

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations.

APPLICANT: Mary Ritley and White Thomas J.

LOCATION: Old and Historic Alexandria District
720 South Alfred Street

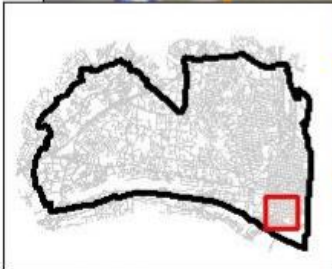
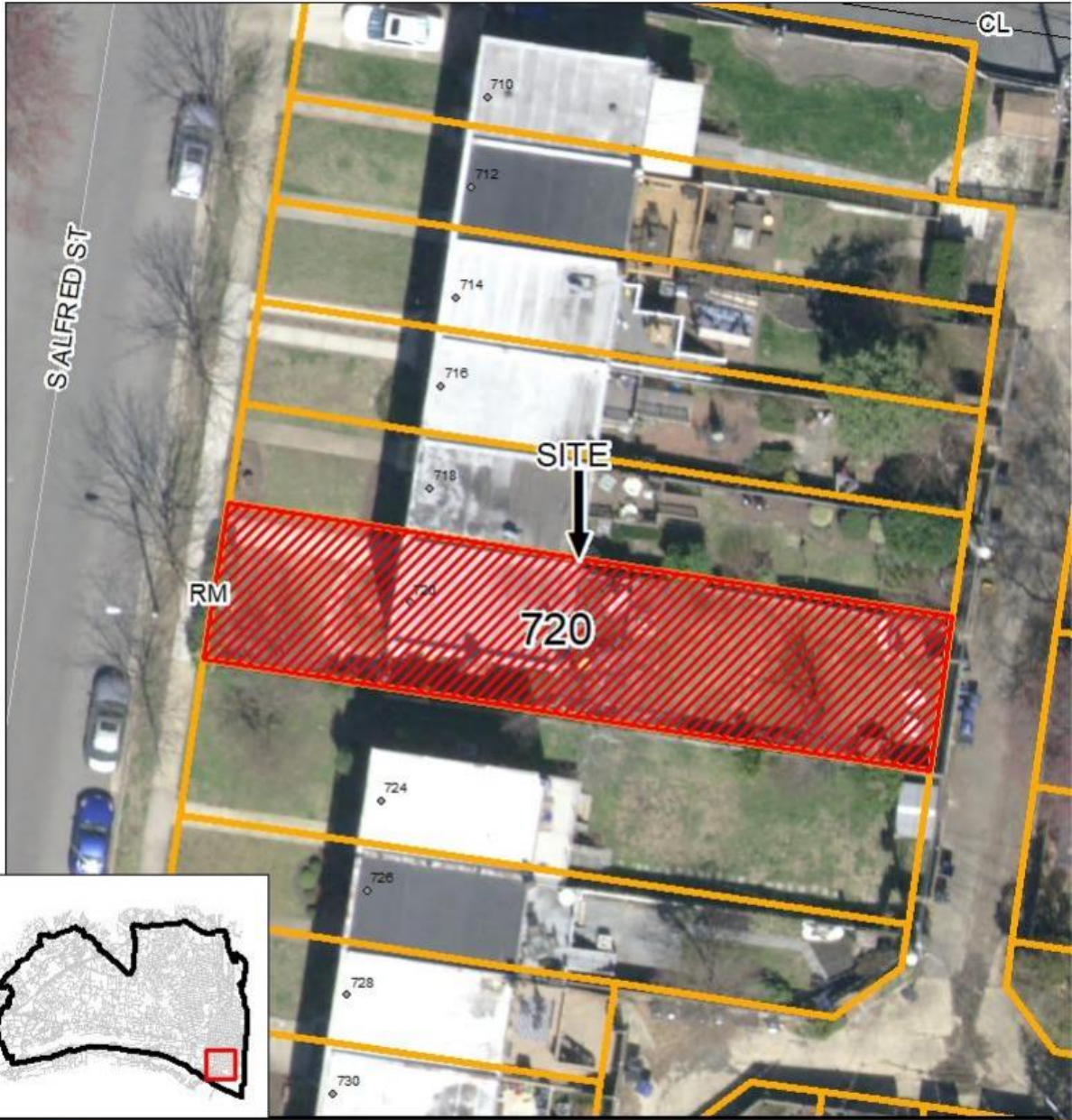
ZONE: RM/Residential Townhouse Zone


STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



 **BAR #2023-00040 & BAR #2023-00041**
720 S Alfred Street

0 10 20 40 Feet

N

Note: Staff coupled the applications for a Permit to Demolish (BAR #2023-00041) and Certificate of Appropriateness (BAR #2023-00040) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to demolish an existing rear deck and build a screened porch at the property's rear, at 720 South Alfred Street.

Permit to Demolish/Capsulate

The applicant is requesting a Permit to Demolish/Capsulate (partial) to remove the existing wood deck and replace it with a screened porch which will capsulate approximately 130 SF of the rear/east elevation wall.

Certificate of Appropriateness

The project calls for the replacement of the existing rear wood deck with a new covered and screened porch with the same footprint 14'-5 ¾" x 10'. The proposed roof material is architectural shingles, the roof portion of the project will be minimally visible from the public alley running behind the property (Figure 1). The other elements such as deck design, materials, door, and railing will not be visible, therefore, not under the BAR purview.

Site context

The subject property is located in the middle of the east side of the 700 block of South Alfred Street. There is a public alley running behind the property. The rear/east elevation of the property is minimally visible from the alley (Figure 1).



Figure 1 - rear/east elevation visibility

II. HISTORY

720 South Alfred Street is a two story, two bay attached rowhouse constructed in 1941/42; it is therefore considered a LATE building. The brick clad concrete block rowhouses with steel casement windows were built in a minimalist modern style as part of the Patrick Henry Homes development, consisting of approximately 53 homes on the 700 block of South Patrick, South Alfred, and South Columbus, and the 800 and 900 blocks of Jefferson Street. The "new brick homes" were advertised for sale in the *Alexandria Gazette* on June 16, 1942, and were part of a massive expansion of Alexandria's housing stock in the years leading up to and during World War II.

Like many early 20th century housing developments in Alexandria, Patrick Henry Homes was developed as the result of a severe housing crunch. Population in the region expanded significantly, and a housing shortage led to an increase in residential construction, even in the middle of World War II. According to a December 1939 article in the *Alexandria Gazette*, the city's population had increased to 36,000 from a 1930 total of 24,000, yet between 1934 and 1939 less than 2,000 homes had been built.¹ In the 1940s, therefore, developers built mass-produced homes rapidly and

¹ "Statistics Released by Mrs. Harper," *Alexandria Gazette*, 14 December 1939.

economically, to provide housing for as many people as possible in the shortest time possible. One indicator of how inexpensively these were built is the fact that these buildings are constructed of cinder block; the brick is a veneer only.

Previous BAR Approvals

BAR2021-00088 – approval for front door replacement on 4/21/2021.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The area which will be demolished/capsulated is not

historic and the materials are not of unusual or of uncommon design and could be reproduced easily.

Certificate of Appropriateness

Porch and other changes to rear of house: The *Design Guidelines* state that "...throughout the historic districts painted wood is an appropriate material for porch construction. 20th century mass produced wrought iron railings and columns are only appropriate for buildings dating after 1945."

Staff has no objections to the proposed screened porch since the building dates from the mid-20th century which makes the use of modern materials appropriate. The proposed porch will be minimally visible from the public way and will not detract from the historic character of the main historic building or the historic district. Furthermore, the Board routinely approves changes on the rear of historic buildings to accommodate a more modern and functional interior layout as tastes and technology evolve.

Therefore, staff recommends approval of the project as submitted. Staff notes the recommendations of Alexandria Archaeology.

STAFF

Marina Novaes, Historic Preservation Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

III. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed demolition of existing deck and one story raised porch complies with zoning.

C-2 Due to the proposed structure having the same footprint open space calculations wouldn't come into consideration.

Code Administration

F-1 No comment on remove deck. Construction shall be within the property.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

- F-1 Duplicate request under BAR2023-00041. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

F-1 Most of this block remained vacant until the mid-20th century when the townhouses were built, including the dwelling at 720 S. Alfred St. Although there is a low probability for archaeological resources to be present on the property, a few conditions have been placed on the project.

*1. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

*2. The applicant/developer shall not allow any metal detection to be conducted on the property, or allow independent parties to collect or excavate artifacts, unless authorized by Alexandria Archaeology,

3. The statements in archaeology conditions above marked with an asterisk "*" shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

C-1 All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

V. ATTACHMENTS

1 – Supplemental Materials

ADDRESS OF PROJECT: 720 S. Alfred St. Alexandria, VA 22314

DISTRICT: Old & Historic Alexandria Parker – Gray 100 Year Old Building

TAX MAP AND PARCEL: 080.01-08-13 ZONING: RM

APPLICATION FOR: (Please check all that apply)

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business (Please provide business name & contact person)

Name: Design Builders Inc & Carmelo Cordon

Address: 8472 Heatherwold Dr

City: Laurel State: MD Zip: 21723

Phone: 240-316-8652 E-mail: carmelo@designbuildersmd.com

Authorized Agent (if applicable): Attorney Architect _____

Name: _____ Phone: _____

E-mail: _____

Legal Property Owner:

Name: Mary Ritley-White Thomas J

Address: 720 S Alfred St.

City: Alexandria State: VA Zip: 22314

Phone: _____ E-mail: _____

- Yes No Is there an historic preservation easement on this property?
- Yes No If yes, has the easement holder agreed to the proposed alterations?
- Yes No Is there a homeowner's association for this property?
- Yes No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning fence, gate or garden wall HVAC equipment shutters
 - doors windows siding shed
 - lighting pergola/trellis painting unpainted masonry
 - other _____
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Demolish existing deck and build a new screen porch in the same location.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Linear feet of building: Front: 24.6' Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations

as of 12/20/18

B

A. Property Information

A1. Street Address RB Zone

A2. Total Lot Area x Floor Area Ratio Allowed by Zone = Maximum Allowable Floor Area

B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text" value="432.00"/>	Basement**	<input type="text"/>	B1. <input type="text" value="1,296.00"/> Sq. Ft.
First Floor	<input type="text" value="432.00"/>	Stairways**	<input type="text"/>	Existing Gross Floor Area*
Second Floor	<input type="text" value="432.00"/>	Mechanical**	<input type="text"/>	B2. <input type="text" value="0.00"/> Sq. Ft.
Third Floor	<input type="text"/>	Attic less than 7***	<input type="text"/>	Allowable Floor Exclusions**
Attic	<input type="text"/>	Porches**	<input type="text"/>	B3. <input type="text" value="1,296.00"/> Sq. Ft.
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	Existing Floor Area Minus Exclusions (subtract B2 from B1)
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>	
Lavatory***	<input type="text"/>	Other**	<input type="text"/>	
Other**	<input type="text"/>	Other**	<input type="text"/>	
B1. Total Gross	<input type="text" value="1,296.00"/>	B2. Total Exclusions	<input type="text" value="0.00"/>	

Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	C1. <input type="text" value="144.00"/> Sq. Ft.
First Floor	<input type="text"/>	Stairways**	<input type="text"/>	Proposed Gross Floor Area*
Second Floor	<input type="text"/>	Mechanical**	<input type="text"/>	C2. <input type="text" value="0.00"/> Sq. Ft.
Third Floor	<input type="text"/>	Attic less than 7***	<input type="text"/>	Allowable Floor Exclusions**
Attic	<input type="text"/>	Porches**	<input type="text"/>	C3. <input type="text" value="144.00"/> Sq. Ft.
Porches	<input type="text" value="144.00"/>	Balcony/Deck**	<input type="text"/>	Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>	
Lavatory***	<input type="text"/>	Other**	<input type="text"/>	
Other	<input type="text"/>	Other**	<input type="text"/>	
C1. Total Gross	<input type="text" value="144.00"/>	C2. Total Exclusions	<input type="text" value="0.00"/>	

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

D. Total Floor Area

D1. Sq. Ft.
Total Floor Area (add B3 and C3)

D2. Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space

E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

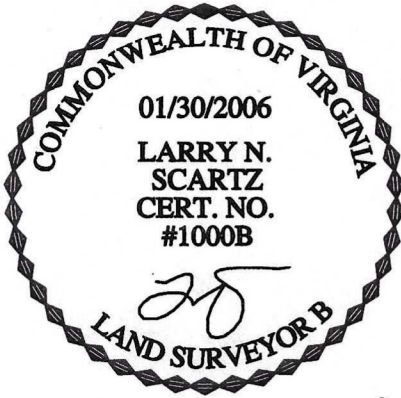
E3. Sq. Ft.
Proposed Open Space

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

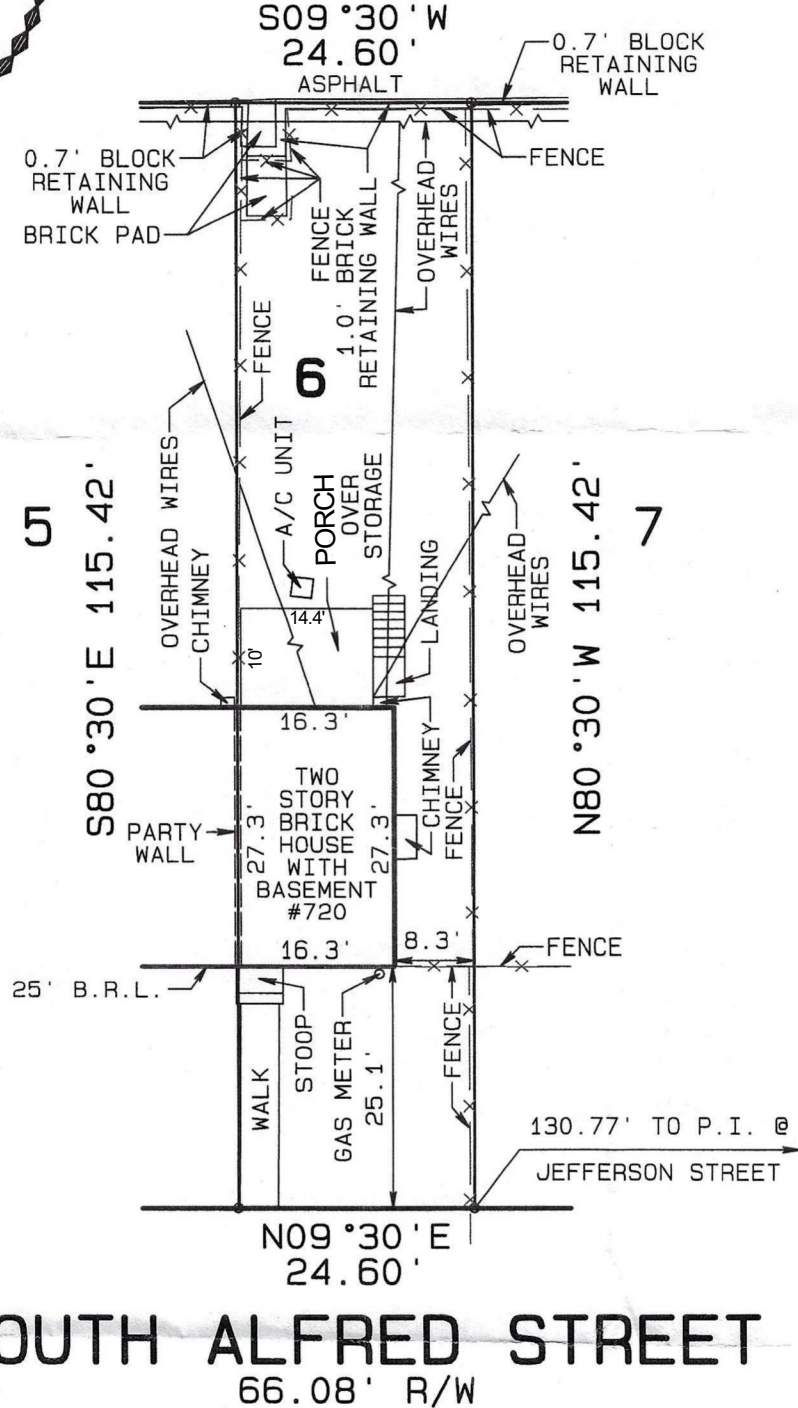
Signature: Carmelo Cordon

2023.01.23 12:03:24 -05'00'

Date: 1/23/2023



16' PUBLIC ALLEY



SOUTH ALFRED STREET
66.08' R/W

HOUSE LOCATION SURVEY
LOT 6, BLOCK 2

PATRICK HENRY HOMES

CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1"=20'

DATE: JANUARY 30, 2006

NO TITLE REPORT FURNISHED.
PLAT SUBJECT TO RESTRICTIONS & EASEMENTS OF RECORD
OR OTHERWISE.
FENCE LOCATIONS, IF SHOWN, ARE APPROXIMATE ONLY AND
DO NOT CERTIFY AS TO OWNERSHIP.

CASE NAME: KELLY TO WHITE/RITLEY (TX0601060)
MBH SETTLEMENT GROUP, L.C.

I HEREBY CERTIFY THAT THE POSITION OF ALL EXISTING
IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY
A TRANSIT TAPE SURVEY AND UNLESS OTHERWISE SHOWN,
THERE ARE NO ENCROACHMENTS EITHER WAY ACROSS
THE PROPERTY LINE

LARRY N. SCARTZ
CERTIFIED LAND SURVEYOR
WOODBIDGE, VIRGINIA

TELEPHONE: WOODBRIDGE (703) 494-4181
METRO (703) 690-4955
FAX (703) 690-3999

CERTIFIED LAND SURVEYOR

20060232

MN



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations for

Single and Two-Family Residential Outside Historic Districts

A

A. Property Information

A1. Street Address Zone

A2. Total Lot Area x Floor Area Ratio Allowed by Zone = Maximum Allowable Floor Area

B. Existing Gross Floor Area

<u>Existing Gross Area</u>	<u>Allowable Exclusions**</u>	
Basement <input type="text"/>	Basement** <input type="text"/>	B1. <input type="text"/> Sq. Ft. Existing Gross Floor Area*
First Floor <input type="text"/>	Stairways** <input type="text"/>	B2. <input type="text"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor <input type="text"/>	Mechanical** <input type="text"/>	B3. <input type="text"/> Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)
Third Floor <input type="text"/>	Attic less than 7'*** <input type="text"/>	Comments for Existing Gross Floor Area <div style="border: 1px solid black; height: 60px; margin-top: 5px;"></div>
Attic <input type="text"/>	Porches** <input type="text"/>	
Porches <input type="text"/>	Balcony/Deck** <input type="text"/>	
Balcony/Deck <input type="text"/>	Garage** <input type="text"/>	
Garage <input type="text"/>	Other*** <input type="text"/>	
Other*** <input type="text"/>	Other*** <input type="text"/>	
B1. Total Gross <input type="text"/>	B2. Total Exclusions <input type="text"/>	

C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>	<u>Allowable Exclusions**</u>	
Basement <input type="text"/>	Basement** <input type="text"/>	C1. <input type="text"/> Sq. Ft. Proposed Gross Floor Area*
First Floor <input type="text"/>	Stairways** <input type="text"/>	C2. <input type="text"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor <input type="text"/>	Mechanical** <input type="text"/>	C3. <input type="text"/> Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Third Floor <input type="text"/>	Attic less than 7'*** <input type="text"/>	
Attic <input type="text"/>	Porches** <input type="text"/>	
Porches <input type="text"/>	Balcony/Deck** <input type="text"/>	
Balcony/Deck <input type="text"/>	Garage** <input type="text"/>	
Garage <input type="text"/>	Other*** <input type="text"/>	
Other*** <input type="text"/>	Other*** <input type="text"/>	
C1. Total Gross <input type="text"/>	C2. Total Exclusions <input type="text"/>	

Notes

*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

*** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

D. Total Floor Area

D1. Sq. Ft.
Total Floor Area (add B3 and C3)

D2. Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

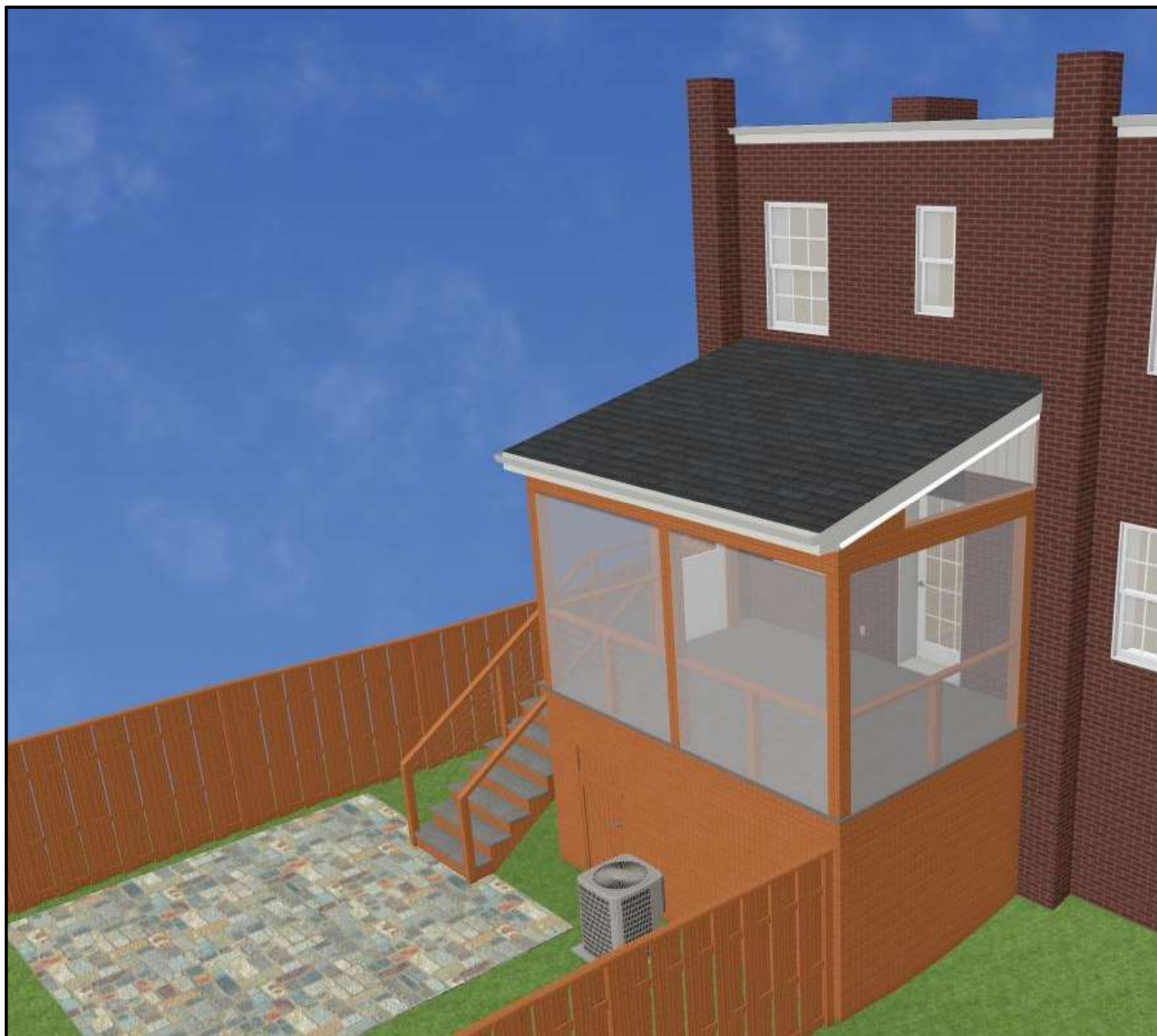
E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____ Date: _____



RITLEY-WHITE PROJECT

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LEFT ELEVATION	A003
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GENERAL NOTES:

THIS PLAN SET, COMBINED WITH THE BUILDING CONTRACT, PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES. INSURANCES SHALL BE IN FORCE THROUGHOUT THE DURATION OF THE BUILDING PROJECT.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

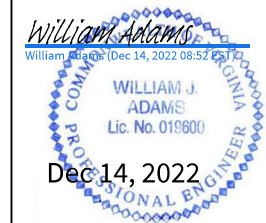
PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

CLIENT: MARY RITLEY-WHITE
 ADDRESS: 720 S. ALFRED ST
 ALEXANDRIA, VA 22314

DESIGNER: JAMES MOYLAN
 BUILDER: DESIGN BUILDERS INC
 MHIC 93361 EXP 9/5/2023

ENGINEERING: ADAMS ENGINEERING
 SCOPE OF WORK: _____

APPLICABLE CODES: BUILDING: IBC/IRC-2018



SHEET NUMBER
000

Date: 11/22/2022

000 COVER SHEET

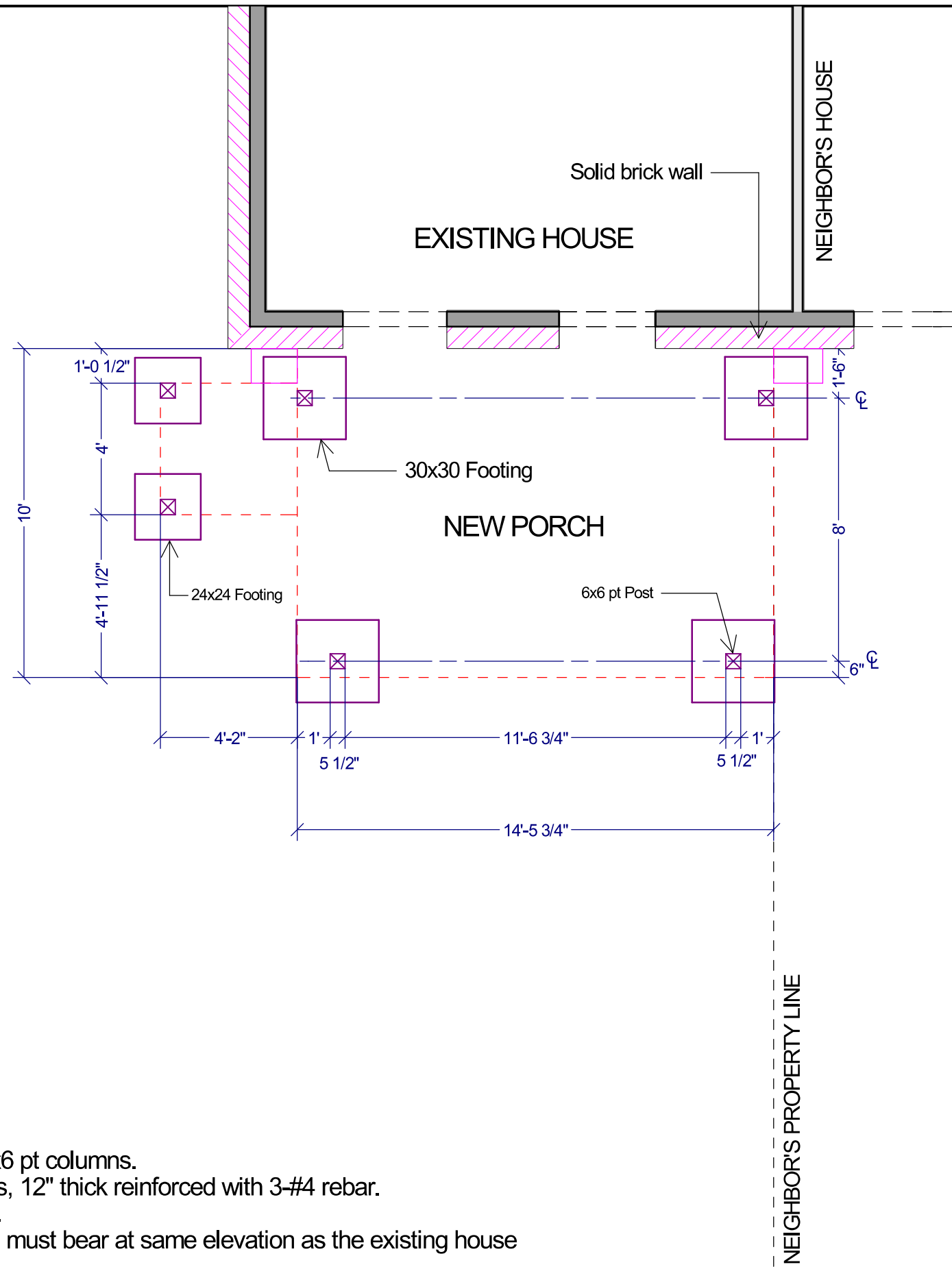
Revision Date: 12/13/2022

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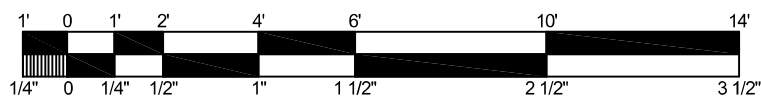
RITLEY-WHITE PROJECT



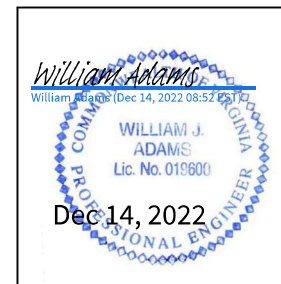


FOOTING NOTES:

1. Deck and landing to be supported by 6x6 pt columns.
2. Columns supported by concrete footings, 12" thick reinforced with 3-#4 rebar.
3. Post to footing embedded in the footing.
4. Footing closer than 5' to foundation wall must bear at same elevation as the existing house foundation.



1/4"=1' 0"

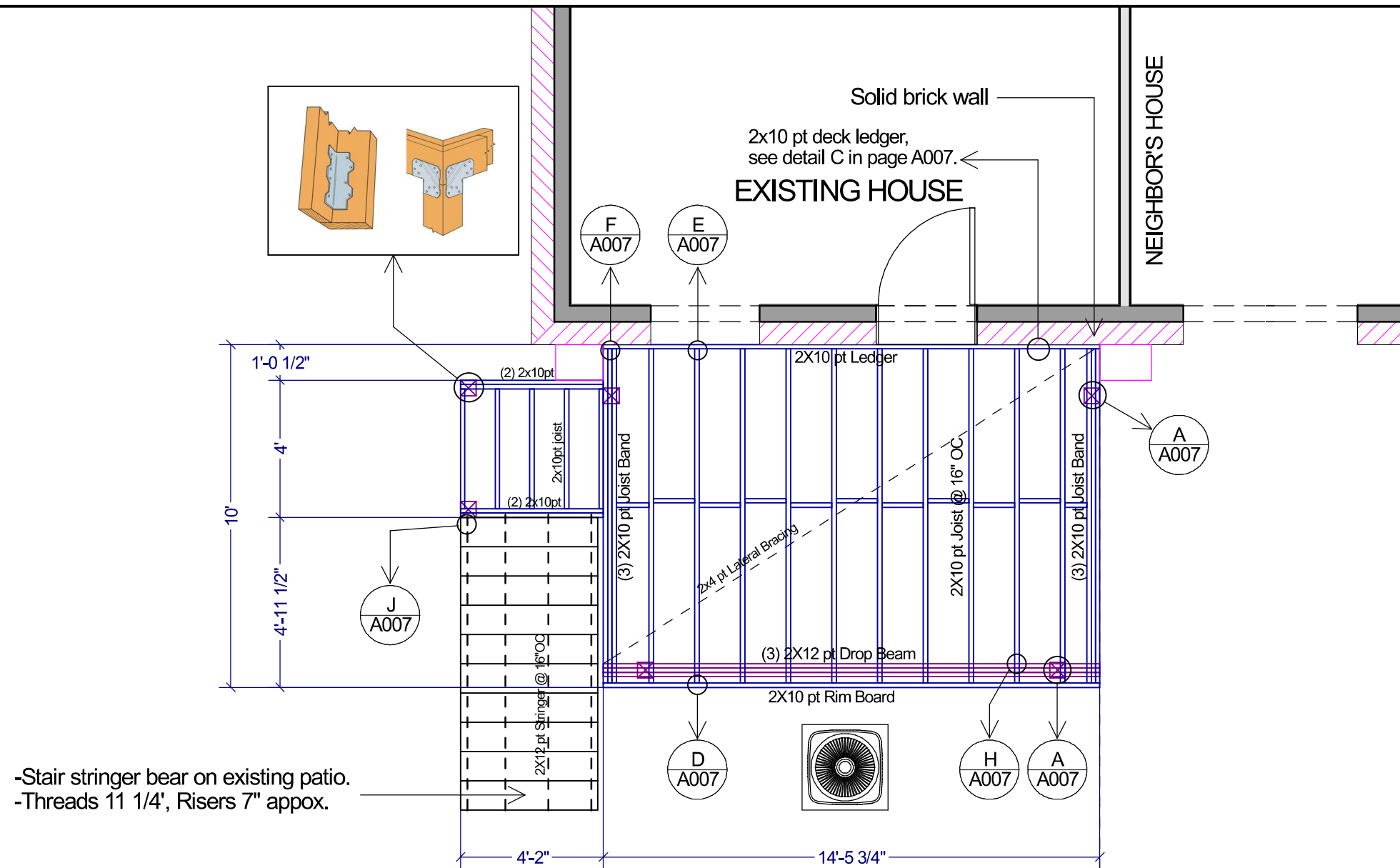


SHEET NUMBER
S001
Date: 11/22/2022

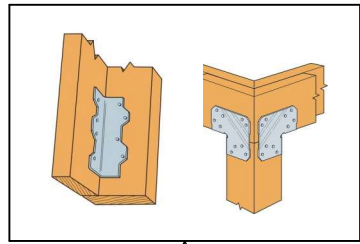
**S001_FOOTING/
FOUNDATION**
DRAWN BY: Revision Date: 12/13/2022.

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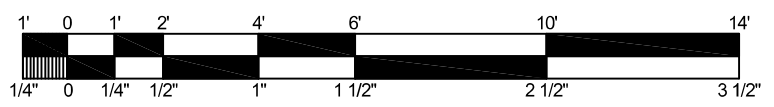


-Stair stringer bear on existing patio.
 -Threads 11 1/4', Risers 7" appox.

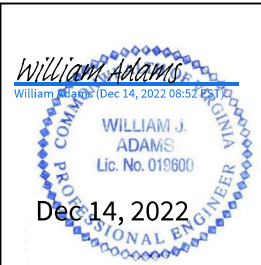


DECK FRAMING NOTES:

1. Make the 3 boards a solid beam using exterior 3/8x4" timber screws @16" zig zag.
2. Porch deck flush to house floor .



1/4"=1' 0"

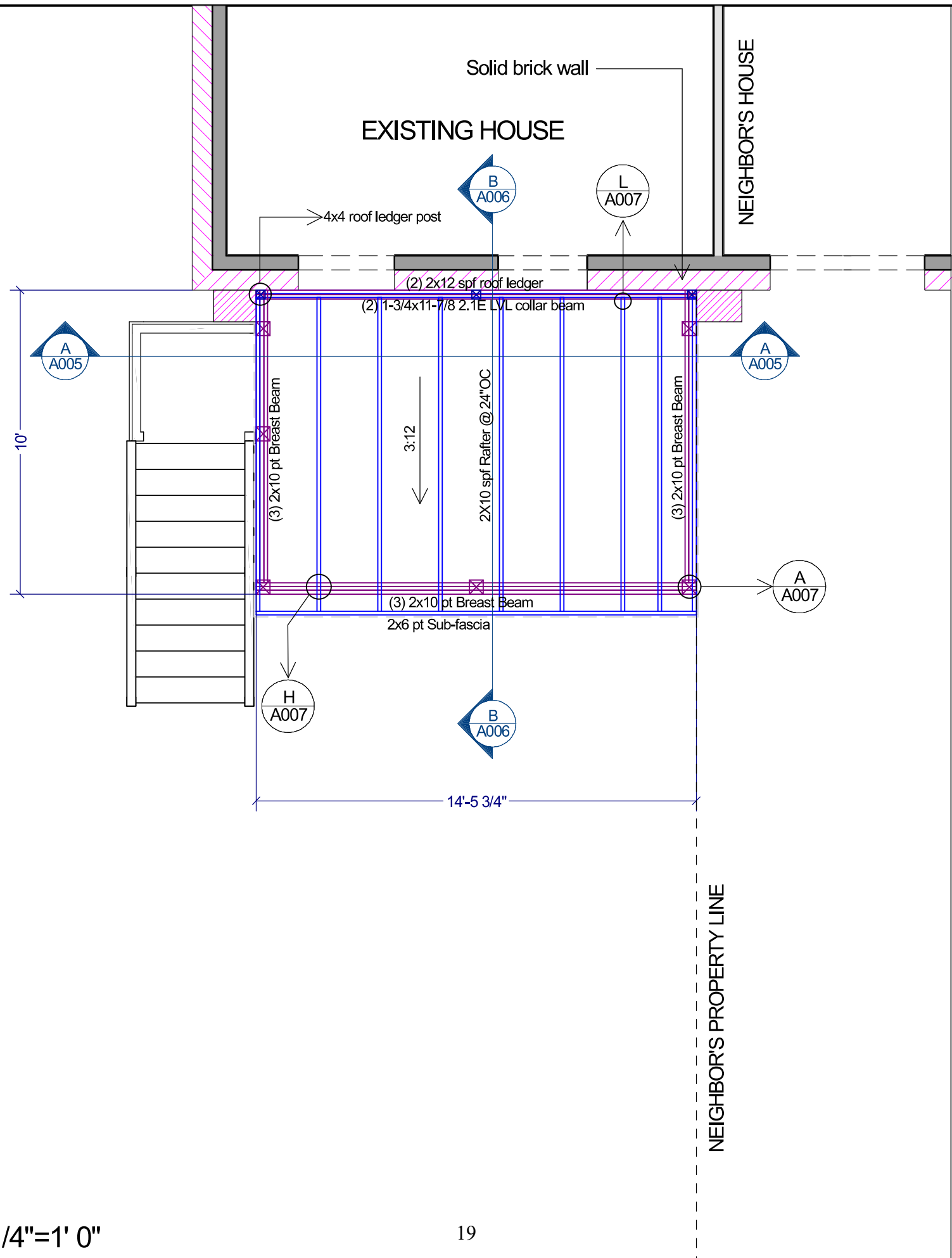


SHEET NUMBER
S002
 Date: 11/22/2022

S002_DECK FRAMING
 DRAWN BY: Revision Date: 12/13/2022.

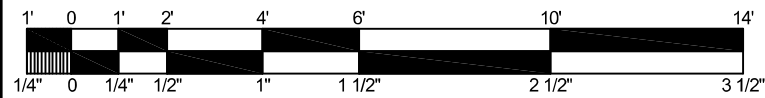
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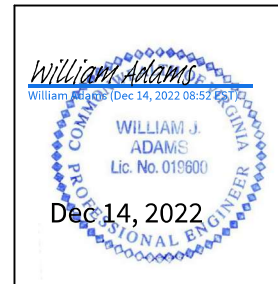


ROOF FRAMING NOTES:

1. Roof supported by 6x6 pt columns.
2. Match gutter and soffit to the existing.
3. 5/8 osb plywood roof sheathing.
4. Install Screen in all open bays.



1/4"=1' 0"



SHEET NUMBER
S003
Date: 11/22/2022

S003_ROOF FRAMING
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Demolish existing deck to build new porch

SHEET NUMBER

A001

Date: 11/22/2022

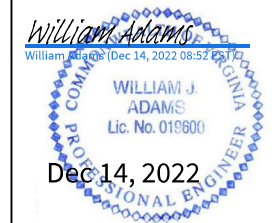
A001_EXISTING

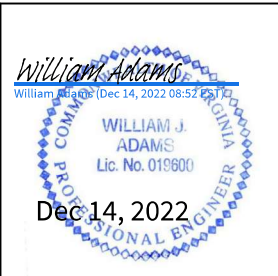
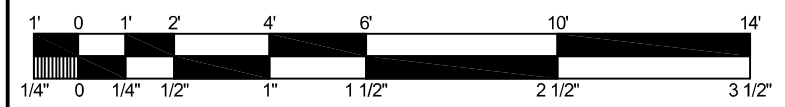
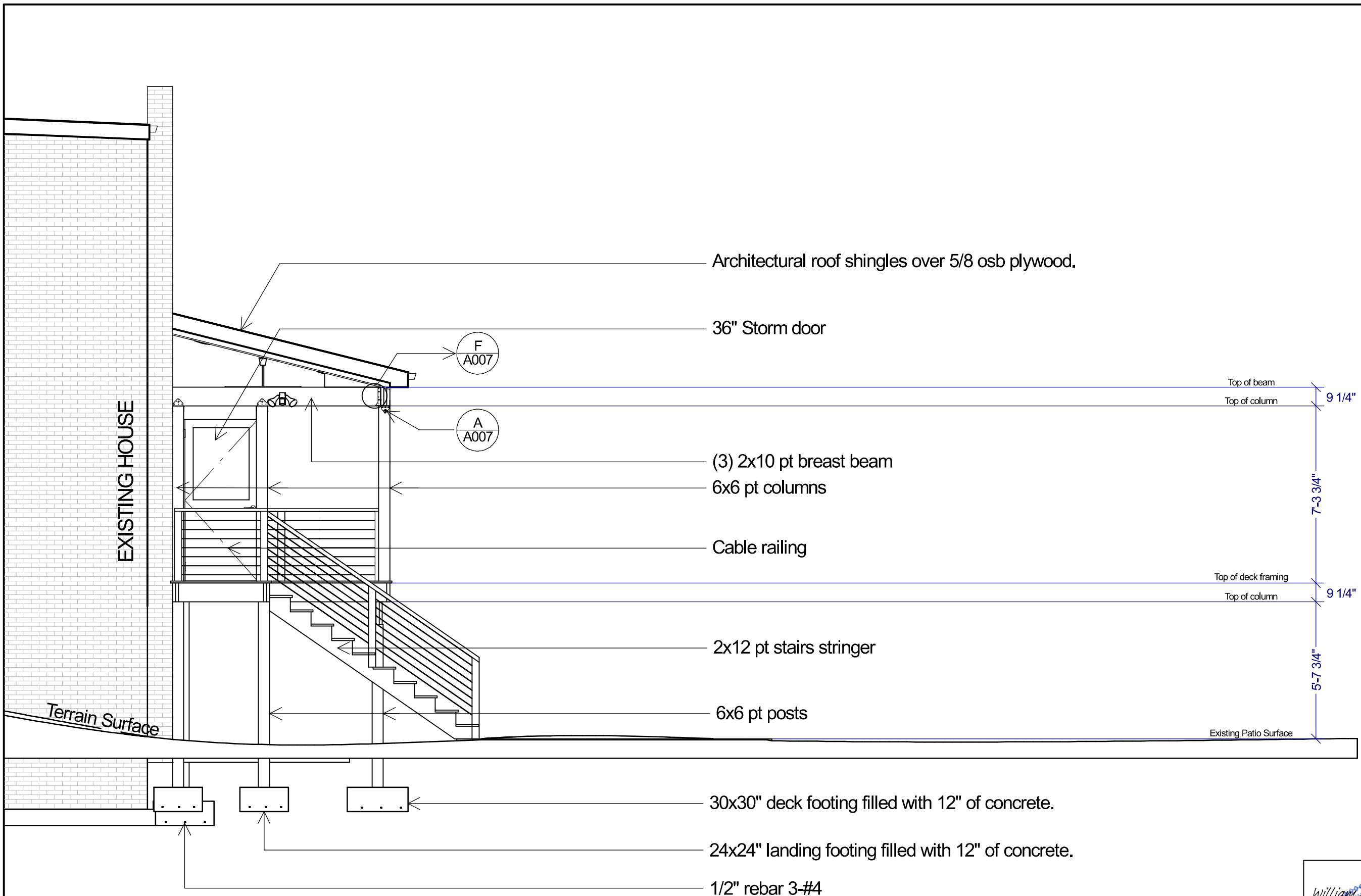
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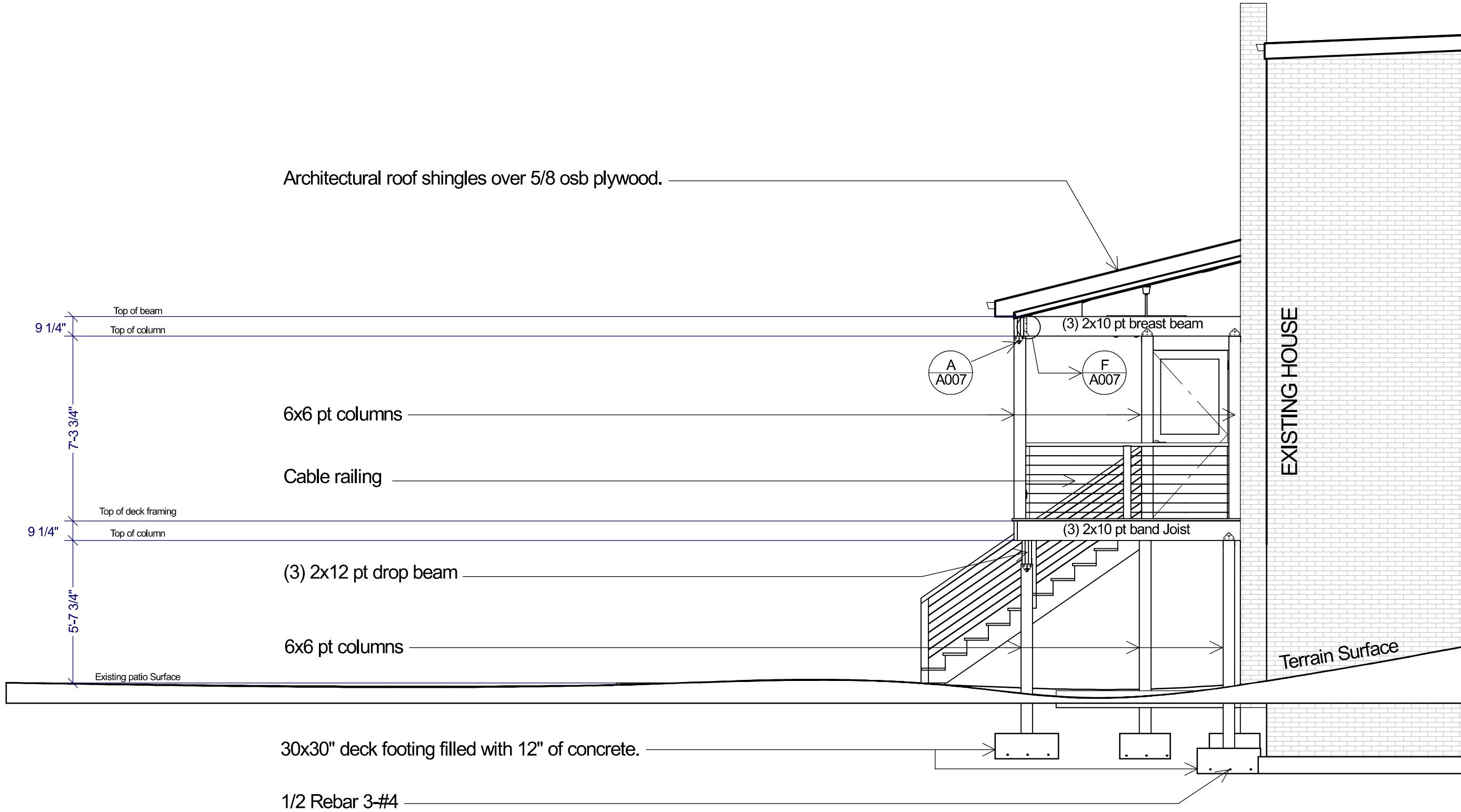


SHEET NUMBER
A002
Date: 11/22/2022

A002_RIGHT ELEVATION
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Architectural roof shingles over 5/8 osb plywood.

9 1/4"
Top of beam
Top of column

7-3 3/4"

6x6 pt columns

Cable railing

9 1/4"
Top of deck framing
Top of column

(3) 2x12 pt drop beam

6x6 pt columns

5-7 3/4"

Existing patio Surface

30x30" deck footing filled with 12" of concrete.

1/2 Rebar 3-#4

(3) 2x10 pt breast beam

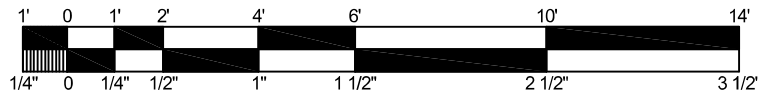
A
A007

F
A007

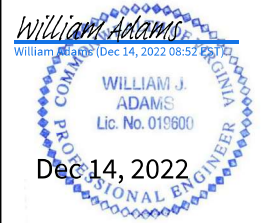
(3) 2x10 pt band Joist

EXISTING HOUSE

Terrain Surface



1/4"=1' 0"



SHEET NUMBER
A003
Date: 11/22/2022

A003_LEFT ELEVATION
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Roof finish should be around 6" below the existing window

Architectural roof shingles over 5/8 osb plywood.

6x6 pt column

Cable railing

Existing patio

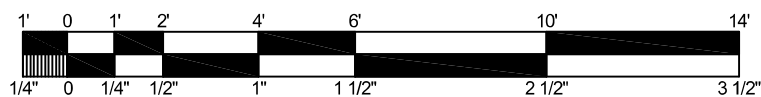
24x24" landing footing filled with 12" of concrete.

30x30" deck footing filled with 12" of concrete.

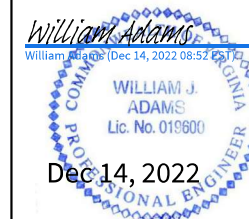


NEIGHBOR'S HOUSE

TERRAIN SURFACE NOT SHOWING



1/4"=1' 0"



SHEET NUMBER
A004
Date: 11/22/2022

A004_REAR ELEVATION
DRAWN BY: Revision Date: 12/13/2022.

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4x4 ledger post (also 1-4x4 on each end of the collar beam)

Architectural roof shingles over 5/8 osb plywood.

2x10 spf rafter

(2) 2x12 spf roof ledger attached to the solid brick wall with 1/2' anchor bolts, 16" alternate.

(3) 2x10 pt breast beam

Attach Collar beam to wall with 1/2' anchors bolts, 16" alternate.

2x10 pt

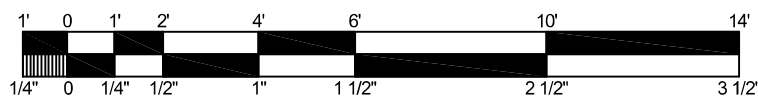
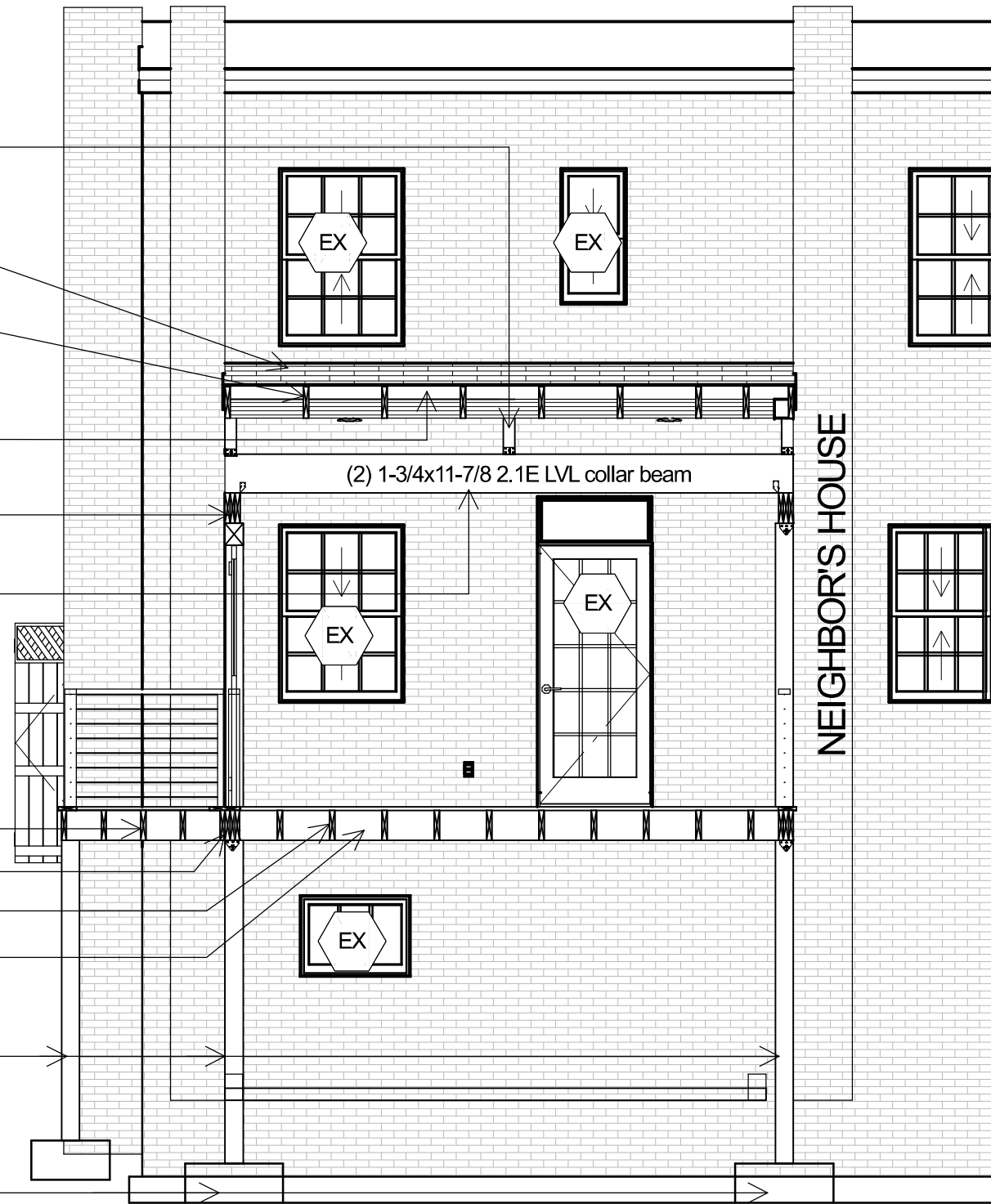
(3) 2x10 pt band joist

2x10 pt joist

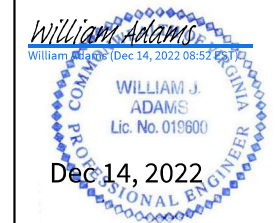
2x10 pt deck ledger

6x6 pt posts

30x30" deck footing filled with 12" of concrete.



1/4"=1' 0"



SHEET NUMBER
A005
Date: 11/22/2022

A005_SECTION A
DRAWN BY: Revision Date: 12/13/2022.

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(2) 2x12 spf roof ledger attached to the solid brick wall.

4x4 roof ledger post

(2) 1-3/4x11-7/8" 2.1E LVL collar Beam

2x10 spf rafter

(3) 2x10 pt breast beam

36" Storm door

6x6 pt roof column

Cable railing

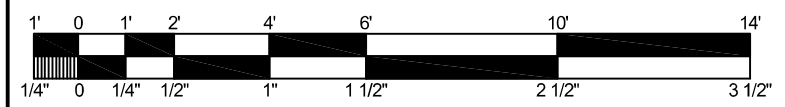
6x6 pt deck post

30x30" deck footing filled with 12" of concrete.

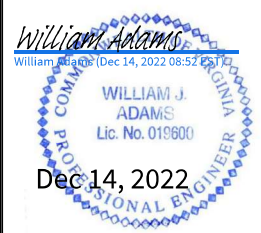
(3) 2x10 pt breast beam

2x10 pt Joist

EXISTING HOUSE



1/4"=1' 0"

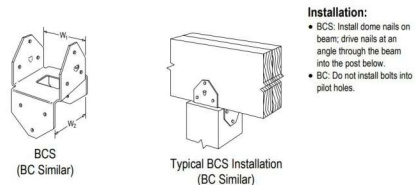


SHEET NUMBER
A006
Date: 11/22/2022

A006_SECTION B
DRAWN BY: _____
Revision Date: 12/13/2022.

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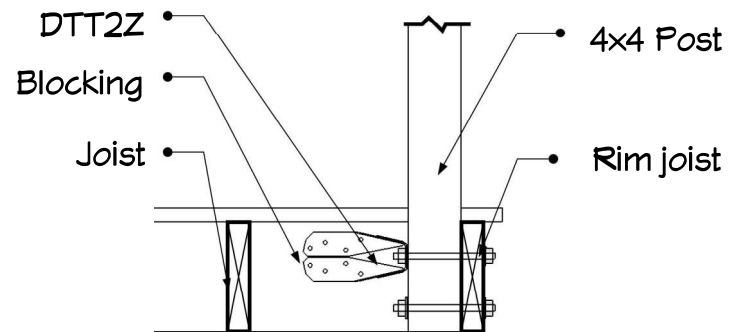
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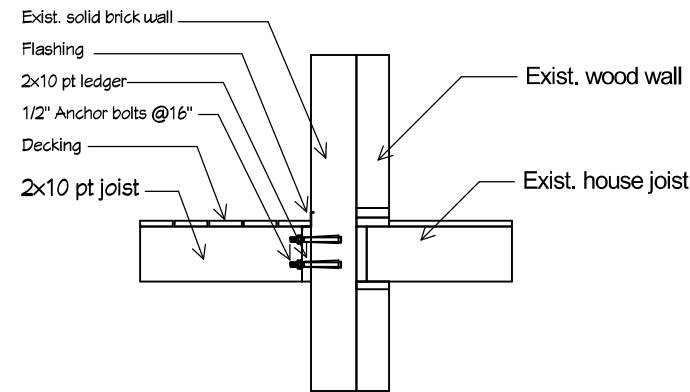
Installation:
 • BCS: Install dome nails on beam; drive nails at an angle through the beam into the post below.
 • BC: Do not install bolts into pilot holes.

Model No.	Dimensions (in.)						Fasteners			
	W1	W2	L1	L2	H1	H2	Beam Flange	Post Flange	Beam Flange	Post Flange
BC4Z	3 9/16	3 9/16	2 7/8	2 7/8	3	3	6-16d	6-16d	6-SD #10x1 1/2	6-SD #10x1 1/2
BC6Z	5 1/2	5 1/2	4 3/8	4 3/8	3 3/8	3 3/8	12-16d	12-16d	-	-
BCS2-24Z	3 1/8	3 9/16	2 7/8	2 7/8	2 15/16	2 15/16	8-10d	6-10d	8-SD #9x2 1/2	6-SD #9x2 1/2
BCS2-36Z	4 5/8	5 9/16	4 3/8	2 7/8	3 5/16	2 15/16	12-16d	6-16d	-	-

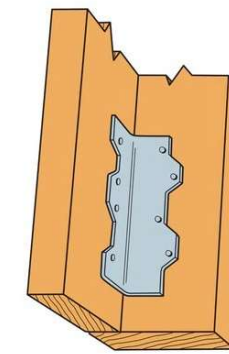
A. Beam to Post using BCS.



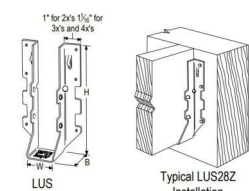
B. Handrail Post Detail



C. Ledger Attachment Detail.



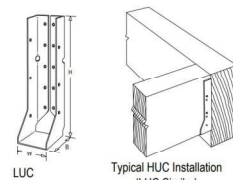
D. Simpson L90Z



Installation:
 • LUS hangers install with double shear nailing.
 • For installations into single 2x headers or ledgers, use the specified full length fasteners into the joist and the following fasteners into the header for reduced loads in accordance with www.strongtie.com:
 • 100x1 1/2 nails for installations with Nails
 • SD #9x1 1/2 for LUS28Z and LUS210Z installations with SD Screws
 • SD #10x1 1/2 for LUS26-2Z and LUS210-2Z installations with SD Screws

Model No.	Dimensions (in.)			Fasteners			
	W	H	B	Header	Joist	Header	Joist
LUS26Z	1 9/16	4 3/4	1 3/4	4-10d	4-10d	-	-
LUS28Z	1 9/16	6 5/8	1 3/4	6-10d	4-10d	6-SD #9x2 1/2	4-SD #9x2 1/2
LUS210Z	1 9/16	7 13/16	1 3/4	8-10d	4-10d	8-SD #9x2 1/2	4-SD #9x2 1/2
LUS26-2Z	3 1/8	4 7/8	2	4-16d	4-16d	4-SD #10x2 1/2	4-SD #10x2 1/2
LUS210-2Z	3 1/8	9	2	8-16d	6-16d	8-SD #10x2 1/2	6-SD #10x2 1/2

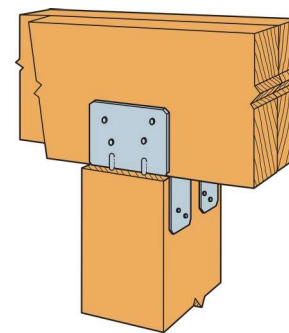
E. Detail LUS Hanger.



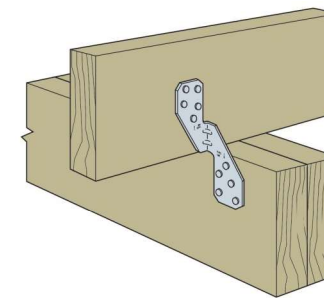
Installation:
 • For HUC installations, models have triangle and round holes. To achieve maximum loads, fill both round and triangle holes (fastener quantities listed fill both holes).
 • For installations into single 2x headers or ledgers, use the specified full length fasteners into the joist and the following fasteners into the header for reduced loads in accordance with www.strongtie.com:
 • 100x1 1/2 nails for installations with Nails
 • SD #9x1 1/2 for LUC26Z and LUC210Z installations with SD Screws

Model No.	Dimensions (in.)			Fasteners			
	W	H	B	Header	Joist	Header	Joist
LUC26Z	1 9/16	4 3/4	1 3/4	6-10d	4-10d	4-SD #9x2 1/2	4-SD #9x1 1/2
LUC210Z	1 9/16	7 3/4	1 3/4	10-10d	6-10d	10-SD #9x2 1/2	6-SD #9x1 1/2
HUC26-2Z	3 1/8	5 3/8	2 1/2	12-16d	6-10d	-	-
HUC28-2Z	3 1/8	7	2 1/2	14-16d	6-10d	-	-
HUC210-2Z	3 1/8	8 13/16	2 1/2	18-16d	10-10d	-	-

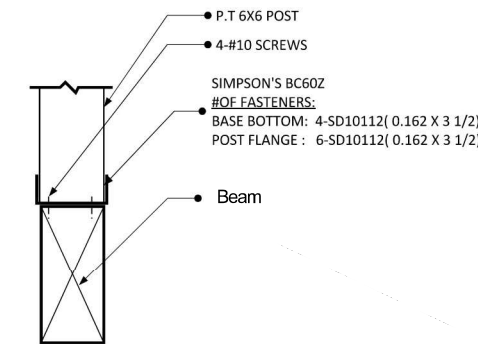
F. Detail using LUC Hanger.



G. Simpson LPC6Z



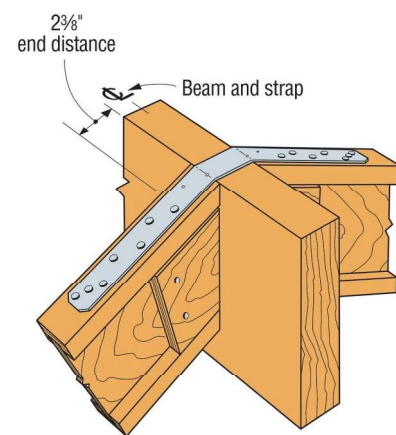
H. Simpson H2.5A Detail.



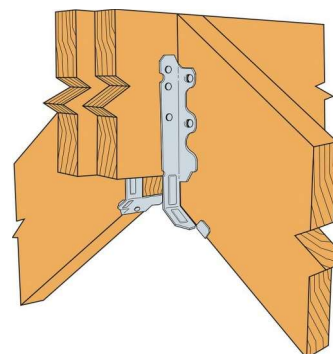
I. Simpson BC60Z.



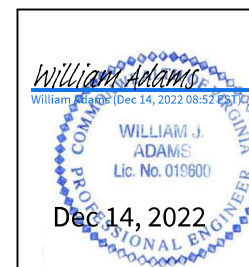
J. Simpson LSCZ Detail.



K. Simpson LSTA24.



L. Simpson LRU210Z Detail.



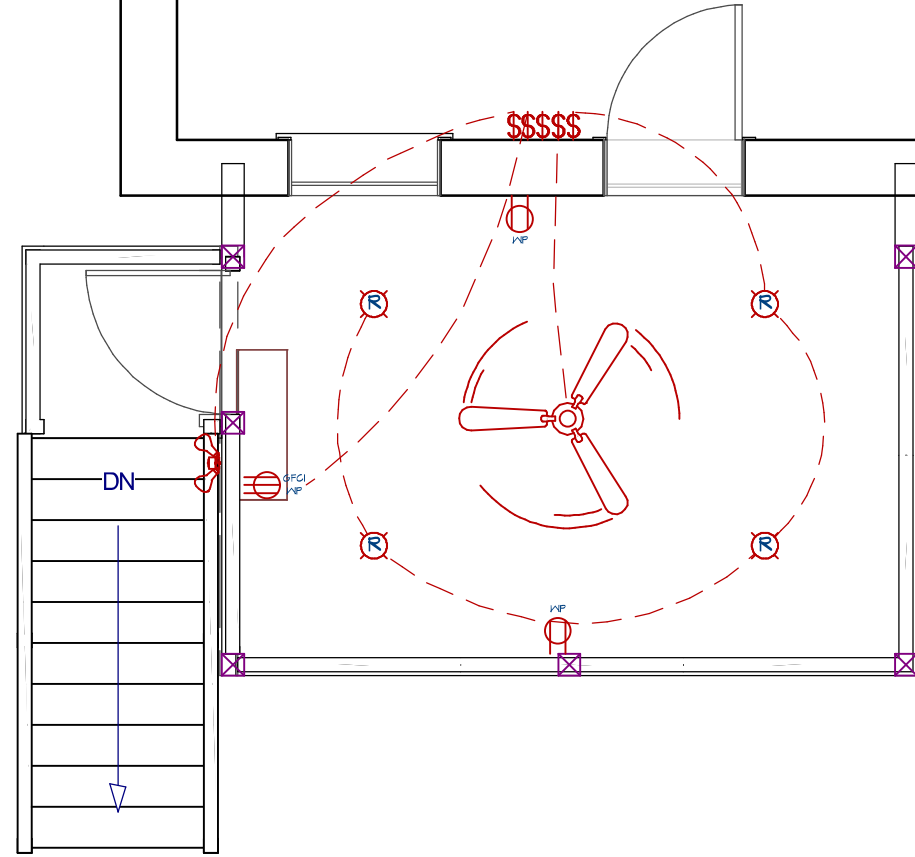
A007_CONNECTIONS DETAILS


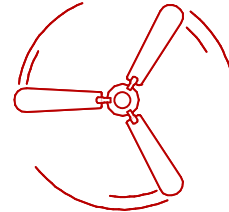




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SHEET NUMBER **A007**
Date: 11/22/2022
Revision Date: 12/13/2022
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ELECTRICAL SCHEDULE		
QTY	2D SYMBOL	DESCRIPTION
1		CD-40 Heaters
1		Ceiling Fan
2		WP Outlets
4		Recessed lights on dimmer
5		Switch
1		Stairs light TBD

NOTE:
Electricians verify the installation location with home owner.

SHEET NUMBER E001	E001_ELECTRIC PLAN	Date: 11/22/2022
720 S. Alfred St. Alexandria, VA 22314		
RITLEY-WHITE PROJECT		Revision Date: 12/13/2022. DRAWN BY:
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