

ISSUE: Certificate of Appropriateness for alterations (signage)

APPLICANT: Hunting Point Apartments, LLC

LOCATION: Old and Historic Alexandria District
1204 South Washington Street

ZONE: RC/High density apartment zone

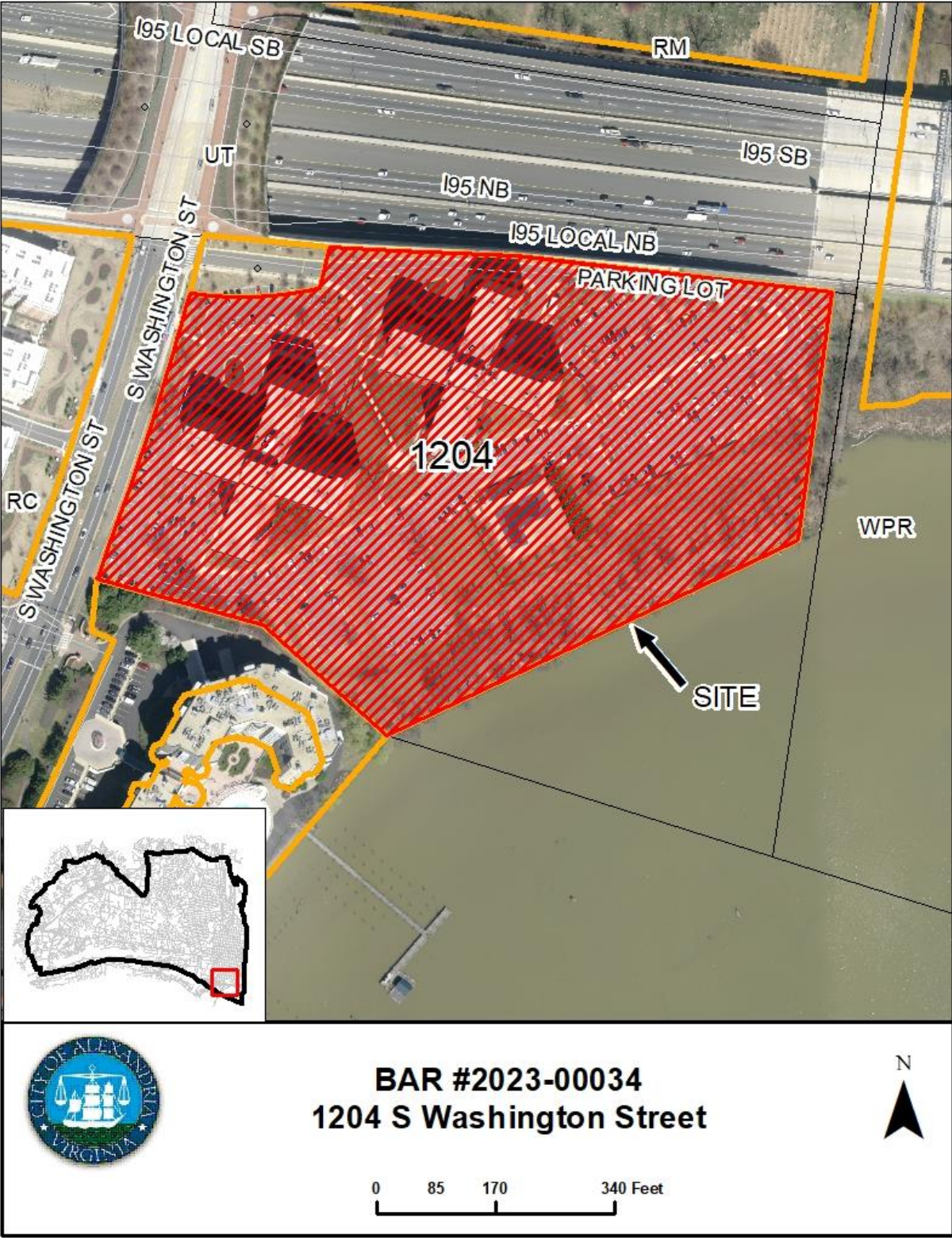
STAFF RECOMMENDATION

Staff recommends approval of the Certificate of Appropriateness for alterations, with the following conditions:

- The illumination should be no greater than 150 lumens with final light color and intensity to be approved by staff in the field. The color of the light should be warmer rather than whiter/cooler, and no greater than 3000K, with a preferably lower K value.
- Anchors for the sign should be installed into the mortar joints on the masonry to avoid damage to the brick.
- The sign must comply with the conditions provided by Zoning.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



I. APPLICANT'S PROPOSAL

The applicant requests a Certificate of Appropriateness for alterations to install one new 40 square foot LED reverse illuminated channel letter sign along the west elevation of the building, facing the George Washington Memorial Parkway. The letters will read “Bridgeyard Apartments” and will be mounted to two aluminum cabinets on the masonry wall. The cabinets will each have a supply wire pushed through with a protective conduit, painted to match the surrounding masonry. The height of the top of the sign above grade is 35 feet, in accordance with zoning ordinance requirements.

Site context

The property, 1204 South Washington Street, is part of the Bridgeyard Apartments development, which also includes the adjacent building at 1202 South Washington Street. The development is bound by the Woodrow Wilson Bridge (Interstate 495) to the north, the Potomac River to the east, the George Washington Memorial Parkway to the west, and the Porto Vecchio Condominiums to the south. The proposed signage will be visible from the George Washington Memorial Parkway; therefore, alterations to the building must not adversely affect the memorial character of the Parkway.

II. HISTORY

The Bridgeyard Apartment complex consists of two midrise apartment buildings constructed of brick-clad reinforced concrete. Simple in design, the two towers have a cruciform plan, built in the International style with sparsely decorated facades that keep with the functional minimalism of the Modernist school. Originally called Hunting Towers, the buildings were constructed between **1949 and 1951**. Designed by architect William H. Harris, Hunting Towers was one of the first high-rise garden style apartment buildings built in Alexandria. Similar to other apartment buildings found in the City and surrounding DC area, Hunting Towers was constructed to house workers moving into the area during and after World War II. The Board approved the towers on 11/18/1948 and a business center at the northwest corner on 1/18/1951. Subsequent BAR approvals were for signs, pool, bath house, and air conditioning units. By 1965, the area was no longer under purview of the Board until the area south of I-495 was reinstated to the district in the 1980s, after construction of Porto Vecchio condominium towers. Originally, Hunting Towers consisted of three buildings. In 2001, the Virginia Department of Transportation (VDOT) purchased the three towers in order to demolish one to provide sufficient land to construct the new Woodrow Wilson Bridge. Prior to the demolition, the Virginia Department of Historic Resources and the National Park Service had made the determination that the buildings were ineligible for listing, either as a contributing element within the Alexandria National Register Historic District or individually in the National Register of Historic Places, primarily because they were less than 50 years old at that time. These conclusions were documented and accepted by the City in the Hunting Creek Area Plan, adopted by City Council in 2005.

Previous BAR Approvals

11/18/48	Approved for new construction (Hunting Towers Apartments)
1/18/51	Approved for new business center

8/14/52	Approved for signage
7/8/59	Approved for signage
3/9/60	Approved for new pool/bathhouse
6/9/65	Approved for new air conditioning units
BAR Case #2013-00220 & #2023-00221	Approved for window replacement and partial demolition/replacement of entrance canopy
BAR Case #2015-00245	Approved for new clubhouse over garage

Numerous roof-mounted small cell antennas have been approved on both this building and the adjacent building at 1202 South Washington Street:

BAR Case #2000-00059
BAR Case #2010-00078
BAR Case #2011-00029
BAR Case #2012-00247
BAR Case #2013-00162
BAR Case #2014-00334
BAR Case #2015-00388
BAR Case #2017-00442
BAR Case #2017-00255
BAR Case #2017-00370
BAR Case #2018-00525
BAR Case #2019-00153
BAR Case #2020-00236
BAR Case #2020-00268
BAR Case #2023-00050

III. ANALYSIS

Certificate of Appropriateness

The *Design Guidelines* encourage signage to be compatible and blend in with the architecture of the building. Further, “When signs distract, shout out to the pedestrian, are not sensitively placed on the architecture or obscure it, a negative image of the historic commercial streetscape is created.” Additionally, “requests for signs on Washington Street must be compatible with the memorial nature of the Parkway.”

The *Guidelines* also “strongly discourage internally illuminated signs.” However, in reviewing this proposal, staff notes that this development is of a much greater scale and size than most sites in Old Town. Therefore, what may be appropriate here may not be appropriate at other sites in the historic district. The area of most concern from the BAR’s perspective is the sign’s visibility from and impact on Washington Street (the George Washington Memorial Parkway).

The proposed sign consists of reverse illuminated channel letters mounted to two aluminum cabinets, installed into the masonry wall (Figure 1). Each cabinet will have a supply wire pushed

through with a protective conduit up to the roof top, painted to match the surrounding masonry (Figure 2).



Figure 1: Rendering of proposed sign

The sign is located at a key location on the building and will orient both pedestrians and vehicles (Figure 3). The vertical orientation is compatible with the building design, and the size does not overwhelm the building. Typically, a complex such as this would hang vinyl banners in this location; staff supports the higher-quality, more permanent material and finds the size and location to be appropriate. The signage will have little effect on the historic fabric of this mid-20th century building and the memorial nature of the George Washington Memorial Parkway.



Figure 2: Rendering of proposed sign and conduit from the George Washington Memorial Parkway



Figure 3: View of proposed sign location from the George Washington Memorial Parkway

The Board has approved internally illuminated wall signage on Late buildings on Washington Street since this area of the district does not have the same pedestrian-oriented emphasis as King Street. Staff notes that the Thornton Apartments, located directly across the street from the Bridgeyard Apartments, has an internally illuminated wall sign that faces the George Washington Memorial Parkway (Figures 4 and 5). The Board approved this sign with the condition that the illumination shall be no greater than 150 lumens and the color of the light should be warmer rather than whiter/cooler (BAR#2017-00030). The proposed sign at the Bridgeyard Apartments is similar in size and appearance to the Thornton sign.



Figures 4 & 5: View of sign at the Thornton Apartments from the George Washington Memorial Parkway

Staff therefore recommends approval of the Certificate of Appropriateness for alterations, with the same condition as the Thornton sign: the illumination shall be no greater than 150 lumens with final light color and intensity to be approved by staff in the field. The color of the light should be warmer rather than whiter/cooler, and no greater than 3000K, with a preferably lower K value. Additionally, anchors for the sign should be installed into the mortar joints on the masonry to avoid damage to the brick. Lastly, the sign must comply with the conditions provided by Zoning.

STAFF

Brendan Harris, Historic Preservation Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

III. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed wall mounted sign complies with zoning.

C-2 Proposed wall mounted sign to be illuminated must meet the conditions of Sec. 9-104

F-1 According to Sec. 9-104 (10) Illuminated signs located higher than 35 feet above grade unless the building is located within 2,000 feet of and the sign is facing Interstate 95 (the Capital Beltway) are prohibited.

Code Administration

C-1 A sign permit is required for review.

Transportation and Environmental Services

No comments received.

National Park Service

No comments received.

Alexandria Archaeology

F-1 No archaeological oversight is required for this project.

V. ATTACHMENTS

1 – Application Materials

2 – Supplemental Materials

BAR Case # _____

ADDRESS OF PROJECT: 1204 S. WASHINGTON ST. ALEXANDRIA, VA 22314

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 60028500 083.02-01-09 ZONING: RC

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: Hunting Point Apartments, LLC

Address: 7555 E Hampden Ave. Ste. 250

City: Denver State: CO Zip: 80231

Phone: (303)991-0094 E-mail: rcummings@laramarapts.com

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☒ Permit Service

Name: KEN PADGETT Phone: 301-370-2126

E-mail: Ken@Mid-AtlanticPermits.com

Legal Property Owner:

Name: Hunting Point Apartments, LLC

Address: 7555 E Hampden Ave., Ste. 250

City: Denver State: CO Zip: 80231

Phone: (303)991-0094 E-mail: rcummings@laramarapts.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
☐ Yes ☒ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☒ No Is there a homeowner's association for this property?
☐ Yes ☒ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☐ EXTERIOR ALTERATION: *Please check all that apply.*
 ☐ awning ☐ fence, gate or garden wall ☐ HVAC equipment ☐ shutters
 ☐ doors ☐ windows ☐ siding ☐ shed
 ☐ lighting ☐ pergola/trellis ☐ painting unpainted masonry
 ☐ other _____
☐ ADDITION
☐ DEMOLITION/ENCAPSULATION
☒ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Install (1) building mounted sign. Sign to be halo illuminated.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☒ Survey plat showing the extent of the proposed demolition/encapsulation.
☐ ☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☐ ☒ Description of the reason for demolition/encapsulation.
☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☒ FAR & Open Space calculation form.
- ☐ ☒ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☒ Existing elevations must be scaled and include dimensions.
- ☐ ☒ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☒ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Linear feet of building: Front: 253' Secondary front (if corner lot): _____.
- ☐ ☒ Square feet of existing signs to remain: n/a.
- ☒ ☐ Photograph of building showing existing conditions.
- ☒ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☒ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☒ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☒ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☐ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: Ken Padgett

Date: 01/19/2023

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Available Upon Request		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. None		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

01/19/2023

Date

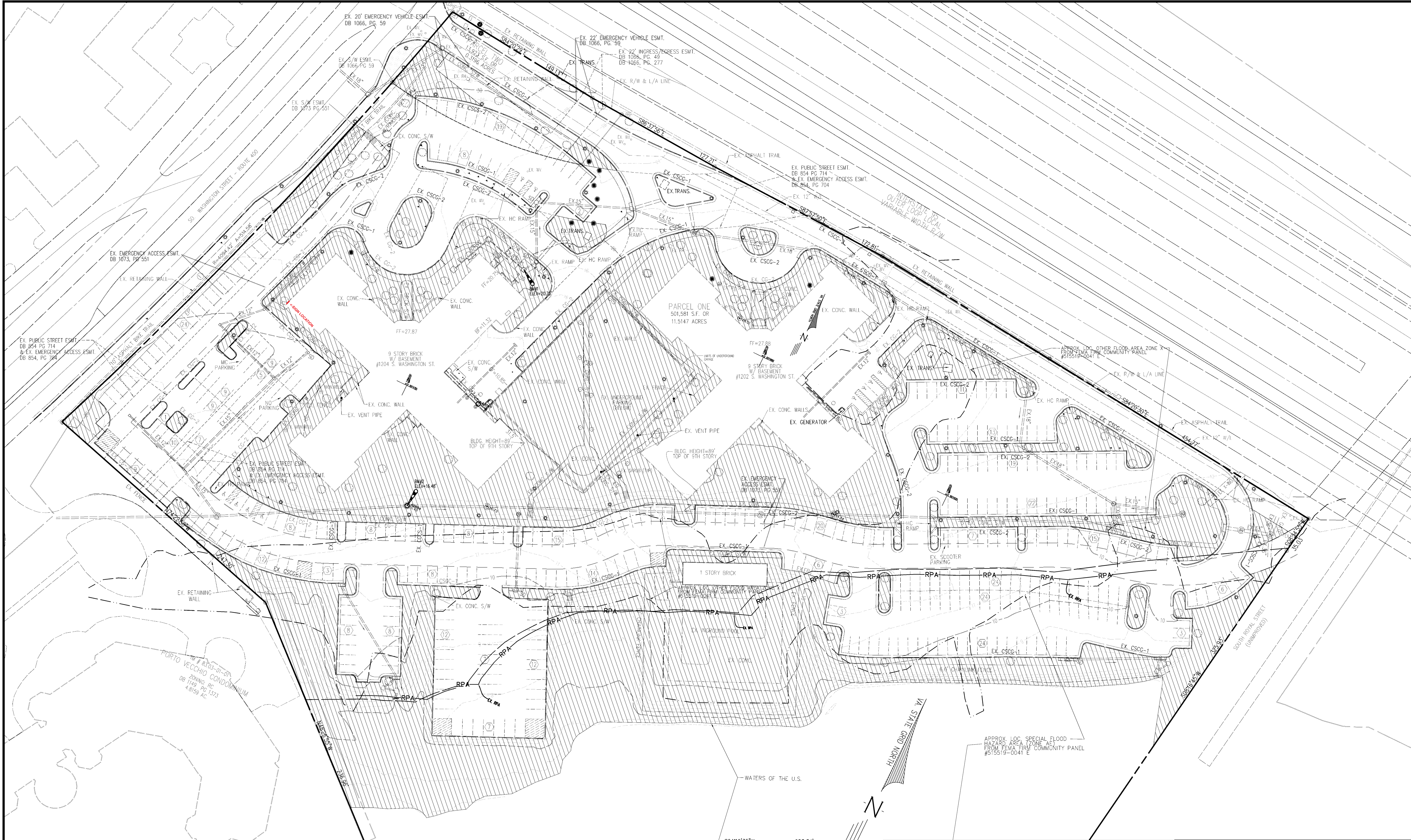
Ken Padgett

Printed Name



Signature

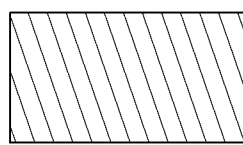
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(EDGE OF WATER)

POTOMAC RIVER

LEGEND



TOTAL EXISTING OPEN SPACE = 177,018 SF OR 4.06 AC, 34.3%

APPROVED
SPECIAL USE PERMIT NO. 2014-0025

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO.

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

EXISTING OPEN SPACE
HUNTING POINT
PRELIMINARY SITE PLAN
CITY OF ALEXANDRIA
ALEXANDRIA, VIRGINIA

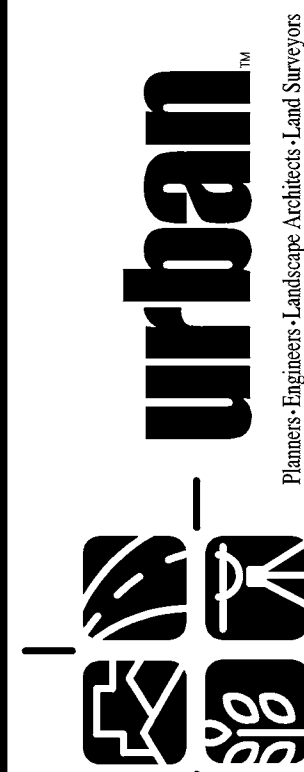
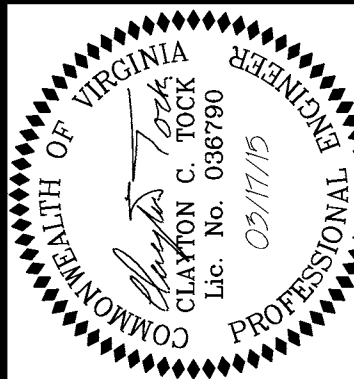
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CI-2

SCALE: 1"=40'

SHEET
07
OF
18

FILE No.
SP-12738



Urban, Ltd.
4300 D TECHNOLOGY CT.
CHANTILLY, VA 20151
TEL: 703.642.2306
FAX: 703.378.7888
www.urban-llc.com

PLAN DATE	REVISIONS
11-13-14	
1-23-15	
3-17-15	

No.	DATE	DESCRIPTION

REVERSE ILLUMINATED CHANNEL LETTERS MOUNTED TO CABINETS

Client:
The Laramar Group, LLC

Location:
1204 S. Washington Street
Alexandria, VA 22314

Work Order:
15792

graphcom

800.669.1664 www.graphcom.com

marketing • printing • creative • signs

PRESENTED BY: Kevin Kelly
DRAWN BY: JC
PROOF VERSION: 3
DATE: 04-29-2022

Total Sign SQ FT = 40 sq ft
(allowed up to 40 sq ft)

SCALE: 1/2" = 1'-0" (1:24)
DOCUMENT SIZE: 11" x 17"

COMMONWEALTH OF VIRGINIA

PROFESSIONAL ENGINEER

MURDOCH ENGINEERING

SIGN STRUCTURE PROFESSIONALS

2099 A-2 NJ-34

MANASQUAN, NJ 08736

(973) 570-8215 x10

5/17/2022

JERE K. MURDOCH

Lic. No. 50214

Jere Murdoch, PE

Professional Engineer

VA/PE Lic. #402050214

Exp. 4/30/2024

Rev. 1

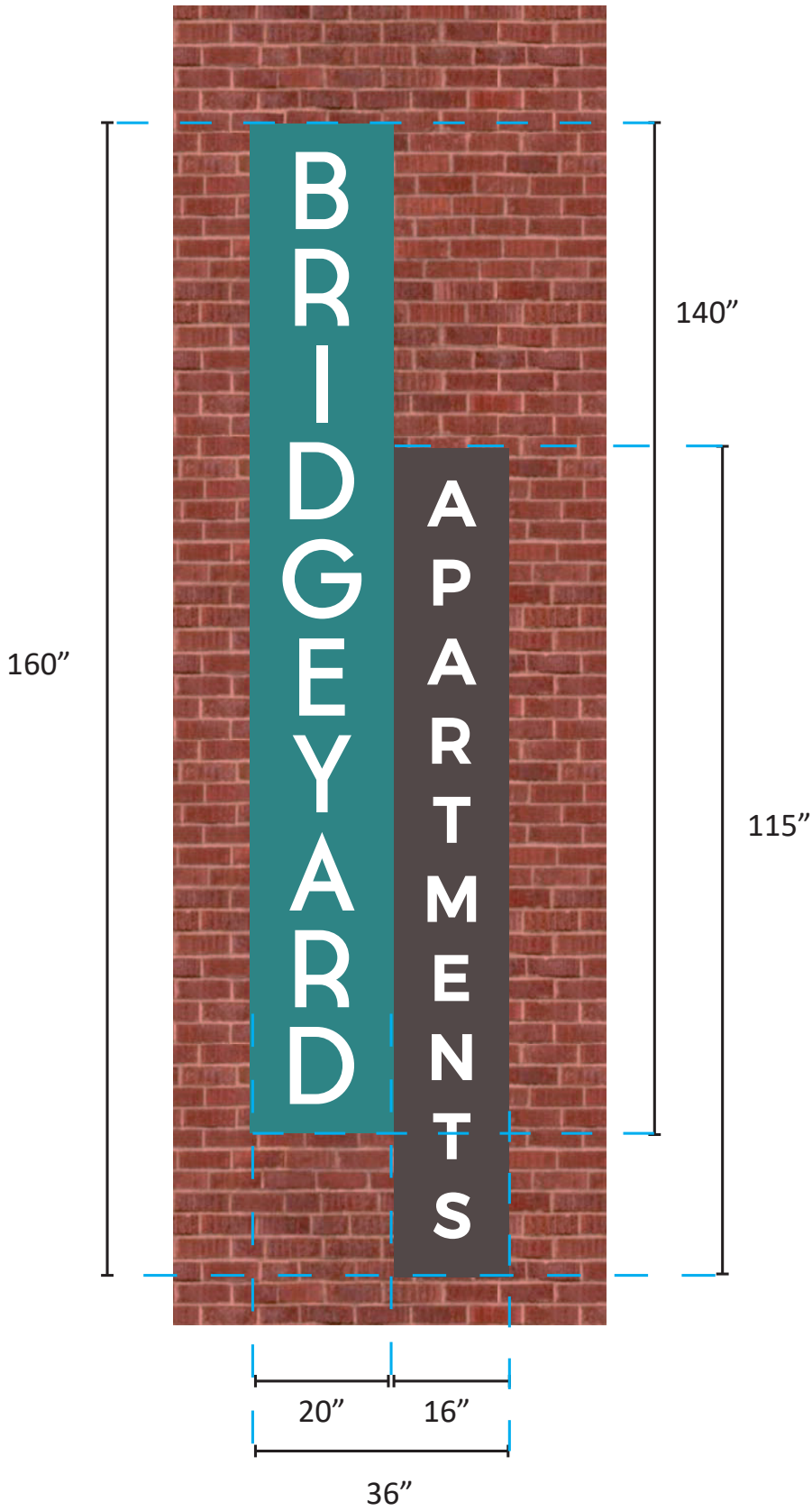
7-25-2022

PN 2238320

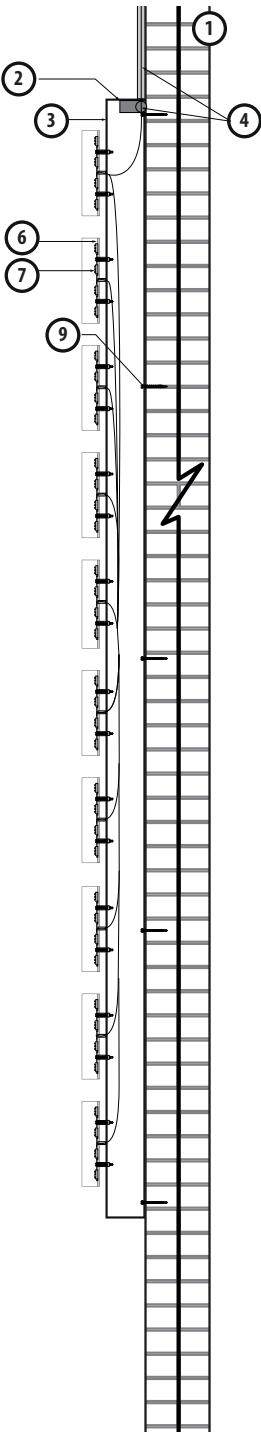
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ASCE 7-16	Minimum Design Loads for Buildings & Other Structures
ACI 318-14	Building Code Requirements for Structural Concrete
ANSI/AISC 360-16	Specification for Structural Steel Buildings
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Exposure	C
Risk Cat.	II
Grnd. Snow	Pg = 25 psf

SHEET NO.
01

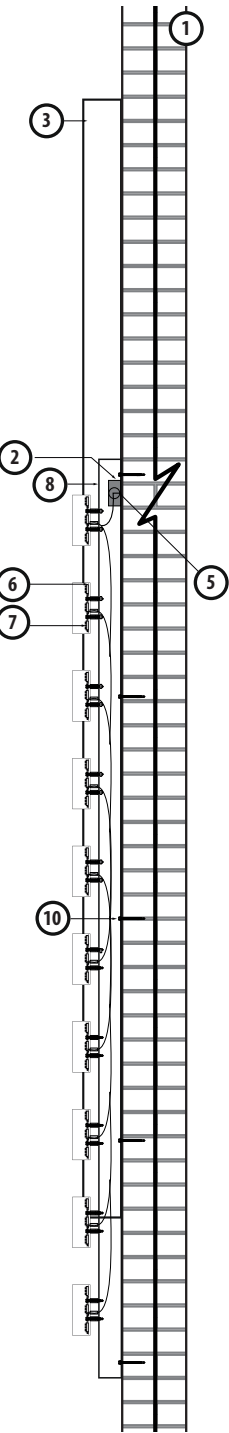
CABINET #1 & #2
FRONT VIEW



CABINET #1
"BRIDGEYARD"
SECTION VIEW



CABINET #2
"APARTMENTS"
SECTION VIEW



SECTION VIEW NOTES:

- 1 Masonry Wall
- 2 LED power supply with disconnect
- 3 Cabinet #1 - Letters attach to 20" x 140" x 5" deep aluminum sign cabinet
- 4 Cabinet #1 - Supply wire pushed through top with protective conduit leading up to roof connection. Connection made inside cabinet
- 5 Cabinet #2 - Supply wire pushed through to first cabinet with protective conduit. Connection made inside cabinet
- 6 Reverse Illuminated Channel Letters. 1/4" thick polycarbonatel backs. 2" deep 0.63 aluminum returns
- 7 1w LED MODULES
- 8 Cabinet #2 - Letters attach to 16" x 115" x 3" deep aluminum sign cabinet
- 9 Cabinet #1 - Install Sign Cabinet with 3/8"x4" DeWALT Screw-Bolt+ embd. 3-1/4" to mount directly into mortar joints not brick. Fasteners to be spaced evenly @ max. 34" on center top to bottom with a 4" Max. end clearance
- 10 Cabinet #2 - Install Sign Cabinet with 3/8"x4" DeWALT Screw-Bolt+ embd. 3-1/4" to mount directly into mortar joints not brick. Fasteners to be spaced evenly @ max. 28" on center top to bottom with a 4" Max. end clearance

Engineers Note:
- Contact Murdoch Engineering for revision if field conditions vary.

REVERSE ILLUMINATED CHANNEL LETTERS MOUNTED TO CABINETS - LIGHTING MOCKUP / CONDUIT NOTES

Client:
The Laramar Group, LLC

Location:
1204 S. Washington Street
Alexandria, VA 22314

Work Order:
15792



800.669.1664 www.graphcom.com

marketing • printing • creative • signs

PRESENTED BY: Kevin Kelly

DRAWN BY: JC

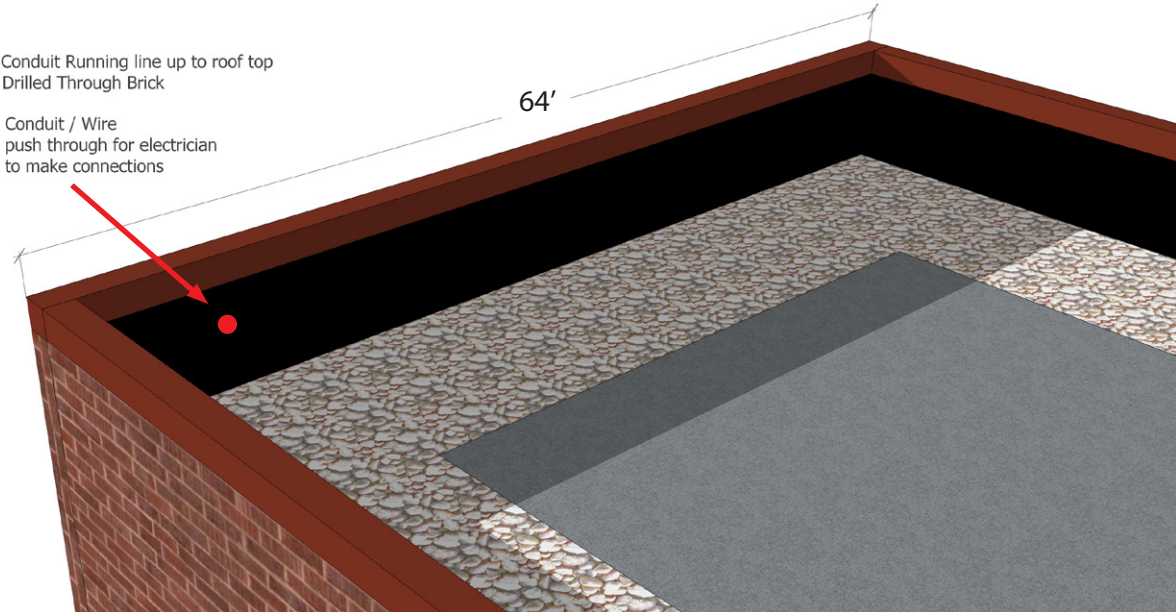
PROOF VERSION: 3

DATE: 04-29-2022

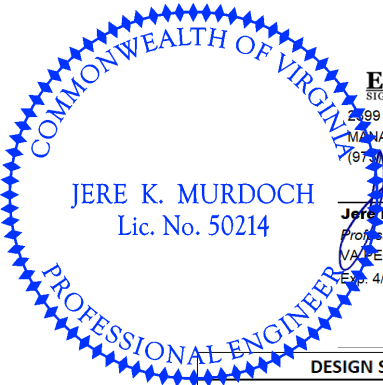
Total Sign SQ FT = 40 sq ft
(allowed up to 40 sq ft)

SCALE: 1/2" = 1'-0" (1:24)

DOCUMENT SIZE: 11" x 17"



Electrical pushed trough from front to upper roof area



MURDOCH ENGINEERING
SIGN STRUCTURE PROFESSIONALS
2399 A-2 NJ-34
MANASQUAN, NJ 08736
(973) 670-8215 x0

Jere Murdoch
Jere Murdoch, PE
Professional Engineer
VA/PE Lic. #402050214
Exp. 4/30/2024

Rev. 1
7-25-2022
PN 2238320

DESIGN SPECIFICATIONS	
USBC/VCC 2018	
ASCE 7-16	Minimum Design Loads for Buildings & Other Structures
ACI 318-14	Building Code Requirements for Structural Concrete
ANSI/AISC 360-16	Specification for Structural Steel Buildings
DESIGN LOADS	
Wind	V = 115 mph
Exposure	C
Risk Cat.	II
Grnd. Snow	Pg = 25 psf

SHEET NO.

02

REVERSE ILLUMINATED CHANNEL LETTERS MOUNTED TO CABINETS - STREET VIEW MOCKUP

Client:
The Laramar Group, LLC

Location:
1204 S. Washington Street
Alexandria, VA 22314

Work Order:
15792

graphcom

800.669.1664 www.graphcom.com

marketing • printing • creative • signs

PRESENTED BY: Kevin Kelly
DRAWN BY: JC
PROOF VERSION: 3
DATE: 04-29-2022

Total Sign SQ FT = 40 sq ft
(allowed up to 40 sq ft)

SCALE: 1/2" = 1'-0" (1:24)
DOCUMENT SIZE: 11" x 17"



MOCKUP (APPROXIMATE ACTUAL MAY VARY)

COMMONWEALTH OF VIRGINIA

PROFESSIONAL ENGINEER

MURDOCH ENGINEERING

SIGN STRUCTURE PROFESSIONALS

2-99 A-2 NJ-34

MANASQUAN, NJ 08736

(973) 570-8215 x0

5/17/2022

Jeff Murdoch

JEFF K. MURDOCH

Lic. No. 50214

Professional Engineer

VA/PE Lic. #402050214

Exp. 4/30/2024

Rev. 1

7-25-2022

PN 2238320

DESIGN SPECIFICATIONS	
USBC/VCC 2018	
ASCE	7-16 Minimum Design Loads for Buildings & Other Structures
ACI	318-14 Building Code Requirements for Structural Concrete
ANSI/AISC	360-16 Specification for Structural Steel Buildings
DESIGN LOADS	
Wind	V = 115 mph
Exposure	C
Risk Cat.	II
Grnd. Snow	Pg = 25 psf

SHEET NO.

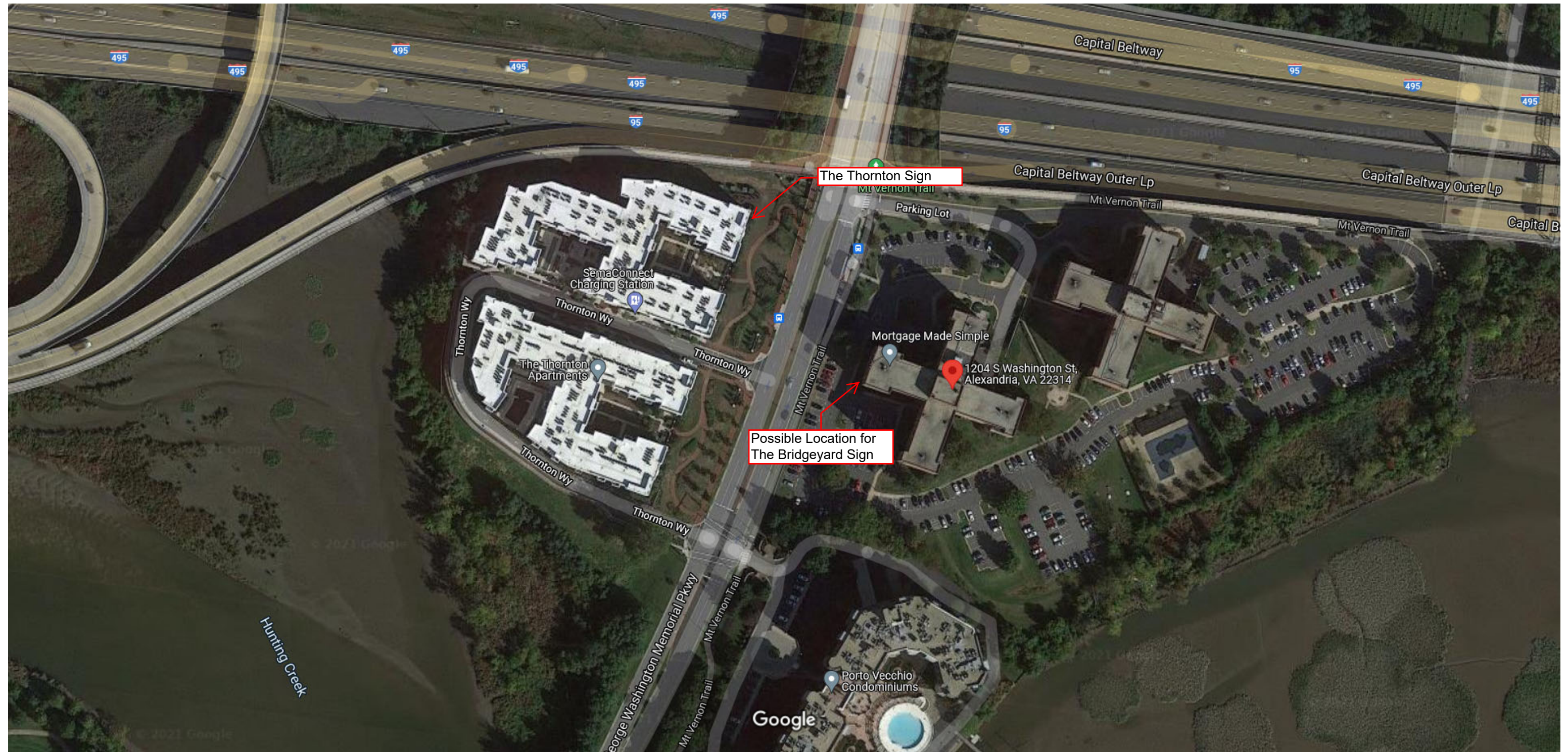
03



REVISIONS & ADDITIONS
REVISIONS & ADDITIONS

JUN 6 - 1949			
MAR 22 1949			
HUNTING TOWER APARTMENTS			
MT. VERNON MEMORIAL BOULEVARD AT HUNTING CREEK			
ALEXANDRIA - VIRGINIA			
HUNTING TOWER CORPORATION			DRAWN BY
417 N. WASHINGTON ST. ALEXANDRIA, VA. TELE. TE. 5386			TRACED BY
WM H. HARRIS, A. I. A.			CHECKED BY
ARCHITECT			NO. 14
DATE FEB. 13, 1949		SCALE 1/8" = 1'-0"	

Google Maps 1204 S Washington St



Imagery ©2021 Commonwealth of Virginia, District of Columbia (DC GIS), Maxar Technologies, Sanborn, U.S. Geological Survey, USDA Farm Service Agency, Map data ©2021 100 ft

Google Maps 1205 VA-400

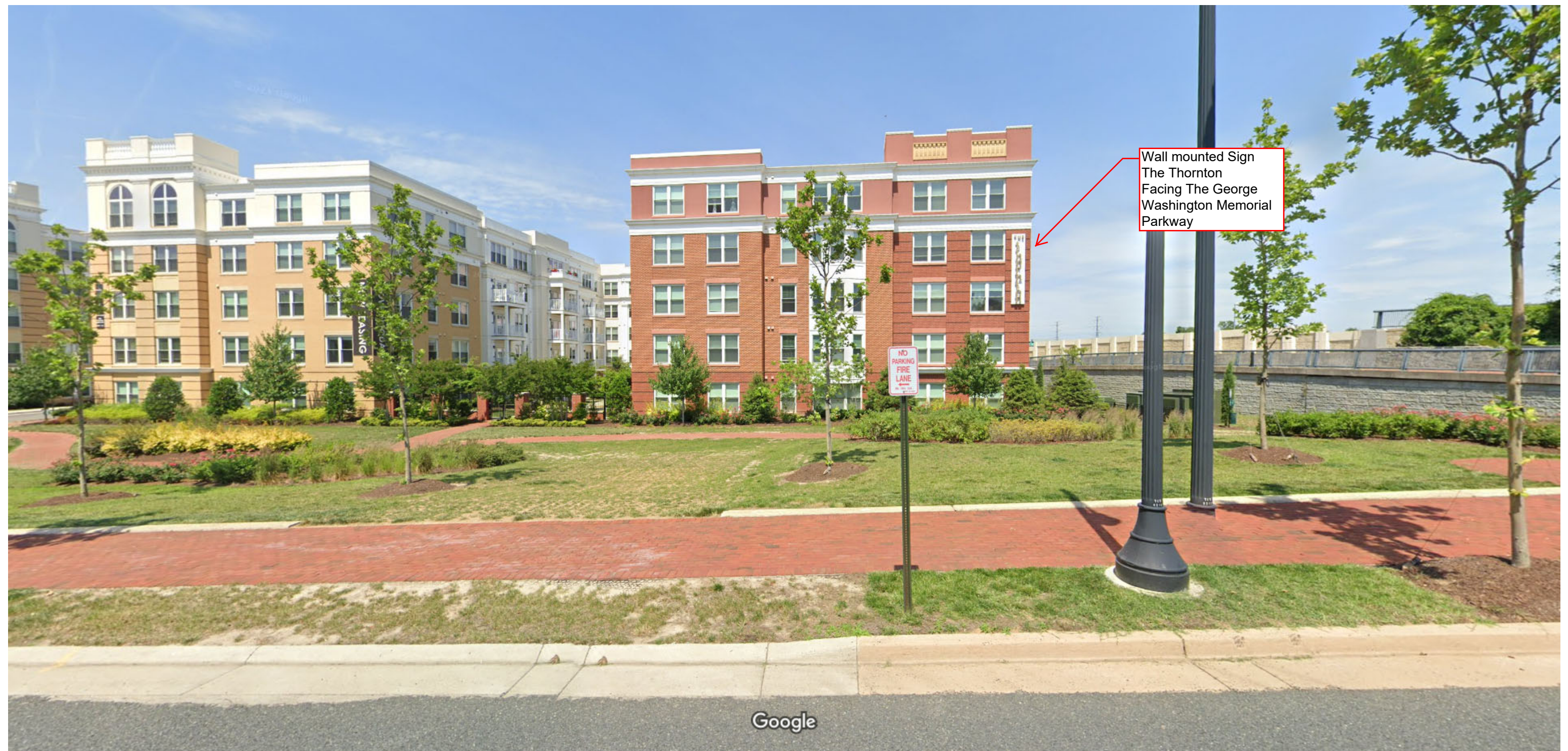


Image capture: Jun 2021 © 2021 Google

Alexandria, Virginia



Street View - Jun 2021



Google Maps 1227 George Washington Memorial Pkwy



Image capture: Jun 2021 © 2021 Google

Alexandria, Virginia



Street View - Jun 2021

