

**ISSUE:** Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for an addition

**APPLICANT:** 215 NP Spec LLC

**LOCATION:** Parker-Gray District  
215 North Payne Street

**ZONE:** CRMU-M/Commercial residential mixed use (medium)

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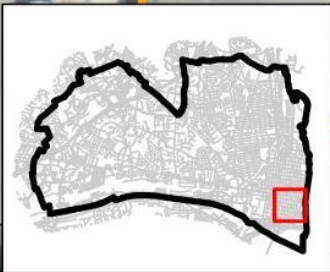
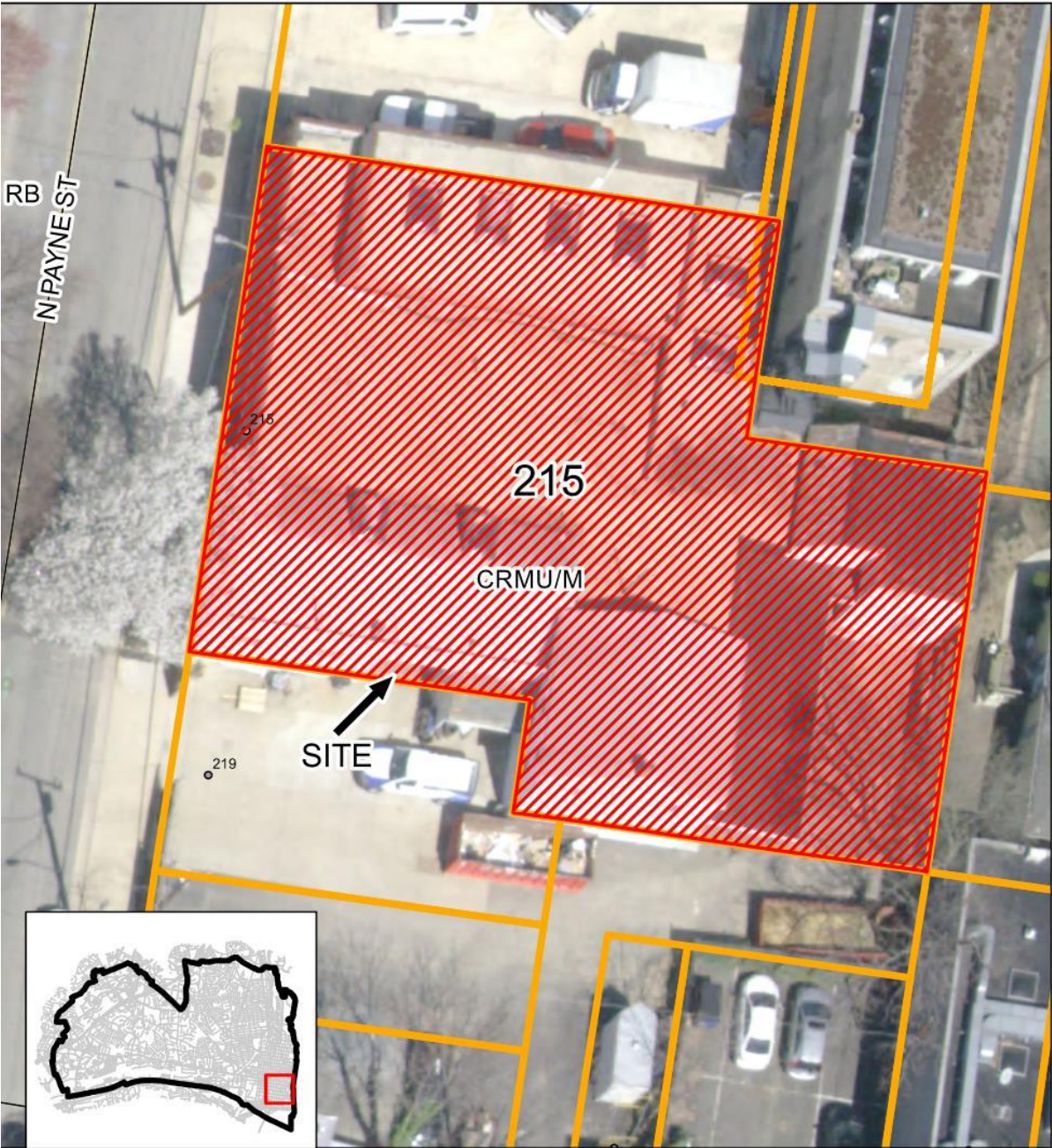
**STAFF RECOMMENDATION**

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for an addition with the following conditions:

1. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
2. The applicant/developer shall not allow any metal detection to be conducted on the property, or allow independent parties to collect or excavate artifacts, unless authorized by Alexandria Archaeology.

**GENERAL NOTES TO THE APPLICANT**

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



**BAR #2023-00107 & BAR #2023-00111**  
**215 N Payne Street**



0    10    20    40 Feet

**Note:** Staff coupled the applications for a Permit to Demolish (BAR #2023-00111) and Certificate of Appropriateness (BAR #2021-00107) for clarity and brevity. The Permit to Demolish requires a roll call vote.

## I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to encapsulate a portion of an existing exterior wall to create a one-room, one-story conference room, at 215 North Payne Street.

### Permit to Demolish/Capsulate

In enclosing the area to create this conference room, approximately 24' of the 9'6" tall wall will be encapsulated for a maximum total of 228 square feet of encapsulation. Additionally, a large existing opening on the west elevation will be filled with brick to match the existing brick.

### Certificate of Appropriateness

The applicant proposes to create a conference room off the south elevation measuring slightly less than 24' wide by 14'7.5" deep. An existing open entrance on the west/street elevation will be closed, and an 18" brick wall with windows above will complete the other two sides of the room. Entrance to the room will be provided by a door on its east elevation. See Figure 1 for plan and Figure 2 for rendering.

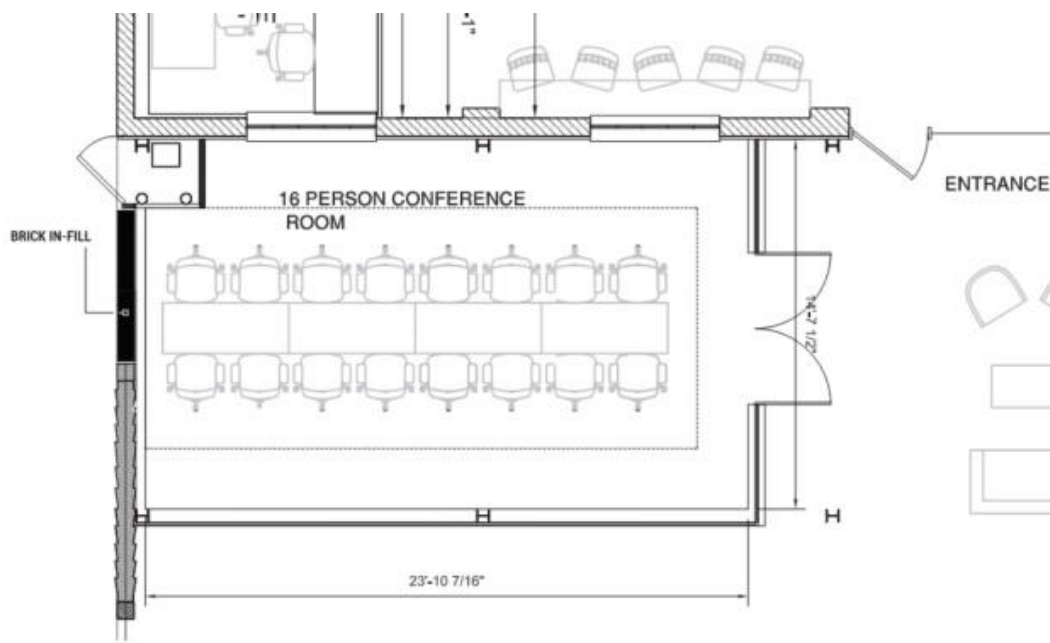


Figure 1: Proposed plan for addition





Figure 2: Rendering of proposed addition

## II. HISTORY

According to the Uptown/Parker Gray Historic District National Register of Historic Places registration form written by Terry Necciai with John Milner Associates, 215 North Payne is a commercial brick building, built **circa 1940** in the commercial style, and is a contributing structure to the historic district. It is a large commercial building created by connecting several different buildings built at different times of differing materials into one large complex. A 1937 photograph indicates that at least one of the buildings existed at some point prior to 1937. Sanborn research and site visits by BAR staff have confirmed a late 19th or early 20th century construction date for the building at the south end, with two additions towards the north. Early in the 20th century, the site held coal yards. Aerial photographs indicate that the footprint is virtually unchanged since at least 1957. Building permit number 39764 dated April 10, 1984 approved the addition of aluminum siding with vinyl trim. Beginning in 2019, the building underwent many changes which greatly improved its stability and appearance. See Figures 3 & 4.



Figure 3: South elevation after siding removal and before 2019 restoration



**Figure 4: South elevation today.**

**Previous BAR Approvals**

- BAR2019-00278 & BAR2019-00262: Renovate the south and west elevations of the structure, demolish portions of a CMU wall on the rearmost addition to enlarge a doorway, and a waiver of fence height for a property boundary wall.
- BAR2012-00048: Approval to add metal/fabric awning over façade entry door. This was removed as part of the 2019 renovation.
- BAR2010-00351: Administrative approval to reconstruct the façade after storm damage. The applicant removed stucco and siding from this street-facing elevation, returning it to its original brick exterior.

**III. ANALYSIS**

**Permit to Demolish/Capsulate**

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-205(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

<b>Standard</b>	<b>Description of Standard</b>	<b>Standard Met?</b>
(1)	Is the building or structure of such architectural or historic interest that its removal would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into an historic shrine?	No

(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(5)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place to live?	No
(6)	Would retention of the building or structure help maintain the scale and character of the neighborhood?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The wall to be encapsulated had been clad in vinyl siding from 1984 through 2019, when it was exposed as part of a restoration project, approved via BAR2019-00262. The wall to be encapsulated will remain in place and will not be negatively affected by this project. On the contrary, enclosing this portion of the wall will protect it from the elements. The opening on the west elevation that will be filled in is part of a wall constructed in the 2019 renovation and therefore is not historic and could be easily reproduced.

#### Certificate of Appropriateness

Staff would like to begin this analysis by pointing out that the elevations on page A-100 and A-101 are mislabeled. The elevation identified as the front/south elevation is the front/west elevation, and the elevation identified as the side/west elevation is the side/south elevation.

The proposed addition will complement the thoughtful renovation begun in 2019, which enabled this historic building to serve as modern office space. In that restoration, the area that is proposed to be enclosed as a new conference room was created as an outdoor patio space, with planters delineating the boundaries and separating the area from the parking lot to the south. The proposed exterior walls for this addition will enclose the westernmost part of this area, using the same boundaries on its south side defined by the planters.

The *Design Guidelines* note that “Respectful additions make use of the design vocabulary of the existing historic structure” and that “An addition to a historic building should be clearly distinguishable from the original structure.” This design harmonizes well with the existing building while still clearly differentiating itself as a modern addition. The brick portions will match the existing brick in pattern and color, and the glazing will also match the existing glazing on this

elevation, which complies with the *Alexandria New and Replacement Window Performance Specifications in the Historic Districts*. The utilization of brick walls with extensive glazing above gives the room a light and airy feel, creating a cohesive design between the room, the adjacent patio space, and the original building. Staff therefore recommends approval of the project, noting the conditions of Alexandria Archaeology.

**STAFF**

Susan Hellman, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

**III. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

**Zoning**

C-1 Proposed enclosure of existing porch will comply with zoning.

F-1 Floor area ratio will be calculated using the CRMU-M single use regulations.

F-2 Enclosure of existing porch under a roof will not result in the increase in FAR.

**Code Administration**

C-1 Building permit review is needed.

**Transportation and Environmental Services**

No comments received.

**Alexandria Archaeology**

F-1 Historic maps indicate that this lot had been developed by the 1870s. For the next century the property changed hands and uses, serving as lumber storage, an auto garage, coal storage, and other light industry. There is potential for buried archaeological resources, such as historic structural remains (wells, privies, wall foundations, etc.) or concentrations of artifacts to be present that could pertain to the development of Alexandria after the Civil War.

\*R-1 The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

\*R-2 The applicant/developer shall not allow any metal detection to be conducted on the property, or allow independent parties to collect or excavate artifacts, unless authorized by Alexandria Archaeology.

R-3 The statements in archaeology conditions above marked with an asterisk “\*” shall appear



in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

**V. ATTACHMENTS**

*1 – Application Materials*

*2 – Supplemental Materials*

ADDRESS OF PROJECT: 215 N Payne StDISTRICT: ☐ Old & Historic Alexandria ☒ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: \_\_\_\_\_ ZONING: \_\_\_\_\_

APPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
*(Required if more than 25 square feet of a structure is to be demolished/impacted)*☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
*(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)*Applicant: ☐ Property Owner ☒ Business *(Please provide business name & contact person)*Name: Harold SmithAddress: 8609 Westwood Center Dr. Suite 110City: Vienna State: VA Zip: 22182Phone: 2027107207 E-mail: hsmith@contexturestudio.coAuthorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ \_\_\_\_\_

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

E-mail: \_\_\_\_\_

Legal Property Owner:

Name: 215 NP Spec LLCAddress: 215 N Payne StCity: Alexandria State: VA Zip: 22314Phone: \_\_\_\_\_ E-mail: amoses@promontory.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☐ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☐ NEW CONSTRUCTION  
☐ EXTERIOR ALTERATION: *Please check all that apply.*  

☐ awning  
☐ doors  
☐ lighting  
☐ other \_\_\_\_\_

☐ fence, gate or garden wall  
☐ windows  
☐ pergola/trellis

☐ HVAC equipment  
☐ siding  
☒ painting unpainted masonry

☐ shutters  
☐ shed

☒ ADDITION  
☐ DEMOLITION/ENCAPSULATION  
☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

New Conference Room addition, Partial encapsulation of existing building facade.

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**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒

☐

Survey plat showing the extent of the proposed demolition/encapsulation.

☒

☐

Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.

☒

☐

Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.

☒

☐

Description of the reason for demolition/encapsulation.

☒

☐

Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☐ <sup>N/A</sup> ☒ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ <sup>N/A</sup> ☐ Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- ☐ ☐ Square feet of existing signs to remain: \_\_\_\_\_.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** *Check N/A if an item in this section does not apply to your project.*

- ☐ <sup>N/A</sup> ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.



**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

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The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: \_\_\_\_\_

Printed Name: Harold SmithDate: 2.23.2023



# Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

**B**

## A. Property Information

A1. 215 N Payne St  
Street Address

CL  
Zone

A2. 14,529.00 x 0.75 = 10,896.75  
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

## B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**		
Basement	269.00	Basement**	269.00	B1. 9,756.00 Sq. Ft.
First Floor	8,090.00	Stairways**	184.00	Existing Gross Floor Area*
Second Floor	642.00	Mechanical**	51.00	B2. 1,259.00 Sq. Ft.
Third Floor		Attic less than 7'***		Allowable Floor Exclusions**
Attic		Porches**		B3. 8,497.00 Sq. Ft.
Porches		Balcony/Deck**	755.00	Existing Floor Area Minus Exclusions (subtract B2 from B1)
Balcony/Deck	755.00	Lavatory***		Comments for Existing Gross Floor Area
Lavatory***		Other**		
Other**		Other**		
B1. <b>Total Gross</b>	9,756.00	B2. <b>Total Exclusions</b>	1,259.00	

## C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**		
Basement	268.00	Basement**	268.00	C1. 0.00 10,139.00 Sq. Ft.
First Floor	8,474.00	Stairways**	184.00	Proposed Gross Floor Area*
Second Floor	642.00	Mechanical**	51.00	C2. 1,258.00 Sq. Ft.
Third Floor	0.00	Attic less than 7'***		Allowable Floor Exclusions**
Attic	0.00	Porches**		C3. -1,258.00 8,881.00 Sq. Ft.
Porches	0.00	Balcony/Deck**	755.00	Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Balcony/Deck	755.00	Lavatory***		
Lavatory***	0.00	Other**		
Other	0.00	Other**		
C1. <b>Total Gross</b>	10,139.00	C2. <b>Total Exclusions</b>	1,258.00	

## D. Total Floor Area

D1. 7,239.00 Sq. Ft.  
Total Floor Area (add B3 and C3)

D2. 10,896.75 Sq. Ft.  
Total Floor Area Allowed  
by Zone (A2)

## E. Open Space (RA & RB Zones)

E1. Existing Open Space Sq. Ft.

E2. Required Open Space Sq. Ft.

E3. Proposed Open Space Sq. Ft.

## Notes

\*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

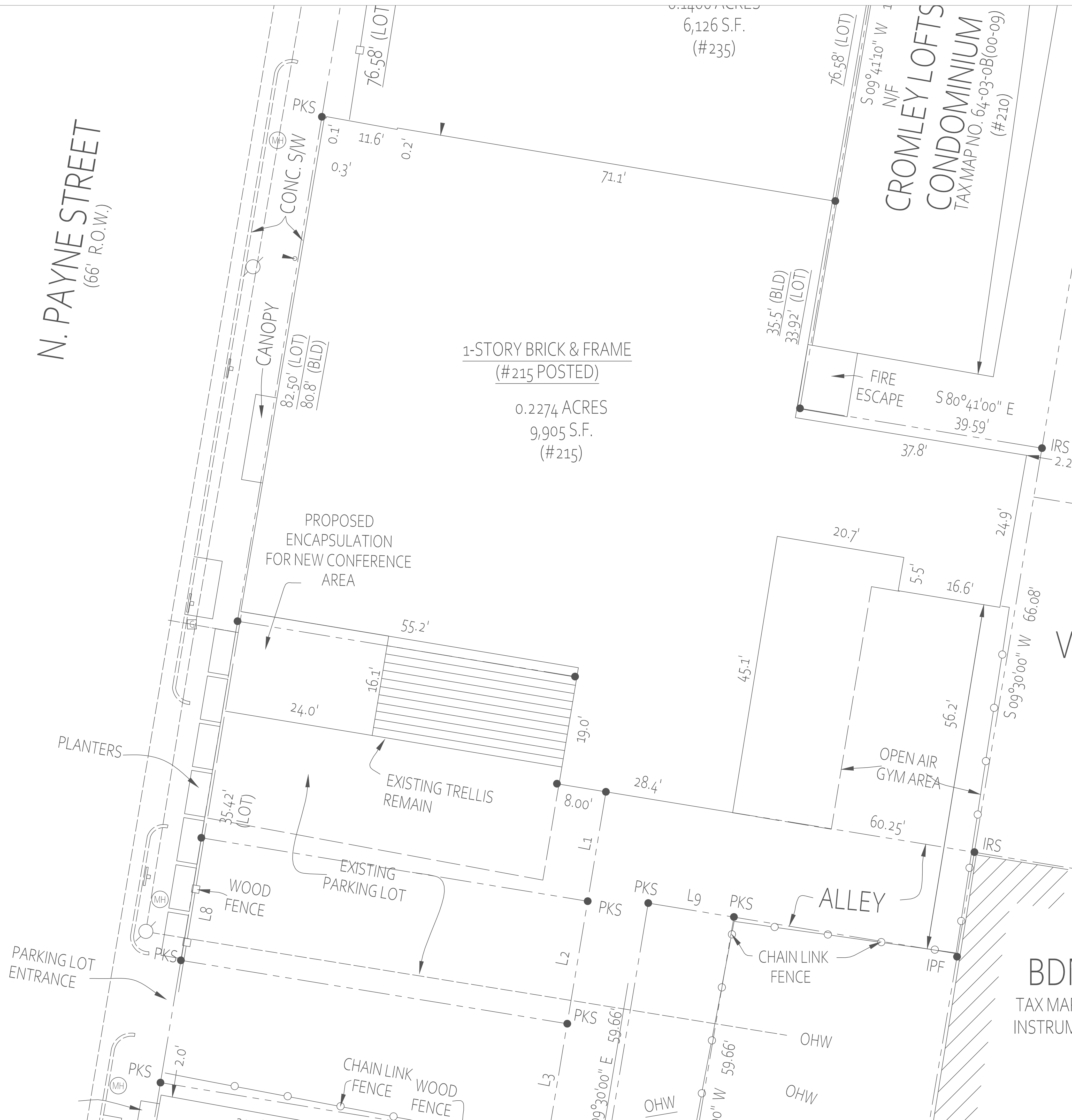
\*\* Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

\*\*\*Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: \_\_\_\_\_

N. PAYNE STREET  
(66' R.O.W.)



1-STORY BRICK & FRAME  
(#215 POSTED)

0.2274 ACRES  
9,905 S.F.  
(#215)

PROPOSED  
ENCAPSULATION  
FOR NEW CONFERENCE  
AREA

EXISTING TRELLIS  
REMAIN

EXISTING  
PARKING LOT

ALLEY

CHAIN LINK  
FENCE

BDMD, LLC

TAX MAP NO. 64-03-03-20  
INSTRUMENT #050036284  
(#212)

VSPD PROPERTIES, LLC

TAX MAP NO. 64-03-03-42  
INSTRUMENT #130019510  
(#224)

CITY OF ALEXANDRIA

TAX MAP NO. 64-03-03-08  
(HUNTER MILLETT)

# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at \_\_\_\_\_ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

**3. Business or Financial Relationships.** Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose **any** business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

**NOTE:** Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Signature





# EXISTING SITE PHOTOS OF 25 N PAYNE ST

**215 N PAYNE ST**  
ALEXANDRIA VA

**NEW CONFERENCE ROOM**  
215 - THE LOOP



**THE LOOP**  
**215 N PAYNE ST**  
**NEW CONFERENCE ROOM**

CITY OF ALEXANDRIA  
TAX MAP NO. 64  
(HUNTER MILLE)



**215 N PAYNE ST**  
ALEXANDRIA VA

**NEW CONFERENCE ROOM**  
215 - THE LOOP

# SITE PLAN





## EXISTING SITE PHOTOS OF 25 N PAYNE ST

**215 N PAYNE ST**  
ALEXANDRIA VA

**NEW CONFERENCE ROOM**  
215 - THE LOOP





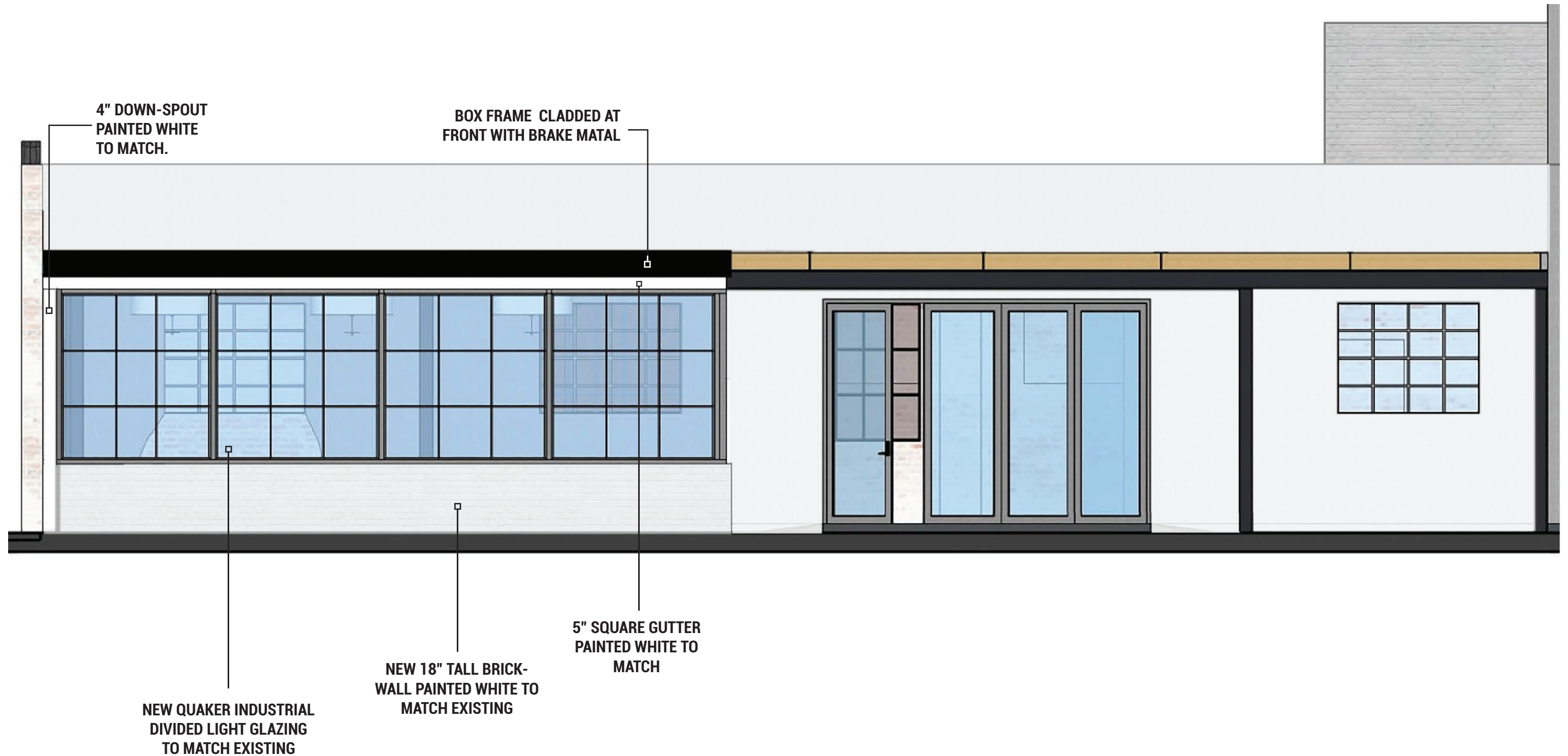
**215 N PAYNE ST**  
ALEXANDRIA VA

**NEW CONFERENCE ROOM**  
215 - THE LOOP

**FRONT ENTRANCE RENDERING**

2.16.2023



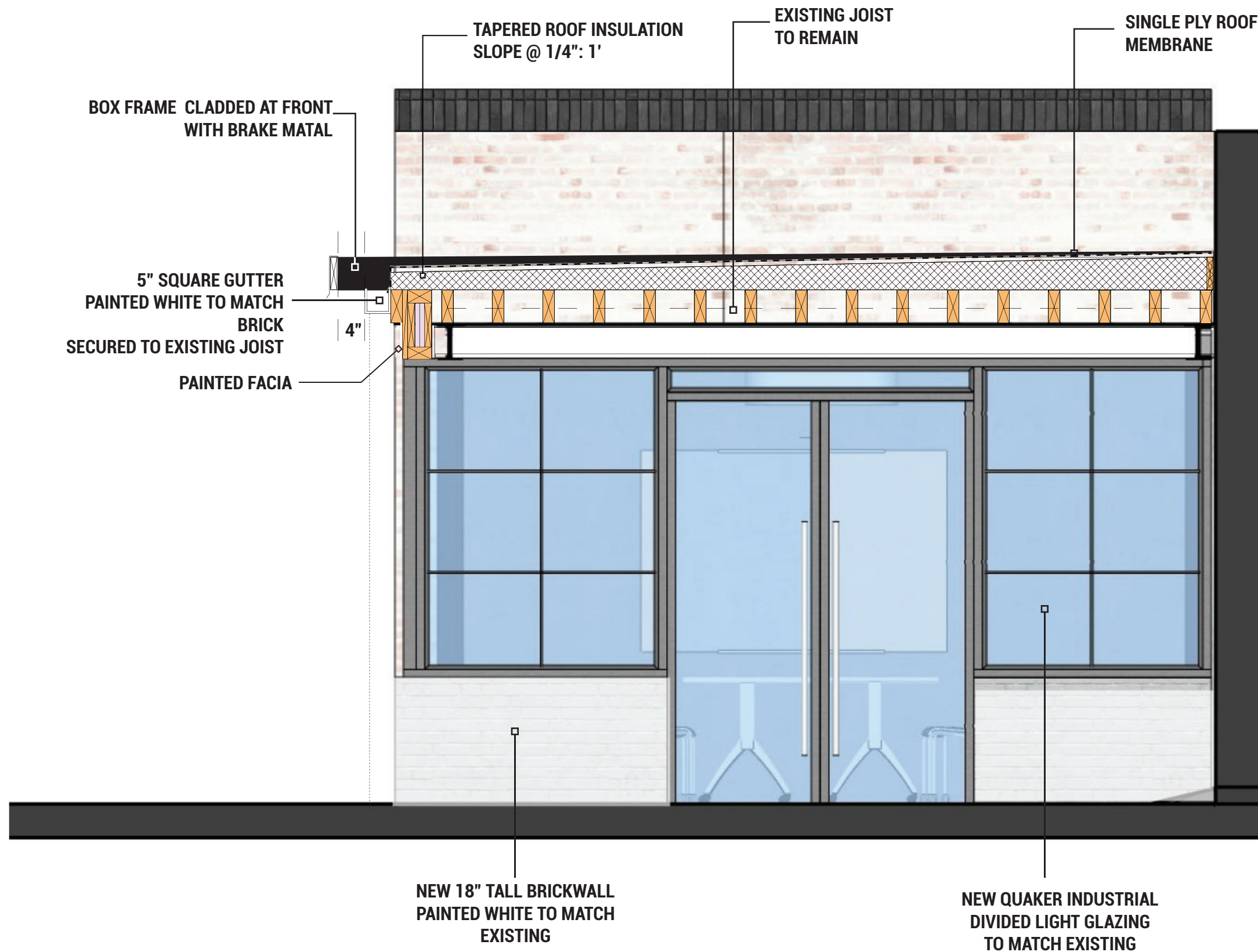


**215 N PAYNE ST**  
ALEXANDRIA VA

**NEW CONFERENCE ROOM**  
215 - THE LOOP

# FRONT ENTRANCE ELEVATION

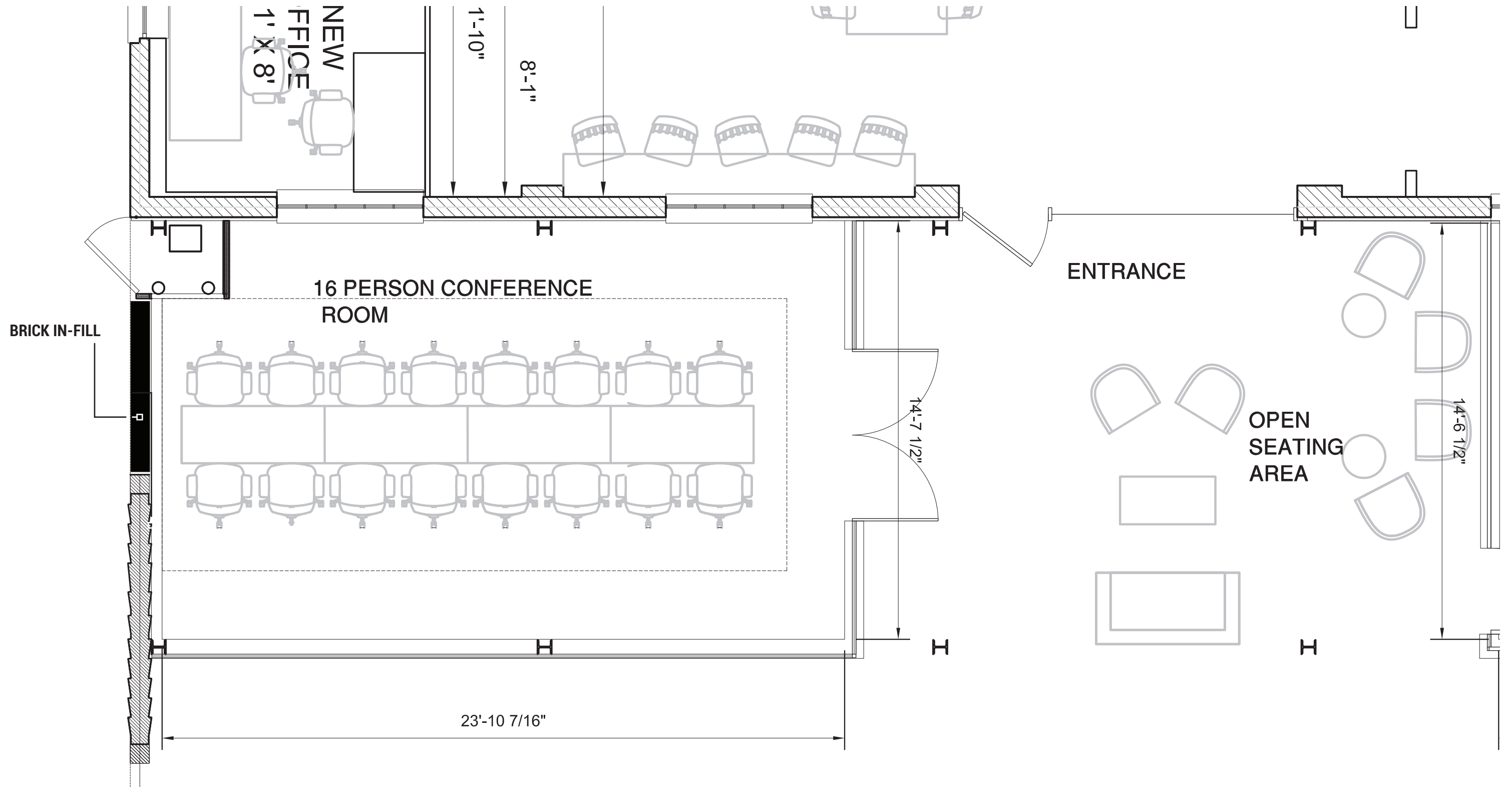
2.16.2023



**215 N PAYNE ST**  
ALEXANDRIA VA

**NEW CONFRENCE ROOM**  
215 - THE LOOP

## SECTION OF NEW CONFERENCE ROOM

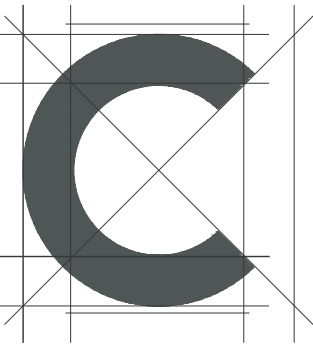


**215 N PAYNE ST**  
ALEXANDRIA VA

**NEW CONFERENCE ROOM**  
215 - THE LOOP

# NEW CONFERENCE FLOOR PLAN

2.16.2023



Contexture Design Studio, LLC  
8609 Westwood Center Dr.  
Vienna, VA 22182  
Tel 517.341.6121  
Web [www.contexturestudio.co](http://www.contexturestudio.co)

CLIENT

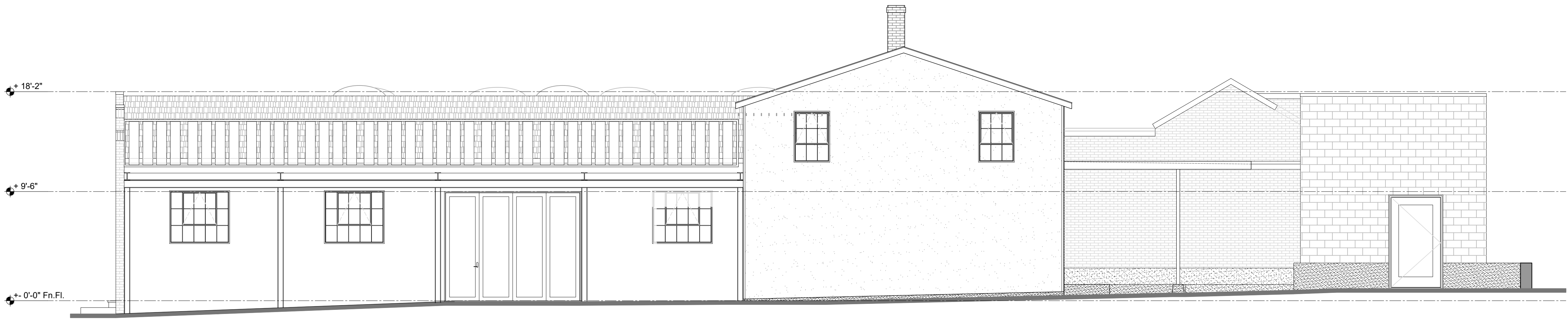
PIZZANO CONTRACTORS INC

PROEJECT ADDRESS:  
215 NORTH PAYNE STREET  
ALEXANDRIA, VA 22314

CONSULTANTS



1 Existing Front - South Elevation  
A100 Scale : 3/16" = 1'-0"



2 Existing Side - West Elevation  
A100 Scale : 3/16" = 1'-0"

SEAL / SIGNATURE

SUBMISSIONS

CONSTRUCTION DOCUMENT  
REVISION

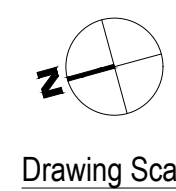
04.29.2019 PERMIT SUBMISSION

FILE INFORMATION

Project No:  
Drawn By: KW, VM  
Checked By: HS  
Date: 11-22-22

SHEET NAME

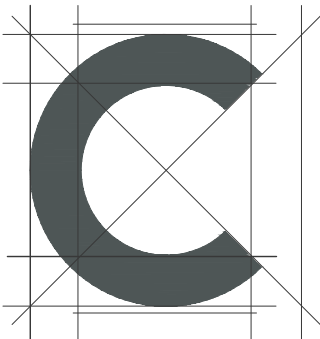
EXISTING BUILDING  
ELEVATION



A-100

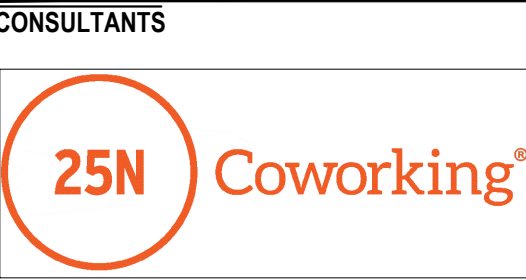
Verify all dimensions and conditions at  
the site and report any discrepancies to  
Contexture D.S. LLC before proceeding  
with the work.





Contexture Design Studio, LLC  
8609 Westwood Center Dr.  
Vienna, VA 22182  
Tel 517.341.6121  
Web [www.contexturestudio.co](http://www.contexturestudio.co)

CLIENT  
PIZZANO CONTRACTORS INC  
PROJECT ADDRESS:  
215 NORTH PAYNE STREET  
ALEXANDRIA, VA 22314

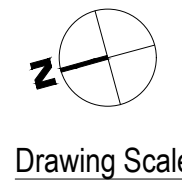


SEAL / SIGNATURE

SUBMISSIONS  
CONSTRUCTION DOCUMENT  
REVISION

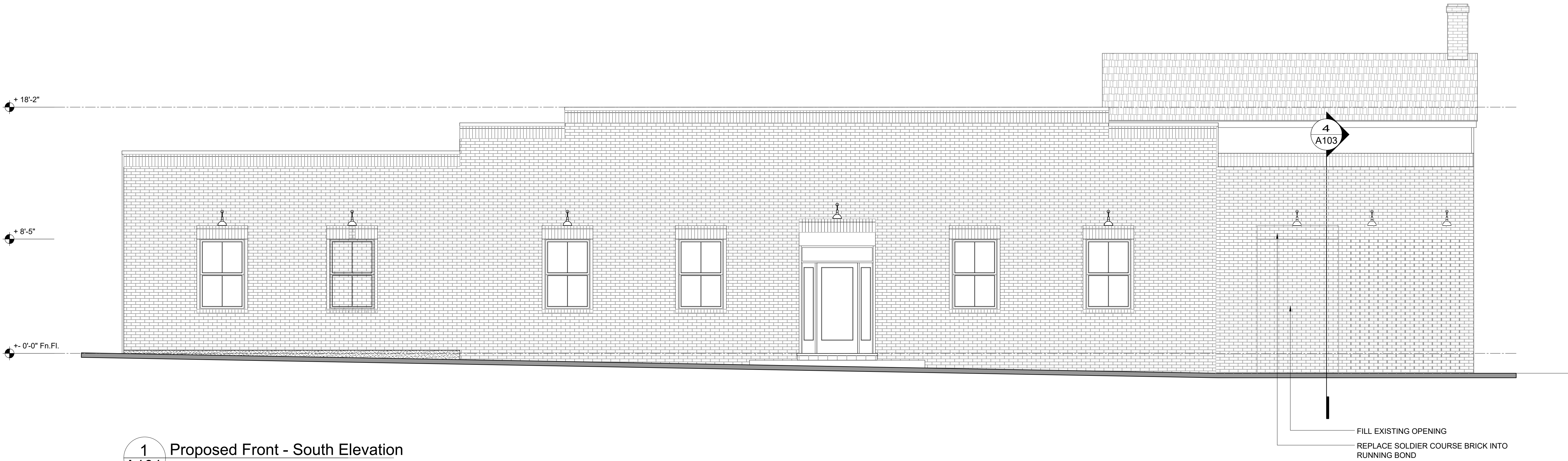
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FILE INFORMATION  
Project No:  
Drawn By: KW, VM  
Checked By: HS  
Date: 11-22-22  
SHEET NAME

PROPOSED BUILDING  
ELEVATIONS

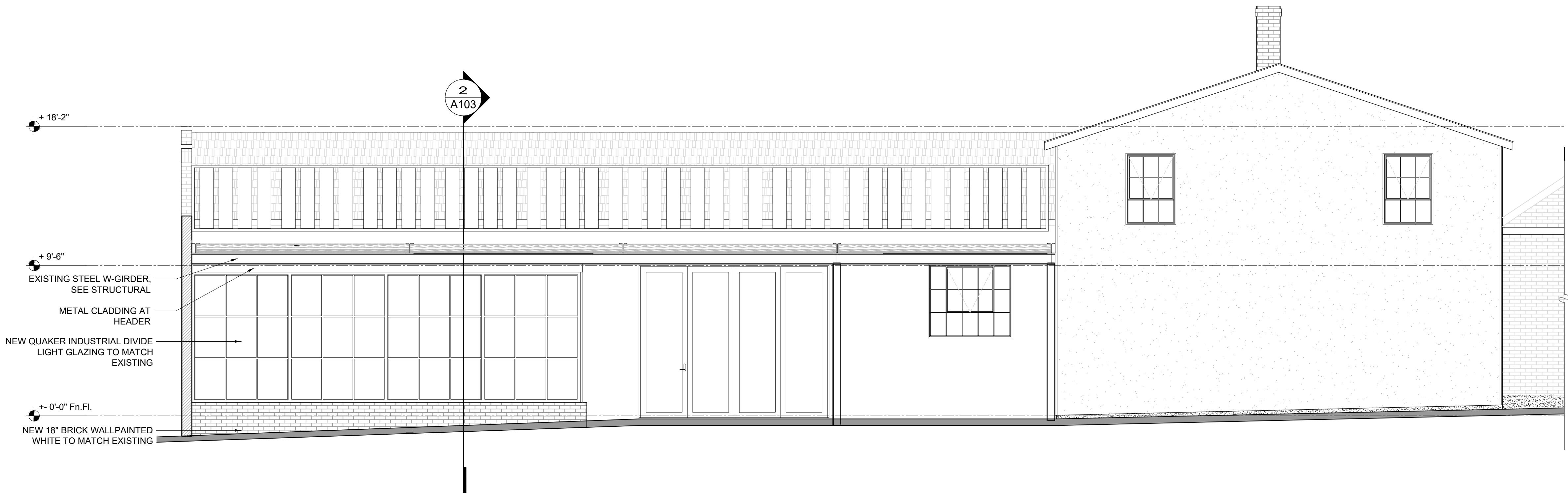


A-101

Verify all dimensions and conditions at the site and report any discrepancies to Contexture D.S. LLC before proceeding with the work.



1 Proposed Front - South Elevation  
A101 SCALE: 1/4" = 1'-0"



2 Proposed Side - West Elevation  
A101 SCALE: 1/4" = 1'-0"

FINISH SCHEDULE: COLOR

2604: BLACK ✓

- 2605:
- ANODIZED:
- CUSTOMER TO PROVIDE COLOR CHIP
- OTHER:

CUSTOMER TO VERIFY FINISH AND COLOR

ABBREVIATIONS

M.O. = MASONRY OPENING  
O.D. = OFFSET DIMENSION  
O.R.O. = OVERALL ROUGH OPENING  
O.U.D. = OVERALL UNIT DIMENSION  
R.D. = RECEPTOR DIMENSION  
R.O. = ROUGH OPENING  
T.T.P. = TIP TO TIP OF PANNING  
U.D. = UNIT DIMENSION

AWN = AWNING  
CA = CASEMENT  
DH = DOUBLE HUNG  
DS = DIRECT SET  
HOP = HOPPER  
SH = SINGLE HUNG  
SL = HORIZONTAL SLIDING  
CF = CONTINUOUS FRAME  
2X = 2 WIDE HORIZONTAL  
2Y = 2 TALL VERTICAL  
CA/AWN = CASEMENT OVER AWNING  
CA-AWN = CASEMENT NEXT TO AWNING

GENERAL WINDOW & DOOR DETAILS AND NOTES

ELEVATIONS ARE VIEWED FROM THE EXTERIOR  
DEVIATIONS FROM GENERAL WINDOW DETAILS AND NOTES TO BE LISTED ON WINDOW ELEVATIONS  
CUSTOMER TO VERIFY COUNTS AND SIZES

SERIES: HISTORIC (H450)  
CONFIGURATIONS: DS; AWN

- GRIDS:
- EXTERIOR: 7/8" RAISED (M538352)
  - INTERNAL: 5/8" STANDARD (M3-16X5/8)
  - INTERIOR: 1" FLAT (MAX10847)

- HARDWARE:
- 4-BAR PUSH OUT (AWN)
  - PERMANENT 4" LIMIT STOP
  - COLOR: BLACK

- SCREENS:
- FULL SCREEN - FLEX SCREEN (AWN)

- ADDITIONAL PARTS:
- 3" ANCHOR STRAP (M536395)
  - 2"x6" POST (MW23225\_MW23226)
  - 1" STACK MULL (M537248)
  - T-MULL, BASE & CAP (M21856\_M21855\_M21854)
  - 3/8" SUBSILL (CE-13716)

SERIES: MODERN (M600) - OUTSWING DOOR  
CONFIGURATIONS: SINGLE DOOR; TRANSOM; DOUBLE DOOR

- GRIDS:
- EXTERIOR: 7/8" RAISED (M538352)
  - INTERNAL: 5/8" STANDARD (M3-16X5/8)
  - INTERIOR: 1" FLAT (MAX10847)

- HARDWARE:
- MULTIPOINT - DALLAS - KEYED
  - LOW-PROFILE SILL
  - 10" BOTTOM RAIL
  - HARDWARE COLOR: BLACK
  - LIMIT STOP: 90 DEGREE LIMIT ARM

- SCREENS:
- N/A

- ADDITIONAL PARTS:
- C-MULL (M6270)

EXAMPLE ELEVATION DESCRIPTION

WINDOW TYPE —→ TYPE X  
WINDOW CONFIGURATION —→ XX  
DEVIATIONS FROM GENERAL —→ XXXXX  
DETAILS AND NOTES  
QUANTITY —→ QTY. X

NO.	REVISIONS	SHEET #	BY	DATE

Project Name:

COVER SHEET

Description:

PHONE (573)-744-5211  
FAX (573)-744-5586

COMMERCIAL

ajones@quakerwindows.com

504 Highway 63 South  
Freeburg, MO 65035

Drawn By: AAJ  
Checked By: AGN

QUAKER  
Commercial Windows and Doors

10/19/2020

Scale: NONE  
Sheet #: A2

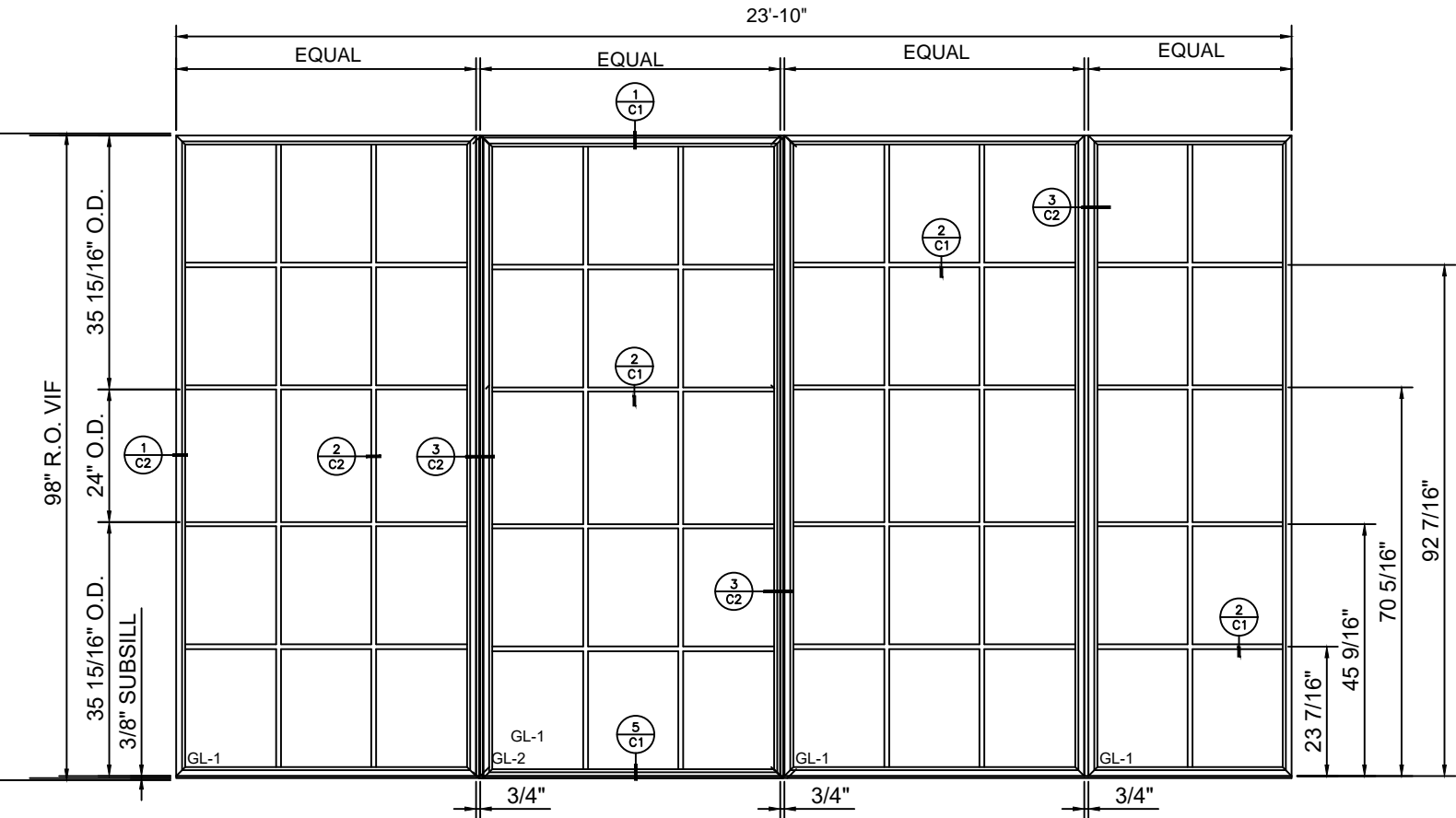
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Page 1 of 3

QUAKER WINDOW PRODUCTS  
WILL NOT BE RESPONSIBLE  
FOR FIELD MEASUREMENT,  
QUANTITIES, & INSTALLATION  
DESIGN. CONTRACTOR MUST  
VERIFY ALL DIMENSIONS.

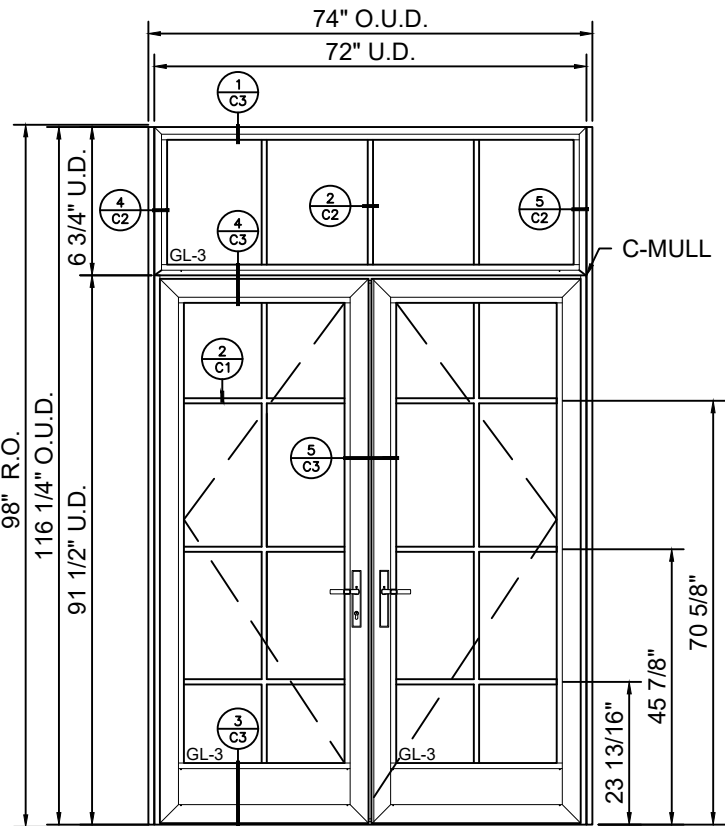
THE ELLIOTT  
3255 PROSPECT ST, NW  
WASHINGTON, DC

27




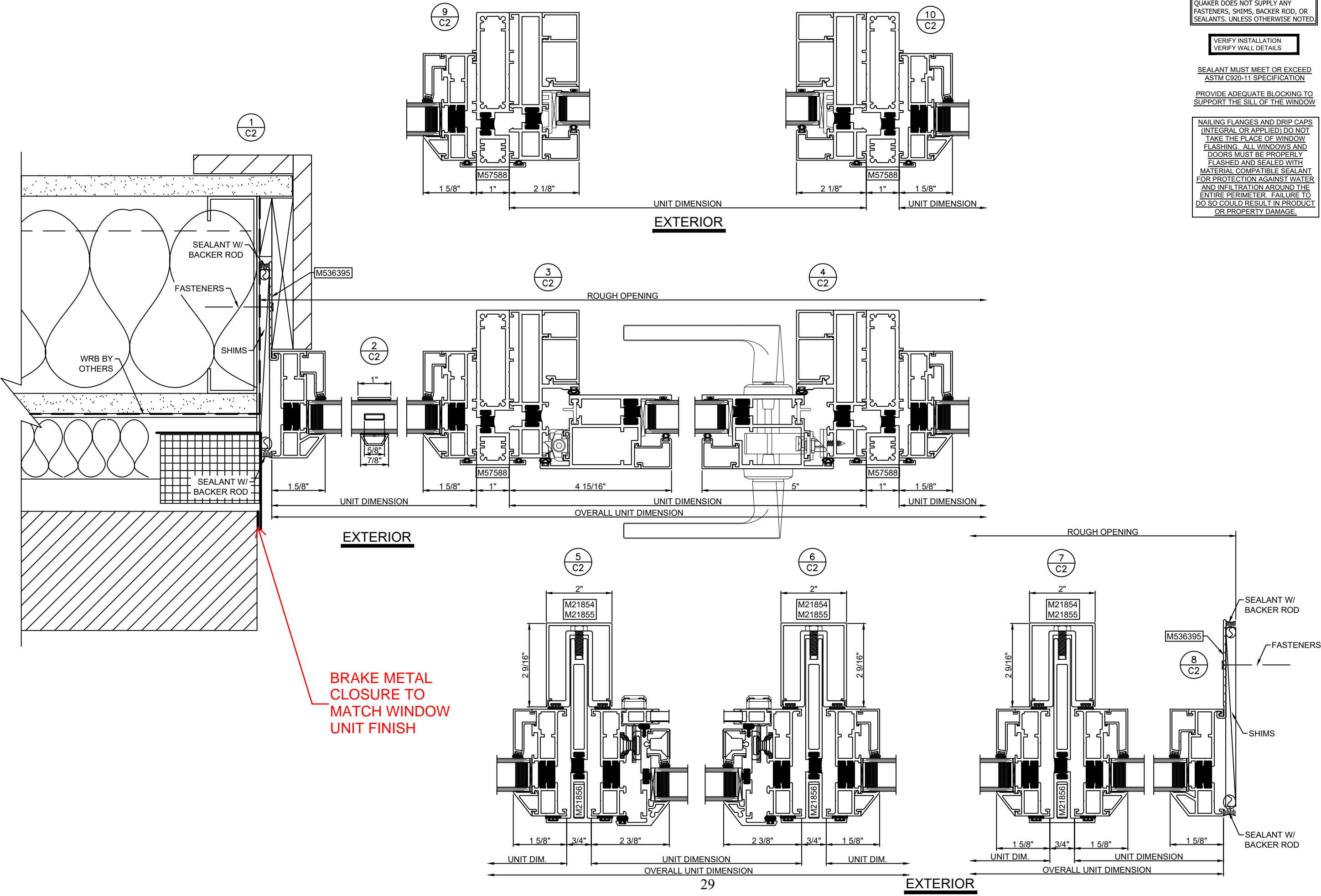


**TYPE S2**  
HISTORIC (H450)  
DS - DS/AWN/DS COMBO  
T-MULL (M21854\_M21855\_M21856)  
3/8" SUBSILL (CE-13716)  
  
QTY. 1  
\*SHIP MULLS - MULL IN FIELD\*



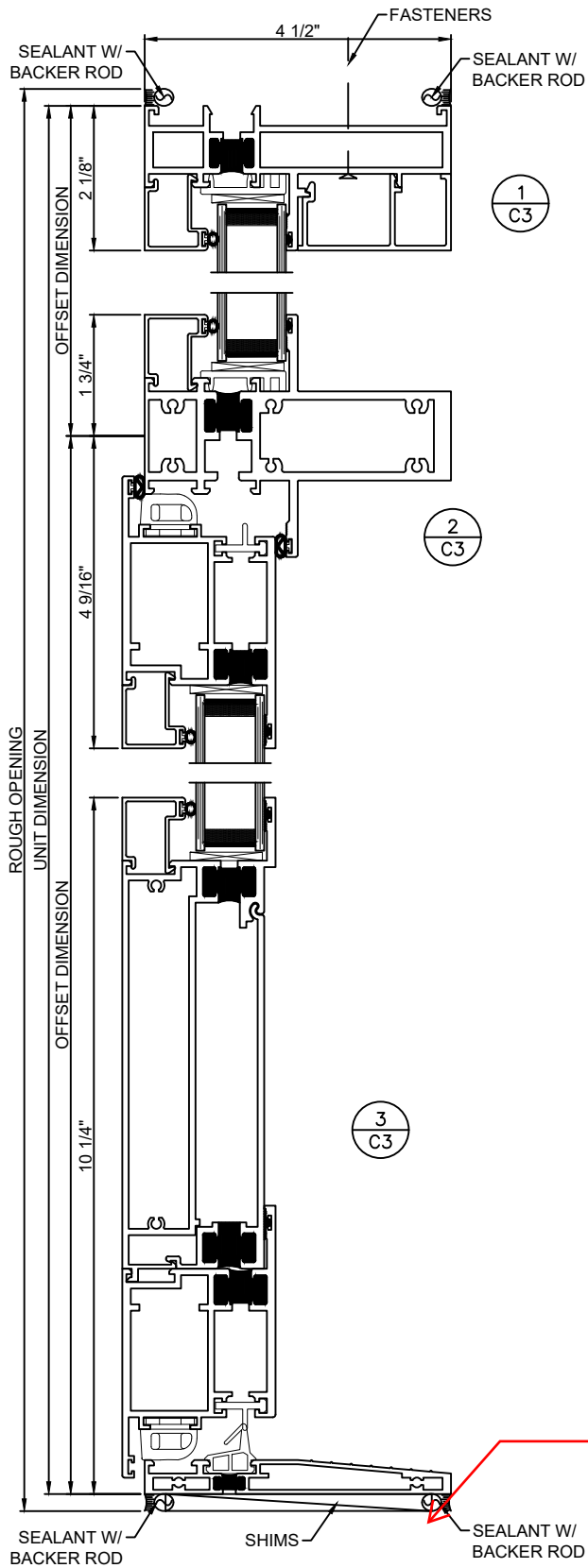
**TYPE S2-TD**  
MODERN (M600) - OUTSWING DOOR  
TRANSOM/DOUBLE DOOR (ACTIVE-INACTIVE)  
LOW-PROFILE SILL  
C-MULL (M6270)  
TRANSITION MULL @ JAMBS (M57588)  
  
QTY. 1

		PHONE (573)-744-5211 FAX (573)-744-5586 COMMERCIAL ajones@quakerwindows.com		504 Highway 63 South Freeburg, MO 65035	
Drawn By: AAJ		Checked By: AGN		Scale: 3/8" = 1'	
Drawing Created 10/19/20		Page 1 of 1		Sheet # B2	
Description:		QUAKER WINDOW PRODUCTS WILL NOT BE RESPONSIBLE FOR FIELD MEASUREMENT, QUANTITIES, & INSTALLATION DESIGN. CONTRACTOR MUST VERIFY ALL DIMENSIONS.			
ELEVATIONS		Project Name: <b>THE ELLIOTT</b> <b>3255 PROSPECT ST, NW</b> <b>WASHINGTON, DC</b>			



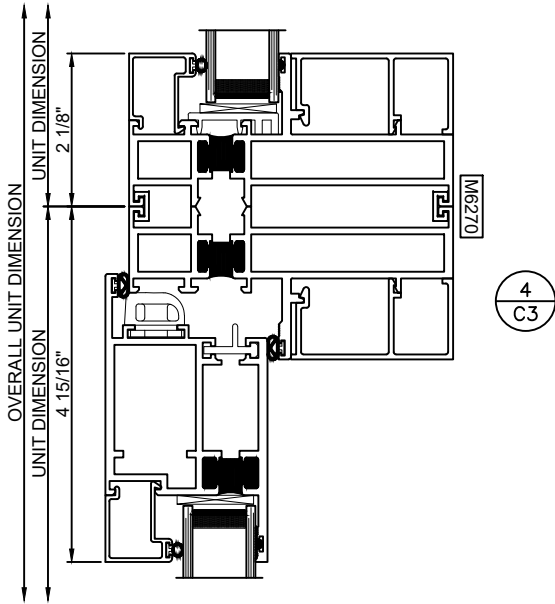
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Description:		CUT DETAILS	
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PHONE (573)-744-5211 FAX (573)-744-5586 COMMERCIAL ajones@quakerwindows.com	Scale: 3/8"=1"	Sheet #:	C2
Drawn By: AAJ	504 Highway 63 South Freeburg, MO 65035	Checked By: AGN	
Drawing Created 10/19/20			

EXTERIOR

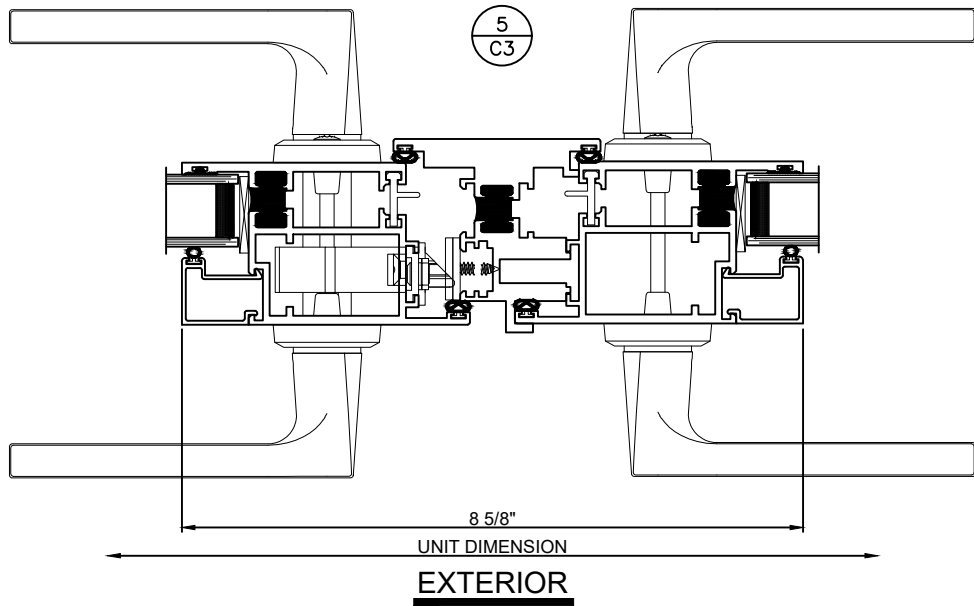
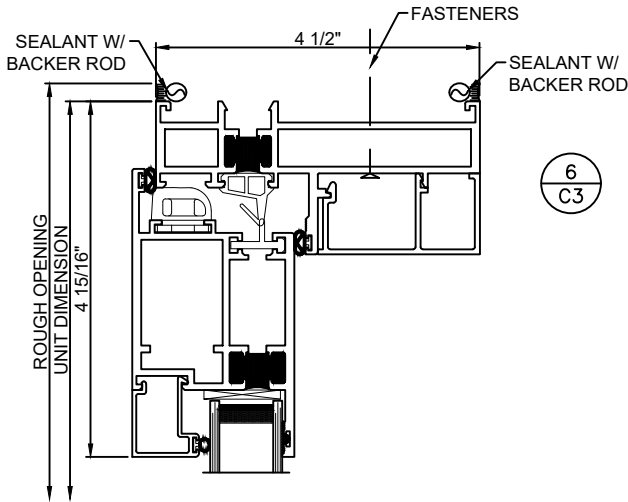


SILL PAN WITH END  
DAM'S MISSING

EXTERIOR



EXTERIOR



NAILING FLANGES AND DRIP CAPS (INTEGRAL OR APPLIED) DO NOT TAKE THE PLACE OF WINDOW FLASHING. ALL WINDOWS AND DOORS MUST BE PROPERLY FLASHED AND SEALED WITH MATERIAL COMPATIBLE SEALANT FOR PROTECTION AGAINST WATER AND INFILTRATION AROUND THE ENTIRE PERIMETER. FAILURE TO DO SO COULD RESULT IN PRODUCT OR PROPERTY DAMAGE.

NOTICE:  
QUAKER DOES NOT SUPPLY ANY FASTENERS, SHIMS, BACKER ROD, OR SEALANTS. UNLESS OTHERWISE NOTED.

VERIFY INSTALLATION  
VERIFY WALL DETAILS

SEALANT MUST MEET OR EXCEED  
ASTM C920-11 SPECIFICATION

PROVIDE ADEQUATE BLOCKING TO  
SUPPORT THE SILL OF THE WINDOW



PHONE (573)-744-5211  
FAX (573)-744-5586  
COMMERCIAL  
ajones@quakerwindows.com  
FAX (573)-744-5822

Drawn By: AAJ  
504 Highway 63 South  
Freeburg, MO 65035

Checked By: AGN

Description:

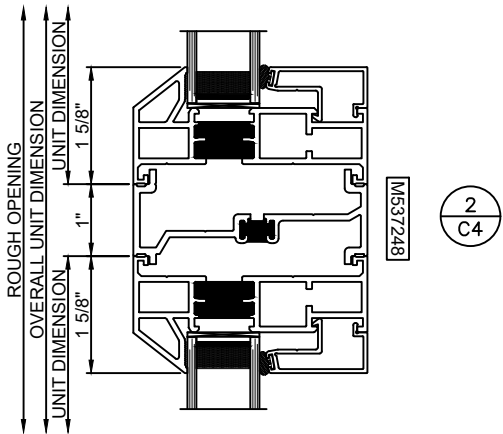
CUT DETAILS

QUAKER WINDOW PRODUCTS  
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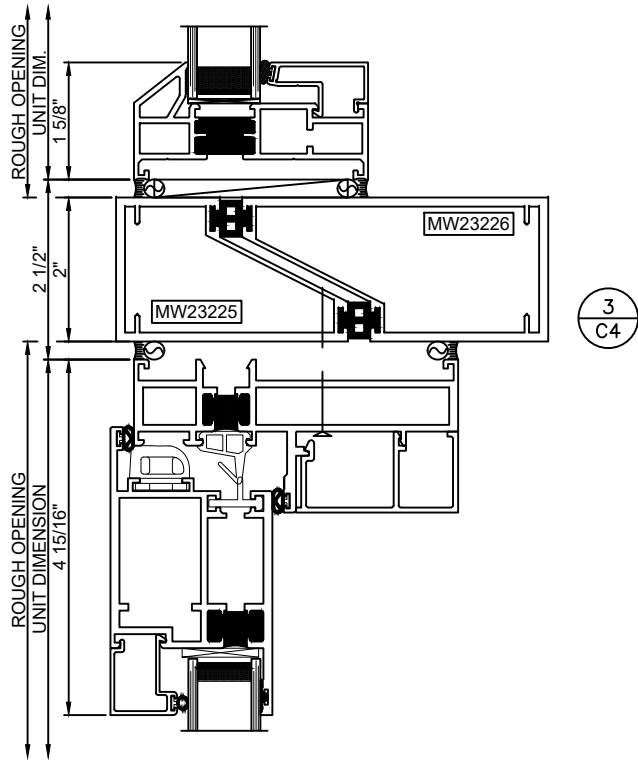
Project Name:

THE ELLIOTT  
3255 PROSPECT ST, NW  
WASHINGTON, DC

EXTERIOR



EXTERIOR



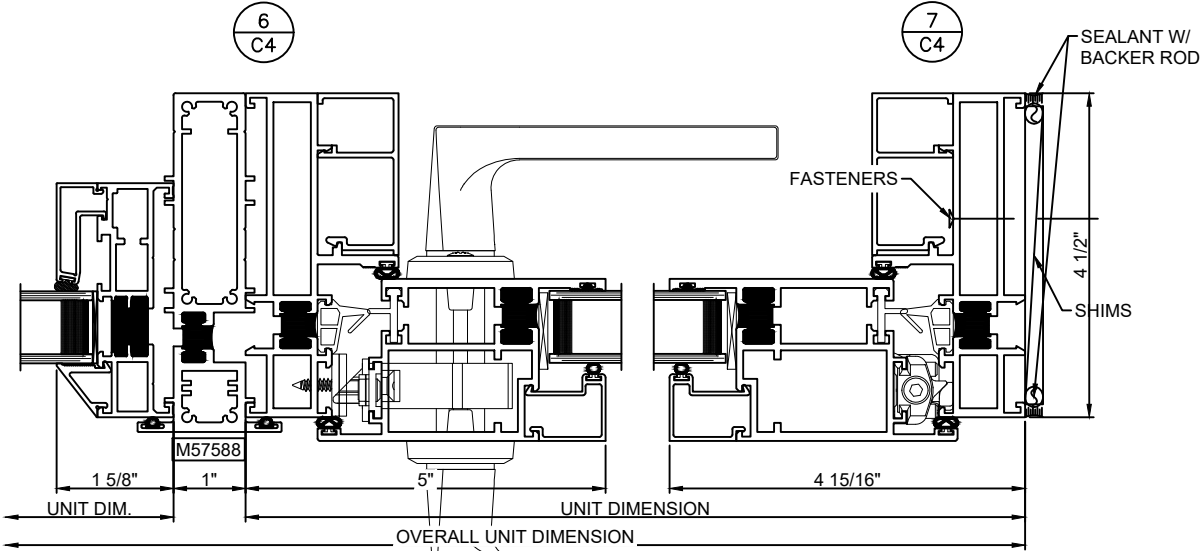
NAILING FLANGES AND DRIP CAPS (INTEGRAL OR APPLIED) DO NOT TAKE THE PLACE OF WINDOW FLASHING. ALL WINDOWS AND DOORS MUST BE PROPERLY FLASHED AND SEALED WITH MATERIAL COMPATIBLE SEALANT FOR PROTECTION AGAINST WATER AND INFILTRATION AROUND THE ENTIRE PERIMETER. FAILURE TO DO SO COULD RESULT IN PRODUCT OR PROPERTY DAMAGE.

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VERIFY WALL DETAILS

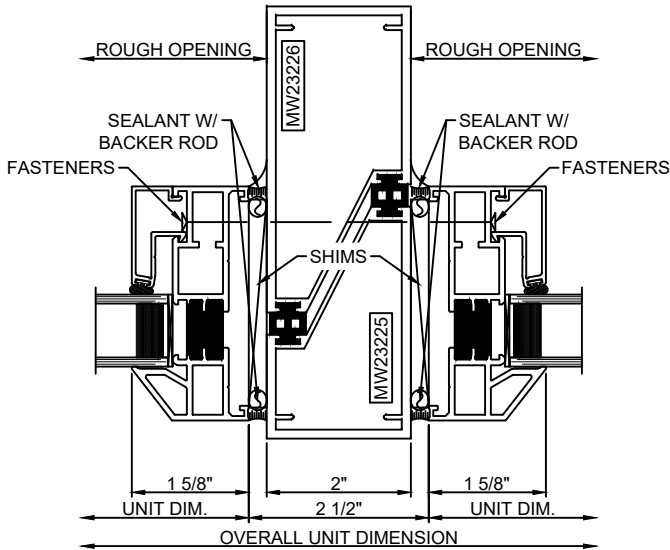
SEALANT MUST MEET OR EXCEED  
ASTM C920-11 SPECIFICATION

PROVIDE ADEQUATE BLOCKING TO  
SUPPORT THE SILL OF THE WINDOW



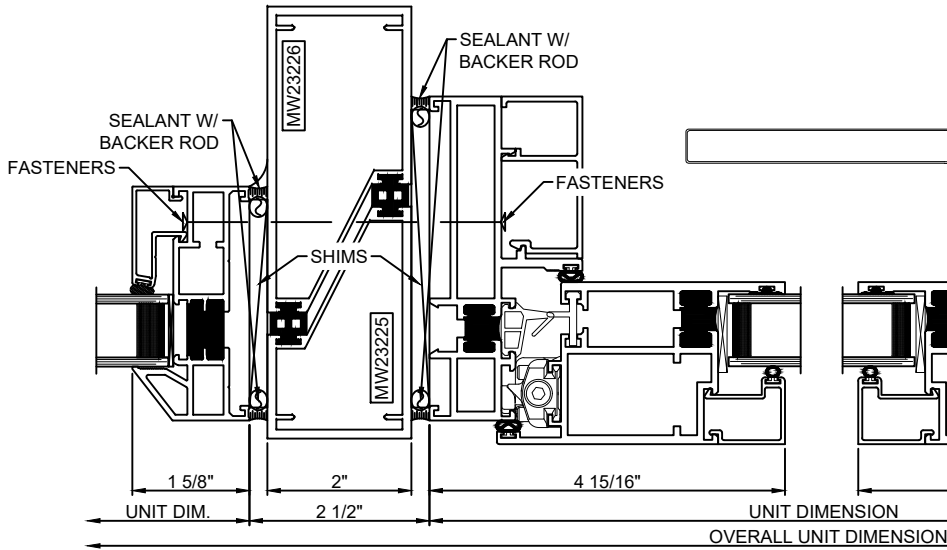
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C4



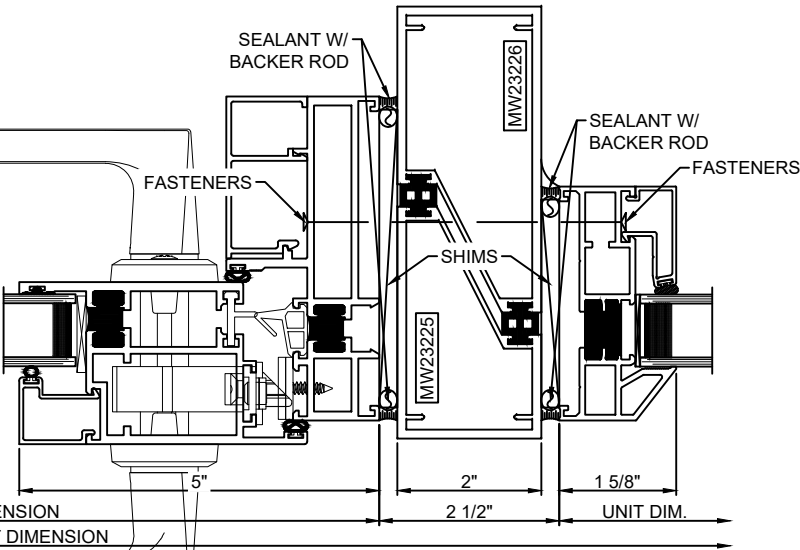
EXTERIOR

4  
C4



EXTERIOR

5  
C4



Project Name:

CUT DETAILS

Description:

PHONE (573)-744-5211  
FAX (573)-744-5586

COMMERCIAL  
ajones@quakerwindows.com

504 Highway 63 South  
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Drawn By: AAJ  
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10/19/20

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Scale: 3/8"=1"

Sheet #: C4

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