

OWNER/APPLICANT

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ZONING TABULATIONS

2729 KING STREET, ALEXANDRIA, VA 22302
TAX MAP 052.02-06-05

1) ZONING EXISTING ZONING: R-8 PROPOSED ZONING: RB

2) EXISTING USE NURSING HOME

3) PROPOSED USE NURSING HOME

4) TOTAL SITE AREA 167,165 SF

5) EXISTING IMPERVIOUS AREA 102,608 SF

6) PROPOSED IMPERVIOUS AREA 110,103 SF (INCLUDES EXISTING)

7) TOTAL DISTURBED AREA 36,400 SF

4) REQUIRED LOT AREA N/A

5) PROVIDED LOT AREA N/A

6) AVERAGE LOT AREA N/A

7) MIN. LOT AREA N/A

8) MIN. LOT WIDTH N/A

9) MAXIMUM DENSITY N/A

10) DENSITY N/A

11) GROSS & NET FLOOR AREA

DESCRIPTION	GROSS FLOOR AREA (sf)	NET FLOOR AREA (sf)	COMMENTS
EX. BUILDING	101,110	85,039	PER FAR EXHIBIT(7/21/22)
PORTION OF EX. BUILDING TO BE DEMOLISHED	6,068	6,068	
SUBTOTAL (EX. BUILDING TO REMAIN)	95,042	78,971	
PROP. BUILDING ADDITION	31,909	26,817	
TOTAL (EX. BUILDING TO REMAIN PLUS BUILDING ADDITION)	126,951	105,788	

12) MAXIMUM PERMITTED FAR 0.75

13) FAR CALCULATIONS

DESCRIPTION	FLOOR AREA RATIO
EX. BUILDING TO REMAIN	0.472
PROP. BUILDING ADDITION	0.161
OVERALL (EX. BUILDING TO REMAIN PLUS BUILDING ADDITION)	0.633

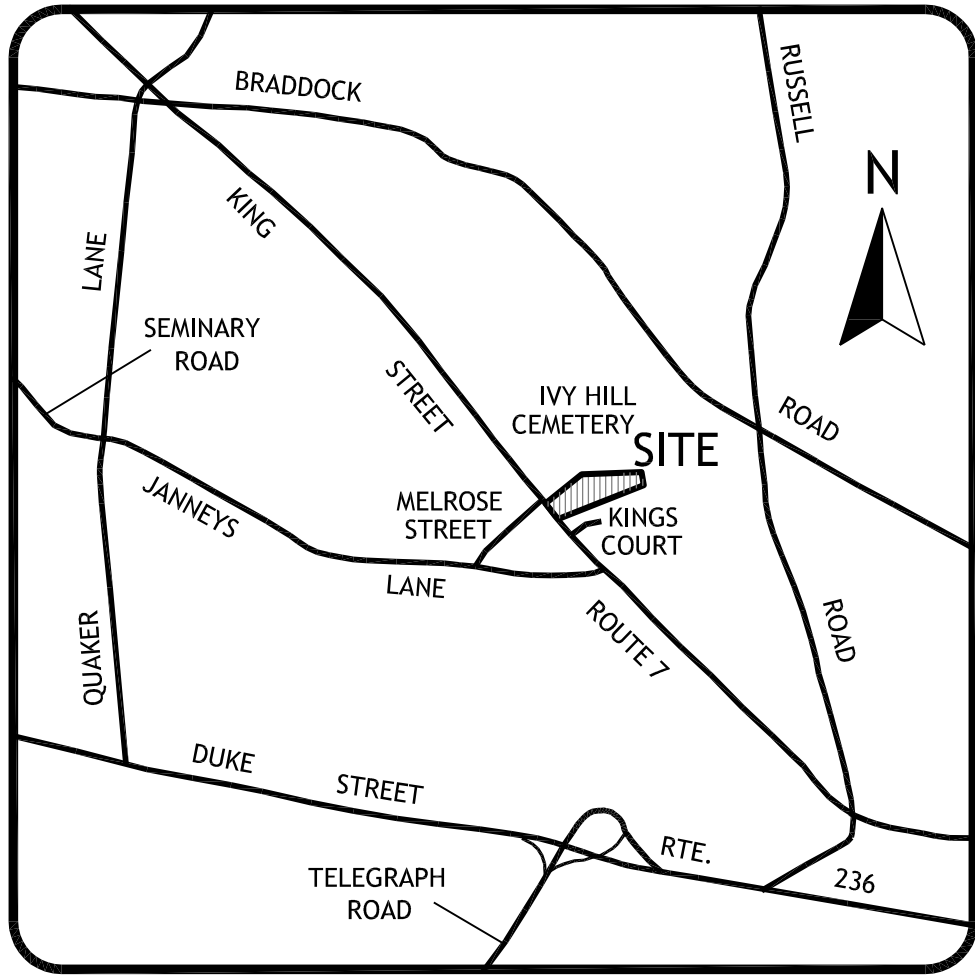
14) EXISTING STORAGE TO REMAIN 456 SF

15) TOTAL NUMBER OF BEDS 307 (NO CHANGE FROM EXISTING)

	EX. BLDG. TO REMAIN	PROP. BLDG. ADDITION		
16) MAX. PERMITTED BLDG. HEIGHT	45 FT.	35 FT.		
17) PROP. BLDG. HEIGHT	40 FT.	*42 FT.		
18) AVG. BLDG. FINISHED GRADE	152.4 FT.	158.8 FT.		
19) NUMBER OF FLOORS	4 (3 ABOVE + BASEMENT)	3 (NO BASEMENT)		
20) REQUIRED MIN. BLDG. SETBACKS				
FRONT	N/A	20 FT.		
NORTHERN SIDE	40 FT.	42 FT.		
SOUTHERN SIDE	40 FT.	42 FT.		
REAR	40 FT.	N/A		
21) PROPOSED MIN. BLDG. SETBACKS				
FRONT	N/A	20 FT.		
NORTHERN SIDE	*20 FT.	*38 FT.		
SOUTHERN SIDE	*20 FT.	*27 FT.		
REAR	40 FT.	N/A		
22) REQUIRED MIN. ZONE SETBACKS				
FRONT	N/A	20 FT.		
NORTHERN SIDE	N/A	42 FT.		
SOUTHERN SIDE	N/A	42 FT.		
REAR	N/A	42 FT.		
23) PROPOSED MIN. ZONE SETBACKS				
FRONT	N/A	20 FT.		
NORTHERN SIDE	N/A	42 FT.		
SOUTHERN SIDE	N/A	*27 FT. ^a		
REAR	N/A	42 FT.		
24) LOT FRONTAGE REQUIRED	50 FT.			
25) LOT FRONTAGE PROVIDED	167 FT.			
26) OPEN SPACE REQUIRED	N/A			
27) OPEN SPACE PROVIDED	N/A			
28) TOTAL EXISTING PARKING ON SITE <u>143 (5 STANDARD + 132 COMPACT + 6 HANDICAPPED)</u> ^b				
29) TOTAL REQUIRED PARKING <u>154 (307 TOTAL BEDS @ 1 SPACE/2 BEDS)</u>				
30) TOTAL PROVIDED PARKING <u>154</u>				
	REQUIRED PARKING	EX. PARKING TO REMAIN	PROP. PARKING	TOTAL PROVIDED PARKING
31) STANDARD PARKING	39	5	12	17
32) COMPACT PARKING	0	115	16	*131
33) HANDICAPPED PARKING	6	1	5	6
	REQUIRED LOADING	EX. LOADING TO REMAIN	PROP. LOADING	TOTAL PROVIDED LOADING
34) LOADING SPACES	5	2	0	*2
	NEW	UPGRADED		
37) CROSSWALKS (NUMBER):				
STANDARD	1	0		
HIGH VISIBILITY	0	0		
38) CURB RAMPS	2	0		
39) SIDEWALKS (LF)	380	0		
40) BICYCLE PARKING (NUMBER SPACES):				
PUBLIC/VISITOR	N/A	N/A		
PRIVATE/GARAGE	N/A	N/A		
41) BICYCLE PATHS (LF)	N/A	N/A		
42) PEDESTRIAN SIGNALS	N/A	N/A		

NOTES:
a) SEE "ZONE TRANSITION SETBACK SCHEMATIC" ON SHEET 2 FOR ADDITIONAL INFO
b) PER MAY 2022 SITE SURVEY

PRELIMINARY DEVELOPMENT SITE PLAN
WOODBINE
CITY OF ALEXANDRIA
DSUP 2022-10014



VICINITY MAP

SCALE: 1" = 2000'

PROJECT NARRATIVE:

REQUEST FOR A MASTER PLAN AMENDMENT TO AMEND MAP 14 TO ALLOW A BUILDING HEIGHT UP TO 45 FT., REZONING FROM THE R-8 DISTRICT TO THE RB DISTRICT, AND APPLICATION FOR A DEVELOPMENT SPECIAL USE PERMIT TO CONSTRUCT A 3-STORY ADDITION CONTAINING APPROXIMATELY 31,909 SQUARE FEET TO THE EXISTING WOODBINE REHABILITATION & HEALTHCARE CENTER TO FACILITATE ADDITIONAL PRIVATE ROOMS WHILE MAINTAINING THE TOTAL NUMBER OF EXISTING LICENSED BEDS.

EXISTING APPROVALS THAT APPLY TO THE SUBJECT SITE:

- SUP #2002
- SUP #97-0053
- EXISTING TREE PROTECTION EASEMENT, RECORDED UNDER INST. #160010326

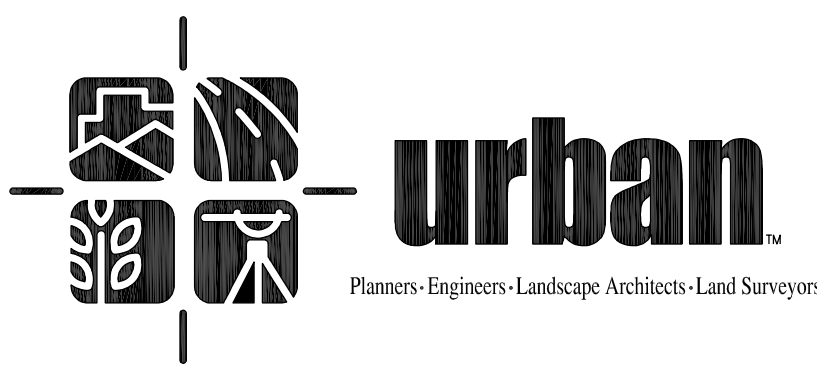
*DSUP AND MODIFICATIONS REQUESTED:

- MASTER PLAN AMENDMENT TO AMEND MAP 14 TO ALLOW A BUILDING HEIGHT UP TO 45 FT.
- REZONING FROM THE R-8 TO THE RB DISTRICT.
- DEVELOPMENT SPECIAL USE PERMIT FOR "NURSING HOME" ADDITION.
- MODIFICATION TO BUILDING SETBACKS ALONG SIDE YARDS AS FOLLOWS:
 - NORTH SIDE YARD MODIFICATION FOR THE EXISTING BUILDING FROM 40 FT. TO 20 FT. AND FOR THE PROPOSED ADDITION FROM 42 FT. TO 38 FT.
 - SOUTH SIDE YARD MODIFICATION FOR THE EXISTING BUILDING FROM 40 FT. TO 20 FT AND FOR THE PROPOSED ADDITION FROM 42 FT. TO 27 FT.
- MODIFICATION TO ZONE TRANSITION SETBACK ALONG SOUTHERN BOUNDARY FOR THE PROPOSED ADDITION FROM 42 FT. TO 27 FT.
- MODIFICATION TO ALLOW GREATER THAN 50% OF THE SOUTHERN SIDE YARD FOR PARKING.
- MODIFICATION TO ALLOW REDUCTION IN LOADING FROM 5 TO 2 SPACES.
- SPECIAL USE PERMIT FOR A PARKING REDUCTION TO INCREASE PERMITTED NUMBER OF COMPACT SPACES FROM MAX. 75% TO 85%.

BUILDING CODE SUMMARY - ADDITION ONLY

APPLICABLE CODES (VIRGINIA STATEWIDE BUILDING CODES)	USE GROUP
VIRGINIA BUILDING & FIRE CODE RELATED REGULATIONS	2018 IBC = I-2 INSTITUTIONAL
VIRGINIA CONSTRUCTION CODE	2018 NFPA = HEALTH CARE
VIRGINIA STATEWIDE FIRE PREVENTION CODE	2018
VIRGINIA ENERGY CONSERVATION CODE	2018 CONSTRUCTION TYPE
VIRGINIA EXISTING BUILDING CODE	2018 VUBC = IIA
VIRGINIA FUEL GAS CODE	2018 NFPA = II(111)
VIRGINIA MECHANICAL CODE	2018
VIRGINIA PLUMBING CODE	2018 SPRINKLERED =YES
VIRGINIA MAINTENANCE CODE	2018
INTERNATIONAL FIRE CODE	2018 STORIES = 3

SEE SHEET 13 FOR FLOOR AREAS PER FLOOR



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- ENVIRONMENTAL STORMWATER PLAN
- LIGHTING & SIGNAGE PLAN
- G.I.S. DIMENSION PLAN
- SIGHT DISTANCE

SHEET
1
OF
27
ZP-13088

PLAN DATE
6/3/22
7/21/22
8/19/22
9/20/22

APPROVED
SPECIAL USE PERMIT NO. _____
DEPARTMENT OF PLANNING & ZONING
DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

Urban, Ltd. - \\lupiter-101\Q_DRIVE\JOBS\Woodbine\DSUP\02--GenNotes.dwg [2 GENERAL NOTES] September 20, 2022 - 2:22pm zcl

GENERAL NOTES

1. THE SUBJECT SITE IS LOCATED ON CITY OF ALEXANDRIA ASSESSMENT MAP NO. 052.02-60-05 AND IS ZONED R-8.
2. PROPERTY OWNER: WOODBINE PROPERTY 1, LLC
3. SITE ADDRESS: 2729 KING STREET, ALEXANDRIA, VA 22302.
4. AREA TABULATIONS CAN BE FOUND ON THE COVER SHEET.
5. THE NATURAL SOILS AT THE SITE CONSIST OF LEONARDTOWN SILT LOAM PER THE GENERALIZED ALEXANDRIA SOILS MAP PROVIDED IN THE CITY OF ALEXANDRIA MASTER PLAN'S WATER QUALITY MANAGEMENT SUPPLEMENT.
6. THE PROPOSED AREA OF DEVELOPMENT IS LOCATED IN THE TAYLOR RUN WATERSHED.
7. CONSTRUCTION PERMITS ARE REQUIRED FOR THIS PROJECT. THE APPROVED SITE PLAN MUST BE ATTACHED TO THE PERMIT APPLICATION THAT FULLY DETAILS THE CONSTRUCTION AS WELL AS LAYOUTS AND SCHEMATICS OF THE MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
8. ALL PUBLIC AND PRIVATE EASEMENTS OR ALL KNOWN PUBLIC AND PRIVATE EASEMENTS, INCLUDING ALL UTILITY, EGRESS, AND CONSERVATION RESTRICTIONS ARE SHOWN. THE APPLICANT SHALL NOT CONSTRUCT ANY PERMANENT STRUCTURES OVER ANY EXISTING OR PROPOSED PUBLIC AND/OR PRIVATE EASEMENTS UNLESS OTHERWISE APPROVED BY THE PLANNING COMMISSION AND CITY OF ALEXANDRIA COUNCIL.
9. PLAT SUBJECT TO RESTRICTIONS OF RECORD.
10. BUILDING HEIGHT SHALL NOT EXCEED THE ALLOWABLE LIMIT BY CITY OF ALEXANDRIA ZONING ORDINANCE OR AS APPROVED BY THE PLANNING COMMISSION AND CITY OF ALEXANDRIA COUNCIL.
11. ALL NEW CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA AND TO THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC).
12. FLOOR AREA CALCULATIONS WITH ALLOWABLE LIMITS, AS APPROVED BY PLANNING COMMISSION AND CITY COUNCIL, ARE DEMONSTRATED HEREIN.
13. PRIOR TO COMMENCING NEW WORK, THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING ADJACENT AREAS, IF CITY'S EXISTING PUBLIC INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO, STREETS, ALLEYS, DRIVEWAY APRONS, SANITARY AND STORM SEWERS, STREET LIGHTING, TRAFFIC AND PEDESTRIAN SIGNALS, SIDEWALKS, CURB AND GUTTER, AND STORM WATER DROP INLET STRUCTURES ARE DAMAGED BY THE CONTRACTOR OR BY ACTIVITIES RELATING TO THE SITE CONSTRUCTION THEN THE APPLICANT SHALL REPAIR THE SAME TO THE SATISFACTION OF DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES (T&ES). A PRE-CONSTRUCTION WALK/SURVEY OF THE SITE SHALL OCCUR WITH CONSTRUCTION AND INSPECTION STAFF TO DOCUMENT EXISTING CONDITIONS PRIOR TO ANY LAND DISTURBING ACTIVITY.
14. ALL IMPROVEMENTS TO THE CITY'S RIGHT-OF-WAY SUCH AS CURB, GUTTER, SIDEWALK, AND DRIVEWAY APRONS, ETC., ARE DESIGNED PER THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS.
15. ALL STREET CUT AND PATCH WORK LOCATED IN PUBLIC RIGHT-OF-WAYS, REQUIRED FOR ANY UTILITY INSTALLATION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS AND TO THE SATISFACTION OF THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES (T&ES).
16. CONTRACTOR MUST ENSURE THAT THERE IS NO DISTURBANCE ON ADJACENT PROPERTIES WITHOUT RECORDED EASEMENT OR NOTARIZED LETTER OF PERMISSION FROM THE ADJACENT PROPERTY OWNERS.
17. ALL REQUIRED STATE AND FEDERAL PERMITS, WHICH COULD INCLUDE PERMITS FROM THE VIRGINIA DEPARTMENT OF CONSERVATION AND RECREATION (VDcR), VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY (VDEQ), VIRGINIA DEPARTMENT OF HISTORIC RESOURCES (VdHR), UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (USEPA), ARMY CORPS OF ENGINEERS AND VIRGINIA MARINE RESOURCES, MUST BE IN PLACE FOR ALL PROJECT CONSTRUCTION AND MITIGATION WORK PRIOR TO RELEASE OF THE FINAL SITE PLAN. THIS INCLUDES THE STATE REQUIREMENT FOR A VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMF) GENERAL PERMIT FOR DISCHARGES OF STORMWATER FROM CONSTRUCTION ACTIVITIES FOR LAND DISTURBING ACTIVITIES GREATER THAN 2,500. INFORMATION REGARDING THE VSMF GENERAL PERMIT CAN BE FOUND ONLINE AT: http://www.dcr.virginia.gov/soil_and_water/vsmf.shtml.
18. PERMITS FROM THE CITY OF ALEXANDRIA OFFICE OF ENVIRONMENTAL QUALITY (OEQ), TRANSPORTATION AND ENVIRONMENTAL SERVICES (T&ES), AND BUILDING AND FIRE CODE ADMINISTRATION SHALL BE OBTAINED BY THE APPLICANT, AS REQUIRED AND DOCUMENTED HEREIN. THE CONTRACTOR CAN CONTACT ALEXANDRIA FIRE AND CODE ADMINISTRATION DEPARTMENT AT (703) 838-4644 OR (703) 746-4200 FOR ANY QUESTIONS OR ADDITIONAL INFORMATION.
19. ANY WORK IN THE PUBLIC RIGHT OF WAY SHALL REQUIRE A SEPARATE PERMIT FROM THE DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES. THE CONTRACTOR CAN CONTACT THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES AT (703) 746-4035 FOR ANY QUESTIONS OR ADDITIONAL INFORMATION.
20. THE PROPERTY ADDRESS MUST BE CLEARLY MARKED IN THE FRONT AND BACK OF THE PROPOSED DEVELOPMENT SITE DURING CONSTRUCTION FOR EMERGENCY RESPONSE PURPOSES IN CONTRASTING COLORS FOR EASY IDENTIFICATION.
21. THE APPLICANT SHALL CONTACT THE CRIME PREVENTION UNIT OF THE ALEXANDRIA POLICE DEPARTMENT AT 703-838-4520 REGARDING SECURITY HARDWARE FOR NEW CONSTRUCTION. THIS SHALL BE COMPLETED PRIOR TO ISSUANCE OF BUILDING PERMIT.
22. ROOF DRAINAGE SYSTEM, SUMP PUMP DISCHARGE, AND FOUNDATION DRAIN SYSTEM MUST BE INSTALLED SO AS NEITHER TO ADVERSELY IMPACT UPON, NOR CAUSE EROSION DAMAGE TO ADJACENT PROPERTIES OR THE PUBLIC RIGHT-OF-WAY.
23. THE CONTRACTOR MUST ENSURE THAT POSITIVE DRAINAGE OCCURS ON SITE TO PREVENT PONDING OR DRAINAGE PROBLEMS ON ADJACENT PROPERTIES.
24. IN THE EVENT, THE PROPOSED ROOF DRAINAGE AND/OR SUMP PUMP DISCHARGE, AND FOUNDATION DRAIN SYSTEMS AND/OR GRADING ADVERSELY IMPACTS AND/OR CREATES A NUISANCE ON PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTIES THEN THE APPLICANT SHALL BE RESPONSIBLE TO PROVIDE ADDITIONAL IMPROVEMENTS TO THE ROOF DRAINAGE AND/OR SUMP PUMP DISCHARGE AND FOUNDATION DRAIN SYSTEMS AND/OR GRADING TO THE SATISFACTION OF DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES.
25. PER THE REQUIREMENTS OF SECTION 8-1-12 OF THE CITY CHARTER AND CODE, WHEN THE BUILDING FOOTING HAS BEEN PLACED AND THE WALLS HAVE BEEN RAISED TO THE FIRST JOIST BEARING OR STORY HEIGHT ABOVE GRADE, A PLOT PLAN SHOWING THE EXACT LOCATION OF THE WALLS SHALL BE PREPARED BY A LICENSED, CERTIFIED PUBLIC LAND SURVEYOR OR PROFESSIONAL ENGINEER AND FILED WITH THE BUILDING OFFICIAL FOR APPROVAL BEFORE PROCEEDING FURTHER WITH THE CONSTRUCTION.
26. A SEPARATE DESIGN IS REQUIRED FOR ALL WALLS 24" AND OVER IN HEIGHT FROM THE GRADE AND SUBJECT TO SEPARATE PERMITS TO BE OBTAINED BY THE OWNERS. GEOTECHNICAL AND STRUCTURAL DESIGN IS TO BE COMPLETED BY OTHERS. THIS FINAL SITE PLAN SHOWS LOCATION, PROPOSED GRADING, AND DESIGN OF ALL THE WALLS.
27. SUBMIT A SURVEY, CONSISTENT WITH THE REQUIREMENTS FOR CERTIFICATE OF OCCUPANCY CHECKLIST, TO THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES PRIOR TO REQUESTING AN INSPECTION FOR A CERTIFICATE OF OCCUPANCY.
28. ALL SANITARY LATERALS AND/OR SEWERS NOT SHOWN IN THE EASEMENTS SHALL BE OWNED AND MAINTAINED PRIVATELY.
29. ALL STORM DRAINS NOT SHOWN WITHIN AN EASEMENT OR IN A PUBLIC RIGHT-OF-WAY SHALL BE OWNED AND MAINTAINED PRIVATELY.
30. ALL WATER FACILITY CONSTRUCTION SHALL CONFORM TO VIRGINIA AMERICAN WATER COMPANY STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL CONTACT VIRGINIA AMERICAN WATER COMPANY AT (703) 549-7080 TO COORDINATE CONSTRUCTION AND INSPECTION OF WATER FACILITIES.
31. THE SIDEWALKS SHALL REMAIN OPENED DURING CONSTRUCTION OR PEDESTRIAN ACCESS SHALL BE MAINTAINED TO THE SATISFACTION OF THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES THROUGHOUT THE CONSTRUCTION OF THE PROJECT.
32. PRIOR TO THE RELEASE OF THE FINAL SITE PLAN, A TRAFFIC CONTROL PLAN FOR CONSTRUCTION DETAILING PROPOSED CONTROLS TO TRAFFIC MOVEMENT, LANE CLOSURES, CONSTRUCTION ENTRANCES, HAUL ROUTES, AND STORAGE AND STAGING SHALL BE PROVIDED FOR INFORMATION PURPOSES; HOWEVER, AN AMENDED TRAFFIC CONTROL PLAN, IF REQUIRED BY THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES SHALL BE SUBMITTED TO THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES ALONG WITH THE BUILDING PERMIT APPLICATION. THE FINAL SITE PLAN SHALL INCLUDE A STATEMENT "FOR INFORMATION ONLY" ON THE TRAFFIC CONTROL PLAN SHEETS.
33. A CERTIFICATE OF OCCUPANCY SHALL BE OBTAINED PRIOR TO ANY OCCUPANCY OF THE BUILDING OR PORTION THEREOF, IN ACCORDANCE WITH VIRGINIA USBC 115.0.
34. THIS SITE IS NOT LOCATED WITHIN A COMBINED SEWER AREA.
35. THERE ARE NO RESOURCE PROTECTION AREAS (RPA), AS DEFINED IN ARTICLE XIII OF THE ZONING ORDINANCE, ON THIS SITE.
36. THE PROPERTY HEREON IS LOCATED IN FLOOD HAZARD ZONE "X", WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN, AS SHOWN ON FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR CITY OF ALEXANDRIA, VIRGINIA, COMMUNITY PANEL #515519 0029E, REVISED JUNE 16, 2011.
37. COORDINATES SHOWN HEREON ARE REFERENCED TO NAD1983 VIRGINIA STATE PLANE COORDINATE SYSTEM AND ARE EXPRESSED IN SURVEY FEET.
38. ELEVATION DATUM USED IS REFERENCED TO THE NATIONAL GEODETIC VERTICAL DATUM 88.
39. CONTRACTOR SHALL ENSURE ALL DISCHARGES ARE IN ACCORDANCE WITH CITY OF ALEXANDRIA CODE TITLE 5, CHAPTER 6, ARTICLE B.
40. DOWATERING AND OTHER CONSTRUCTION-RELATED DISCHARGE LIMITS TO THE SEWER SYSTEM ARE REGULATED BY ALEXRENEW PRETREATMENT. THE CONTRACTOR IS REQUIRED TO CONTACT ALEXRENEW'S PRETREATMENT COORDINATOR AT 703-721-3500 X2020.

GREEN BUILDING / LOW IMPACT DEVELOPMENT NARRATIVE

THE PROJECT SHALL COMPLY WITH THE REQUIREMENTS DEFINED BY THE CITY OF ALEXANDRIA 2019 GREEN BUILDING POLICY USING THE LEED BD&C HEALTHCARE RATING SYSTEM AND WILL ACHIEVE THE EQUIVALENT OF LEED SILVER CERTIFICATION FOR THE BUILDING ADDITION ONLY. PLEASE REFER TO THE "2729 KING STREET ADDITIONS AND RENOVATIONS LEED CERTIFICATION" PACKAGE SUBMITTED UNDER SEPARATE COVER.

STORM WATER MANAGEMENT/ BEST MANAGEMENT PRACTICE

SEE SHEETS 21 - 23 FOR STORMWATER PLAN AND NARRATIVES.

SANITARY SEWER OUTFALL NARRATIVE

SANITARY FLOWS FROM THE PROPOSED BUILDING WILL DRAIN INTO THE EXISTING 10" PUBLIC SANITARY SEWER WITHIN THE RIGHT-OF-WAY OF KING STREET. ACCORDING TO CITY GIS, SANITARY SEWERS FLOW WESTWARD FROM THERE INTO THE EXISTING 18" MAIN ALONG TAYLOR RUN TO JOIN THE 24" TRUNK MAIN ACROSS TELEGRAPH ROAD AND ALONG MANVILLE LANE.

IT IS NOT ANTICIPATED THAT THE PROPOSED IMPROVEMENTS WILL RESULT IN ADDITIONAL SANITARY FLOWS THAT EXCEED 10,000 GPD. HENCE, A SANITARY OUTFALL ANALYSIS IS NOT REQUIRED.

MARINE CLAY STATEMENT

BASED ON INFORMATION FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE AND THE GENERALIZED ALEXANDRIA SOILS MAP PROVIDED IN THE CITY OF ALEXANDRIA MASTER PLAN'S WATER QUALITY MANAGEMENT SUPPLEMENT, THERE ARE NO KNOWN MARINE CLAY AREAS WITHIN THE PROPOSED DEVELOPMENT AREA OF THE SITE. HOWEVER, THERE ARE MARINE CLAYS ON THE EAST SIDE OF THE SUBJECT PARCEL.

ENVIRONMENTAL STATEMENT

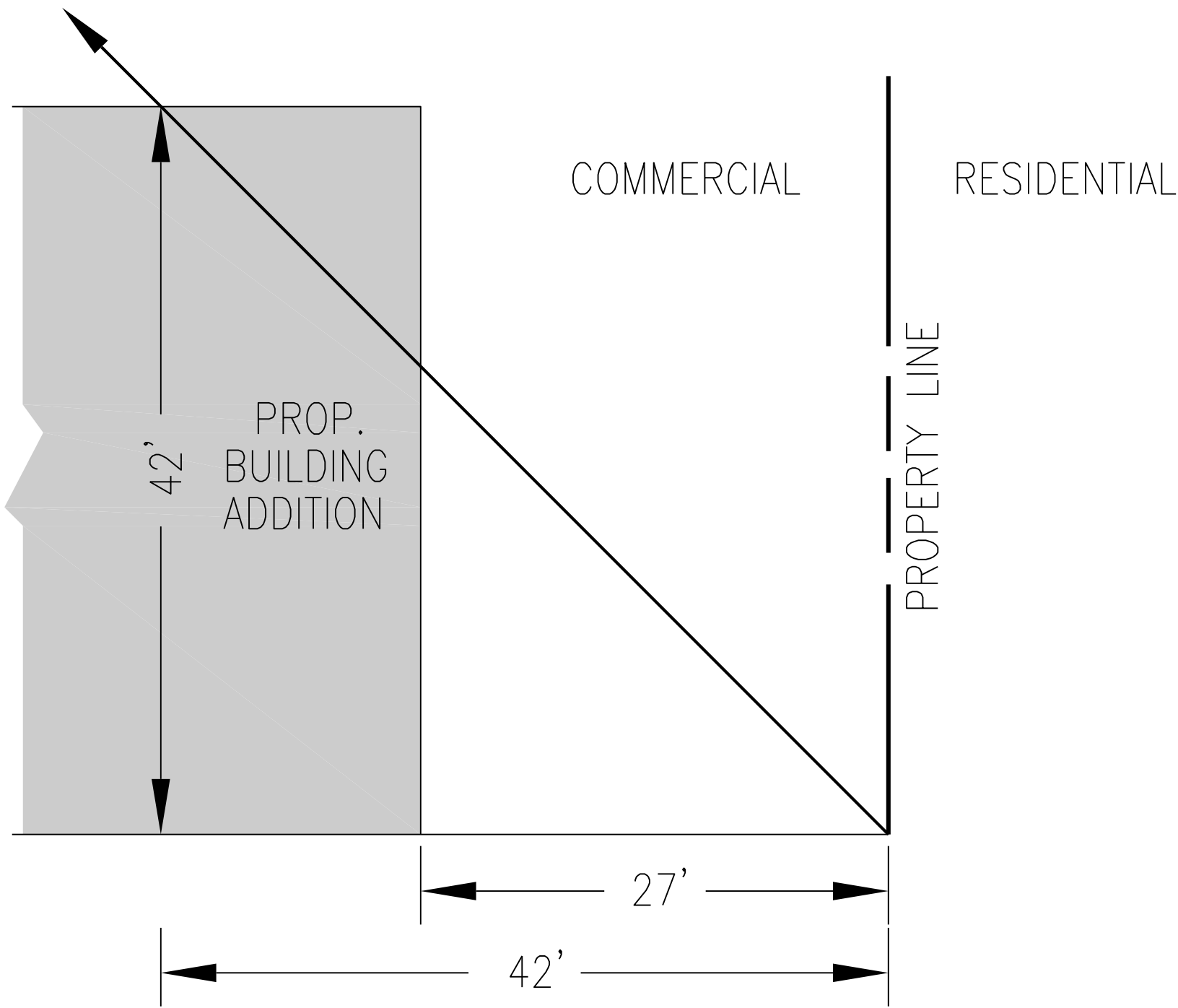
BASED ON INFORMATION FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE AND THE GENERALIZED ALEXANDRIA SOILS MAP PROVIDED IN THE CITY OF ALEXANDRIA MASTER PLAN'S WATER QUALITY MANAGEMENT SUPPLEMENT, THERE ARE NO KNOWN OR EXPECTED CONTAMINANTS WITHIN THIS SITE.

ARCHAEOLOGY NOTES

1. ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED PRIOR TO GROUND-DISTURBING ACTIVITIES (SUCH AS CORING, GRADING, FILLING, VEGETATION REMOVAL, UNDERGROUNDING UTILITIES, PILE DRIVING, LANDSCAPING AND OTHER EXCAVATIONS AS DEFINED IN SECTION 2-151 OF THE ZONING ORDINANCE) OR A RESOURCE MANAGEMENT PLAN MUST BE IN PLACE TO RECOVER SIGNIFICANT RESOURCES IN CONCERT WITH CONSTRUCTION ACTIVITIES. TO CONFIRM, CALL ALEXANDRIA ARCHAEOLOGY AT (703)746-4399.
2. THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY ((703)746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
3. THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.
4. ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

LEGEND:

	EXISTING WATER LINE		ROAD SIGN
	PROPOSED WATER LINE		EX. POWER POLE
	EX. FIRE HYDRANT		EXISTING SPOT ELEVATION
	PROP. FIRE HYDRANT		PROP. SPOT ELEVATION
	EXISTING WATER METER		SPILL AND TRANSITION CURB AND GUTTER
	PROPOSED WATER METER		PROPOSED CURB
	EXISTING WATER VALVE		MAIN BUILDING ENTERANCE
	PROPOSED WATER VALVE		EX. STREET LIGHTS
	EXISTING STORM DRAIN		PROP. STREET LIGHTS
	PROPOSED STORM DRAIN		PROPOSED CG-12
	EXISTING SANITARY SEWER		EXISTING TREE
	PROPOSED SANITARY SEWER		PROPOSED TREE
	EXISTING GAS LINE		WATER FITTING IDENTIFIER
	PROPOSED GAS LINE		LOADING AREA
	EXISTING GAS VALVE		BENCHMARK
	PROPOSED GAS VALVE		TEST PIT REQUIRED
	EXISTING OVERHEAD ELECTRICAL WIRE		PROJECTED TRAFFIC COUNT
	EXISTING UNDERGROUND ELECTRICAL WIRE		OVERLAND RELIEF
	EXISTING LIGHTING		PROPOSED EXISTING SQUARE FEET
	PROPOSED LIGHTING		GROSS SQUARE FEET
	EXISTING FENCE		NET SQUARE FEET
	PROPOSED FENCE		TO BE REMOVED FINISHED FLOOR
	EXISTING CONTOURS		VISITOR PARKING SPACE
	PROPOSED CONTOURS		STANDARD, COMPACT, AND HANDICAP PARKING SPACE DESIGNATOR
	PROPOSED LIMITS OF CLEARING & GRADING		CONCRETE GENERATOR
	EXISTING WETLANDS		AIR CONDITIONER
	PROP. RET. WALL		
	EX. RET. WALL		
	PROPOSED PRIMARY BUILDING ENTRANCE/EXIT		
	EXISTING SECONDARY BUILDING ENTRANCE/EXIT TO REMAIN		



ZONE TRANSITION SETBACK SCHEMATIC

SCALE: 1/8"=1'-0"

APPROVED

SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



Seal



Client

WOODBINE PROPERTY 1 LLC

1608 Route 88, Suite 301
Brick, NJ 08724

Contact: Peter Modri

Revision / Issue

No.	Description	Date
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Issue

Date	Description
6/3/2022	1ST SUBMISSION
7/21/2022	1ST SUB-COMPLETENESS
8/19/2022	1ST SUB-COMPLETENESS
9/20/2022	1ST SUB-COMPLETENESS

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By

JL

Checked By

DTM

Project No.

ZP-13088

Date

SEPT. 20, 2022

Drawing Title

GENERAL
NOTES & DETAILS

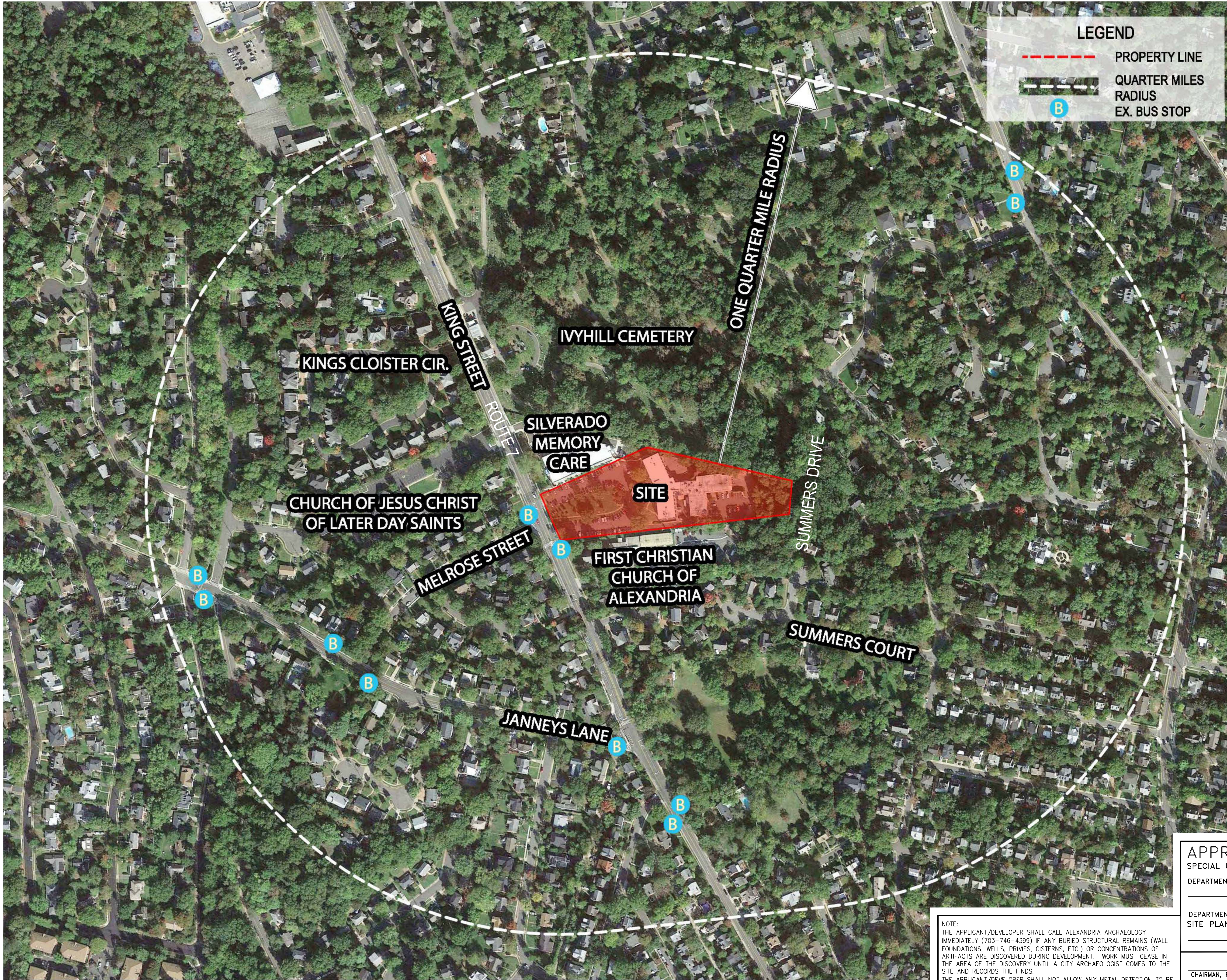
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Drawing Number

2

Sheet 2 of 27

ZP-13088

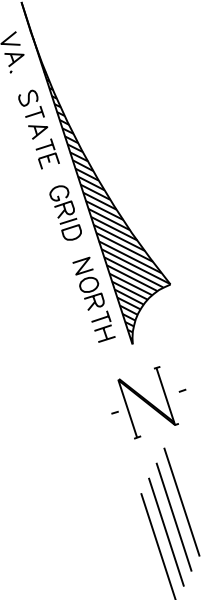


NOTE:
THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, DRIVES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
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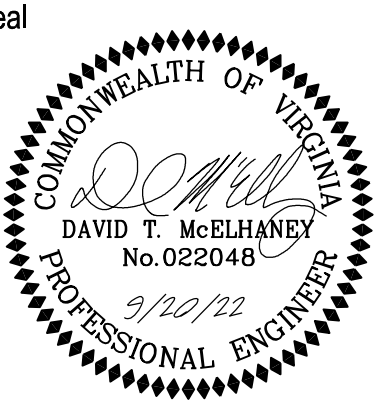
APPROVED
SPECIAL USE PERMIT NO. _____
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR DATE
CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED _____
INSTRUMENT NO. DEED BOOK NO. PAGE NO.



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Brick, NJ 08724
Contact: Peter Modiri

Revision / Issue		Date
No.	Description	

Issue	
Date	Description
6/3/2022	1ST SUBMISSION
7/21/2022	1ST SUB-COMPLETENESS
8/19/2022	1ST SUB-COMPLETENESS
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Project Name
WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN
DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By
JL

Checked By
DTM

Project No. ZP-13088

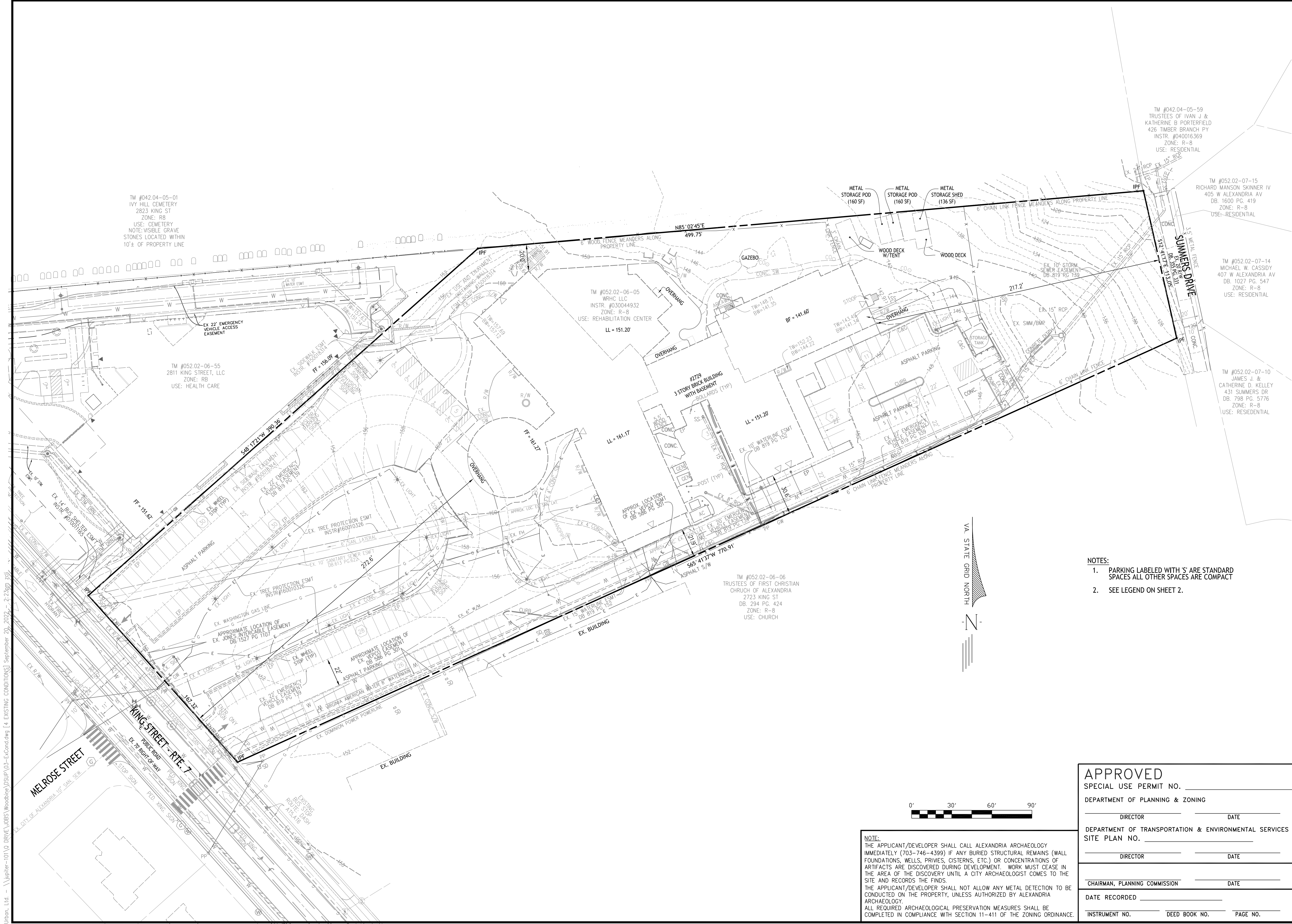
Date SEPT. 20, 2022

Drawing Title
CONTEXT
MAP

Scale: 1" = 100'

Drawing Number
3
Sheet 3 of 27

Urban, Ltd. - \\lupiter-101\Q DRIVE\JOBS\Woodbine\DSUP\03-ExCond.dwg [4 EXISTING CONDITIONS] September 20, 2022 - 2:23pm zgl



- NOTES:
1. PARKING LABELED WITH 'S' ARE STANDARD SPACES ALL OTHER SPACES ARE COMPACT
 2. SEE LEGEND ON SHEET 2.

NOTE:
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APPROVED SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
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1608 Route 88, Suite 301
Brick, NJ 08724

Contact: Peter Modri

Revision / Issue

No.	Description	Date
1	1ST SUBMISSION	6/3/2022
2	1ST SUB-COMPLETENESS	7/21/2022
3	1ST SUB-COMPLETENESS	8/19/2022
4	1ST SUB-COMPLETENESS	9/20/2022

Issue

Date	Description
6/3/2022	1ST SUBMISSION
7/21/2022	1ST SUB-COMPLETENESS
8/19/2022	1ST SUB-COMPLETENESS
9/20/2022	1ST SUB-COMPLETENESS

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By JL	Checked By DTM
----------------	-------------------

Project No. ZP-13088

Date SEPT. 20, 2022

Drawing Title

EXISTING
CONDITIONS

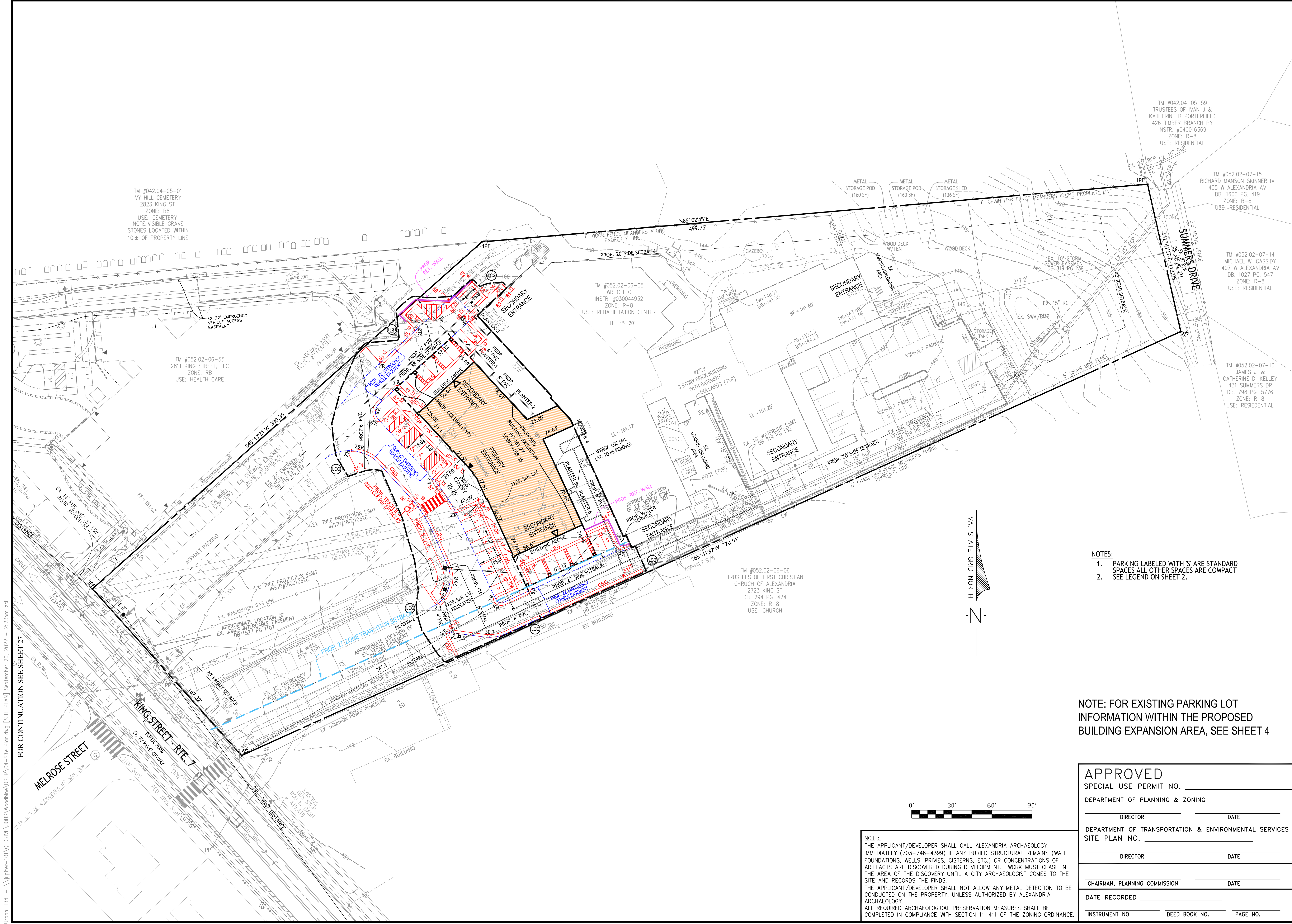
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Drawing Number

4

Sheet 4 of 27

Urban, Ltd. - \\lupiter-101\Q DRIVE\JOBS\Woodbine\DSUP\04-Site Plan.dwg [SITE PLAN] September 20, 2022 - 2:23pm zcl



- NOTES:
1. PARKING LABELED WITH 'S' ARE STANDARD SPACES ALL OTHER SPACES ARE COMPACT SEE LEGEND ON SHEET 2.
 - 2.

NOTE:
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DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

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1606 Route 88, Suite 301
Brick, NJ 08724

Contact: Peter Modri

Revision / Issue

No.	Description	Date
1	1ST SUBMISSION	8/3/2022
2	1ST SUB-COMPLETENESS	7/21/2022
3	1ST SUB-COMPLETENESS	8/19/2022
4	1ST SUB-COMPLETENESS	9/20/2022

Issue

Date	Description
8/3/2022	1ST SUBMISSION
7/21/2022	1ST SUB-COMPLETENESS
8/19/2022	1ST SUB-COMPLETENESS
9/20/2022	1ST SUB-COMPLETENESS

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By JL	Checked By DTM
----------------	-------------------

Project No. ZP-13088

Date SEPT. 20, 2022

Drawing Title

PRELIMINARY
SITE PLAN

30 SCALE

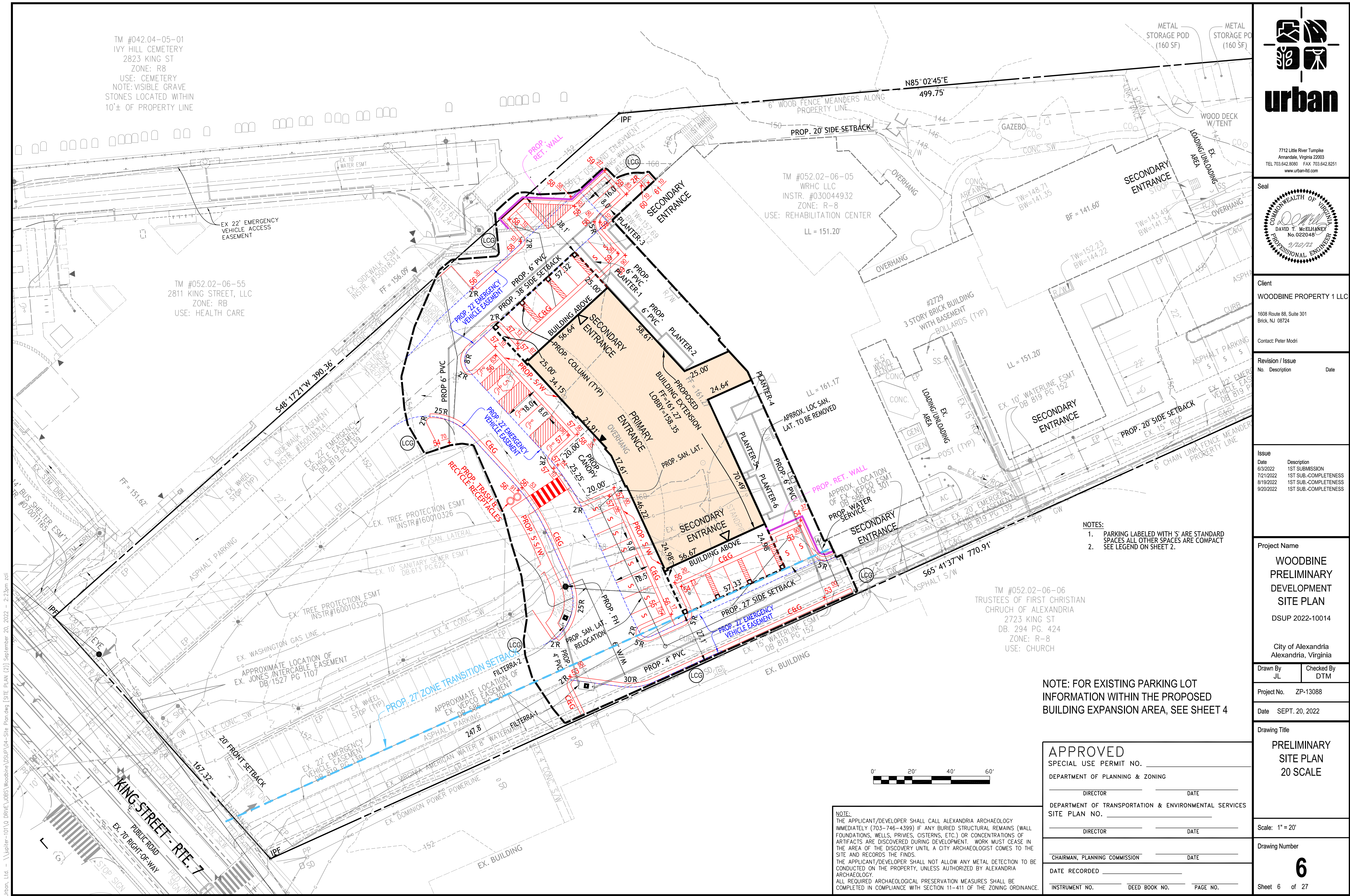
Scale: 1" = 30'

Drawing Number

5

Sheet 5 of 27

ZP-13088



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COMMONWEALTH OF VIRGINIA

DAVID T. McELHANEY

No. 022048

9/20/22

PROFESSIONAL ENGINEER

Client

WOODBINE PROPERTY 1 LLC

1808 Route 88, Suite 301
Brick, NJ 08724

Contact: Peter Modri

Revision / Issue

No.	Description	Date

Issue

Date	Description
6/3/2022	1ST SUBMISSION
7/21/2022	1ST SUB-COMPLETENESS
8/19/2022	1ST SUB-COMPLETENESS
9/20/2022	1ST SUB-COMPLETENESS

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By

JL

Checked By

DTM

Project No.

ZP-13088

Date

SEPT. 20, 2022

Drawing Title

SITE
SECTIONS

Scale:

As Noted

Drawing Number

7

Sheet 7 of 27

SECTION KEY

1"=60'

A

EAST-WEST SECTION FACING SOUTH

1/16"=1'-0"

B

NORTH-SOUTH SECTION FACING WEST

1/16"=1'-0"

NOTE: GRADE ELEVATIONS AND DIMENSIONS ARE APPROXIMATE AND SUBJECT TO CHANGE WITH FINAL ENGINEERING

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APPROVED

SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

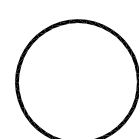
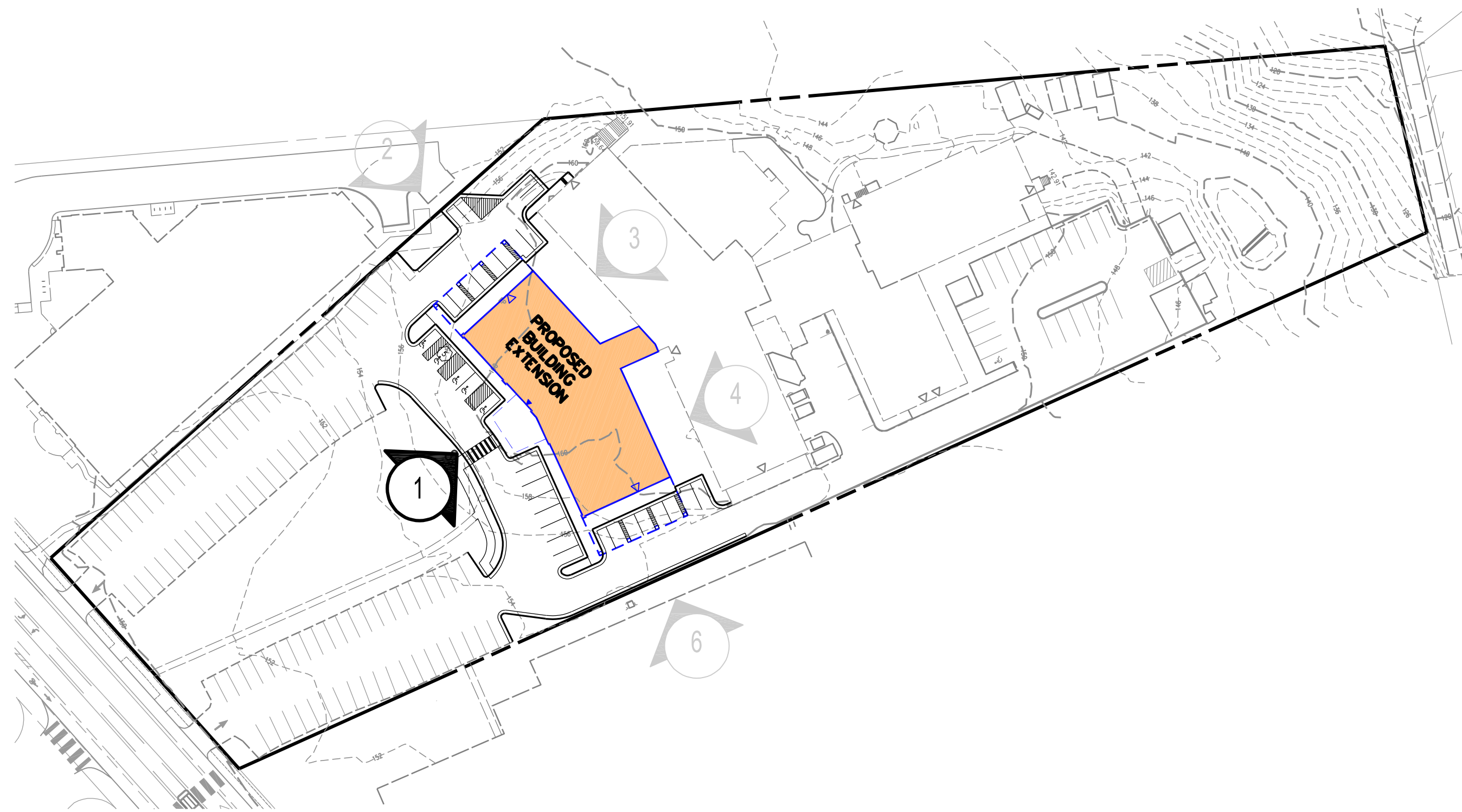
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

Urban, Ltd. - \\jupiter-1011\0 DRIVE\JOBS\Woodbine\DSUP\05-SiteSections.dwg [6 SITE SECTIONS] September 20, 2022 - 2:24pm xdi

ZP-13088

Urban, Ltd. - \\jupiter-101\0 DRIVE\JOBS\Woodbine\DSUP\06-BldgElev.dwg [7 BUILDING ELEVATIONS] September 20, 2022 -- 2:24pm zcd



ELEVATION KEY



1 FRONT
1/8" = 1'-0"



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NOTE: GRADE ELEVATIONS ARE APPROXIMATE AND
SUBJECT TO CHANGE WITH FINAL ENGINEERING

APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

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Client

WOODBINE PROPERTY 1 LLC

1808 Route 88, Suite 301
Brick, NJ 08724

Contact: Peter Modri

Revision / Issue	No.	Description	Date
Issue	Date	Description	
	6/3/2022	1ST SUBMISSION	
	7/21/2022	1ST SUB-COMPLETENESS	
	8/19/2022	1ST SUB-COMPLETENESS	
	9/20/2022	1ST SUB-COMPLETENESS	

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By JL	Checked By DTM
----------------	-------------------

Project No. ZP-13088

Date SEPT. 20, 2022

Drawing Title

BUILDING
ELEVATION:
WEST

Scale: As Noted

Drawing Number

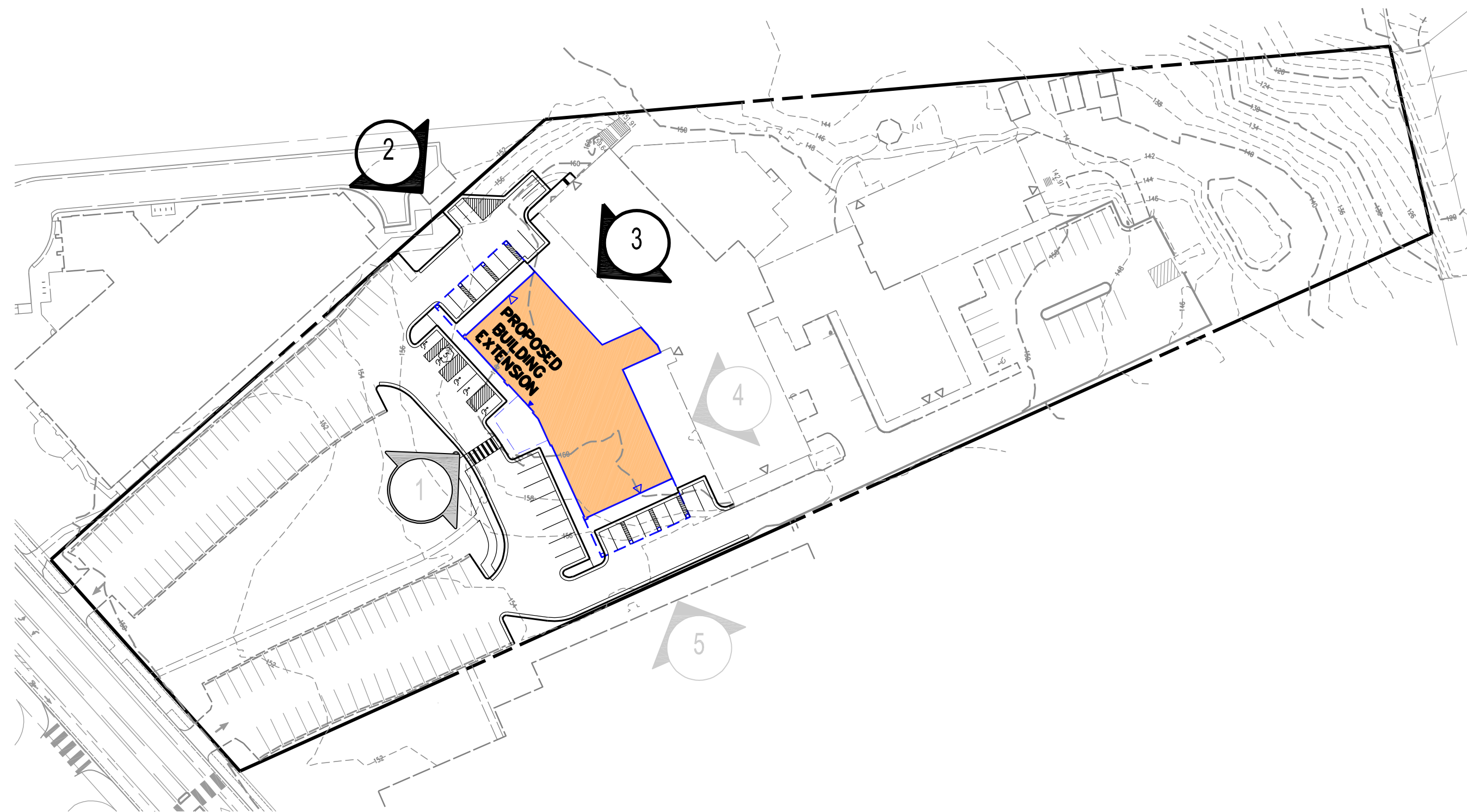
8

Sheet 8 of 27

ZP-13088



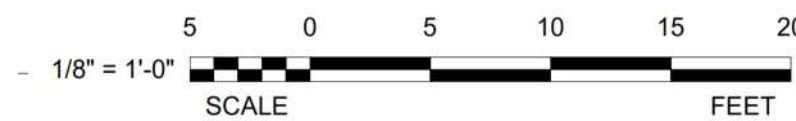
2 SIDE (NORTH)
1/8" = 1'-0"



ELEVATION KEY



3 REAR (NORTH)
1/8" = 1'-0"



RENDERINGS PREPARED BY



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DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
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DIRECTOR _____	DATE _____
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INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

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Client
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1606 Route 88, Suite 301
Brick, NJ 08724
Contact: Peter Modri

Revision / Issue		
No.	Description	Date

Issue	
Date	Description
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Project Name
WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN
DSUP 2022-10014
City of Alexandria
Alexandria, Virginia

Drawn By
JL

Checked By
DTM

Project No. ZP-13088

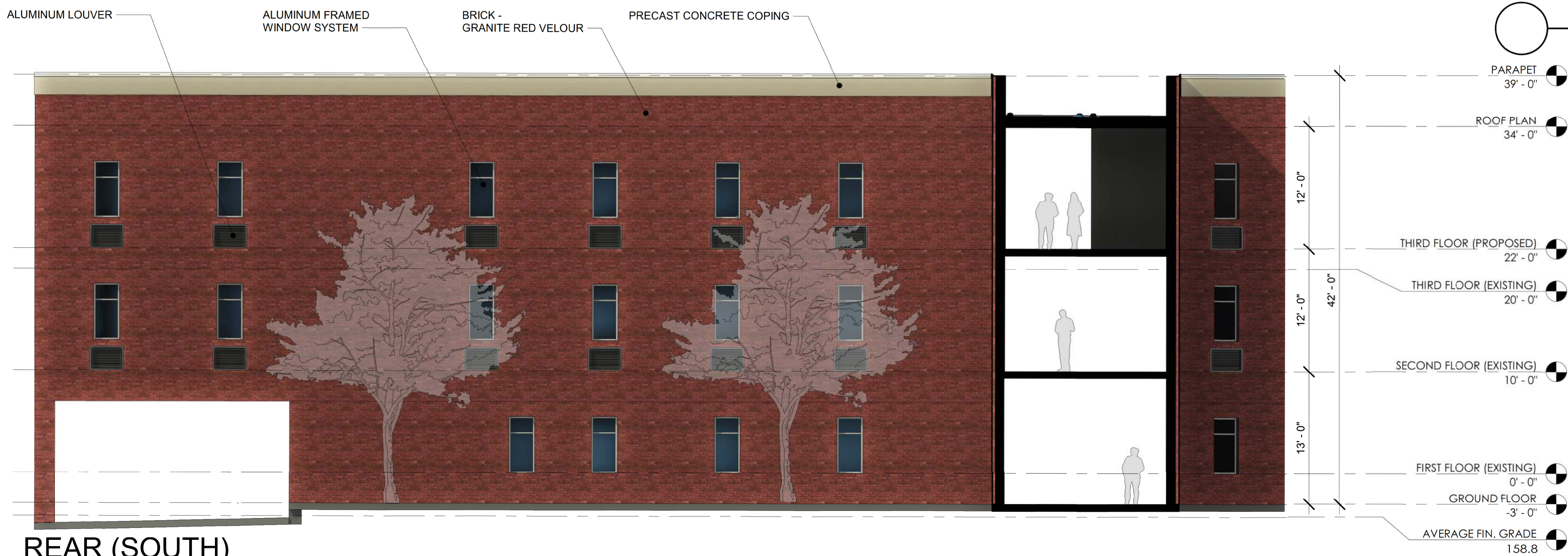
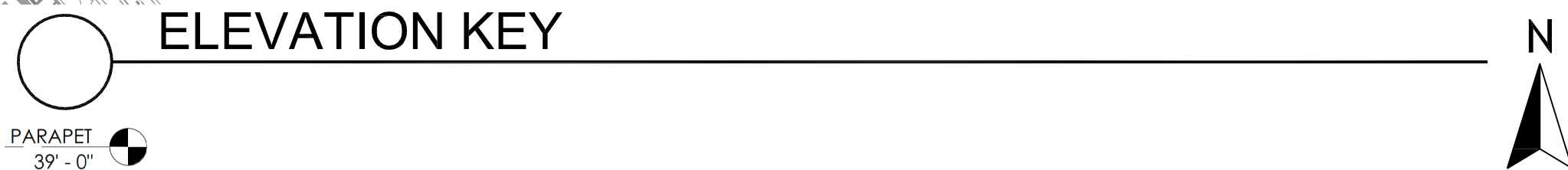
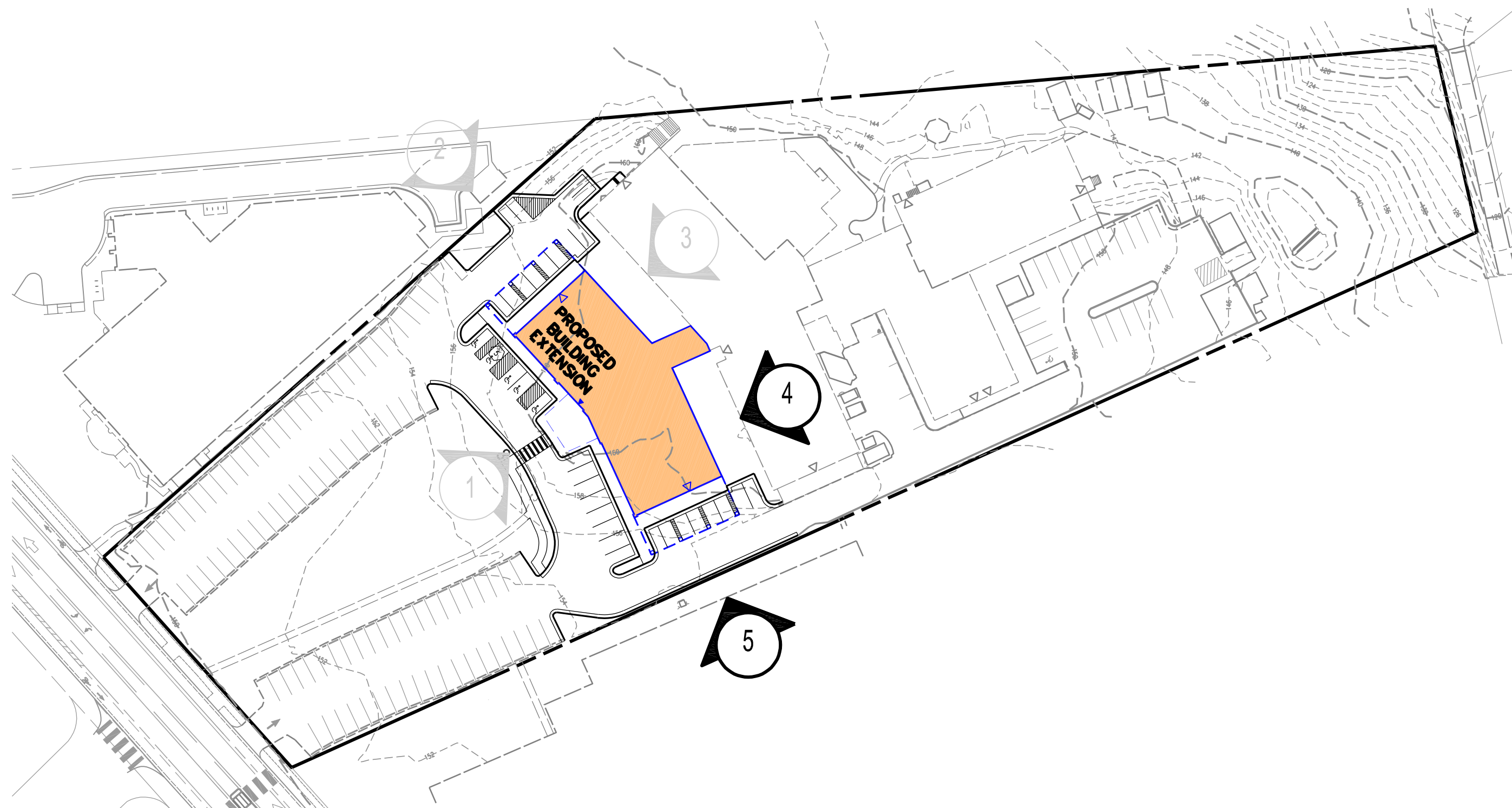
Date SEPT. 20, 2022

Drawing Title
BUILDING
ELEVATION:
NORTH

Scale: As Noted

Drawing Number
9
Sheet 9 of 27

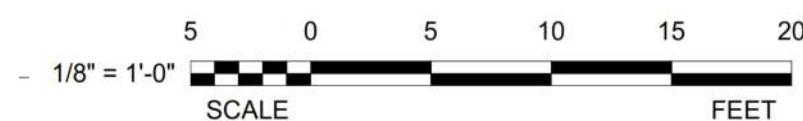
Urban, Ltd. - \\jupiter-101\Q DRIVE\JOBS\Woodbine\DSUP\08-BldgElev.dwg [9 BUILDING ELEVATIONS] September 20, 2022 ~ 2:25pm zcd



4 REAR (SOUTH)
1/8" = 1'-0"



5 SIDE ELEVATION
1/8" = 1'-0"



RENDERINGS PREPARED BY
FREDERICK WARD ASSOCIATES
P.O. Box 727, 5 South Main Street Bel Air Maryland 21014
**ARCHITECTS
ENGINEERS
PLANNERS
SURVEYORS**
410-838-7900
www.frederickward.com

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Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By JL	Checked By DTM
----------------	-------------------

Project No. ZP-13088

Date SEPT. 20, 2022

Drawing Title

**BUILDING
ELEVATION:
EAST**

Scale: As Noted

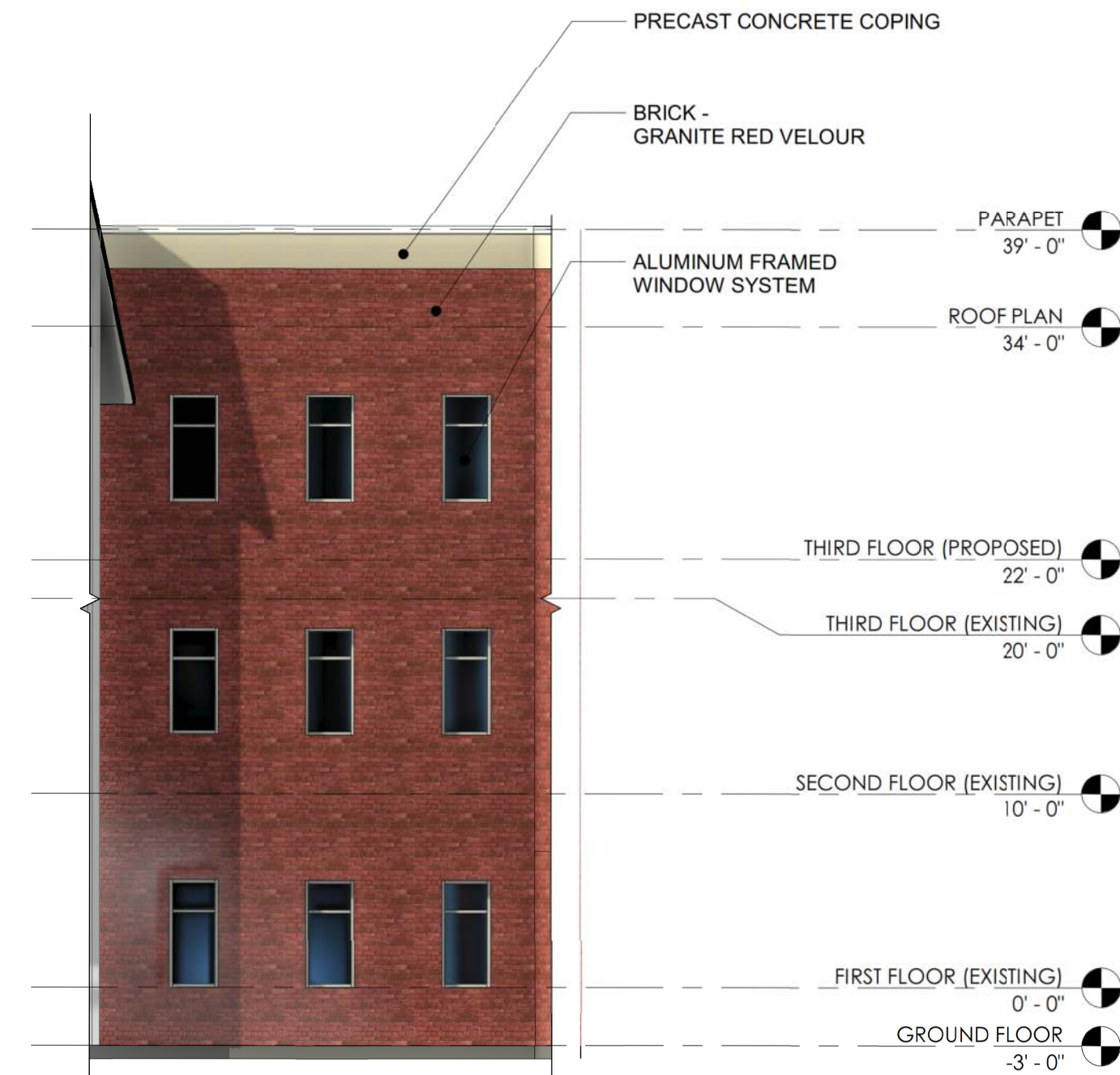
Drawing Number

10

Sheet 10 of 27

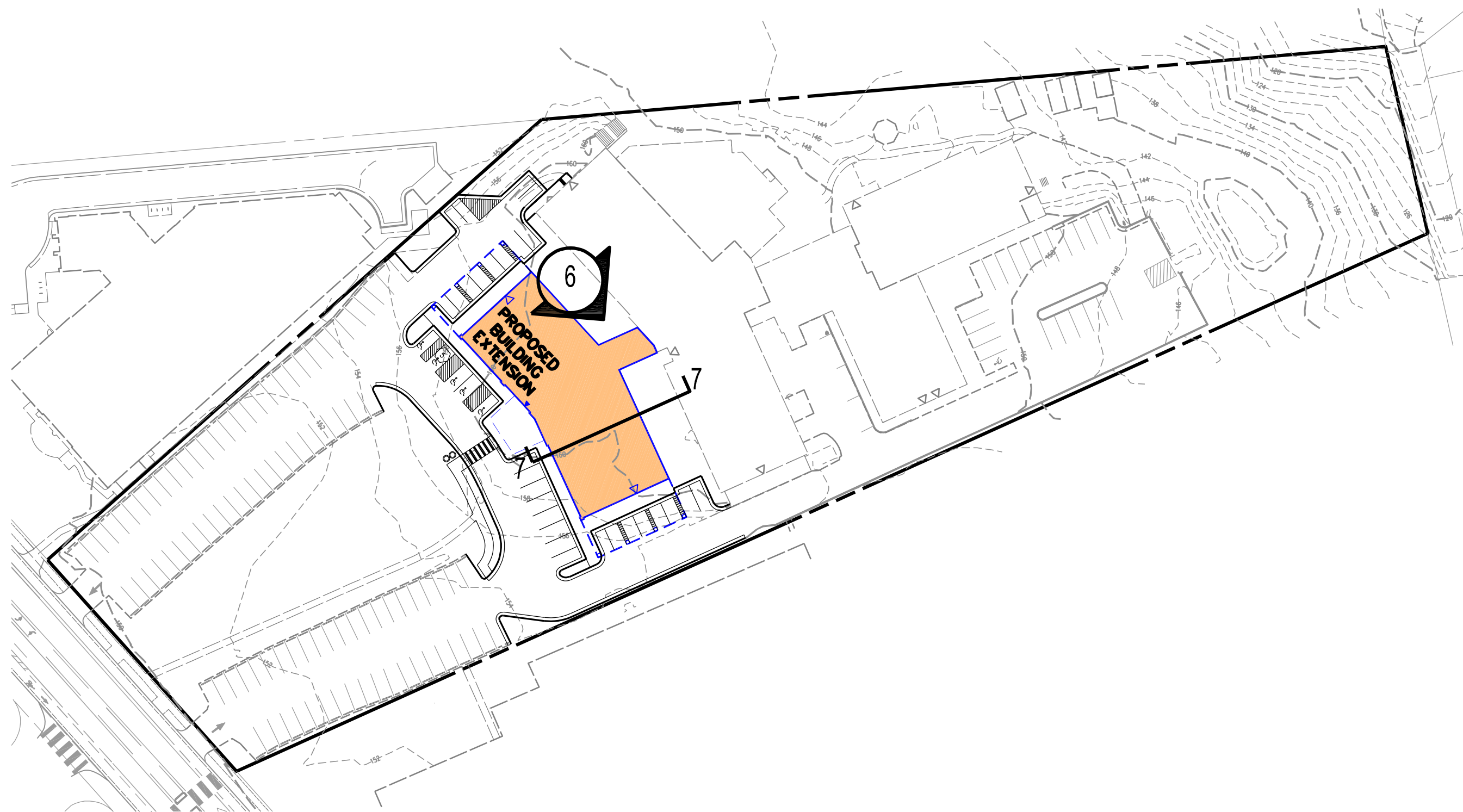
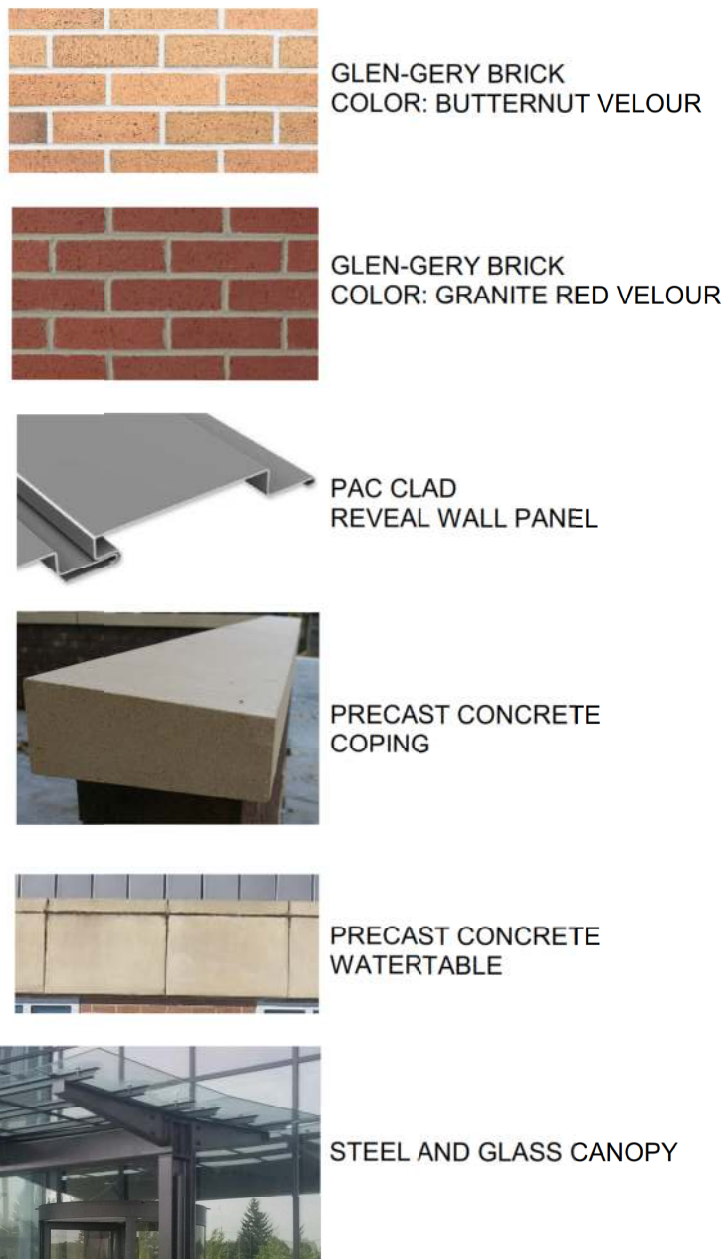
ZP-13088

Urban, Ltd. - \\jupiter-101\0 DRIVE\JOBS\Woodbine\DSUP\09-BldgElev.dwg [10 BUILDING ELEVATIONS] September 20, 2022 - 2:26pm zcl

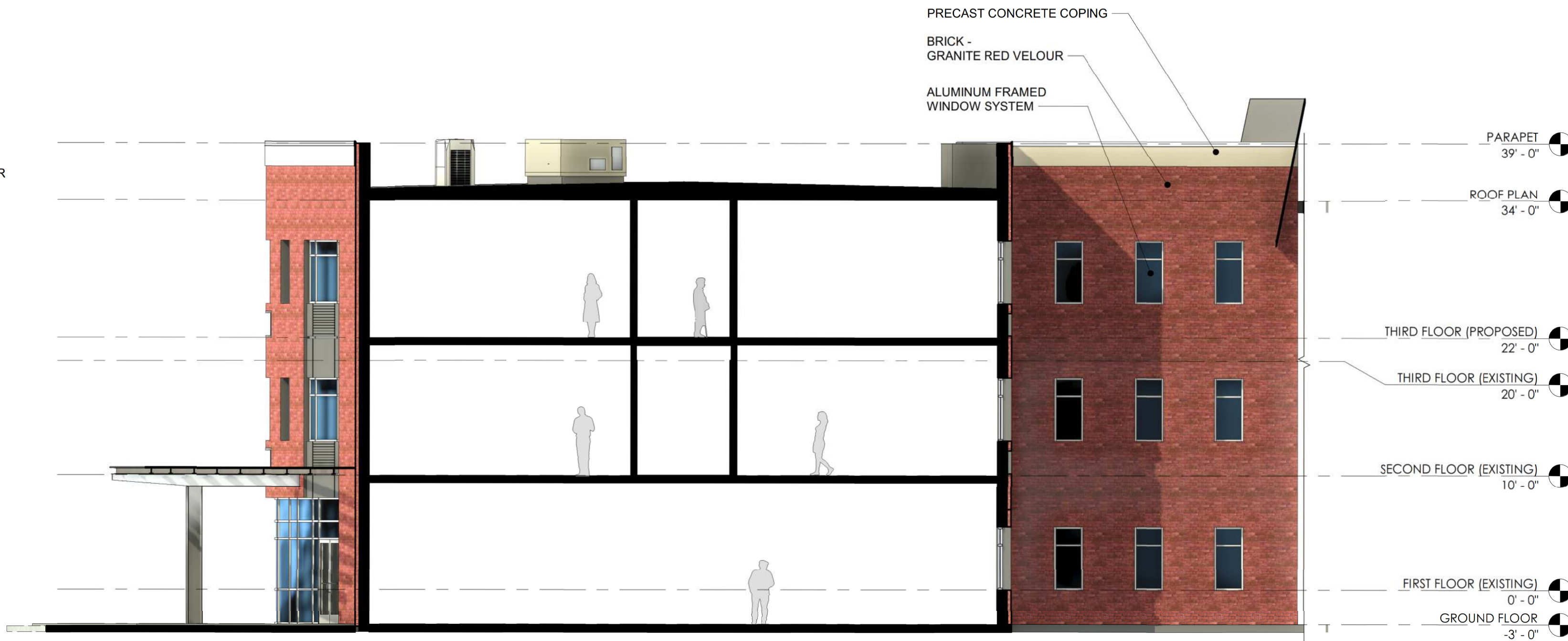


6 CONNECTOR ELEVATION

1/8" = 1'-0"

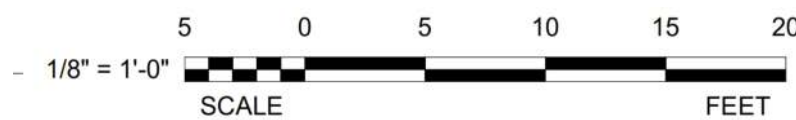


ELEVATION KEY



7 BUILDING SECTION - NORTH

1/8" = 1'-0"



RENDERINGS PREPARED BY



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APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

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TEL 703.642.8080 FAX 703.642.8251
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Seal

Client

WOODBINE PROPERTY 1 LLC

1808 Route 88, Suite 301
Brick, NJ 08724

Contact: Peter Modri

Revision / Issue	
No.	Description

Issue	
Date	Description
6/3/2022	1ST SUBMISSION
7/21/2022	1ST SUB-COMPLETENESS
8/19/2022	1ST SUB-COMPLETENESS
9/20/2022	1ST SUB-COMPLETENESS

Project Name

**WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN**

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By JL	Checked By DTM
----------------	-------------------

Project No. ZP-13088

Date SEPT. 20, 2022

Drawing Title

**BUILDING
ELEVATION:
SOUTH**

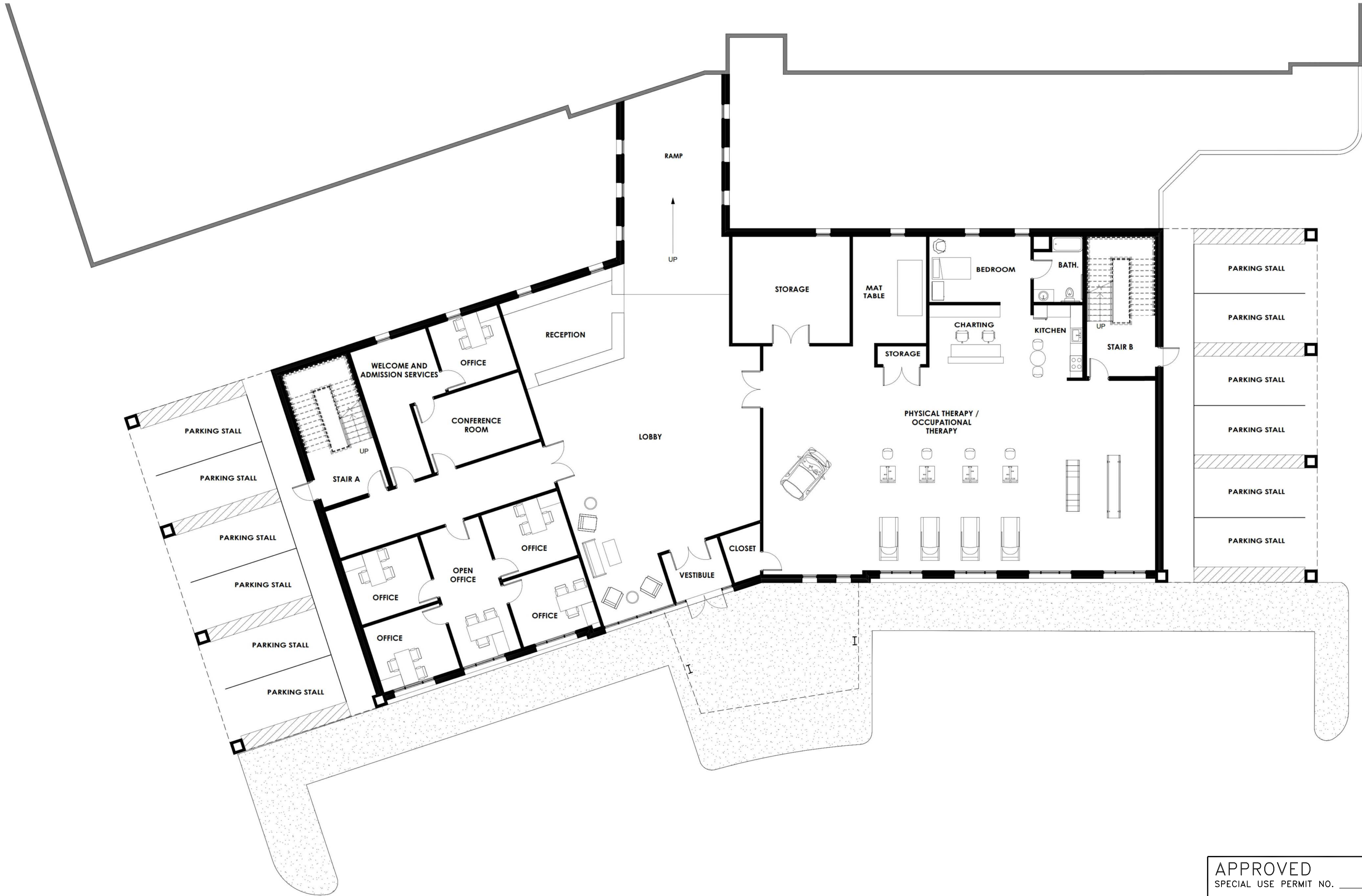
Scale: As Noted

Drawing Number

11

Sheet 11 of 27

Urban, Ltd. - \\jupiter-101\0 DRIVE\JOBS\Woodbine\DSUP\09-BldgElev.dwg [11A BUILDING ELEVATIONS] September 20, 2022 - 2:27pm zcl



1
A101
GROUND FLOOR
1/8" = 1'-0"

5 0 5 10 15 20
1/8" = 1'-0"
SCALE
FEET

RENDERINGS PREPARED BY



FREDERICK WARD ASSOCIATES
P.O. Box 727, 5 South Main Street Bel Air Maryland 21014

ARCHITECTS
ENGINEERS
PLANNERS
SURVEYORS
410-838-7900
www.frederickward.com

NOTE:
THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
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APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

GROUND FLOOR PLAN	
Scale: As Noted	
Drawing Number	
11A	
Sheet 11A of 27	



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Client
WOODBINE PROPERTY 1 LLC
1808 Route 88, Suite 301
Brick, NJ 08724
Contact: Peter Modri

Revision / Issue		
No.	Description	Date

Issue	
Date	Description
6/3/2022	1ST SUBMISSION
7/21/2022	1ST SUB-COMPLETENESS
8/19/2022	1ST SUB-COMPLETENESS
9/20/2022	1ST SUB-COMPLETENESS

Project Name
WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN
DSUP 2022-10014
City of Alexandria
Alexandria, Virginia

Drawn By JL	Checked By DTM
----------------	-------------------

Project No.	ZP-13088
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Date	SEPT. 20, 2022
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Drawing Title
GROUND FLOOR PLAN
Scale: As Noted
Drawing Number
11A
Sheet 11A of 27

ZP-13088

Urban, Ltd. - \\jupiter-101\0 DRIVE\JOBS\Woodbine\DSUP\09-BldgElev.dwg [11B BUILDING ELEVATIONS] September 20, 2022 - 2:27pm zcli



1
A102
1/8" = 1'-0"

SECOND FLOOR (EXISTING)

5 0 5 10 15 20
1/8" = 1'-0"
SCALE FEET

RENDERINGS PREPARED BY



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APPROVED

SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____

DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR _____

DATE _____

CHAIRMAN, PLANNING COMMISSION _____

DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____

DEED BOOK NO. _____

PAGE NO. _____



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1808 Route 88, Suite 301
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Revision / Issue

No. Description Date

Issue

Date	Description
6/3/2022	1ST SUBMISSION
7/21/2022	1ST SUB-COMPLETENESS
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9/20/2022	1ST SUB-COMPLETENESS

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By

JL

Checked By

DTM

Project No.

ZP-13088

Date

SEPT. 20, 2022

Drawing Title

SECOND
FLOOR
PLAN

Scale: As Noted

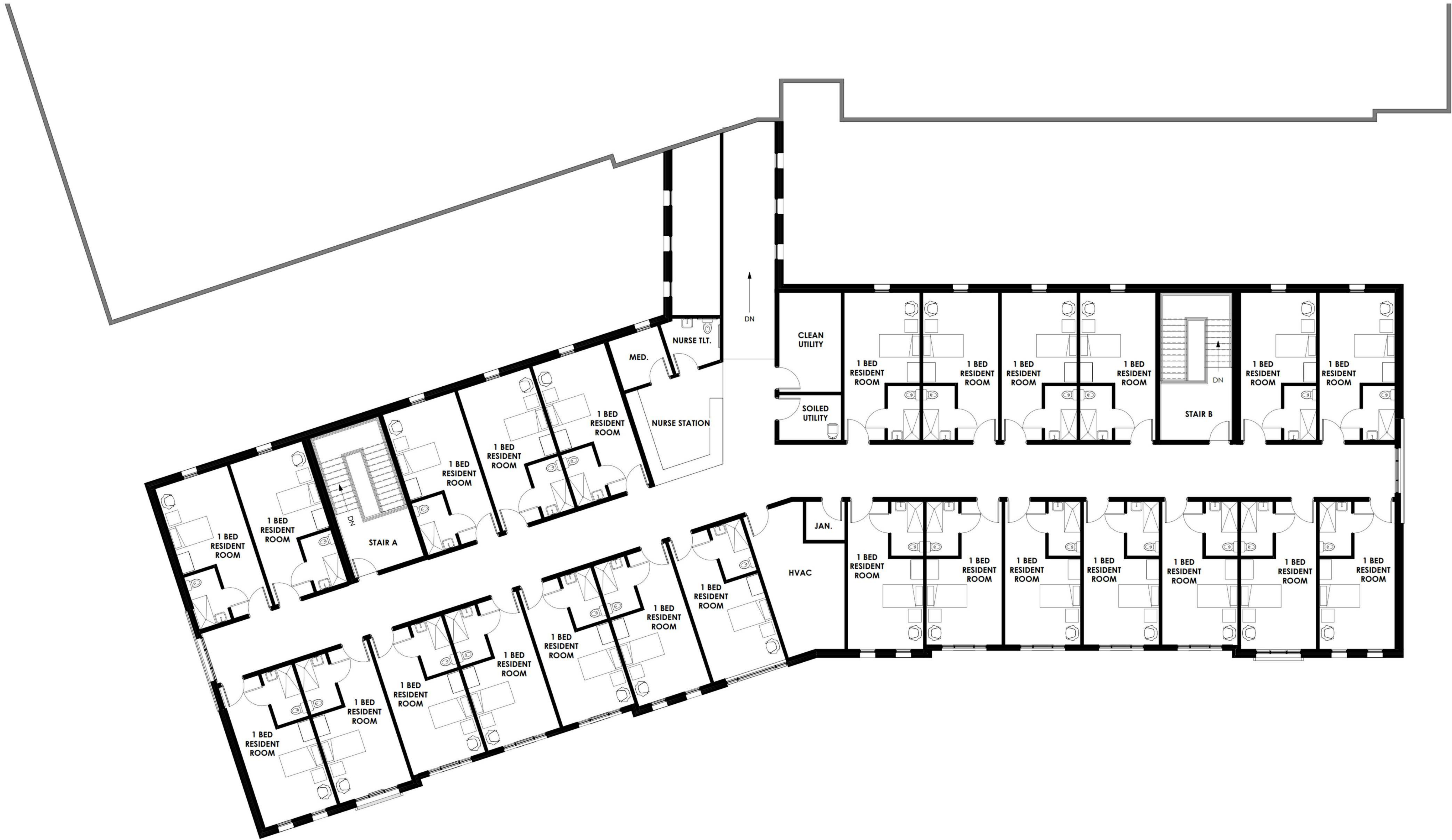
Drawing Number

11B

Sheet 11B of 27

ZP-13088

Urban, Ltd. - \\jupiter-101\O DRIVE\JOBS\Woodbine\DSUP\09-BldgElev.dwg [11c BUILDING ELEVATIONS] September 20, 2022 - 2:27pm zcli



1 THIRD FLOOR (PROPOSED)
A103 1/8" = 1'-0"

5 0 5 10 15 20
1/8" = 1'-0"
SCALE FEET

RENDERINGS PREPARED BY



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ENGINEERS
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APPROVED

SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____

DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR _____

DATE _____

CHAIRMAN, PLANNING COMMISSION _____

DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____

DEED BOOK NO. _____

PAGE NO. _____



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Seal



Client

WOODBINE PROPERTY 1 LLC

1606 Route 88, Suite 301
Brick, NJ 08724

Contact: Peter Modri

Revision / Issue

No. Description Date

Issue

Date	Description
6/3/2022	1ST SUBMISSION
7/21/2022	1ST SUB-COMPLETENESS
8/19/2022	1ST SUB-COMPLETENESS
9/20/2022	1ST SUB-COMPLETENESS

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By

JL

Checked By

DTM

Project No.

ZP-13088

Date

SEPT. 20, 2022

Drawing Title

THIRD
FLOOR
PLAN

Scale: As Noted

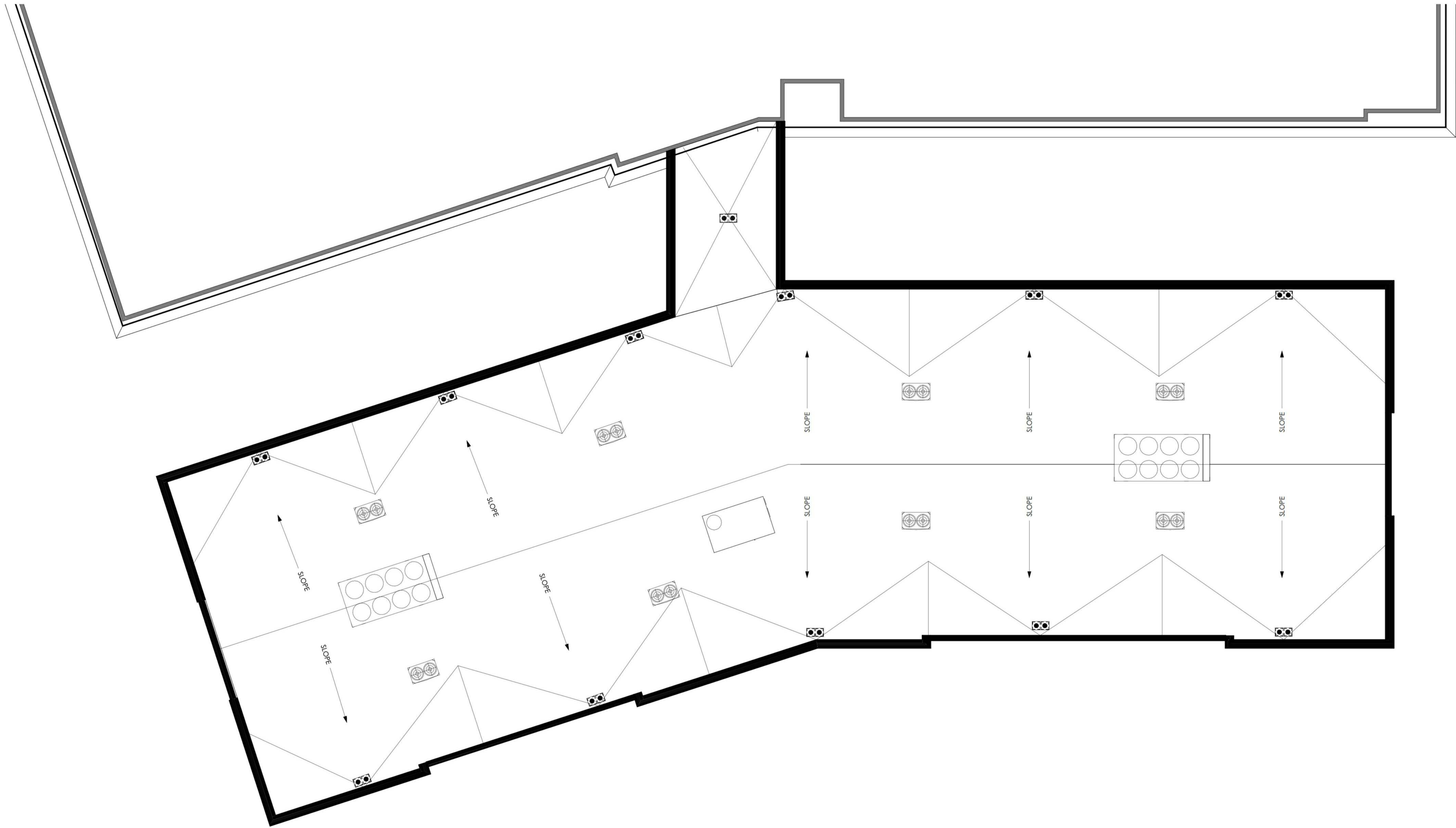
Drawing Number

11C

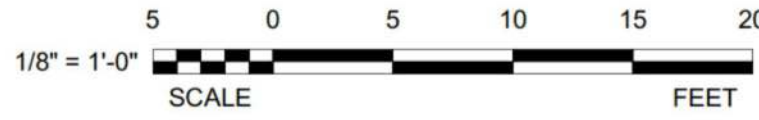
Sheet 11C of 27

ZP-13088

Urban, Ltd. - \\jupiter-101\0 DRIVE\JOBS\Woodbine\DSUP\09-Roof-Plan.dwg [10 BUILDING ELEVATIONS] September 20, 2022 - 2:28pm zcl



1 ROOF PLAN
A104 1/8" = 1'-0"



RENDERINGS PREPARED BY



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APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
_____ DIRECTOR	_____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
_____ CHAIRMAN, PLANNING COMMISSION	
_____ DATE	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

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Client

WOODBINE PROPERTY 1 LLC

1808 Route 88, Suite 301
Brick, NJ 08724

Contact: Peter Modri

Revision / Issue		Date
No.	Description	

Issue	Description
6/3/2022	1ST SUBMISSION
7/21/2022	1ST SUB-COMPLETENESS
8/19/2022	1ST SUB-COMPLETENESS
9/20/2022	1ST SUB-COMPLETENESS

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By JL	Checked By DTM
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Project No.	JP-13088
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Date	SEPT. 20, 2022
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Drawing Title	ROOF PLAN
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Scale:	As Noted
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Drawing Number	12
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Sheet	12	of	27
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JP-13088



Client
WOODBINE PROPERTY 1 LLC
1808 Route 88, Suite 301
Brick, NJ 08724
Contact: Peter Modri

Revision / Issue		
No.	Description	Date

Issue	
Date	Description
6/3/2022	1ST SUBMISSION
7/21/2022	1ST SUB-COMPLETENESS
8/19/2022	1ST SUB-COMPLETENESS
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Project Name
WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN
DSUP 2022-10014
City of Alexandria
Alexandria, Virginia

Drawn By
JL

Checked By
DTM

Project No.
ZP-13088

Date
SEPT. 20, 2022

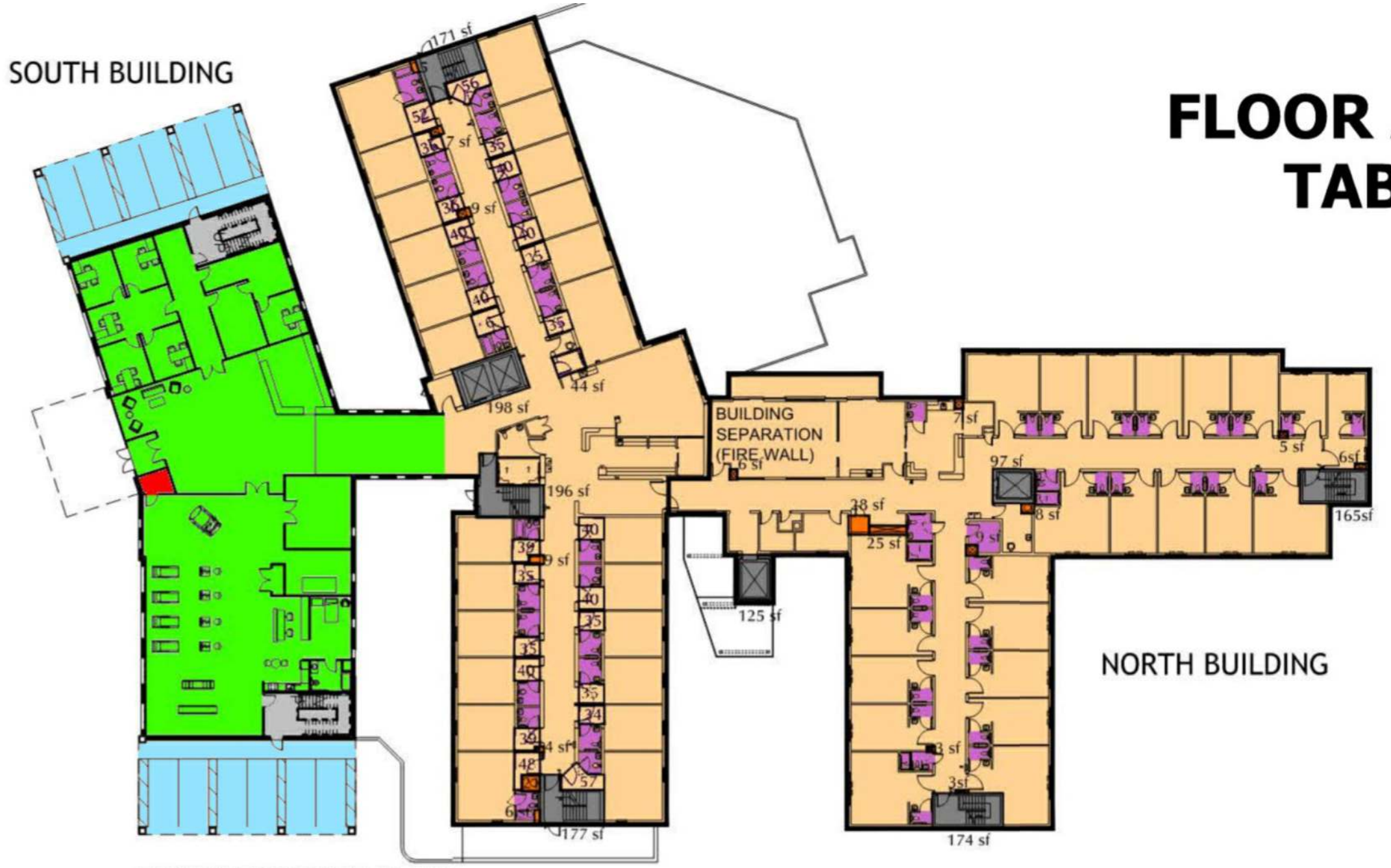
Drawing Title
FAR

Scale: As Noted

Drawing Number
13

Sheet 13 of 27

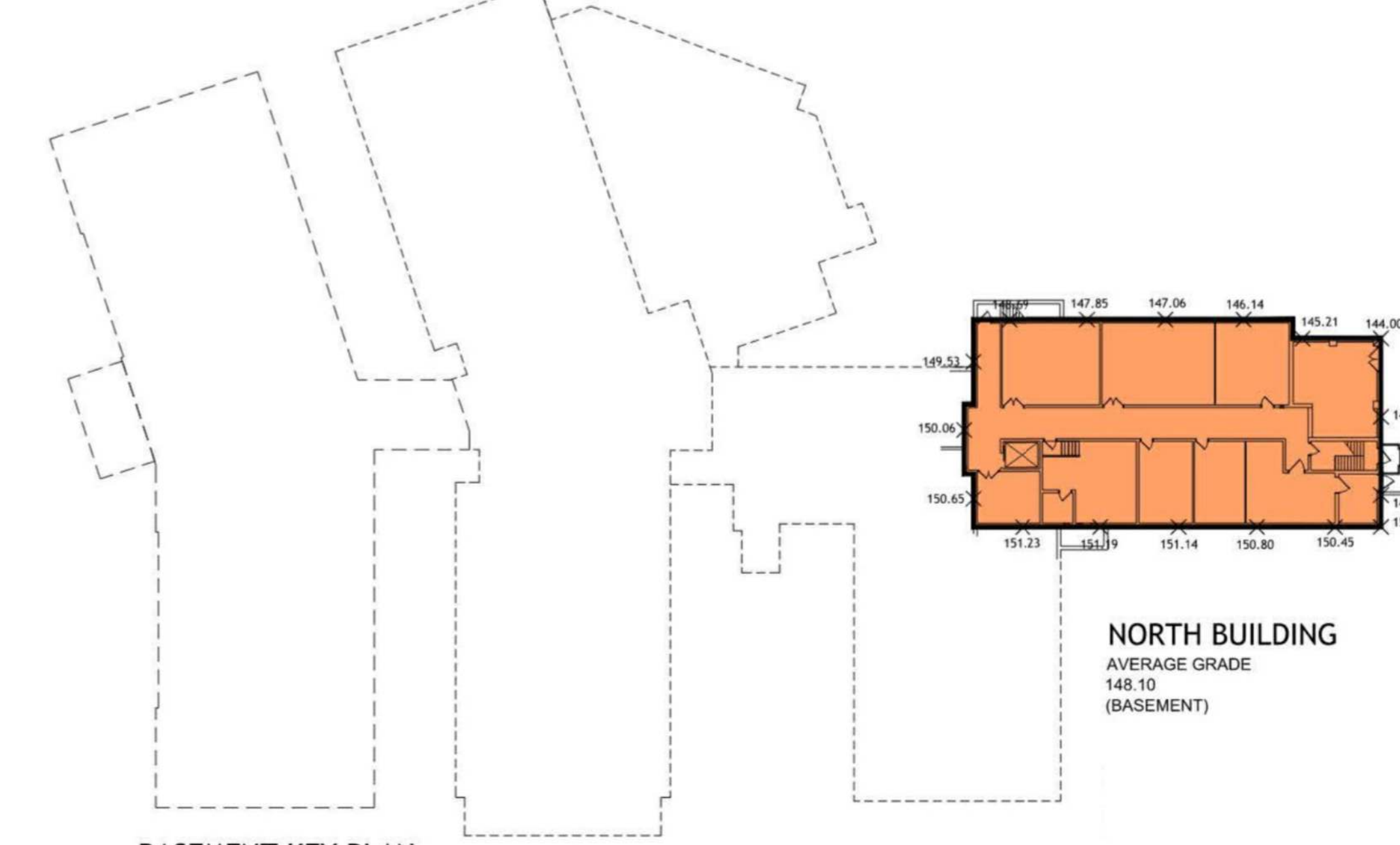
FLOOR AREA RATIO (FAR) TABULATION EXHIBIT 7-21-22



FIRST FLOOR KEY PLAN
SCALE: 1/32"=1'-0"



GROUND FLOOR KEY PLAN
SCALE: 1/32"=1'-0"



BASEMENT KEY PLAN
SCALE: 1/32"=1'-0"

- AREA LEGEND:
- EXISTING ROOF/CANOPY/OVERHANG (EXCLUDED)
 - NEW ROOF/CANOPY/OVERHANG (EXCLUDED)
 - EXISTING STAIRS, ELEVATORS AND RAMPS (EXCLUDED)
 - NEW STAIRS, ELEVATORS AND RAMPS (EXCLUDED)
 - EXISTING MECHANICAL / ELECTRICAL (EXCLUDED)
 - NEW MECHANICAL / ELECTRICAL (EXCLUDED)
 - EXISTING LAVATORY (50SF PER OCCURRENCE EXCLUDED)
 - NEW LAVATORY (50SF PER OCCURRENCE EXCLUDED)
 - NEW COVERED PARKING AREA WITH OCCUPIED SPACE ABOVE
 - EXISTING BASEMENT (EXCLUDED)
 - EXISTING GSF
 - NEW GSF
 - EXISTING GSF TO BE DEMOLISHED (NOT SHOWN)

BASEMENT LEVEL:	
GROSS SQUARE FEET PER FLOOR	5,763 S.F.
EXISTING BASEMENT EXCLUSION	-5,763 S.F.
NET FLOOR AREA	0 S.F.

GROUND FLOOR KEY PLAN:	
GROSS SQUARE FEET PER FLOOR	30,230 S.F.
EXISTING ROOF EXCLUSION	-523 S.F.
EXISTING STAIR EXCLUSION	-861 S.F.
EXISTING LAVATORY EXCLUSION	-1,108 S.F.
EXISTING HVAC EXCLUSION	-269 S.F.
NET FLOOR AREA	27,469 S.F.

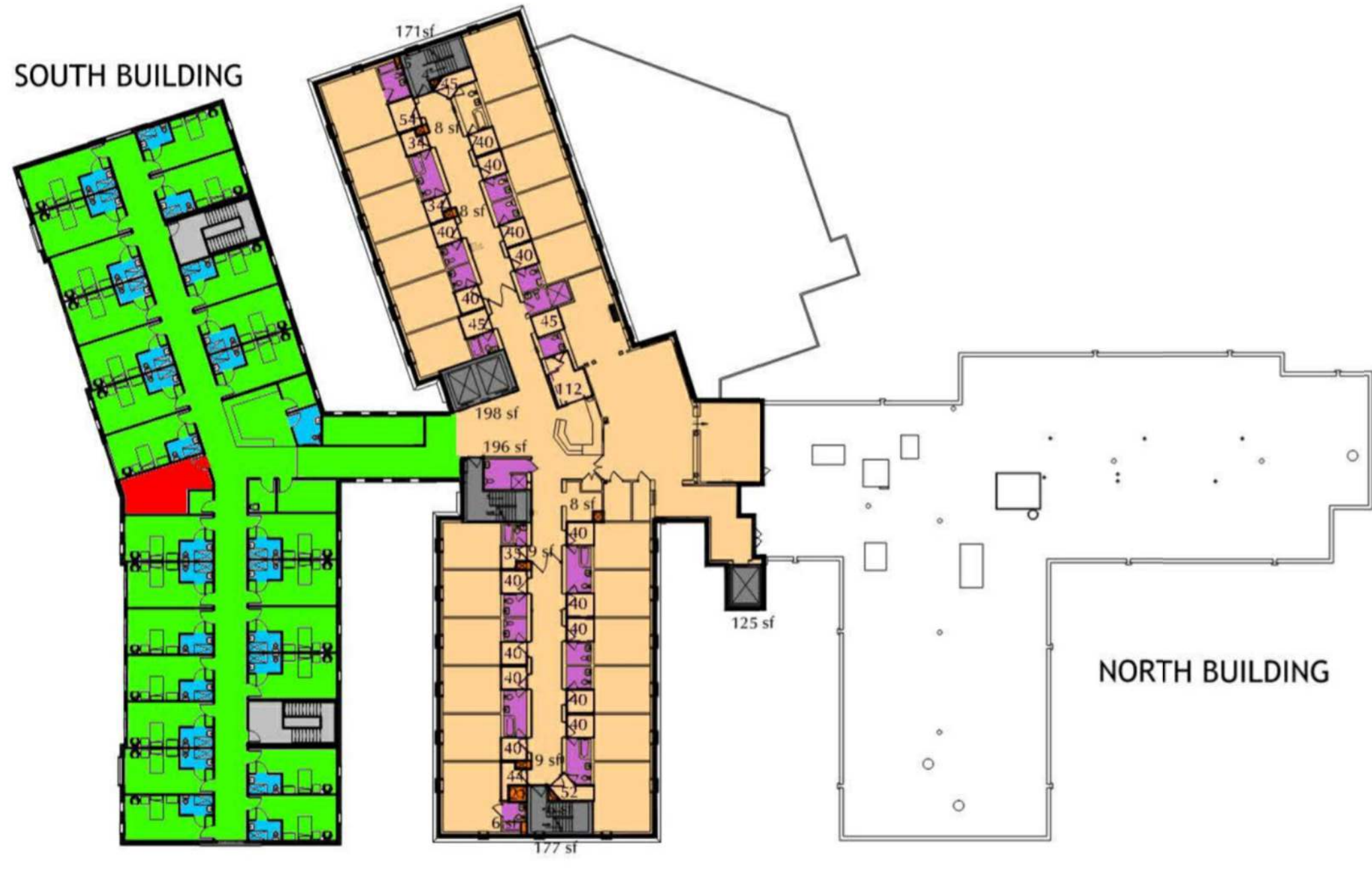
FIRST FLOOR KEY PLAN:	
EXISTING GSF	26,354 S.F.
NEW GSF	7,855 S.F.
EXISTING DEMOLISHED	-3,034 S.F.
NEW ROOF EXCLUSION	-424 S.F.
COVERED PARKING AREA	2,864 S.F.
EXISTING STAIR EXCLUSION	-1,038 S.F.
NEW STAIR EXCLUSION	-528 S.F.
EXISTING HVAC EXCLUSION	-143 S.F.
NEW HVAC EXCLUSION	-50 S.F.
EXISTING LAVATORY EXCLUSION	-1,550 S.F.
NET FLOOR AREA	30,306 S.F.

SECOND FLOOR KEY PLAN:	
EXISTING GSF	26,516 S.F.
NEW GSF	10,595 S.F.
EXISTING DEMOLISHED	-3,034 S.F.
EXISTING STAIR EXCLUSION	-1,038 S.F.
NEW STAIR EXCLUSION	-542 S.F.
EXISTING HVAC EXCLUSION	-161 S.F.
NEW HVAC EXCLUSION	-257 S.F.
EXISTING LAVATORY EXCLUSION	-1,826 S.F.
NEW LAVATORY EXCLUSION	-1,257 S.F.
NET FLOOR AREA	28,996 S.F.

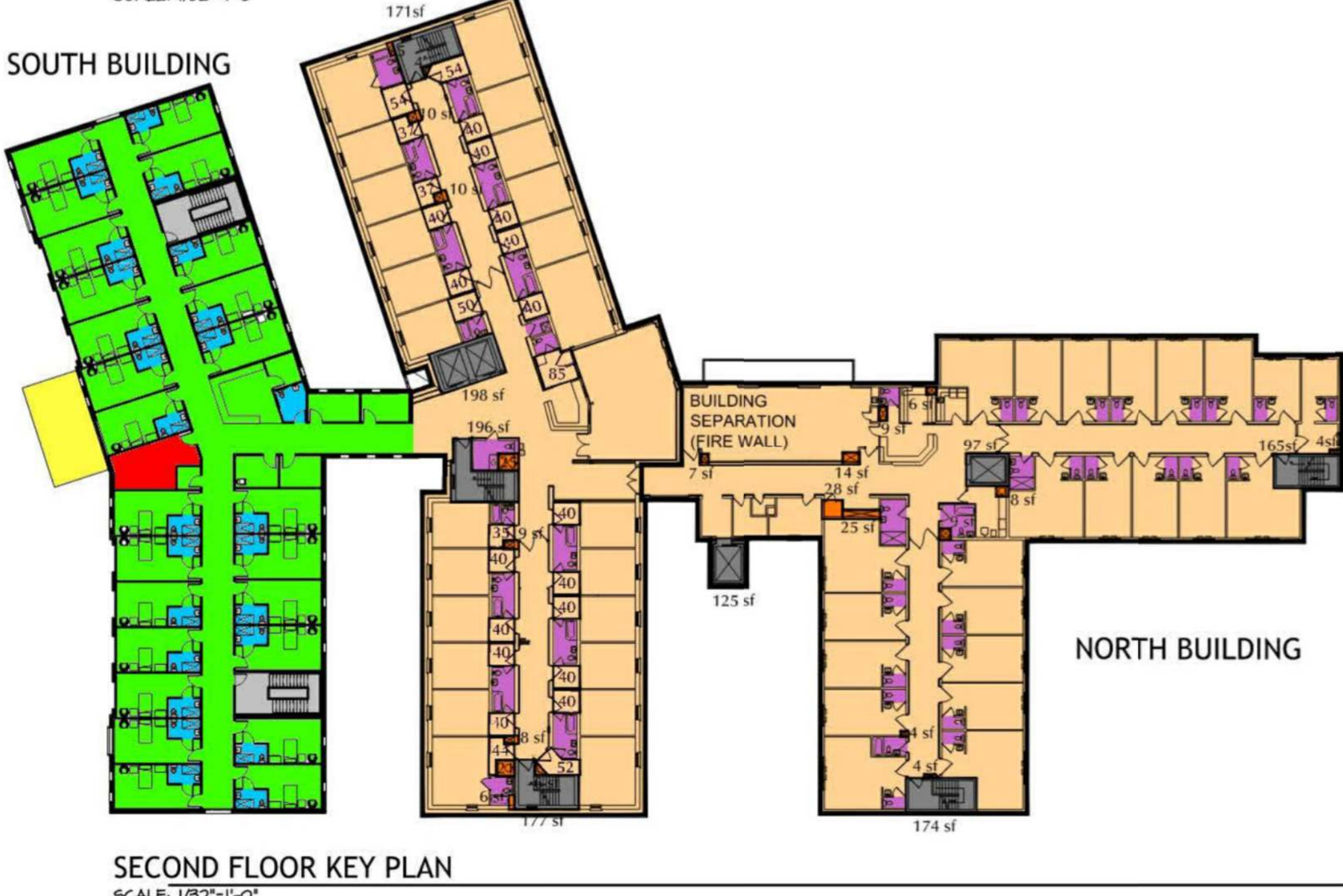
THIRD FLOOR KEY PLAN:	
EXISTING GSF	12,247 S.F.
NEW GSF	10,595 S.F.
EXISTING STAIR EXCLUSION	-685 S.F.
NEW STAIR EXCLUSION	-542 S.F.
EXISTING HVAC EXCLUSION	-64 S.F.
NEW HVAC EXCLUSION	-257 S.F.
EXISTING LAVATORY EXCLUSION	-1,042 S.F.
NEW LAVATORY EXCLUSION	-1,257 S.F.
NET FLOOR AREA	18,995 S.F.

BUILDING OVERALL	
BASEMENT LEVEL:	0 S.F.
GROUND FLOOR KEY PLAN:	27,469 S.F.
FIRST FLOOR KEY PLAN:	27,442 S.F.
SECOND FLOOR KEY PLAN:	28,996 S.F.
THIRD FLOOR KEY PLAN:	18,999 S.F.
TOTAL BUILDING NET FLOOR AREA:	102,906 S.F.

FLOOR AREA RATIO:	
BUILDING NET FLOOR AREA	105,770 S.F.
SITE AREA	167,165 S.F.
MAXIMUM RATIO	0.75
ACTUAL RATIO	0.64



THIRD FLOOR KEY PLAN
SCALE: 1/32"=1'-0"



SECOND FLOOR KEY PLAN
SCALE: 1/32"=1'-0"

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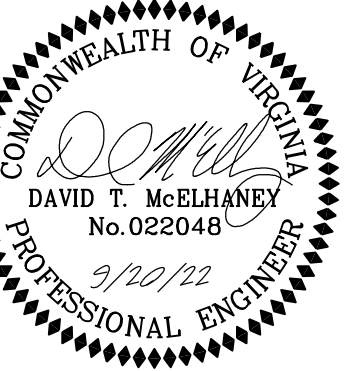
APPROVED
SPECIAL USE PERMIT NO. _____
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR DATE
CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



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RODBINE PROPERTY 1 L

Route 88, Suite 301
NJ 08724

ct: Peter Modri

Revision / Issue	
Description	Date

	Description
022	1ST SUBMISSION
022	1ST SUB.-COMPLETENESS
022	1ST SUB.-COMPLETENESS
022	1ST SUB.-COMPLETENESS

ect Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

n By JL	Checked By DTM
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ct No. ZP-13088

SEPT. 20, 2022

Working Title

SCHEMATIC
ARCHITECTURAL
MASSING

e: N.A.

ing Number

14

t 14 of 27



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DEPARTMENT OF PLANNING & ZONING

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DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

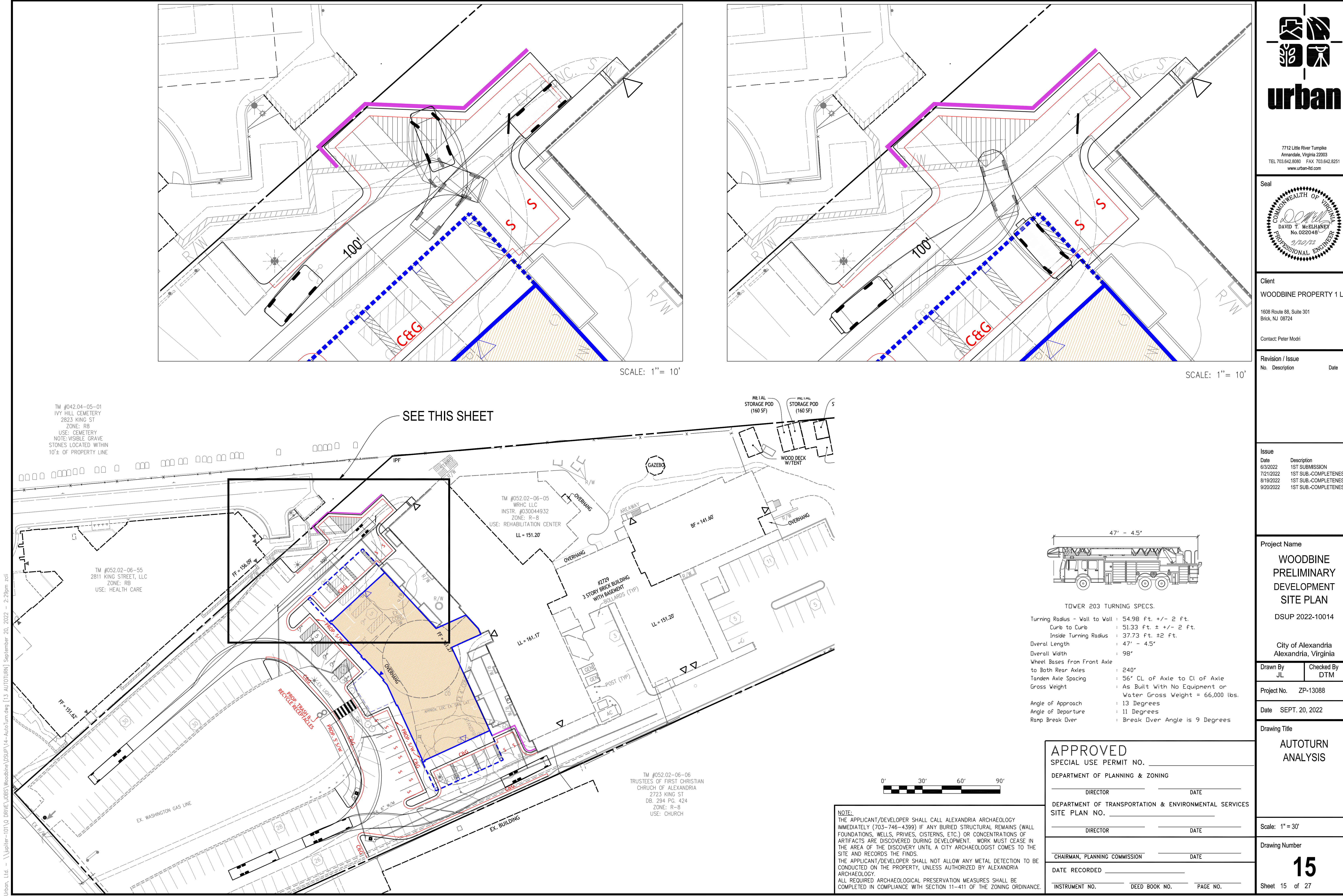
DIRECTOR

DATE

CHAIRMAN, PLANNING COMMISSION

DATE

0 1 5 6 8 9 0 0 0 0 0





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Client
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Brick, NJ 08724
Contact: Peter Modri

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Issue	
Date	Description
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Project Name
WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN
DSUP 2022-10014
City of Alexandria
Alexandria, Virginia

Drawn By JL	Checked By DTM
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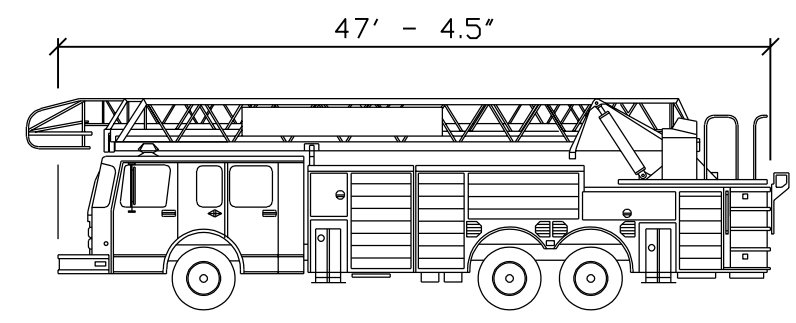
Project No. ZP-13088

Date SEPT. 20, 2022

Drawing Title
AUTOTURN
ANALYSIS

Scale: 1" = 30'

Drawing Number
15
Sheet 15 of 27

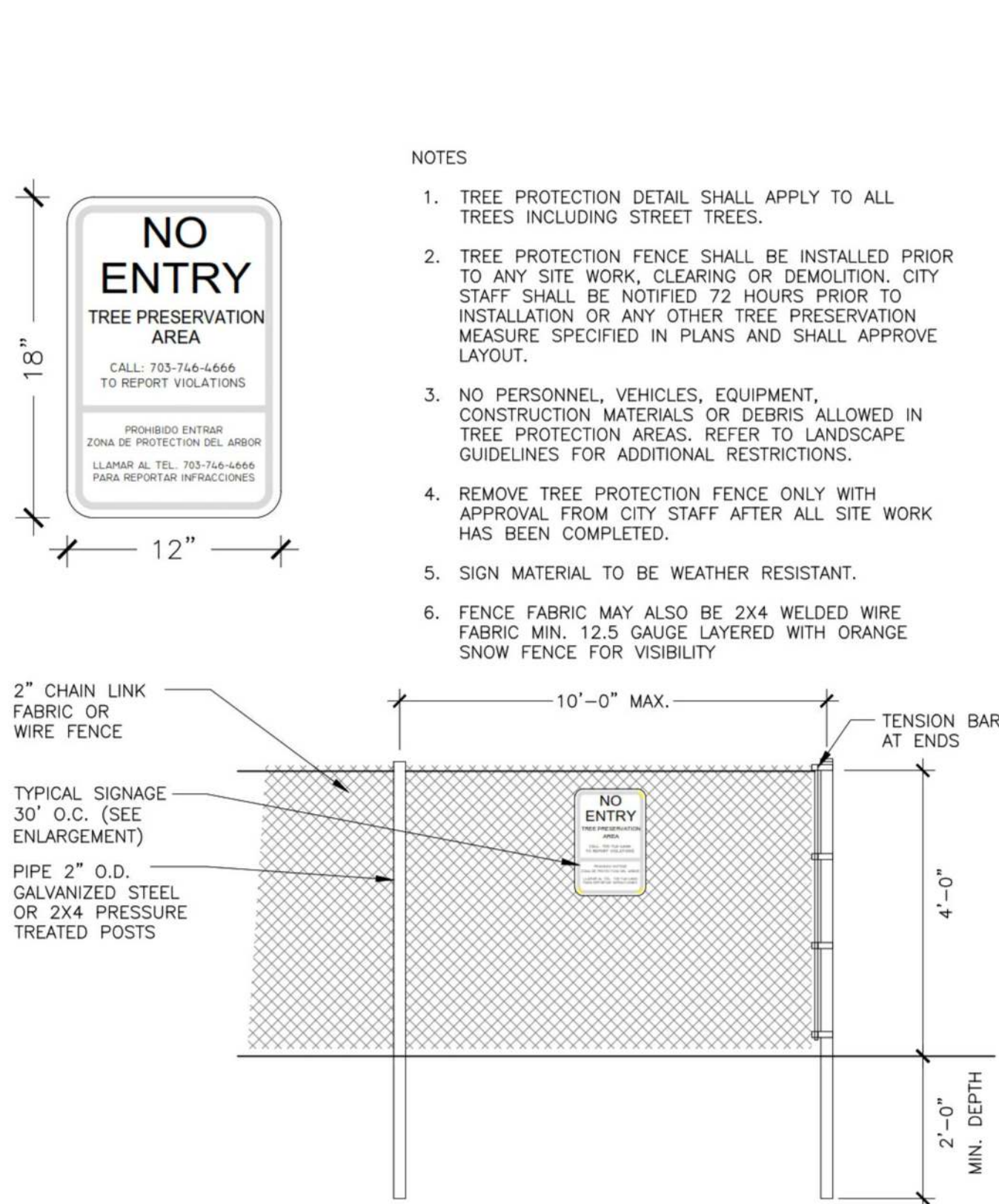


TOWER 203 TURNING SPECS.	
Turning Radius - Wall to Wall	: 54.98 ft. +/- 2 ft.
Curb to Curb	: 51.33 ft. +/- 2 ft.
Inside Turning Radius	: 37.73 ft. +/- 2 ft.
Overall Length	: 47' - 4.5'
Overall Width	: 98"
Wheel Bases from Front Axle to Both Rear Axles	: 240"
Tandem Axle Spacing	: 56" CL of Axle to CL of Axle
Gross Weight	: As Built With No Equipment or Water Gross Weight = 66,000 lbs.
Angle of Approach	: 13 Degrees
Angle of Departure	: 11 Degrees
Ramp Break Over	: Break Over Angle is 9 Degrees

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DIRECTOR _____ DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

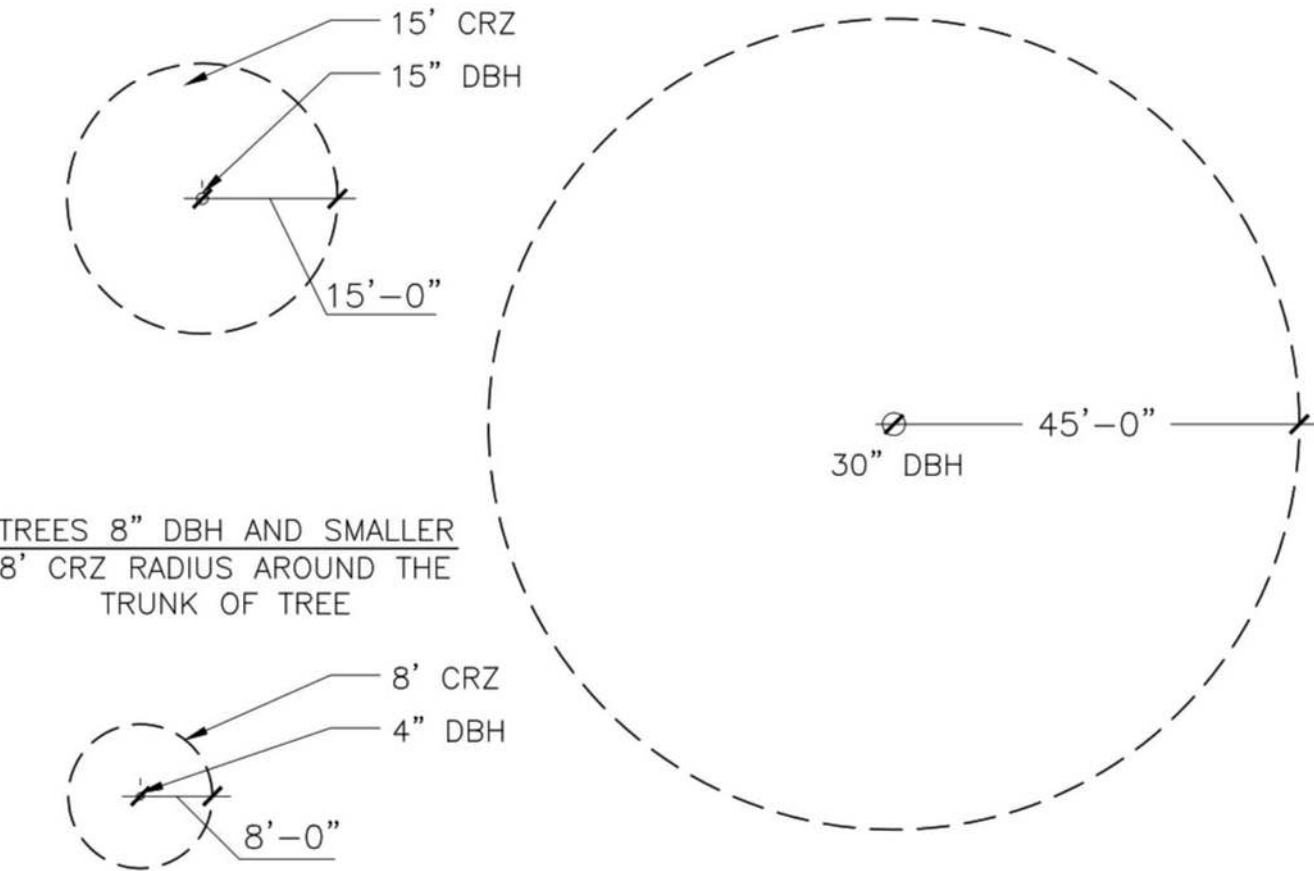
Urban, Ltd. - \\jupiter-101\Q_DRIVE\JOBS\Woodbine\DSUP\15-TreeSurvey.dwg [TREE PRESERVATION NOTES AND DETAILS] September 20, 2022 - 2:29pm zdl



1 TREE PROTECTION FENCE
NTS

TREES 8.1"–29.9" DBH
1" DBH = 1' CRZ RADIUS

TREES 30" DBH OR GREATER OR
TREES DESIGNATED AS SPECIMEN TREES
1" DBH = 1.5' CRZ RADIUS



2 ROOT PRUNING
NTS

TREE PRESERVATION NOTES

- Vegetation designated for protection and/or preservation shall continuously receive an enhanced level of maintenance throughout the entire construction period.
 - Maintenance shall be pro-active.
 - Maintenance operations shall aggressively monitor the health, growth and vigor of vegetation and prescribe selective pruning, removal of volunteer and/or invasive species, watering, fertilization and installation of mulch/topdressing.
 - When preserved vegetation is located on city property, maintenance shall be performed to the satisfaction of the City.
- Areas designated for protection and/or preservation of vegetation shall not be entered or utilized (approved maintenance procedures and watering excepted) throughout the entire construction period. Prohibited items/activities include, but are not limited to:
 - Modifying site topography in a manner that directly or indirectly alters existing site drainage within protection zone including trenching or grading operations and placing, storing or stockpiling soil or construction related supplies.
 - Felling and storing vegetation. Iii. Incinerating materials within or in close proximity.
 - Operating machinery or equipment, including vehicle/equipment parking or storage.
 - Temporary or permanent utility construction, paving or impervious surface installation.
 - Disposal of debris or chemicals. Vii. Temporary facilities or occupation by work force.
 - Storage of construction materials or waste

- NOTES:
- GRAPHICALLY, THE CRITICAL ROOT ZONE (CRZ) IS REPRESENTED AS A CIRCULAR REGION MEASURED OUTWARD FROM A TREE TRUNK REPRESENTING THE AREA OF ROOTS THAT MUST BE MAINTAINED OR PROTECTED FOR THE TREE'S SURVIVAL.
 - PLOT ACCURATE TRUNK LOCATIONS OF ALL TREES GREATER THAN 2" DIAMETER AT 54" ABOVE GRADE AND/OR TREE STANDS WITHIN DEVELOPMENT AREAS ON ALL PLANS FOR THE PROJECT AND DELINEATE THEIR ESTIMATED CRITICAL ROOT ZONE.
 - PLOT ACCURATE TRUNK LOCATIONS OF OFFSITE TREES WHICH WILL HAVE THEIR CRZ AFFECTED BY DEVELOPMENT AND DELINEATE THEIR ESTIMATED CRITICAL ROOT ZONE.

3 TREE PROTECTION DETAIL FOR DETERMINING CRITICAL ROOT ZONE
NTS

NOTE:
THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.
ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

APPROVED SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	DATE _____
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____

Scale: 1" = 30'

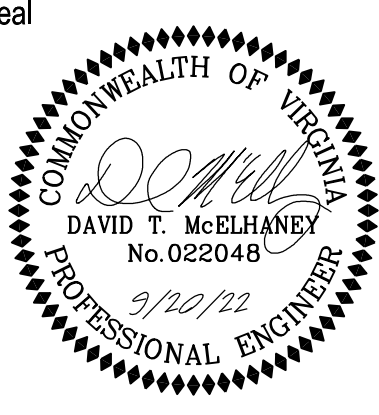
Drawing Number

17
Sheet 17 of 27



7712 Little River Turnpike
Annandale, Virginia 22003
TEL 703.642.8080 FAX 703.642.8251
www.urban-ld.com

Seal



Client

WOODBINE PROPERTY 1 LLC

1608 Route 88, Suite 301
Brick, NJ 08724

Contact: Peter Modri

Revision / Issue		
No.	Description	Date

Issue		
Date	Description	
6/3/2022	1ST SUBMISSION	
7/24/2022	1ST SUB-COMPLETENESS	
8/19/2022	1ST SUB-COMPLETENESS	
9/20/2022	1ST SUB-COMPLETENESS	

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By JL	Checked By DTM
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Project No.	ZP-13088
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Date	SEPT. 20, 2022
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Drawing Title	TREE PRESERVATION NOTES AND DETAILS
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Tree Preservation
Notes and Details

17
Sheet 17 of 27

ZP-13088

Urban, Ltd. - \\lupiter-101\Q DRIVE\JOBS\Woodbine\DSUP\16-Landscape.dwg [15 LANDSCAPE PLAN] September 20, 2022 - 2:29pm zcl



NOTES:

1. SITE MEETS CROWN COVERAGE ALLOWANCE WITHOUT BONUS CROWN COVERAGE ALLOWANCE FOR PRESERVATION, THEREFORE BONUS CROWN COVERAGE ALLOWANCE FOR PRESERVATION HAS NOT BEEN ASSESSED.
2. NO IRRIGATION IS SCHEDULED FOR INSTALLATION WITH THIS PLAN.

NOTE:

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.
ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

APPROVED

SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____

DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR _____

DATE _____

CHAIRMAN, PLANNING COMMISSION _____

DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____

DEED BOOK NO. _____

PAGE NO. _____



urban

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Seal

COMMONWEALTH OF VIRGINIA
DAVID T. McELHANE
No. 022048
9/20/22
PROFESSIONAL ENGINEER

Client
WOODBINE PROPERTY 1 LLC

1608 Route 88, Suite 301
Brick, NJ 08724

Contact: Peter Modri

Revision / Issue	
No.	Description

Issue	
Date	Description
6/3/2022	1ST SUBMISSION
7/21/2022	1ST SUB-COMPLETENESS
8/19/2022	1ST SUB-COMPLETENESS
9/20/2022	1ST SUB-COMPLETENESS

Project Name
WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN
DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By
JL

Checked By
DTM

Project No. ZP-13088

Date SEPT. 20, 2022

Drawing Title
LANDSCAPE
PLAN

Scale: 1" = 30'

Drawing Number
18
Sheet 18 of 27

ZP-13088

PLANT SCHEDULE														
May 31, 2022														
PLANT TYPE	PLAN INFORMATION		BOTANIC/COMMON NAME				SIZE	NOTES	CROWN COVER ALLOWANCE (CCA)		NATIVE PLANTS PROVIDED			
URBAN TREES	PLAN KEY	QUANTITY	GENUS	SPECIES	VAR./CULTIVAR/HYBRID	COMMON NAME	CALIPER/HEIGHT		CCA PER TREE (\$F)	TOTAL CROWN COVER (\$F)	LOCAL/	REGIONAL (#)	EASTERN U.S. (#)	TOTAL
	AR	2	Acer	rubrum		Red Maple	2"-3" cal./12-14 ft. ht.	B&B; symmetrical, single leader	1,250	2,500	2		0	2
	CR	2	Cornus	x rutgersensis	Rutgan	Stellar Pink Dogwood	1.5"-1.75" cal/6-10 ft. ht.	B&B; symmetrical, single leader (ROW tree)	0	0	0		0	0
	HC	2	Halesia	carolina	Jersey Belle	Jersey Belle Silverbell	1.5"-1.75" cal/6-10 ft. ht.	B&B; symmetrical, single leader (ROW tree)	0	0	0		2	2
	OV	2	Ostrya	virginiana		Hophornbeam	1.5"-1.75" cal/6-10 ft. ht.	B&B; symmetrical, single leader (ROW tree)	0	0	2		0	2
	TOTALS	8							URBAN TREE CCA:	2,500		4	2	6
STANDARD TREES	PLAN KEY	QUANTITY	GENUS	SPECIES		COMMON NAME	CALIPER/HEIGHT		CCA PER TREE (\$F)	TOTAL CROWN COVER (\$F)	LOCAL/	REGIONAL (#)	EASTERN U.S. (#)	TOTAL
	FG	2	Fagus	grandifolia		American Beech	2"-3" cal./12-14 ft. ht.	B&B; symmetrical, single leader	1250	2,500	2		0	2
	QP	2	Quercus	phellos		Willow Oak	2"-3" cal./12-14 ft. ht.	B&B; symmetrical, single leader	1,250	2,500	2		0	2
	LS	2	Liquidambar	styraciflua		Sweetgum	2"-3" cal./12-14 ft. ht.	B&B; symmetrical, single leader	1,250	2,500	2		0	2
	LT	2	Liriodendron	tulipifera		Tulip Tree	2"-3" cal./12-14 ft. ht.	B&B; symmetrical, single leader	1,250	2,500	2		0	2
	CC	2	Carpinus	carolina	J.N.Upright	Firespire American Hornbeam	1.5"-1.75" cal/6-10 ft. ht.	B&B; symmetrical, single leader	250	500	2		0	2
	AA	2	Amelanchier	arborea		Downey Serviceberry	1.5"-1.75" cal/6-10 ft. ht.	B&B, multistem, branching	500	1,000	2		0	2
TOTALS	12							STANDARD TREE CCA:	11,500		12	0	12	
DECIDUOUS SHRUBS	PLAN KEY	QUANTITY	GENUS	SPECIES	VAR./CULTIVAR/HYBRID	COMMON NAME	HEIGHT		CCA PER SHRUB (\$F)	TOTAL CROWN COVER (\$F)	LOCAL/	REGIONAL (#)	EASTERN U.S. (#)	TOTAL
	AM	3	Aronia	melanocarpa	Lowscape	Lowscape Black Chokeberry	18"-24" ht.		10	30	3		0	3
	CS	3	Cornus	stolonifera		Red osier dogwood	18"-24" ht.		25	75	3		0	3
	IV	2	Ilex	verticillata	Berry Poppins	Berry Poppins Winterberry	18"-24" ht.		25	50	2		0	2
	IM	1	Ilex	verticillata	Mr. Poppins	Mr. Poppins Winterberry	18"-24" ht.		25	25	1		0	1
	VD	3	Viburnum	dentatum		Arrowwood Viburnum	18"-24" ht.		25	75	3		0	3
	TOTALS	12							DECIDUOUS SHRUB CCA:	255		12	0	12
									TOTAL PROPOSED CCA (\$F):		14,255	100.0% 0.0% 100.0%		
PERENNIALS, FERNS, ORNAMENTAL GRASSES	PLAN KEY	QUANTITY	GENUS	SPECIES	VAR./CULTIVAR/HYBRID	COMMON NAME	SIZE/CONT.		N/A		LOCAL/	REGIONAL (#)	EASTERN U.S. (#)	TOTAL
	CP	84	Carex	pennsylvania		Pennsylvania Sedge	1 qt.	12" o.c.			84		0	84
	MD	35	Monarda	didyma		Scarlet Beebalm	1 qt.	24" o.c.			35		0	35
	TOTALS	119									119		0	119
LAWN	PLAN KEY	QUANTITY	GENUS	SPECIES	VAR./CULTIVAR/HYBRID	COMMON NAME	SIZE/CONT.				LOCAL/	REGIONAL (#)	EASTERN U.S. (#)	TOTAL
	SOD	681 s.y.	-	-		Grass Sod: Tall Fescue/Kentucky Blue Grass Blend	90% (proportion by weight) Turf Type Tall Fescues: One or any combination of Turf Type Tall Fescues recommended by Virginia Tech and the Virginia Cooperative Extension Service 10% (proportion by weight) Kentucky Blue Grass: One or any combination of Kentucky Blue Grass recommended by Virginia Tech and the Virginia Cooperative Extension Service All sod shall be VCIA 'Certified'. Sod shall be cut with clean edges at a uniform thickness of 1/2 inch plus or minus 1/4 inch.			0.0%		0.0%	0.0%	

URBAN TREE TABULATIONS					
PLAN KEY	QUANTITY	PLAN LOCATION	PROJECTED 20 YR. CANOPY* (PER TREE)	IMPERVIOUS AREA UNDER CANOPY (PER TREE)	IMPERVIOUS AREA GREATER THAN 50% OF PROJECTED 20 YR. CANOPY? (Y/N)
OV	2	STREET TREE	500 SF	290 SF	Y
HC	2	STREET TREE	250 sf	136 SF	Y
CR	2	STREET TREE	250 sf	136 SF	Y
AA	2	COURTYARD	500 SF	79 SF	N
CC	2	COURTYARD	500 SF	25 SF	N
QP	2	FRONT LAWN	1,250 SF	247 SF	N
AR	2	PARKING ISLAND	1,250 SF	1103 SF	Y
FG	2	PARKING ISLAND	1,250 SF	551 SF	N
LS	2	FRONT LAWN	1,250 SF	0	N
LT	2	FRONT LAWN	1,250 SF	0	N
TOTAL URBAN TREES					
8					

**Refer to Landscape Guidelines Chapter 3 Canopy Coverage*

Biodiversity Tabulations							
Trees (Urban and Standard)							
Total Number of Trees Proposed: 20							
Genus	Qty.	Percent of Total Proposed	Maximum Percent Allowed	Species	Qty.	Percent of Total Proposed	Maximum Percent Allowed
Acer	2	10.0%	33%	rubrum	2	10.0%	10%
Cornus	2	10.0%	33%	x rutgersensis	2	10.0%	10%
Halesia	2	10.0%	33%	carolina	2	10.0%	10%
Ostrya	2	10.0%	33%	virginiana	2	10.0%	10%
Quercus	2	10.0%	33%	phellos	2	10.0%	10%
Fagus	2	10.0%	33%	grandifolia	2	10.0%	10%
Liquidambar	2	10.0%	33%	styraciflua	2	10.0%	10%
Liriodendron	2	10.0%	33%	tulipifera	2	10.0%	10%
Carpinus	2	10.0%	33%	carolina	2	10.0%	10%
Amelanchier	2	10.0%	33%	arborea	2	10.0%	10%
Shrubs							
Total Number of Shrubs Proposed: 12							
Genus	Qty.	Percent of Total Proposed	Maximum Percent Allowed	Species	Qty.	Percent of Total Proposed	Maximum Percent Allowed
Aronia	3	25%	N/A	melanocarpa	3	25%	N/A
Cornus	3	25%	N/A		3	25%	N/A
Ilex	3	25%	N/A	verticillata	3	25%	N/A
Viburnum	3	25%	N/A	dentatum	3	25%	N/A
Note: All proposed shrubs are within urban bioretention planters and per Landscape Design Guidelines Chapter 3							

Note: All proposed shrubs are within urban bioretention planters and per Landscape Design Guidelines Chapter 3

NATIVE PLANT TABULATIONS										
			MARCH 2, 2019 – JANUARY 1, 2020			JANUARY 2, 2020 – JANUARY 1, 2024			BEGINNING JANUARY 2, 2024	
PLANT TYPE	QUANTITY	NATIVE TYPE	REQUIRED	PROVIDED		REQUIRED	PROVIDED		REQUIRED	PROVIDED
			%	QTY.	%	%	QTY.	%	%	QTY.
Urban Trees	8	Regional/Local	10%			15%	4	50.0%		
		Total Natives	25%			25%	6	75.0%	50%	
Standard Trees	12	Regional/Local	15%			25%	12	100.0%	40%	
		Total Natives	40%			60%	12	100.0%	80%	
Evergreen Shrubs	0	Regional/Local	5%			8%			10%	
		Total Natives	20%			30%			40%	
Deciduous Shrubs	12	Regional/Local	10%			15%	12	100%	20%	
		Total Natives	40%			60%	12	100%	80%	
Groundcovers		Regional/Local	5%			10%			10%	
		Total Natives	10%			20%			20%	
Perennials, Ferns, Ornamental Grasses		Regional/Local	10%			15%			25% (perennials) 30% (ferns & grasses)	
		Total Natives	25%			40%			60% (perennials) 80% (ferns & grasses)	
Vines		Total Natives	80%			100%			100%	
TOTALS										
TOTAL PLANTS SPECIFIED		TOTAL SUM OF REGIONAL/LOCAL NATIVE PLANTS				TOTAL SUM OF NATIVE PLANTS				
32		28				30				
		87.5%				93.8%				

NOTES:

1) Percentages apply to the total quantity of each plant type specified on Completeness/Preliminary Plans and Final #1 Grading Plans submitted during the listed time frames.

2) Total Natives is the sum of Eastern U.S. Native, Regionally Native, and Locally Native vegetation specified on the plans for each plant type.

3) Non-native vegetation for the purposes of providing edible fruits, seeds, or nuts may be planted and shall not be calculated in the above-stated requirements for native species regardless of plant type.

NOTES

1) Percentages apply to the total quantity of each plant type specified on Completeness/Preliminary Plans and Final #1 Grading Plans submitted during the listed time frames.

2) Total Natives is the sum of Eastern U.S. Native, Regionally Native, and Locally Native vegetation specified on the plans for each plant type.

3) Non-native vegetation for the purposes of providing edible fruits, seeds, or nuts may be planted and shall not be calculated in the above-stated requirements for native species regardless of plant type.

CROWN COVER TABULATIONS	
TOTAL SITE AREA (SF)	167,165
25% CROWN COVER REQUIRED (SF)	41,791
EXISTING CROWN COVER (SF)	45,500
REMOVED CROWN COVER (SF)	14,231
PRESERVED CROWN COVER (SF)	
Crown Cover from Preserved Trees	31,269
Crown Cover from Preserved Shrubs	0
PROPOSED CROWN COVER (SF)	
Crown Cover from Proposed Trees	14,000
Crown Cover from Proposed Shrubs	255
TOTAL PROPOSED CROWN COVER (SF)	14,255
TOTAL CROWN COVER PROVIDED (SF)	45,524
TOTAL CROWN COVER PROVIDED (%)	27.2%

Landscape Islands in Parking Areas Tabulation

Spaces to be counted =	154	Spaces
Trees Required (1/10 Spaces) =	15	Trees
Qty Provided=	9	Trees

Street Tree Tabulations: King Street

Street Trees Required:	Lot Frontage= 167 L
Qty Required	6
Street Trees Provided:	
Proposed Street Trees	6
Total	6

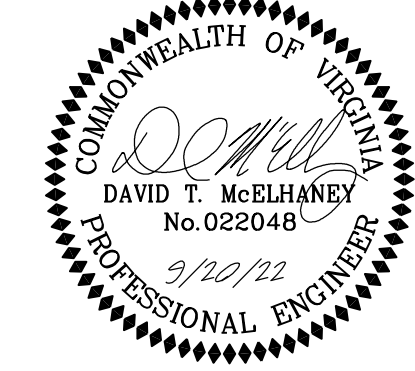
Note: Existing Tree 101A is less than 12' from the existing utility pole to remain and has been excluded from street tree computations.



urban

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Seal



Client

WOODBINE PROPERTY 1 LLC

1608 Route 88, Suite 301
Brick, NJ 08724

Contact: Peter Modri

Revision / Issue

No.	Description	Date
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Issue

Date	Description
6/3/2022	1ST SUBMISSION
7/21/2022	1ST SUB.-COMPLETENESS
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Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By H	Checked By DTM
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Project No. ZP-13088

Date SEPT. 20, 2022

Drawing Title

LANDSCAPE
COMPUTATIONS

Scale: 1" = 30'

Drawing Number

19

Sheet 19 of 27

Sheet 19 of 27

ZP-13088

Urban, Ltd. - \\lupier-101\Q_DRIVE\JOBS\Woodbine\DSUP\16-Landscape.dwg [LANDSCAPE NOTES AND DETAILS] September 20, 2022 - 2:30pm zcl

PLANTING SPECIFICATIONS

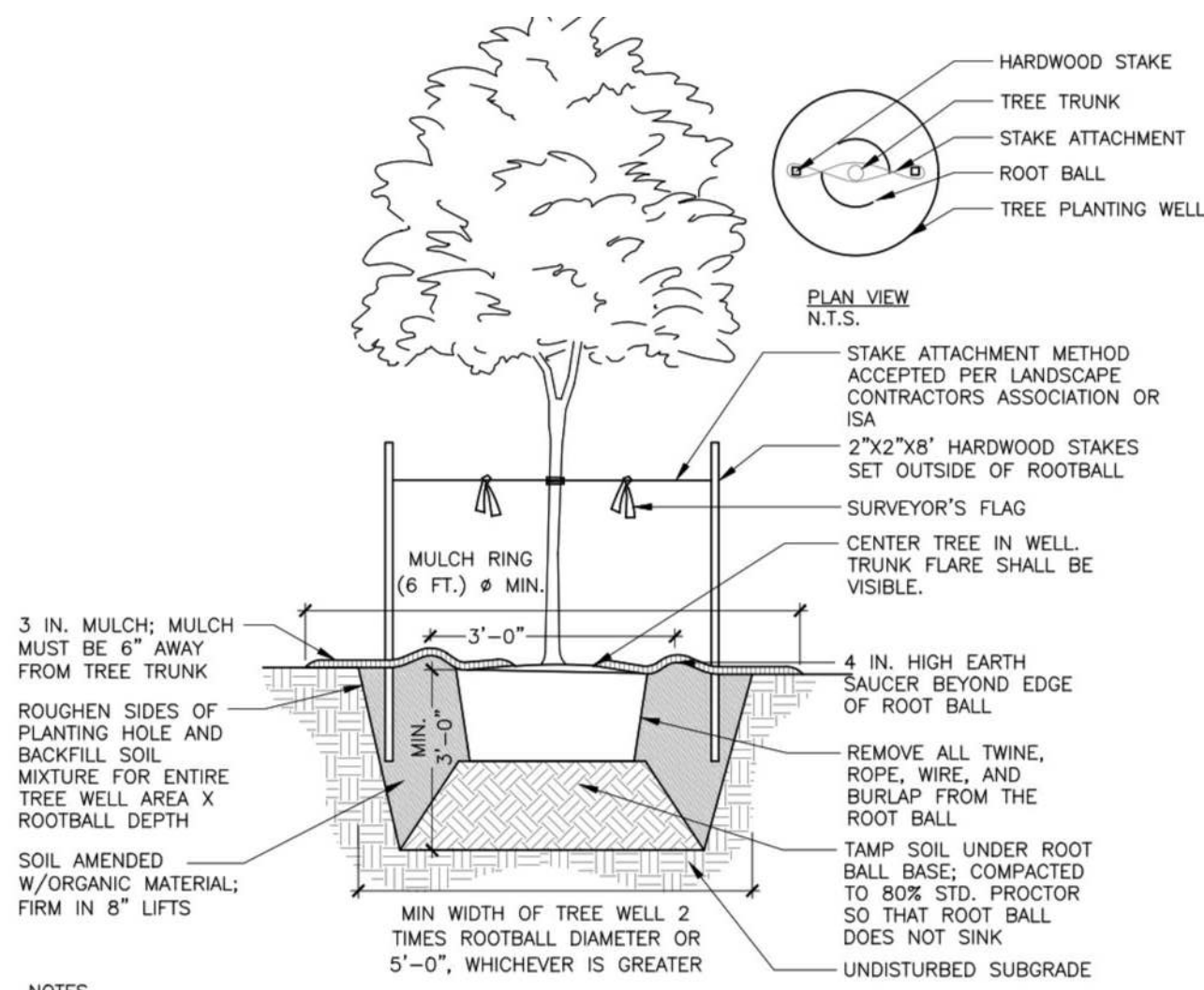
- General Conditions: The intent of this landscape plan is to renovate / replace the existing landscape plantings on the office building property. The majority of the landscape plantings to be provided with this plan are to be installed in existing planting areas over an existing parking garage roof slab, which extends nearly to the property lines on all sides. Existing planting soil depths over the garage range from less than one foot to approximately three feet in depth. As such, Contractor shall:
 - Take every precaution to prevent damage to the top of the existing roof slab and waterproofing.
 - Motorized machinery shall not be operated across landscape and hardscape areas, except for on existing vehicular areas. Materials shall be hand carried or transported by non-mechanized carts or wheelbarrows across the rooftop or may be lifted over and in from vehicular access ways and non-roof areas to the planting locations.
 - Excavation for planting shall be done by hand with care to prevent damage to the underlying rooftop slab, waterproofing and any subsurface utility lines including electrical conduits, irrigation lines, drains or other subsurface items.
 - Should the waterproofing be damaged, cut or compromised, contractor shall provide repairs prior to covering or filling excavations or planting as directed by the architect.
 - Planting soil depths shall not be increased beyond what is shown on the plans without confirmation of by a structural engineer that additional planting soil weight can be safely accommodated.
- Quality Assurance:
 - Landscape planting and related work shall be performed by a firm with a minimum of five years' experience specializing in this type and scale of work.
 - Applicable Specifications and Standards:

City of Alexandria Zoning Ordinance,
City of Alexandria Landscape Guidelines,
American Joint Committee on Horticultural Nomenclature,
American Standard for Nursery Stock, ANSI-Z60.1, latest edition,
American Association of Nurserymen,
Landscape Specification Guidelines for Baltimore Washington Metropolitan Areas, latest edition,
Landscape Contractors Association.
 - Submittals: Submit the following to the Owner's Representative prior to beginning work:

Copies of manufacturer's data for all materials required.
Samples of required mulch material.
Chemical and mechanical analysis and samples of all existing soil, and proposed topsoil, organic matter, and soil mixes to be used.
Analyses shall included recommended amendments for landscape tree and shrub plantings.
Planting schedule showing the dates (earliest and latest) proposed for each type of plant specified, schedule each type of planting within the normal planting seasons for such work. Include requests for any proposed changes in the approved planting season and a list of proposed sources for all plant materials.
List of proposed sources for all plant material.
 - Delivery, Storage, and Handling:
 - Deliver packaged materials in manufacturer's unopened containers or bundles, fully identified with name, brand, type, weight, and analysis. Store packaged materials in such a manner as to prevent damage or intrusion of foreign matter.
 - Dig balled and burlapped (B&B) plants with firm, natural balls of earth, of a diameter not less than that shown on the plant list nor less than recommended by the American Standard for Nursery Stock, and of sufficient depth to include the fibrous and feeding roots. B&B plants will not be accepted if the ball is cracked or broken before or during planting operation.
 - Deliver trees and shrubs after preparations for planting have been completed. Do not bend, bind, or tie trees or shrubs in such a manner as to damage bark, break branches or destroy natural shape. If planting is delayed more than 6 hours after delivery, set trees and shrubs in shade, protect from weather and mechanical damage, and keep roots moist by heeling-in bare root stock and covering plant balls with soil, peat moss or other acceptable material for balled stock. Plants shall be kept well watered and shall not remain unplanted for longer than ten (10) days after delivery.
 - Plants shall be lifted and handled from the bottom of the ball only.
 - Do not remove container-grown stock from containers until planting time.
 - Planting shall be done only within the following dates except as approved by Owner.
 - Deciduous trees and shrubs: March 1 to June 15 and September 15 to November 15.
 - Evergreen trees, shrubs, and vines: March 1 to June 15 and September 15 to November 15.
 - All plant material shall be guaranteed by the Contractor for a period of 1 year from the date of final acceptance to be in good, healthy, and flourishing condition.
 - Materials for Planting:
 - Mulch shall be double shredded hardwood bark. Submit sample for approval. Material shall be mulching grade, uniform in size and free from foreign matter.
 - Leaf compost shall be screened and free of trash.
 - Coir Mesh (geo-textile blanket) shall be natural fiber geo-textile woven mesh composed of 100% coir (spun from coconut fiber) yarn, containing 45% lignin and 55% cellulose. Opening in the mesh shall be 1 inch square (nominal) by .3 inches thick. Yarn count per yard 10. shall be 42 warp x 37 weft. Fabric tensile strength shall be 432 lb/ft x 138 lb/ft.
 - 12 inch hardwood stakes shall be Eco-STAKES by North American Green or equal.
 - Fertilizer shall be commercial fertilizer for ornamental trees, shrubs, and ground cover. Fertilizer shall be provided in accordance with the recommendations of the soil tests. As a basis for bidding, Contractors shall assume a fertilizer with an analysis of 10% Nitrogen, 6% Phosphorus, and 4% Potassium. This fertilizer shall be granular with a minimum of 50% of the total Nitrogen in organic form.
 - Topsoil: If required, shall be a fertile, friable natural loam, uniform in composition, free of stones, lumps, plants and their root debris and other extraneous matter of 1 inch in diameter, and capable of sustaining vigorous plant growth. Topsoil shall have a pH range of 6.0 to 6.5, with a pH range of 5.0 to 5.5 for plants requiring acid soils. Contractor shall have soil tested at an approved agricultural laboratory, and submit results and recommendations for acceptance by the Owner before providing topsoil for use.
 - Composted pine bark fines shall be approved composted ground pine bark, having no particle with a dimension greater than ¾ inch.
 - Soil mix shall consist of ¾ existing soil and ¼ composted pine bark fines or other approved organic matter, by volume.
 - Lightweight soil mix for areas over the roof structure shall consist of 32% Topsoil, 25% Composted Pine Bark Fines, 12% Perlite, 12% Sand and 12% Humus. Mix shall have a pH of 5.5 to 6.5, and an organic matter content of between 3 and 5%. Mix shall contain a maximum of 55% sand. The maximum saturated density of the mix shall be 92 lbs./cubic foot, with testing done in accordance with ASTM C29.
 - Plant Materials (Refer to the PLANT LIST on the drawings for specific types and quantities of plants):
 - Plants shall be nursery grown in accordance with good horticultural practices. Plants shall either be obtained from local nurseries and/or others, which have soil (heavy clay) and climatic conditions similar to those in the locality of the project. Provenance of plant material must be from within the following states: Virginia, Maryland, District of Columbia, Pennsylvania, Delaware, New Jersey,

- West Virginia, North Carolin, and/or eastern Tennessee. Plant material grown in sandy, well-drained soil will not be approved for this project. Wild-collected plant material is not acceptable except in the case of transplanted material within the project site.
- Plants shall be true to species and variety and unless specifically noted otherwise, all plants shall be of specimen quality, exceptionally heavy, symmetrical, tightly-knit plants, so trained or favored in their development and appearance as to be superior in form, number of branches, compactness, and symmetry.
 - Plants shall be sound, healthy, and vigorous, well branched and densely foliated when in leaf, free of disease, insect pests, eggs or larvae and shall have healthy, well-developed root systems. They shall be free from physical damage or any conditions that would prevent thriving health and the desired appearance.
 - Trees which have a damaged or crooked leader, or multiple leaders, unless specified in the plant list, will be rejected. Trees with abrasion of the bark, sun scald, disfiguring knots, or pruning cuts more than 1 ¼ inch diameter which have not completely callused will be rejected.
 - Plants shall conform to measurements specified in the plant schedules except that plants larger than specified may be used if acceptable to the Landscape Architect or owner. Use of such plants shall not increase the contract price. If larger plants are accepted, the root ball shall be sized for the larger plant.
 - Caliper Measurement: Shall be taken at a point on the trunk 6 inches above the natural ground line for trees up to 4 inches diameter, and at a point 12 inches above the natural ground line for trees over 4 inches diameter.
 - Plants shall be measured when branches are in the normal position. Height and spread dimensions specified refer to the main body of the plant and not from branch tip to tip.
- Preparation of Areas for Planting:
- Stake out all plant material beds and tree locations for approval of Landscape Architect or owner prior to any bed preparation.
 - Shrubs, Shrub Beds, and Hedges on slopes of 3:1 or less: Loosen soil in the area of entire plant bed or hedgerow to a depth of 6 inches minimum with a rototiller. Add soil amendments and rototill again to a depth of 6 inches. Excavate plant pit and hedge trenches a minimum of 12 inches wider than the root ball or bare root on all sides. The depth shall be sufficient to allow shrub to sit 2 inches above finished grade.
 - Shrub Beds on Slopes of greater than 3:1: Amend soil as above. Spread coir mesh across entire area of shrub bed in steep slope area per manufacturer's specifications. Excavate plant pit through coir mesh a minimum of 12 inches wider than the root ball or bare root on all sides. The depth shall be sufficient to allow shrub to sit 2 inches above finished grade.
 - Ground Covers and Seasonal Plantings: Loosen soil to a depth of 4 inches minimum with a rototiller. Add amendments to the soil and/or specified planting soil mix and rototill again to a depth of 6 inches. Install plants directly into prepared bed, and firm the soil mix around them.
 - Groundcover on Slopes of greater than 3:1: Amend soil as above or by hand as required. Spread leaf compost to 2 inches in depth immediately prior to placing coir mesh. Spread coir mesh across entire area of groundcover bed in steep slope area per manufacturer's specifications. Each ground cover shall be placed in an individual planting pit planted through the biodegradable netting.
 - Trees: Excavate plant pit walls vertical and scarify sides. Plant pit depth shall be sufficient to allow 2 inch maximum of root ball to be above finished grade. Tree pit shall be 12 inches wider than the ball on all sides.
- Erosion Control Material and Planting on Steep Slopes:
- Material meeting the requirements of the specifications shall be installed and maintained on the designated areas as shown and specified. The areas to be covered shall be prepared and fertilized as specified before the erosion material is placed. Immediately prior to the planting operations, the material shall be laid evenly, smoothly, and in contact with the soil throughout.
 - Lay erosion control materials with 1 inch nominal openings in accordance with manufacturer's instructions. Unroll in direction of water flow. Overlap sheets by at least 6 inches. Where strips are to be spliced lengthwise, overlap strips by 8 inches. Upgrade section shall be on top of all splices.
 - The Contractor shall maintain and protect the erosion control material until the final inspection. Maintenance shall consist of repairs made necessary by erosion, wind, or any other cause. Following the restoration of damaged areas under planting and turf guarantee and establishment requirements for applicable underlying items, the erosion control material shall be repaired or replaced to meet the original requirements and maintained until the final inspection.

- Plant Installation:
- Excavation: Excavate all tree pits and planting areas to the width and depth shown in the planting details.
 - Center plant in pit and orient for the best visual effect. Set plants plumb and hold rigidly in position until soil has been tamped firmly around root ball.
 - Mix any soil amendments and fertilizers with existing soil in accordance with soil recommendations for plant type based upon soil test results as approved by Owner. Delay mixing of fertilizer if planting will not occur within a few days.
 - Backfill pit with planting soil mix, consisting of 2/3 existing soil and 1/3 organic material, and fertilizer, until two-thirds full. Tamp and water each layer thoroughly to settle soil. After soil settles, fill pit with remaining planting soil mix, water and shape surface so that it slopes to drain from trunk and matches ground at edge of planting pit.
 - Mulch within 48 hours after planting and after applying a pre-emergent herbicide, except ground cover areas (which shall have organic material placed before planting) with a 3 inch layer of mulch immediately after planting. Keep mulch out of the crowns of shrubs and off buildings, sidewalks, light standards, and other structures.
 - All planting areas shall conform to specified grades after full settlement has occurred and mulch has been applied. Provide saucers around tree pits as shown on planting details. Remove all tags, labels, strings, etc. from all plants.
- Installation of Planting Soil Mix Over Structure
- Coordinate installation of lightweight planting soil mix with the installation of drains, drain pipes, waterproofing, protection board, drainage board and filter fabric. Do not begin any planting soil backfilling operations until irrigation system specified elsewhere is installed. Do not place landscapefill until planters have been approved by Owner and authorization to proceed has been given. Do not damage drainage system and ensure drains are covered with filter fabric when placing soil mix so they do not become clogged.
 - Install specified soil in 12" - 18" maximum lifts. Compact each lift sufficiently to prevent settling but not enough to prevent the movement of water and feeder roots through the soil. The soils in each lift should feel firm to the foot in all areas and only make slight heel prints.
 - During placement of lightweight planting soil mix over structure, contractor shall take great care to ensure proper drainage with said soil after placement and compaction.
 - When new lightweight planting soil is added to areas of existing soil, contractor shall ensure that new soil is progressively mixed to existing soil so as not have distinct separate/divided soil lenses.
- Permanent Sodding for Grass Lawn Areas:
- Unless otherwise specified by these plans, all disturbed areas within the limits of clearing and grading shall be planted as lawn with permanent grass lawn sodding.
 - Lawn sod varieties shall be an improved variety turf-type tall fescue blend. The Landscape Contractor shall select from varieties approved by the Maryland or Virginia Department of Agriculture.
 - Refer to the Virginia Erosion and Sediment Control Handbook for guidelines, specifications, and installation techniques of sod installation.
 - Maintenance shall begin immediately after each lawn area is installed and shall continue until 90 days after final acceptance of the last section.

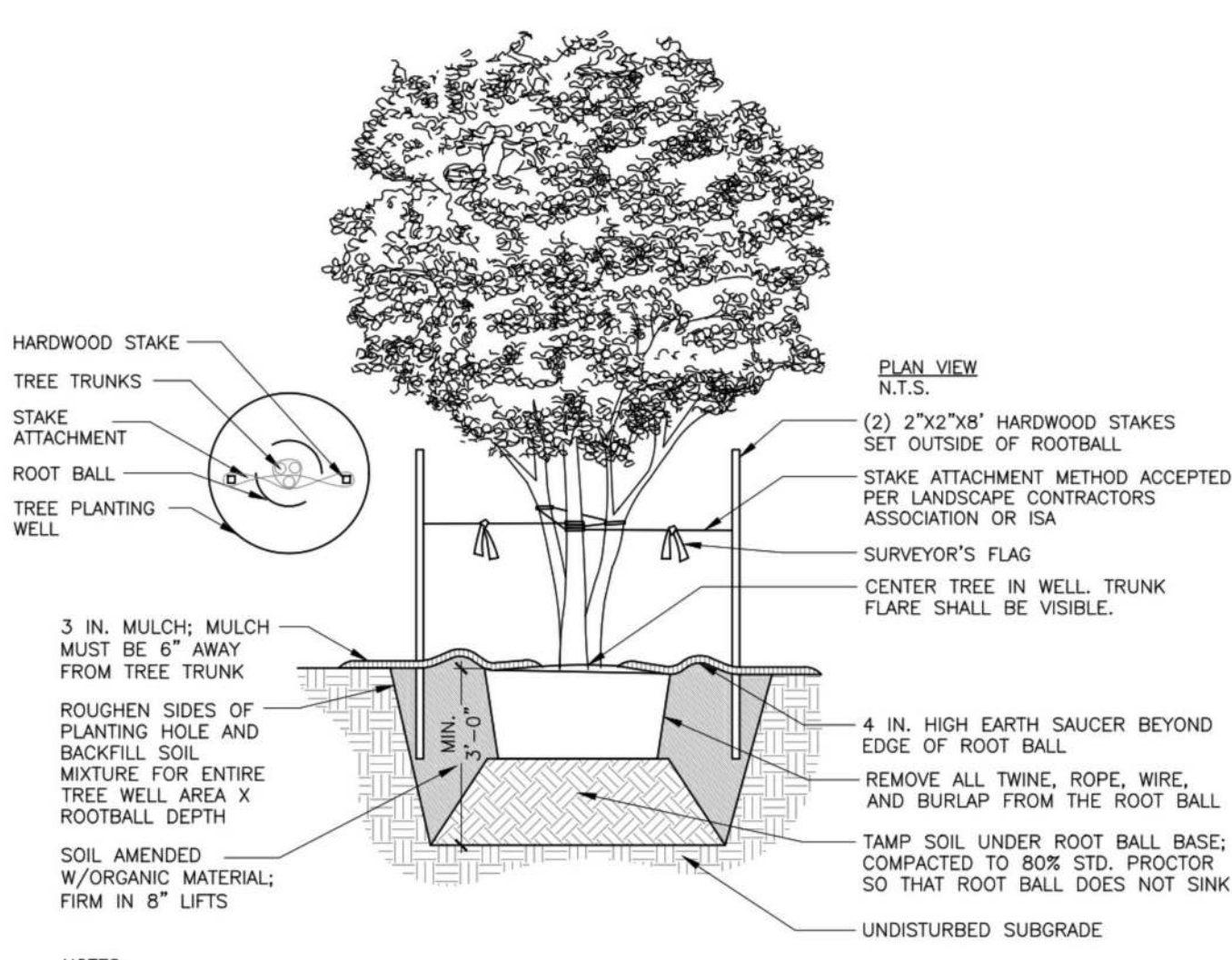


NOTES

- AT PLANTING PRUNE ONLY CROSSING LIMBS, BROKEN OR DEAD BRANCHES, AND ANY BRANCHES THAT POSE A HAZARD TO PEDESTRIANS PER ANSI STANDARDS A300. DO NOT PRUNE INTO OLD WOOD ON EVERGREENS.
- CONTRACTOR SHALL MAXIMIZE EXCAVATED AREA FOR TREE WELL WITHOUT ADVERSELY IMPACTING ADJACENT SITE FEATURES
- UNLESS OTHERWISE DIRECTED BY PROJECT SPECIFICATIONS OR CITY STAFF, SOIL MIXTURE SHALL BE CLEANED OF DEBRIS, AND MEET SOIL COMPOSITION REQUIREMENTS OF CITY OF ALEXANDRIA LANDSCAPE GUIDELINES.
- TREES PLANTED WITHOUT THE TRUNK FLARE VISIBLE WILL BE REJECTED.
- ALL PLANTS MUST BE WATERED AT INSTALLATION AND AGAIN WITHIN 48-HOURS OF INSTALLATION, ESTABLISHMENT WATERING SHALL BE PER THE SPECIFICATIONS ON ALL DETAILS.
- STAKES WILL BE INSTALLED USING ARBORICULTURE PRACTICES, TREES SHALL STAND PLUMB AFTER STAKING.
- INSTALLATION WILL INCLUDE THE REMOVAL OF ALL STAKING MATERIAL ONE YEAR AFTER INSTALLATION. ANY HOLES LEFT BY REMOVING STAKING SHALL BE FILLED WITH APPROVED TOPSOIL / BACKFILL MIXTURE.
- CONTRACTOR SHALL USE GALVANIZED EYESCREW & TURNBUCKLE INSTEAD OF ARBOR TIE ONLY FOR TREES OF SIGNIFICANT SIZE AS DIRECTED BY CITY STAFF.

1 DECIDUOUS TREE PLANTING

NTS



NOTES

- AT PLANTING PRUNE ONLY CROSSING LIMBS, BROKEN OR DEAD BRANCHES, AND ANY BRANCHES THAT POSE A HAZARD TO PEDESTRIANS PER ANSI STANDARDS A300. DO NOT PRUNE INTO OLD WOOD ON EVERGREENS.
- CONTRACTOR SHALL MAXIMIZE EXCAVATED AREA FOR TREE WELL WITHOUT ADVERSELY IMPACTING ADJACENT SITE FEATURES
- UNLESS OTHERWISE DIRECTED BY PROJECT SPECIFICATIONS OR CITY STAFF, SOIL MIXTURE SHALL BE CLEANED OF DEBRIS, AND MEET SOIL COMPOSITION REQUIREMENTS OF CITY OF ALEXANDRIA LANDSCAPE GUIDELINES.
- TREES PLANTED WITHOUT THE TRUNK FLARE VISIBLE WILL BE REJECTED.
- ALL PLANTS MUST BE WATERED AT INSTALLATION AND AGAIN WITHIN 48-HOURS OF INSTALLATION, ESTABLISHMENT WATERING SHALL BE PER THE SPECIFICATIONS ON ALL DETAILS.
- STAKES WILL BE INSTALLED USING ARBORICULTURE PRACTICES, TREES SHALL STAND PLUMB AFTER STAKING.
- INSTALLATION WILL INCLUDE THE REMOVAL OF ALL STAKING MATERIAL ONE YEAR AFTER INSTALLATION. ANY HOLES LEFT BY REMOVING STAKING SHALL BE FILLED WITH APPROVED TOPSOIL / BACKFILL MIXTURE.
- CONTRACTOR SHALL USE GALVANIZED EYESCREW & TURNBUCKLE INSTEAD OF ARBOR TIE ONLY FOR TREES OF SIGNIFICANT SIZE AS DIRECTED BY CITY STAFF.

2 MULTI-STEM TREE PLANTING

NTS

LANDSCAPE PLAN NOTES

- The property owner and/or applicant, specifier, contractor and installer of plant material are responsible for understanding and adhering to the standards set forth in the most recent version of the city of Alexandria Landscape Guidelines and applicable conditions of approval. All questions regarding application of, or adherence to, the standards and/or conditions of approval shall be directed to the city prior to commencement of demolition, construction, or any land disturbing activity.
- The city-approved city-approved landscape plan submission, including plant schedule, notes and details shall be the document used for installation purposes and all procedures set forth in the landscape guidelines must be followed.
- The contractor contractor shall not interfere with any tree protection measures or impact any existing vegetation identified to be preserved per the approved tree and vegetation protection plan.
- Any changes, alterations or modifications to the site conditions that affect vegetation protection zones will require an amendment to the approved tree and vegetation protection plan and/or details.
- Installation of plant material may only occur during the planting seasons identified in the landscape guidelines.
- In lieu of more strenuous specifications, all landscape related work shall be installed and maintained in accordance with the current and most up-to-date edition (at time of construction) of Landscape Specification Guidelines as produced by the Landscape Contractors Association of Maryland, District of Columbia and Virginia: Gaithersburg, Maryland.
- Substitutions to the approved plant material shall not occur until written approval is provided by the City.
- Maintenance for this project shall be performed by the owner, applicant, successor(s) and/or assign(s) in perpetuity and in compliance with City of Alexandria Landscape Guidelines and as conditioned by project approval, as applicable.
- The approved method(s) of protection must be in place for all vegetation to be preserved on-site and adjacent to the project site pursuant to the approved tree and vegetation protection plan and details prior to commencement of demolition, construction, or any land disturbance. The applicant shall notify the Planning & Zoning (P&Z) project manager once the tree protection methods are in place. No demolition, construction, or land disturbance may occur until an inspection is performed by the City and written confirmation is provided by the City which verifies correct installation of the tree protection measures.
- The applicant must contact the P&Z project manager prior to commencement of landscape installation/planting operation to schedule a pre-installation sheling. The meeting should be held between the applicant's general contractor, landscape contractor, landscape architect, the P&Z project manager and the City Arborist (as applicable) to review the scope of installation procedures and processes during and after installation.
- The following information shall be provided to the P&Z project manager at least five (5) business days prior to the landscape pre-installation meeting:
 - a letter that certifies that the project landscape architect performed pre-selection tagging for all trees proposed within the public right of way and on public land prior to installation. This letter must be signed and sealed by the project landscape architect, and
 - 2) a copy of the soil bulk density test report verifying that maximum compression rates are met.
- All construction waste shall be removed prior to planting.
- As-built drawings for this landscape and/or irrigation/water management system will be provided in compliance with City of Alexandria Landscape Guidelines, the City Code of Ordinances, and all applicable plan preparation checklists. As-built drawings shall include clear identification of all variation(s) and changes from approved drawings including location, quantity and specification of all project elements.
- Areas of bare soil will not be accepted. Mulched areas and planting areas shall be weed free upon acceptance of the project by the City.

NOTE:

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS. THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

APPROVED

SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR

DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR

DATE

CHAIRMAN, PLANNING COMMISSION

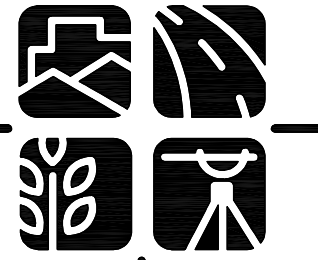
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DATE RECORDED

INSTRUMENT NO.

DEED BOOK NO.

PAGE NO.



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Seal



Client

WOODBINE PROPERTY 1 LLC

1608 Route 88, Suite 301
Brick, NJ 08724

Contact: Peter Modri

Revision / Issue

No. Description Date

Issue

Date	Description
6/3/2022	1ST SUBMISSION
7/21/2022	1ST SUB-COMPLETENESS
8/19/2022	1ST SUB-COMPLETENESS
9/20/2022	1ST SUB-COMPLETENESS

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By

Checked By

JL DTM

Project No.

ZIP-13088

Date

SEPT. 20, 2022

Drawing Title

LANDSCAPE
NOTES
AND
DETAILS

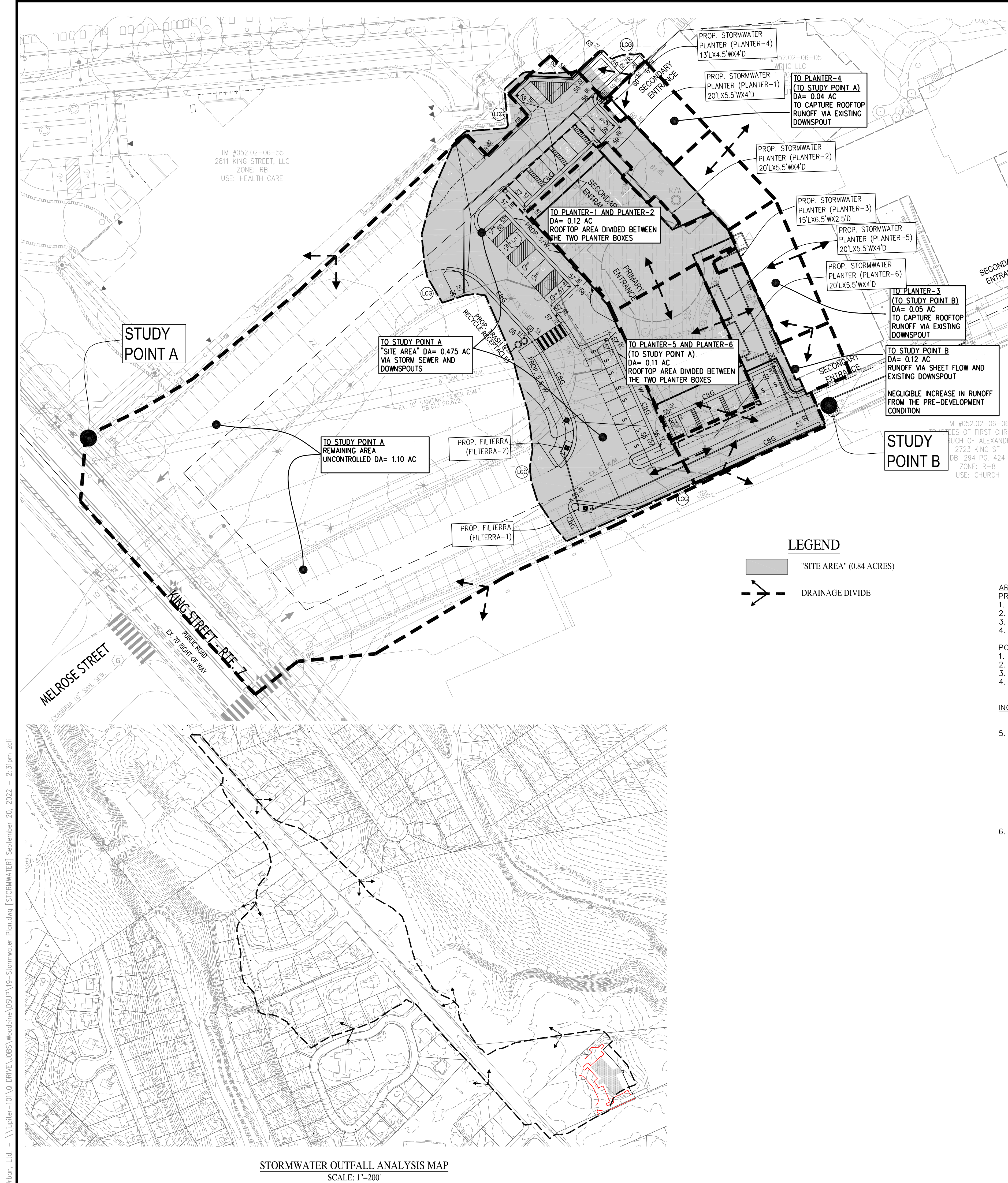
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Drawing Number

20

Sheet 20 of 27

ZIP-13088



STORM WATER MANAGEMENT/BMP NARRATIVE

THE "SITE AREA", TO BE UTILIZED FOR WATER QUALITY PURPOSES, IS DEFINED AS THE DISTURBED AREA AS WELL AS THE FRONT SIDE OF THE EXISTING BUILDING TO THE NORTHEAST OF THE SITE AS SHOWN ON THIS SHEET. THIS AREA IS CALCULATED TO BE 0.83 ACRES. FOR WATER QUANTITY PURPOSES, THE TOTAL DRAINAGE AREA TO THE RESPECTIVE STUDY POINT IS ANALYZED IN THE PRE- AND POST-DEVELOPMENT CONDITION.

THE 0.83 AC SITE IS LOCATED ON THE EAST SIDE OF KING STREET ABOUT 750' NORTH OF ITS INTERSECTION WITH JANNEY'S LANE. THE SITE IS LOCATED IN TAYLOR RUN WATERSHED AND HAS THE HYDROLOGIC SOIL GROUP D. SITE RUNOFF FROM THE PROPOSED IMPROVEMENTS WILL FOLLOW THE EXISTING DRAINAGE DIVIDES OF THE SITE, RESULTING IN TWO (2) CONCENTRATED OUTFALL POINTS (STUDY POINT A AND STUDY POINT B). THIS CONCEPT PLAN PROPOSES CONSTRUCTION OF A THREE STORY REHABILITATION FACILITY, PARKING AND DRIVE AISLES. THE PROPOSED IMPROVEMENTS RESULT IN A SLIGHT INCREASE IN IMPERVIOUS AREA AS WELL AS OUTFALLS INTO A MANMADE SYSTEM AT BOTH STUDY POINTS. THEREFORE, CHANNEL PROTECTION WILL BE ACHIEVED PER 13-109.F.1.a.i AND FLOOD PROTECTION PER 13-109.F.2.a.i/ii.

STUDY POINT A:

A PORTION OF THE RUNOFF TO STUDY POINT A WILL BE COLLECTED INTO THREE (3) BMP PLANTER BOX FACILITIES (PLANTER-1 AND PLANTER-2, AND PLANTER-3) TO CAPTURE A LARGE PORTION OF THE ROOF RUNOFF FROM THE PROPOSED BUILDING, AS SHOWN ON THE MAP ON THIS SHEET. THE PLANTER BOX FACILITIES WILL OUTFALL VIA UNDERDRAIN TO THE EXISTING GRASS AREA TO THE WEST OF THE PROPOSED IMPROVEMENTS. THE THREE (3) PLANTER BOX FACILITIES ARE DESIGNED TO MEET WATER QUALITY REQUIREMENTS FOR THE "SITE AREA" AS WELL AS PROVIDE DETENTION CAPABILITIES TO ACHIEVE THE CHANNEL AND FLOOD PROTECTION REQUIREMENTS. FURTHERMORE, TWO (2) FILTERRA DEVICES (FILTERRA-1 AND -2) ARE PROPOSED TO MEET ADDITIONAL WATER QUALITY REQUIREMENTS. THE FINAL ANALYSIS WILL RESULT IN A DECREASED RUNOFF OF THE 10-YEAR STORM FROM THE PRE-DEVELOPMENT CONDITION PER 13-109.F.1.g.i. ONCE THE RUNOFF REACHES STUDY POINT A, THE RUNOFF TRAVELS VIA MAN-MADE CONVEYANCE SYSTEMS AND ULTIMATELY ENTERS THE TAYLOR RUN FLOODPLAIN. AT THIS POINT IS THE LIMIT OF ANALYSIS PER 13-109.F.1.g.i. WHERE THE SITE'S CONTRIBUTING DRAINAGE AREA IS LESS THAN OR EQUAL TO 1% OF THE TOTAL WATERSHED. THIS CRITERIA FOR THE LIMIT OF ANALYSIS IS THE SAME FOR BOTH CHANNEL AND FLOOD PROTECTION.

STUDY POINT B:

THE RUNOFF TO STUDY POINT B HAS A SLIGHT INCREASE IN IMPERVIOUS AREA. TO ACCOMMODATE THIS INCREASED RUNOFF, THREE (3) PLANTER BOX FACILITIES (PLANTER-4, -5, AND -6) ARE PROPOSED TO CAPTURE A PORTION OF THE ROOF RUNOFF OF THE EXISTING BUILDING, AS WELL AS THE EASTERN HALF OF THE PROPOSED BUILDING, AS SHOWN ON THE MAP ON THIS SHEET. PLANTER-4, -5, AND -6 WILL OUTFALL VIA UNDERDRAIN AND CONNECT INTO THE EXISTING STORM SEWER SYSTEM THAT OUTFALLS TO THE EAST OF THE PROPOSED IMPROVEMENTS TO AN EXISTING EXTENDED DETENTION POND. PLANTER-4, -5, AND -6 IS DESIGNED TO MEET WATER QUALITY REQUIREMENTS FOR THE "SITE AREA" AS WELL AS PROVIDE DETENTION CAPABILITIES TO ACHIEVE A NO/NEGLIGIBLE INCREASE IN RUNOFF TO STUDY POINT B. STUDY POINT B ULTIMATELY OUTFALLS INTO AN EXISTING DETENTION POND THAT HAS BEEN DESIGNED TO CONVEY THE DEVELOPED SITE, IT IS THE OPINION OF THE SIGNING ENGINEER THAT THE ANALYSIS IS COMPLETE DUE TO NO INCREASE.

PRELIMINARY WATER QUALITY COMPUTATIONS ARE PREPARED BASED ON THE NEW STORMWATER REGULATIONS PER THE CITY'S ENVIRONMENTAL MANAGEMENT ORDINANCE EFFECTIVE JULY 1, 2014. THE VIRGINIA RUNOFF REDUCTION METHOD COMPLIANCE SPREAD SHEET WAS USED TO DETERMINE THE PHOSPHOROUS REMOVAL AND RUNOFF VOLUME REQUIREMENTS OF THE SITE. SWM/BMP DRAINAGE AREA MAP ARE SHOWN SHEET 22A AND COMPUTATIONS AND DETAILS ARE SHOWN ON SHEETS 23-24.

AS SHOWN IN THE COMPUTATIONS ON SHEET 23, THE PROPOSED WATER QUALITY DEVICES ACHIEVE 100% AND EXCEED THE REQUIRED PHOSPHOROUS REMOVAL (0.64 LB/YR OF THE 0.38 LBS/YR). FURTHERMORE, THE ALEXANDRIA WATER QUALITY VOLUME DEFAULT COMPUTATIONS ARE PROVIDED ON SHEET 22A CONFIRMING THE REQUIREMENTS ARE MET PER 13-109.E.9. A CONTRIBUTION TO THE CITY'S WATER QUALITY IMPROVEMENT FUNDS WILL BE PAID.

STORMWATER RUNOFF CALCULATIONS

AREA BREAKDOWN (STUDY POINT A)

PRE-DEVELOPMENT:

1. TOTAL STUDY POINT AREA = 73,877.76 SQ.FT. OR 1.696 ACRES
2. IMPERVIOUS AREA = 1.07 ACRES
3. PERVIOUS AREA = 0.626
4. CN = 93

POST-DEVELOPMENT:

1. TOTAL STUDY POINT AREA = 75,751 SQ.FT. OR 1.739 ACRES
2. IMPERVIOUS AREA = 1.164 ACRES
3. PERVIOUS AREA = 0.575
4. CN = 95

INCREASE IN RUNOFF CALCULATION FOR THIS APPLICATION

5. PEAK DISCHARGE FOR DESIGN STORMS PER SCS METHOD
TC=5 MIN ("SITE AREA"), TC=10 MIN (PASS-THRU)

PRE-DEVELOPMENT (WITHOUT DETENTION)

Q2 PRE = 5.03 CFS
Q10 PRE = 8.47 CFS

POST-DEVELOPMENT (WITHOUT DETENTION)

Q2 POST = 5.21 CFS
Q10 POST = 8.50 CFS

6. POST-DEVELOPMENT RUNOFF (WITH DETENTION)

BOTH THE 2 AND 10 YEAR STORMS WILL BE DETAINED UTILIZING PLANTER BOX FACILITIES SUCH THAT THE POST-DEVELOPMENT PEAK FLOWS ARE EQUAL TO OR LESS THAN THE PRE-DEVELOPMENT PEAK FLOWS PER 13-109.F.1.a.i and 13-109.F.2.a.ii.

AREA BREAKDOWN (STUDY POINT B)

PRE-DEVELOPMENT:

1. TOTAL STUDY POINT AREA = 6,316 SQ.FT. OR 0.145 ACRES
2. IMPERVIOUS AREA = 0.084 ACRES
3. PERVIOUS AREA = 0.061
4. CN = 90

POST-DEVELOPMENT:

1. TOTAL STUDY POINT AREA = 12,458.16 SQ.FT. OR 0.286 ACRES
2. IMPERVIOUS AREA = 0.24 ACRES
3. PERVIOUS AREA = 0.046
4. CN = 96

INCREASE IN RUNOFF CALCULATION FOR THIS APPLICATION

1. PEAK DISCHARGE FOR DESIGN STORMS PER SCS METHOD
(ASSUME TC=5 MIN)

PRE-DEVELOPMENT (WITHOUT DETENTION)

Q2 PRE = 0.48 CFS
Q10 PRE = 0.82 CFS

POST-DEVELOPMENT (WITHOUT DETENTION)

Q2 POST = 0.80 CFS
Q10 POST = 1.25 CFS

2. POST-DEVELOPMENT RUNOFF (WITH DETENTION)

BOTH THE 2 AND 10 YEAR STORMS WILL BE DETAINED UTILIZING A PLANTER BOX FACILITY SUCH THAT THE POST-DEVELOPMENT PEAK FLOWS HAVE A NEGLIGIBLE INCREASE OR DO NOT EXCEED PRE-DEVELOPMENT PEAK FLOWS PER 13-109.F.1.a.i and 13-109.F.2.a.ii.

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Seal

Client

WOODBINE PROPERTY 1 LLC

1608 Route 88, Suite 301
Brick, NJ 08724

Contact: Peter Modri

Revision / Issue

No.	Description	Date
1	1ST SUB.-COMPLETENESS	6/3/2022
2	1ST SUB.-COMPLETENESS	7/21/2022
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Issue

Date	Description
6/3/2022	1ST SUB.-COMPLETENESS
7/21/2022	1ST SUB.-COMPLETENESS
8/19/2022	1ST SUB.-COMPLETENESS
9/20/2022	1ST SUB.-COMPLETENESS

Project Name

WOODBINE PRELIMINARY DEVELOPMENT SITE PLAN

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By JL	Checked By DTM
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Project No. ZP-13088

Date SEPT. 20, 2022

Drawing Title ENVIRONMENTAL STORMWATER PLAN

Scale: 1" = 30'

Drawing Number 21

Sheet 21 of 27

APPROVED

SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

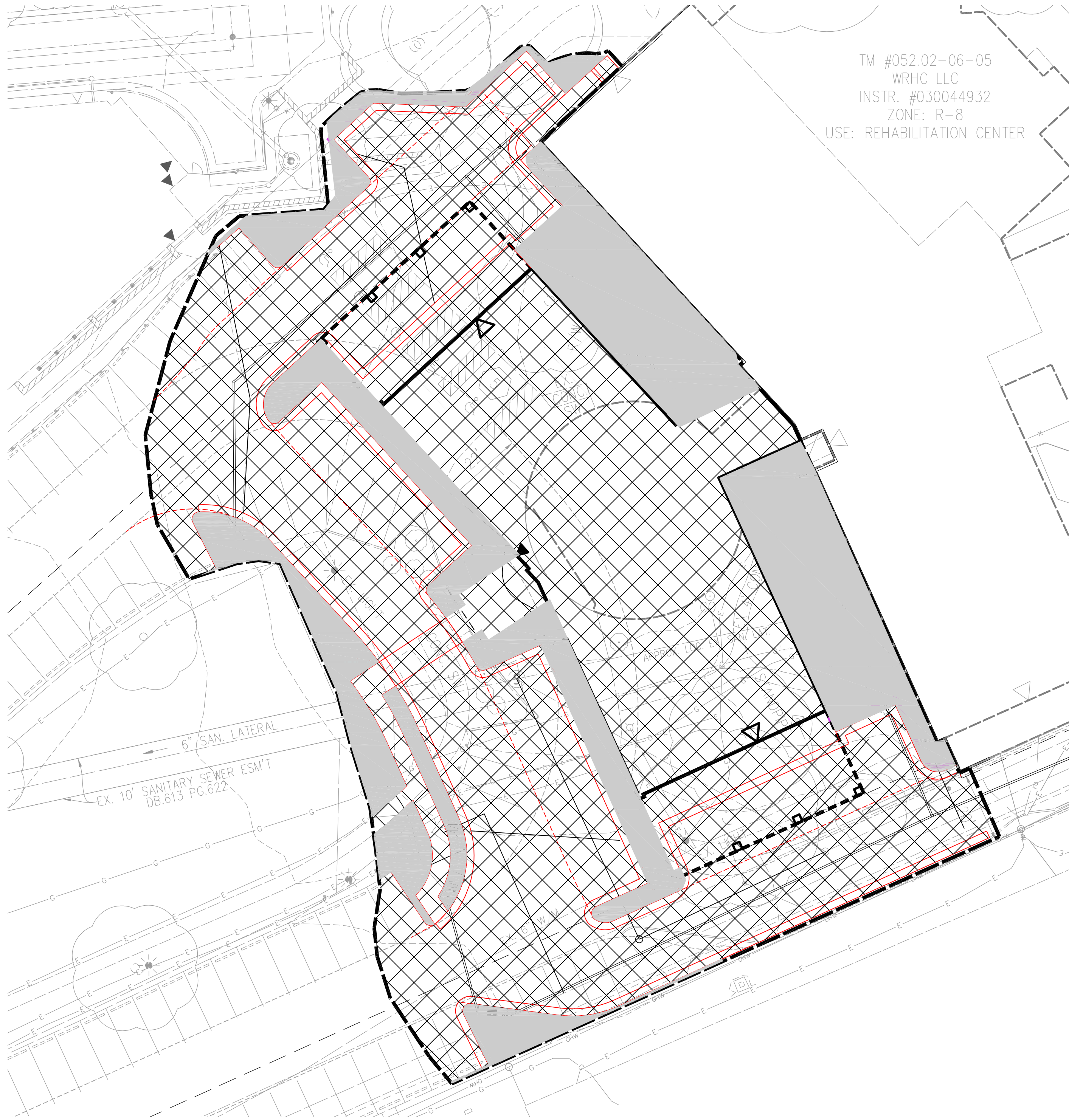
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ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

Urban, Ltd. - \\p0101 DRIVE\\005\\Woodbine\\DSUP\\19-Stormwater-Plan.dwg [BMP MAPS] September 20, 2022 - 2:31pm zcf



BMP LAND COVER MAP
(UTILIZED IN VRRM SPREADSHEET)
SCALE: 1"=20'

- LEGEND**
- IMPERVIOUS AREA
(PER VRRM SPREADSHEET)
 - MANAGED TURF
(PER VRRM SPREADSHEET)
 - "SITE AREA" (DISTURBED AREA)

BMP SUMMARY FOR "SITE AREA"

PROJECT DESCRIPTION

RE-DEVELOPMENT

DRAINAGE AREA	IMPERVIOUS	PERVIOUS	TOTAL
PROJECT AREA (AC)	0.64	0.20	0.84
ON-SITE TREATED (AC)	0.36	0.03	0.39
OFF-SITE TREATED (AC)	0.09	N/A	0.09
TOTAL TREATED (AC)	0.45	0.03	0.48
ANY ON-SITE DISCONNECTED BY A VEGETATED BUFFER (25 FT)	N/A		
TOTAL TREATED OR DISCONNECTED			0.48

WATER TREATMENT

BMP LATITUDE (DEC. DEG.)	BMP LONGITUDE (DEC. DEG.)	BMP TYPE	AREA TREATED BY BMP (ACRES)	IMPERVIOUS AREA TREATED BY BMP (ACRES)	BMP EFFICIENCY (%)
38.816311	-77.072407	PLANTER-1 AND PLANTER-2	0.12	0.12	25%
38.816183	-77.072242				
38.816088	-77.072111	PLANTER-3	0.05	0.05	25%
38.816311	-77.072407	PLANTER-4	0.04	0.04	25%
38.815958	-77.072147	PLANTER-5 AND PLANTER-6	0.11	0.11	25%
		FILTERRA-1	0.10	0.08	65%
		FILTERRA-2	0.06	0.05	65%
		TOTAL	0.48	0.45	

WATER TREATMENT ON-SITE (ENTIRE SITE)

PROPOSED IMPERVIOUS: 0.64 AC
TREATMENT OF FIRST HALF INCH OF RUNOFF: 1,815 X 0.64
= 1,161.60 CU. FT. WQV REQUIRED

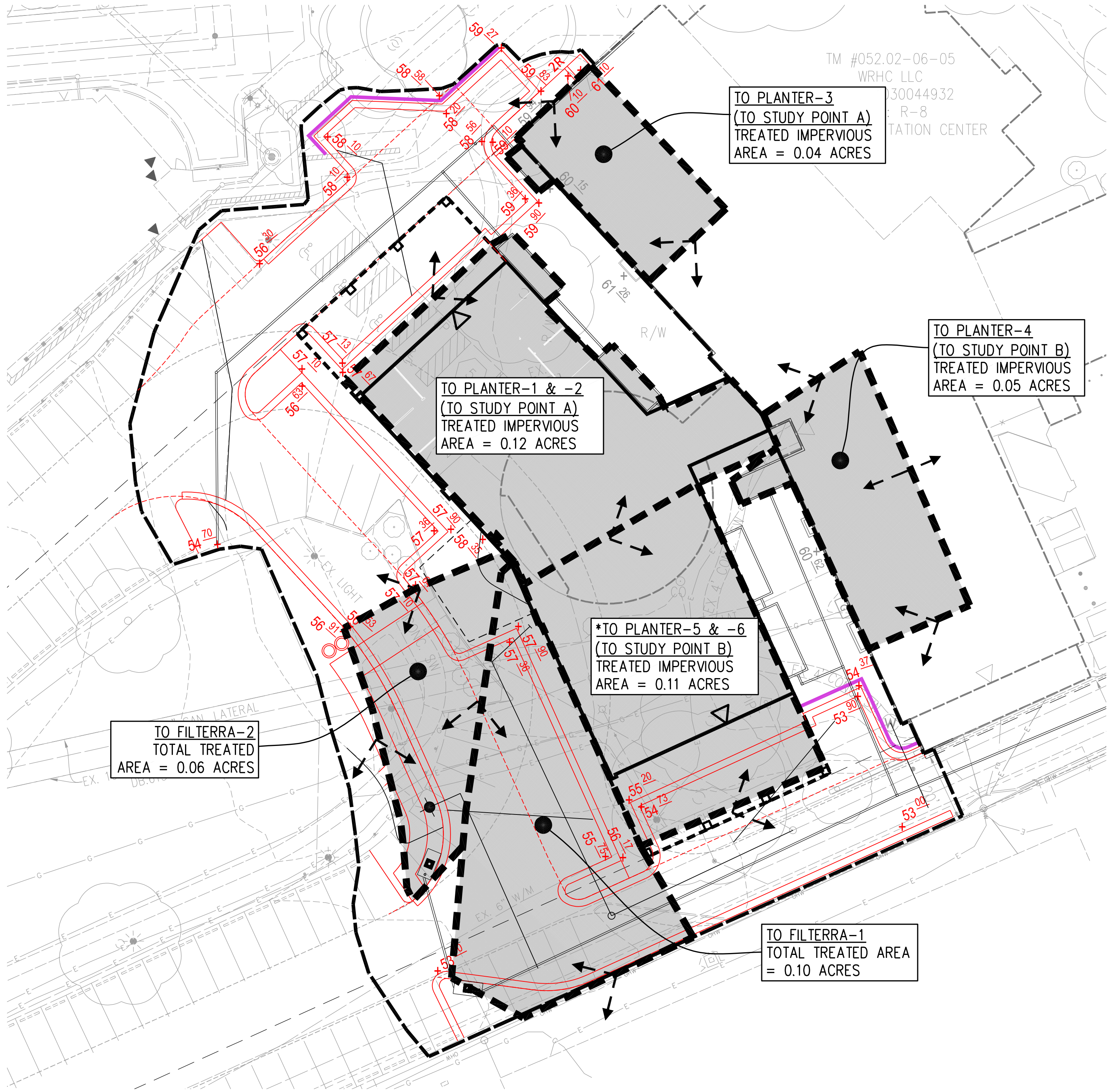
TOTAL WQV TREATED: = 1016.7 CF (PLANTER BOX FACILITIES)
+ 476 CF (FILTERRA-1 AND -2)
= 1492.7 CF

% OF WQV TREATED = 100%
UNTREATED WATER QUALITY VOLUME = 0.00 CF (0%)

TOTAL IMPERVIOUS AREA TREATED = 0.32 AC (PLANTER BOX FACILITIES)
+ 0.13 AC (FILTERRA-1 AND -2)
= 0.45 ACRES

DETENTION ON SITE : YES (SIX PLANTER BOX FACILITIES)
PROJECT IS WITHIN WHICH WATERSHED? TAYLOR RUN
PROJECT DISCHARGES TO WHICH BODY OF WATER? TAYLOR RUN

* PLANTER-5 AND PLANTER-6 MAY BE RELOCATED AT TIME OF DESIGN DUE TO POTENTIAL OUTFALL CONSTRAINTS



BMP DRAINAGE DIVIDES MAP
SCALE: 1"=20'

- LEGEND**
- TREATED AREA TO BMP FACILITIES
 - DRAINAGE DIVIDES TO BMP FACILITIES

APPROVED

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DIRECTOR _____

DATE _____

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SITE PLAN NO. _____

DIRECTOR _____

DATE _____

CHAIRMAN, PLANNING COMMISSION _____

DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____

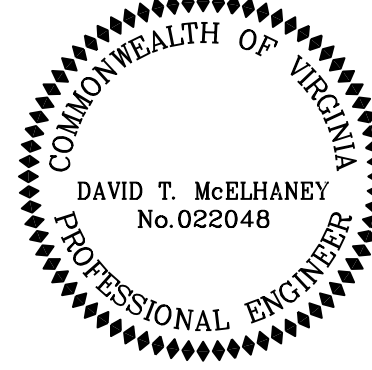
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Client

WOODBINE PROPERTY 1 LLC

1608 Route 88, Suite 301
Brick, NJ 08724

Contact: Peter Modri

Revision / Issue

No. Description Date

Issue

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Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By

JL

Checked By

DTM

Project No.

ZP-13088

Date

SEPT. 20, 2022

Drawing Title

ENVIRONMENTAL
STORMWATER PLAN

Scale: 1" = 30'

Drawing Number

22

Sheet 22 of 27

ZP-13088

STUDY POINT A

	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Forest/Open Space (acres)					0.00	0.00
Managed Turf (acres)				0.15	0.15	0.25
Impervious Cover (acres)				0.47	0.47	0.95
Total				0.62		

Total Phosphorus Available for Removal in D.A. A (lb/yr)	1.10
Post Development Treatment Volume in D.A. A (ft ³)	1,757

Stormwater Best Management Practices (RR = Runoff Reduction)

Practice	Runoff Reduction Credit (%)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft ³)	Runoff Reduction (ft ³)	Remaining Runoff Volume (ft ³)	Total BMP Treatment Volume (ft ³)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (lb)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed By Practice (lb)	Remaining Phosphorus Load (lb)	Downstream Practice to be Employed
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PLANTER BOX-1

6. Bioretention (RR)													
6.a. Bioretention #1 or Micro-Bioretention #1 or Urban Bioretention (Spec #9)	40		0.06	0	88	132	221	25	0.00	0.14	0.08	0.06	

PLANTER BOX-2

6. Bioretention (RR)													
6.a. Bioretention #1 or Micro-Bioretention #1 or Urban Bioretention (Spec #9)	40		0.06	0	88	132	221	25	0.00	0.14	0.08	0.06	

PLANTER BOX-3

6. Bioretention (RR)													
6.a. Bioretention #1 or Micro-Bioretention #1 or Urban Bioretention (Spec #9)	40		0.04	0	55	83	138	25	0.00	0.09	0.05	0.04	

FILTERRA-1

14.b. Manufactured Treatment Device-Filtering	0	0.02	0.08	0	0	294	294	65	0.00	0.18	0.12	0.06	
---	---	------	------	---	---	-----	-----	----	------	------	------	------	--

FILTERRA-2

14.c. Manufactured Treatment Device-Generic	0	0.01	0.05	0	0	182	182	65	0.00	0.11	0.07	0.04	
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STUDY POINT B

	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Forest/Open Space (acres)					0.00	0.00
Managed Turf (acres)				0.05	0.05	0.25
Impervious Cover (acres)				0.16	0.16	0.95
Total				0.21		

Total Phosphorus Available for Removal in D.A. B (lb/yr)	0.37
Post Development Treatment Volume in D.A. B (ft ³)	594

Stormwater Best Management Practices (RR = Runoff Reduction)

Practice	Runoff Reduction Credit (%)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft ³)	Runoff Reduction (ft ³)	Remaining Runoff Volume (ft ³)	Total BMP Treatment Volume (ft ³)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (lb)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed By Practice (lb)	Remaining Phosphorus Load (lb)	Downstream Practice to be Employed
----------	-----------------------------	----------------------------------	--------------------------------------	--	-------------------------------------	--	---	-----------------------------------	--	--	-------------------------------------	--------------------------------	------------------------------------

PLANTER BOX-4

6. Bioretention (RR)													
6.a. Bioretention #1 or Micro-Bioretention #1 or Urban Bioretention (Spec #9)	40		0.05	0	69	103	172	25	0.00	0.11	0.06	0.05	

PLANTER BOX-5

6. Bioretention (RR)													
6.a. Bioretention #1 or Micro-Bioretention #1 or Urban Bioretention (Spec #9)	40		0.06	0	76	114	190	25	0.00	0.12	0.07	0.05	

PLANTER BOX-6

6. Bioretention (RR)													
6.a. Bioretention #1 or Micro-Bioretention #1 or Urban Bioretention (Spec #9)	40		0.05	0	69	103	172	25	0.00	0.11	0.06	0.05	

Site Results (Water Quality Compliance)

Area Checks	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
FOREST/OPEN SPACE (ac)	0.00	0.00	0.00	0.00	0.00	OK
IMPERVIOUS COVER (ac)	0.47	0.15	0.00	0.00	0.00	OK
IMPERVIOUS COVER TREATED (ac)	0.29	0.15	0.00	0.00	0.00	OK
MANAGED TURF AREA (ac)	0.14	0.05	0.00	0.00	0.00	OK
MANAGED TURF AREA TREATED (ac)	0.03	0.00	0.00	0.00	0.00	OK
AREA CHECK	OK	OK	OK	OK	OK	

Site Treatment Volume (ft ³)	2,389
--	-------

Runoff Reduction Volume and TP By Drainage Area

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	TOTAL
RUNOFF REDUCTION VOLUME ACHIEVED (ft ³)	310	259	0	0	0	569
TP LOAD AVAILABLE FOR REMOVAL (lb/yr)	1.10	0.37	0.00	0.00	0.00	1.47
TP LOAD REDUCTION ACHIEVED (lb/yr)	0.43	0.21	0.00	0.00	0.00	0.64
TP LOAD REMAINING (lb/yr)	0.67	0.16	0.00	0.00	0.00	0.83

NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	1.71	1.47	0.00	0.00	0.00	3.19
--	------	------	------	------	------	------

Total Phosphorus	
FINAL POST-DEVELOPMENT TP LOAD (lb/yr)	1.50
TP LOAD REDUCTION REQUIRED (lb/yr)	0.38
TP LOAD REDUCTION ACHIEVED (lb/yr)	0.64
TP LOAD REMAINING (lb/yr)	0.86
REMAINING TP LOAD REDUCTION REQUIRED (lb/yr)	0.00
** TARGET TP REDUCTION EXCEEDED BY 0.26 LB/YEAR **	

Total Nitrogen (For Information Purposes)	
POST-DEVELOPMENT LOAD (lb/yr)	10.74
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	3.19
REMAINING POST-DEVELOPMENT NITROGEN LOAD (lb/yr)	7.55

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APPROVED

SPECIAL USE PERMIT NO. _____
DEPARTMENT OF PLANNING & ZONING

DIRECTOR

DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR

DATE
CHAIRMAN, PLANNING COMMISSION

DATE
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



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Client

WOODBINE PROPERTY 1 LLC

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Brick, NJ 08724

Contact: Peter Modri

Revision / Issue

No. Description Date

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6/3/2022	1ST SUBMISSION
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Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By

JL

Checked By

DTM

Project No.

ZP-13088

Date

SEPT. 20, 2022

Drawing Title

ENVIRONMENTAL
STORMWATER PLAN

Scale: 1" = 30'

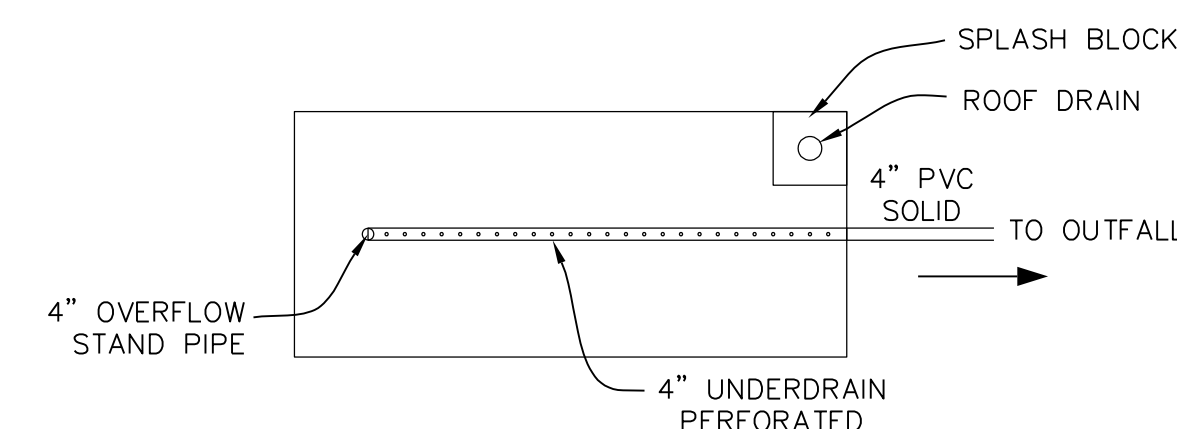
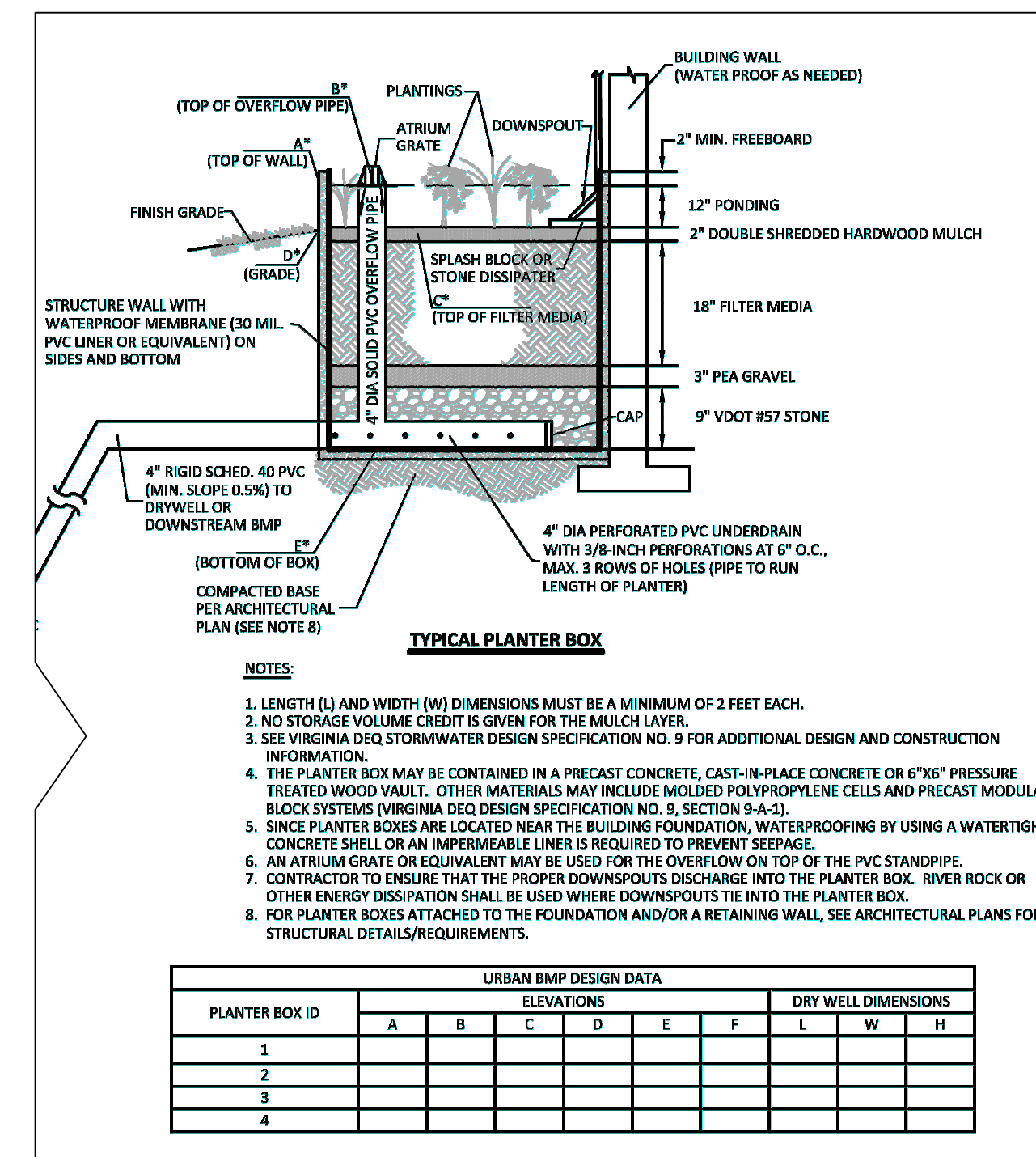
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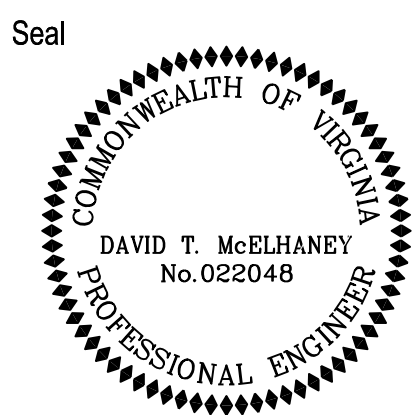
Sheet 23 of 27

ZP-13088

PROPOSED PLANTER BOX DETAIL (TYP.)
(PLANTER-1 THRU PLANTER-6)



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DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By JL	Checked By DTM
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Project No. ZP-13088

Date SEPT. 20, 2022

Drawing Title

ENVIRONMENTAL
STORMWATER PLAN

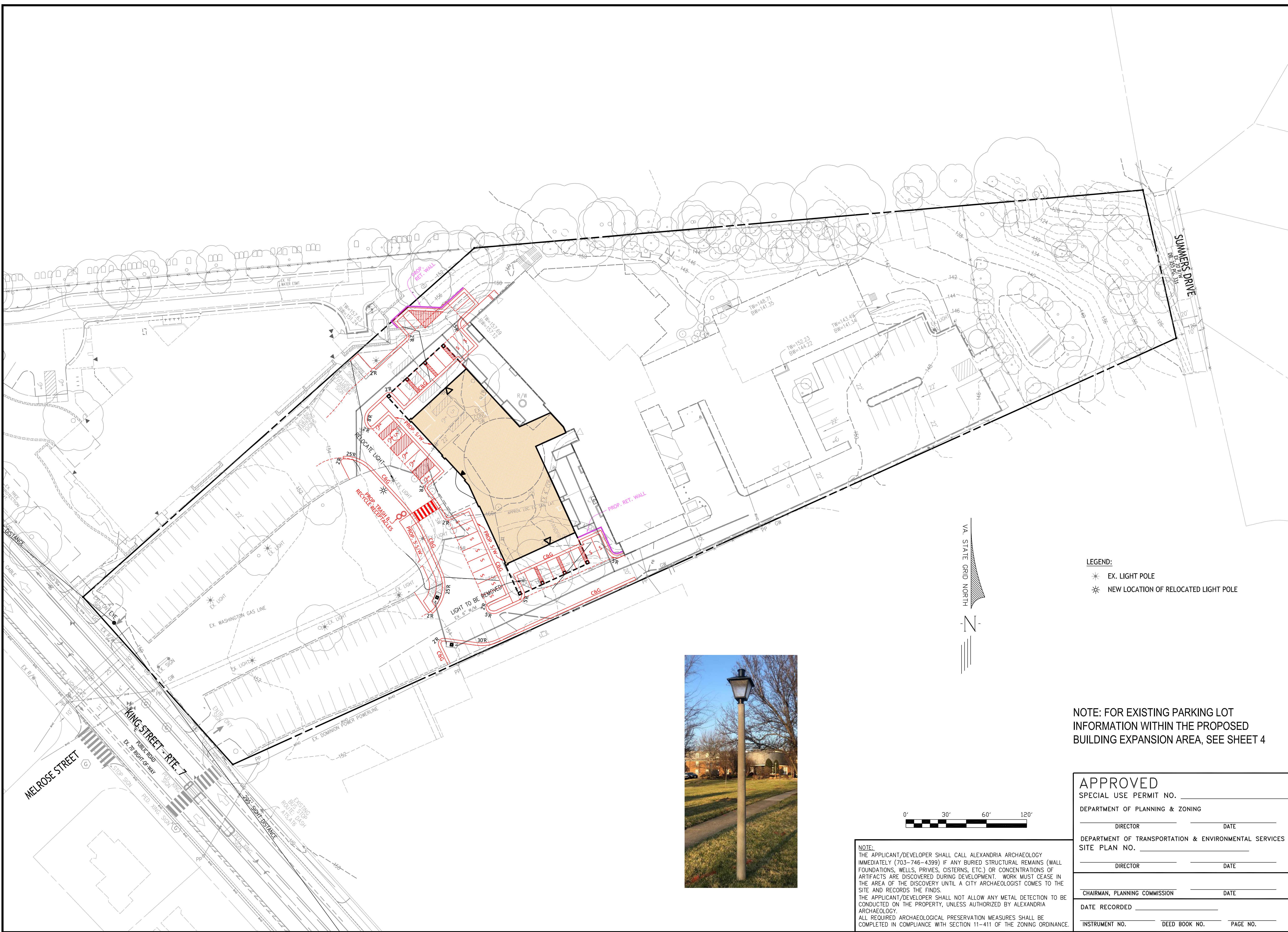
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24

Sheet 24 of 27

Urban, Ltd. - \\lupiter-101\Q DRIVE\JOBS\Woodbine\DSUP\17-Lighting Plan.dwg [LIGHTING PLAN] September 20, 2022 - 2:30pm zoli



LEGEND:
* EX. LIGHT POLE
* NEW LOCATION OF RELOCATED LIGHT POLE

NOTE: FOR EXISTING PARKING LOT
INFORMATION WITHIN THE PROPOSED
BUILDING EXPANSION AREA, SEE SHEET 4

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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
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DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
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Client
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1606 Route 88, Suite 301
Brick, NJ 08724
Contact: Peter Modri

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PRELIMINARY
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DSUP 2022-10014
City of Alexandria
Alexandria, Virginia

Drawn By JL	Checked By DTM
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Project No. ZP-13088

Date SEPT. 20, 2022

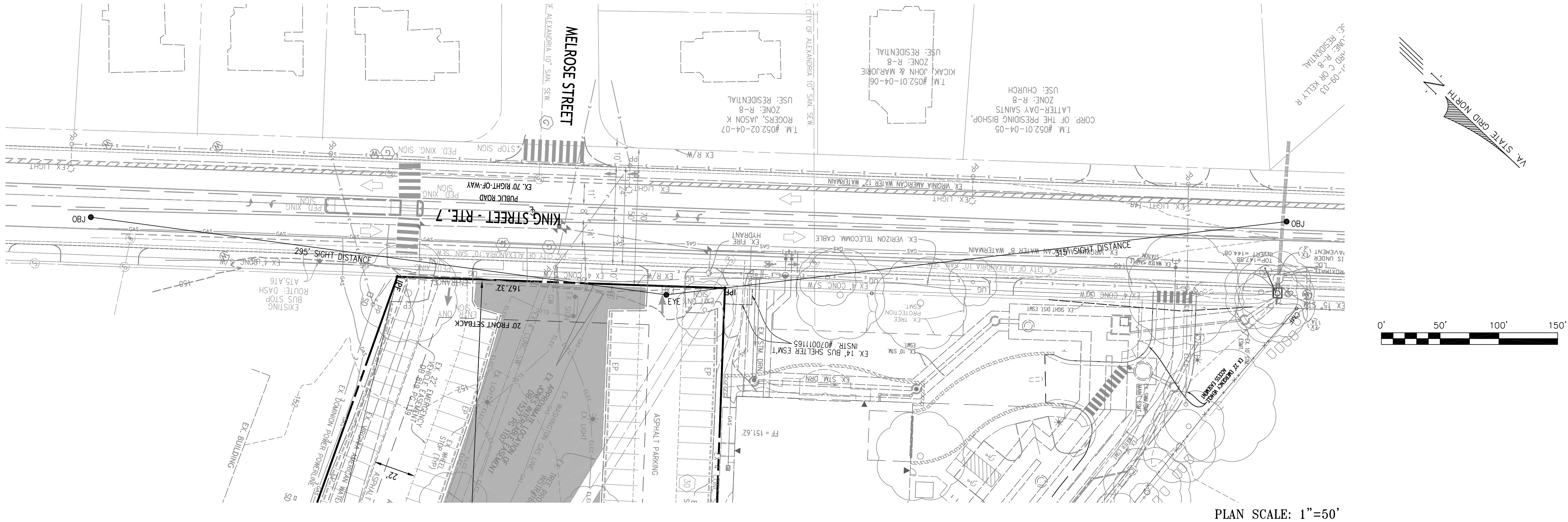
Drawing Title
LIGHTING PLAN

Scale: 1" = 30'

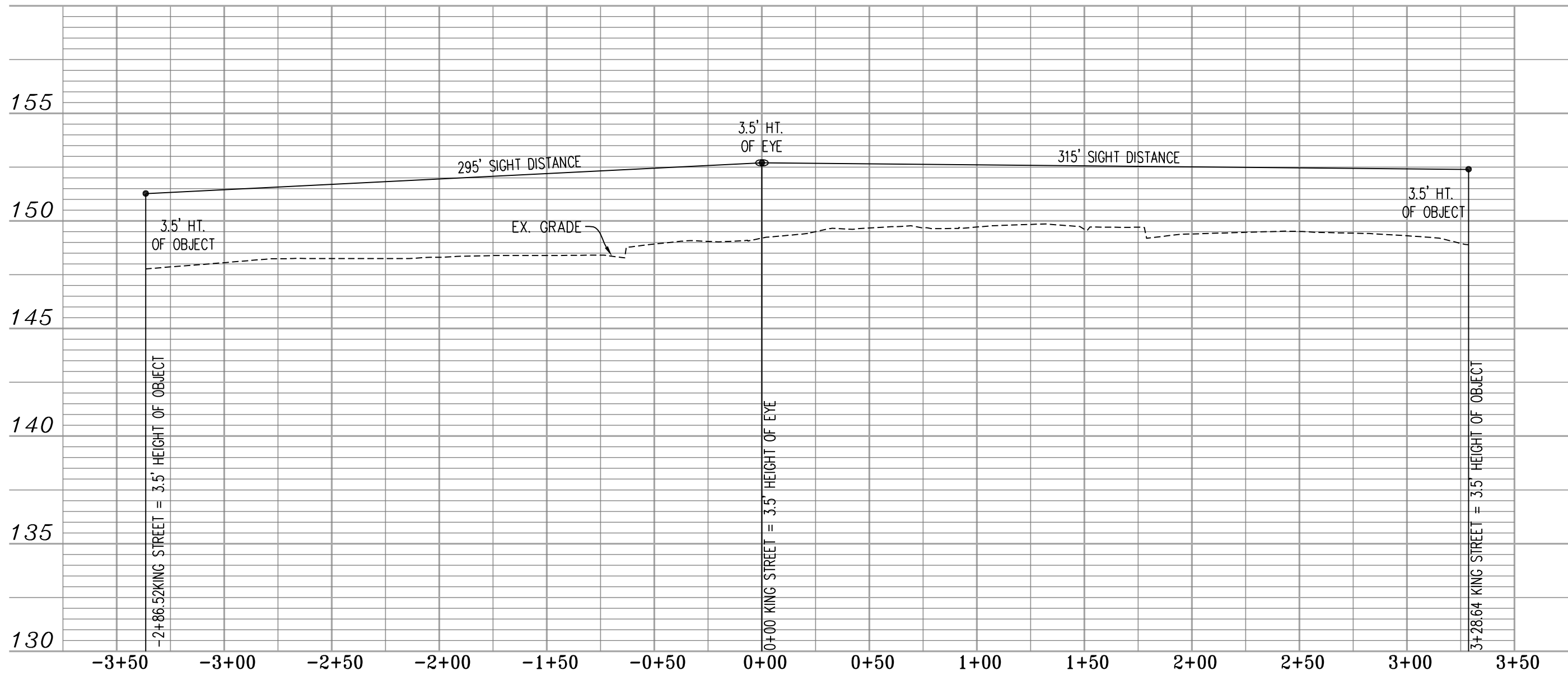
Drawing Number
25
Sheet 25 of 27

ZP-13088

Urban, Ltd. - \\jupiter-101\O DRIVE\JOBS\Woodbine\DSUP\20-Sight Distance.dwg [SIGHT] September 20, 2022 - 2:32pm zdl




SIGHT DISTANCE AT KING STREET WOODBINE EXIT
25 MPH POSTED SPEED



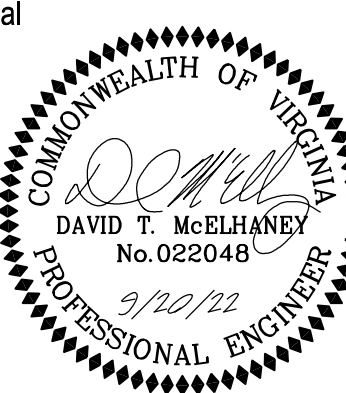
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SIGHT DISTANCE	
Scale: H: 1"=50'; V: 1"=5'	
Drawing Number	
27	
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