

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations and addition

APPLICANT: Sam & Ashley Chamberlain

LOCATION: Old and Historic Alexandria District
320 South Fairfax Street

ZONE: RM/Residential Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations and addition, as submitted, noting the recommendations of Alexandria Archaeology.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



Note: Staff coupled the applications for a Permit to Demolish (BAR2023-00059) and Certificate of Appropriateness (BAR2023-00058) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant is requesting a Permit to Demolish/Capsulate (partial) to remove an existing side/rear porch and build a two-story addition and a new porch with a rooftop deck at 320 South Fairfax Street.

Permit to Demolish/Capsulate

The project calls to demolish an existing one-story 7'-6" x 5'-0" porch at the rear of the main block dogleg, remove approximately 12 SF of the walls on the east/rear elevation of the main block, second story, and on the first floor south elevation of the ell to enlarge the existing openings for the installation of doors, and approximately 21 SF of the existing masonry garden wall to install a gate. The proposed two-story addition will capsulate approximately 218 SF of the rear/east elevation of the main block and south elevation of the property's ell.

Certificate of Appropriateness

The project calls for the construction of a 7'-6" x 5'-0" two-story addition at the rear of the main block dogleg and a new porch with a rooftop deck above it. The new addition will be clad with HardiPlank siding smooth finish and covered with a metal roof to match the existing. The new addition will have two windows on the south elevation property line, first and second story, the windows will be SDL six-over-six, Jeld Wen, double-hung wood clad; the second-story window will have paneled shutters to match the existing shutters of the main block. The proposed rooftop deck above the new porch will have AZEK trim and railing, and the new doors wood clad with SDL colonial grid (not visible from a public way). The new proposed gate will be made of wood.

Site context

The subject property sits on the east side of the 300 block of South Fairfax Street. There is a private alley running adjacent to the south side of the property. The south elevation of the new addition, the proposed porch with a rooftop deck, and the new gate, will be minimally visible from the public way (Figure 1)



II. HISTORY

The three-bay Victorian Second Empire frame detached dwelling was constructed between **1877 and 1885**, according to Hopkins Atlas of Alexandria and the Sanborn Fire Insurance Maps, and the two-story, two-bay addition to the north of the main block was approved by the Board in 1985 (BAR Case #85-35, March 6, 1985) in a replicative style, though set back to suggest later construction.

Previous BAR Approvals

BAR96-0159 – trellis, parking pad, brick wall and iron gate.

BAR2011—0314 – gas light fixtures on the front façade.

BAR2018-00361 & BAR2018-00362 – Permit to Demolish/Capsulate and Certificate of Appropriateness for alterations and addition.

The property received a variance in June 2018 for the limited portion of the addition located in the five-foot wide yard (BZA Case #2018-007).

A Special Exception is scheduled to be heard by the BZA on March 13, 2023 (BZA2023-00003) to extend a non-compliant wall for an addition into the required side yard.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The area which will be demolished is not historic and the materials to be demolished are not of unusual or uncommon design and could be reproduced easily and the area to be capsulated is not visible from a public way.

Certificate of Appropriateness

The *Design Guidelines* state that “As a general rule, the stylistic characteristics of additions to residential buildings should reflect the historical architectural styles found within the historic districts. Because of the long history and diversity of architectural styles in Alexandria, The Boards do not consider this a limiting factor.” In addition, “It is not the intention of the Boards to dilute design creativity in residential additions. Rather, the Boards seek to promote compatible development that is, at once, both responsive to the needs and tastes of late 20th [21st] century while being compatible with the historic character of the districts.”

Staff has no objection to the construction of a two-story addition, a porch with rooftop deck, and new gate at the rear of the property. The additions will be minimally visible from the public way and will not detract from the historic character of the main historic building or the historic district. Furthermore, the Board routinely approves changes on the rear elevations of historic buildings to accommodate a more modern and functional interior layout as tastes and technology evolve. The existing rear elevation does not exhibit a high level of design or architectural detail as well and has limited visibility.

Therefore, staff recommends approval of the project. Staff notes the recommendations of Alexandria Archaeology.

STAFF

Marina Novaes, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

III. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 the proposed addition is located in the south side yard. The applicant has requested a special exception from the BZA2023-00003 This request is docketed before the BZA on March 13. If the special exception is approved the addition will comply with zoning.

Code Administration

C-1 A building permit is required for review.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing

easements on the plan. (T&ES)

- F-1 Previously reviewed under BAR2018-00361, BAR2018-00362. (T&ES)
- F-2 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-3 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 This street face had free black households prior to the Civil War and a vinegar manufactory in the early 19th century. There is potential for buried archaeological resources, such as historic structural remains (wells, privies, wall foundations, etc.) or concentrations of artifacts to be present.

Archaeology Recommendations

- *1. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- *2. The applicant/developer shall not allow any metal detection to be conducted on the property, or allow independent parties to collect or excavate artifacts, unless authorized by Alexandria Archaeology,
3. The statements in archaeology conditions above marked with an asterisk “*” shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

V. ATTACHMENTS

1 – Supplemental Materials

BAR Case # _____

ADDRESS OF PROJECT: 320 SOUTH FAIRFAX ST

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 7503-06-31 ZONING: RM

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: SAM & ASHLEY CHAMBERLAIN

Address: 320 SOUTH FAIRFAX ST

City: ALEXANDRIA State: VA Zip: 22314

Phone: _____ E-mail: ashleychamberlainc me.com

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ _____

Name: PATRICK CAMUS

Phone: 703 626 1984

E-mail: studiocamus@comcast.net

Legal Property Owner:

Name: SAME

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

- | | | |
|------------------------------|--|--|
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | Is there an historic preservation easement on this property? |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | If yes, has the easement holder agreed to the proposed alterations? |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | Is there a homeowner's association for this property? |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | If yes, has the homeowner's association approved the proposed alterations? |

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--------------------------------------|--|---|-----------------------------------|
| <input type="checkbox"/> awning | <input checked="" type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☒ ADDITION
- ☒ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

REQUEST APPROVAL TO REMOVE EXIST SIDE PORCH
ON SOUTH SIDE OF PROPERTY AND REPLACE WITH
A TWO STORY ADDITION & SIDE ENTRY PORCH.
ADD SIDE GATE IN EXIST ALLEY BRICK WALL

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☒ ☐ Description of the reason for demolition/encapsulation.
- ☒ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____
- ☒ ☐ Square feet of existing signs to remain: _____
- ☒ ☐ Photograph of building showing existing conditions.
- ☒ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☒ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☒ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☒ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☒ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____



Printed Name: _____

PATRICK CAMUS

Date: _____

1 Feb 2023

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. SAM & ASHLEY CHAMBERLAIN	320 S FAIRFAX ST	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 320 S FAIRFAX ST (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. SAM & ASHLEY CHAMBERLAIN	320 S FAIRFAX ST	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. SAM & ASHLEY CHAMBERLAIN	N/A	N/A
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

24 JUN 23 PATRICK CAMUS
Date Printed Name


Signature



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. 320 South Fairfax Street RM
Street Address Zone

A2. 3360 x 1.5 = 5040
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**		
Basement	1747	Basement**	1747	B1. 5271 Sq. Ft.
First Floor	1527	Stairways**	135	Existing Gross Floor Area*
Second Floor	1747	Mechanical**	12	B2. 2094 Sq. Ft.
Third Floor		Attic less than 7'***		Allowable Floor Exclusions**
Attic		Porches**		B3. 3177 Sq. Ft.
Porches	250	Balcony/Deck**		Existing Floor Area Minus Exclusions (subtract B2 from B1)
Balcony/Deck		Lavatory***	200 (x4)	
Lavatory***		Other**		
Other**		Other**		
B1. Total Gross	5271	B2. Total Exclusions	2094	

Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**		
Basement		Basement**		C1. 111 Sq. Ft.
First Floor	38	Stairways**		Proposed Gross Floor Area*
Second Floor	38	Mechanical**		C2. 50 Sq. Ft.
Third Floor		Attic less than 7'***		Allowable Floor Exclusions**
Attic		Porches**		C3. 61 Sq. Ft.
Porches	35	Balcony/Deck**		Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Balcony/Deck		Lavatory***	50	
Lavatory***		Other**		
Other		Other**		
C1. Total Gross	111	C2. Total Exclusions	50	

D. Total Floor Area

D1. 3238 Sq. Ft.
Total Floor Area (add B3 and C3)

D2. 5040 Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space (RA & RB Zones)

E1. 1436 42% Sq. Ft.
Existing Open Space

E2. 1176 35% Sq. Ft.
Required Open Space

E3. 1436 42% Sq. Ft.
Proposed Open Space

Notes

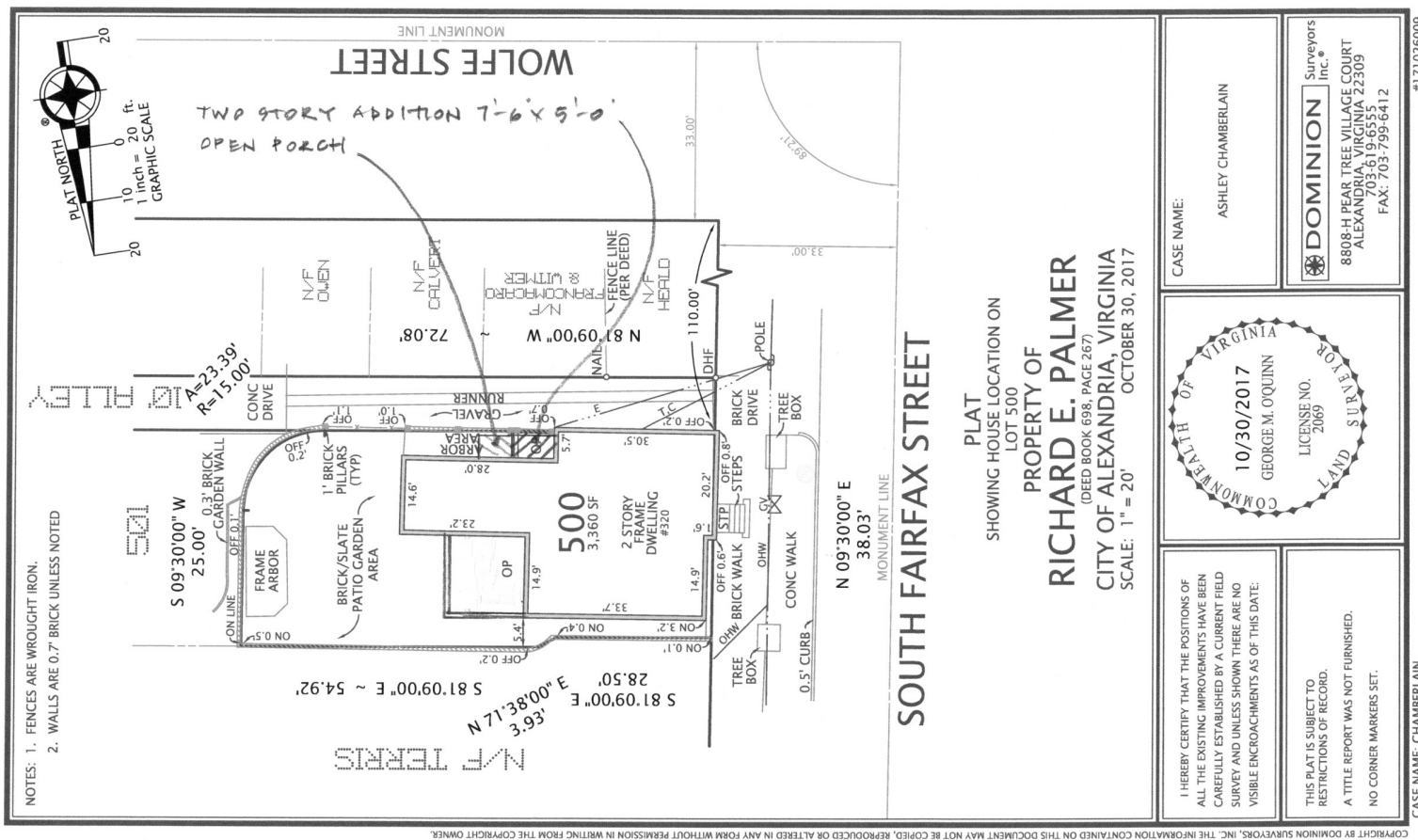
*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____ Date: _____



STUDIO CAMUS LLC
225 North Pitt Street Alexandria Virginia 22314
studiocamus@comcast.net
Lynnette 703 989 3777 Patrick 703 626 1984

CHAMBERLAIN RESIDENCE
320 South Fairfax Street Alexandria Virginia

DATE
25 JAN 23
SCALE
1" = 20'-0"

SHEET
CS1



JELD WEN Simulated Divided Lites

Clad Window Specs

(SDL) grilles that are permanently attached to both the interior and exterior glass (aluminum for clad exteriors, wood for wood exteriors), metal bars placed between the panes of insulating glass to provide design detail.

Grilles 7/8" width in putty profile: These grilles are available in wood for wood exteriors or the color that matches the exterior clad color of the window you choose or a custom color.



Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. 320 South Fairfax Street
Street Address
RM Zone
A2. 3360 x 1.5 = 5040
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**		
Basement	1747	Basement**	1747	B1. 5271 Sq. Ft.
First Floor	1527	Stairways**	135	Existing Gross Floor Area*
Second Floor	1747	Mechanical**	12	B2. 2094 Sq. Ft.
Third Floor		Attic less than 7**		Allowable Floor Exclusions**
Attic		Porches**		B3. 3177 Sq. Ft.
Porches	250	Balcony/Deck**		Existing Floor Area Minus Exclusions
Balcony/Deck		Lavatory***	200 (x4)	(subtract B2 from B1)
Lavatory***		Other**		
Other**		Other**		
B1. Total Gross	5271	B2. Total Exclusions	2094	Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**		
Basement		Basement**		C1. 111 Sq. Ft.
First Floor	38	Stairways**		Proposed Gross Floor Area*
Second Floor	38	Mechanical**		C2. 50 Sq. Ft.
Third Floor		Attic less than 7**		Allowable Floor Exclusions**
Attic		Porches**		C3. 61 Sq. Ft.
Porches	35	Balcony/Deck**		Proposed Floor Area Minus Exclusions
Balcony/Deck		Lavatory***	50	(subtract C2 from C1)
Lavatory***		Other**		
Other		Other**		
C1. Total Gross	111	C2. Total Exclusions	50	

D. Total Floor Area

D1. 3238 Sq. Ft.	E. Open Space (RA & RB Zones)
Total Floor Area (add B3 and C3)	E1. 1436 42% Sq. Ft.
D2. 5040 Sq. Ft.	Existing Open Space
Total Floor Area Allowed by Zone (A2)	E2. 1176 35% Sq. Ft.
	Required Open Space
	E3. 1436 42% Sq. Ft.
	Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: [Signature] Date: 29 JAN 23

C²

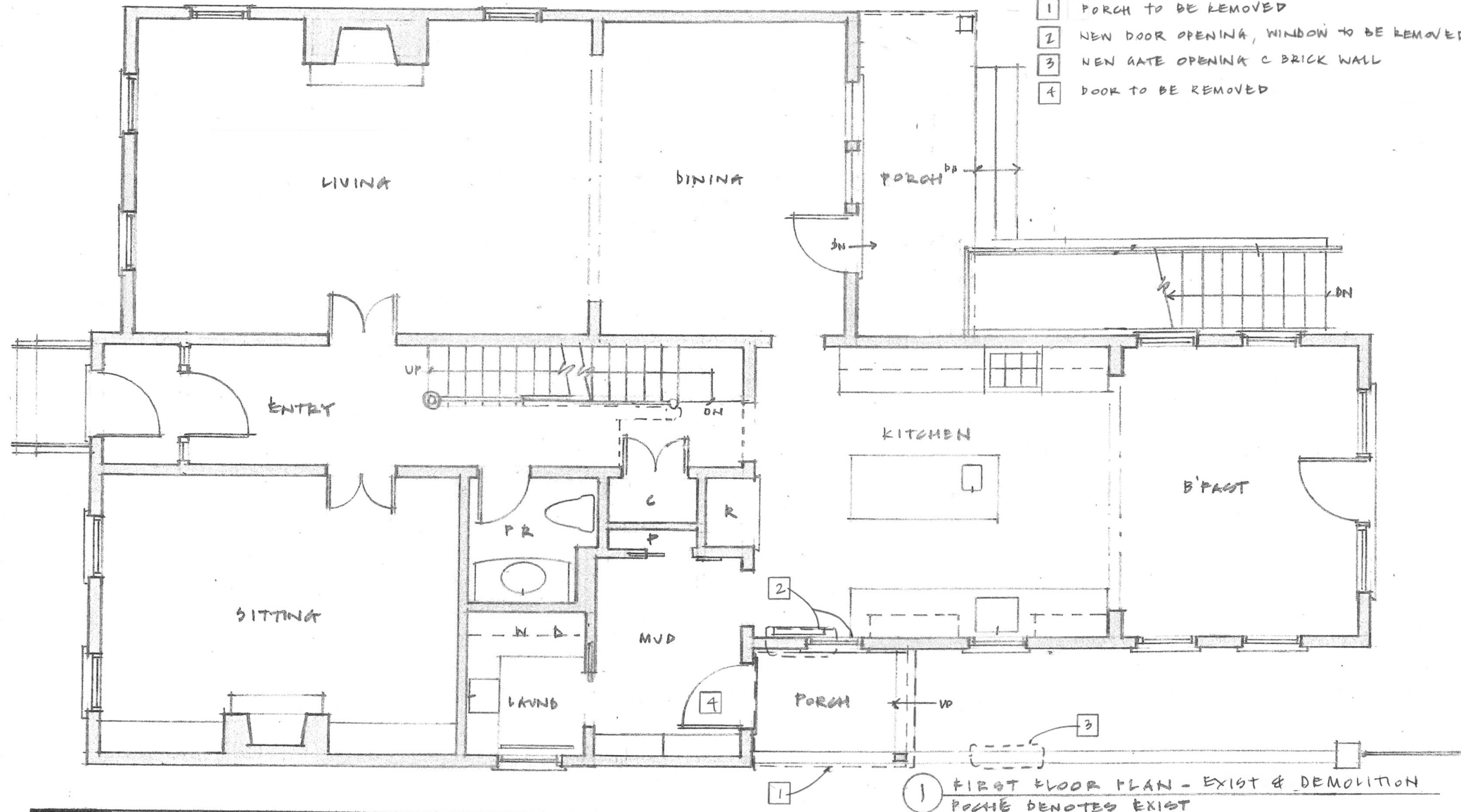
STUDIO CAMUS LLC
225 North Pitt Street Alexandria Virginia 22314
studiocamus@comcast.net
Lynnette 703 989 3777 Patrick 703 626 1984

CHAMBERLAIN RESIDENCE
320 South Fairfax Street Alexandria Virginia

DATE 29 JAN 23 SHEET C92
SCALE N.T.S.

NOTES

- 1 PORCH TO BE REMOVED
- 2 NEW DOOR OPENING, WINDOW TO BE REMOVED
- 3 NEW GATE OPENING & BRICK WALL
- 4 DOOR TO BE REMOVED



C²

STUDIO CAMUS LLC
225 North Pitt Street Alexandria Virginia 22314
studiocamus@comcast.net
Lynnette 703 989 3777 Patrick 703 626 1984

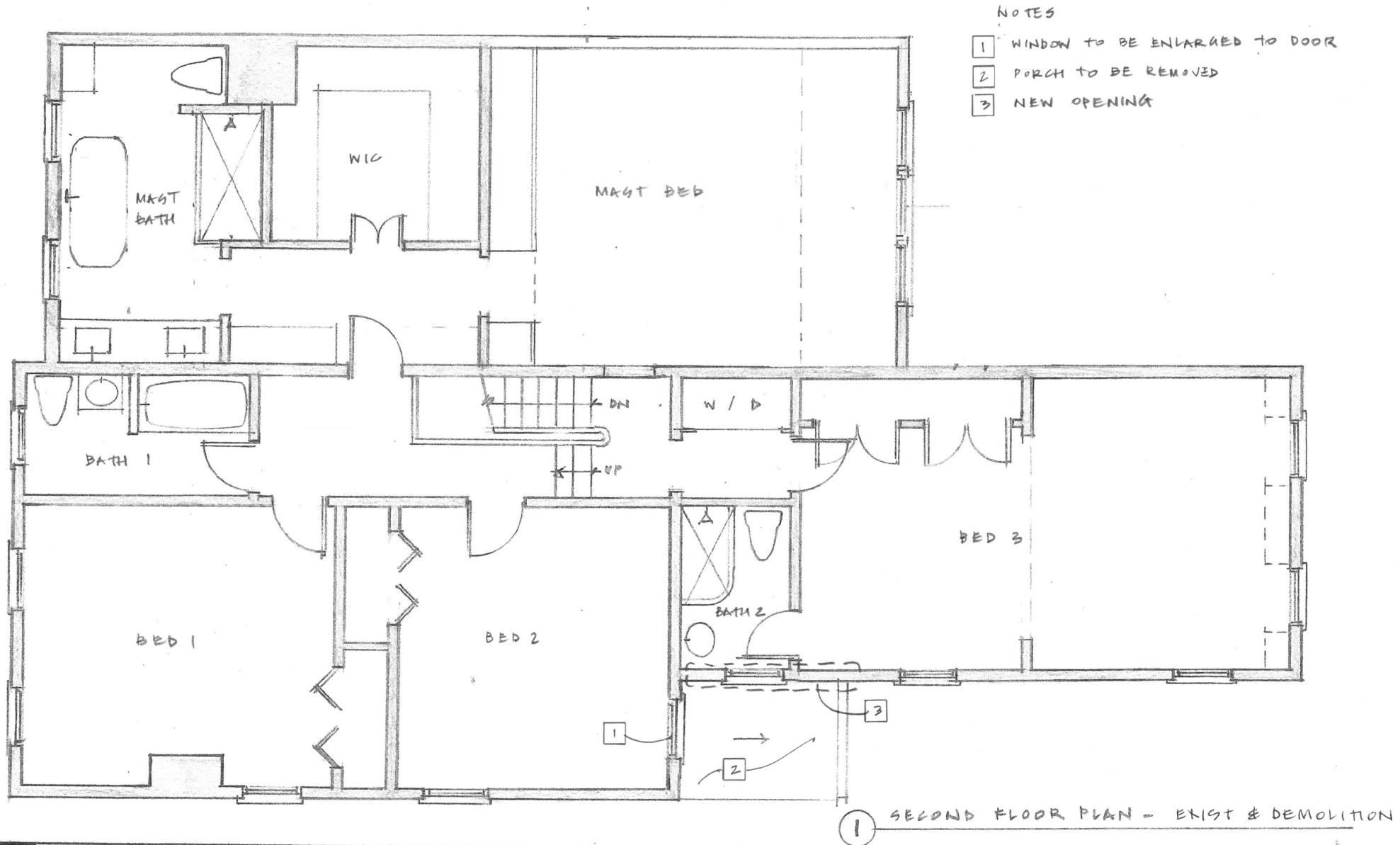
CHAMBERLAIN RESIDENCE
320 South Fairfax Street Alexandria Virginia

DATE
25 JAN 23

SCALE
1/4" = 1'-0"

SHEET

A1



C²

STUDIO CAMUS LLC
 225 North Pitt Street Alexandria Virginia 22314
 studiocamus@comcast.net
 Lynnette 703 989 3777 Patrick 703 626 1984

CHAMBERLAIN RESIDENCE
 320 South Fairfax Street Alexandria Virginia

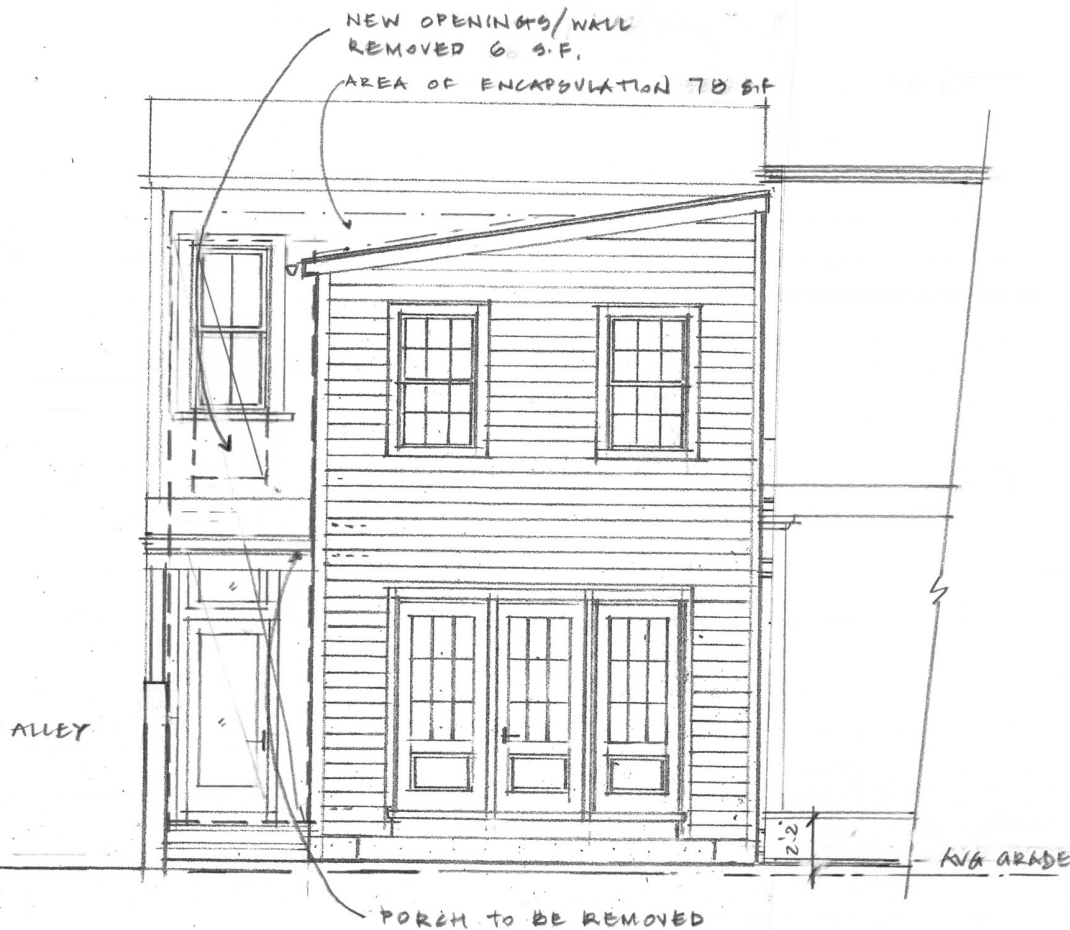
DATE
25 JAN 23
 SCALE
1/4" = 1'-0"

SHEET
A2



① SIDE ELEVATION - EXIST & DEMOLITION

<p>C² STUDIO CAMUS LLC 225 North Pitt Street Alexandria Virginia 22314 studiocamus@comcast.net Lynnette 703 989 3777 Patrick 703 626 1984</p>	<p>CHAMBERLAIN RESIDENCE 320 South Fairfax Street Alexandria Virginia</p>	<p>DATE 25 JAN 23</p> <p>SCALE 1/4" = 1'-0"</p>	<p>SHEET A3</p>
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1 REAR ELEVATION - EXIST & DEMOLITION

C²

STUDIO CAMUS LLC
225 North Pitt Street Alexandria Virginia 22314
studiocamus@comcast.net
Lynnette 703 989 3777 Patrick 703 626 1984

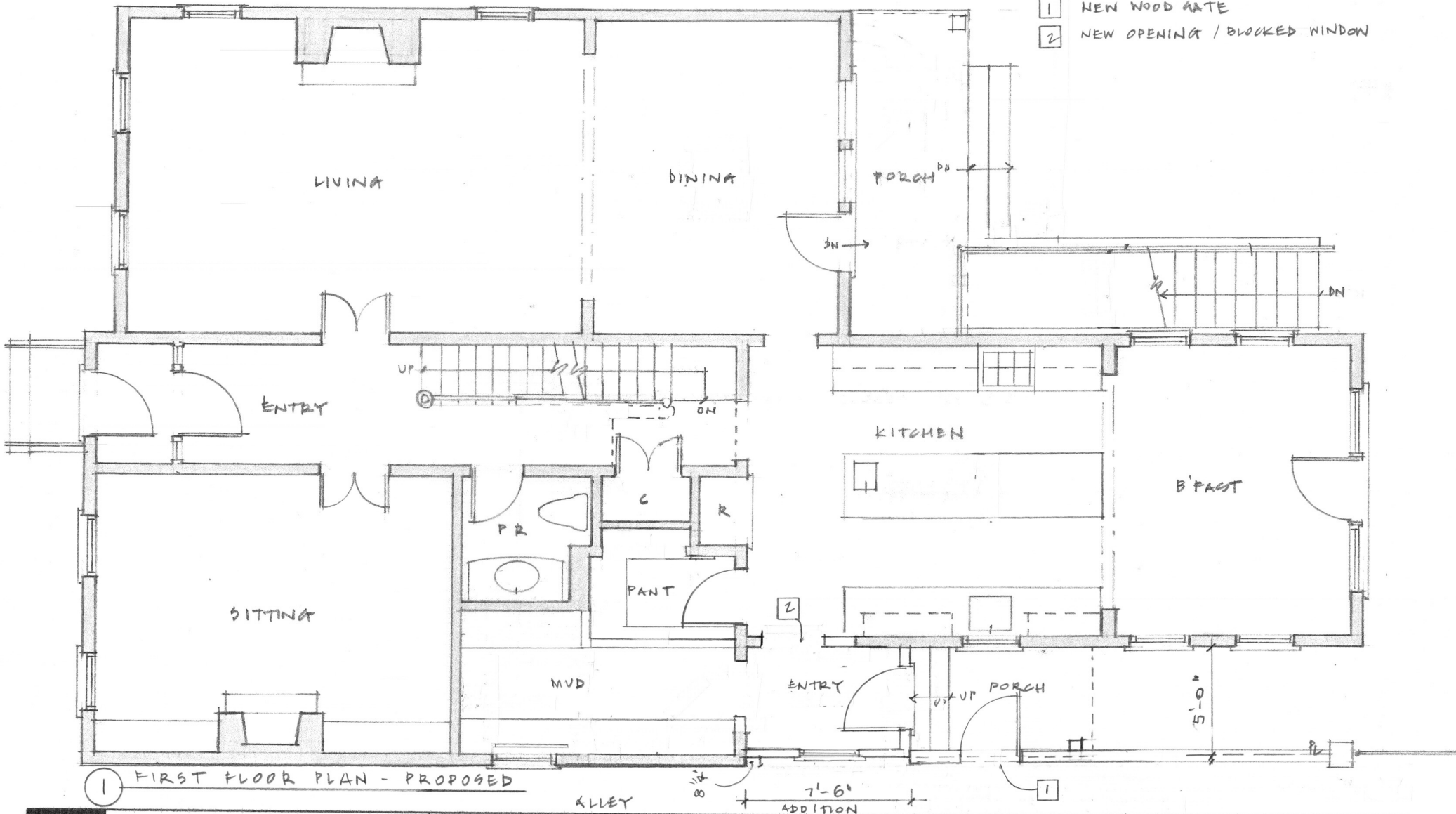
CHAMBERLAIN RESIDENCE
320 South Fairfax Street Alexandria Virginia

DATE
25 JAN 23
SCALE
1/4" = 1'-0"

SHEET
AA

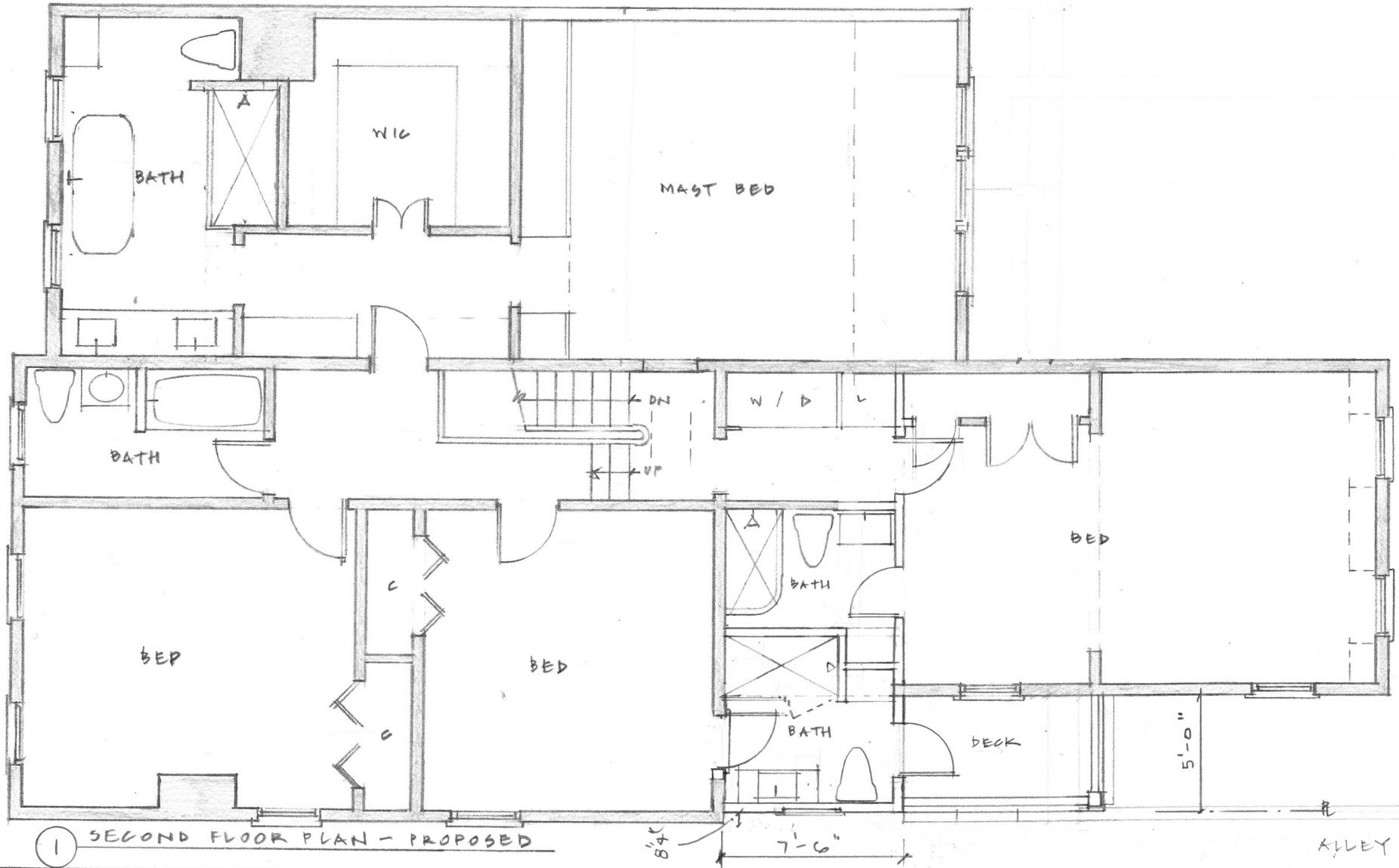
NOTES

- 1 NEW WOOD GATE
- 2 NEW OPENING / BLOCKED WINDOW



1 FIRST FLOOR PLAN - PROPOSED

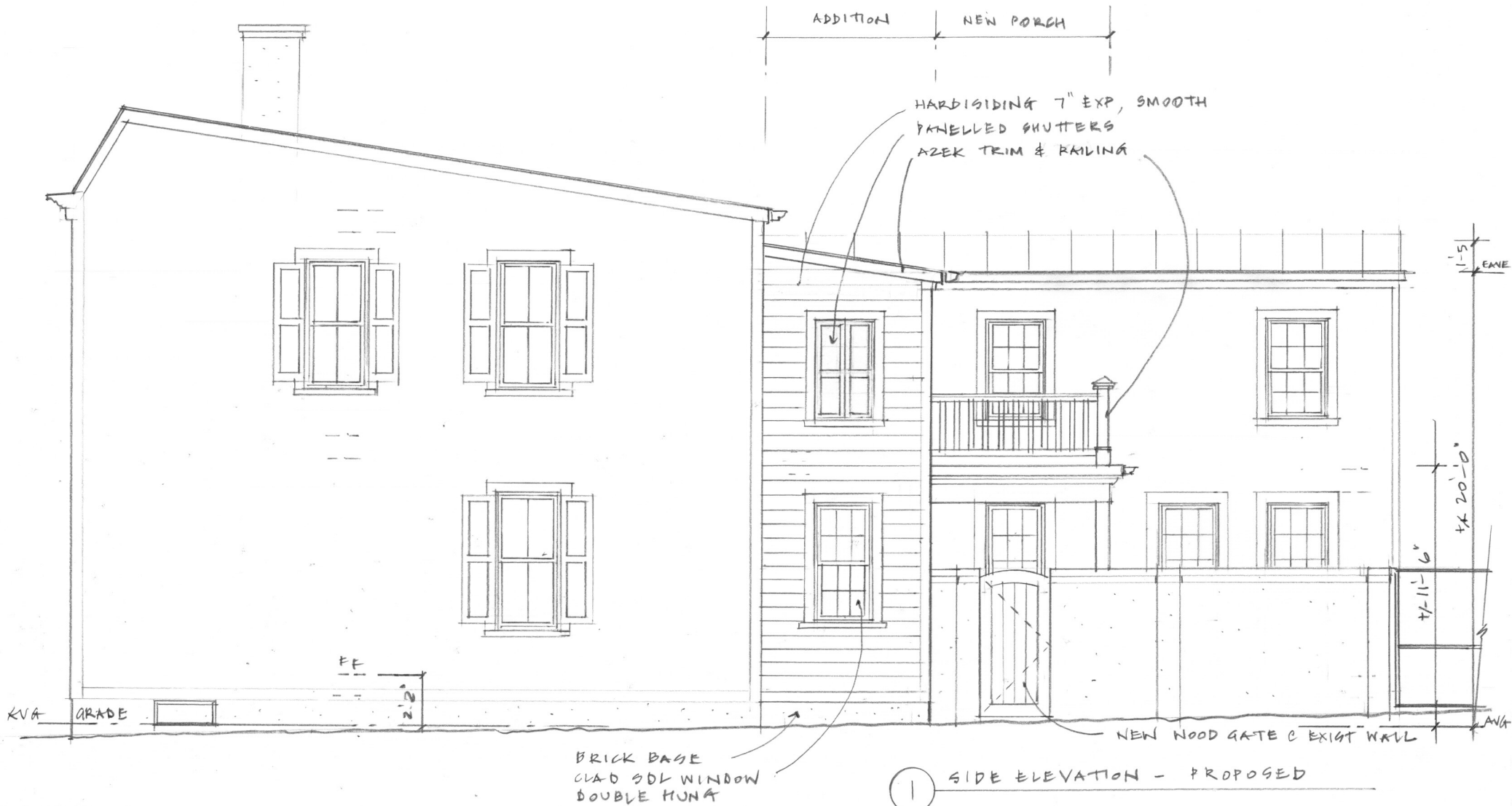
C ²	STUDIO CAMUS LLC	CHAMBERLAIN RESIDENCE		DATE	SHEET
	225 North Pitt Street Alexandria Virginia 22314	320 South Fairfax Street Alexandria Virginia		25 JAN 23	A5
	studiocamus@comcast.net Lynnette 703 989 3777 Patrick 703 626 1984			SCALE 1/4" = 1'-0"	



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 studiocamus@comcast.net
 Lynnette 703 989 3777 Patrick 703 626 1984

CHAMBERLAIN RESIDENCE
 320 South Fairfax Street Alexandria Virginia

DATE 25 JAN 23	SHEET A6
SCALE 1/4" = 1'-0"	



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 Lynnette 703 989 3777 Patrick 703 626 1984

CHAMBERLAIN RESIDENCE
 320 South Fairfax Street Alexandria Virginia

DATE
 25 JAN 23
 SCALE
 1/4" = 1'-0"

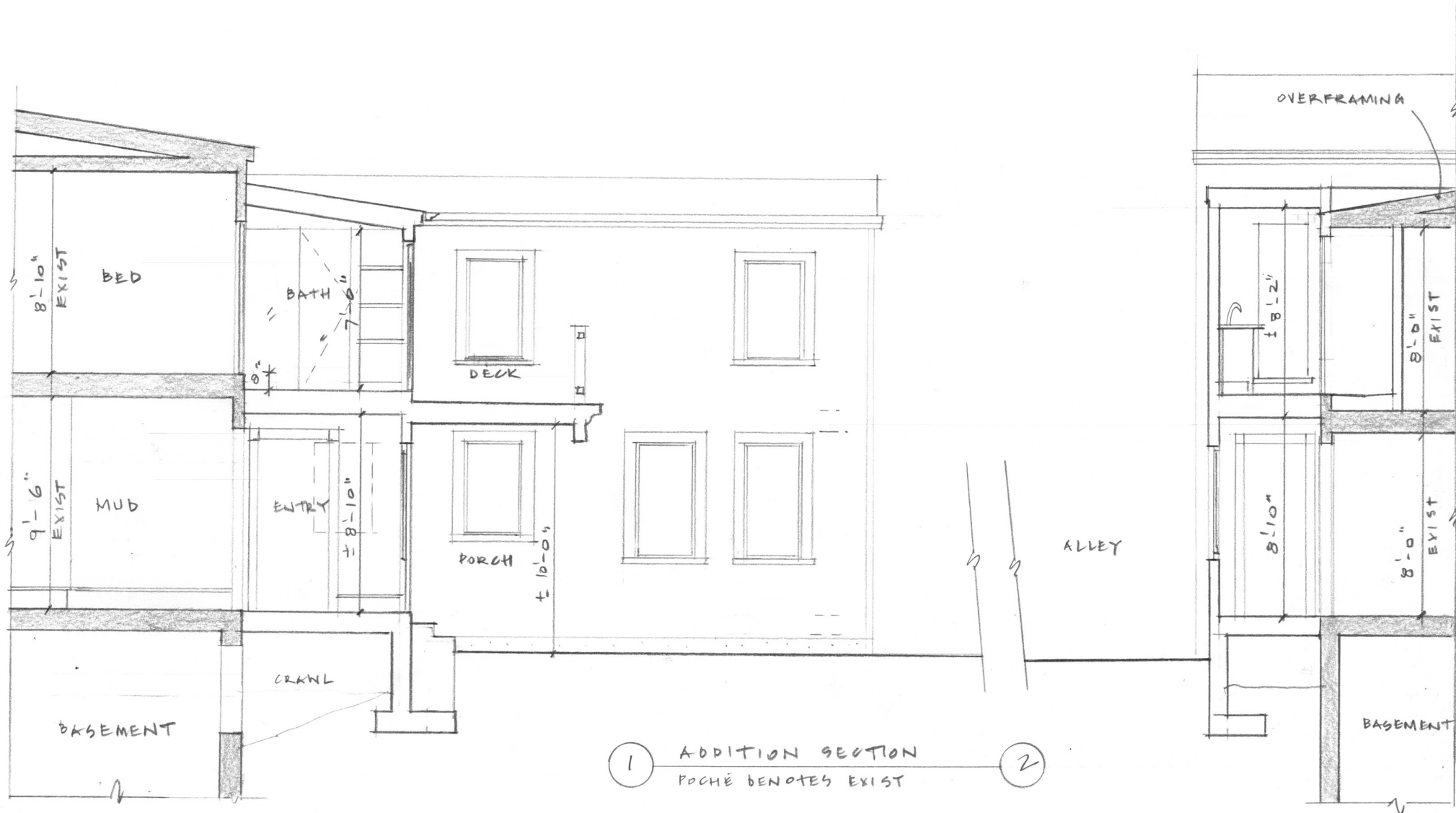
SHEET
 A7

METAL ROOF
AZEK TRIM
CLAD SBL DOORS



1 REAR ELEVATION - PROPOSED

C ²	STUDIO CAMUS LLC 225 North Pitt Street Alexandria Virginia 22314 studiocamus@comcast.net Lynnette 703 989 3777 Patrick 703 626 1984	CHAMBERLAIN RESIDENCE		DATE	SHEET
		320 South Fairfax Street Alexandria Virginia		25 JAN 23	A8
				SCALE	
				1/4" = 1'-0"	



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DATE
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SCALE
1/4"=1'-0"

SHEET
A9



SOUTH ELEVATION - SIDE ALLEY VIEWS