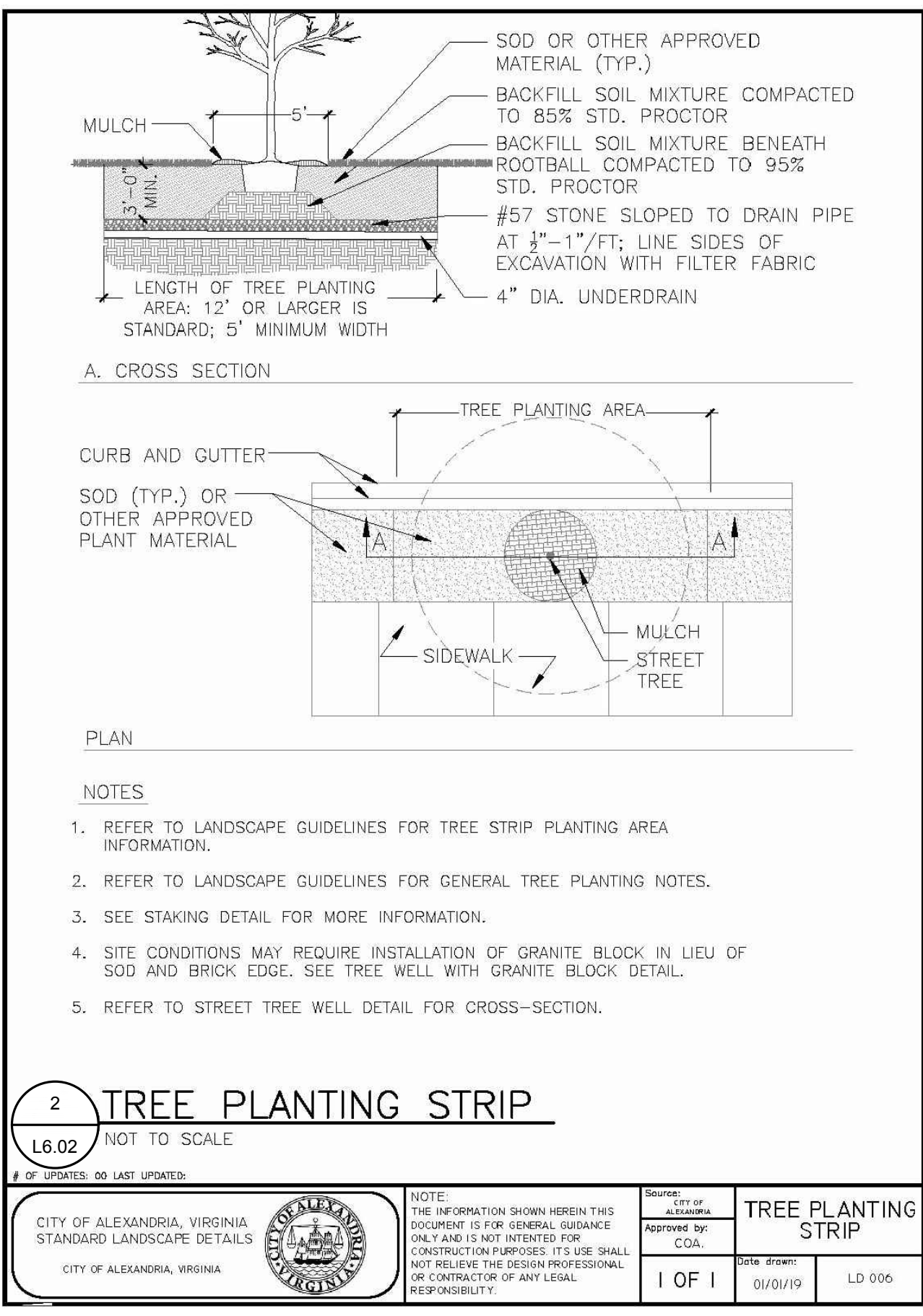
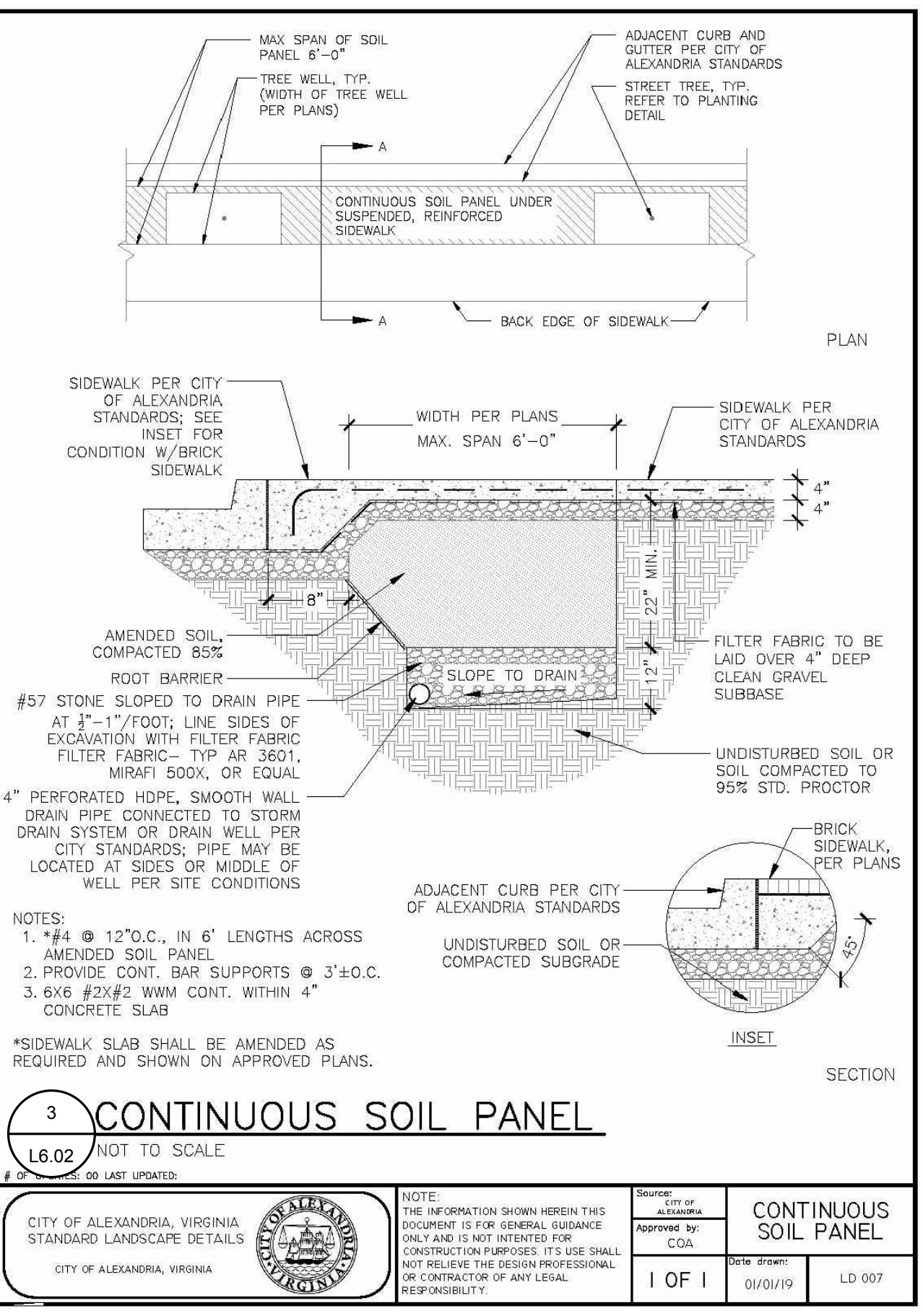
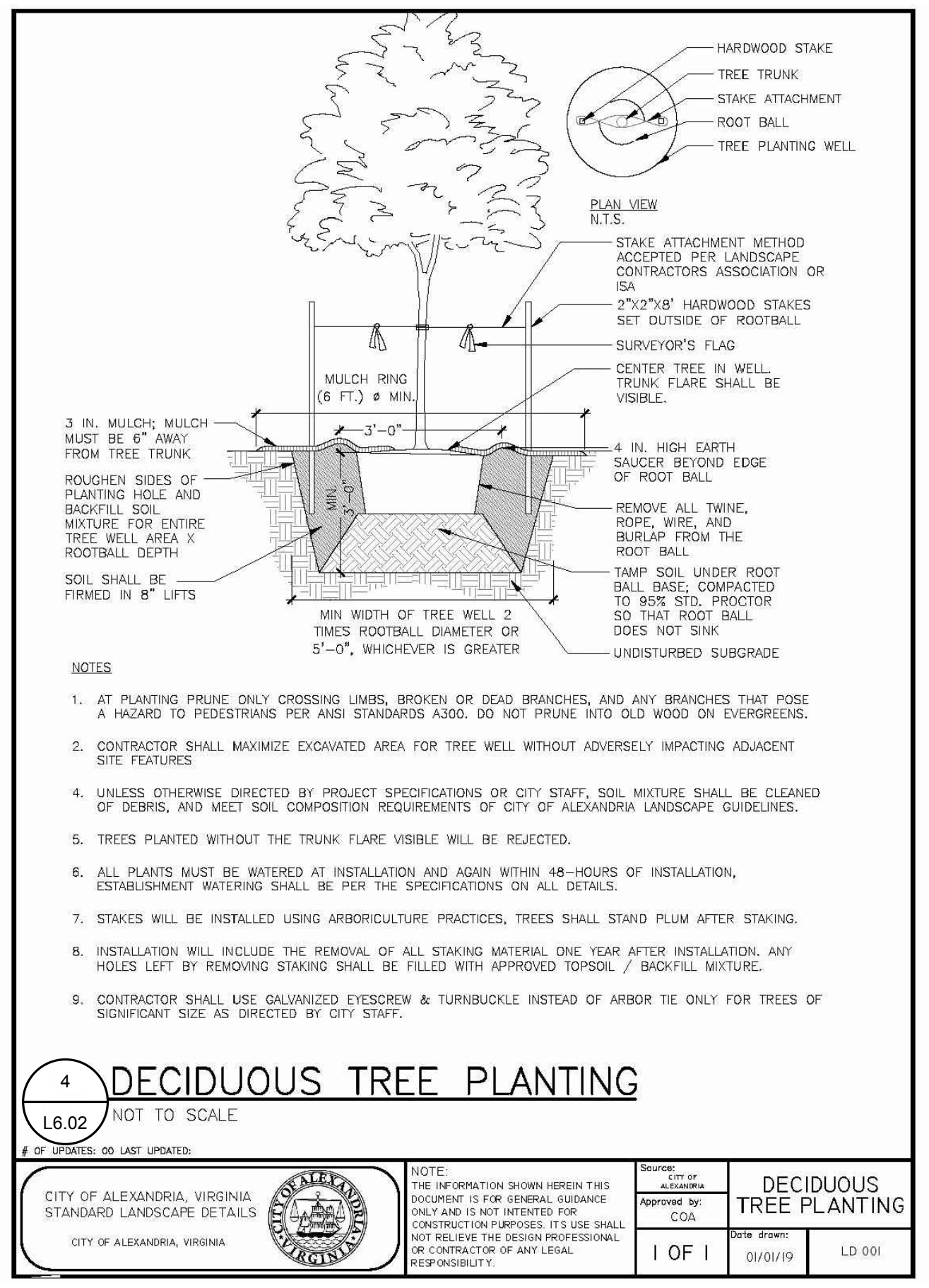
EXISTING SAVED TREES				PREVIOUSLY PLANTED TREES			
#	DBH	TYPE	COVERAGE*	#	CAL.	SPECIES	CCA
52	21"	BROAD LEAF	1,385	1001	3"	Quercus alba	1,250
53	15"	BROAD LEAF	707	1002	3"	Acer rubrum	1,250
54	10"	BROAD LEAF	314	1003	3"	Liquidambar styraciflua 'Rotundiloba'	1,250
55	18"	BROAD LEAF	1,017	1004	3"	Acer rubrum	1,250
56	8"	BROAD LEAF	201	1005	3"	Tilia cordata 'Greenspire'	1,250
57	8"	BROAD LEAF	201	1006	3"	Liquidambar styraciflua 'Rotundiloba'	1,250
58	16"	BROAD LEAF	804	1007	3"	Tilia cordata 'Greenspire'	1,250
59	10"	BROAD LEAF	314	1008	3"	Acer rubrum	1,250
60	12"	BROAD LEAF	452	1009	3"	Quercus alba	1,250
61	8"	BROAD LEAF	201	1010	3"	Liquidambar styraciflua 'Rotundiloba'	1,250
62	10"	BROAD LEAF	314	SUBTOTAL			12,500
63	12"	BROAD LEAF	452				
64	15"	BROAD LEAF	707				
65	18"	BROAD LEAF	1,017				
66	5"	BROAD LEAF	79				
67	8"	BROAD LEAF	201				
68	8"	BROAD LEAF	201				
69	8"	BROAD LEAF	201				
70	11"	BROAD LEAF	380				
71	10"	BROAD LEAF	314				
139	8"	CEDAR	201				
SUBTOTAL			9,662				

*COVERAGE HAS BEEN ESTIMATED BY CALCULATING AREA USING π * DBH²

LOT 1001 COVERAGE CALCULATIONS			
SITE AREA*	106,391 SF		
REQUIRED CROWN COVERAGE (25%)	26,598 SF	PERCENT	AREA
EXISTING SAVED TREES COVERAGE	9,662 SF	PROPOSED COVERAGE FROM TREES	98.89% 24,500 SF
PREVIOUSLY PLANTED TREES COVERAGE	12,500 SF	PROPOSED COVERAGE FROM SHRUBS	1.11% 274 SF
MINIMUM REQUIRED PROPOSED COVERAGE	4,436 SF	PROPOSED COVERAGE	100.00% 24,774 SF

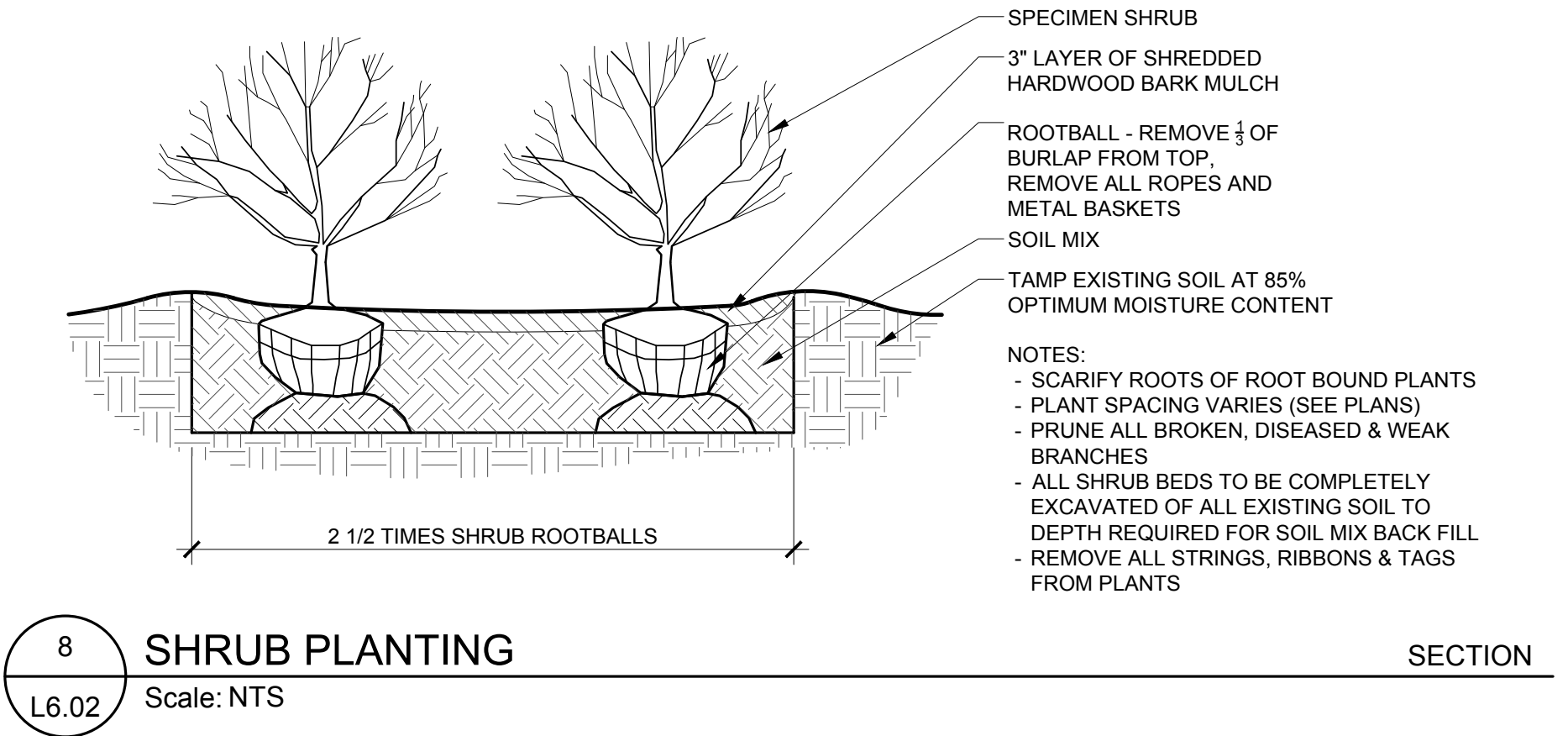
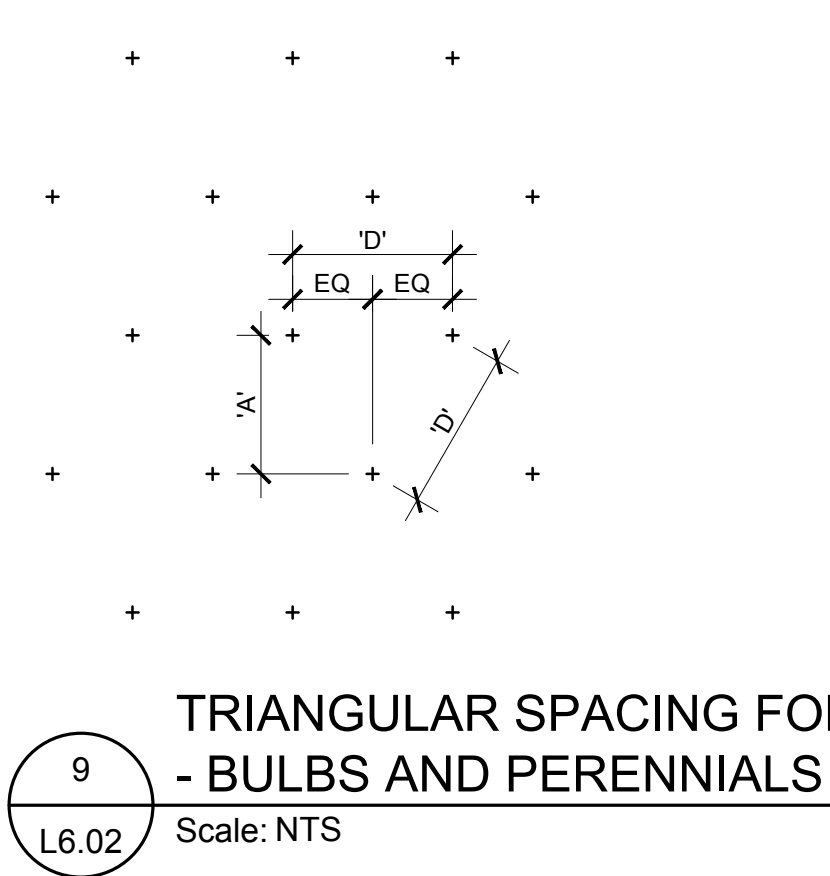
*SITE AREA IS EQUAL TO TOTAL AREA OF LOT 1001

APPROVED SPECIAL USE PERMIT NO.	2018-0027
DEPARTMENT OF PLANNING & ZONING	
AEF for K. Moritz	1/11/2022
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No. <u> </u>	
<u> </u>	01/12/2022
DIRECTOR	DATE
<u> </u> 1/11/2022	
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED <u> </u>	
INSTRUMENT NO. <u> </u>	DEED BOOK NO. <u> </u> PAGE NO. <u> </u>



PLANT SPACING CHART
AS SPECIFIED ON PLANT LIST

SPACING 'D'	ROW 'A'	NUMBER OF PLANTS PER SQUARE FOOT
6" o.c.	5 1/4" o.c.	4.62
8" o.c.	6 7/8" o.c.	2.60
10" o.c.	8 5/8" o.c.	1.66
12" o.c.	10 3/8" o.c.	1.15
15" o.c.	13" o.c.	0.74
18" o.c.	15 5/8" o.c.	0.51
24" o.c.	20 3/4" o.c.	0.29
30" o.c.	26" o.c.	0.18
36" o.c.	31 1/8" o.c.	0.13
42" o.c.	36 3/8" o.c.	0.09
48" o.c.	41 5/8" o.c.	0.07



PLANTING NOTES

1. THIS PLAN FOR PLANTING LOCATIONS ONLY.
2. Contractor shall be solely responsible for all plant maintenance including shrubs and groundcover, and shall maintain area in a weed and debris free condition throughout the one-year guarantee period, unless otherwise specified.
3. ALL DIMENSIONS to be taken from back of curb.
4. Contractor shall layout and clearly stake all proposed improvements included on this plan.
5. Contractor is responsible for contacting UTILITY company prior to beginning construction for location of all UTILITY lines. Trees shall be located a minimum of 5' from sewer/water connections. Contractor shall be liable for damage to any and all public or private utilities.
6. Contractor to verify plant list totals with quantities shown on plan. Landscape Architect shall be alerted by Contractor of any discrepancies prior to final bid negotiation. Unit prices for all material shall be supplied to the Owner at bidding time.
7. All materials shall be subject to approval by the Landscape Architect. Owner shall receive tag from each plant species and a list of plant suppliers, where any requirements are omitted from the Plant List, the plants furnished shall meet the normal requirements for the variety per the American Standard for Nursery Stock, latest edition published by the American Association of Nurserymen (AAN). Plants shall be pruned prior to delivery only upon the approval of the Landscape Architect.
8. Where trees are planted in rows, they shall be uniform in size and shape.
9. Sizes specified in the plant list are minimum sizes to which the plants are to be judged. Failure to meet minimum size on any plant will result in rejection of that plant.
10. All plants shall be freshly dug, sound, healthy, vigorous, well branched, free of disease, insect eggs, and larvae, and shall have adequate root systems.
11. All container grown material shall be healthy, vigorous, well-rooted plants and established in the container in which they are sold. The plants shall have tops which are good quality and are in a healthy, growing condition.
12. Groups of shrubs shall be placed in a continuous mulch bed with smooth continuous lines. All mulched bed edges shall be curvilinear in shape following the contour of the plant mass. Trees located within four feet of shrub beds shall share same mulch bed.
13. No existing trees shall be removed without written authorization from the Owner except where noted on plans. No grubbing shall occur within existing tree areas.
14. Trees shall be located a minimum of 3' - 4' from walls and walks within the project. If conflicts arise between actual size of area and plans, Contractor shall contact Landscape Architect for resolution. Failure to make such conflicts known to the Owner or Landscape Architect will result in Contractor's liability to relocate materials.
15. Large growing plants are not to be planted in front of windows, under building overhangs, or in drainage swales. Shrubs planted near HVAC units to be located so that shrubs at maturity will maintain 1' airspace between unit and plant.
16. Contractor to slightly adjust plant locations in the field as necessary to be clear of drainage swales and utilities. Finished planting beds shall be graded so as to not impede drainage away from buildings.
17. Tree staking and guying shall be done per details. Contractor shall ensure that trees remain vertical and upright for the duration of the guarantee period.
18. All tree pits, shrub beds and prepared planting beds are to be completely excavated in accordance with the planting details.
19. Mulch is to be fine bark type for trees and shrubs. Fine bark mulch is to be used for perennial beds and within the existing trees to remain. Contractor to submit sample for approval prior to installation.
20. Crown of root ball shall be higher (after settling) than adjacent soil.
21. Tags and labels are to be removed and burlap is to be rolled back one-third on all B&B plant material. Remove burlap if it is non-biodegradable. For street trees tags, twine, cord, burlap and wire basket to be cut 12" down side of rootball and removed from project site.
22. Shrubs, bulbs and groundcovers shall be triangularly spaced at spacing shown on planting plans.
23. Shade Trees: Height shall be measured from the crown of the root ball to the top of mature growth. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Measurements are not to include any terminal growth. Single trunk trees shall be free of "Y" crooks that could be points of weak tree structure or disease infestation. Shrubs: Height shall be measured from the ground to the average height of the top of the plant. Spread shall be measured to the end of branching equally around the shrub mass. Measurements are not to include any terminal growth.
24. Contractor shall inspect all bulbs and bring any damaged material to the attention of the Owner prior to planting.
25. All seasonal color shall be triangularly spaced at spacing shown on planting plans. One year (four rotations) of seasonal color is to be bid. Install the first rotation which is "in season" at time that adjacent plantings are installed.
26. All substitutions of plant material are to be requested in writing to the Landscape Architect and approved by the Owner. If Contractor fails to submit a written request, it will result in liability to the Contractor.
27. All Contractors shall be required to completely remove all trash, debris and excess materials from the work area and the property (especially at all curb, gutters and sidewalks) daily during installation.
28. Dead plants are to be removed from the job by the contractor weekly. Contractor shall maintain an updated, comprehensive list of all dead materials removed from the job site. A copy of the list is to be submitted to the owner at the end of every month during the contract period.
29. Topsoil required for soil mixes and special seeding areas shall be provided by Landscape Contractor. Contractor must load, haul, mix, and spread all topsoil and other soil additives as required.
30. The intent of the project is to have natural drifts of bulbs/perennials in planting. Keep sweeps of similar bulbs/perennials similar bulbs in separate groups.
31. Contractor shall be responsible to regrade, hydro-seed, straw mulch, and tack all lawn areas disturbed as the result of his work.
32. All existing soil to be removed from perennial beds to a depth of 12" and replaced with soil mix per detail.
33. Contractor shall guarantee all landscape improvements, including seeding, for one full year as required by the Specifications. Contractor must consult the Owner at least ten working days in advance to schedule acceptance inspection(s). Contractor must replace all dead or unacceptable plants during the following recommended planting season.
34. The Specifications for all work included in this contract shall be Landscape Specifications Guidelines for Baltimore-Washington Metropolitan Area, current edition, unless otherwise noted on these plans.
35. All planting shall conform to the requirements of City of Alexandria, VA.
36. Any planting which is shown adjacent to condenser units shall be planted as required to screen the units. Should the condenser units be installed in locations different from those shown on the plan it will be the Contractor's responsibility to install the materials around the condensers and to adjust other adjacent planting accordingly.
37. Specification for all plantings shall be in accordance with the current and most up to date edition of ANSI-Z601, The American Standard for Nursery Stock as produced by the American Association of Nurserymen, Washington, D.C.
38. Maintenance of all trees and landscape materials shall conform to accepted industry standards set forth by the Landscape Contractors Association, American Society of Landscape Architects, the International Society of Arboriculture, and the American National Standards Institute.

PLANTING MIX NOTES

1. The recommended planting medium should contain good top soil that will sustain plant growth.
2. The top soil shall not be lacking in potassium, phosphorus, magnesium or calcium. The top soil shall not contain any materials toxic to plant growth.
3. The top soil shall be a sandy clay loam or a silty clay loam with well aggregated clays and a minimum of 4% (four percent) organic matter.
4. The soils pH range should be within 5.5 to 6.5 and adjusted as necessary for individual plant species requirements.
5. A soil test shall be performed by a full-service testing company and the results shall be provided to the Landscape Architect prior to installation of planting medium.
6. If a local, reputable testing company cannot be employed, A4L Labs is available to conduct the testing. Contact them at: A4L Analytical Laboratories, Inc. 2790 Whitten Road Memphis, TN 38133 1-800-264-4522
7. The lab shall perform an 81A test and submit the results to Studio 39 Landscape Architecture, P.C.

A) STANDARD LANDSCAPE PLAN NOTES FOR ALL PLANS REQUIRING APPROVAL:

- THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL PROJECTS THAT REQUIRE APPROVAL BY THE CITY AS OUTLINED IN CHAPTER 3 OF THE CITY'S 2019 LANDSCAPE GUIDELINES.
- 1)THE PROPERTY OWNER AND/OR APPLICANT, SPECIFIER, CONTRACTOR AND INSTALLER OF PLANT MATERIAL ARE RESPONSIBLE FOR UNDERSTANDING AND ADHERING TO THE STANDARDS SET FORTH IN THE MOST RECENT VERSION OF THE CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND APPLICABLE CONDITIONS OF APPROVAL. ALL QUESTIONS REGARDING APPLICATION OF, OR ADHERENCE TO, THE STANDARDS AND/OR CONDITIONS OF APPROVAL SHALL BE DIRECTED TO THE CITY PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBING ACTIVITY.
 - 2)THE CITY-APPROVED LANDSCAPE PLAN SUBMISSION, INCLUDING PLANT SCHEDULE, NOTES AND DETAILS SHALL BE THE DOCUMENT USED FOR INSTALLATION PURPOSES AND ALL PROCEDURES SET FORTH IN THE LANDSCAPE GUIDELINES MUST BE FOLLOWED.
 - 3)THE CONTRACTOR SHALL NOT INTERFERE WITH ANY TREE PROTECTION MEASURES OR IMPACT ANY EXISTING VEGETATION IDENTIFIED TO BE PRESERVED PER THE APPROVED TREE AND VEGETATION PROTECTION PLAN.
 - 4)ANY CHANGES, ALTERATIONS OR MODIFICATIONS TO THE SITE CONDITIONS THAT AFFECT VEGETATION PROTECTION ZONES WILL REQUIRE AN AMENDMENT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND/OR DETAILS.
 - 5)INSTALLATION OF PLANT MATERIAL MAY ONLY OCCUR DURING THE PLANTING SEASONS IDENTIFIED IN THE LANDSCAPE GUIDELINES.
 - 6)IN LIEU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA, GAITHERSBURG, MARYLAND.
 - 7)SUBSTITUTIONS TO THE APPROVED PLANT MATERIAL SHALL NOT OCCUR UNTIL WRITTEN APPROVAL IS PROVIDED BY THE CITY.
 - 8)MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED BY THE OWNER, APPLICANT, SUCCESSOR(S) AND/OR ASSON(S) IN PERPETUITY AND IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND AS CONDITIONED BY PROJECT APPROVAL, AS APPLICABLE.

B) STANDARD LANDSCAPE PLAN NOTES FOR DEVELOPMENT SITE PLANS:

- IN ADDITION TO THE NOTES PROVIDED ABOVE, THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL DSP/DSUP PROJECTS:
- 1)THE APPROVED METHOD(S) OF PROTECTION MUST BE IN PLACE FOR ALL VEGETATION TO BE PRESERVED ON-SITE AND ADJACENT TO THE PROJECT SITE PURSUANT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND DETAILS PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBANCE. THE APPLICANT SHALL NOTIFY THE PLANNING & ZONING (P&Z) PROJECT MANAGER ONCE THE TREE PROTECTION METHODS ARE IN PLACE. NO DEMOLITION, CONSTRUCTION, OR LAND DISTURBANCE MAY OCCUR UNTIL AN INSPECTION IS PERFORMED BY THE CITY AND WRITTEN CONFIRMATION IS PROVIDED BY THE CITY WHICH VERIFIES CORRECT INSTALLATION OF THE TREE PROTECTION MEASURES.
 - 2)THE APPLICANT MUST CONTACT THE P&Z PROJECT MANAGER PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATION TO SCHEDULE A PRE-INSTALLATION MEETING. THE MEETING SHOULD BE HELD BETWEEN THE APPLICANT'S GENERAL CONTRACTOR, LANDSCAPE CONTRACTOR, LANDSCAPE ARCHITECT, THE P&Z PROJECT MANAGER AND THE CITY ARBORIST (AS APPLICABLE) TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES DURING AND AFTER INSTALLATION.
 - 3)THE FOLLOWING INFORMATION SHALL BE PROVIDED TO THE P&Z PROJECT MANAGER AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE LANDSCAPE PRE-INSTALLATION MEETING: 1) A LETTER THAT CERTIFIES THAT THE PROJECT LANDSCAPE ARCHITECT PERFORMED PRE-SELECTION TAGGING FOR ALL TREES PROPOSED WITHIN THE PUBLIC RIGHT OF WAY AND ON PUBLIC LAND PRIOR TO INSTALLATION. THIS LETTER MUST BE SIGNED AND SEALED BY THE PROJECT LANDSCAPE ARCHITECT, AND 2) A COPY OF THE SOIL BULK DENSITY TEST REPORT VERIFYING THAT MAXIMUM COMPRESSION RATES ARE MET.
 - 4)AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION/WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES, THE CITY CODE OF ORDINANCES, AND ALL APPLICABLE PLAN PREPARATION CHECKLISTS. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.

A STANDARD LANDSCAPE PLAN NOTES
NOT TO SCALE

OF UPDATES: 00 LAST UPDATE:

CITY OF ALEXANDRIA, VIRGINIA
STANDARD LANDSCAPE DETAILS
CITY OF ALEXANDRIA, VIRGINIA



NOTE:
THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES. ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.

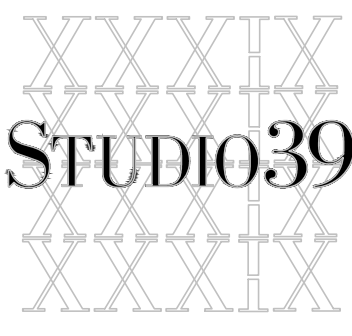
Source:
City of
Alexandria
Approved by:
COA

STANDARD
LANDSCAPE
PLAN NOTES

Date drawn:
01/01/19 LD 016

STREET TREE PRUNING NOTES:

- a. Street trees that overhang pedestrian pathways shall be pruned to a branching clearance height of seven (7) vertical feet from adjacent finished grade at the time of planting.
- b. Street trees that overhang roadways should be limbed up twelve (12) to fourteen (14) feet above the adjacent finished grade of the roadway.
- c. Clearances shall be achieved by judicious pruning and not necessarily removing all limbs along the trunk or main stem of the tree to the recommended height.
- d. Pruning activity shall occur according to ANSI standards

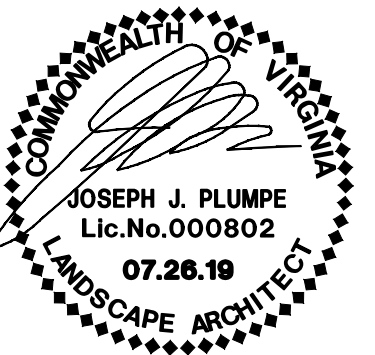


Landscape Architecture, P.C.

6416 Crowded Drive, Suite 100-A
Alexandria, Virginia 22310
Tel: 703.719.6500 Fax: 703.719.6503
Email: frontdesk@studio39.com

RUSHMARK EISENHOWER
SOUTH TOWER
CITY OF ALEXANDRIA, VA
RUSHMARK EISENHOWER SOUTH TOWER

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE THE PROPERTY OF STUDIO 39 LANDSCAPE ARCHITECTURE, P.C. AND ARE NOT TO BE COPIED, REPRODUCED, OR USED IN ANY MANNER FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF STUDIO 39 LANDSCAPE ARCHITECTURE, P.C.



REVISIONS:

LANDSCAPE
DETAILS 03

DESIGN: CO/PT
DRAWN: PT
CHECKED: DD

SCALE: Viewport Scale

0 0 0 0

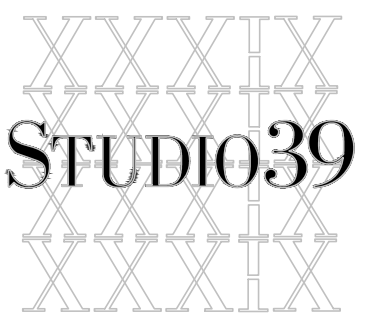
PROJECT NO: 15046

DATE: 07.26.19

L6.03

FINAL SITE PLAN

APPROVED SPECIAL USE PERMIT NO.	2018-0027
DEPARTMENT OF PLANNING & ZONING	
AEF for K. Moritz	1/11/2022
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No.	
<i>John V.</i>	01/12/2022
DIRECTOR	DATE
<i>John V.</i>	1/11/2022
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO. PAGE NO.

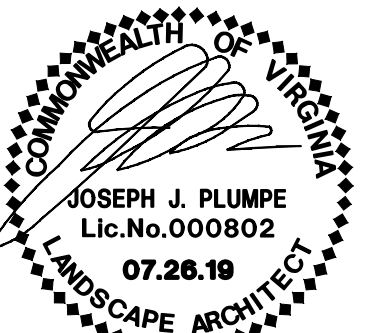


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Alexandria, Virginia 22310
Tel: 703.719.6500 Fax: 703.719.6503
Email: frontdesk@studio39.com

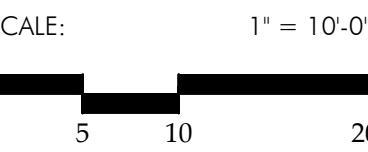
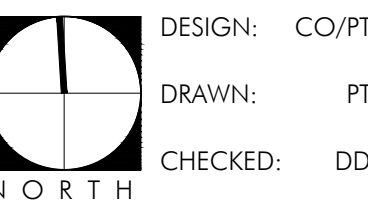
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REVISIONS:

LIGHTING PLAN
LEVEL 01 - NORTH

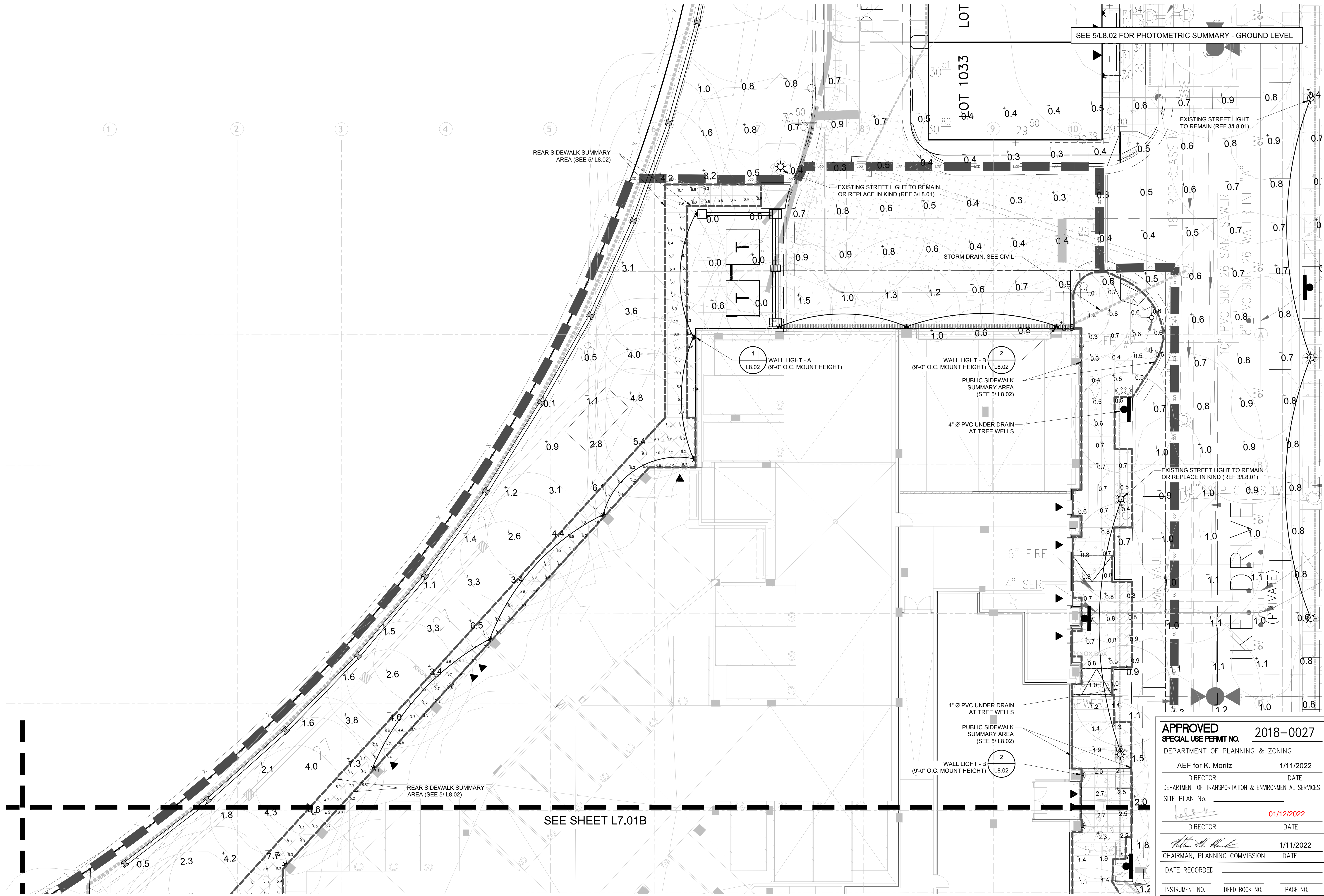


PROJECT NO: 15046
DATE: 07.26.19

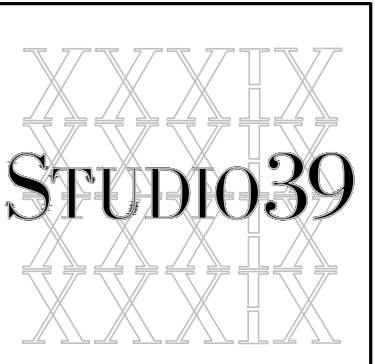
L7.01A

FINAL SITE PLAN

FINAL SUBMISSION



APPROVED		2018-0027	
SPECIAL USE PERMIT NO.			
DEPARTMENT OF PLANNING & ZONING			
AEF for K. Moritz		1/11/2022	
DIRECTOR	DATE		
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES			
SITE PLAN No.		01/12/2022	
DIRECTOR	DATE		
CHAIRMAN, PLANNING COMMISSION		1/11/2022	
DATE RECORDED		DATE	
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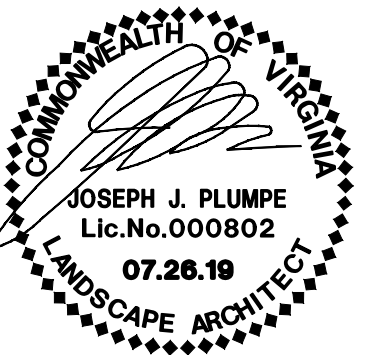


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Alexandria, Virginia 22310
Tel: 703.719.6500 Fax: 703.719.6503
Email: frontdesk@studio39.com

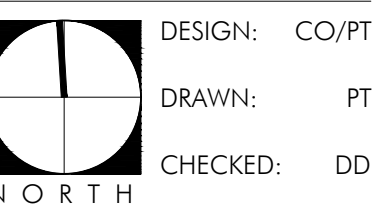
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REVISIONS:

LIGHTING PLAN
LEVEL 01 - SOUTH

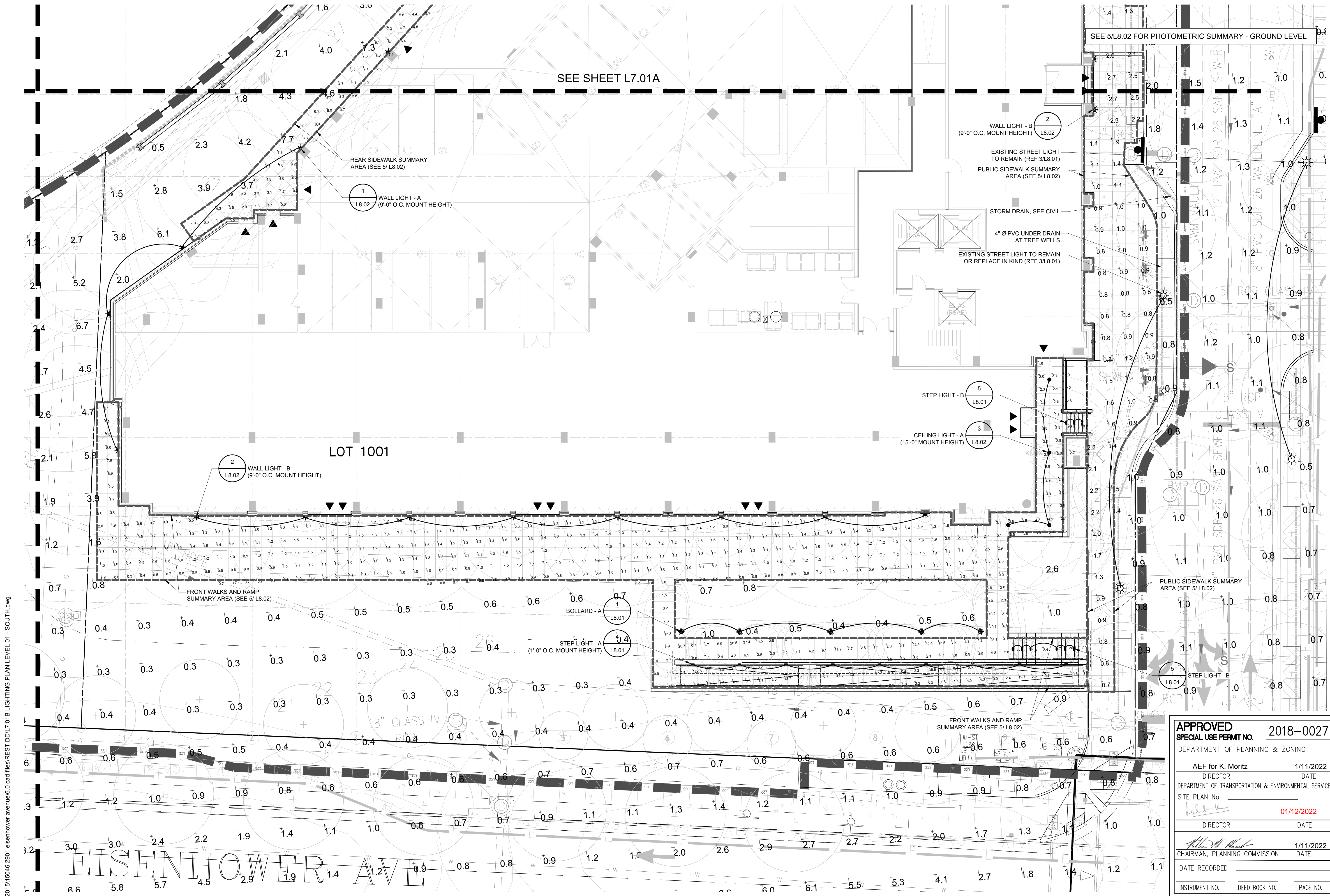


DESIGN: CO/PT
DRAWN: PT
CHECKED: DD
SCALE: 1" = 10'-0"
PROJECT NO: 15046
DATE: 07.26.19

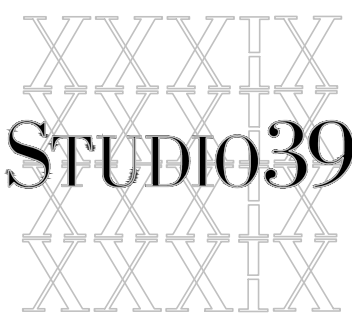
L7.01B

FINAL SITE PLAN

FINAL SUBMISSION



APPROVED		2018-0027	
SPECIAL USE PERMIT NO.			
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CHAIRMAN, PLANNING COMMISSION		1/11/2022	
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		PAGE NO.	

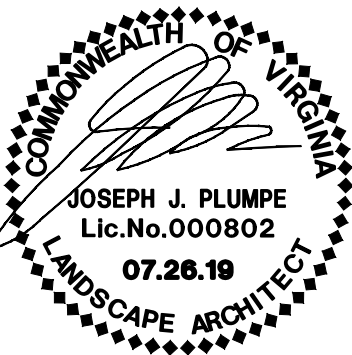


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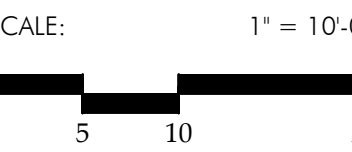
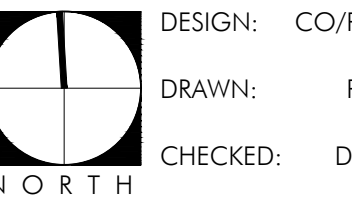
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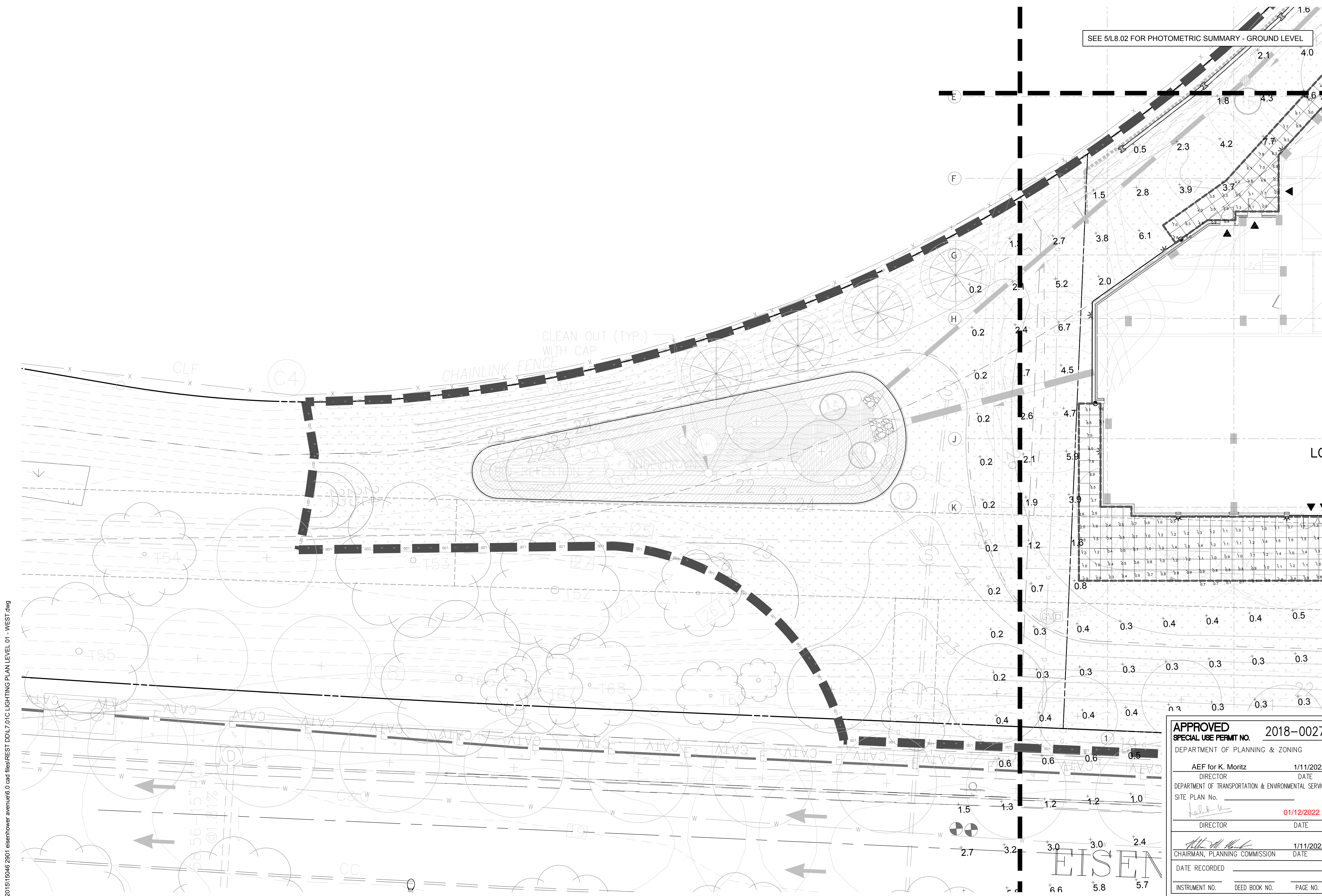
LIGHTING PLAN
LEVEL 01 - WEST



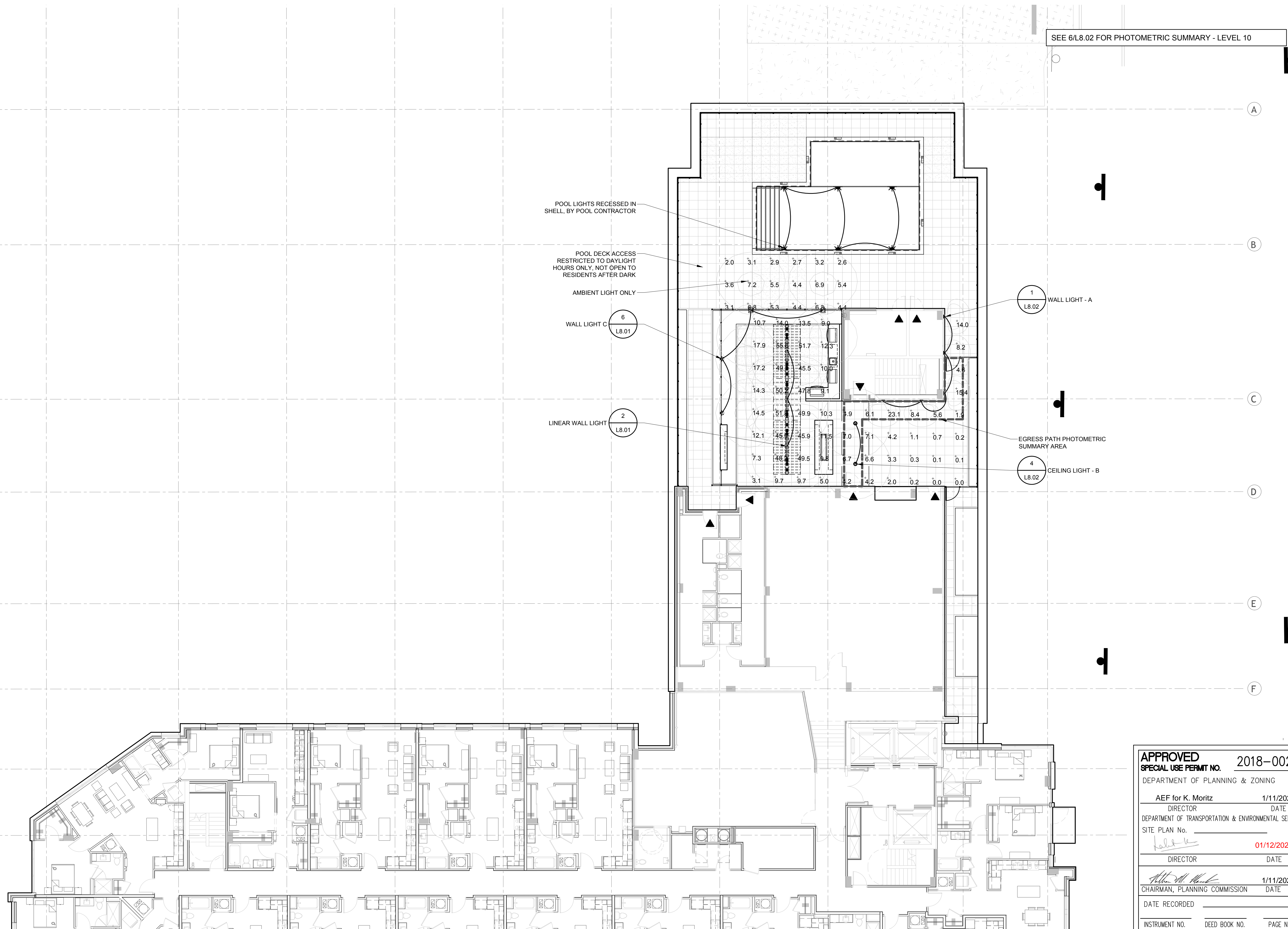
PROJECT NO: 15046
DATE: 07.26.19

L7.01C

FINAL SITE PLAN



p:\2015\15046 2001 eisenhower avenue\6.0 cad files\REST DDL7.10 LIGHTING PLAN LEVEL 10.dwg



APPROVED		2018-0027
SPECIAL USE PERMIT NO.		
DEPARTMENT OF PLANNING & ZONING		
AEF for K. Moritz		1/11/2022
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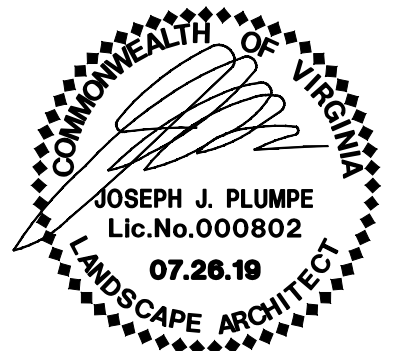


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REVISIONS:

LIGHTING PLAN
LEVEL 10

	DESIGN: CO/PT
	DRAWN: PT
	CHECKED: DD

SCALE: 1" = 10'-0"

PROJECT NO: 15046
DATE: 07.26.19

L7.10

FINAL SITE PLAN

FINAL SUBMISSION

Housing: Constructed of die-cast and aluminum with integral wiring compartment. Mounting tabs provided. Die castings are marine grade, copper free (c 0.3% copper content) A380.0 aluminum alloy.

Enclosure: One piece die-cast aluminum faceplate. Clear tempered glass, 1/2" thick, machined flush to faceplate surface. Faceplate is secured by two (2) flush, socket head, stainless steel captive screws threaded into stainless steel inserts in the housing casting. Continuous high temperature, molded silicone rubber gasket for weather tight operation.

Electrical: 11.2W LED luminaire, 14.5 total system watts, -30°C start temperature. Integral 120V/277V electronic LED driver, 0-10V dimming. The LED and driver are mounted on a removable plate for easy replacement. Standard LED color temperature is 3000K (available in 4000K, add suffix K4). 3500K color temperature available, consult factory.

Note: Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Options: Optionally available with amber LEDs, dimming not available with this option.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK), White (WHT), Bronze (BRZ), Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

UL listed for US and Canadian Standards, suitable for wet locations and for installation within 3 feet of ground. IC rated. Protection class: IP65.

Luminaire Lumens: 242
Tested in accordance with LM-79-08



Luminaire Lumens: 242
Tested in accordance with LM-79-08

3394 LED 11.2W LED 12% 2% 2%

BEGA-US 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 566-9474 www.bega-us.com
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4 STEP LIGHT - A
Scale: NTS

PROD. INFO.



Type:
BEGA Product: 2384LEDK4
Project: 2901 EISENHOWER
Voltage: 120
Color: BRZ
Options:
Modified:
***OR APPROVED EQUAL

Housing: Constructed of die-cast aluminum with integral wiring compartment. Mounting tabs provided. Die castings are marine grade, copper free (c 0.3% copper content) A380.0 aluminum alloy.

Enclosure: One piece die-cast aluminum faceplate. Clear tempered glass, 1/2" thick, machined flush to faceplate surface. Faceplate is secured by two (2) flush, socket head, stainless steel captive screws threaded into stainless steel inserts in the housing casting. Continuous high temperature, molded silicone rubber gasket for weather tight operation.


Electrical: 6.3W LED luminaire, 7.5 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. The LED and driver are mounted on a removable plate for easy replacement. Standard LED color temperature is 3000K (available in 4000K, add suffix K4).

Note: Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK), White (WHT), Bronze (BRZ), Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

UL listed for US and Canadian Standards, suitable for wet locations and for installation within 3 feet of ground. IC rated. Protection class: IP65.

Luminaire Lumens: 155
Tested in accordance with LM-79-08



Luminaire Lumens: 155
Tested in accordance with LM-79-08

2382 LED 5.8W LED 8% 2% 2%

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5 STEP LIGHT - B
Scale: NTS

PROD. INFO.



Type:
BEGA Product: 2382LEDK4
Project: 2901 EISENHOWER AVE.
Voltage: 120
Color: BRZ
Options:
Modified:
***OR APPROVED EQUAL

2 LINEAR WALL LIGHT
Scale: NTS

PROD. INFO.

HE	XP	T	D	EC
HE HE Tech™	XP 1" Regressed Gyp / Mud Over Flange	T a-Ianthium™	D Standard 0-10 dimming	EC Emergency - circled
DL 1" Drop Lens	RG 1" Regressed Gyp / Mud Over Flange	W Satin White	D1 HiLume Ecosystems 1% (ULC)	E Emergency - battery
LP Flat Blade Louvers	XP 1/2" Trim Flange	B Satin Black	D3 Other Dimming**	
	T T-Bar 9/16"	O Other**		
	X T-Bar 15/16"			
	N T-Bar 9/16 Slot			

HE	XP	T	D	EC
HE HE Tech™	XP 1" Regressed Gyp / Mud Over Flange	T a-Ianthium™	D Standard 0-10 dimming	EC Emergency - circled
DL 1" Drop Lens	RG 1" Regressed Gyp / Mud Over Flange	W Satin White	D1 HiLume Ecosystems 1% (ULC)	E Emergency - battery
LP Flat Blade Louvers	XP 1/2" Trim Flange	B Satin Black	D3 Other Dimming**	
	T T-Bar 9/16"	O Other**		
	X T-Bar 15/16"			
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HE	XP	T	D	EC
HE HE Tech™	XP 1" Regressed Gyp / Mud Over Flange	T a-Ianthium™	D Standard 0-10 dimming	EC Emergency - circled
DL 1" Drop Lens	RG 1" Regressed Gyp / Mud Over Flange	W Satin White	D1 HiLume Ecosystems 1% (ULC)	E Emergency - battery
LP Flat Blade Louvers	XP 1/2" Trim Flange	B Satin Black	D3 Other Dimming**	
	T T-Bar 9/16"	O Other**		
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DL 1" Drop Lens	RG 1" Regressed Gyp / Mud Over Flange	W Satin White	D1 HiLume Ecosystems 1% (ULC)	E Emergency - battery
LP Flat Blade Louvers	XP 1/2" Trim Flange	B Satin Black	D3 Other Dimming**	
	T T-Bar 9/16"	O Other**		
	X T-Bar 15/16"			
	N T-Bar 9/16 Slot			

ACL5 | SPECIFICATION GUIDE

HE	XP	T	D	EC
HE HE Tech™	XP 1" Regressed Gyp / Mud Over Flange	T a-Ianthium™	D Standard 0-10 dimming	EC Emergency - circled
DL 1" Drop Lens	RG 1" Regressed Gyp / Mud Over Flange	W Satin White	D1 HiLume Ecosystems 1% (ULC)	E Emergency - battery
LP Flat Blade Louvers	XP 1/2" Trim Flange	B Satin Black	D3 Other Dimming**	
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ACL5 | SPECIFICATION GUIDE

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ACL5 | SPECIFICATION GUIDE

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HE	XP	T	D	EC
HE HE Tech™	XP 1" Regressed Gyp / Mud Over Flange	T a-Ianthium™	D Standard 0-10 dimming	EC Emergency - circled
DL 1" Drop Lens	RG 1" Regressed Gyp / Mud Over Flange	W Satin White	D1 HiLume Ecosystems 1% (ULC)	E Emergency - battery
LP Flat Blade Louvers	XP 1/2" Trim Flange	B Satin Black	D3 Other Dimming**	
	T T-Bar 9/16"	O Other**		
	X T-Bar 15/16"			
	N T-Bar 9/16 Slot			

ACL5 | SPECIFICATION GUIDE

HE	XP	T	D	EC
HE HE Tech™	XP 1" Regressed Gyp / Mud Over Flange	T a-Ianthium™	D Standard 0-10 dimming	EC Emergency - circled
DL 1" Drop Lens	RG 1" Regressed Gyp / Mud Over Flange	W Satin White	D1 HiLume Ecosystems 1% (ULC)	E Emergency - battery
LP Flat Blade Louvers	XP 1/2" Trim Flange	B Satin Black	D3 Other Dimming**	
	T T-Bar 9/16"	O Other**		
	X T-Bar 15/16"			
	N T-Bar 9/16 Slot			

ACL5 | SPECIFICATION GUIDE

HE	XP	T	D	EC
HE HE Tech™	XP 1" Regressed Gyp / Mud Over Flange	T a-Ianthium™	D Standard 0-10 dimming	EC Emergency - circled
DL 1" Drop Lens	RG 1" Regressed Gyp / Mud Over Flange	W Satin White	D1 HiLume Ecosystems 1% (ULC)	E Emergency - battery
LP Flat Blade Louvers	XP 1/2" Trim Flange	B Satin Black	D3 Other Dimming**	
	T T-Bar 9/16"	O Other**		
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ACL5 | SPECIFICATION GUIDE

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HE HE Tech™	XP 1" Regressed Gyp / Mud Over Flange	T a-Ianthium™	D Standard 0-10 dimming	EC Emergency - circled
DL 1" Drop Lens	RG 1" Regressed Gyp / Mud Over Flange	W Satin White	D1 HiLume Ecosystems 1% (ULC)	E Emergency - battery
LP Flat Blade Louvers	XP 1/2" Trim Flange	B Satin Black	D3 Other Dimming**	
	T T-Bar 9/16"	O Other**		
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ACL5 | SPECIFICATION GUIDE

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LP Flat Blade Louvers	XP 1/2" Trim Flange	B Satin Black	D3 Other Dimming**	
	T T-Bar 9/16"	O Other**		
	X T-Bar 15/16"			
	N T-Bar 9/16 Slot			

ACL5 | SPECIFICATION GUIDE

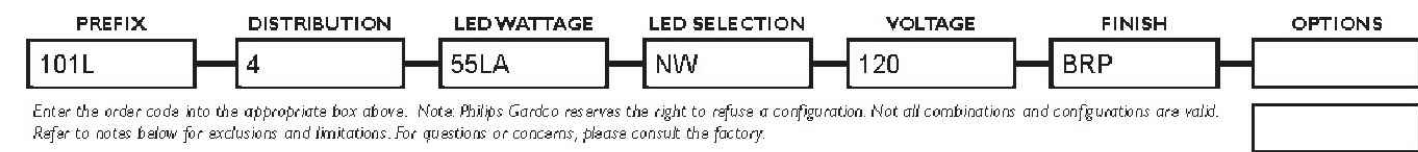
Ordering Code		LH	30	U
ACL5	M_120.			
HE	XP	T	D	EC
OP	Q			

PROJECT INFO	TELEK PLACE 15046	DATE	03.18.19
TYPE	BEAM LIGHTS	QUANTITY	3

100 Line LED

101 Performance Sconce LED

Philips Gardco 101 LED trapezoidal wedge high performance sconce luminaires are designed to integrate naturally to wall surfaces. 101 LED luminaires are available with three (3) different distribution patterns, providing full cutoff performance (in the normal downlight position) and featuring LED arrays. Luminaires provide performance excellence and advanced Philips Gardco LED thermal management technology. High performance Class 1 LED systems offer potential energy savings of 50 % or more compared to HID systems. 101 LED luminaires are also available with Automatic Profile Dimming, increasing savings by an additional 33%.



PREFIX	DISTRIBUTION	LED WATTAGE	LED SELECTION	VOLTAGE	FINISH	OPTIONS
101L	4	55LA	NW	120	BRP	

Enter the order code into the appropriate box above. Note: Philips Gardco reserves the right to refuse a configuration. Not all combinations and configurations are valid. Refer to notes below for additional information. For questions or concerns, please contact the factory.

PREFIX	DISTRIBUTION
101L	Trapezoidal Wedge LED - Constant Wattage / Full Light Output
101L-DC	Trapezoidal Wedge LED - Dual Array with Dual Circuit Control
101L-DIM	Trapezoidal Wedge LED - 0 - 10V Dimming (Control power by others)
101L-APD	Trapezoidal Wedge LED with Automatic Profile Dimming

DISTRIBUTION	2	Type II	Wide Throw Optic, featuring Minimalized Lateral Throw
	3	Type III	Preferred Wide Throw Optic, featuring Improved Forward Throw
	4	Type IV	Maximized Forward Throw Optic

See page 3 for more detailed luminaire configuration information.

LED WATTAGE AND LUMEN VALUES

Ordering Code	Average System Watts ¹	LED Current (mA)	LED Selection	Luminaire Initial Absolute Lumens ^{2,3}			Basis of Lumen Data <small>Photometric tests performed in compliance with IESNA LM-79.</small>
				TYPE 2	TYPE 3	TYPE 4	
55LA	34	350	NW	3,459	3,559	3,385	
55LA	52	530	NW	4,785	5,021	4,709	

1. Wattage may vary by +/- 8% due to LED manufacturer forward volt specification and ambient temperature. Wattage shown is average for 120V through 277V input. Actual wattage may vary by an additional +/- 10% due to actual input voltage.
2. Data are in lumens for luminaires with the DC option. CW and NW luminaires (CW value) may be supplemented by applying a 1.08 multiplier to NW value shown.
3. Philips Gardco applications@philips.com if any applications are required for design purposes.
4. LED arrays feature LEDs that provide from 100 to 120 lumens per watt when operated at 350 mA. Lumen values based on tests performed in compliance with IESNA LM-79.

LED SELECTION	VOLTAGE
CW	Coast White - 5700°K - 75 CRI
NW	Neutral White - 4000°K - 70 CRI
WW	Warm White - 3000°K - 80 CRI

UNIV	120V through 277V, 50Hz or 60Hz
208	
240	
277	
347	

1 WALL LIGHT - A

Scale: NTS

PROD. INFO.

Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description	[MANUFAC]	Filename
○	5	Bollard A	SINGLE	1361	14	0.850	BEGA 99058, 3ft Mtg Ht	BEGA Converted by LUMCat V 23.11.2016 /	Bollard A.ies
○	4	Ceiling Light A	SINGLE	1067	15.5	0.850	EM6-120-3K-25W-1750-44 18.5ft Mtg Ht	AMERICAN LIGHTING EPIQ MAG6 DOWNLIGHT	EM6-120-3K.ies
○	6	Ceiling Light B	SINGLE	483	7	0.850	Bega 66056, 10.5ft Mtg Ht	BEGA Converted by LUMCat V 17.04.2013 /	66056.IES
—	4	Cobra (Est)	BACK-BACK	20541	250	0.800	Existing GE M2RR25S_GMS3, 25ft Mtg Ht	GE LIGHTING SOLUTIONS www.gelightingssolu	GE177260.IES
	9	Step Light A	SINGLE	480	11	0.850	Bega 22384, 1ft Mtg Ht	BEGA Converted by LUMCat V 14.08.2015 /	Step Light.IES
	9	Step Light B	SINGLE	155	7.5	0.850	Bega 22382, 0.5ft Mtg Ht	BEGA/US	22382.IES
○	13	Street Light	SINGLE	3107	37	0.850	MPTC-35W32LED3K-G2-LE5, 16ft Mtg Ht	PHILIPS LIGHTING, LITTELTOWN	Street Light.IES
+	10	Wall Light A	SINGLE	4609	54.8	0.850	101L-16L-1000-NW-G1-3, Wall Mounted 9ft	PHILIPS GARDCO	101L-16L-1000-NW-G1-3.ies
+	17	Wall Light B	SINGLE	2368	28	0.850	CBR1-LED-12-WW-120-DKBR 8ft OR 9ft (ref plans)	U.S. ARCHITECTURAL LIGHTING	CBR1-LED-12-WW-120.ies

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	
Front walks and ramp	Illuminance	Fc	3.40	136.6	0.2	17.00	683.00	3ft Grid	
Public Sidewalk	Illuminance	Fc	1.06	2.7	0.3	3.53	9.00	5ft Grid	
Rear Sidewalk	Illuminance	Fc	5.38	8.9	0.0	N.A.	N.A.	3ft Grid	

5 PHOTOMETRIC SUMMARY - GROUND LEVEL (SHEETS L7.01A - L7.01C)

Scale: NTS

Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description	[MANUFAC]	Filename
○	2	Ceiling Light A	SINGLE	1067	15.5	0.850	Bega 55926, 11ft Mtg Ht	BEGA Converted by LUMCat V 08.07.2014 /	55926.ies
○	5	Step Light A	SINGLE	480	11	0.850	Bega 22384, 1.5ft Mtg Ht	BEGA Converted by LUMCat V 14.08.2015 /	Step Light.IES
	3	Linear Wall Light	SINGLE	6843	55	0.850	BEGA 24314, 10ft Mtg Ht	BEGA Converted by LUMCat V 20.04.2017 /	24314.ies
+	6	Wall Light C	SINGLE	1355	17	0.850	BEGA 33817, 10ft Mtg Ht	BEGA Converted by LUMCat V 15.01.2015 /	33817.ies

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	
Pool Deck	Illuminance	Fc	4.43	7.2	2.0	2.22	3.60	5ft Grid	
Terrace	Illuminance	Fc	15.87	55.6	0.0	N.A.	N.A.	5ft Grid	
Egress	Illuminance	Fc	9.02	23.1	1.9	4.75	12.16	5ft Grid	

6 PHOTOMETRIC SUMMARY - LEVEL 10 (SHEET L7.10)

Scale: NTS

SPECIFICATIONS



FIXTURE
Durable corrosion resistant, low copper cost aluminum (A386 alloy, 40 2% Cu) with inset to index Body to Ballast Housing. Body mounts to Ballast Housing after Ballast Housing installation via cast hinges designed to accept stainless-steel hinge pins. Shunt support arms are cast as integral components of the Fixture Body. Struts are parallel extruded aluminum .84" diameter and are indexed to allow Glare Shield to be secured in one of five (5) vertical positions. One Strut has stainless steel recessed captive socket-head screws top and bottom to allow Glare Shield, Indirect Reflectors, or Half Cylinder to hinge away for stamping.

REFLECTOR
Corrosion resistant aluminum construction. Glare Shield has tool-less hardware for indexing in one of five (5) positions (1" increments) along vertical Struts.

LED POWER ARRAY™
Two individual LED Tubes fastened to a retaining bracket. Each LED Tube consists of circuit board populated with a multiple of LED's and is mechanically fastened to a radial aluminum heat sink. One piece molded glass enclosure threads into a gasketed socket and protects array.

LED DRIVER
Constant current LED drivers are UL and cUL recognized mounted on a single plate and factory prewired with quick-disconnect plugs. Drivers are electronic and have a power factor of >.90 and a minimum operating temperature of -40°F. Drivers accept an input of 120-277V, 50/60Hz. (Consult factory for dimming applications.)

FINISH
Electrostatically applied TGIC Polyester Powder Coat on substrate prepared with 20 PSI power wash at 140°F. Four step iron phosphate pretreatment for protection and point adhesion. 400°F bake for maximum hardness and durability. Texture finish is standard.

ORDERING INFORMATION					
MODEL	# of LEDs	COLOR	VOLTAGE	FINISH	OPTIONS
MODEL	LEDs	COLOR	VOLTAGE	FINISH	OPTIONS
X CBR1-LED	X LED NOTE: MAX 10W PER LED	<input type="checkbox"/> NW (4000K)	X 120	STANDARD TEXTURED FINISH	<input type="checkbox"/> DIMMABLE DRIVER (50-100% DIM)
		<input type="checkbox"/> CW (5000K)		<input type="checkbox"/> BLACK RAL-9005	<input type="checkbox"/> HIGH-GLASS DRAINING COAT (NON-REFLECTIVE FINISH)
		<input checked="" type="checkbox"/> W (6500K)		<input type="checkbox"/> GREY RAL-7001	<input type="checkbox"/> 100% GLOSS PROTECTANT (NEW)
		OTHER LED-COLORS AVAILABLE (CONTACT FACTORY)		<input checked="" type="checkbox"/> DARK BRONZE 3075-140 (NEW)	<input type="checkbox"/> DIMMABLE PREPARED (200P)
		<input type="checkbox"/> BRN (6000K)		<input type="checkbox"/> GREEN RAL-6005	<input type="checkbox"/> EMERGENCY CIRCUIT (E)
		OTHER LED-COLORS AVAILABLE (CONTACT FACTORY)		FOR BRONZITE FINISH REPLACE SUPPLY TAP WITH BRONZITE TAP (SUPPLY: RAL-9005)	
				SEE WALL MOUNTING & HOOKBACK	
				SEE WALL COAT FOR SUSCEPTIBLE COATING	
U.S. Architectural Lighting					
160 West Arroyo (CA, Berkeley, CA 94702) Phone: 917-222-2801 Fax: 917-222-2811 www.usalighting.com					

From: Adam Stickler

Sent: Sunday, June 16, 2024 9:29 PM

To: Alexa N Powell <alexa.powell@alexandriava.gov>

Cc: Nathan Randall <Nathan.Randall@alexandriava.gov>; eisensqboard@gmail.com

Subject: Re: Rushmark South Tower extension community follow-up

Ms. Powell:

Thank you for your reply. What is the status of the Staff Report, which was scheduled to be completed on June 13, 2024? We would also like to know if our objections noted in the report?

We acknowledge Rushmark's request to repair the fence that is in poor condition; however, our goal is to have them turn the property into a mixed-use usable lot in the interim until such time construction can begin. Rushmark is not maintaining the property like they indicated they would, as demonstrated by the current fence, vegetation, missing tree, and trash in the chain link fence portion along Eisenhower Avenue.

Following your recommendation and on May 30, 2024, I contacted Rushmark's Counsel Catherine Puskar to express our concerns and inquired when the land would be built by Rushmark. Ms. Puskar responded to me stating in part, "It is unclear when Rushmark will commence construction on the building, as it will be determined by market conditions, which still are not favorable at this point." On May 31, 2024, I received an email from Neal Kumar, Vice President of Rushmark which stated in part, "We are planning to start construction as soon as possible (a year)" which contradicts information provided by Ms. Puskar, Rushmark's Counsel. It should also be noted Rushmark has had the opportunity to begin construction as initially permitted for more than **10 years**. Repurposing the land into something useful until such construction can begin is not an unreasonable request.

Further, Rushmark asserted in the attached email that the land was unable to be converted into an interim mixed-use lot due to wires, etc. We have obtained photographic evidence contrary to Rushmark's claims. In addition, the land in question was used as a temporary staging area for the construction of the Wilson Bridge. We do not appreciate being misled by Rushmark. The previously referenced email communication is attached. As additional background, in 2022, Rushmark indicated to Legumn and Norman (our property management company) that they intended to begin construction in 2023, which did not happen. We also understand that Rushmark was generating interest to sell the property as recently as this year. These actions do not demonstrate good faith with the community and the City and are misleading.

Regarding the floodplain concern, we have expressed our request to have Rushmark address that on our behalf without asking the residents of Eisenhower Square to incur a significant financial cost of more than \$18,000 for the civil engineering expenses alone, to rectify the problem. Please refer to the previously referenced attached email communication with Rushmark.

The 2018 LOMR-F removed the south side of the site only up to the base flood elevation, we assume using the old FIRM 100-year flood boundary. The 100-year and 500-year flood boundaries changed slightly from 2011 to 2024. If FEMA had used the most recently available elevation data, the entire site would have been removed from the 100-year flood plain and would not have resulted in the entire community being placed in this predicament. We are seeking the City's assistance to help us resolve this matter along with Rushmark who had primary responsibility for the flood plain and should have been monitoring this process throughout delivery of the final lot in Eisenhower Square, not just filing a letter of map revision for the remaining lot on the master association just to position themselves for a permit renewal.

We are a community – not an industrial zone. It would not be considered appropriate for a vacant lot to stand in communities like Old Town or Del Ray for such long-term construction timeframes. We request that the City take action similar to other parts of Alexandria and the greater Washington, D.C. area to turn this into a usable green space until Rushmark decides to build. To accomplish this, we request that the City act as a mediator to help create a usable green space until the construction can be done and support the fix to the flood plain before this goes to a vote for City Council on July 2, 2024.

Thank you,

Adam

Adam C. Stickler

President

Eisenhower Square Homeowner's Association, Inc.

Alexandria, Virginia