

**ISSUE:** Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

**APPLICANT:** Blair Barrett

**LOCATION:** Old and Historic Alexandria District  
308 North Columbus Street

**ZONE:** RB/Residential Townhouse Zone

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**STAFF RECOMMENDATION**

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness, as submitted.

**GENERAL NOTES TO THE APPLICANT**

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



 **BAR #2022-00397 & BAR #2022-00398**  
**308 N Columbus St**

0 10 20 40 Feet

N

**Note:** Staff coupled the applications for a Permit to Demolish (BAR2022-00398) and Certificate of Appropriateness (BAR2022-00397) for clarity and brevity. The Permit to Demolish requires a roll call vote.

**I. APPLICANT’S PROPOSAL**

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to construct a rooftop deck on the detached garage, at 308 North Columbus Street. The materials include a 3’-0” high metal guard railing with 2”x2” support post and a stainless-steel cable system. The rooftop decking material will not be visible and will be located on the existing roof membrane.

Site context

The alley to the west, behind the subject property, is public. The proposed roof deck will be visible from the right-of-way and the public alley. Staff notes that the main building will not be impacted by the proposed alterations.

**II. HISTORY**

The three-bay, two-story with basement Italianate townhouse at **308 North Columbus Street** was constructed by 1921 based on Sanborn map research. Between 1921 and 1958 an accessory structure was located on the rear property line. The current accessory structure was constructed between 1958 and 1977 based on Sanborn map research.

*Previous BAR Approvals*

5/16/2017– Administrative approval for window replacement (BAR2017-00168)

4/20/1977 – Board approval for a rear porch.

**III. ANALYSIS**

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

<b>Standard</b>	<b>Description of Standard</b>	<b>Standard Met?</b>
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No

(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relate only to the specific portions of the building proposed for demolition/capsulation, not the overall building.

In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The garage is considered a Late (built after 1931) structure in the Old and Historic Alexandria District, and most of demolition/capsulation is limited to the flat roof and will not compromise the integrity of the structure. The materials to be demolished are not of unusual or uncommon design and could be reproduced easily.

Certificate of Appropriateness

Staff has no objection to the proposed roof deck. The *Design Guidelines* states that roof decks should be constructed so that they do not interfere with the historic roofline of a building. Additionally, material should not be used on a roof deck that detracts from the historic architecture of a structure. The proposed roof deck will be constructed on the flat roof on a later accessory structure and will not detract from architectural integrity of the structure. The materials selected are appropriate for this later structure.

**STAFF**

Amirah Lane, Historic Preservation Planner, Planning & Zoning  
 Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

**III. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

**Zoning**

- F-1 Per §6-403(B), guardrails may all be erected as part of the main building to their required heights.
- F-2 The proposal meets the rear setback required by the RB zone as half of the rear alley may be used to count towards the setback for the roof deck.
- F-3 The proposed roof deck on the garage complies with zoning.

**Code Administration**

- C-1 Building permit is required.
- C-2 The service mast will need to be extended and supported to 10ft above the roof deck per NEC 230.9(B) & 230.24(B)(1)

**Transportation and Environmental Services**

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:  
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.  
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if

available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

**Alexandria Archaeology**

No archaeological oversight is required for this project.

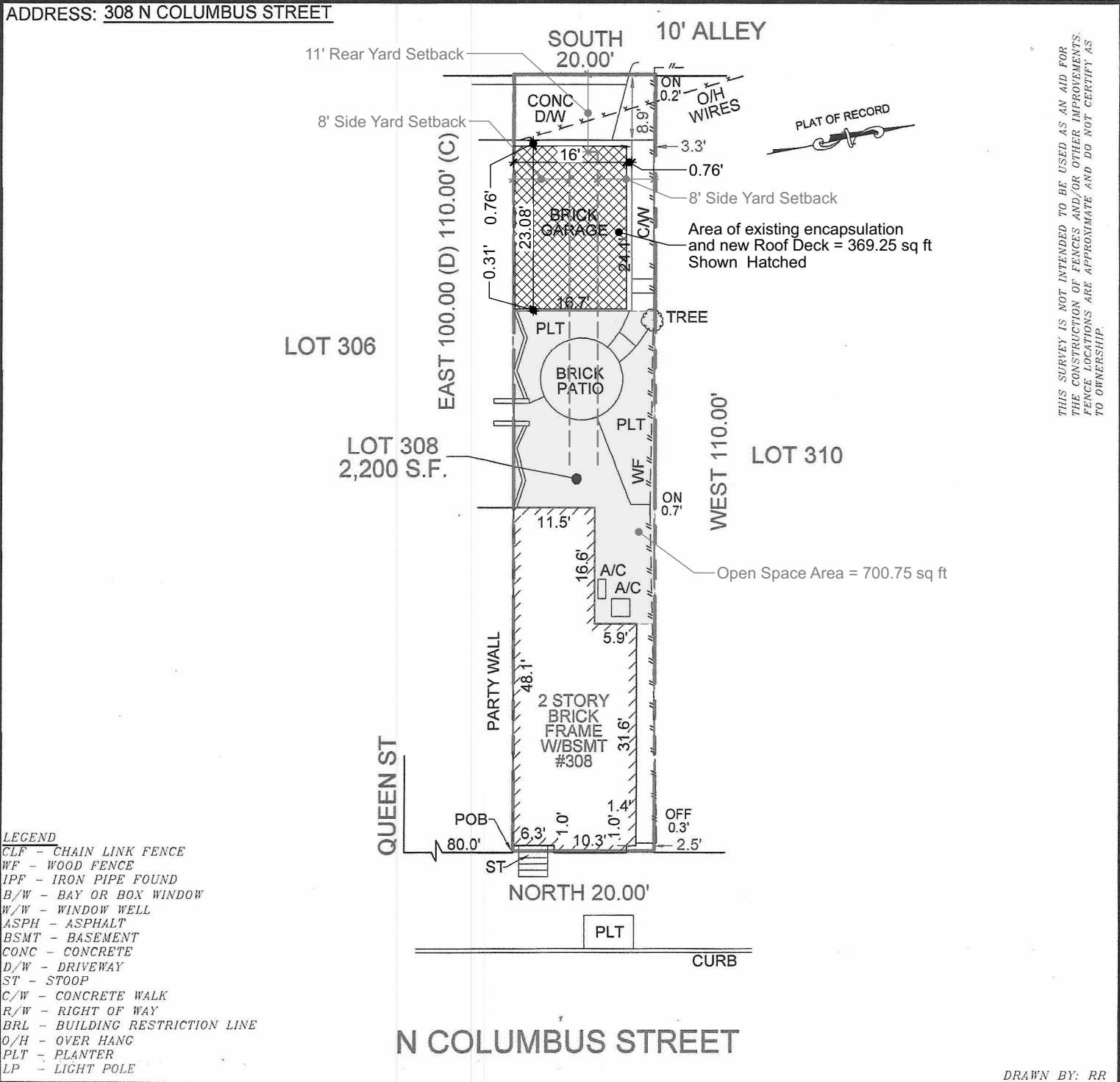
**V. ATTACHMENTS**

*1 – Supplemental Materials*

*2 – Application for BAR2022-00397 & BAR2022-00398: 308 North Columbus St.*

HOUSE LOCATION SURVEY

ADDRESS: 308 N COLUMBUS STREET



THIS SURVEY IS NOT INTENDED TO BE USED AS AN AID FOR THE CONSTRUCTION OF FENCES AND/OR OTHER IMPROVEMENTS. FENCE LOCATIONS ARE APPROXIMATE AND DO NOT CERTIFY AS TO OWNERSHIP.

DRAWN BY: RR

**SURVEYOR'S CERTIFICATE**  
I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY SHOWN HEREON FOR THE PURPOSE OF LOCATING THE IMPROVEMENTS ONLY, AND THE PROPERTY CORNERS HAVE NOT BEEN ESTABLISHED OR SET, UNLESS OTHERWISE NOTED. WE ASSUME NO RESPONSIBILITY, OR LIABILITY FOR ANY RIGHTS OF WAYS ON THE RECORD OR EASEMENTS RECORDED OR UNRECORDED NOT APPEARING ON THE RECORDED PLAT OR MENTIONED IN THE DEED REFERRED TO HEREON. NO TITLE REPORT WAS FURNISHED.

**COMMONWEALTH OF VIRGINIA**  
MOHAMAD B. AL-SHALABI  
Lic No. 002907  
LAND SURVEYOR

6/24/2020  
DATE

PROFESSIONAL SEAL

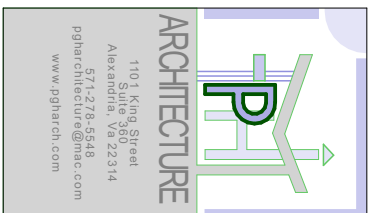
**LAND MARX, LLC.**  
8843 GREENBELT ROAD, SUITE 334  
GREENBELT, MD 20770  
PHONE 301-368-1944  
FAX 301-794-8751  
LANDPRO@MAIL.COM

HOUSE LOCATION SURVEY  
308 N COLUMBUS STREET  
LOT 308  
BOOK 1689 PAGE 1381  
CITY OF ALEXANDRIA, VIRGINIA  
SCALE: 1" = 20' DATE: 6/24/20

FILE: #308 N COLUMBUS STREET CASE: # 0

1 Blair Barrett Plat  
AR.01 SCALE: 1" = 20'

202203  
Schematic Design  
Document SDV1  
Proposed Plat  
AR.01  
Board of Architectural  
Review

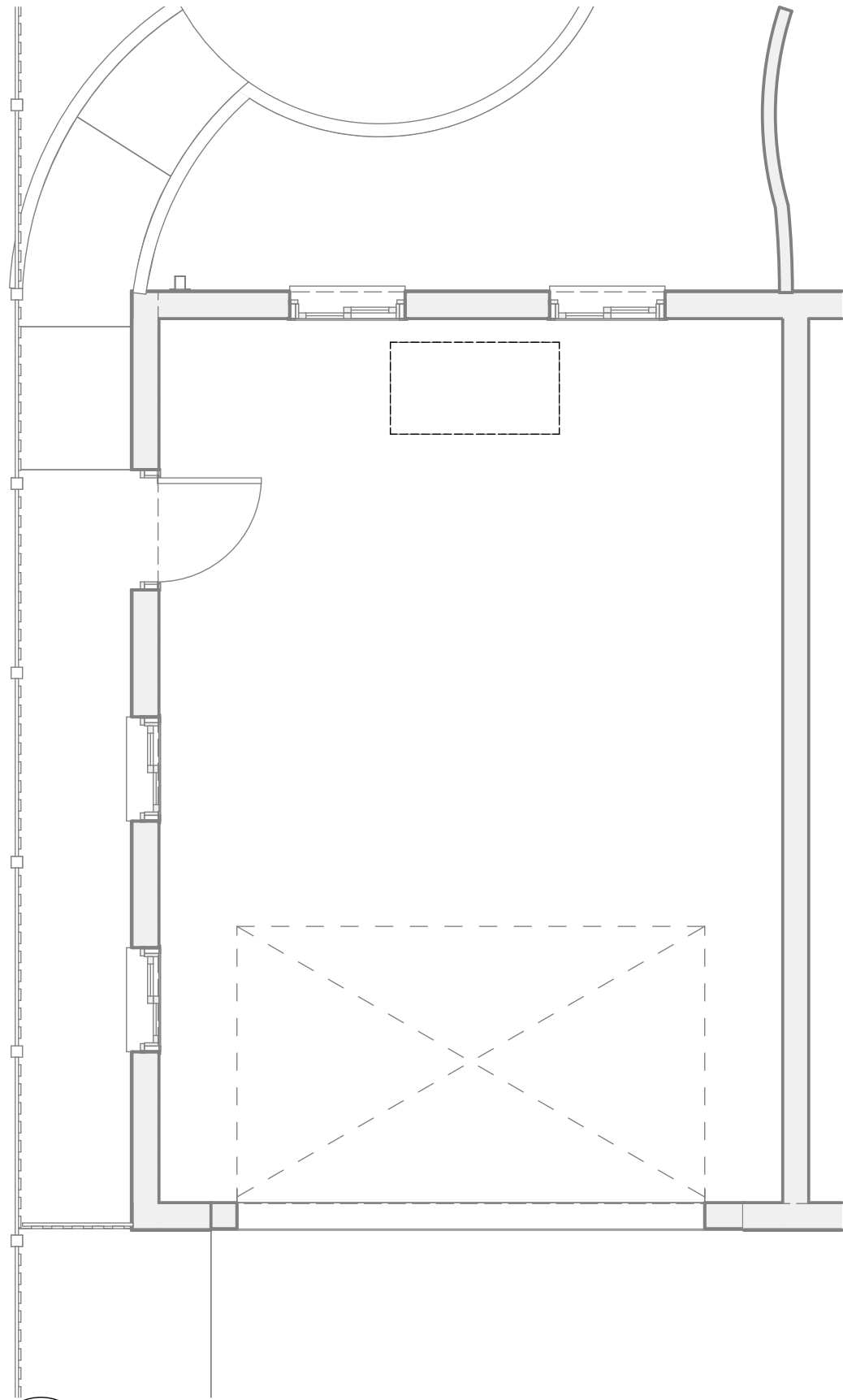


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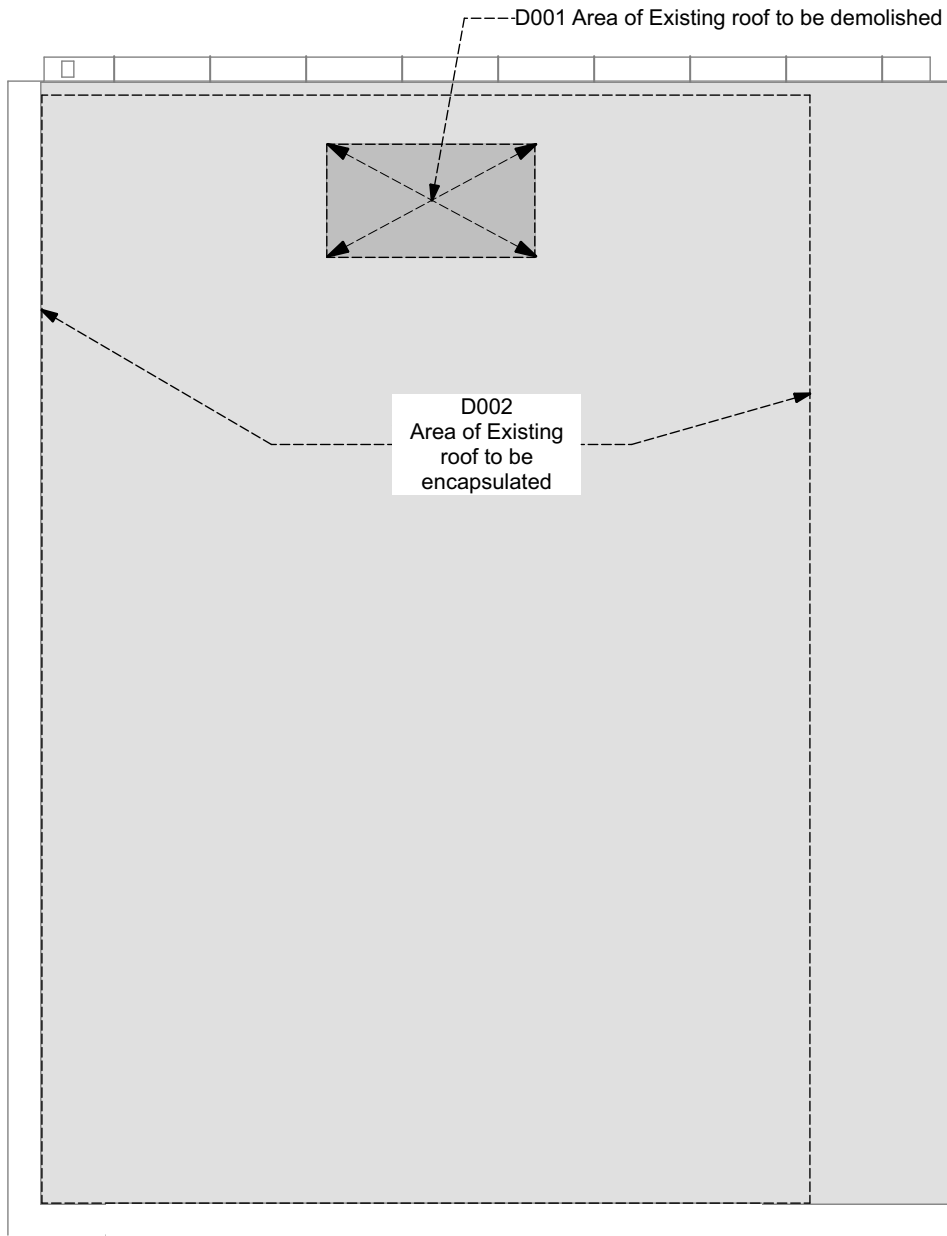
Blair Barrett Deck  
Garage Roof Deck  
308 North Columbus St. Alexandria  
VA 22314

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**1**  
**AR.02** Frist Floor Existing / Demolition Plan  
SCALE: 1/4" = 1'-0"



**2**  
**AR.02** Roof Existing / Demolition Plan  
SCALE: 1/4" = 1'-0"

**Demolition Keynotes**

**General Demolition Notes:**

1. Not demolition visible on exterior elevations
2. See Proposed for notes of existing elements

**Reason for Demolition / Encapsulation:**

Clients would like to have a roof deck on top of their existing garage. This requires a roof top access. There is not space in the following areas around the garage for the following reasons.

1. for an access in the back yard due to open space requirements.
2. Side yard space is needed for access to the street.
3. Ally space is required for garage access and would be contrary to reducing visible impact on the public right of way.

**Alternatives to Demolition / Encapsulation:**

There is not viable alternative to demolition of part of the roof deck for attic access hatch or for encapsulation of the roof to create the deck.

- D001 Remove roof deck and reframe roof as required to create new roof hatch opening
- D002 Area of roof to be encapsulated by new roof deck

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**Blair Barrett Deck**  
**Garage Roof Deck**  
308 North Columbus St. Alexandria  
VA 22314

Scale: 1/4" = 1'-0", 1" = 1'-0"

Date: 8/16/22

Revisions: PGH

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202203  
Schematic Design  
Document SDV1  
Existing - Demolition Plans

**AR.02**  
Board of Architectural  
Review



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**Garage Roof Deck**  
308 North Columbus St. Alexandria  
VA 22314

Scale: 1/4" = 1'-0"; 1" = 1'-0"

Date: 8/16/22

Revisions: PGH

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202203  
Schematic Design  
Document SD/1  
Existing - Demolition  
Elevations  
**AR.03**  
Board of Architectural  
Review

**Demolition Keynotes**

**General Demolition Notes:**

1. Not demolition visible on exterior elevations
2. See Proposed for notes of existing elements

**Reason for Demolition / Encapsulation:**

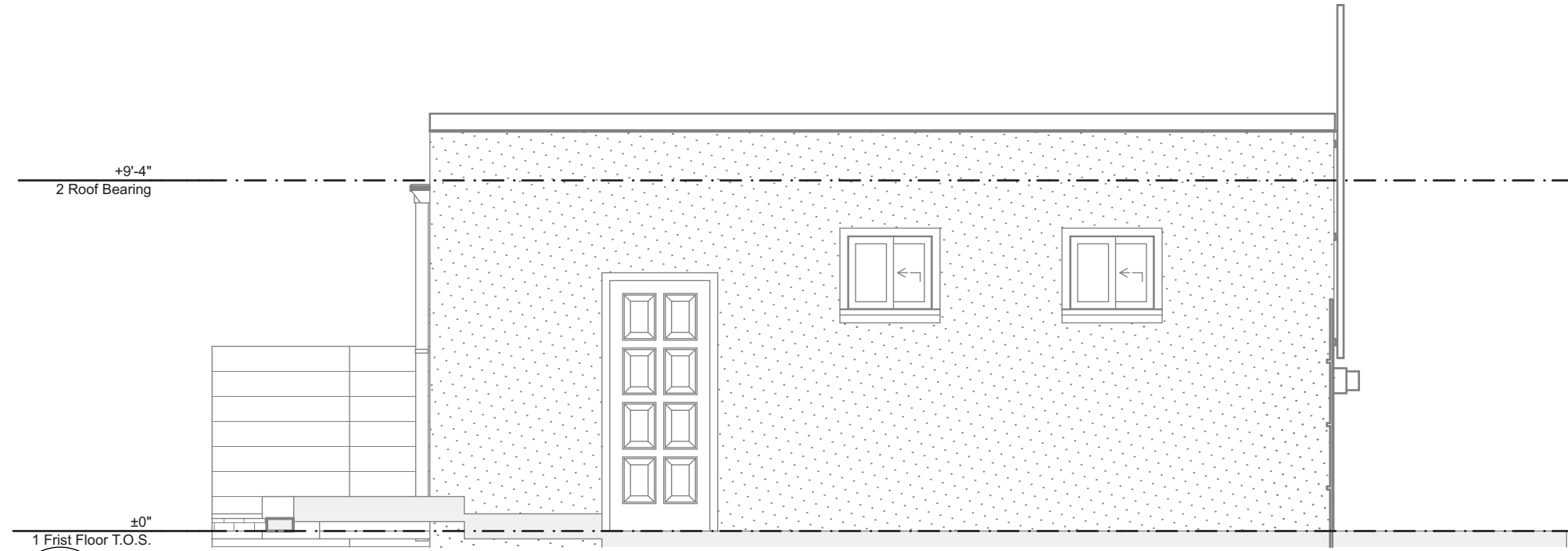
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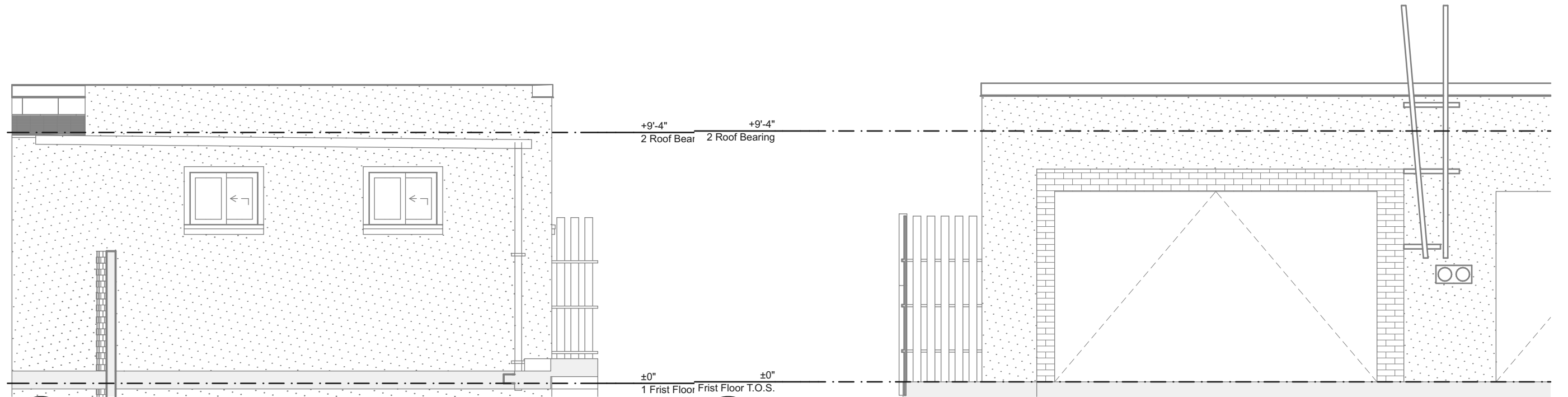
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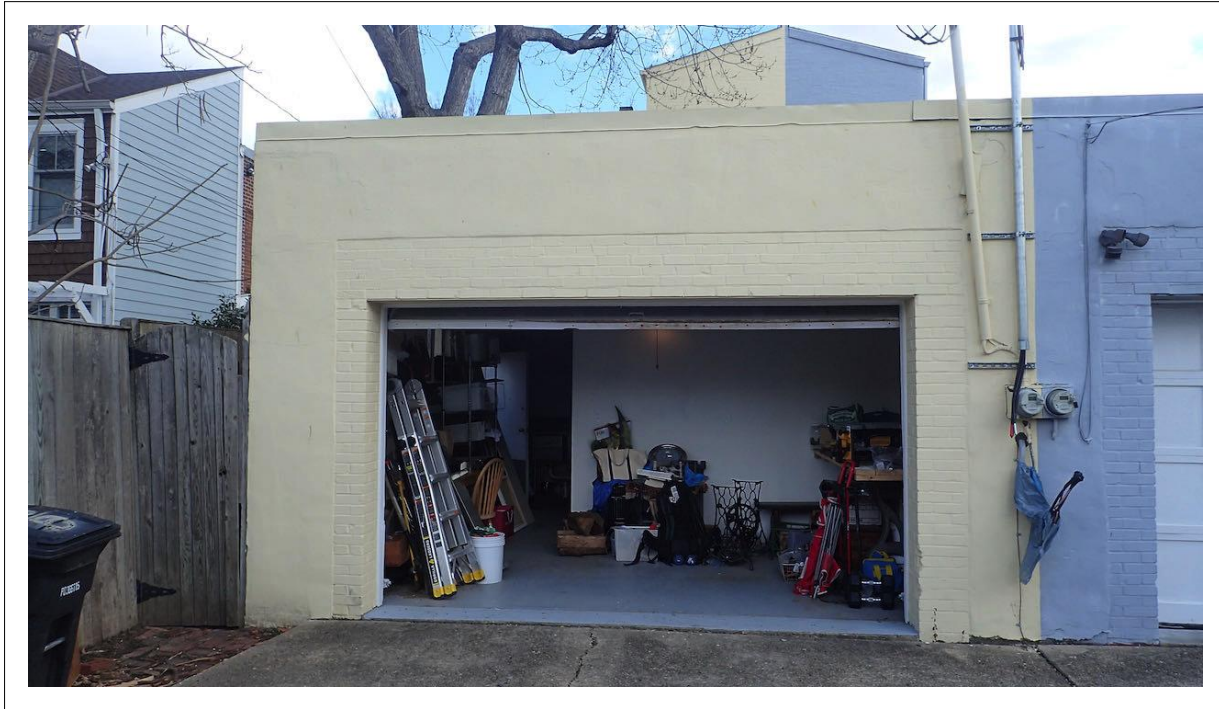


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**AR.03** **GARAGE LEFT SIDE ELEVATION EXISTING / DEMO.**  
SCALE: 1/4" = 1'-0"



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**AR.03** **GARAGE REAR ELEVATION EXISTING / DEMO.**  
SCALE: 1/4" = 1'-0"

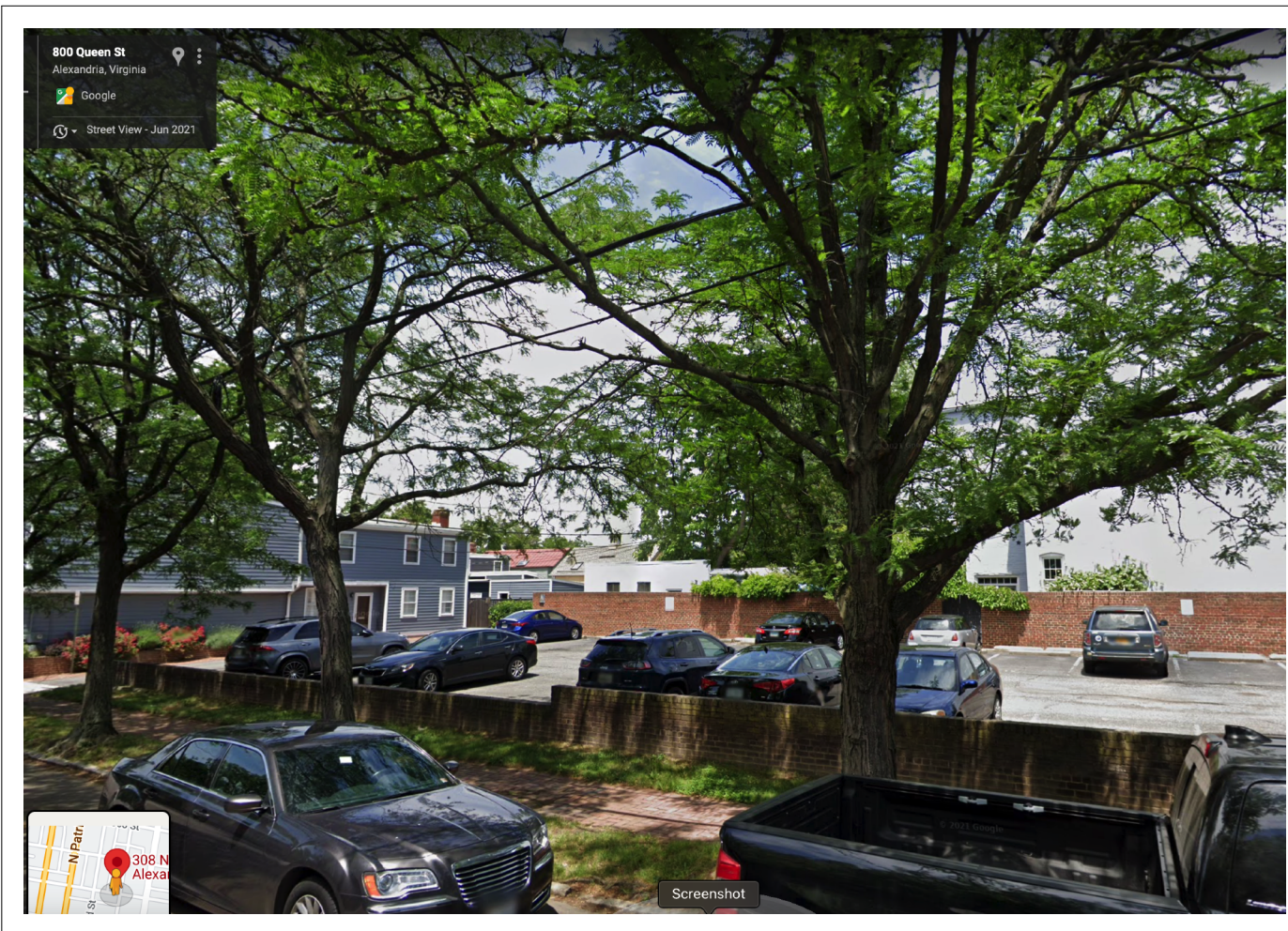
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**AR.03** **GARAGE FRONT ELEVATION EXISTING / DEMO.**  
SCALE: 1/4" = 1'-0"



Garage Front



Garage Rear



Garage Duplex from 800 Queen St.



Garage Duplex From Ally Entrance

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**Garage Roof Deck**  
308 North Columbus St, Alexandria  
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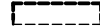

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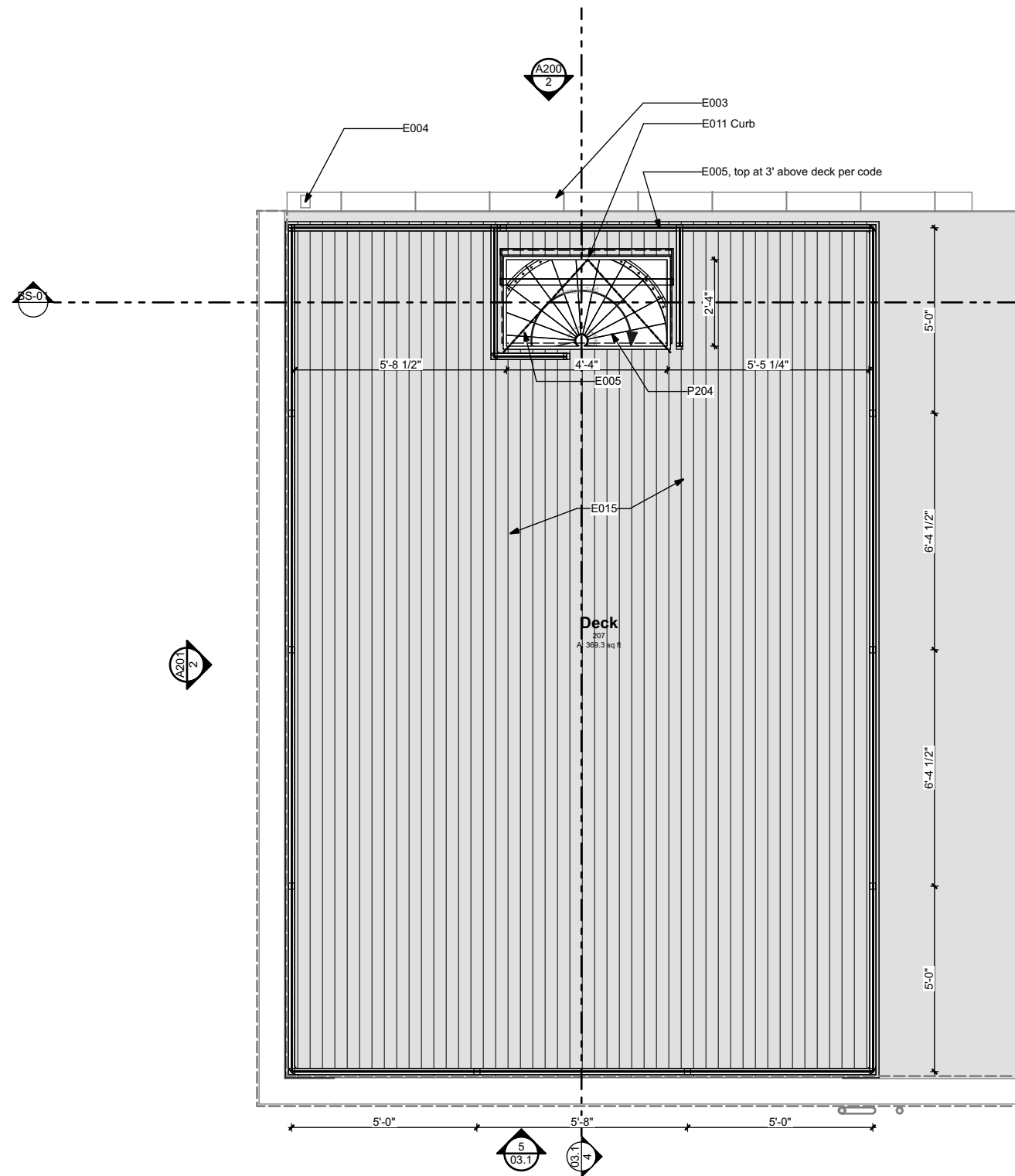
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Schematic Design  
Document SDV1  
Existing Site Photos

**AR.04**

Board of Architectural  
Review

- Renovation Graphic Key**
-  Existing To Remain
  -  Existing To Be Demolished
  -  New Construction



BS-0

A200/2

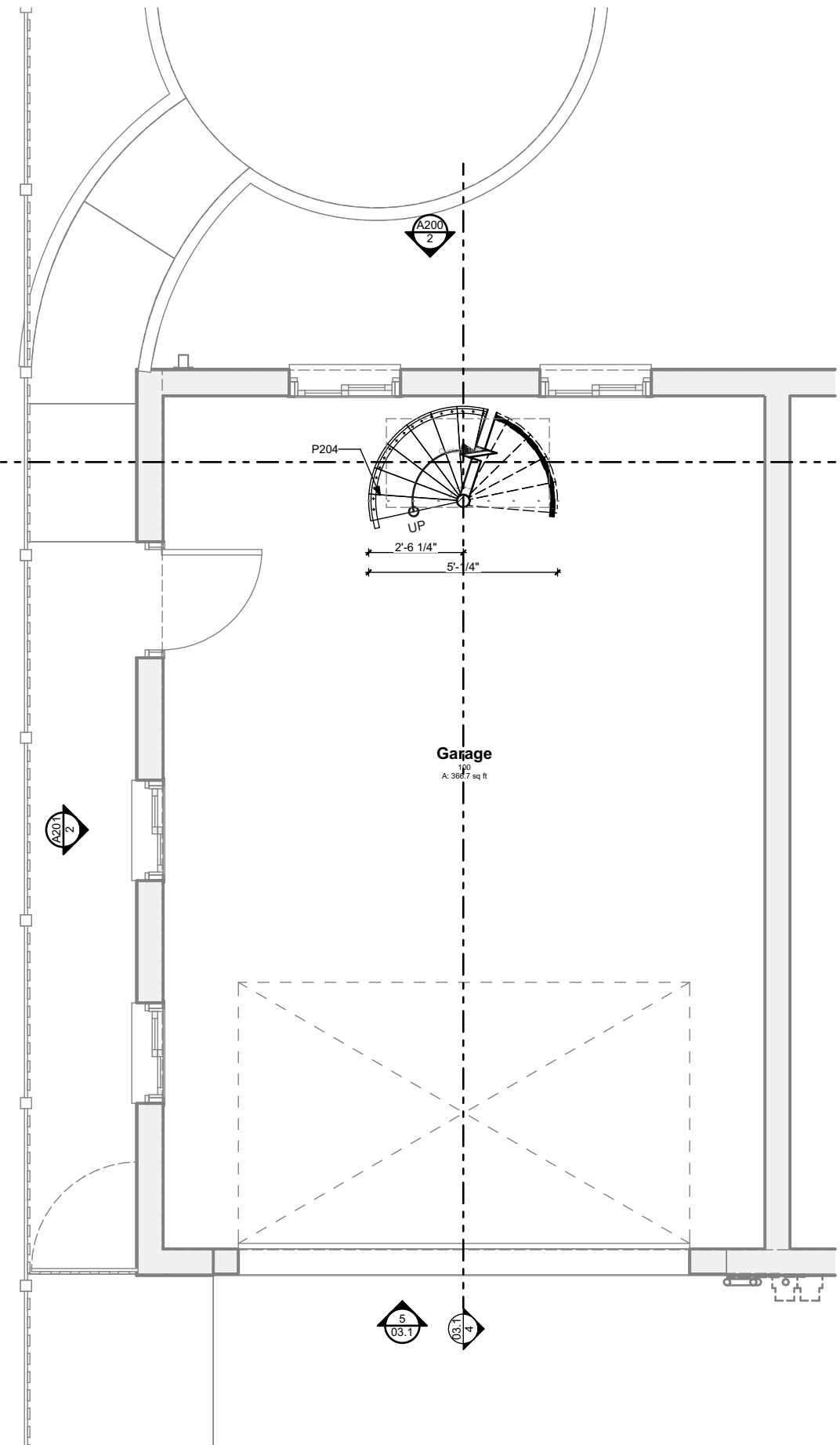
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**1 Proposed Roof Deck Plan**

SCALE: 1/4" = 1'-0"



BS-0

A200/2

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**1 Proposed Garage Level Plan**

SCALE: 1/4" = 1'-0"

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Scale: 1/4" = 1'-0"  
Date: 8/16/22  
Revisions: PGH

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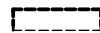



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Document SDV1  
Proposed Plans

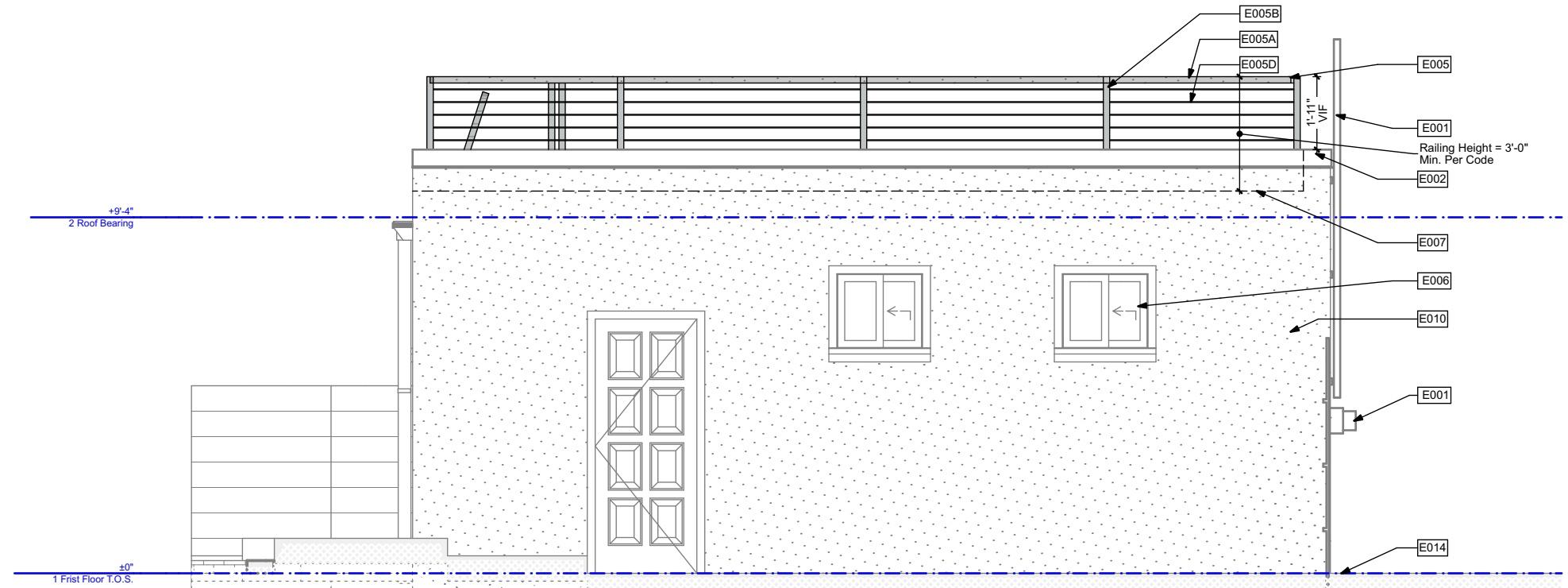
**AR.05**  
Board of Architectural  
Review

Renovation Graphic Key

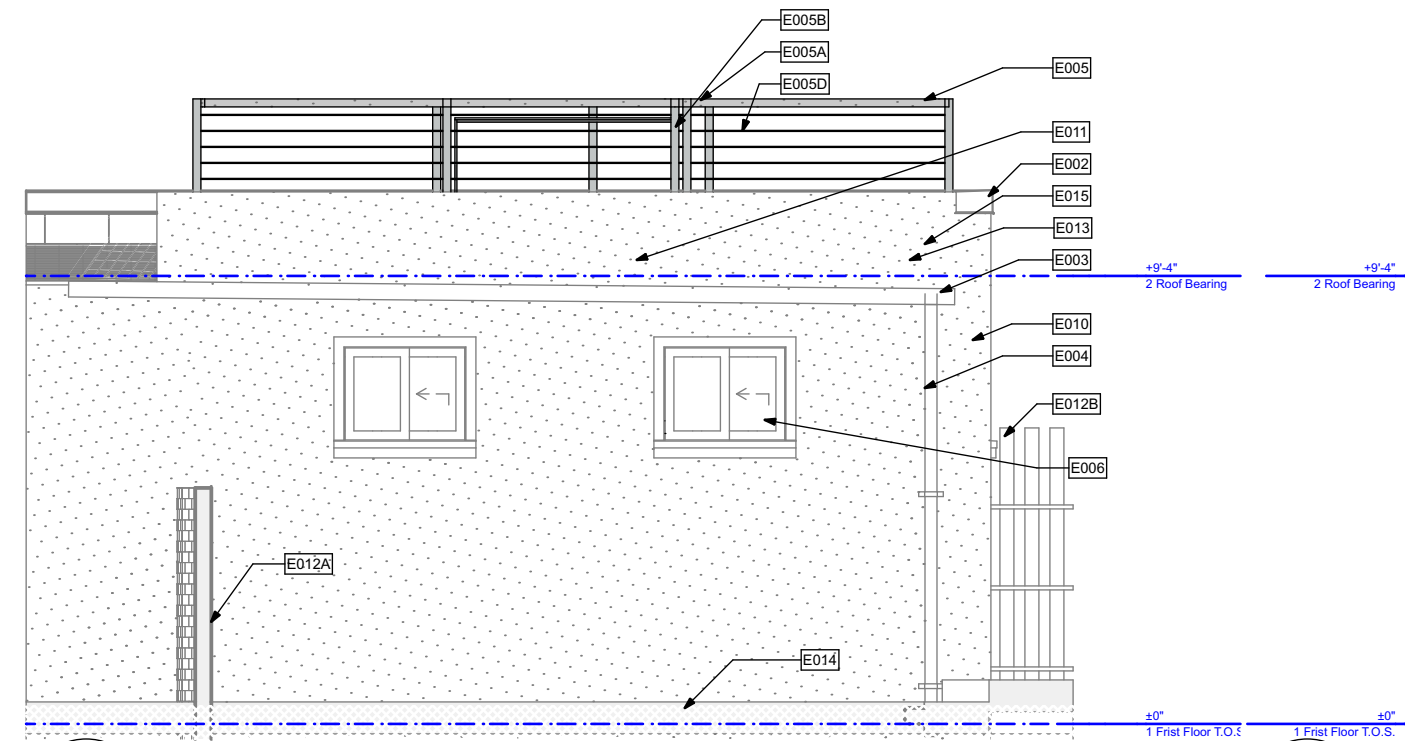
-  Existing To Remain
-  Existing To Be Demolished
-  New Construction

Elevation Keynotes

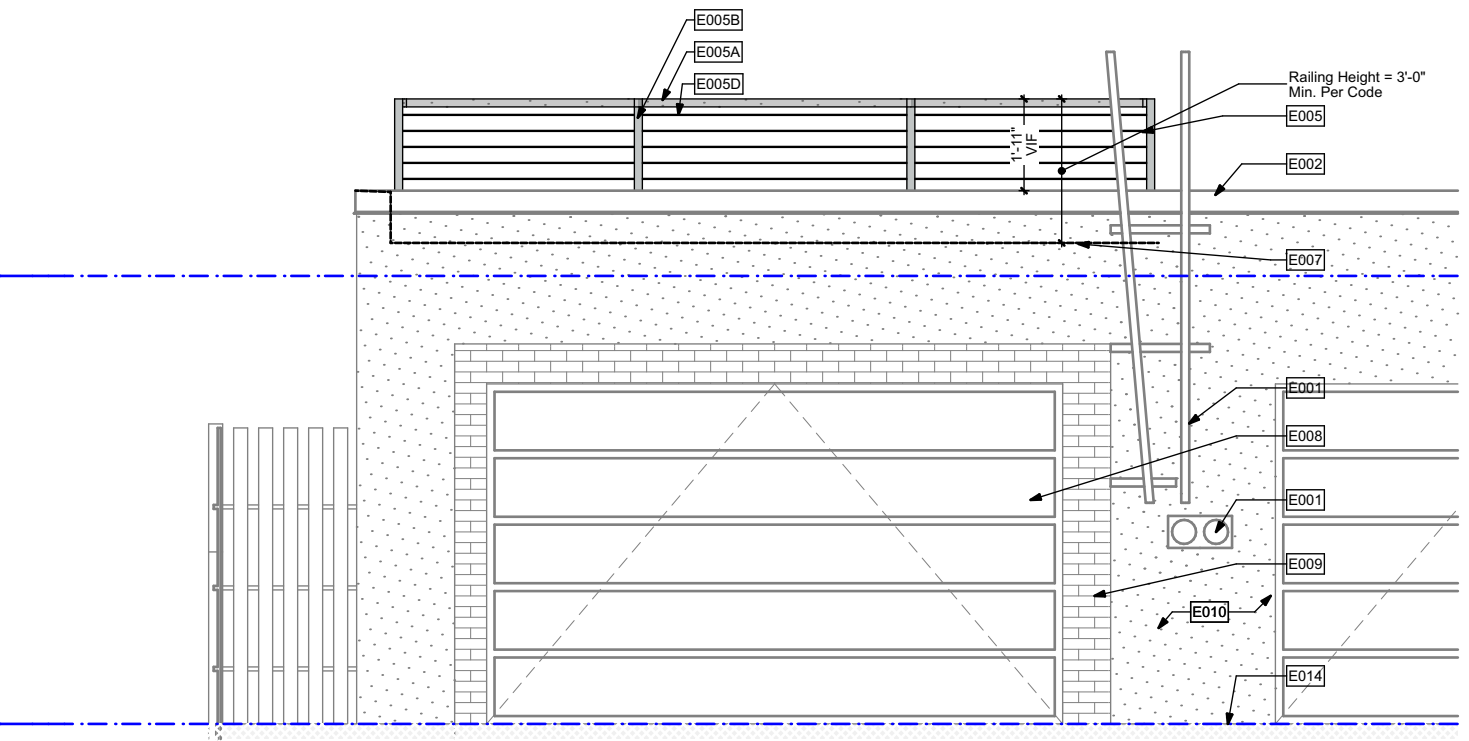
- E001 Electrical Meter Panel and wire enclosure
- E002 Metal Wall Cap
- E003 Gutter
- E004 Downspout
- E005 Metal Guard Rail A.) 2"x2" top rail B.) 2"x2" Support Post, C.) 2"x1/2" Steel Flat Bar Side Support and bottom support. D.) Stainless Steel Cable System spaced as required to not allow a 4" sphere to pass.
- E006 Window
- E007 Top of Finished Deck Show Dashed
- E008 Garage Door
- E009 Exterior Brick
- E010 Exterior Stucco
- E011 Roof Hatch, Side Hinged towards Exterior Wall Face
- E012 Fence, A.) Brick. B.) Wood
- E013 Trim Board, Fiber cement, Painted to match existing trim
- E014 Original Grade
- E015 Roof Top Decking as selected by owner on sleepers on pedestals with 1/4" gap between boards for drainage to existing roof membrane supported on existing roof deck to remain



**1**  
AR.06  
**GARAGE LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**1**  
AR.06  
**GARAGE REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**1**  
AR.06  
**GARAGE FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

**Progress Printing,  
Not for  
Construction  
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**Blair Barrett Deck**  
**Garage Roof Deck**  
308 North Columbus St. Alexandria  
VA 22314

Scale: 1/4" = 1'-0", 1" = 1'-0"

Date: 8/16/22

Revisions: PGH

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**ARCHITECTURE**

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202203  
Schematic Design  
Document SDV1  
Proposed Elevations

**AR.06**  
Board of Architectural  
Review

Progress  
Printing,  
Not for  
Construction  
or Permit

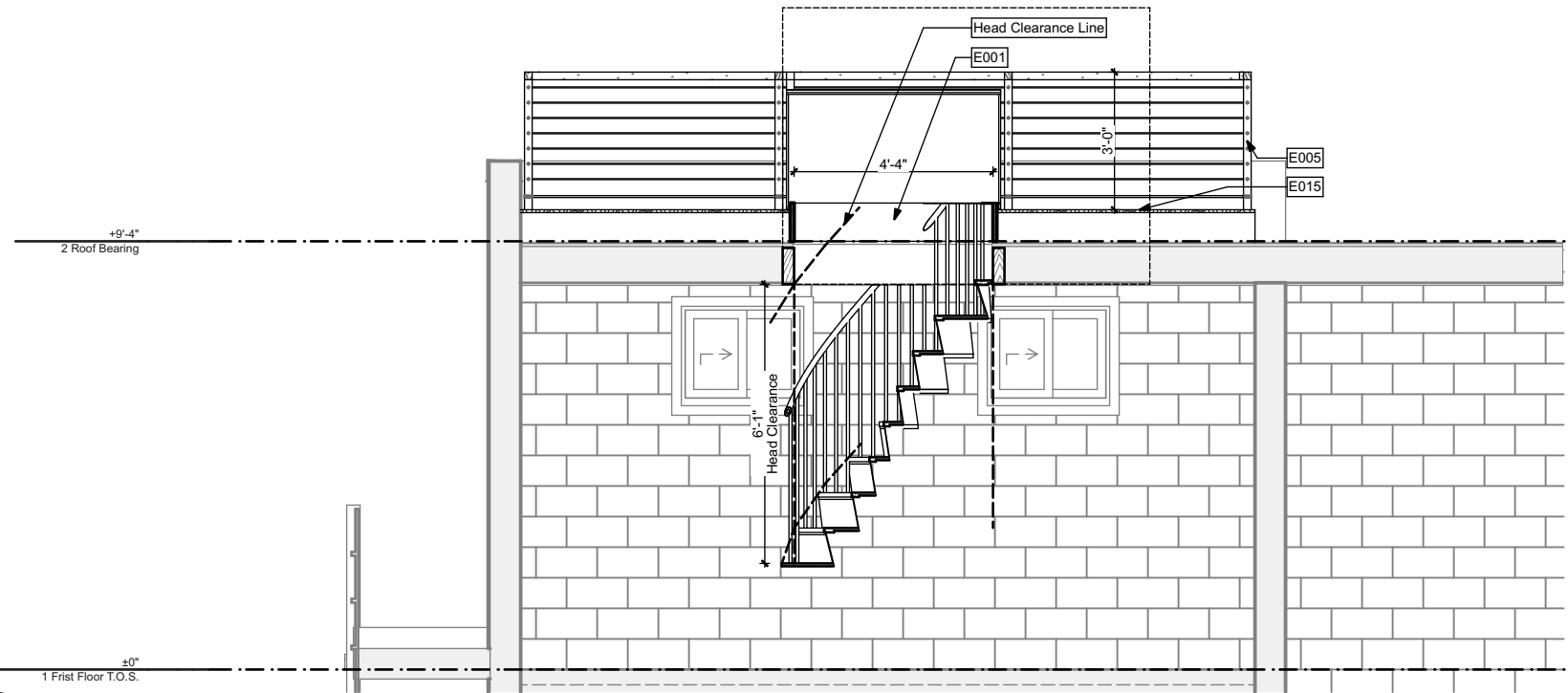
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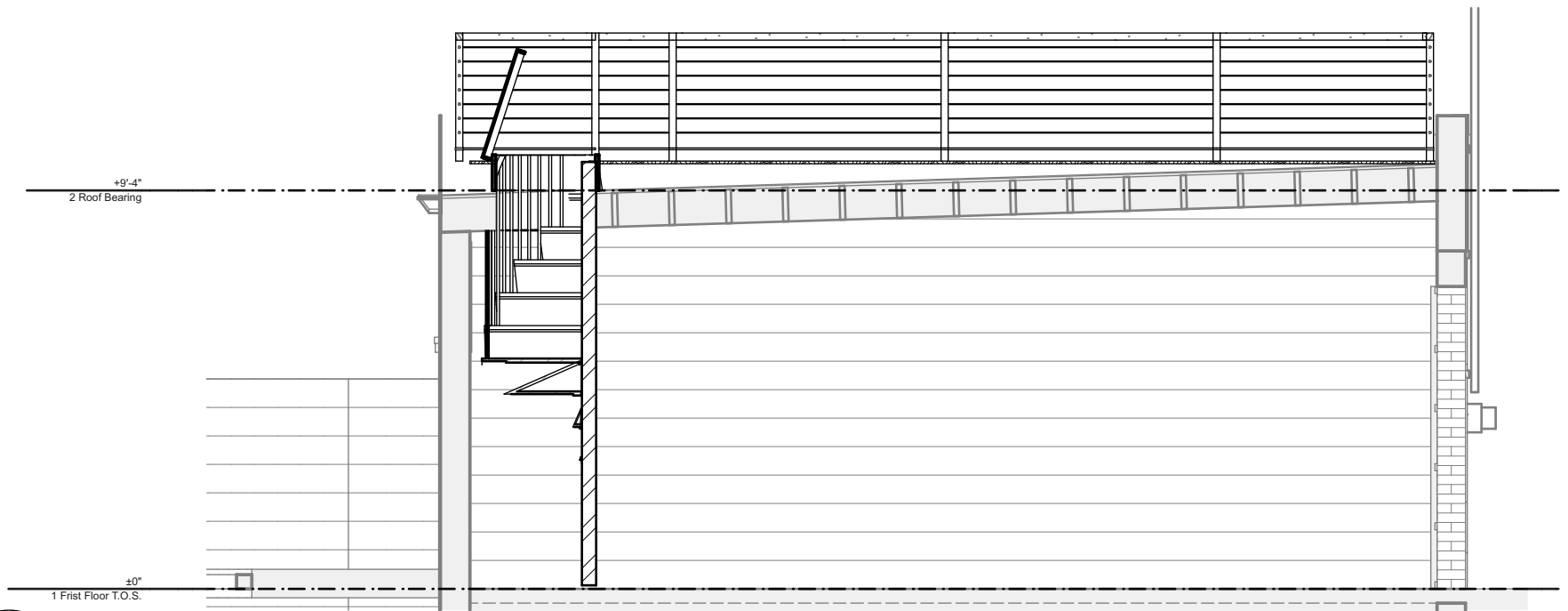
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**1**  
**AR.07** Garage Section Transverse  
SCALE: 1/4" = 1'-0"



**1**  
**AR.07** Garage Section Longitudnal  
SCALE: 1/4" = 1'-0"

Blair Barrett Deck  
Garage Roof Deck  
308 North Columbus St. Alexandria  
VA 22314

Scale: 1/4" = 1'-0"  
Date: 8/16/22  
Revisions: PGH

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Schematic Design  
Document SDV1  
Proposed Sections

**AR.07**  
Board of Architectural  
Review

**Progress  
Printing,  
Not for  
Construction  
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**Blair Barrett Deck**  
**Garage Roof Deck**  
308 North Columbus St. Alexandria  
VA 22314

Scale: 6" = 1'-0"

Date: 8/16/22

Revisions: PGH

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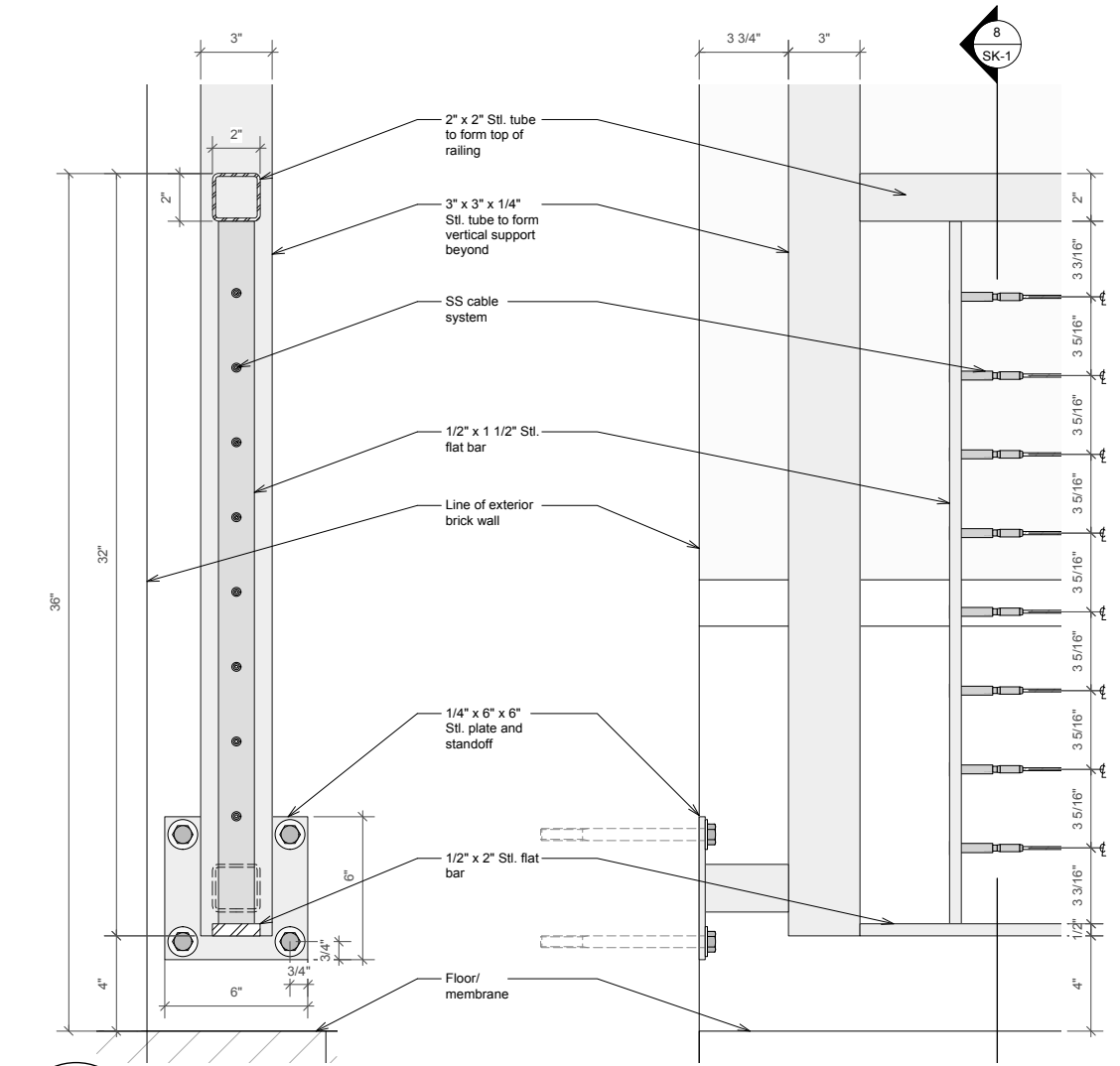
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202203  
Schematic Design  
Document SDV1  
Element Specifications

**AR.08**

Board of Architectural  
Review



**1**  
**AR.08** **Proposed Steel Railing**  
NOT TO SCALE



Garage Front



Garage Front

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Blair Barrett Deck  
Garage Roof Deck  
308 North Columbus St. Alexandria  
VA 22314

Scale: 1/2, 5/8, 6" = 1'-0"

Date: 8/16/22

Revisions: PGH

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AR.09

Board of Architectural  
Review

