



Special Use Permit #2023-00002
2435 Ridge Road Drive – Substandard Lot Redevelopment

| Application | General Data | |
|---|-------------------------------------|-------------------------------------|
| Public Hearing and consideration of a request for Special Use Permit, with front and side yard modifications, for the redevelopment of a substandard lot with a single-family dwelling. | Planning Commission Hearing: | March 30, 2023 |
| | City Council Hearing: | April 15, 2023 |
| Address: 2435 Ridge Road Drive | Zone: | R-8/Residential Single Family |
| Applicant: Mott Construction LLC represented by James M. Rawlings | Small Area Plan: | Northridge/Rosemont Small Area Plan |

Staff Recommendation: APPROVAL subject to compliance with all applicable codes, ordinances and the recommended permit conditions found in Section III of this report.

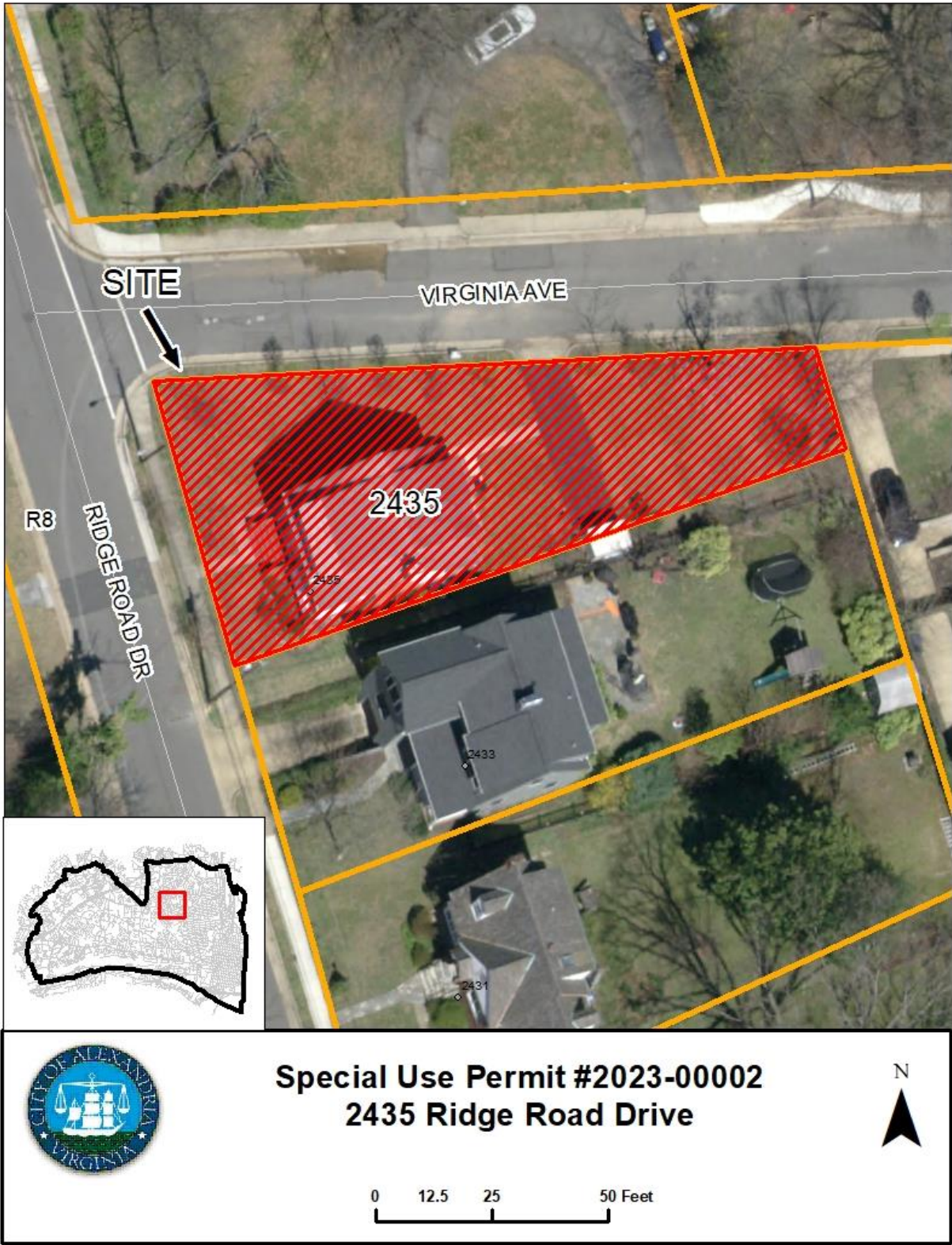
Staff Reviewers: Sam Shelby, sam.shelby@alexandriava.gov
Tony LaColla, AICP, anthony.lacolla@alexandriava.gov

PLANNING COMMISSION ACTION, MARCH 30, 2023: On a motion by Vice Chair McMahon, seconded by Commissioner Koenig, the Planning Commission moved to recommend approval of SUP #2023-00002. The motion carried of a vote of 5 to 1 with Commissioner Brown voting against and Commissioner Ramirez absent.

Reason: The Planning Commission generally agreed with staff analysis.

Discussion: Commissioner Brown expressed reservations about the proposal, stated that he did not agree with staff's analysis and would not be recommending approval of the applicant's request. He stated that the applicant was a developer seeking to maximize profit and that the proposal would not accomplish any of the City's goals related to Zoning for Housing. Commissioner Brown provided a summary of some of the applicable Zoning Ordinance sections that apply to developed substandard lots. He felt that the bulk, height and design of the existing house should be used to evaluate the compatibility of the new house. Commissioner Brown found that none of the criteria required by section 12-901(C) was met.

Vice Chair McMahon, Commissioner Koenig and Chair Macek expressed appreciation for Commissioner Brown's comments but found that the applicant's request would be compatible with the surrounding neighborhood.



PROJECT LOCATION MAP

I. DISCUSSION

The applicant, Mott Construction LLC, represented by James M. Rawlings, requests Special Use Permit (SUP) approval, with front and side yard modifications, to construct a single-family dwelling on a developed, substandard lot at 2435 Ridge Road Drive. The existing lot is substandard as it does not meet any of the R-8 zone's lot requirements.

SITE DESCRIPTION

The Zoning Ordinance classifies the subject property as a developed, substandard, corner lot of record. This irregularly shaped lot has a triangular shape with a 26.41-foot width at its narrowest and 63.41-foot width at its widest. It has a lot size of 6,214 square feet with 63.41 and 143.35 feet of frontage along Ridge Road Drive and Virginia Avenue, respectively. A two-story dwelling with a gross floor area of approximately 3,226 square feet currently occupies the subject property. City Real Estate Assessment records indicate the dwelling was constructed in 1940. It provides a primary front yard of 17.4 feet along Ridge Road Drive and a secondary front yard of 17.4 feet along Virginia Avenue. It provides east and south side yards of 87.1 and 7.5 feet, respectively.



Figure 1 - Subject Property (dwelling to be demolished)

PROPOSAL

The applicant requests SUP approval to redevelop the subject property with a two-story dwelling. It would have 2,149 square feet of net floor area and would measure 25.94 feet in height from average pre-construction grade to the midpoint of the dwelling's gable roof.

The applicant's proposed design would exhibit a mix of architectural styles. The dwelling would feature shake-style siding and a standing-seam metal roof. Figures 2 through 5, below, show the proposed elevations.

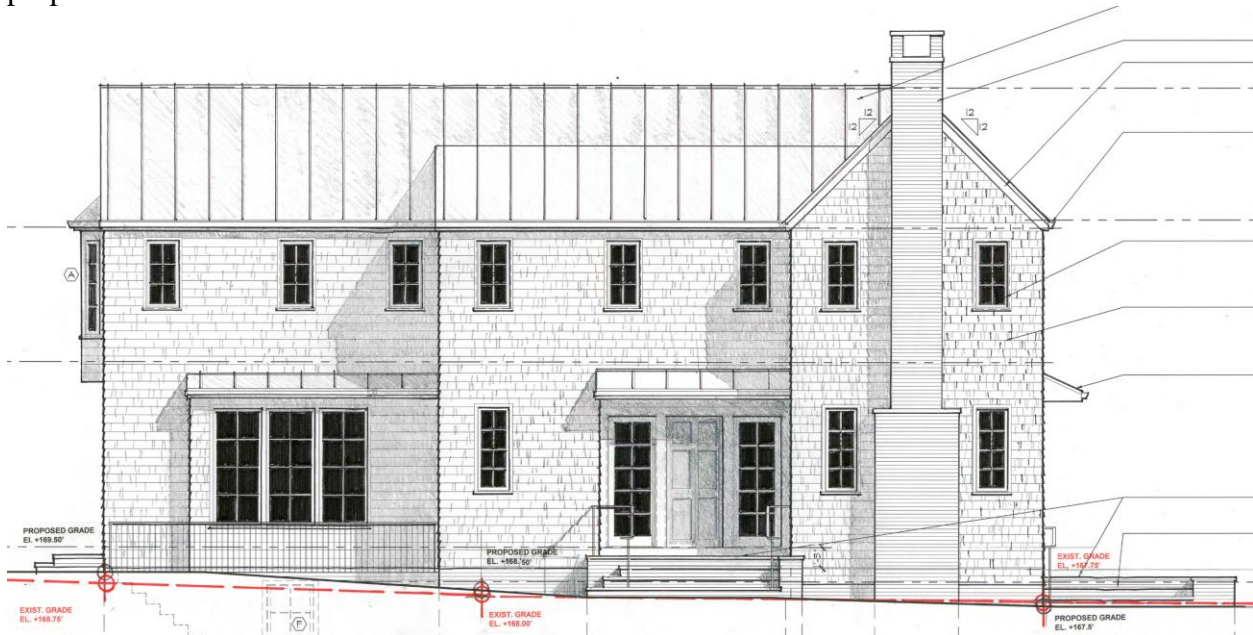


Figure 2 –Primary Front Elevation (Virginia Avenue)

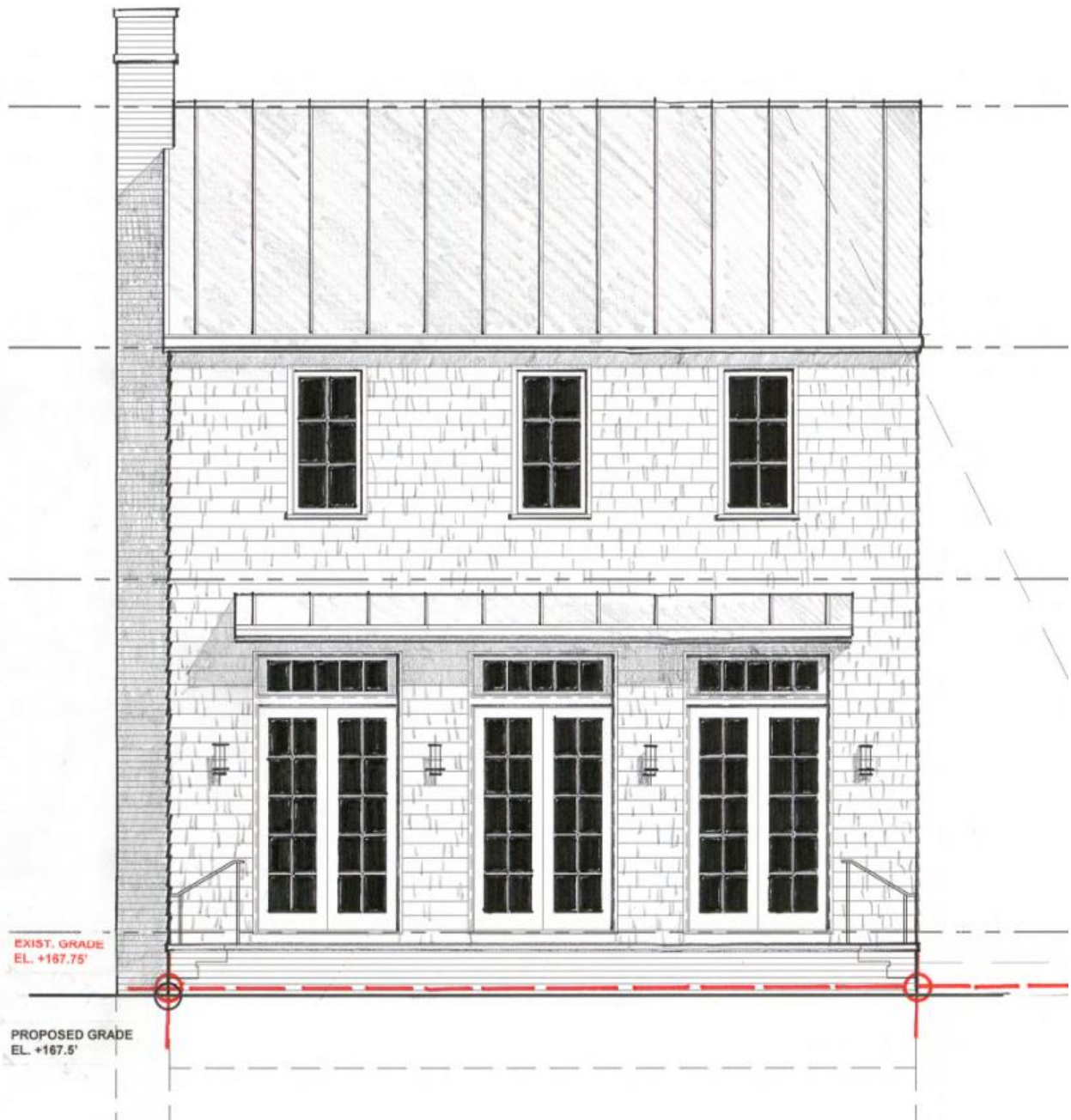


Figure 3 – Secondary Front Elevation (Ridge Road Drive)



Figure 4 – South Side Elevation (Note: siding will be shake-style)



Figure 5 – East Side Elevation

The dwelling would measure approximately 56 by 26 feet with a footprint of about 1,162 square feet. It would provide a primary front yard of 17.4 feet along Virginia Avenue, a secondary front yard of 17.4 feet along Ridge Road Drive and east and south side yards of 65 and 10.5 feet, respectively. Figure 7, below, shows the proposed site plan.

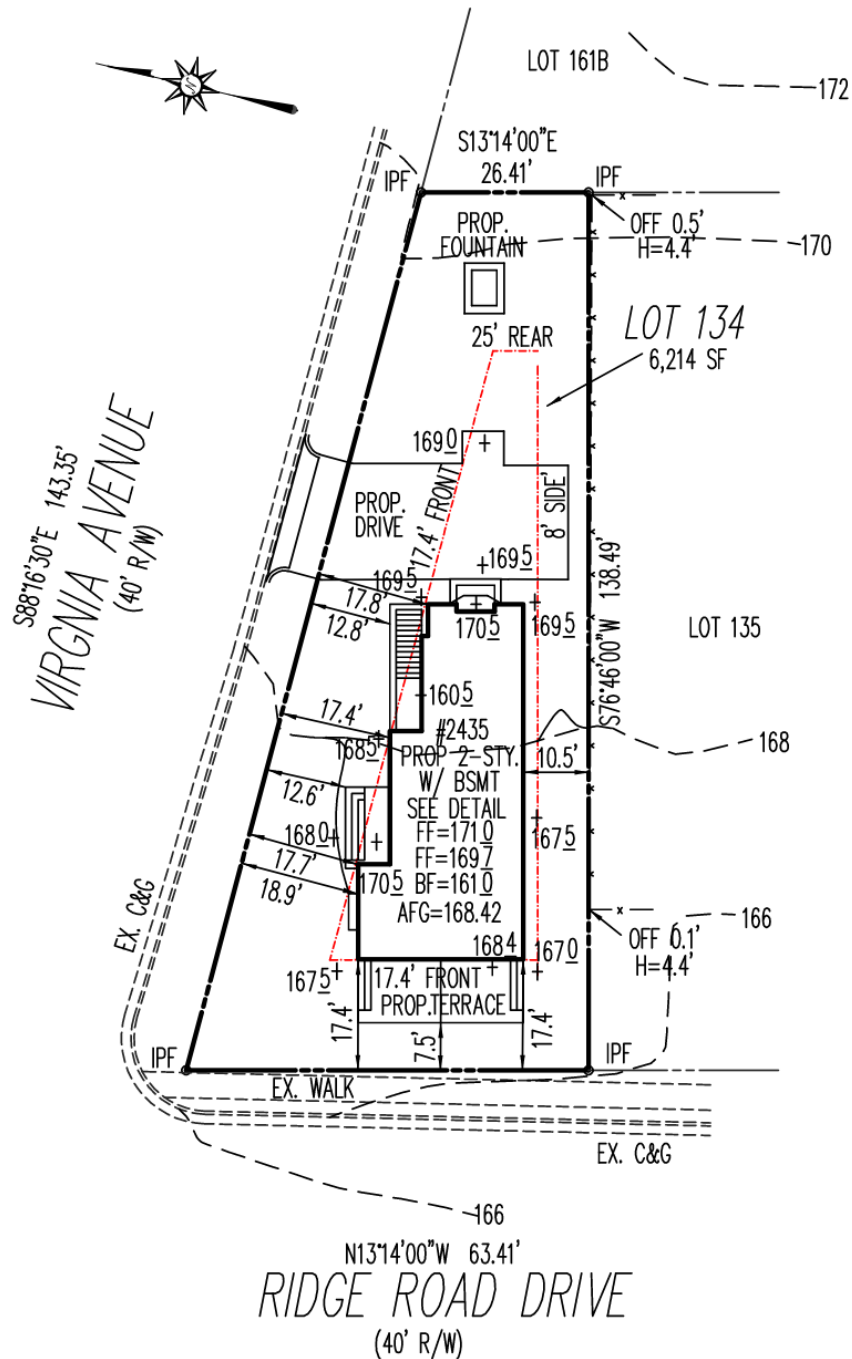


Figure 7 – Proposed Site Plan

PARKING

Zoning Ordinance section 8-200(A)(1) requires two off-street parking spaces for a single-family dwelling. The proposed driveway would meet this requirement.

ZONING

The subject property is zoned R-8/Residential Single-Family. For single-family dwellings, the R-8 zone requires a minimum lot size of 9,000 square feet, a minimum lot width of 80 feet and a minimum lot frontage of 40 feet. As currently configured, the subject property provides 55.4 feet of lot width as measured across its primary front yard. Because the applicant proposes reorienting the front of the proposed dwelling to Virginia Avenue, and because lot width is measured across a property's primary front yard, the subject property would provide a lot width of 141.6 feet. Zoning Ordinance section 12-901 classifies the subject property as a substandard lot because it does not provide the R-8 zone's lot minimum lot size requirement. Because the applicant proposes redevelopment of the substandard lot, Zoning Ordinance section 12-901(C) applies and requires SUP approval. The proposed development must be compatible with the existing neighborhood character in terms of bulk, height and design.

The existing lot and proposed dwelling would meet all R-8 zoning requirements besides lot size and front yards. The applicant also requests modifications from the R-8 zone's front and south side yard requirements. The following table provides a summary of all zoning regulations as they pertain to the subject property and proposed dwelling:

Table 1 – Zoning Analysis

| | Required/Permitted | Existing | Proposed |
|---------------------------------|--|----------------------------|---------------------------|
| Lot Area | 9,000 Sq. Ft. | 6,214 Sq. Ft. | No change |
| Lot Width | 80 Ft. | 55.4 Ft. | 141.6 Ft. |
| Lot Frontage (Primary) | 80 Ft. | 63.41 Ft. | 143.35 Ft. |
| Lot Frontage (Secondary) | 45 Ft. | 143.35 Ft. | 63.41 Ft. |
| Front Yard (Primary)* | Min. 25.4 Ft. | 17.4 Ft. | No change |
| Front Yard (Secondary)* | Min. 25.7 Ft. | 17.4 Ft. | No change |
| Side Yard (East) | Min. 12.9 Ft. | 87.1 Ft. | 65 Ft. |
| Side Yard (South)* | Min. 12.9 Ft. | 7.5 Ft. | 10.5 Ft. |
| Maximum Floor Area | 2,175 Sq. Ft. 0.35 Floor Area Ratio (FAR) | ~1,550 Sq. Ft. 0.25 FAR | 2,149 Sq. Ft. 0.35 FAR |
| Maximum Height | 30.0 Ft. | 20.3 Ft. | 25.94 Ft. |
| Maximum Threshold Height | 3.8 Ft. | 3.3 Ft. | 2.6 Ft. |

*Modifications requested

MASTER PLAN DESIGNATION

The proposed single-family residential use is consistent with the Northridge/Rosemont Small Area Plan which designates this area for low-density residential development.

II. STAFF ANALYSIS

Staff supports the applicant's proposal to develop this substandard lot with a new two-story dwelling. As required by Zoning Ordinance section 12-901(C), the proposed dwelling would be compatible with the existing neighborhood in terms of height, bulk, and design. Further, the applicant's requested modifications would comply with Zoning Ordinance section 11-416.

HEIGHT

Staff finds the proposed dwelling to be compatible with neighborhood character in terms of height. The surrounding dwellings' heights are shown in Table 2, below.

Table 2 – Dwelling Heights

| | |
|--------------------------|-----------------|
| 2431 Ridge Road Drive | 18.5 Ft. |
| 2429 Ridge Road Drive | 19.3 Ft. |
| 1002 Virginia Avenue | 19.8 Ft. |
| 2433 Ridge Road Drive | 21.6 Ft. |
| 1001 Virginia Avenue | 21.7 Ft. |
| 2501 Ridge Road Drive | 21.9 Ft. |
| Average | 22.4 Ft. |
| 1000 Virginia Avenue | 24.8 Ft. |
| Proposed Dwelling | 25.9 Ft. |
| 2430 Ridge Road Drive | 26.4 Ft. |
| 2436 Ridge Road Drive | 27.3 Ft. |

While the proposed dwelling height is taller than the surrounding dwellings' average height, staff finds that the proposal would be compatible. The proposed height is about 12 percent higher than average height and is within the height range of the surrounding dwellings. Further, the dwelling would be about four feet less than the maximum height permitted by the R-8 zone. Figures 8 and 9, below, illustrate how the dwelling would fit in within the block face.

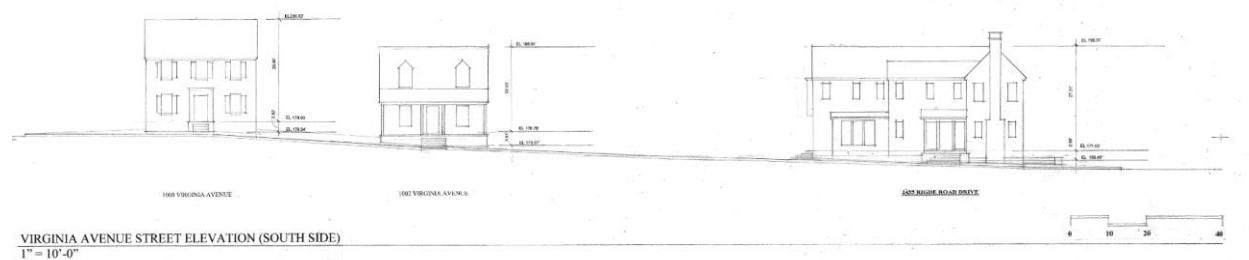


Figure 8 – Virginia Avenue Streetscape (Proposed Dwelling on Right)



Figure 9 – Ridge Road Drive Streetscape (Proposed Dwelling Third from Right)

BULK

Staff finds the applicant's proposal compatible with neighborhood character in terms of bulk. The proposed dwelling would only measure 26 feet wide and would not appear overly bulky from Ridge Road Drive. Along Virginia Avenue, the dwelling's massing would be varied and would reduce the impact of the dwelling's bulk as perceived from the street. The subject property is also the smallest in terms of lot size as compared to all its neighbors. With 2,149 square feet of net floor area, the dwelling would comply with the maximum floor area permitted by the R-8 zone. Staff estimates that the dwelling would be about the third largest in terms of floor area within the block face. Given this, the proposed dwelling would be compatible with its neighbors in terms of bulk.

DESIGN

Staff finds that proposed design would be compatible with the established neighborhood character. The surrounding dwellings feature eclectic styles and massing. The proposed dwelling would mimic the surrounding dwellings' cohesive features which include traditional, steeper roof pitches characteristic of the time period in which they were built and varied massing. The proposed dwelling would have varied massing as it narrows from 26 feet wide to 16 feet wide. Its gabled roof would feature a traditional, steeper 12 /12 roof pitch which matches those of the surrounding dwellings. The surrounding dwellings are shown below in Figure 10.







Figure 10 – Surrounding Dwellings

As mentioned in the previous section, the proposed varied massing would be a design feature that would not only be compatible with surrounding dwellings but would also lessen the perceived height and bulk of the proposal.

MODIFICATIONS

The applicant has requested modifications from the primary and secondary front and south side yard requirements. Pursuant to Zoning Ordinance section 11-416, City Council must find that the requested modifications are “...necessary or desirable to good site development, that specific and identified featured of the site design make up for those impacts otherwise protected by the regulations for which modification is sought and that such modification will not be detrimental to neighboring property or to the public health, safety and welfare.”

Staff supports the applicant’s requested modifications as outlined below.

Front Yards

The applicant's modification requests to the front yard requirements are not only necessary for good site development, but they are also necessary for *any* site development. The R-8 zone would require minimum front yards of 25.4 and 25.7 feet as measured from the subject property's front lot lines along Virginia Avenue and Ridge Road Drive, respectively. A dwelling that met the required front yards could not be more than 16 feet wide and could not exceed a height of 16 feet. Figure 11, below, shows the lot's buildable area (in blue) without modifications.

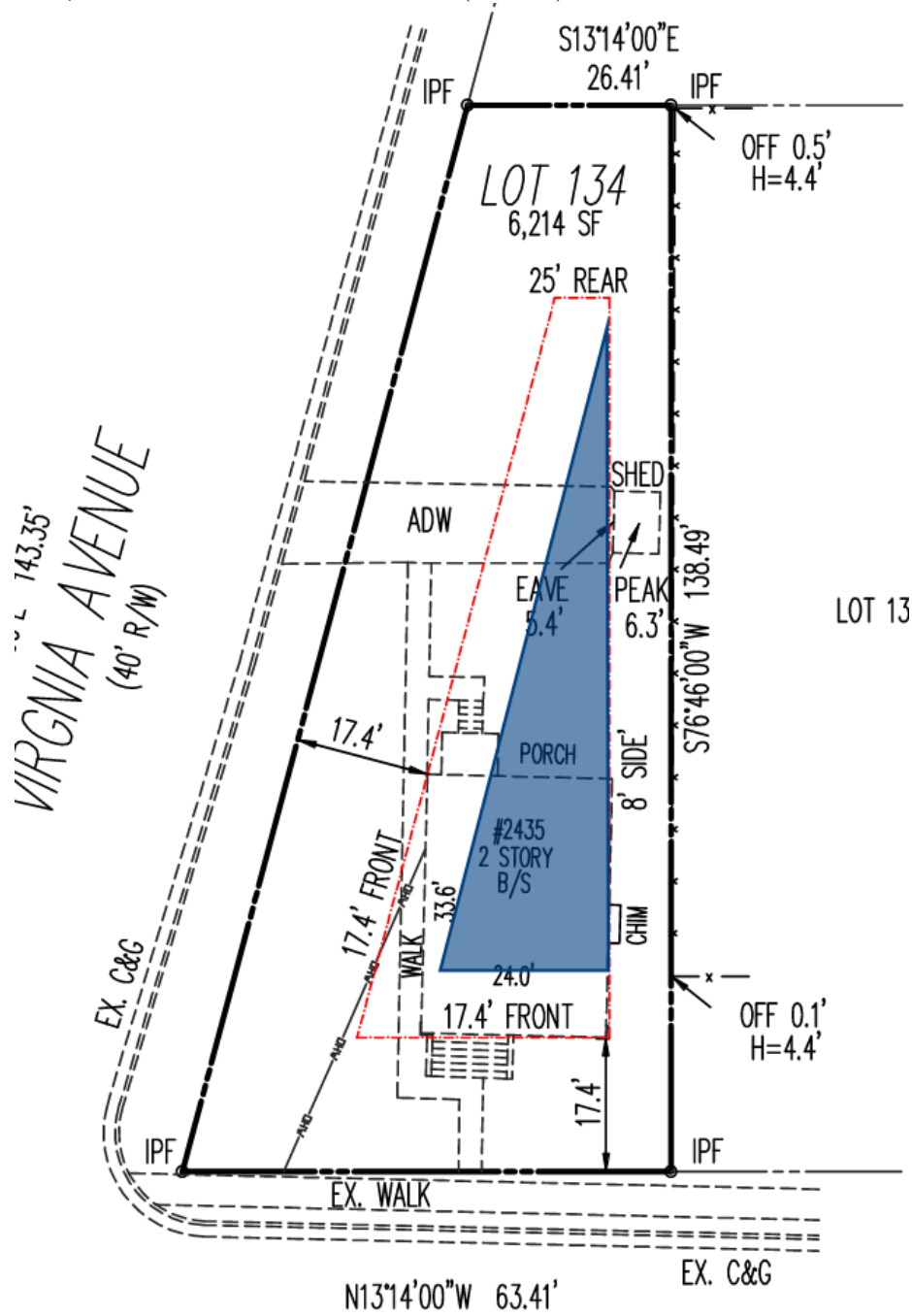


Figure 11 – Buildable Area

Because the proposed dwelling would provide the same front yards that the existing dwelling does, there would be no impact to neighboring property, public health, safety or welfare. Again, the narrowness and varied massing of the dwelling are specific design features that would reduce the impact of the dwelling's bulk as viewed from the street.

Along Virginia Avenue, the distance between the edge of the sidewalk and the subject property's front lot line is about nine feet. This area contains a number of street trees, to be protected throughout construction, which would screen the proposed dwelling from the street and sidewalk.

Side Yard

For the same reasons as above, the requested side yard modification is necessary for site development. A dwelling that met the required side yard could not exceed 16 feet in height and therefore could not be more than one-story in height. The proposed side yard of 10.5 feet is 2.5 feet greater than the R-8 zone's absolute minimum side yard depth. Given this, the proposed dwelling would not impact the light and air supply to the immediate neighbor. Further, the proposed dwelling would provide a side yard three feet deeper than that provided by the existing dwelling. For these reasons, the side yard modification would not be detrimental to neighboring property, public health, safety or welfare.

ADDITIONAL CONSIDERATIONS

Staff notified the North Ridge Citizens' Association (NRCA) of the request. At the time of report writing, staff had not yet received a statement from NRCA.

The existing property provides just 6.4 percent tree canopy coverage. The applicant proposes plantings so that 32 percent tree canopy coverage would be provided. Staff proposes Conditions #2, #3 and #4 to require the applicant to provide 32 percent canopy coverage, to work with neighbors to reduce or prevent impact to trees on neighboring properties and to protect the City trees located in the right-of-way.

CONCLUSION

Staff found that the proposed dwelling's height, bulk and design would be compatible with the established neighborhood character. Subject to the conditions contained in Section III of this report, staff recommends approval of the SUP request.

III. RECOMMENDED CONDITIONS

Staff recommends **approval** subject to compliance with all applicable codes and ordinances, and the following conditions:

1. The dwelling's bulk, height, and design, including materials, shall be substantially consistent with the application materials submitted January 28, 2023 to the satisfaction of the Director of Planning and Zoning. (P&Z)
2. The applicant shall provide 32 percent canopy coverage pursuant to the City's 2019 Landscape Guidelines. The applicant shall provide a tree plan consistent with these requirements with the grading plan submission. (P&Z)
3. The applicant shall notify owners of the immediately adjacent properties of the potential impact to trees on their properties as a result of construction prior to application of the grading plan and ensure tree protection of neighboring trees by reducing the limit of disturbance around the trees as much as possible, root pruning, root matting and similar best practices. (P&Z)
4. Trees within the public right-of-way shall not be removed without approval from the City Arborist. (P&Z)
5. Applicant shall be responsible for repairs to the adjacent City right-of-way if damaged during construction activity. (T&ES)
6. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

STAFF: Sam Shelby, Urban Planner, Department of Planning and Zoning
Tony LaColla, AICP, Division Chief, Department of Planning and Zoning

Staff Note: In accordance with section 11-506(c) of the Zoning Ordinance, construction or operation shall be commenced and diligently and substantially pursued within 36 months of the date of granting of a special use permit by City Council or the special use permit shall become void.

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Transportation & Environmental Services:

- R-1 Applicant shall be responsible for repairs to the adjacent City right-of-way if damaged during construction activity. (T&ES)
- R-2 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- C-1 A GRADING PLAN showing all improvements and alterations to the site shall be required prior to any land disturbing activities and must be approved prior to issuance of a building permit. (5-6-224) (T&ES)
- C-2 New curb cuts require separate approval from the City. (Sec. 5-2-14) (T&ES)
- C-3 An erosion and sediment control plan must be approved by T&ES prior to any land disturbing activity greater than 2500 square feet subject to the Exceptions described in Section 5-4-5. An erosion and sediment control bond shall be posted prior to release of the grading plan. (Sec.5-4-1.1) (T&ES)
- C-4 The applicant shall comply with the provisions of Article XIII Environmental Management Ordinance of the City of Alexandria. (T&ES)
- C-5 All improvements to the City right-of-way such as curbing, sidewalk, driveway aprons, etc. must be City standard design. (Sec.5-2-1) (T&ES)
- C-6 Flow from downspouts, foundation drains, and sump pumps shall be discharged to the storm sewer per the requirements of Memorandum to Industry 05-14 that is available on the City of Alexandria's web site. The downspouts and sump pump discharges shall be piped to the storm sewer outfall, where applicable per the requirements of Article XIII of Alexandria Zoning Ordinance (AZO). Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224)
- C-7 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-8 Pay sanitary sewer connection fee prior to release of Grading Plan. (Sec. 5-6-25) (T&ES)
- C-9 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-361) (T&ES)

- C-10 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

Code Enforcement:

- C-1 A building permit and plan review are required prior to the start of construction.

Recreation, Parks and Cultural Activities:

- F-1 No comments.

Police Department:

No comments received.

Fire Department:

No comments or concerns.

Historic Alexandria (Archaeology):

- F-1 Although historic background research does not indicate that the property has a high potential for containing significant archaeological resources, the neighborhood began to develop in the first decades of the twentieth century and activity may have occurred there prior to formal construction of the dwelling in the 1930s.



APPLICATION

SPECIAL USE PERMIT

SPECIAL USE PERMIT # _____

PROPERTY LOCATION: 2435 RIDGE ROAD DRIVE, ALEXANDRIA 22302

TAX MAP REFERENCE: 033.01-02-28 **ZONE:** R-8

APPLICANT:

Name: MOTT CONSTRUCTION LLC

Address: 2435 Ridge Road Dr, Alexandria VA 22302

PROPOSED USE: SINGLE FAMILY DWELLING

- ☒ THE UNDERSIGNED, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 4-11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- ☒ THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.
- ☒ THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- ☒ THE UNDERSIGNED, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

JAMES M RAWLINGS

Print Name of Applicant or Agent

690 W TIMBER BRANCH PKWY

Mailing/Street Address

ALEXANDRIA 22302

City and State

Zip Code

Signature

202-422-5666

Telephone #

chopsaw@me.com

Email address

01-03-2023

Date

Fax #

PROPERTY OWNER'S AUTHORIZATION

As the property owner of 2435 RIDGE ROAD DR, I hereby
(Property Address)
grant the applicant authorization to apply for the SINGLE FAMILY DWELLING use as
(use)
described in this application.

Name: JAMES M RAWLINGS

Phone: 202-422-5666

Please Print
Address: 690 W TIMBER BRANCH PKWY, ALEXANDRIA VA 22302

Email: CHOPSAW@ME.COM

Signature: James M Rawlings Digitally signed by James M Rawlings
Date: 2023.01.02 15:15:25 -05'00'

Date: _____

- 1.** Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.

☒ **Required floor plan and plot/site plan attached.**

☐ **Requesting a waiver. See attached written request.**

- 2.** The applicant is the (check one):

☐ Owner

☐ Contract Purchaser

☐ Lessee or

☒ Other: GENERAL CONTRACTOR of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent.

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

| Name | Address | Percent of Ownership |
|---------------------|---|----------------------|
| 1. James M Rawlings | 690 W Timber Branch Pkwy, Alexandria VA 22302 | 100% |
| 2. | | |
| 3. | | |

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 2435 Ridge Road Dr. Alexandria VA 22302 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

| Name | Address | Percent of Ownership |
|---------------------|---|----------------------|
| 1. James M Rawlings | 690 W Timber Branch Pkwy, Alexandria VA 22302 | 100% |
| 2. | | |
| 3. | 690 W TIMBER BRANCH PKWY, ALEXANDRIA VA 22302 | |

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose **any** business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

| Name of person or entity | Relationship as defined by Section 11-350 of the Zoning Ordinance | Member of the Approving Body (i.e. City Council, Planning Commission, etc.) |
|--------------------------|---|---|
| 1. | | |
| 2. | | |
| 3. | | |

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

01-03-2023
Date

James M Rawlings
Printed Name

James M Rawlings
Signature

Digitally signed by James M Rawlings
Date: 2023.01.02 14:59:54 -05'00'

If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

[] **Yes.** Provide proof of current City business license

[] **No.** The agent shall obtain a business license prior to filing application, if required by the City Code.

NARRATIVE DESCRIPTION

3. The applicant shall describe below the nature of the request **in detail** so that the Planning Commission and City Council can understand the nature of the operation and the use. The description should fully discuss the nature of the activity. (Attach additional sheets if necessary.)

Applicant proposes to demolish the existing single family dwelling at 2435 Ridge Road

Drive and to construct a new single family dwelling conforming to all applicable codes

and zoning requirements.

USE CHARACTERISTICS

4. The proposed special use permit request is for (*check one*):
- ☐ a new use requiring a special use permit,
- ☐ an expansion or change to an existing use without a special use permit,
- ☐ an expansion or change to an existing use with a special use permit,
- ☒ other. Please describe: Construction of new single family dwelling on substandard residential lot.

5. Please describe the capacity of the proposed use:

- A. How many patrons, clients, pupils and other such users do you expect?

Specify time period (i.e., day, hour, or shift).

N/A

- B. How many employees, staff and other personnel do you expect?

Specify time period (i.e., day, hour, or shift).

N/A

6. Please describe the proposed hours and days of operation of the proposed use:

Day:

N/A

Hours:

7. Please describe any potential noise emanating from the proposed use.

- A. Describe the noise levels anticipated from all mechanical equipment and patrons.

Normal construction noise during approved working hours.

- B. How will the noise be controlled?

N/A

8. Describe any potential odors emanating from the proposed use and plans to control them:

N/A

9. Please provide information regarding trash and litter generated by the use.

- A. What type of trash and garbage will be generated by the use? (i.e. office paper, food wrappers)
Typical construction debris to be controlled and removed.

- B. How much trash and garbage will be generated by the use? (i.e. # of bags or pounds per day or per week)

N/A

- C. How often will trash be collected?

N/A

- D. How will you prevent littering on the property, streets and nearby properties?

N/A

10. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

☐ Yes.

☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

- 11.** Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

☐ Yes. ☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

- 12.** What methods are proposed to ensure the safety of nearby residents, employees and patrons?

ALCOHOL SALES

13.

- A. Will the proposed use include the sale of beer, wine, or mixed drinks?

☐ Yes ☒ No

If yes, describe existing (if applicable) and proposed alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales.

PARKING AND ACCESS REQUIREMENTS

14. A. How many parking spaces of each type are provided for the proposed use:

2
_____ Standard spaces
_____ Compact spaces
_____ Handicapped accessible spaces.
_____ Other.

| |
|---|
| <p>Planning and Zoning Staff Only</p> <p>Required number of spaces for use per Zoning Ordinance Section 8-200A _____</p> <p>Does the application meet the requirement? [] Yes [] No</p> |
|---|

- B. Where is required parking located? (*check one*)

☒ on-site
[] off-site

If the required parking will be located off-site, where will it be located?

PLEASE NOTE: Pursuant to Section 8-200 (C) of the Zoning Ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

- C. If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) or (5) of the Zoning Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

[] **Parking reduction requested; see attached supplemental form**

15. Please provide information regarding loading and unloading facilities for the use:

- A. How many loading spaces are available for the use? N/A

| |
|--|
| <p>Planning and Zoning Staff Only</p> <p>Required number of loading spaces for use per Zoning Ordinance Section 8-200 _____</p> <p>Does the application meet the requirement? [] Yes [] No</p> |
|--|

- B. Where are off-street loading facilities located? _____

- C. During what hours of the day do you expect loading/unloading operations to occur?

- D. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?

- 16.** Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

N/A

SITE CHARACTERISTICS

- 17.** Will the proposed uses be located in an existing building? ☐ Yes ☒ No
- Do you propose to construct an addition to the building? ☐ Yes ☒ No
- How large will the addition be? _____ square feet.

- 18.** What will the total area occupied by the proposed use be?

_____ sq. ft. (existing) + _____ sq. ft. (addition if any) = 1,146.00sq. ft. (total)

- 19.** The proposed use is located in: *(check one)*

- ☒ a stand alone building
☐ a house located in a residential zone
☐ a warehouse
☐ a shopping center. Please provide name of the center: _____
☐ an office building. Please provide name of the building: _____
☐ other. Please describe: _____

End of Application



Department of Planning & Zoning

Special Use Permit Application Checklist

Supplemental application for the following uses:

Automobile Oriented

Parking Reduction

✓ Signs

Substandard Lot

Lot modifications requested with SUP use

Interior Floor Plan

Include labels to indicate the use of the space (doors, windows, seats, tables, counters, equipment)

If Applicable

✓ Plan for outdoor uses

Contextual site image

✓ Show subject site, on-site parking area, surrounding buildings, cross streets



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations for

Single and Two-Family Residential Outside Historic Districts

A**A. Property Information**

A1. 2435 Ridge Road Drive R-8
Street Address Zone

A2. 6,214.00 x 0.35 = 2,174.90
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

| <u>Existing Gross Area</u> | | <u>Allowable Exclusions**</u> | | |
|----------------------------|---------------------------|-------------------------------|---------------------------|---------------------------------------|
| Basement | <input type="text"/> | Basement** | <input type="text"/> | B1. 0.00 <input type="text"/> Sq. Ft. |
| First Floor | <input type="text"/> | Stairways** | <input type="text"/> | Existing Gross Floor Area* |
| Second Floor | <input type="text"/> | Mechanical** | <input type="text"/> | B2. 0.00 <input type="text"/> Sq. Ft. |
| Third Floor | <input type="text"/> | Attic less than 7'*** | <input type="text"/> | Allowable Floor Exclusions** |
| Attic | <input type="text"/> | Porches** | <input type="text"/> | B3. 0.00 <input type="text"/> Sq. Ft. |
| Porches | <input type="text"/> | Balcony/Deck** | <input type="text"/> | Existing Floor Area Minus Exclusions |
| Balcony/Deck | <input type="text"/> | Garage** | <input type="text"/> | (subtract B2 from B1) |
| Garage | <input type="text"/> | Other*** | <input type="text"/> | |
| Other*** | <input type="text"/> | Other*** | <input type="text"/> | |
| B1. <u>Total Gross</u> | 0.00 <input type="text"/> | B2. <u>Total Exclusions</u> | 0.00 <input type="text"/> | |

Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

| <u>Proposed Gross Area</u> | | <u>Allowable Exclusions**</u> | | |
|----------------------------|-------------------------------|-------------------------------|-------------------------------|---|
| Basement | 1,156.00 <input type="text"/> | Basement** | 1,156.00 <input type="text"/> | C1. 4,628.00 <input type="text"/> Sq. Ft. |
| First Floor | 1,163.00 <input type="text"/> | Stairways** | 132.00 <input type="text"/> | Proposed Gross Floor Area* |
| Second Floor | 1,146.00 <input type="text"/> | Mechanical** | 28.00 <input type="text"/> | C2. 2,479.00 <input type="text"/> Sq. Ft. |
| Third Floor | <input type="text"/> | Attic less than 7'*** | 1,163.00 <input type="text"/> | Allowable Floor Exclusions** |
| Attic | 1,163.00 <input type="text"/> | Porches** | <input type="text"/> | C3. 2,149.00 <input type="text"/> Sq. Ft. |
| Porches | <input type="text"/> | Balcony/Deck** | <input type="text"/> | Proposed Floor Area Minus Exclusions |
| Balcony/Deck | <input type="text"/> | Garage** | <input type="text"/> | (subtract C2 from C1) |
| Garage | <input type="text"/> | Other*** | <input type="text"/> | |
| Other*** | <input type="text"/> | Other*** | <input type="text"/> | |
| C1. <u>Total Gross</u> | 4,628.00 <input type="text"/> | C2. <u>Total Exclusions</u> | 2,479.00 <input type="text"/> | |

Notes

*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

*** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

D. Total Floor Area

D1. 2,149.00 Sq. Ft.
Total Floor Area (add B3 and C3)

D2. 2,174.90 Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

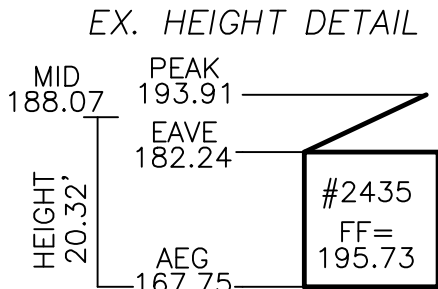
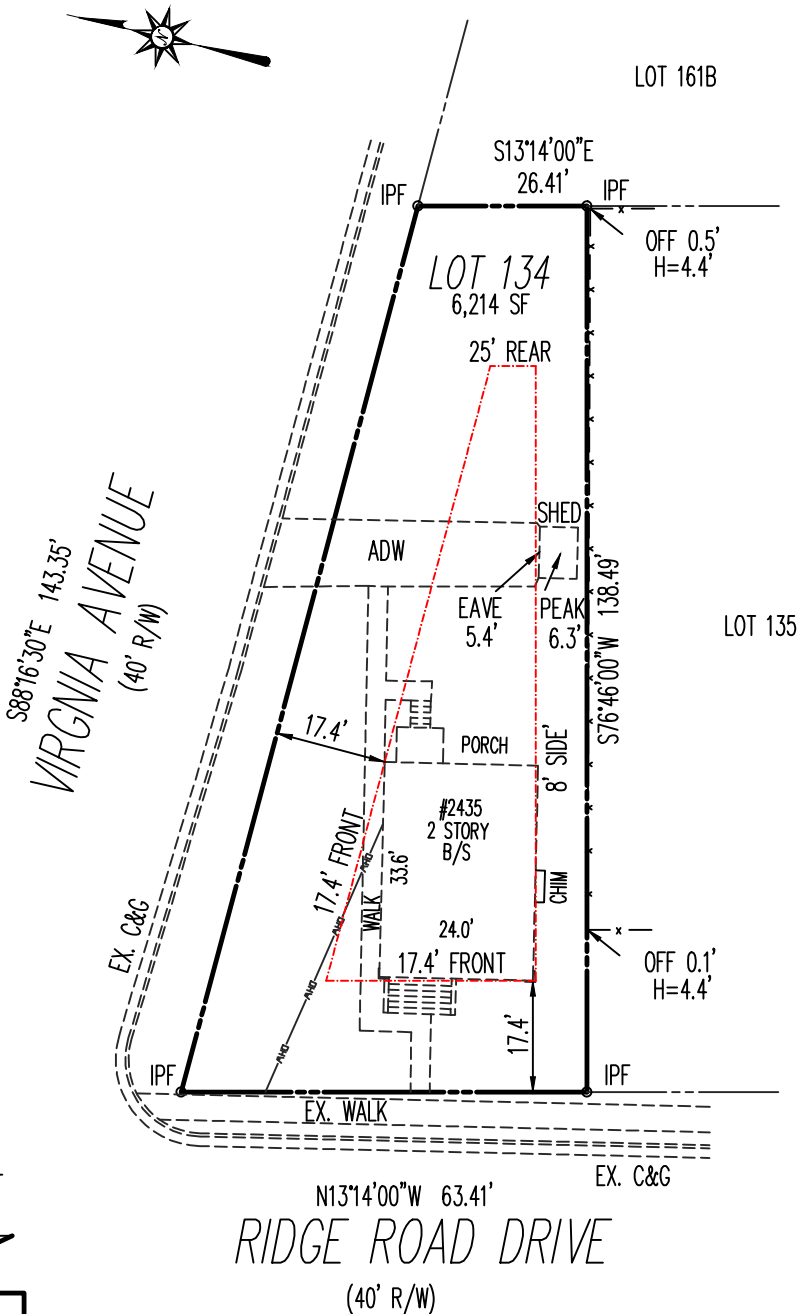
Signature: _____ Date: _____

LINE TYPES:

- BOUNDARY LINE
- EASEMENT
- DRIVEWAY/ROAD
- FENCING
- OVERHEAD WIRE
- STRUCTURE

LEGEND:

- ADW-ASPHALT DRIVEWAY
- B/S-BRICK & STUCCO
- CHIM-CHIMNEY
- IPF-IRON PIPE FOUND
- R/W-RIGHT-OF-WAY
- C&G-CURB & GUTTER



BLOCK STUDY: SUBJECT PROPERTY: 2435 RIDGE ROAD DRIVE (LOT 134)
BLOCK DESCRIPTION: RIDGE ROAD DRIVE AND INTERSECTION VIRGINIA AVENUE

| ADDRESS | GROUND ELEVATION | 1ST FLOOR THRESHOLD ELEVATION | BOTTOM OF ROOF ELEVATION | TOP OF ROOF ELEVATION | DISTANCE GROUND TO FIRST FLOOR | DISTANCE GROUND TO BOTTOM OF ROOF | DISTANCE GROUND TO TOP OF ROOF | SETBACK FROM FACE OF CURB |
|-----------------------|------------------|-------------------------------|--------------------------|-----------------------|--------------------------------|-----------------------------------|--------------------------------|---------------------------|
| #1000 VIRGINIA AVENUE | 201.45 | 204.27 | 221.07 | 231.34 | 2.82 | 19.62 | 29.89 | 36.51 |
| #1001 VIRGINIA AVENUE | 199.72 | 201.54 | 215.71 | 227.03 | 1.82 | 15.99 | 27.31 | 39.65 |
| #1002 VIRGINIA AVENUE | 197.78 | 201.29 | 211.77 | 223.32 | 3.51 | 13.99 | 25.54 | 45.00 |
| #2429 RIDGE ROAD | 191.02 | 194.67 | 203.48 | 217.25 | 3.65 | 12.46 | 26.23 | 35.87 |
| #2430 RIDGE ROAD | 188.04 | 190.18 | 208.16 | 220.74 | 2.14 | 20.12 | 32.70 | 83.15 |
| #2431 RIDGE ROAD | 191.60 | 195.40 | 203.50 | 216.63 | 3.80 | 11.90 | 25.03 | 35.73 |
| #2433 RIDGE ROAD | 191.91 | 195.65 | 210.02 | 217.09 | 3.74 | 18.11 | 25.18 | 34.26 |
| #2435 RIDGE ROAD | 192.26 | 195.57 | 206.75 | 218.42 | 3.31 | 14.49 | 26.16 | 25.61 |
| #2436 RIDGE ROAD | 189.74 | 191.73 | 208.37 | 221.13 | 1.99 | 18.63 | 31.39 | 56.41 |
| #2501 RIDGE ROAD | 193.61 | 195.31 | 211.55 | 219.42 | 1.70 | 17.94 | 25.81 | 63.63 |
| AVERAGE | 193.71 | 196.56 | 210.04 | 221.24 | 2.85 | 16.33 | 27.52 | 45.58 |

NOTES:

- TM #033.01-02-28
- ZONE: R-8 (RESIDENTIAL)
- R-8 RESIDENTIAL SETBACKS: FRONT = 30', SIDE = 25' (MIN. 8') REAR= 25' (MIN. 8')
- PROPERTY IS SERVED BY PUBLIC SEWER AND WATER.
- THERE ARE NO KNOWN GRAVES OR STRUCTURES MARKING A PLACE OF BURIAL ON THIS SITE.
- LOCATION AND WIDTH OF ALL EXISTING UTILITY EASEMENTS AND THE PRELIMINARY LOCATION(S) OF NEW OR RELOCATED UTILITIES ARE SHOWN.
- THIS SITE DOES NOT CONTAIN 100-YEAR FLOOD PLAIN OR RESOURCE PROTECTION AREA (RPA). SITE IS LOCATED ENTIRELY WITHIN THE RESOURCE MANAGEMENT AREA (RMA).
- NO ADDITIONAL LANDSCAPING OR SCREENING IS PROPOSED WITH THIS PLAN.



MERESTONE LAND SURVEYING PLLC
LAND SURVEYING & G.P.S. SERVICES
MERESTONE LAND SURVEYING PLLC
1229 GARRISONVILLE ROAD #105 STAFFORD VA 22556
(540)752-9197 FAX (540)752-9198

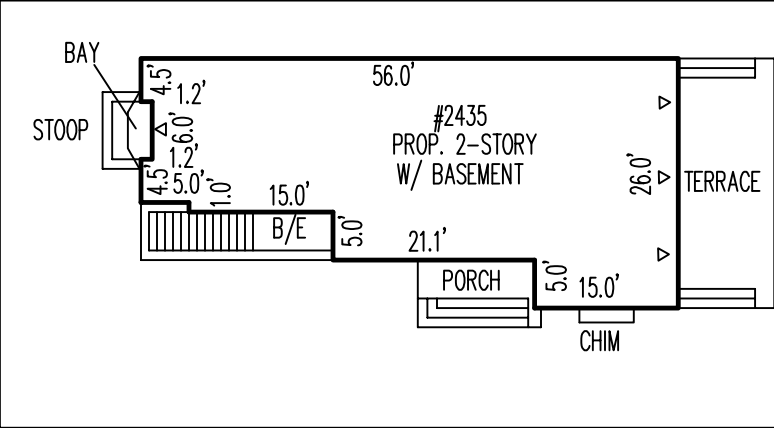
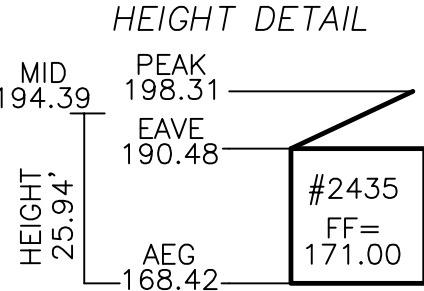
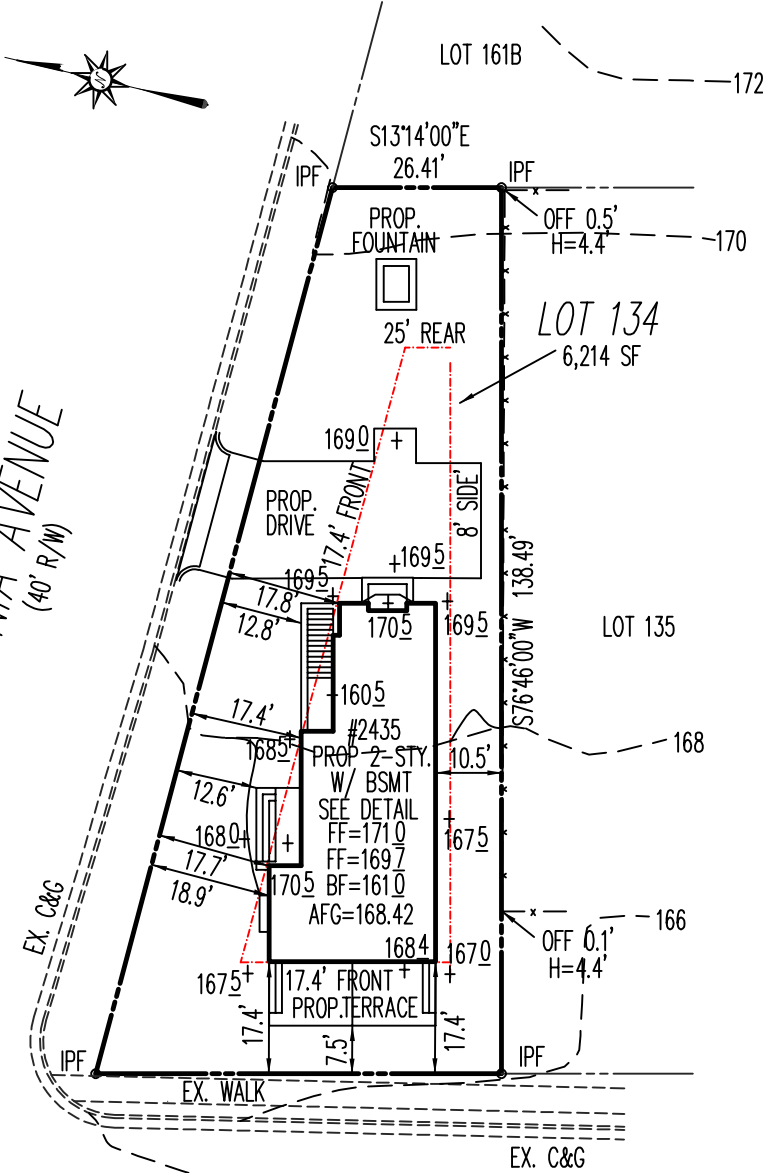
EXISTING
LOT 134 SECTION 2
BRADDOCK HEIGHTS
CITY OF ALEXANDRIA, VIRGINIA
SCALE 1"=30' DATE 06-29-22

LINE TYPES:

- BOUNDARY LINE
- EASEMENT
- DRIVEWAY/ROAD
- FENCING
- OVERHEAD WIRE
- STRUCTURE

LEGEND:

- ADW-ASPHALT DRIVEWAY
- B/S-BRICK & STUCCO
- CHIM-CHIMNEY
- IPF-IRON PIPE FOUND
- R/W-RIGHT-OF-WAY
- C&G-CURB & GUTTER



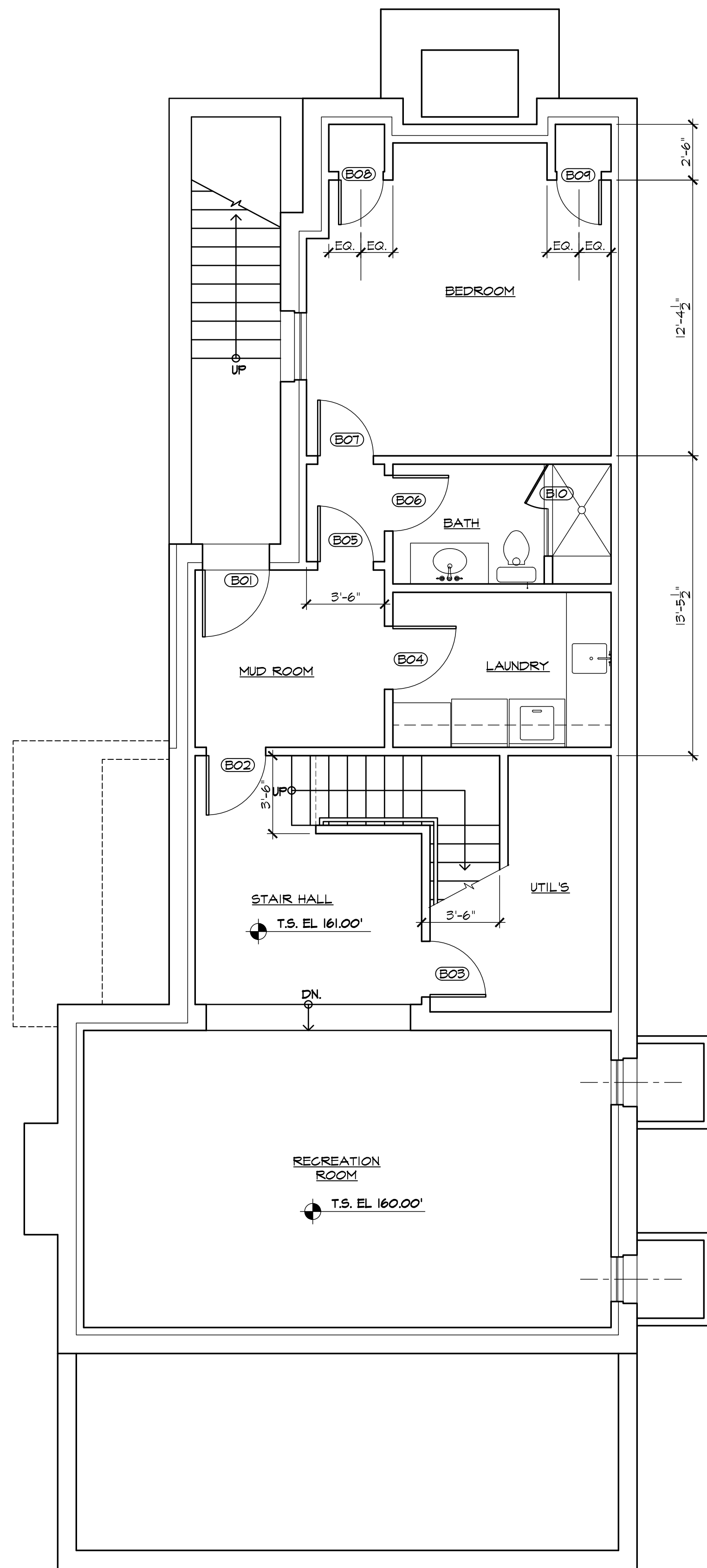
DWELLING DETAIL: 1"=20'



RIDGE ROAD DRIVE
(40' R/W)

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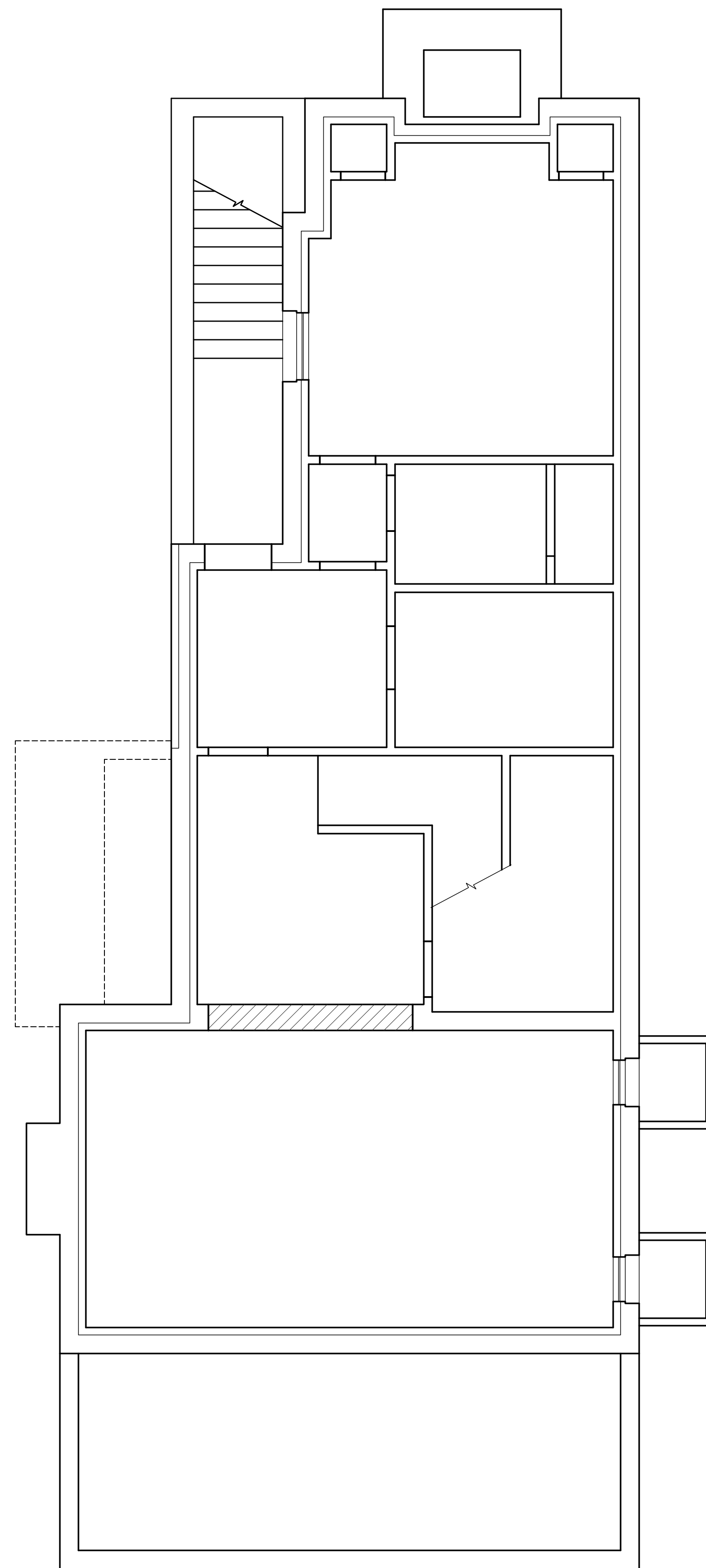
PROPOSED
LOT 134 SECTION 2
BRADDOCK HEIGHTS
CITY OF ALEXANDRIA, VIRGINIA
SCALE 1"=30' DATE 10-16-22



1
A200
CELLAR PLAN
SCALE: 1/4" = 1'-0"

| CONSTRUCTION PLAN LEGEND | |
|--------------------------|-----------------------|
| SYMBOL | DESCRIPTION |
| ■ | COLUMN |
| (XXX) | DOOR NUMBER |
| ↔ | ALIGN |
| ↔ (XXX) | NEW OR RELOCATED DOOR |

2
A200
CELLAR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



| REFLECTED CEILING PLAN LEGEND | |
|-------------------------------|------------------------------------|
| SYMBOL | DESCRIPTION |
| ▨ | DROP SOFFIT TO HEIGHT SPECIFIED |
| ▨ | SLOPED CEILING (UNDER STAIR ABOVE) |

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PROJECT

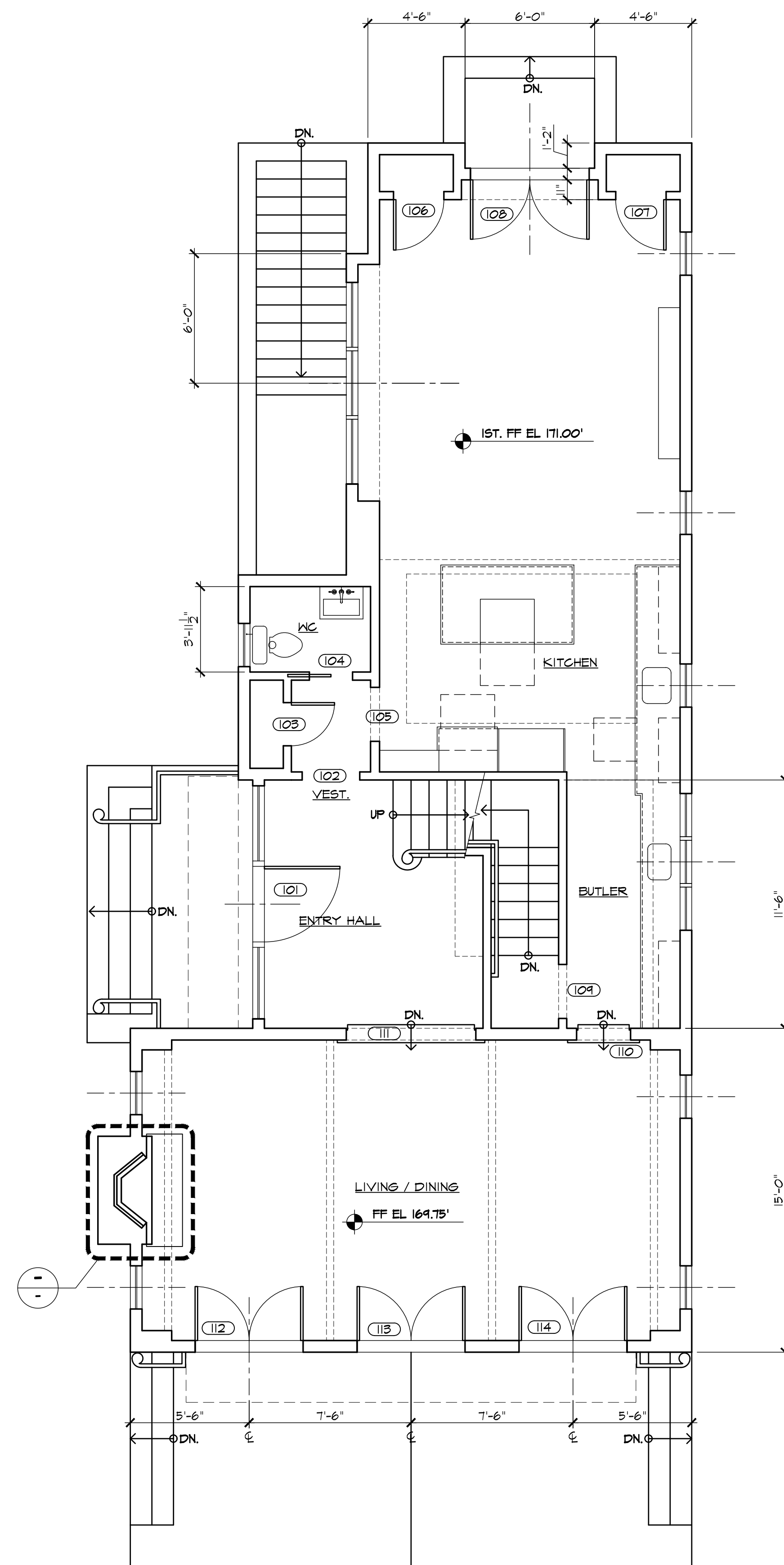
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CELLAR PLAN &
REFLECTED CEILING PLAN

SCALE AS NOTED
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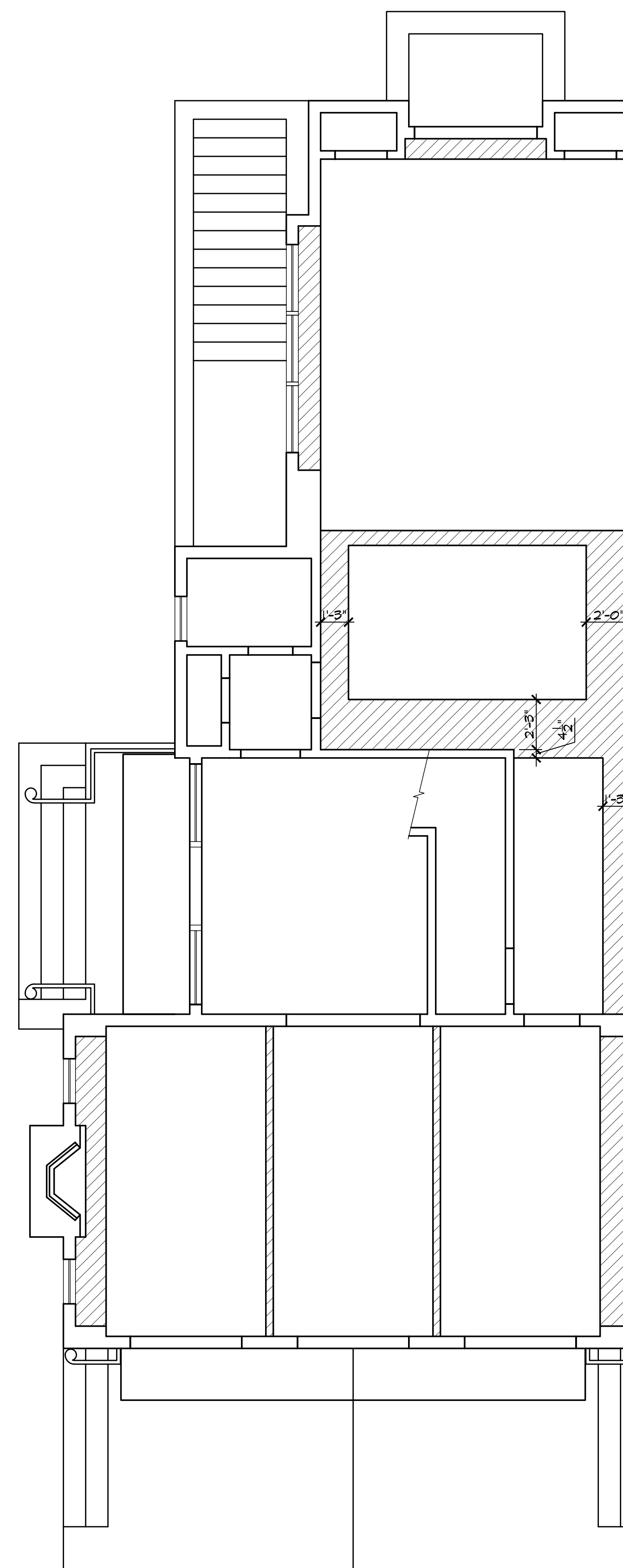
A200

XX OF XX



1
A201
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

| CONSTRUCTION PLAN LEGEND | |
|--------------------------|-----------------------|
| SYMBOL | DESCRIPTION |
| ■ | COLUMN |
| (XXX) | DOOR NUMBER |
| ↔ | ALIGN |
| ↔ (XXX) | NEW OR RELOCATED DOOR |



2
A201
FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

| REFLECTED CEILING PLAN LEGEND | |
|-------------------------------|------------------------------------|
| SYMBOL | DESCRIPTION |
| ▨ | DROP SOFFIT TO HEIGHT SPECIFIED |
| ▨ | SLOPED CEILING (UNDER STAIR ABOVE) |

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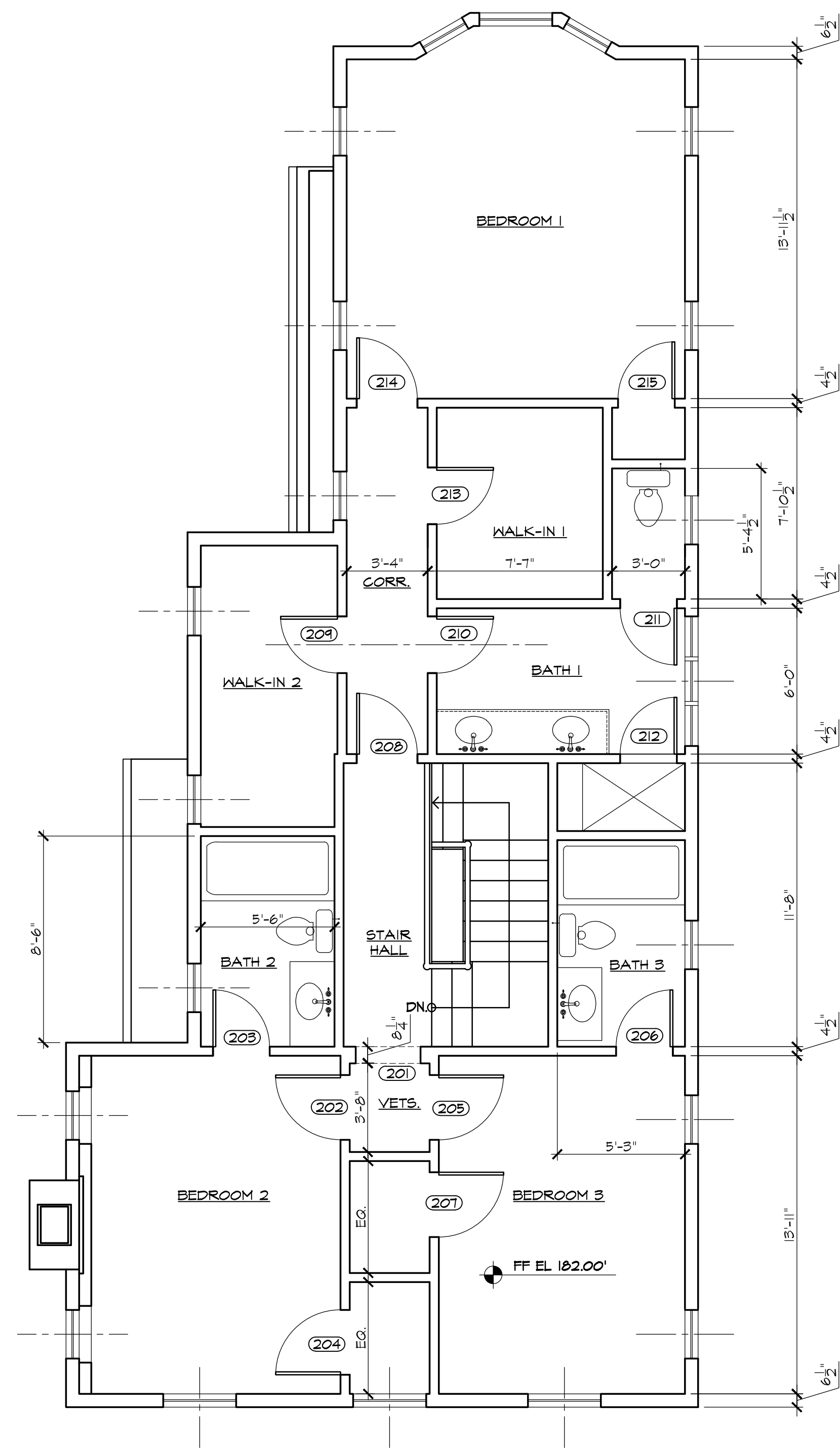
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FIRST FLOOR PLAN &
REFLECTED CEILING
PLAN

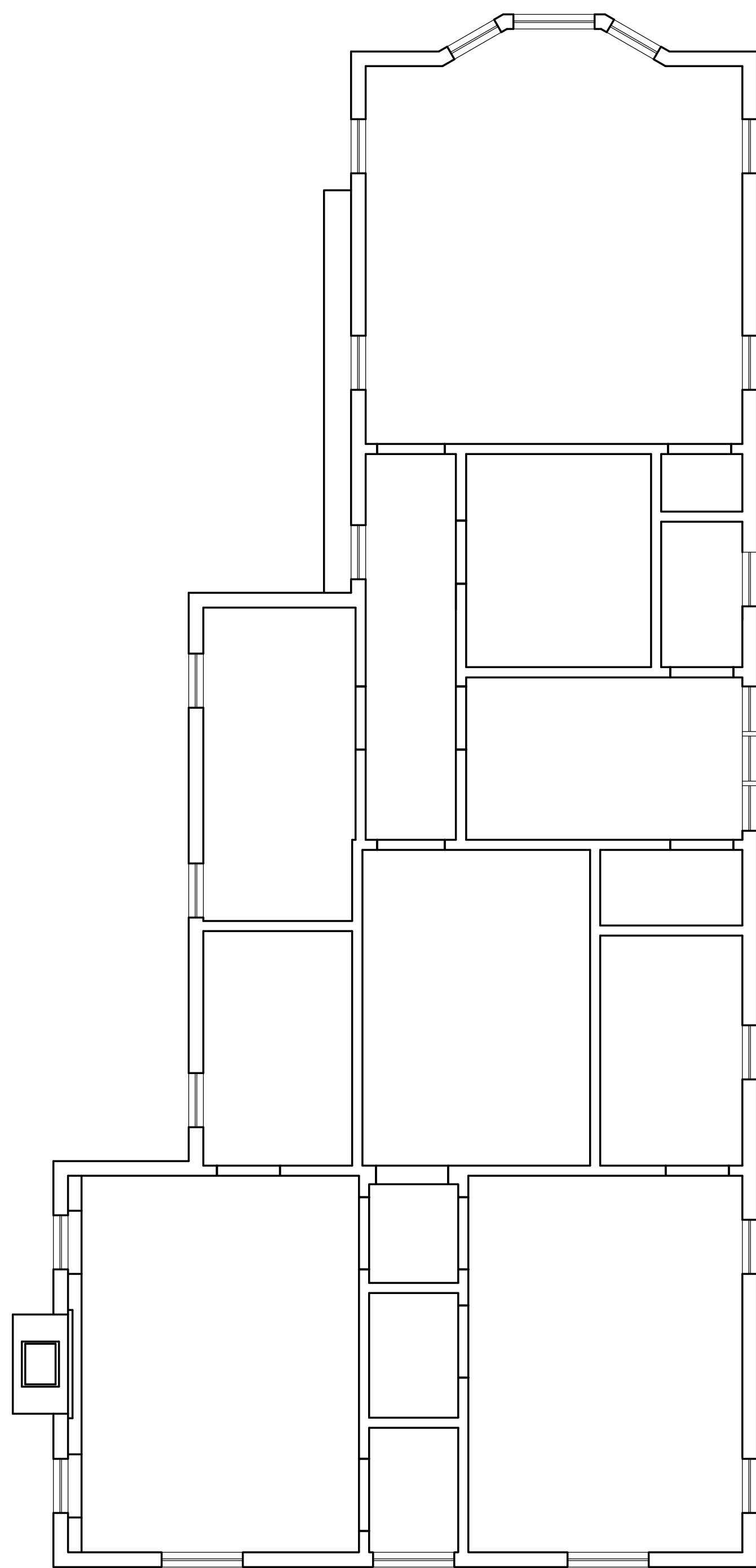
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A201



1
A202
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

| CONSTRUCTION PLAN LEGEND | |
|--------------------------|-------------------------|
| SYMBOL | DESCRIPTION |
| ■ | COLUMN |
| ▬ | NEW PARTITIONS |
| ▬ | EXISTING PARTITIONS |
| ⊗ | DOOR NUMBER |
| ↔ | ALIGN |
| ↔ | NEW OR RELOCATED DOOR |
| ↔ | EXISTING DOOR TO REMAIN |



1
A202
SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

| REFLECTED CEILING PLAN LEGEND | |
|-------------------------------|---|
| SYMBOL | DESCRIPTION |
| ▨ | DROP SOFFIT TO HEIGHT SPECIFIED |
| ▨ | EXIST. SLOPED CEILING (UNDER STAIR ABOVE) |

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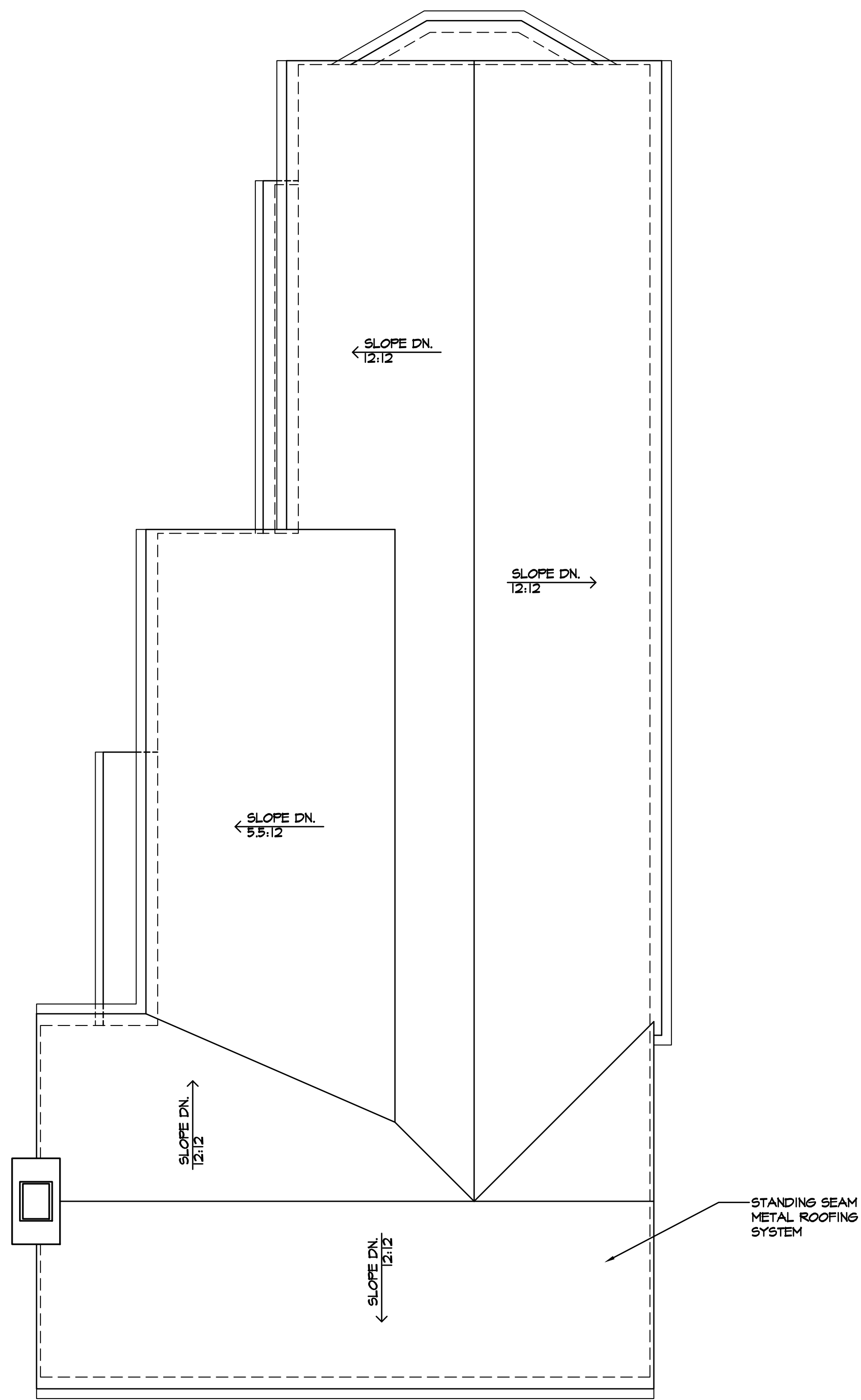
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SECOND FLOOR PLAN &
REFLECTED CEILING PLAN

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| SCALE | AS NOTED |
| SHEET | |

A202



ROOF PLAN
SCALE: 1/4" = 1'-0"

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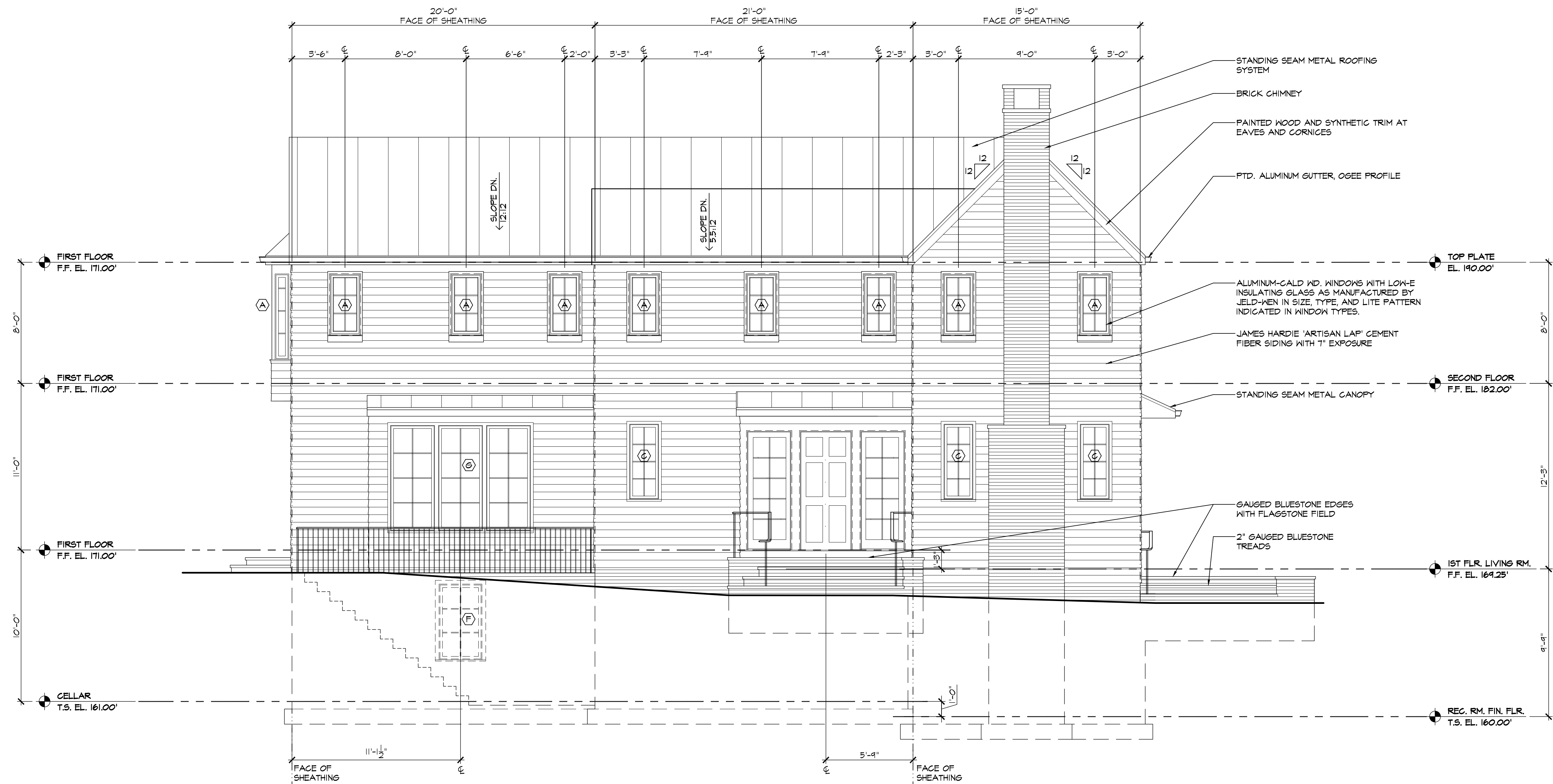
| ROOF PLAN | |
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A203

OF XX

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NORTH ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT

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| DATE | DESCRIPTION |
| xx/xx/xxxx | xxxx |
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NORTH ELEVATION

SCALE AS NOTED
SHEET

A301



1
A302 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT

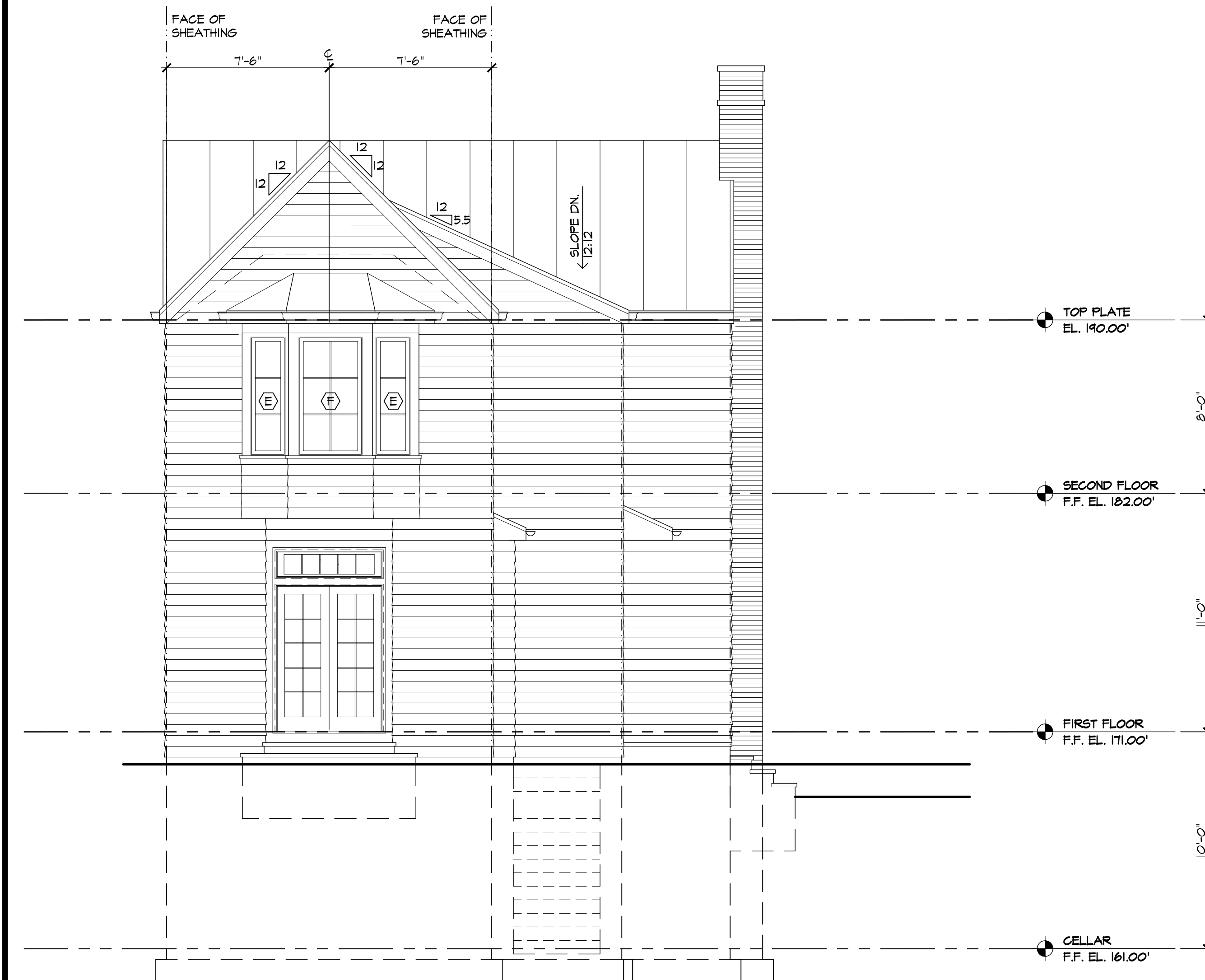
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SOUTH ELEVATION

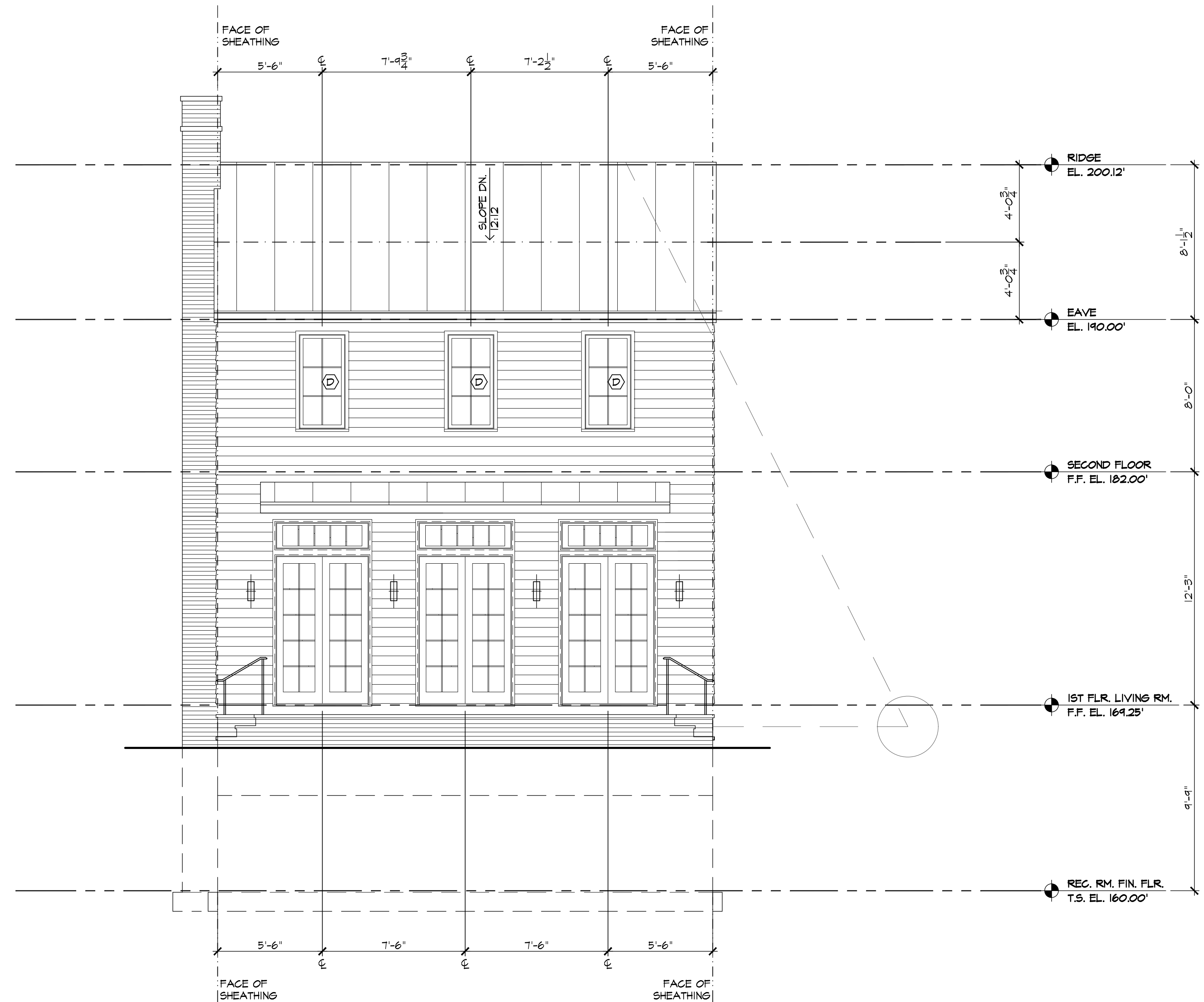
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| SHEET | |

A302

OF XX



1
A303 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2
A303 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT

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EAST & WEST ELEVATIONS

| SCALE | AS NOTED |
|-------|----------|
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A303

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PROJECT
2435 RIDGE ROAD DRIVE
ALEXANDRIA, VA 22302

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| DATE | DESCRIPTION |
| xx/xx/xxxx | xxxx |
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| NORTH ELEVATION | |
|-----------------|----------|
| SCALE | AS NOTED |
| SHEET | |

A301P
OF XX



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1
A302 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT
2435 RIDGE ROAD DRIVE
ALEXANDRIA, VA 22302

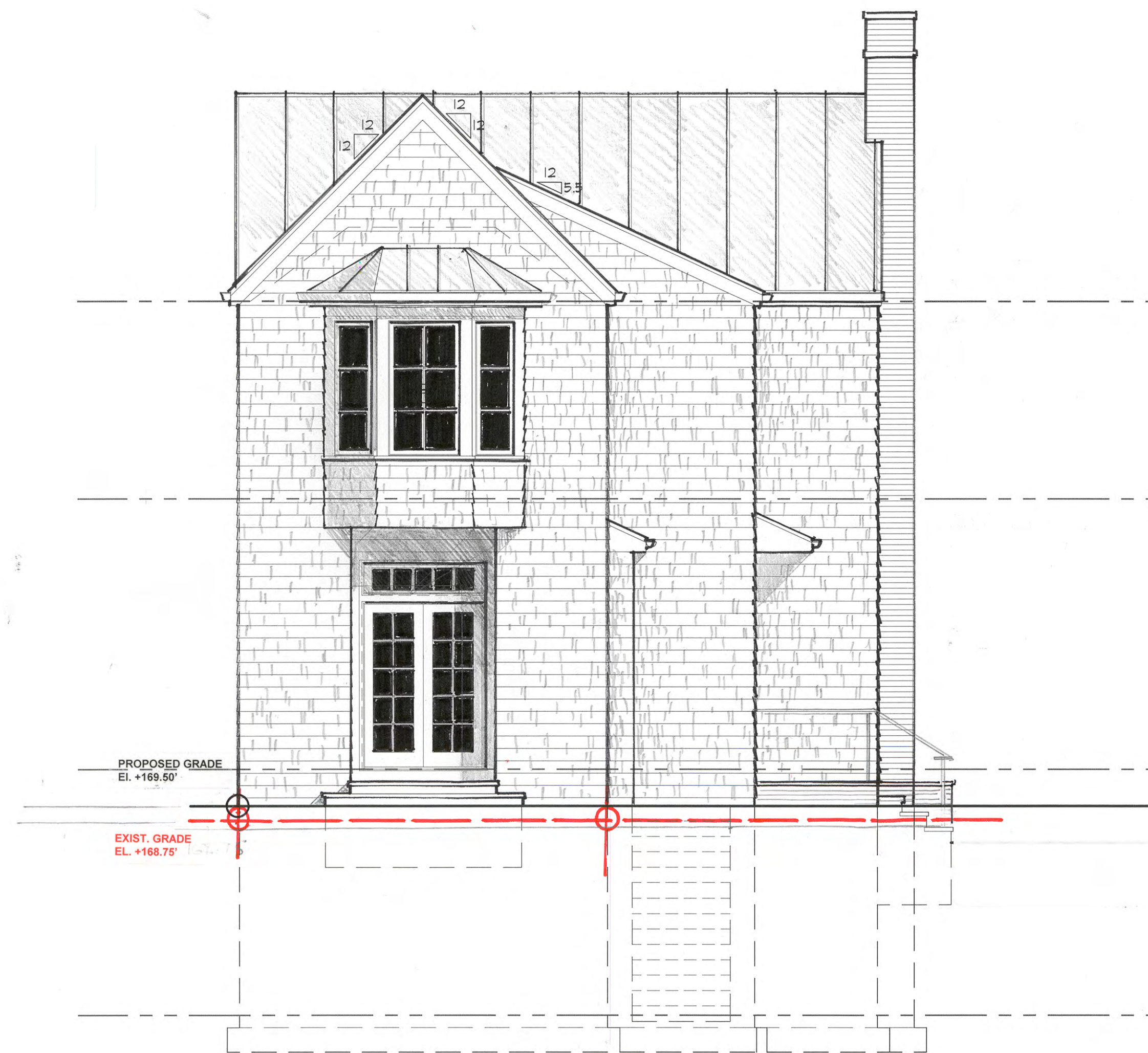
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SOUTH ELEVATION

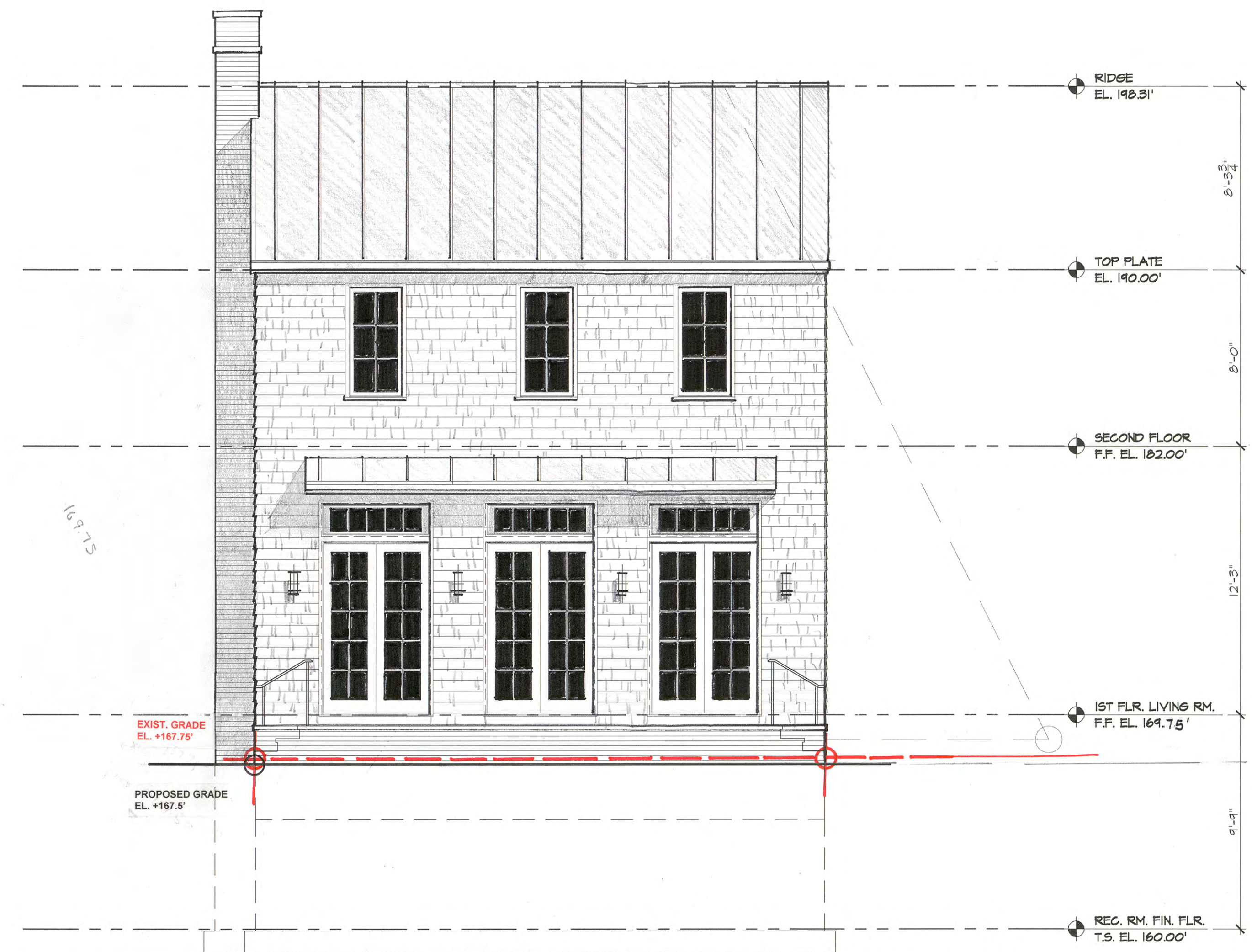
SCALE AS NOTED
SHEET

A302P

OF XX



1
A303 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2
A303 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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License # 040101100,
Expiration date: 4-30-2022

PROJECT
2435 RIDGE ROAD DRIVE
ALEXANDRIA, VA 22302

| ISSUED | |
|----------------|-------------|
| DATE | DESCRIPTION |
| xxxx/xxxx/xxxx | xxxx |
| | |
| | |
| | |
| | |
| | |

EAST & WEST ELEVATIONS

SCALE AS NOTED
SHEET

A303P

OF XX

FREDERICK TAYLOR, AIA
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WASHINGTON DC, 20017
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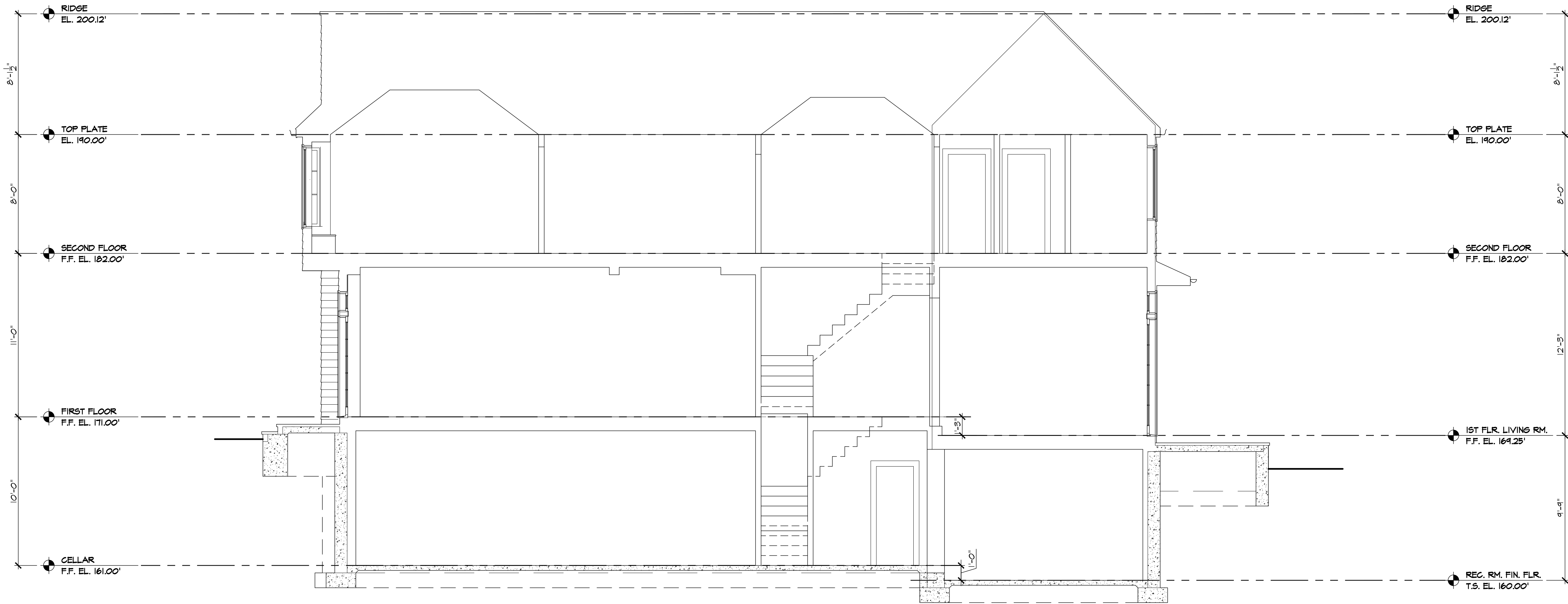
| ISSUED | |
|------------|-------------|
| DATE | DESCRIPTION |
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BUILDING SECTION:
LOOKING SOUTH

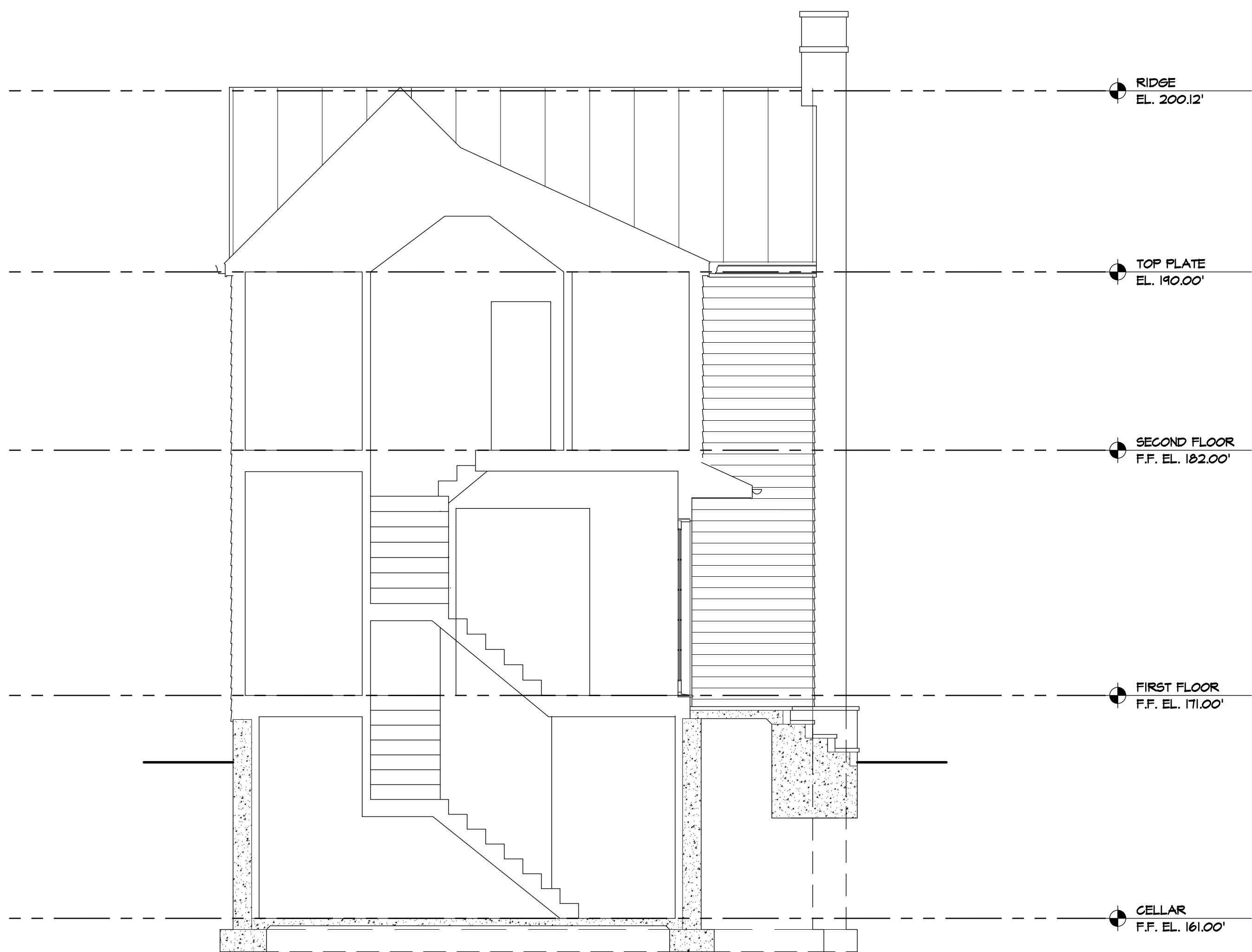
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| SCALE | AS NOTED |
| SHEET | |

A401

OF XX



BUILDING SECTION: LOOKING SOUTH
SCALE: 1/4" = 1'-0"



BUILDING SECTION: LOOKING WEST
SCALE: 1/4" = 1'-0"

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Cell: (202) 277-8087
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PROFESSIONAL CERTIFICATION:
I hereby certify that these documents were
prepared or approved by me, and that I am
a duly licensed Professional Architect under
the laws of the Commonwealth of Virginia.
License # 040101100,
Expiration date: 4-30-2022

PROJECT

| ISSUED | |
|------------|-------------|
| DATE | DESCRIPTION |
| xx/xx/xxxx | xxxx |
| | |
| | |
| | |
| | |
| | |

BUILDING SECTION:
LOOKING WEST

| | |
|-------|----------|
| SCALE | AS NOTED |
| SHEET | |

A402

OF XX

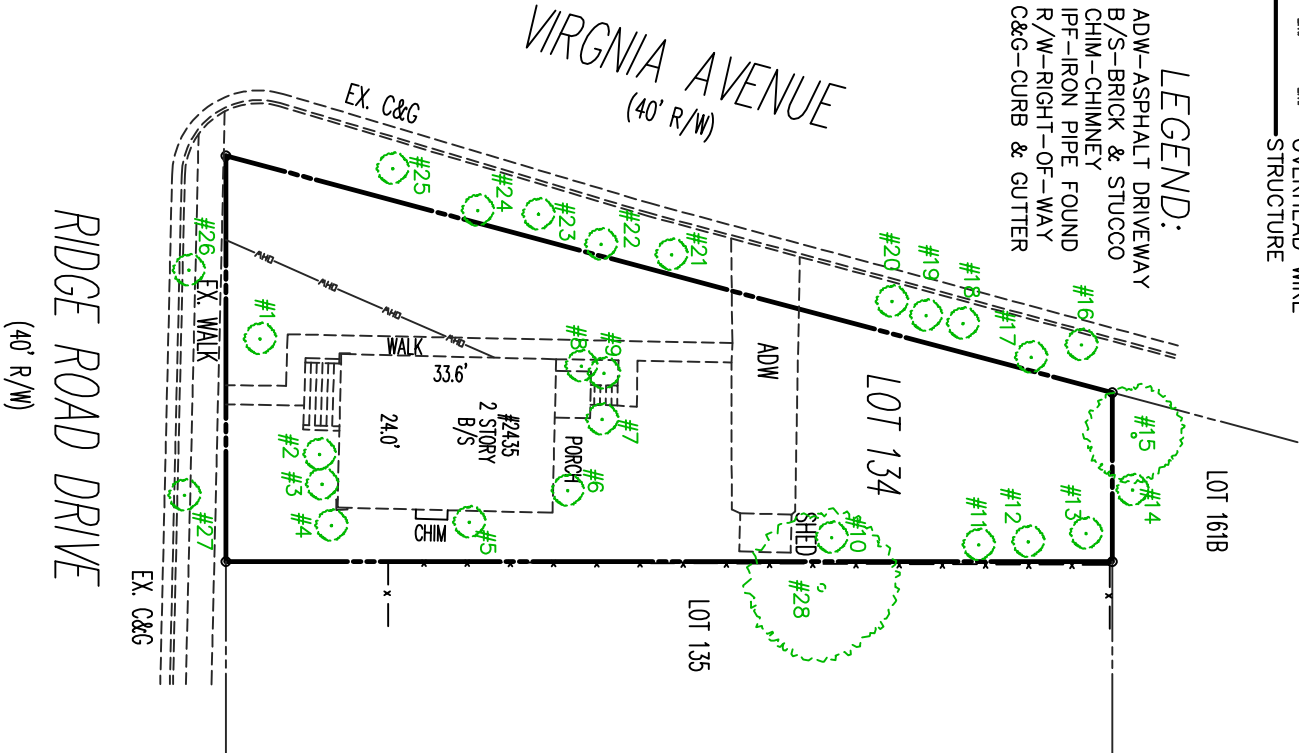
LINE TYPES:

- BOUNDARY LINE
- EASEMENT
- DRIVEWAY/ROAD
- FENCING
- OVERHEAD WIRE
- STRUCTURE



LEGEND:

- ADW- ASPHALT DRIVEWAY
- B/S- BRICK & STUCCO
- CHIM- CHIMNEY
- IPF- IRON PIPE FOUND
- R/W- RIGHT-OF-WAY
- C&G- CURB & GUTTER



Tree List for 2435 Ridge Road Dr., Alexandria, VA

Prepared by Bill Becker, ISA Certified Arborist # MA-0216 January 6, 2023

Lot size = 6,214 s. f. requiring 1,554 s. f. tree canopy. Existing tree canopy = 400 s. f. Preserved tree canopy = 0 s. f.

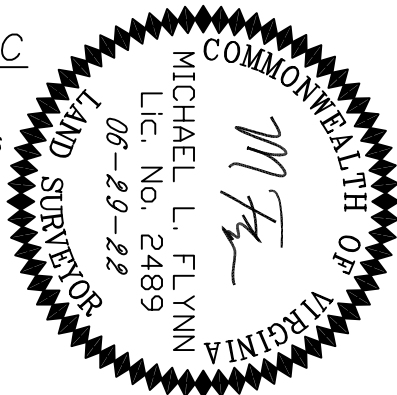
N denotes neighbor's tree. R denotes City Right of Way tree. J denotes jointly owned tree. * denotes not counted for credit.

| Tree # | Common Name | DBH | Height | Health | Comments/Condition | Preservation Measures | Canopy Sq. Ft. |
|--------|--|-------|--------|--------|--------------------|--|----------------|
| 1 | Flowering Dogwood Cornus florida | 3" | 80 | | | Remove - within limits of disturbance. | N/A |
| 2 | Azalea Rhododendron occidentalis | 3' | 75 | | | Remove - within limits of disturbance. | N/A |
| 3 | Azalea Rhododendron occidentalis | 4' | 75 | | | Remove - within limits of disturbance. | N/A |
| 4 | Camellia Camellia sinenses | 6' | 75 | | | Remove - within limits of disturbance. | N/A |
| 5 | Forsythia Forsythia suspense | 5' | 75 | | | Remove - within limits of disturbance. | N/A |
| 6 | Rose of Sharon Hibiscus syriacus | 12" | 75 | | | Remove - within limits of disturbance. | N/A |
| 7-9 | Forsythia Forsythia suspense | 5' | 75 | | | Remove - within limits of disturbance. | N/A |
| 10 | Evergreen Magnolia Magnolia grandiflora | 3" | 75 | | | Remove - within limits of disturbance. | N/A |
| 11 | Honeysuckle Bush Lonicera maackii | 12' | 75 | | | Remove - within limits of disturbance. | N/A |
| 12 | Flowering Dogwood Cornus florida | 3" | 75 | | | Remove - within limits of disturbance. | N/A |
| 13 | Crape Myrtle Lagerstroemia | 8x3" | 75 | | | Remove - within limits of disturbance. | N/A |
| 14N | Euonymus Euonymus Japonicus | 4' | 75 | | | Save - install protective fence. | N/A |
| 15N | River Birch Betula nigra | 3x8" | 75 | | | Save - install protective fence. | N/A |
| 16R | Kwanzan Cherry Prunus kwanzan | 3" | 75 | | | Save - install protective fence. | N/A |
| 17R | Saucer Magnolia Magnolia soulangiana | 2x8" | 55 | | | Save - install protective fence. | N/A |
| 18R | Honeysuckle Bush Lonicera maackii | 8' | 75 | | | Save - install protective fence. | N/A |
| 19R | Rose of Sharon Hibiscus syriacus | 8' | 75 | | | Save - install protective fence. | N/A |
| 20R | Forsythia Forsythia suspense | 5' | 75 | | | Save - install protective fence. | N/A |
| 21R | Forsythia Forsythia suspense | 5' | 75 | | | Save - install protective fence. | N/A |
| 22R | Weeping Cherry Prunus subhirtella | 7" | 75 | | | Save - install protective fence. | N/A |
| 23R | Kwanzan Cherry Prunus kwanzan | 5" | 75 | | | Save - install protective fence. | N/A |
| 24R | River Birch Betula nigra | 3x4" | 75 | | | Save - install protective fence. | N/A |
| 25R | Kwanzan Cherry Prunus kwanzan | 5" | 75 | | | Save - install protective fence. | N/A |
| 26R | Crape Myrtle Lagerstroemia | 5x2" | 65 | | | Save - install protective fence. | N/A |
| 27R | Crape Myrtle Lagerstroemia | 4x2" | 75 | | | Save - install protective fence. | N/A |
| 28N | Redbud Cercis canadensis | 2x12" | 65 | | | Save - install protective fence. | N/A |

MERESTONE LAND SURVEYING PLLC

LAND SURVEYING & G.P.S. SERVICES

MERESTONE LAND SURVEYING PLLC
1229 GARRISONVILLE ROAD #105 STAFFORD VA 22556
(540)752-9197 FAX (540)752-9198



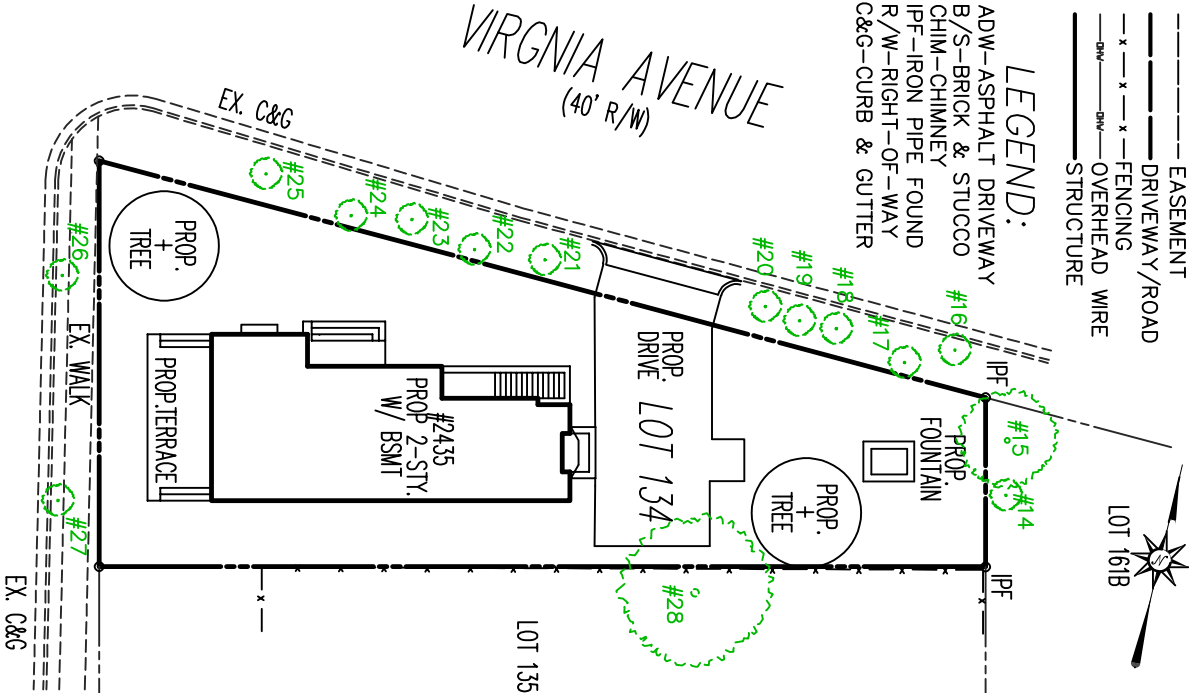
TREE SURVEY
LOT 134 SECTION 2
BRADDOCK HEIGHTS
CITY OF ALEXANDRIA, VIRGINIA
SCALE 1"=30' DATE 06-29-22

LINE TYPES:

- BOUNDARY LINE
- EASEMENT
- DRIVEWAY/ROAD
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- STRUCTURE

LEGEND:

- ADW-ASPHALT DRIVEWAY
- B/S-BRICK & STUCCO
- CHIM-CHIMNEY
- IPF-IRON PIPE FOUND
- R/W-RIGHT-OF-WAY
- C&G-CURB & GUTTER



| CROWN COVER TABULATIONS | |
|-----------------------------------|-------|
| TOTAL SITE AREA (SF) | 6,214 |
| 25% CROWN COVER REQUIRED (SF) | 1,554 |
| EXISTING CROWN COVER (SF) | 400 |
| REMOVED CROWN COVER (SF) | 400 |
| PRESERVED CROWN COVER (SF) | 0 |
| Crown Cover from Preserved Trees | 0 |
| Crown Cover from Preserved Shrubs | 0 |
| PROPOSED CROWN COVER (SF) | 2,000 |
| Crown Cover from Proposed Trees | 0 |
| Crown Cover from Proposed Shrubs | 32.0% |
| TOTAL CROWN COVER PROVIDED (%) | 2,000 |
| TOTAL CROWN COVER PROVIDED (SF) | |

Becker Landscaping & Tree Service
10698 Moore Dr.
Manassas, Va. 20111
703-330-5204

Narrative of Tree Preservation
2435 Ridge Road Dr., Alexandria, Va.

- All tree preservation activities shall be done according to the City Landscape Guidelines and meet current industry standards as specified by the International Society of Arboriculture and the American National Standards Institute.
- Excavation and demolition shall occur. Prior to this tree protective fence shall be installed. Signs shall be placed every 50' indicating the tree protection areas. No activity, materials or equipment shall go beyond the tree protective fence which shall remain in place until completion of construction.
- The canopy coverage requirements will be met through the planting of trees.
- There are no invasive plants in preservation areas.
- There are no "Heritage", "Specimen", "Memorial" or "Street" trees on this lot or neighboring lots.

Bill Becker
ISA Certified Arborist # MA - 0216A
January 6, 2023

| BIODIVERSITY TABULATIONS | | | | | |
|-----------------------------------|------|---------------------------|-------------------------|-------------|------|
| TREES (URBAN AND STANDARD) | | | | | |
| TOTAL NUMBER OF TREES PROPOSED: 2 | | | | | |
| GENUS | QTY. | PERCENT OF TOTAL PROPOSED | MAXIMUM PERCENT ALLOWED | SPECIES | QTY. |
| Quercus | 1 | 50.0% | 50% | alba | 1 |
| Gleditsia | 1 | 50.0% | 50% | triacanthos | 1 |

| NATIVE PLANT TABULATIONS | | | | | | | | | | | |
|---------------------------------------|----------|----------------|---|--|----------|-----------------------------------|----------------------------|------|---------------------------|-----------------------------------|-----|
| | | | MARCH 2, 2019 – JANUARY 1, 2020 | | | JANUARY 2, 2020 – JANUARY 1, 2024 | | | BEGINNING JANUARY 2, 2024 | | |
| PLANT TYPE | QUANTITY | NATIVE TYPE | REQUIRED | | PROVIDED | | REQUIRED | | PROVIDED | | |
| | | | % | | QTY. | % | % | QTY. | % | QTY. | % |
| Urban Trees | 0 | Regional/Local | 10% | | | | 15% | | | 20% | |
| | | Total Natives | 25% | | | | 25% | | | 50% | |
| | | Regional/Local | 15% | | | | 25% | | | 40% | |
| Standard Trees | 2 | Total Natives | 40% | | | | 60% | 2 | 100 | 80% | |
| | | Regional/Local | 5% | | | | 8% | | | 10% | |
| | | Total Natives | 20% | | | | 30% | | | 40% | |
| Shrubs | 0 | Regional/Local | 10% | | | | 15% | | | 20% | |
| | | Total Natives | 40% | | | | 60% | | | 80% | |
| | | Regional/Local | 5% | | | | 10% | | | 10% | |
| Groundcovers | | Total Natives | 10% | | | | 20% | | | 20% | |
| | | | | | | | | | | | |
| | | | | | | | | | | | |
| Perennials, Ferns, Ornamental Grasses | | Regional/Local | 10% | | | | 15% | | | 25% (perennial) (ferns & grasses) | 30% |
| | | Total Natives | 25% | | | | 40% | | | 60% (perennial) (ferns & grasses) | 80% |
| | | Total Natives | 80% | | | | 100% | | | 100% | |
| TOTALS | | | | | | | | | | | |
| TOTAL PLANTS SPECIFIED | | | TOTAL SUM OF REGIONAL/LOCAL NATIVE PLANTS | | | | TOTAL SUM OF NATIVE PLANTS | | | | |
| 2 | | | 2 | | | | 2 | | | | |
| 100.0% | | | 100.0% | | | | 100.0% | | | | |

20 ft

2435 Ridge Road Drive
CONTEXT
PHOTOGRAPHS

Taken July 14, 2022



1000 Virginia Avenue

| | |
|---|---------|
| Ground elevation: | 176.94' |
| 1 st flr. Threshold elevation: | 179.73' |
| Bottom of roof elevation: | 196.56' |
| Top of roof elevation: | 206.83 |

| | |
|----------------------------------|--------|
| Ground to 1 st floor: | 2.82' |
| Ground to bottom of roof: | 19.62' |
| Ground to top of roof: | 29.89' |
| Setback from curb: | 35.61' |



1001 Virginia Avenue

| | |
|---|---------|
| Ground elevation: | 175.21' |
| 1 st flr. Threshold elevation: | 177.03' |
| Bottom of roof elevation: | 191.20' |
| Top of roof elevation: | 202.52' |

| | |
|----------------------------------|--------|
| Ground to 1 st floor: | 1.82' |
| Ground to bottom of roof: | 15.99' |
| Ground to top of roof: | 27.31' |
| Setback from curb: | 39.65' |



1002 Virginia Avenue

| | |
|---|---------|
| Ground elevation: | 173.27' |
| 1 st flr. Threshold elevation: | 177.03' |
| Bottom of roof elevation: | 187.26' |
| Top of roof elevation: | 198.81' |

| | |
|----------------------------------|--------|
| Ground to 1 st floor: | 3.51' |
| Ground to bottom of roof: | 13.99' |
| Ground to top of roof: | 25.54' |
| Setback from curb: | 45.00' |



2429 Ridge Road Drive

| | |
|---|---------|
| Ground elevation: | 166.51' |
| 1 st flr. Threshold elevation: | 170.16' |
| Bottom of roof elevation: | 178.97' |
| Top of roof elevation: | 192.74' |

| | |
|----------------------------------|--------|
| Ground to 1 st floor: | 3.65' |
| Ground to bottom of roof: | 12.46' |
| Ground to top of roof: | 26.23' |
| Setback from curb: | 35.87' |



2430 Ridge Road Drive

| | |
|---|---------|
| Ground elevation: | 163.53' |
| 1 st flr. Threshold elevation: | 165.67' |
| Bottom of roof elevation: | 183.65' |
| Top of roof elevation: | 196.23' |

| | |
|----------------------------------|--------|
| Ground to 1 st floor: | 2.14' |
| Ground to bottom of roof: | 20.12' |
| Ground to top of roof: | 32.70' |
| Setback from curb: | 83.15' |



2431 Ridge Road Drive

| | |
|---|---------|
| Ground elevation: | 167.09' |
| 1 st flr. Threshold elevation: | 170.89' |
| Bottom of roof elevation: | 178.99 |
| Top of roof elevation: | 192.12' |

| | |
|----------------------------------|--------|
| Ground to 1 st floor: | 3.80' |
| Ground to bottom of roof: | 11.90' |
| Ground to top of roof: | 25.03" |
| Setback from curb: | 35.73' |



2433 Ridge Road Drive

| | |
|---|---------|
| Ground elevation: | 167.40' |
| 1 st flr. Threshold elevation: | 171.14' |
| Bottom of roof elevation: | 185.51' |
| Top of roof elevation: | 192.58' |
| | |
| Ground to 1 st floor: | 3.74' |
| Ground to bottom of roof: | 18.11' |
| Ground to top of roof: | 25.18' |
| Setback from curb: | 34.26' |



2435 Ridge Road Drive (existing)

| | |
|---|---------|
| Ground elevation: | 167.75' |
| 1 st flr. Threshold elevation: | 171.06' |
| Bottom of roof elevation: | 182.24' |
| Top of roof elevation: | 193.91' |

| | |
|----------------------------------|--------|
| Ground to 1 st floor: | 3.31' |
| Ground to bottom of roof: | 14.49' |
| Ground to top of roof: | 28.16' |
| Setback from curb: | 25.61' |



2436 Ridge Road Drive

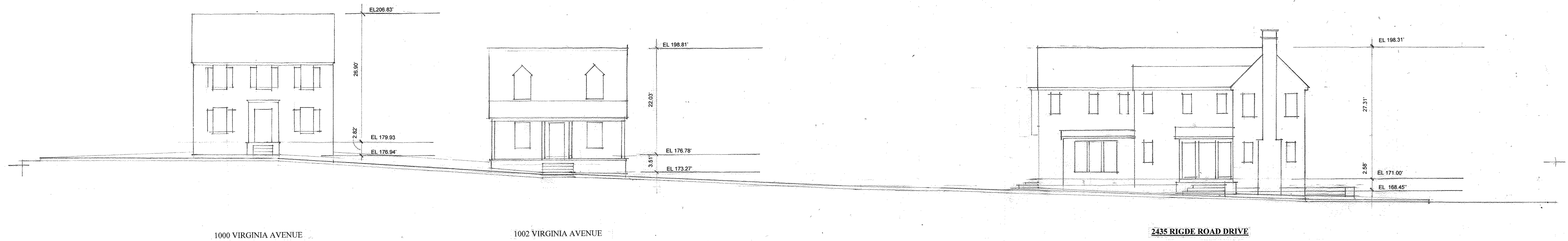
| | |
|---|---------|
| Ground elevation: | 165.23' |
| 1 st flr. Threshold elevation: | 167.22" |
| Bottom of roof elevation: | 183.86' |
| Top of roof elevation: | 196.62' |

| | |
|----------------------------------|--------|
| Ground to 1 st floor: | 1.99' |
| Ground to bottom of roof: | 18.63' |
| Ground to top of roof: | 31.39' |
| Setback from curb: | 56.41' |



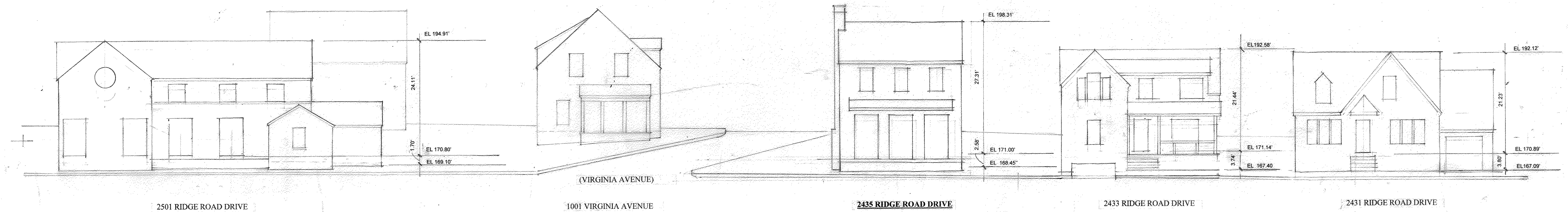
2501 Ridge Road Drive

| | |
|---|---------|
| Ground elevation: | 169.10' |
| 1 st flr. Threshold elevation: | 170.80' |
| Bottom of roof elevation: | 187.04' |
| Top of roof elevation: | 194.91' |
| | |
| Ground to 1 st floor: | 1.70' |
| Ground to bottom of roof: | 17.94' |
| Ground to top of roof: | 25.81' |
| Setback from curb: | 63.63' |



VIRGINIA AVENUE STREET ELEVATION (SOUTH SIDE)

1" = 10'-0"



RIDGE ROAD DRIVE STREET ELEVATION (EAST SIDE)

1" = 10'-0"

FREDERICK TAYLOR, AIA
1433 OTIS STREET NE
WASHINGTON DC, 20017
(202) 635-8087 / (202) 277-8087
www.chevyCHASEARCHITECT.COM

2435 RIDGE ROAD DRIVE
ALEXANDRIA, VA 22302

TIMBER BRANCH PROPERTIES LLC
690 WEST TIMBER BRANCH PARKWAY
ALEXANDRIA, VIRGINIA 22302
(202) 422-5666 tbpllc@icloud.com