

ISSUE: Permit to Demolish/Capsulate (partial), Certificate of Appropriateness for alterations and addition

APPLICANT: Keith Harmon

LOCATION: Old and Historic Alexandria District
104 Prince Street

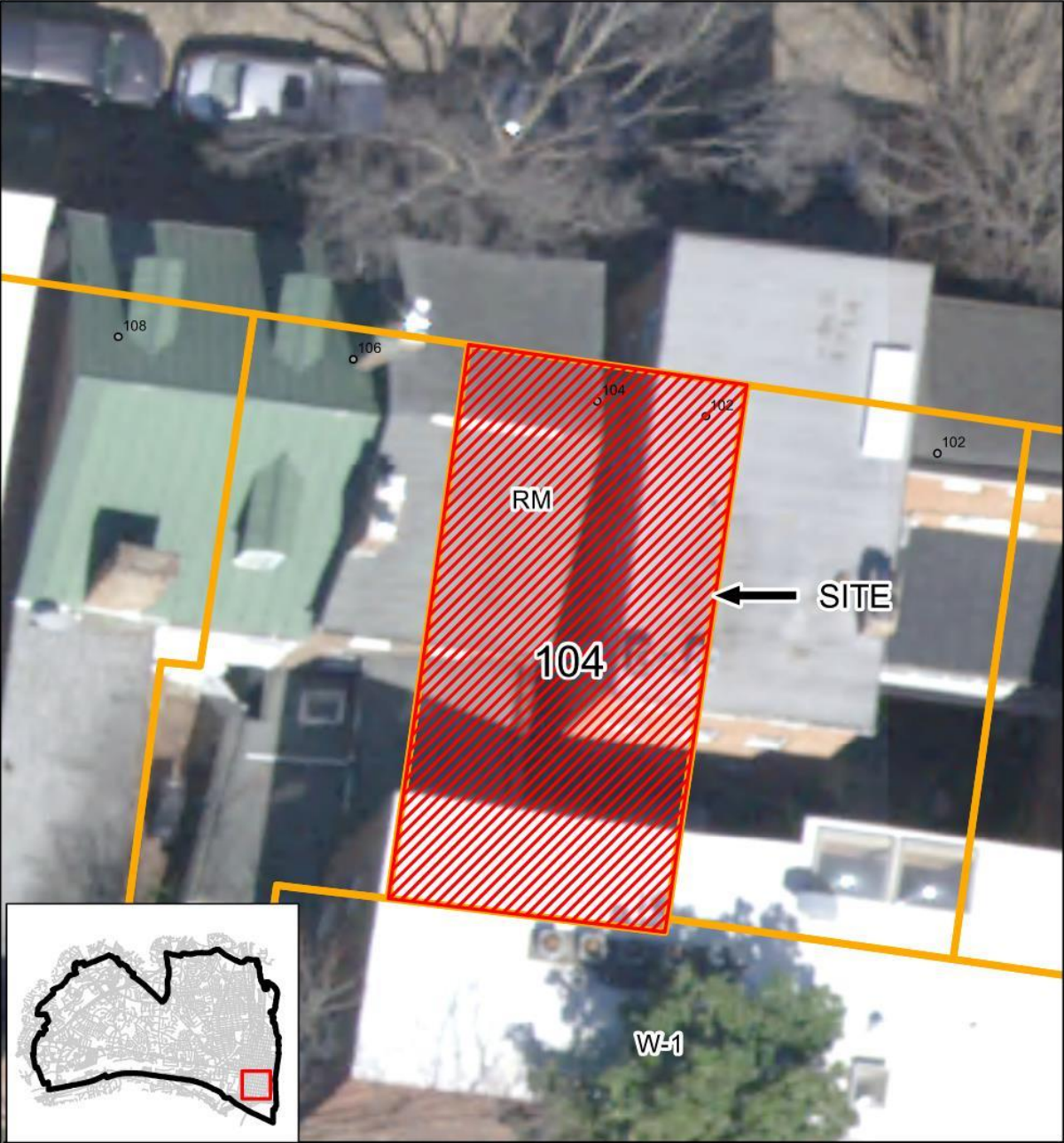
ZONE: RM/Residential Townhouse Zone


STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations and addition as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



 **BAR #2023-00075 & BAR #2023-00076**
104 Prince Street

0 5 10 20 Feet

N

Note: Staff coupled the applications for a Permit to Demolish (BAR #2023-00076) and Certificate of Appropriateness (BAR #2023-00075) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to add a roof deck, at 104 Prince Street.

Permit to Demolish/Capsulate

The proposed new decking surface will encapsulate the entire roof and require the removal of the existing rooftop access hatch. 19.5 square feet of the existing chimney will be encapsulated by the proposed stair enclosure.

Certificate of Appropriateness

The applicant proposes to construct a composite decking surface over the existing roof, add a stair enclosure clad with fiber cement siding adjacent to the chimney, extend the chimney 3' above the top of the stair roof, add a cable railing surrounding the rooftop, and relocate mechanical condenser units from the southwest corner of the roof to the southeast corner. The cable railing will be 42" tall and located 18" from the edge of the roof.

II. HISTORY

According to tax records, 104 Prince Street was constructed in **1973**. City records support this date. At the October 7, 1970 hearing, the BAR approved a request by Mr. James Wade, appearing on behalf of Dr. Edgar Shriver, to erect two single family residences at 102 and 104 Prince. Both buildings were approved in concept. At the February 17, 1971 hearing, the BAR approved the working drawings submitted by Dr. Edgar Shriver for these two single family residences. The City issued building permit #8873 to Dr. Shriver on October 26, 1971. Less than three weeks later, on November 12, 1971 Shriver received demolition permit #1189 to demolish the building(s) at 102 and 104 Prince Street. The 1959 Sanborn Fire Insurance Map shows buildings operating as a milk can warehouse here at the southwest corner of Prince and South Union streets, with an ammunition warehouse immediately behind it. The western part of the milk can warehouse would have been what was demolished in 1971. The eastern part, 100 Prince Street, still stands and was restored and converted to a home in 1966.

Previous BAR Approvals

The two BAR cases cited in the History section are the only BAR cases for this property.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to

neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relate only to the specific portions of the building proposed for demolition/capsulation, not the overall building.

In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The select portions of the building proposed for demolition are not themselves of unusual or uncommon design. As the building dates from 1973, it is not of “unusual or uncommon design” and could be built using modern methods of construction.

Certificate of Appropriateness

The *Design Guidelines* states that the decks should not hide, obscure, or cause the removal of historic architectural details. The proposed project complies with these guidelines; as noted above, this house does not have historic architectural details. Additionally, the height of the building and

the use of steel cable railing will make the roof deck minimally visible from a public right of way. The railing will be visible, but the steel cable material will minimize its presence. See Figures 1 & 2. The Board has generally preferred the use of steel cable railing over wood railings, as wood railings are very prominent and noticeable, whereas steel cable is difficult to see from the ground.



North elevation



Northwest elevation

Figure 1: 104 Prince railing visibility (see red arrows)



Figure 2: Arrow pointing to 104 Prince as seen from Union

The mechanical condensing units are not visible now, nor will they be when relocated. Staff supports the use of fiber cement siding for the stair enclosure, as it will clearly differentiate the new stair enclosure from the original house. The placement of the stair enclosure adjacent to the chimney serves to camouflage it from pedestrian view. The Board approved a similar roof deck around the corner at the mid-19th century building at 203 South Union Street in 2018 (BAR2018-00374 & BAR2018-00375) with roof elements that are more visible than what is proposed at 104 Prince. See Figure 3, taken from the Strand. The stair enclosure at 203 South Union is circled. The left arrow points to the location of the proposed stair enclosure for 104 Prince; this will be located to the left of the chimney and the neighboring roofs will mostly obscure it from pedestrian view. The right arrow points to the hatch that will be removed as part of this project.



Figure 3: Photo taken from the Strand

Staff recommends approval of the project as submitted.

STAFF

Susan Hellman, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

III. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed roof deck and extended chimney will comply with zoning.

Code Administration

C-1 Building permit is required for review.

Transportation and Environmental Services

No comments received.

Transportation and Environmental Services Stormwater Management

F-1 Not substantial improvement.

Alexandria Archaeology

F-1 No Archaeology oversight necessary for this undertaking.

V. ATTACHMENTS

1 – Application Materials

2 – Supplemental Materials

3 – A8 with rooftop arrows

ADDRESS OF PROJECT: 104 Prince Street

DISTRICT: Old & Historic Alexandria Parker – Gray 100 Year Old Building

075.01-11-13

TAX MAP AND PARCEL: _____ ZONING: RM

APPLICATION FOR: (Please check all that apply)

CERTIFICATE OF APPROPRIATENESS

PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business (Please provide business name & contact person)

Name: Keith Harmon

Address: 104 Prince Street

City: Alexandria State: VA Zip: 22314

Phone: 571-237-5023 E-mail: keith.harmon@yahoo.com

Authorized Agent (if applicable): Attorney Architect _____

Name: Ray Novitske Phone: 703-535-7899

E-mail: ray@novitske.com

Legal Property Owner:

Name: Keith Harmon

Address: 104 Prince Street

City: Alexandria State: VA Zip: 22314

Phone: 571-237-5023 E-mail: keith.harmon@yahoo.com

- Yes No Is there an historic preservation easement on this property?
- Yes No If yes, has the easement holder agreed to the proposed alterations?
- Yes No Is there a homeowner's association for this property?
- Yes No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - doors
 - lighting
 - other _____
 - fence, gate or garden wall
 - windows
 - pergola/trellis
 - Rooftop deck, stair tower, and railing
 - HVAC equipment
 - siding
 - painting unpainted masonry
 - shutters
 - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Remove rooftop access hatch. Construct new enclosed stair to rooftop from the top floor consisting of wood framing, cement fiber siding, single ply membrane roof. Construct new composite decking surface over membrane roof on rooftop. Construct new aluminum frame and stainless steel cable railing system on four sides of rooftop, 18 inches from each edge. Relocate rooftop mechanical condenser units. Extend brick chimney above roof of new stair tower.

Encapsulation of 19.5 sq ft of the west, north, and south side of existing brick chimney which will form part of the interior walls at the new interior stairwell to the roof.

Alternatives would move the stair to another location, making it more visible.

An alternate location would be more disruptive to the existing interior top floor plan.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

075.01-11-13

- Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Keith Harmon

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All illuminated window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

Alexandria VA 22314

- Linear feet of building: Front: _____, Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- Clear and labeled photographs of the site, especially the area being impacted by the alterations, and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

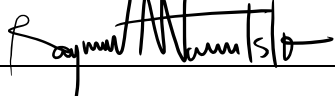
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ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

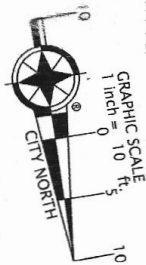
Printed Name: _____

Date: _____

NOTES: 1. UTILITIES ARE UNDERGROUND.

FLOOD NOTE: THIS PROPERTY IS IN ZONE AE OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 5155190041E, EFFECTIVE 6/16/2011.

- ELEVATION NOTES:
 1. ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
 2. BASEMENT FLOOR ELEVATION = 05.4
 3. FIRST FLOOR ELEVATION = 14.4
 4. GRADE ELEVATIONS ARE SHOWN AS "+.93".
 5. BASE FLOOD ELEVATION = 10.0



MONUMENT LINE
 SOUTH UNION STREET

N/F SHOTPUT PROPERTIES, LLC

N 81°15'00" W ~ 22.00'



PRINCE STREET

MONUMENT LINE

PLAT
 SHOWING HOUSE LOCATION ON
 THE PROPERTY LOCATED AT
#104 PRINCE STREET

(INST #170015995)
 CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1" = 10' OCTOBER 26, 2018 (ELEVATION CERT.)

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.
 A TITLE REPORT WAS NOT FURNISHED.
 NO CORNER MARKERS SET.



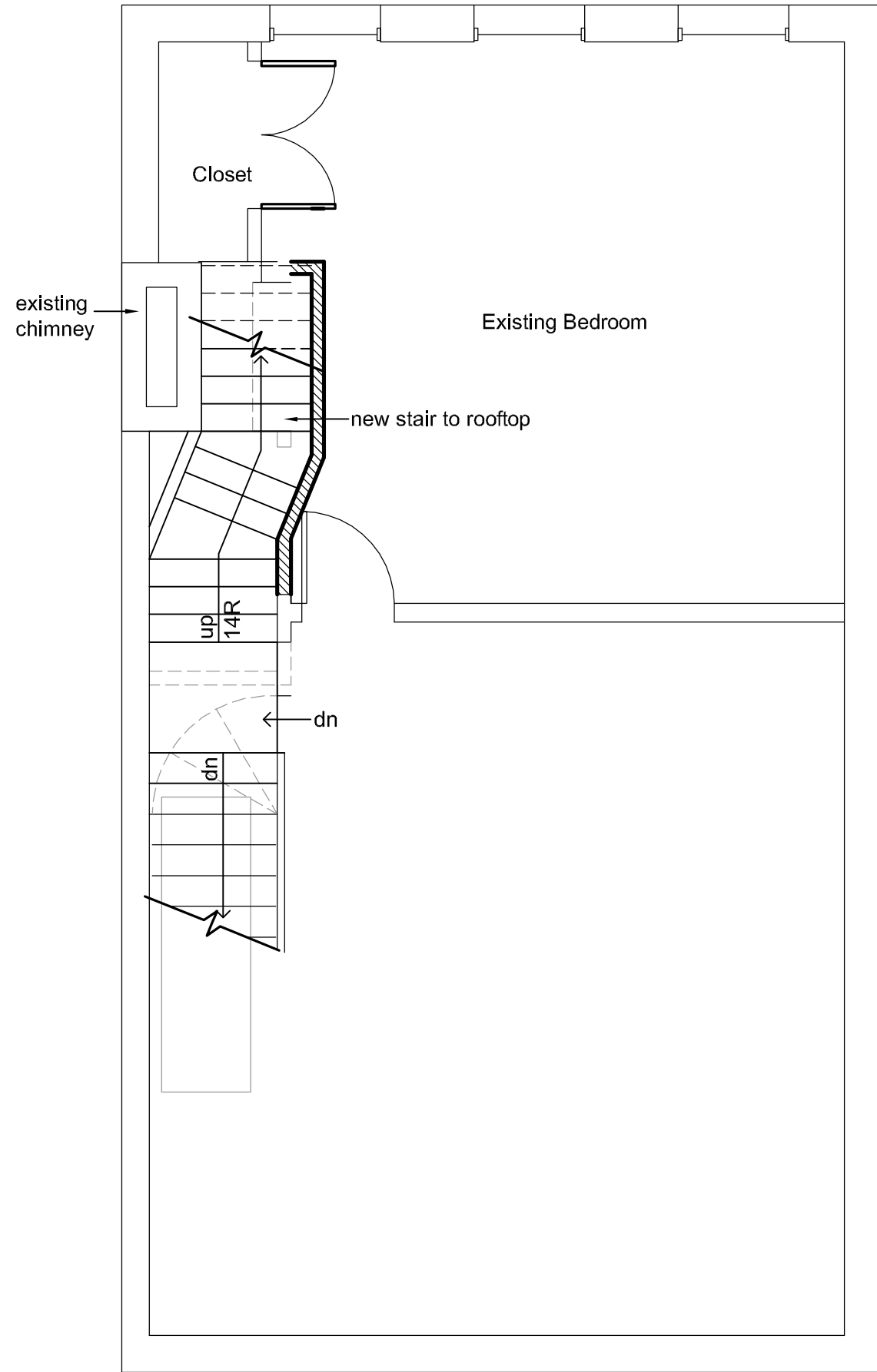
ORDERED BY:
 KEITH HARMON

DOMINION Surveyors Inc.®
 8808-H PEAR TREE VILLAGE COURT
 ALEXANDRIA, VIRGINIA 22309
 703-619-6555
 FAX: 703-799-6412

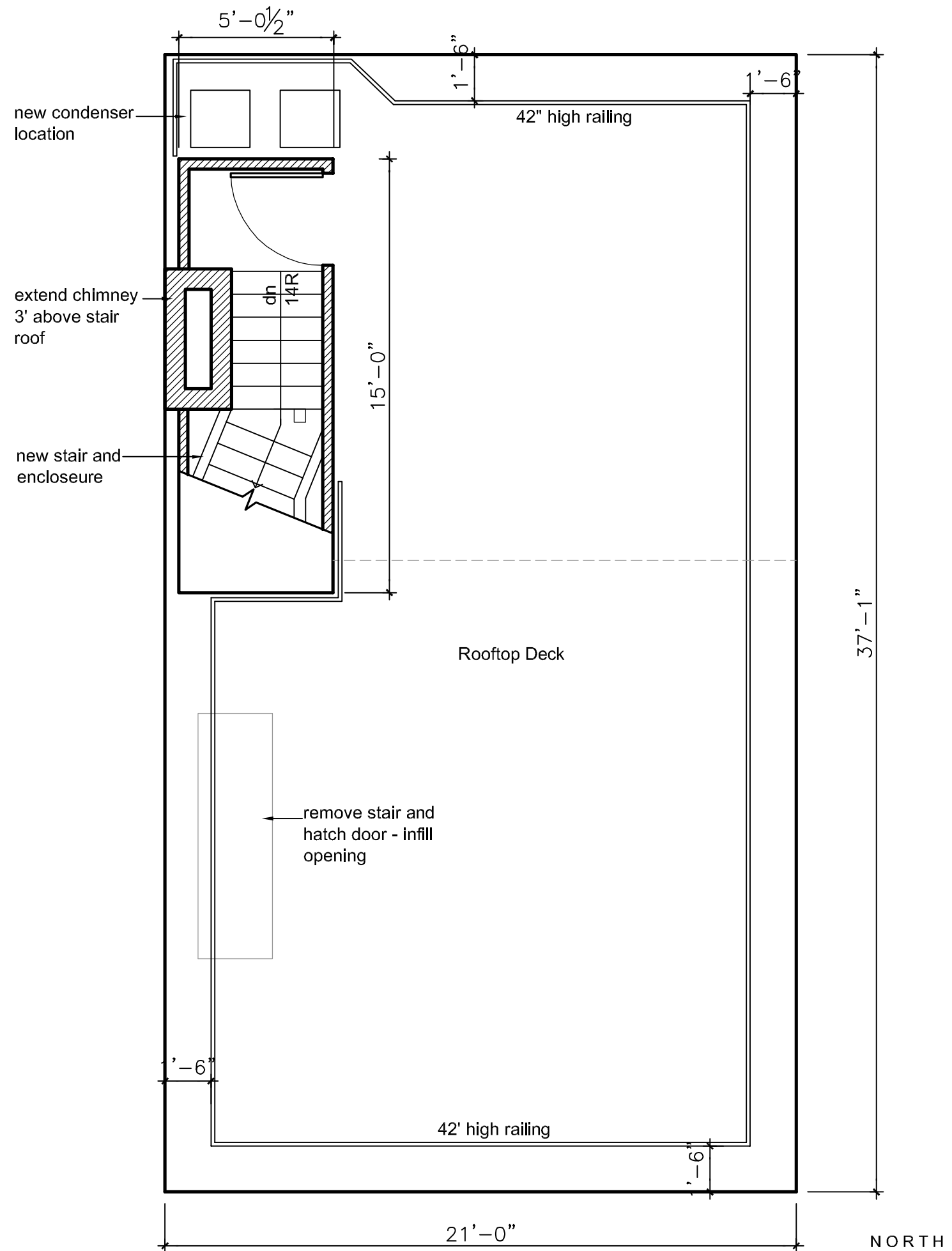
COPYRIGHT BY DOMINION SURVEYORS, INC. THE INFORMATION CONTAINED ON THIS DOCUMENT MAY NOT BE COPIED, REPRODUCED OR ALTERED IN ANY FORM WITHOUT PERMISSION IN WRITING FROM THE COPYRIGHT OWNER.

CASE NAME: HARMON

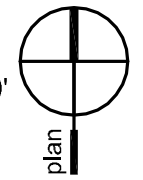
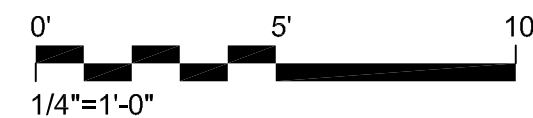
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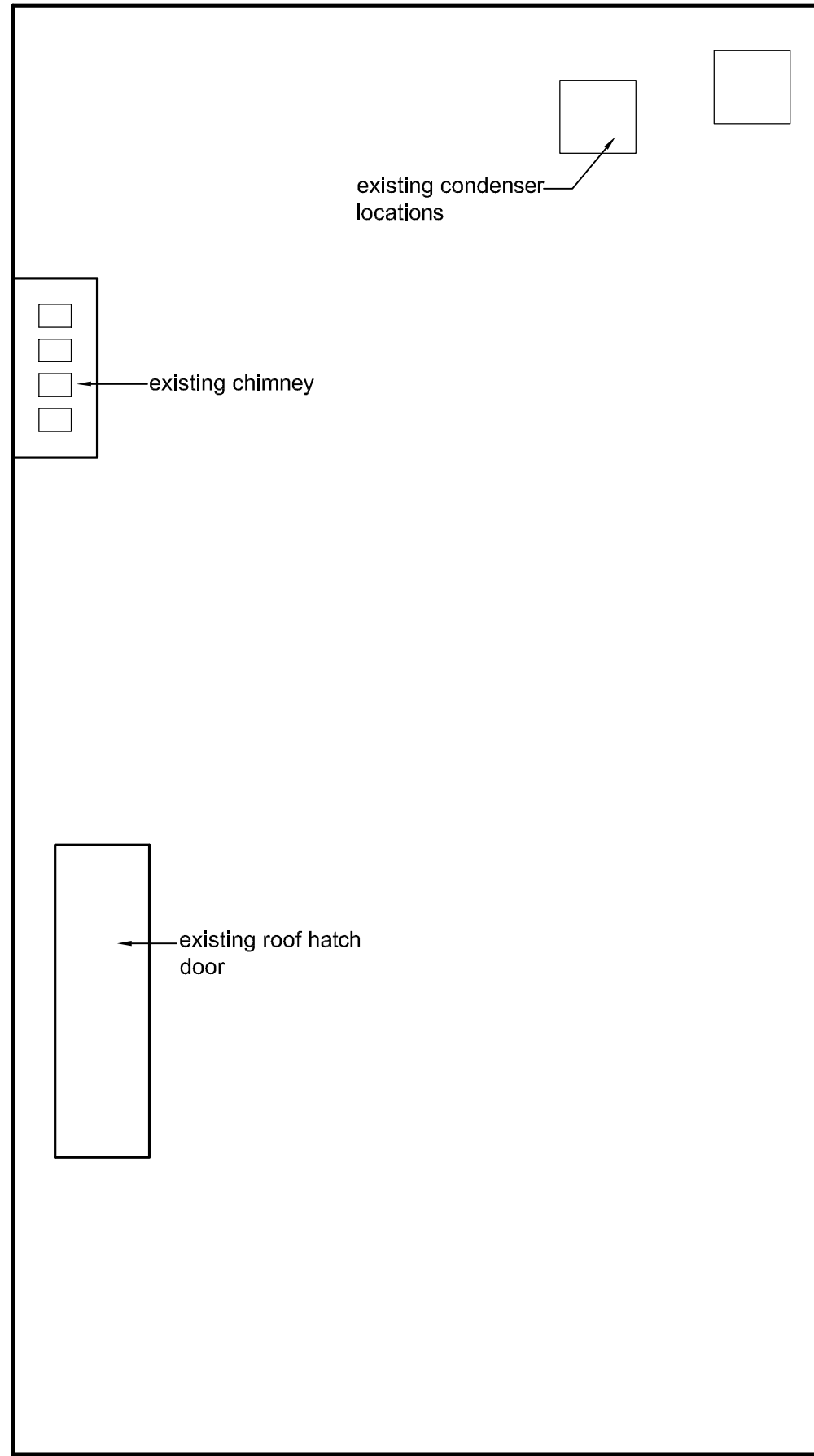


Proposed Fourth Floor Plan

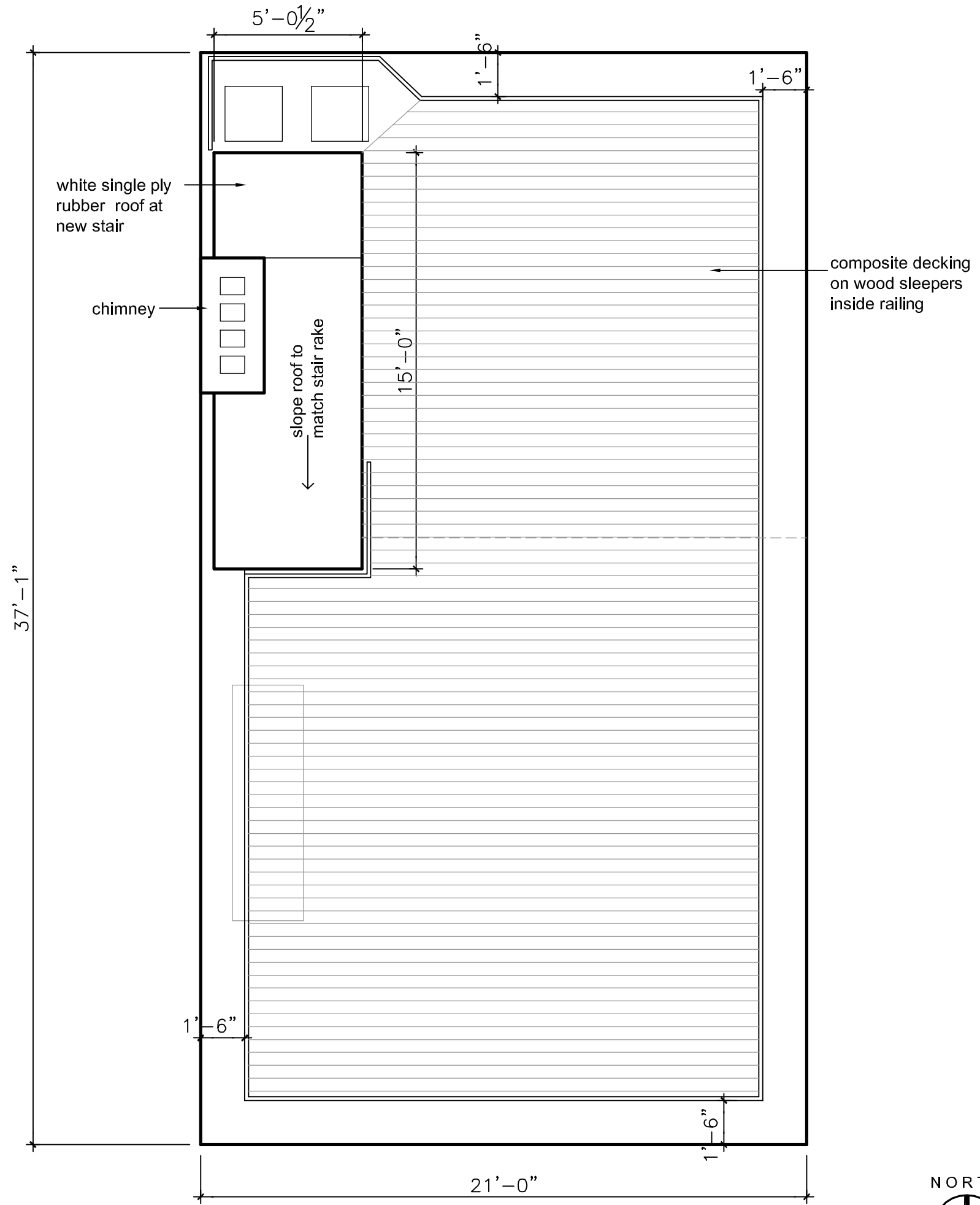


Proposed Rooftop Plan

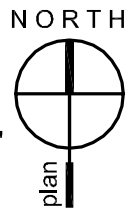
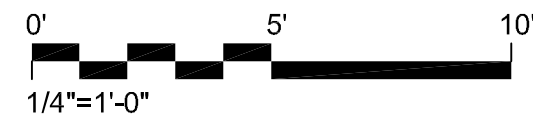


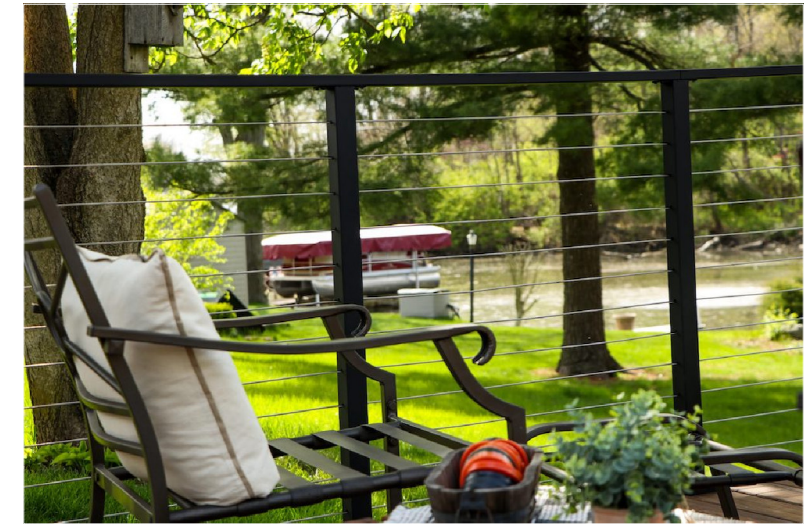
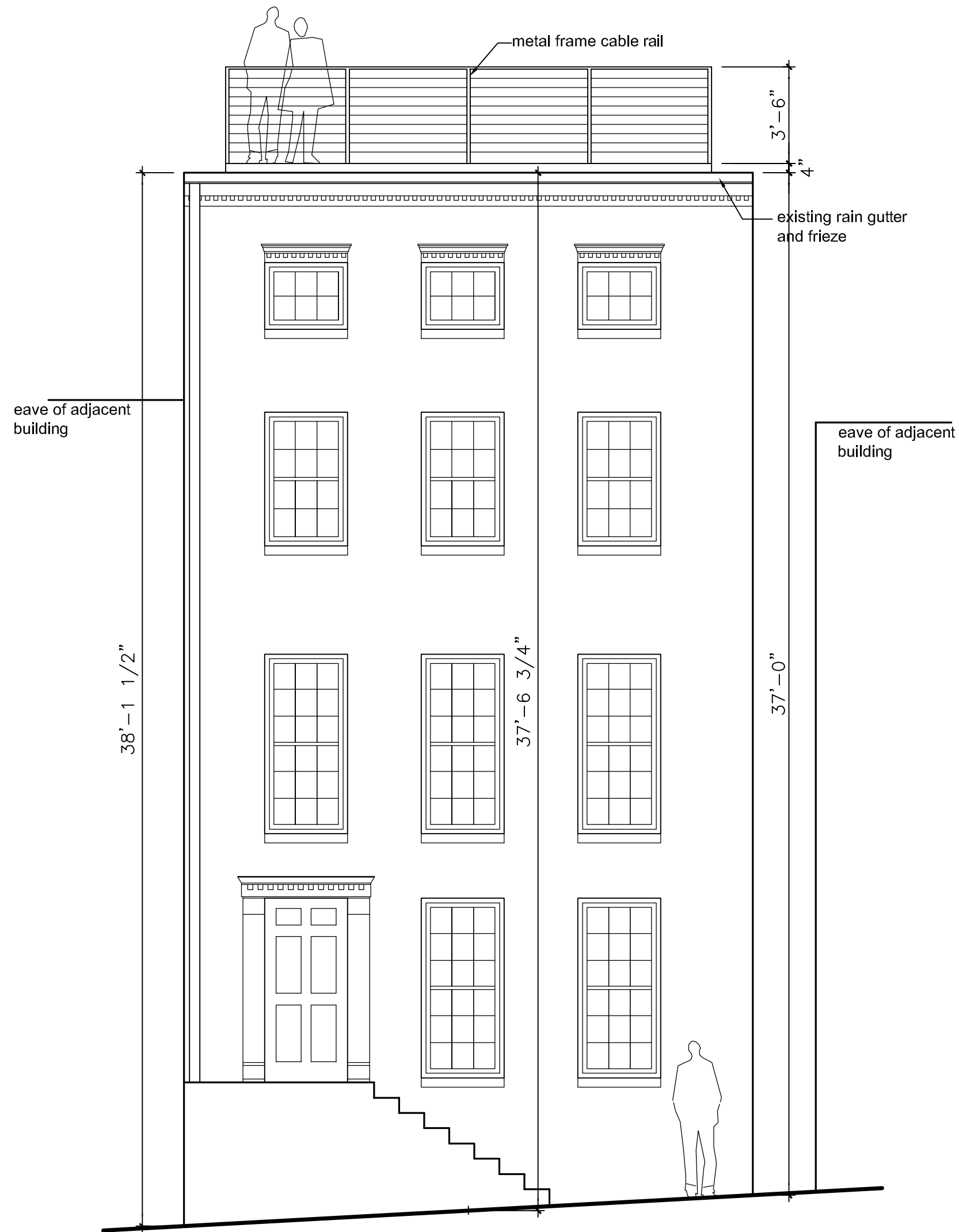


Existing Roof Plan

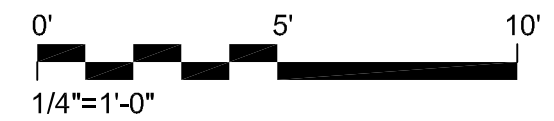


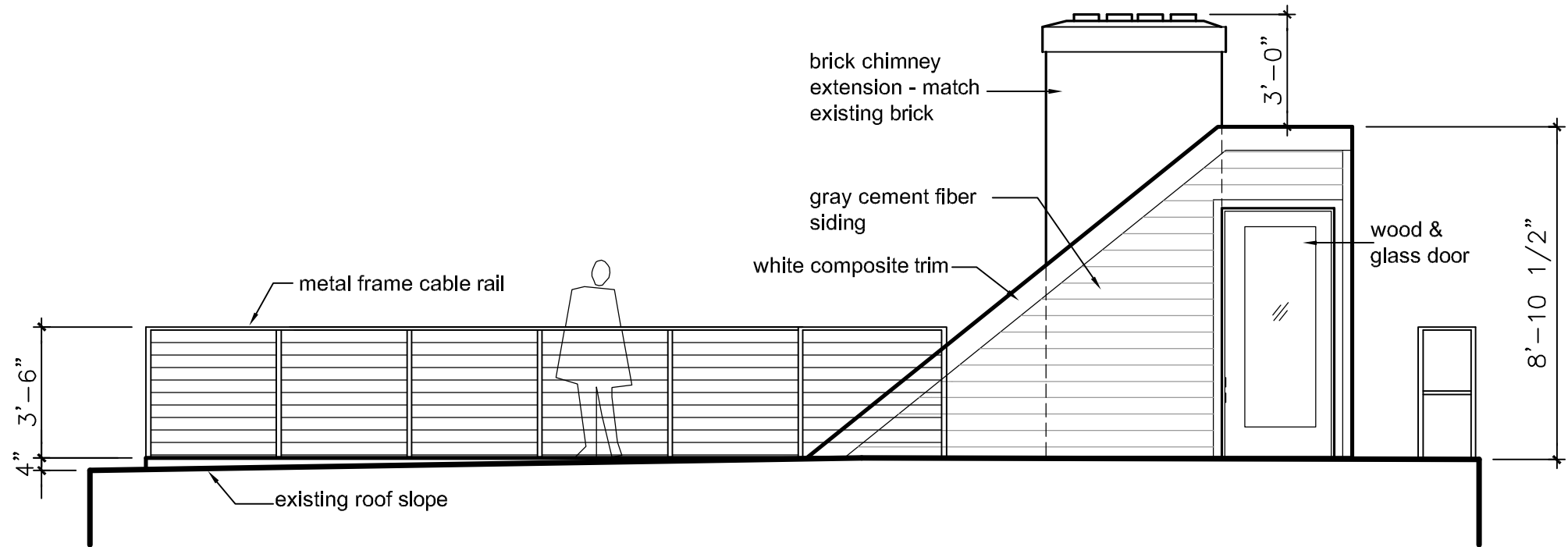
Proposed Roof Plan



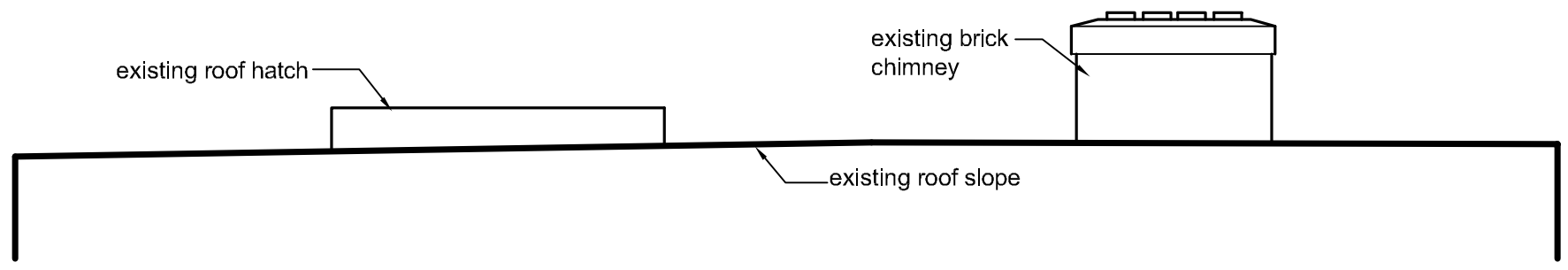


Black frame cable rail system with stainless steel cables

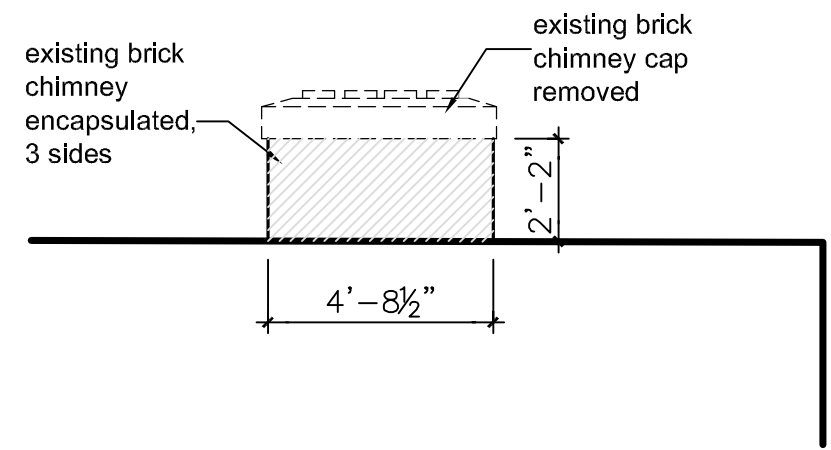




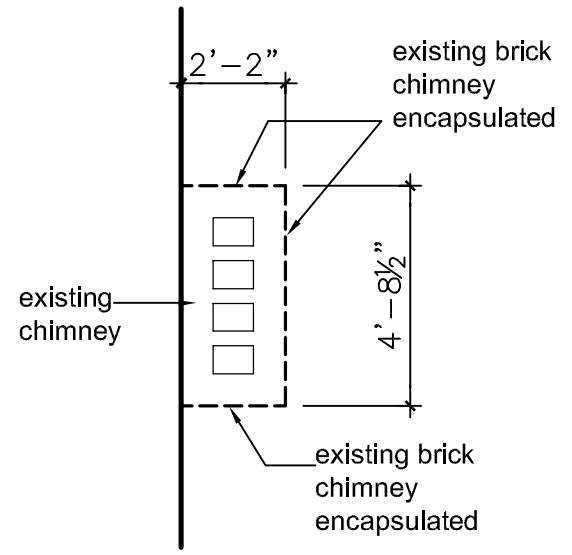
Proposed Rooftop West Elevation



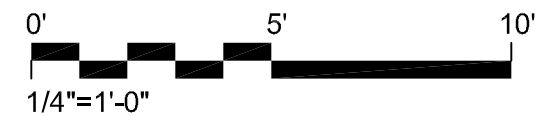
Existing Rooftop West Elevation

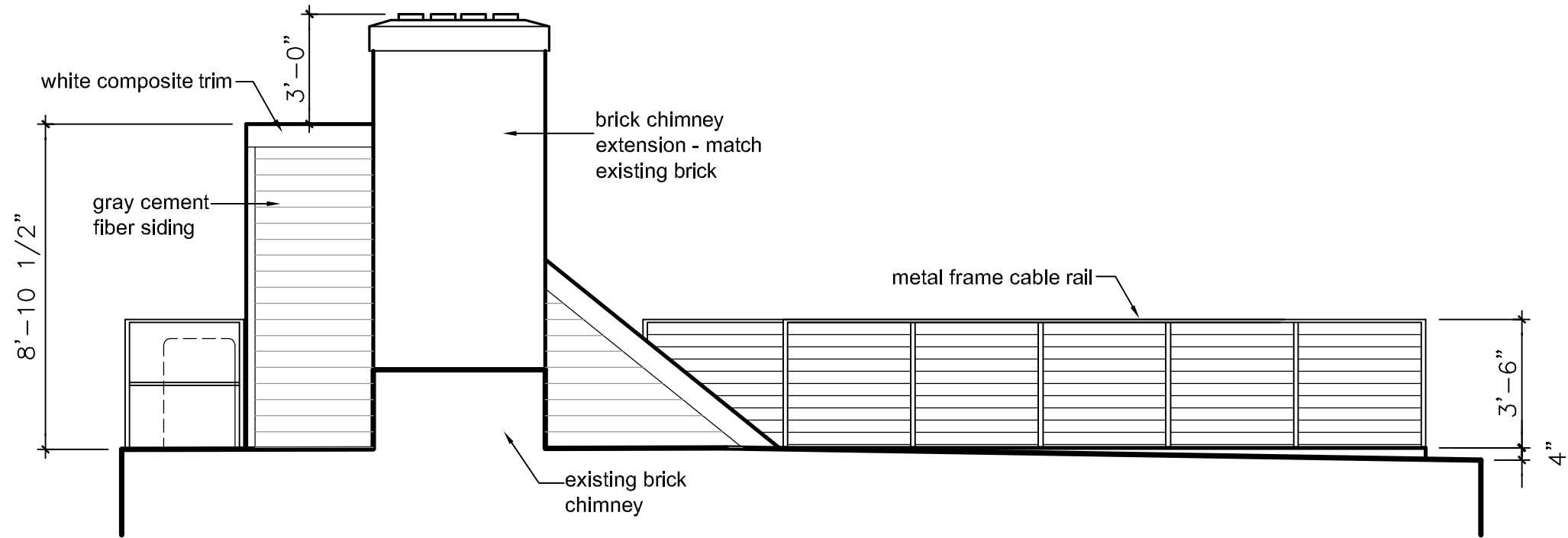


West Elevation
Chimney Excapsulation

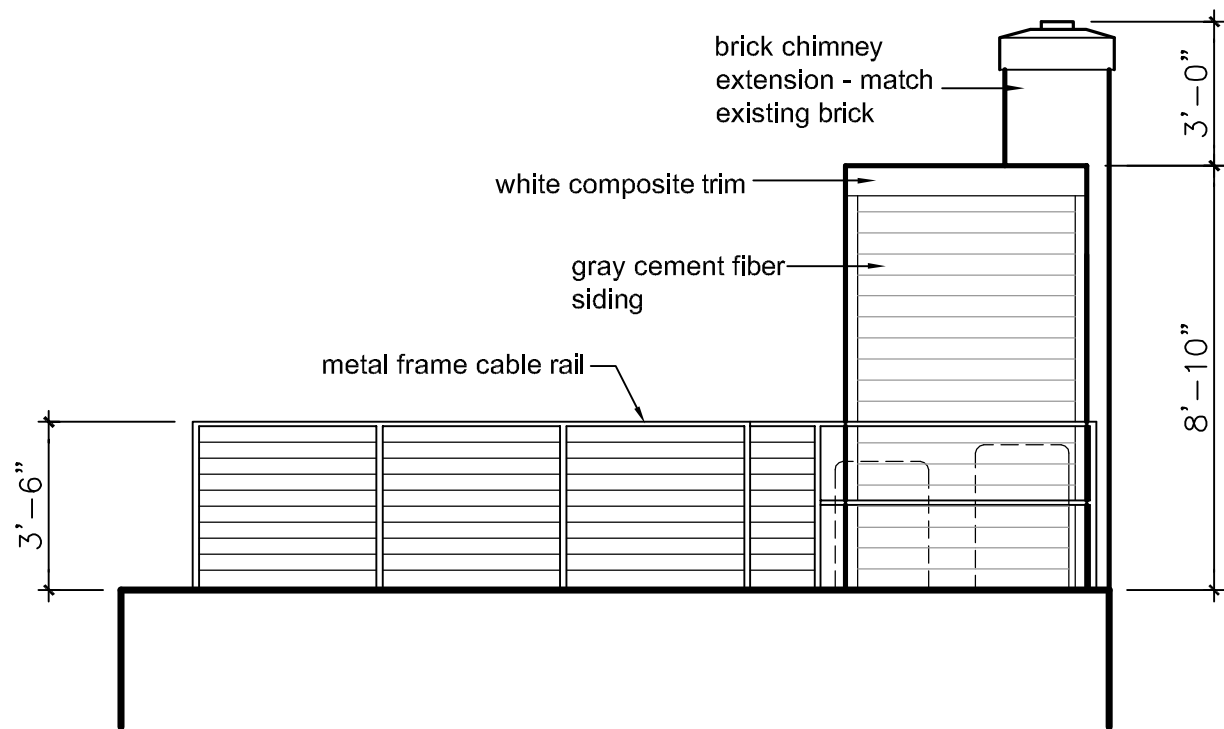


Plan





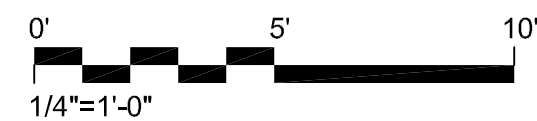
Proposed East Elevation



Proposed South Elevation



Medium gray cement fiber siding



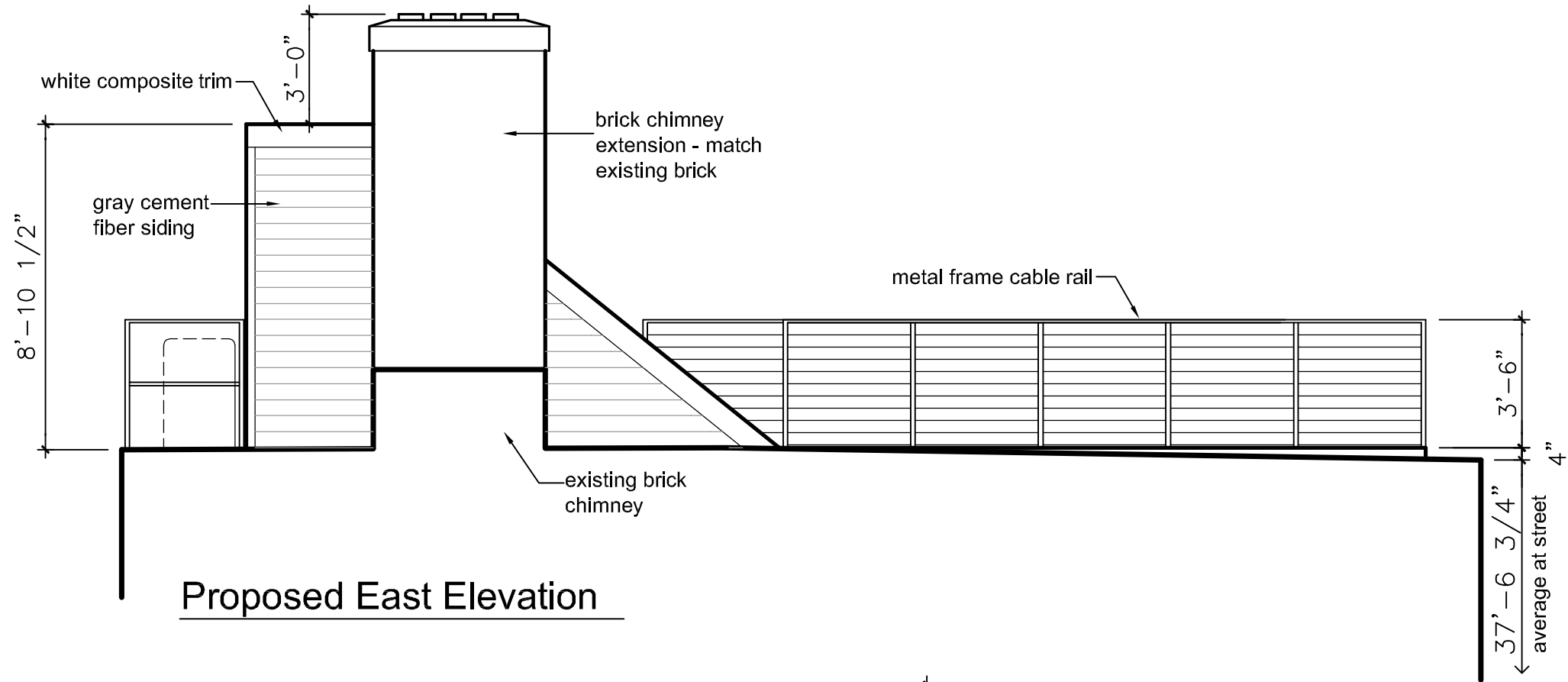
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 phase: Schematic
 project: 29210

Proposed Rooftop Elevations & Siding Samples

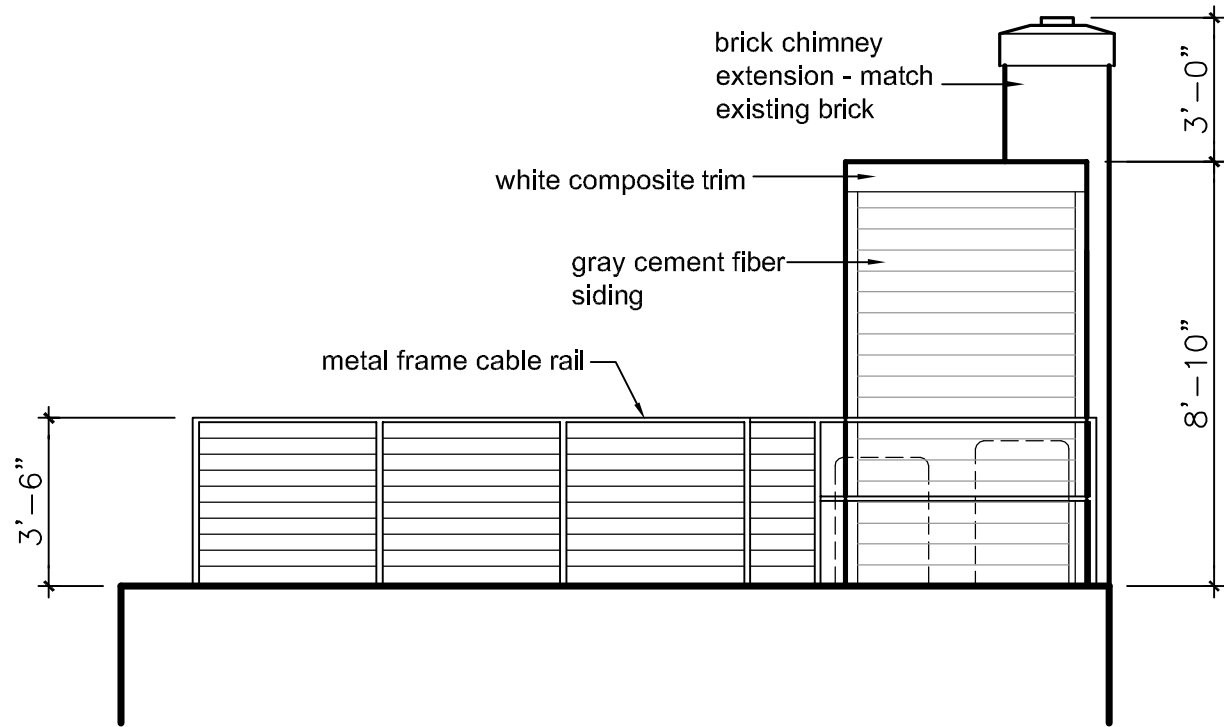
HARMON RESIDENCE
 104 Prince Street
 Alexandria, Virginia 22314

NOVITSKE ARCHITECTS
 201 North Fairfax Street • Suite 33
 Alexandria VA 22314
 703 535 7899

A5



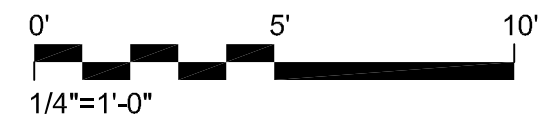
Proposed East Elevation



Proposed South Elevation



Medium gray cement fiber siding



NOVITSKE ARCHITECTS

201 North Fairfax Street • Suite 33
 Alexandria VA 22314
 703 535 7899

scale: 1/4"=1'-0"

date: 24 February 2023

phase: Schematic

project: 29210

Proposed Rooftop Elevations & Siding Samples

HARMON RESIDENCE

104 Prince Street
 Alexandria, Virginia 22314

A5



HARMON RESIDENCE
104 Prince Street
Alexandria, Virginia 22314

Proposed View from Northwest

scale: 1/4"=1'-0"

date: 13 February 2023

phase: Schematic

project: 29210

NOVITSKE ARCHITECTS
201 North Fairfax Street • Suite 33
Alexandria VA 22314
703 535 7899

A6



A7

HARMON RESIDENCE
104 Prince Street
Alexandria, Virginia 22314

Proposed View from Southeast

NOVITSKE ARCHITECTS
201 North Fairfax Street • Suite 33
Alexandria VA 22314
703 535 7899

scale: 1/4"=1'-0"
date: 13 February 2023
phase: Schematic
project: 29210



Northeast elevation



North elevation



Northwest elevation



Northeast elevation

Elevation Photos

HARMON RESIDENCE
 104 Prince Street
 Alexandria, Virginia 22314

NOVITSKE ARCHITECTS
 201 North Fairfax Street • Suite 33
 Alexandria VA 22314
 703.535.7899

scale: 1/4" = 1'-0"
 date: 13 February 2023
 phase: Schematic
 project: 29210



Existing roof hatch looking north



Chimney looking east



Looking east



203 South Union Street



400 South Lee Street



612 South Lee Street

NOVITSKE ARCHITECTS
201 North Fairfax Street • Suite 33
Alexandria VA 22314
703.535.7899

scale: 1/4"=1'-0"
date: 13 February 2023
phase: Schematic
project: 29210

Rootop Deck Example Photos

HARMON RESIDENCE
104 Prince Street
Alexandria, Virginia 22314

A10



Northeast elevation



North elevation



Northwest elevation



Northeast elevation

NOVITSKE ARCHITECTS
 201 North Fairfax Street • Suite 33
 Alexandria VA 22314
 703.535.7899

scale: 1/4" = 1'-0"
 date: 13 February 2023
 phase: Schematic
 project: 29210

Elevation Photos

HARMON RESIDENCE
 104 Prince Street
 Alexandria, Virginia 22314

A8

203 S Union Roof Deck



203 S Union Roof Deck



March 9, 2023

City of Alexandria
Board of Architectural Review
City Hall, 301 King Street
Room 2100

Re: Application for new rooftop deck at 104 Prince Street

To the Board of Architectural Review:

I am a life-long resident of the City of Alexandria, and currently live at 109 Prince Street on Captain's Row directly across from Applicant's house at 104 Prince. I have a deep love and appreciation for historic buildings and architecture, having grown up in a historically significant home at 318 North Quaker Lane, and now serving on the Board of the Historic Alexandria Foundation (HAF) which has been instrumental in preserving Alexandria's unique architectural heritage and third oldest historic district in the country since its founding in 1954.

While I do not object to the creation of well-designed rooftop decks and terraces, I cannot support the proposal in its current form for three reasons.

- First and most importantly, although the Applicant's home was built in 1974, it happens to occupy a prominent lot on arguably the most iconic, photographed block in the entire Historic district. As one of only two remaining cobblestone streets in Alexandria, as well the proximity to the river and the King Street corridor, the block has become a tourist magnet for those wanting to see early American homes (many of which have been carefully preserved). As Richard Pratt observed in his 1946 book "A Treasury of Early American Homes," "[t]hese two blocks of Colonial and Federal houses on Prince Street have no equal anywhere for period completeness." As a result of the uniqueness of Captain's Row, when it comes to project proposals that can be seen publicly from the street and sidewalks, the BAR should employ a heightened scrutiny of review.
- Second, in addition to being on Captain's Row, the Applicant's lot sits prominently toward to lower end of Prince Street, stands five stories in height and sits in such a way as to be prominently viewed from multiple vantage points. In effect, the current top floor of 104 Prince juts out above and over the neighboring roofline. As a result, anything that is built on the northern half of the building will be viewed as you walk down the sidewalk. Therefore, if the rooftop proposal were to be approved in its current form, it would further amplify the building's existing height, mass and scale and unnecessarily interfere with the historic character of the block.
- Finally, although I firmly believe 104 should have an appropriate rooftop deck that is ultimately approved by the BAR, I have concerns with the current design approach. The

current design proposes a black metal frame cable rail system with stainless steel cables at 42 inches. Adding to the height, the decking will rest on wood sleepers and will have to account for leveling of more than 4 inches on the slopping north/sidewalk exposure. Thus, as currently designed, it will add more than four feet of a very modern aesthetic that can be viewed from three different exposures. The materials chosen, such as the black metal frame and composite decking, enhance the problem of massing and scale.

As a result, I urge the BAR to work with the Applicant to arrive at a new design approach that significantly minimizes the massing and scaling on the northern half of the building (including on the north/western exposure and north/eastern exposure) to address the concerns noted above. Although I am not a licensed architect, I imagine there are appropriate techniques to reduce the scale and minimize the visual impact from the sidewalk. The installation of medium height teak planter boxes in lieu of (or partially blocking) tall black metal railings come to mind as possible solutions.¹ I do not think simply requiring a greater set back from the sidewalk completely solves the problem because it doesn't address the mass/scale of the structure when looking east-west.

I appreciate the opportunity to comment on the application, and I am hopeful the BAR will arrive at the correct decision and continue to play the leading role in preserving the character of the historic district.

Gratefully,

Patrick Burchette

¹ To be clear, I do not have a problem with the new stairwell/chimney on the southern half of the building as proposed, nor do I object to using the metal frame cable rail on the southern half of the building with limited public exposure.

Brandon Hensley & James Lettenberger
107 Prince Street
Alexandria, VA 22314
703-869-8439

8 March 2023

To whom it may concern,

Re: Request for a rooftop deck at 104 Prince Street (March 16, 2023 notice from Keith Harmon)

We are residents of the 100 block of Prince Street, we are opposed to the submitted plans. The plans do not stick with the historical nature of the 100 block of Prince Street. Captain's Row is one of two cobblestone streets remaining in Alexandria with homes that are maintained to the best historical accuracy/integrity possible. The 100 block of Prince is used by the City of Alexandria as the cornerstone for marketing tourism to the city and highlighting the history of Old Town, Alexandria. The proposed plan will be visible from the entire 100 block of Prince and portions of Lee and Union Street. Our objection is based on the visibility of the proposal from the street level and the reduction of the historical integrity of the street.

The rooftop deck plans for 104 Prince Street currently propose a railing that would stand just 18" back from the front of the house. This will be in plain sight of all walking by on the streets of Prince, Lee and Union and will not be in keeping with the historic facade of this or neighboring homes. If the railing would be moved back 6-8 feet, it would not be seen from the street and thus would maintain the historical integrity of the street. Please consider rejecting the current plans and requiring the future plans have a deck and railing that is moved back 6-8 feet from the front facade to a point that is not visible from the public right of way. Setting the front railing back 8 feet will still allow for a deck that is over 600 square feet.

It could be argued that a similar project was approved at 203 Union Street. This location is:

- a commercial property on a commercial/mixed use street
- faces other commercial properties
- has a brick wall in front of the railing that limits the view of the cabling.

In closing, we are asking the Board of Architectural Review to partner with the neighbors of Captain's Row. We will maintain the historical integrity of our homes for the enjoyment of residents and guests to the city and the BAR will protect the block from modifications that will lessen the historical integrity of the block.

We appreciate your understanding and hopeful support of our request.

Sincerely,

Brandon Hensley and James Lettenberger

Brandon Hensley and James Lettenberger

March 8, 2023

Amyx/Morehouse
115 Prince Street
Alexandria, VA 22314

To: The Board of Architectural Review Staff

Re: 104 Prince Street, Tax ID 075.011-11-13, Old & Historic District

This letter is in response to the upcoming BAR meeting scheduled for Thursday March 16th, 2023; we will not be able to attend the meeting in person; however, we are submitting our concerns via this letter and email.

We just heard about a proposal for a house on our historic block of Captain's Row at 104 Prince Street, Alexandria, VA, to add a modern railing to the roof of the residential property, which would be visible from the block.

Although we certainly understand the need for residential upkeep and improvements and applaud the efforts of residents who maintain their property. With your help, we expect all improvements to be in alignment with the BAR and the City of Alexandria historic protocols. As such we request that any rooftop terraces or structures to be set back and to be in the traditional style to maintain the visual and historic integrity of the street. Therefore, we oppose the request in its current form.

Thank you,

Cheryl Amyx and Michael Morehouse

From: [Preservation](#)
To: [Lanning J Blaser](#)
Cc: [Susan H. Hellman](#)
Subject: Fw: [EXTERNAL]BAR #2023-00075 OHAD
Date: Monday, March 13, 2023 8:07:37 AM

From: David Olinger <dsolinger100@gmail.com>
Sent: Saturday, March 11, 2023 6:30 PM
To: Preservation <Preservation@alexandriava.gov>
Subject: [EXTERNAL]BAR #2023-00075 OHAD

You don't often get email from dsolinger100@gmail.com. [Learn why this is important](#)

The historic 100 block of Prince Street is a major Alexandria tourist attraction. Annually, thousands of visitors stop to take photos of the cobblestone street and its 18/19th Century homes. Neighbors on the block take pride in their surroundings and strive to maintain its attractiveness and authenticity.

We understand that the owner of 104 Prince Street has submitted a proposal to add a rooftop deck to his building. The deck would be enclosed with a railing for safety reasons. The plan indicates that the railing would only be 18 inches from the edge of the building. In our opinion, given the historic character of the block, neither the deck nor the railing should be visible from the street.

It has been suggested that a mock-up (PVC pipe) be constructed so that the Board members and the community can see if the railing will be intrusive. We think this is an excellent idea that should be accomplished before the BAR takes any action with regard to the proposal.

Respectfully submitted,

David & Miriam Olinger
100 Prince Street

DISCLAIMER: This message was sent from outside the City of Alexandria email system. DO NOT CLICK any links or download attachments unless the contents are from a trusted source.

11 March 2023

Dear Members of the BAR,

Re: Request for a rooftop deck at 104 Prince Street (March 16, 2023 notice from Keith Harmon)

My husband and I are residents of the 100 block of Prince Street, and although Mr. Harmon is a friend and good neighbor, we are opposed to his submitted plans. Captain's Row, as that block is known, is noted for its cobblestone street and Colonial charm. Its residents strive to maintain its historical integrity. Mr. Harmon's house is already the tallest on the block* and least in-keeping with traditional Colonial style. The modern railing he proposes, and no doubt the new stairway enclosure - almost nine feet high, will be easily visible from the public right of way which makes them detract from the historical integrity of the block, and be a constant distraction for those who live on the odd number side of the street.

There are at least two other homes on the 100 block of Prince Street with flat roofs; neither has projections visible above their roof lines.

The property Mr. Harmon uses as a comparable, 203 Union Street, is not, in fact, comparable. That block of Union Street is commercial, not residential. Also, the building does not tower over the neighboring buildings and Union Street is flat unlike the hill of the 100 block of Prince Street. Further, the southern side of their deck abuts the slope of the roof on that side blocking any view of that railing from the south. The building has a brick facade in the front as well that limits the view of the railing.

It has been suggested that Mr. Harmon's railing be set back from the street side at least 6-8 feet rather than the proposed 18" in order to reduce the visual impact of the rooftop deck. I'm not sure this distance would accomplish that purpose, but it would certainly be preferable to the current proposal.

Thank you for your attention to our concerns.

Yours truly,

Ed and Barbara Lee Wachter

Ed and Barbara Lee Wachter

106 Prince Street

Alexandria, VA 22314

703-395-9559

*Please note diagram A3 for the relative heights of Mr. Harmon's house and those of his immediate neighbors.

There are at least two other homes on the 100 block of Prince Street with flat roofs; neither has projections visible above their roof lines.