

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

APPLICANT: Lynn and Raymond Stewart

LOCATION: Old and Historic Alexandria District
616 South Lee Street

ZONE: RM/Residential Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approved of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations, as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



Note: Staff coupled the applications for a Permit to Demolish (BAR #2022-00391) and Certificate of Appropriateness (BAR #2022-00390) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to add a shed dormer to the rear/east elevation, replace all windows, and request after-the-fact approval to remove a chimney, at 616 South Lee Street. Installation of the shed dormer will require the removal of approximately 178 square feet of roofing. Approximately 69 cubic feet of chimney masonry was removed previously.

II. HISTORY

The City issued building permit #8511 to John V. Neill and Associates on August 15, **1968** for new construction at 616 – 622 South Lee Street. 616 South Lee is a three bay brick Colonial Revival style dwelling with jack arches over the windows and entry door. The northernmost two bays have a well basement, while the main entry door and stair landing are at the southernmost bay. Due to its location on a hill, the west/primary elevation is two story and the east/rear elevation is three story.

Previous BAR Approvals

7/10/1968 Four town houses approved as submitted (no case number).

8/14/1968 Revisions to previous approved design, approved as submitted (no case number).

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No

(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relate only to the specific portions of the building proposed for demolition/capsulation, not the overall building. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The select portions of the building proposed for demolition are not themselves of unusual or uncommon design, nor are they historic. As shown in Figure 1, the chimney was barely visible from a public right of way and its presence did not enhance the appearance of the building; instead, it actually detracted from the appearance. It was not visible at all from the rear/east elevation. The proposed shed dormer will not be visible from Pommander Walk or South Union Street to the east.

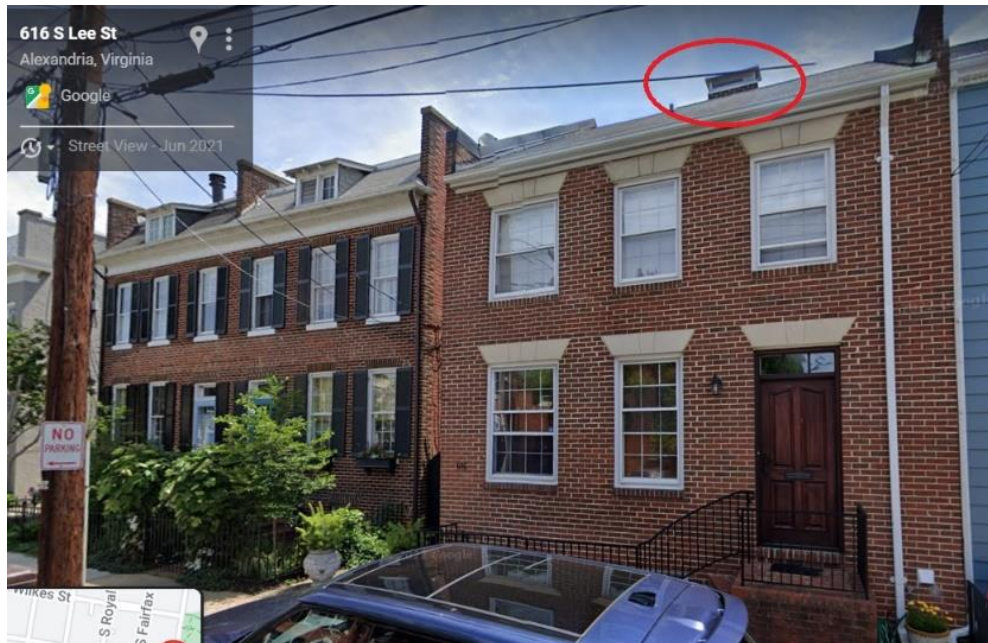


Figure 1: 616 South Lee with former chimney circled.

Certificate of Appropriateness

The *Design Guidelines* indicate that “...new dormers should align with the existing windows or be centered between the windows” and that they “...should match the existing proportions of the building and the windows.” This proposed dormer clearly fulfills these guidelines and will enhance the rear elevation of the building. See Figures 2 and 3. As shown in Figure 1 and on page 1.1C of the application, the two townhouses immediately to the north of the subject property have shed dormers on the primary/west elevation. The application materials also include images of several other shed dormers elsewhere in the historic district.



Figure 2: Rear elevation prior to chimney removal

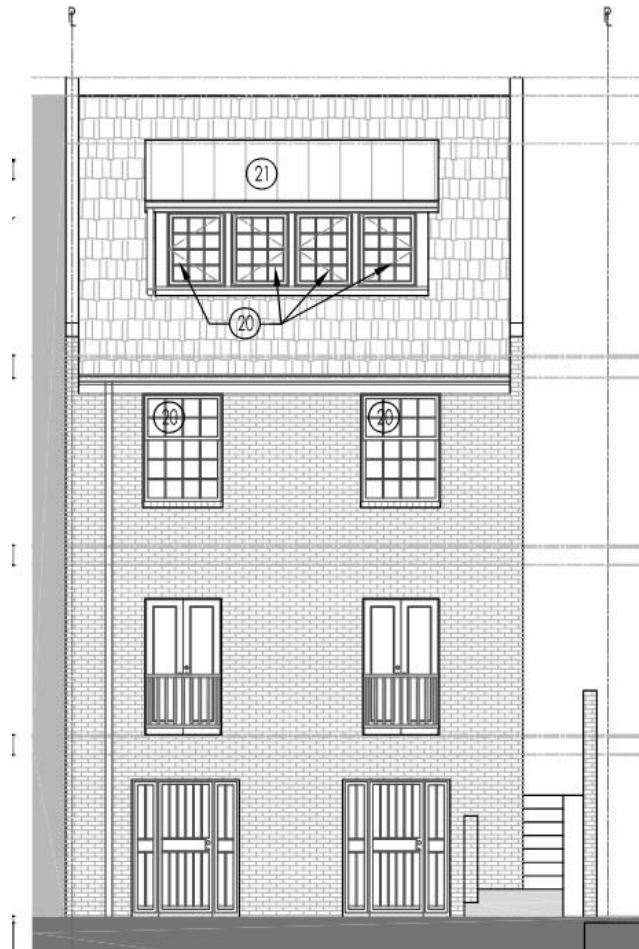


Figure 3: Proposed rear elevation

Additionally, the proposed windows comply with the *BAR Policies for Administrative Approval in the Old and Historic Alexandria District and in the Parker-Gray District for Commercial Uses* and could therefore be administratively approved by staff.

Staff finds that removing the chimney and adding a shed dormer to this 1968 dwelling improves the appearance of the building and therefore recommends approval of the project as submitted.

STAFF

Susan Hellman, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

III. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

No comments received.

Code Administration

No comments received.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)

- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

F-1 Archaeology has no comments.

V. ATTACHMENTS

1 – Application Materials

2 – Supplemental Materials

ADDRESS OF PROJECT: 616 South Lee Street, Alexandria, VA 22314

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 081.01-02-26 ZONING: RM

APPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: Lynn and Raymond Stewart

Address: 616 South Lee Street

City: Alexandria State: VA Zip: 22314

Phone: 301-580-4552 E-mail: lynn.stewart@longandfoster.com

Authorized Agent *(if applicable)*: ☐ Attorney ☒ Architect ☐ _____

Name: Karen Conkey Phone: 703-589-4550

E-mail: kconkey@conkeyarchitects.com

Legal Property Owner:

Name: Lynn and Raymond Stewart

Address: 616 South Lee Street

City: Alexandria State: VA Zip: 22314

Phone: 301-580-4552 E-mail: lynn.stewart@longandfoster.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☒ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☒ EXTERIOR ALTERATION: *Please check all that apply.*

☐ awning
☐ doors
☐ lighting
☒ other _____

☐ fence, gate or garden wall
☐ windows
☐ pergola/trellis

☐ HVAC equipment
☐ siding
☐ painting unpainted masonry

☐ shutters
☐ shed
- ☐ ADDITION
☒ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

The applicant proposes the following exterior modifications to 616 South Lee Street which was built in 1968. Add a shed dormer to the rear façade to create a home office / den on the third floor. Replace all exterior windows. All exterior doors will remain, and all proposed windows will meet the established design guidelines.

Further, the applicant requests approval for an after the fact demolition of an in-board chimney. Located in the center of the home's layout, the chimney was about 5'-9" tall at its highest point above the roof, approximately 4'-6" wide and 2'-8" deep. The homeowners would like to finish with the removal of the chimney and utilize the space that remains.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- ☐ N/A
- ☐
☒
☒
☒
☐

☒ Survey plat showing the extent of the proposed demolition/encapsulation.
☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☐ Description of the reason for demolition/encapsulation.
☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☐ ^{N/A} ☒ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☒ FAR & Open Space calculation form.
- ☐ ☒ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☒ Existing elevations must be scaled and include dimensions.
- ☐ ☒ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☒ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ^{N/A} ☒ Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☒ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet or bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☒ ^{N/A} ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: Karen Conkey

Date: 8/8/2022

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Lynn & Raymond Stewart	616 S. Lee Street	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 616 S. Lee Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Lynn & Raymond Stewart	616 S. Lee Street	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Karen Conkey	spouse	William Conkey
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

8/8/2022

Date

Karen Conkey

Printed Name



Signature



Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. 616 South Lee Street, Alexandria, VA 22314

Street Address

RM

Zone

A2. 1,634.00

Total Lot Area

x

1.50

Floor Area Ratio Allowed by Zone

= 2,451.00

Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area

Basement 817.00

First Floor 817.00

Second Floor 817.00

Third Floor

Attic 817.00

Porches

Balcony/Deck

Lavatory***

Other**

B1. **Total Gross**

3,268.00

Allowable Exclusions**

Basement**

Stairways** 130.00

Mechanical** 86.00

Attic less than 7'*** 512.00

Porches**

Balcony/Deck**

Lavatory*** 176.00

Other** < 7' - 0" 15.00

Other**

B2. **Total Exclusions**

919.00

B1. 3,268.00

Sq. Ft.

Existing Gross Floor Area*

B2. 919.00

Sq. Ft.

Allowable Floor Exclusions**

B3. 2,349.00

Sq. Ft.

Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

Proposed Gross Area

Basement 12.00

First Floor 12.00

Second Floor 12.00

Third Floor 96.00

Attic 12.00

Porches

Balcony/Deck

Lavatory***

Other

C1. **Total Gross**

144.00

Allowable Exclusions**

Basement**

Stairways** 59.00

Mechanical**

Attic less than 7'***

Porches**

Balcony/Deck**

Lavatory*** 4.00

Other**

Other**

C2. **Total Exclusions**

63.00

C1. 144.00

Sq. Ft.

Proposed Gross Floor Area*

C2. 63.00

Sq. Ft.

Allowable Floor Exclusions**

C3. 81.00

Sq. Ft.

Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

D. Total Floor Area

D1. 2,430.00 Sq. Ft.

Total Floor Area (add B3 and C3)

D2. 2,451.00 Sq. Ft.

Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

E1. 576.00 Sq. Ft.

Existing Open Space

E2. 572.00 Sq. Ft.

Required Open Space

E3. 576.00 Sq. Ft.

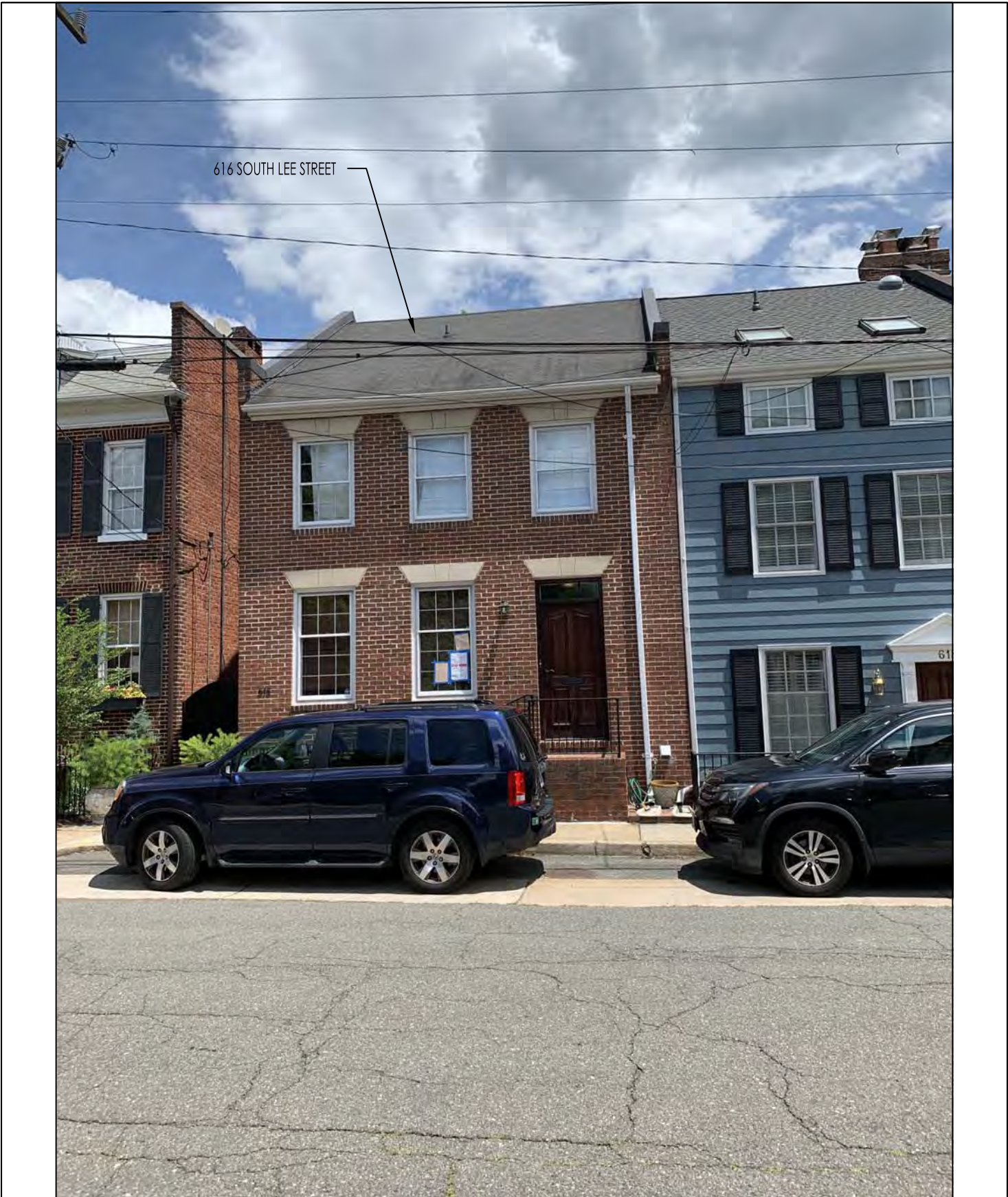
Proposed Open Space

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

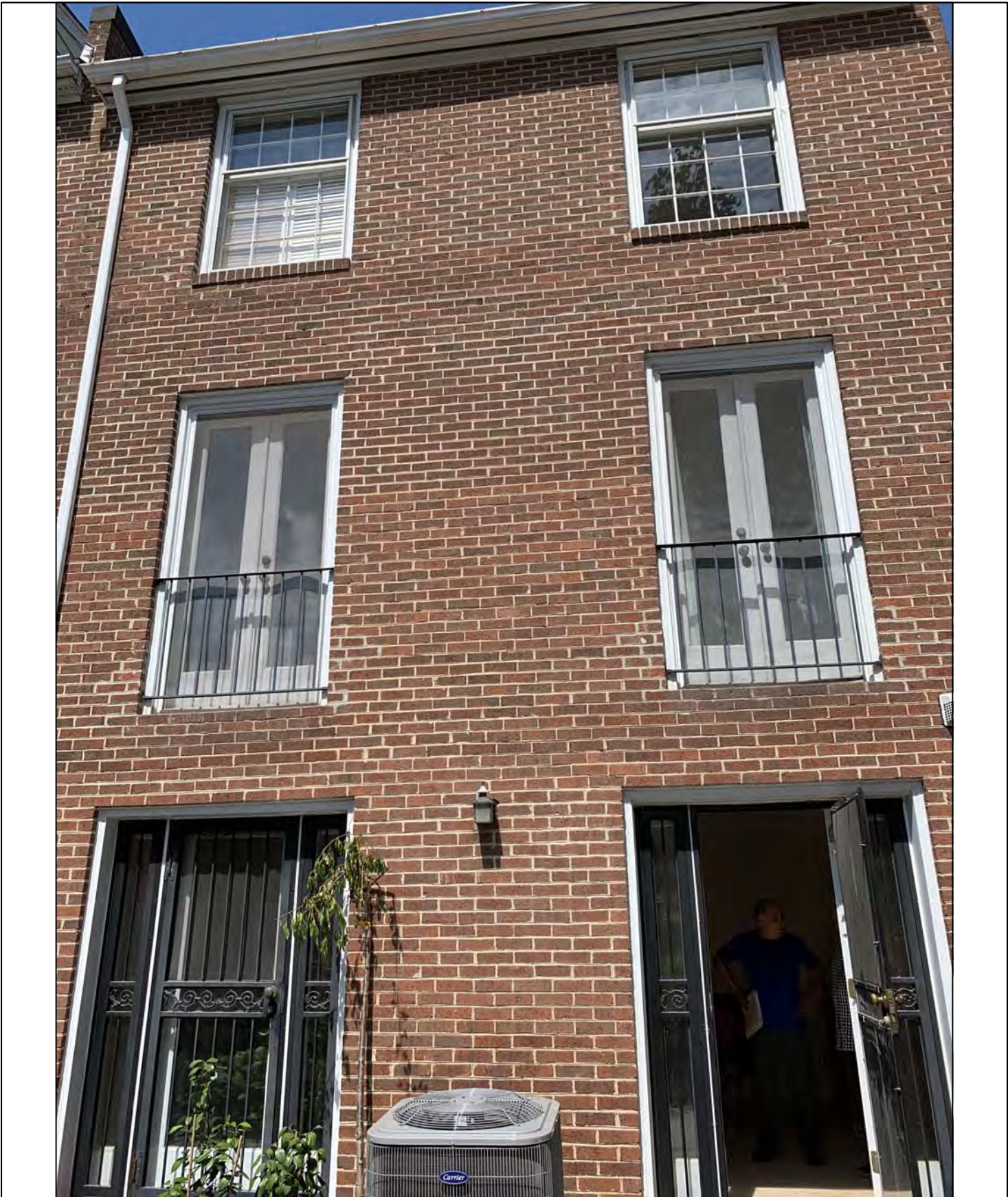
Signature: 

13

Date: 8/8/2022



616 South Lee Street, Alexandria, VA 22314			BAR APPLICATION ASK 1.1A
PHOTO OF EXISTING FRONT ELEVATION			
CLIENT: Lynn & Raymond Stewart 616 South Lee Street Alexandria, VA 22314		COPYRIGHT © ARCHITECT: 325 north patrick street alexandria, va 22314 703 . 589 . 4550 info@conkeyarchitects.com	Conkey architects
	08 AUGUST 2014		



616 South Lee Street, Alexandria, VA 22314

PHOTO OF EXISTING REAR ELEVATION

CLIENT:
Lynn & Raymond Stewart
616 South Lee Street
Alexandria, VA 22314

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BAR APPLICATION

**ASK
1.1B**



604 & 606 PRINCESS STREET - OLD & HISTORIC ALEXANDRIA



715 & 717 PRINCESS STREET - OLD & HISTORIC ALEXANDRIA



612 & 614 SOUTH LEE STREET - OLD & HISTORIC ALEXANDRIA



PHOTO OF SHED DORMER @ REAR OF 103 QUEEN ST - SIMILAR DESIGN

616 South Lee Street, Alexandria, VA 22314

EXAMPLES OF SHED DORMERS

CLIENT:

Lynn & Raymond Stewart
616 South Lee Street
Alexandria, VA 22314

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ARCHITECT:

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alexandria, va 22314
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info@conkeyarchitects.com







08 AUGUST 2016

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BAR APPLICATION

**ASK
1.1C**

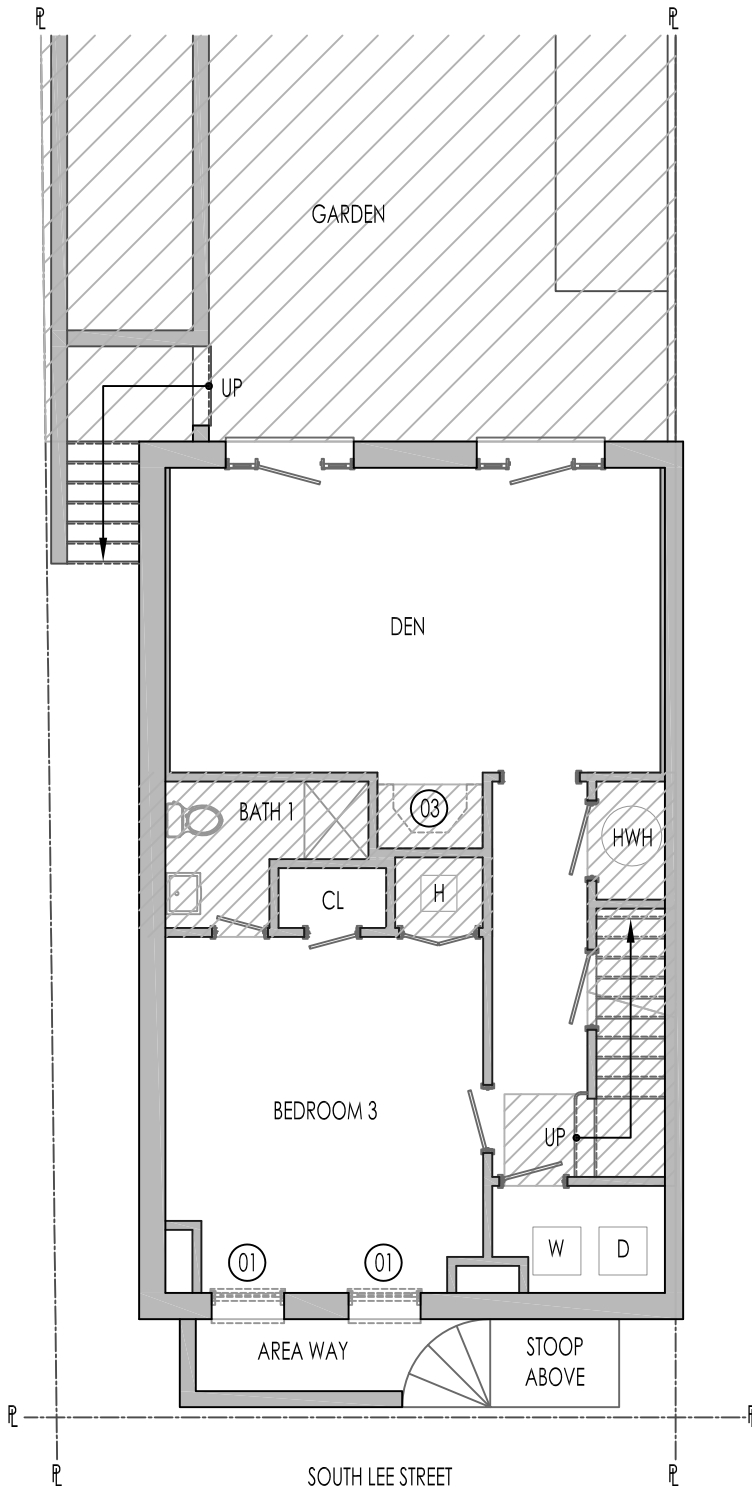
DEMOLITION NOTES	
01	WINDOW TO BE REMOVED / REPLACED
02	PORTION OF ROOF TO BE REMOVED FOR DORMER
03	MASONRY CHIMNEY REQUESTED TO BE REMOVED AFTER THE FACT
NEW WORK NOTES	
20	ALUM CLAD WD WINDOW
21	SHED DORMER CLAD IN FIBER CEMENT SIDING & TRIM WITH STANDING SEAM METAL ROOF - PROVIDE GUTTER / DOWN SPOUT TO MATCH EXISTING

	EXISTING AREA DEDUCTED
	NEW EXISTING AREA DEDUCTED
	NEW AREA
	NEW AREA TO BE DEDUCTED
	EXISTING OPEN SPACE
	PROPOSED OPEN SPACE

BAR APPLICATION

**ASK
2.0**

NOT FOR CONSTRUCTION

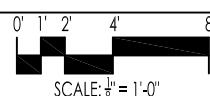


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616 South Lee Street, Alexandria, VA 22314

EXISTING BASEMENT PLAN SHOWING PROPOSED DEMOLITION

CLIENT:
Lynn & Raymond Stewart
616 South Lee Street
Alexandria, VA 22314



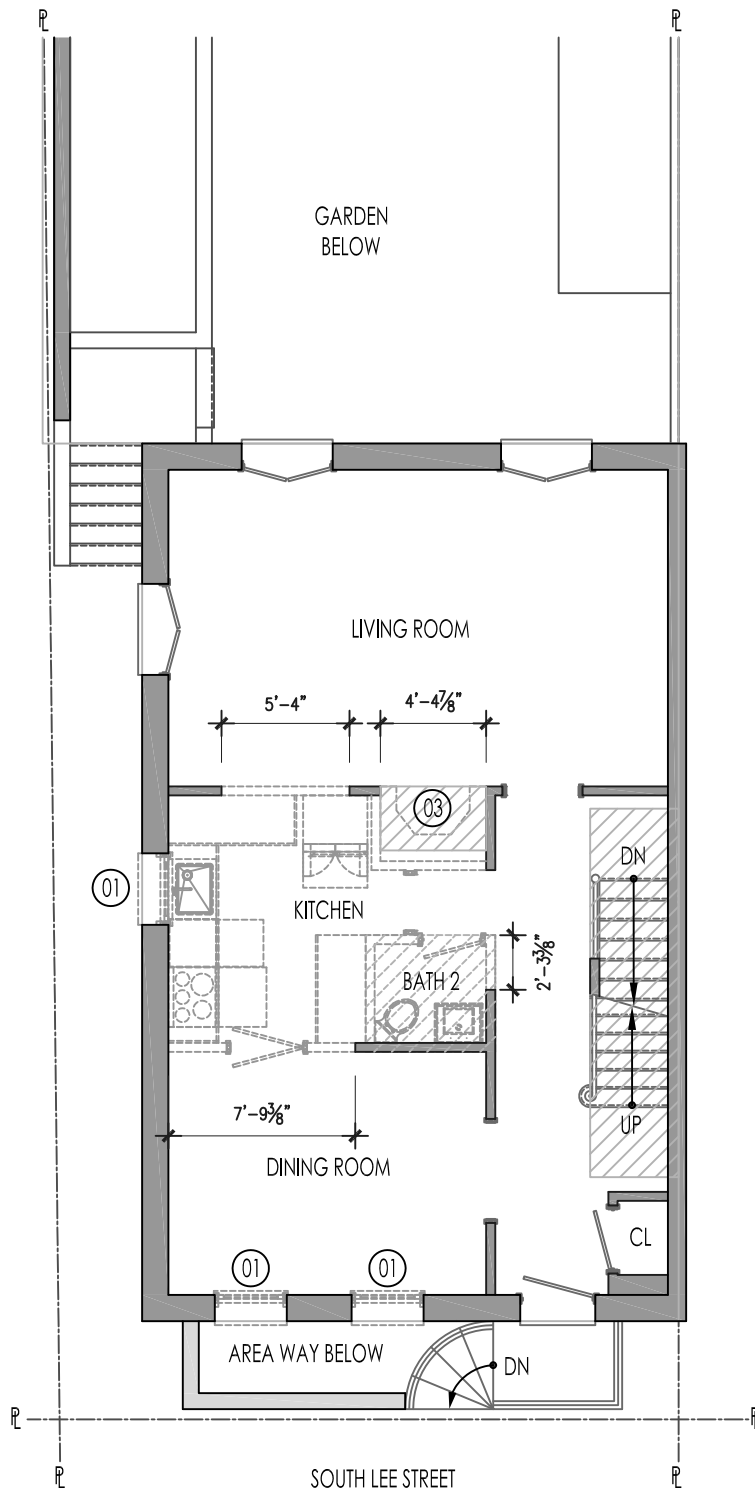
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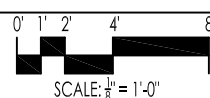
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	EXISTING AREA DEDUCTED
	NEW EXISTING AREA DEDUCTED
	NEW AREA
	NEW AREA TO BE DEDUCTED
	EXISTING OPEN SPACE
	PROPOSED OPEN SPACE

616 South Lee Street, Alexandria, VA 22314

EXISTING 1ST FLOOR PLAN SHOWING PROPOSED DEMOLITION

CLIENT:
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Alexandria, VA 22314



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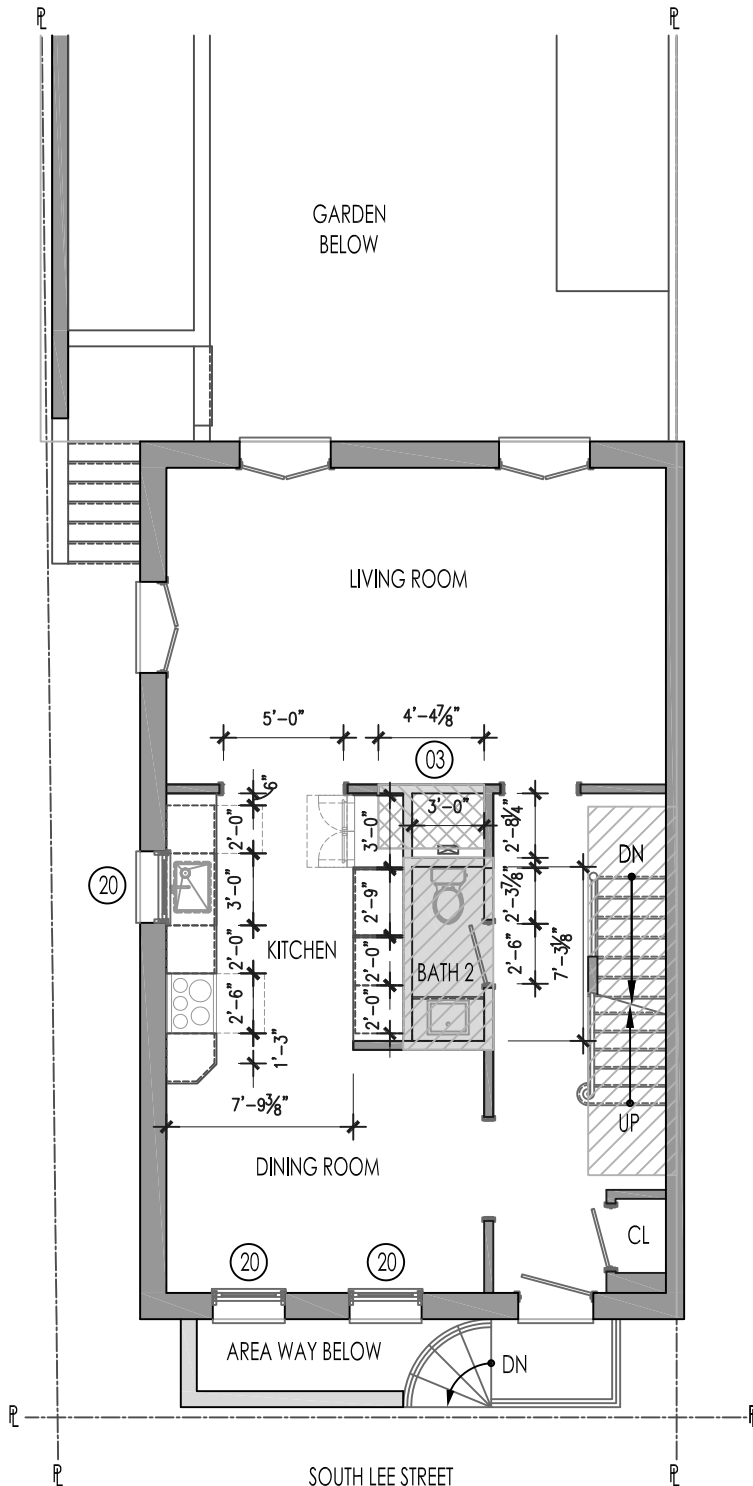
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BAR APPLICATION

**ASK
2.1**

NOT FOR CONSTRUCTION

DEMOLITION NOTES	
01	WINDOW TO BE REMOVED / REPLACED
02	PORTION OF ROOF TO BE REMOVED FOR DORMER
03	MASONRY CHIMNEY REQUESTED TO BE REMOVED AFTER THE FACT
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20	ALUM CLAD WD WINDOW
21	SHED DORMER CLAD IN FIBER CEMENT SIDING & TRIM WITH STANDING SEAM METAL ROOF - PROVIDE GUTTER / DOWN SPOUT TO MATCH EXISTING



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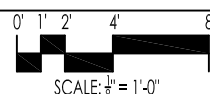
	EXISTING AREA DEDUCTED
	NEW EXISTING AREA DEDUCTED
	NEW AREA
	NEW AREA TO BE DEDUCTED
	EXISTING OPEN SPACE
	PROPOSED OPEN SPACE

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PROPOSED 1ST FLOOR PLAN

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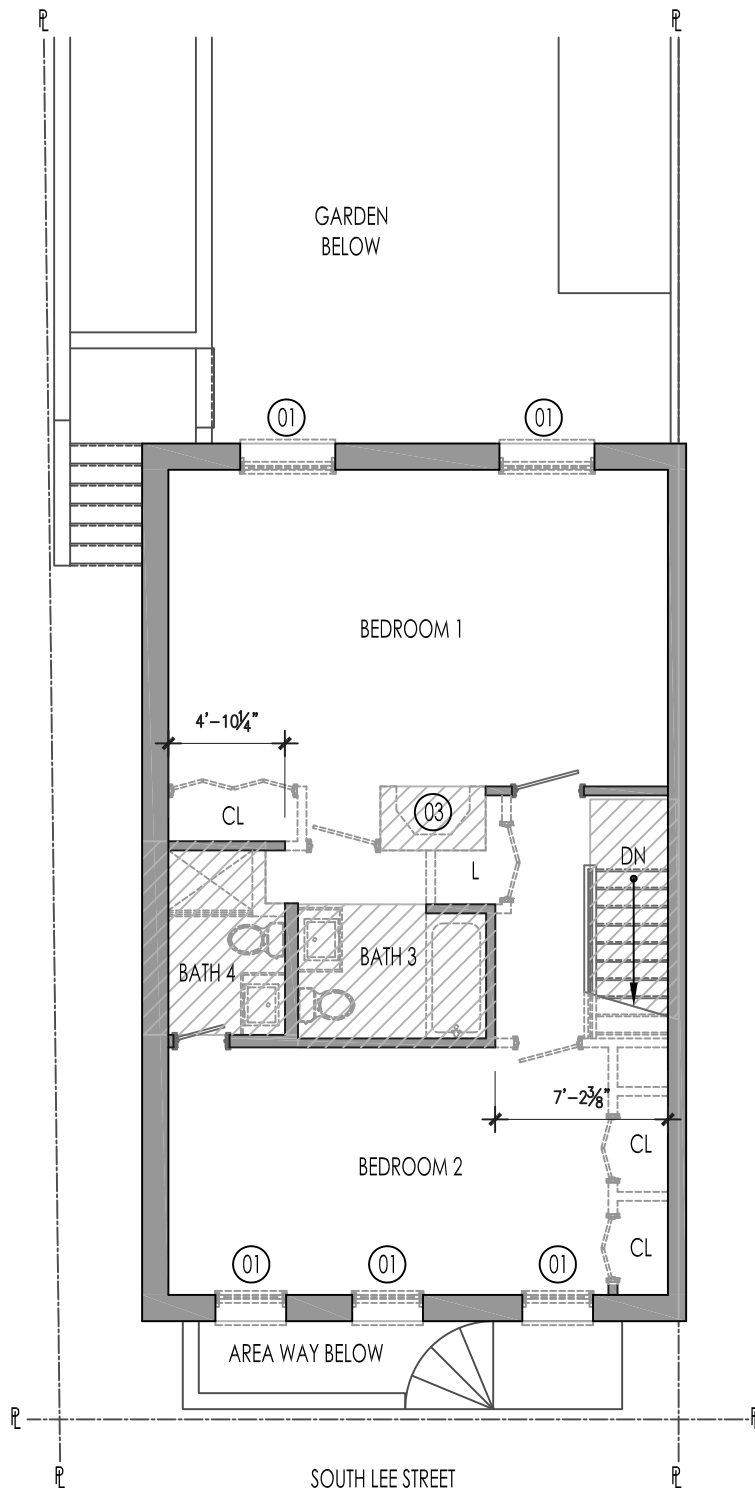
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BAR APPLICATION

**ASK
2.1A**

NOT FOR CONSTRUCTION

DEMOLITION NOTES	
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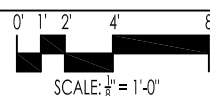
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	EXISTING AREA DEDUCTED
	NEW EXISTING AREA DEDUCTED
	NEW AREA
	NEW AREA TO BE DEDUCTED
	EXISTING OPEN SPACE
	PROPOSED OPEN SPACE

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EXISTING 2ND FLOOR PLAN SHOWING PROPOSED DEMOLITION

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




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**ASK
2.2**

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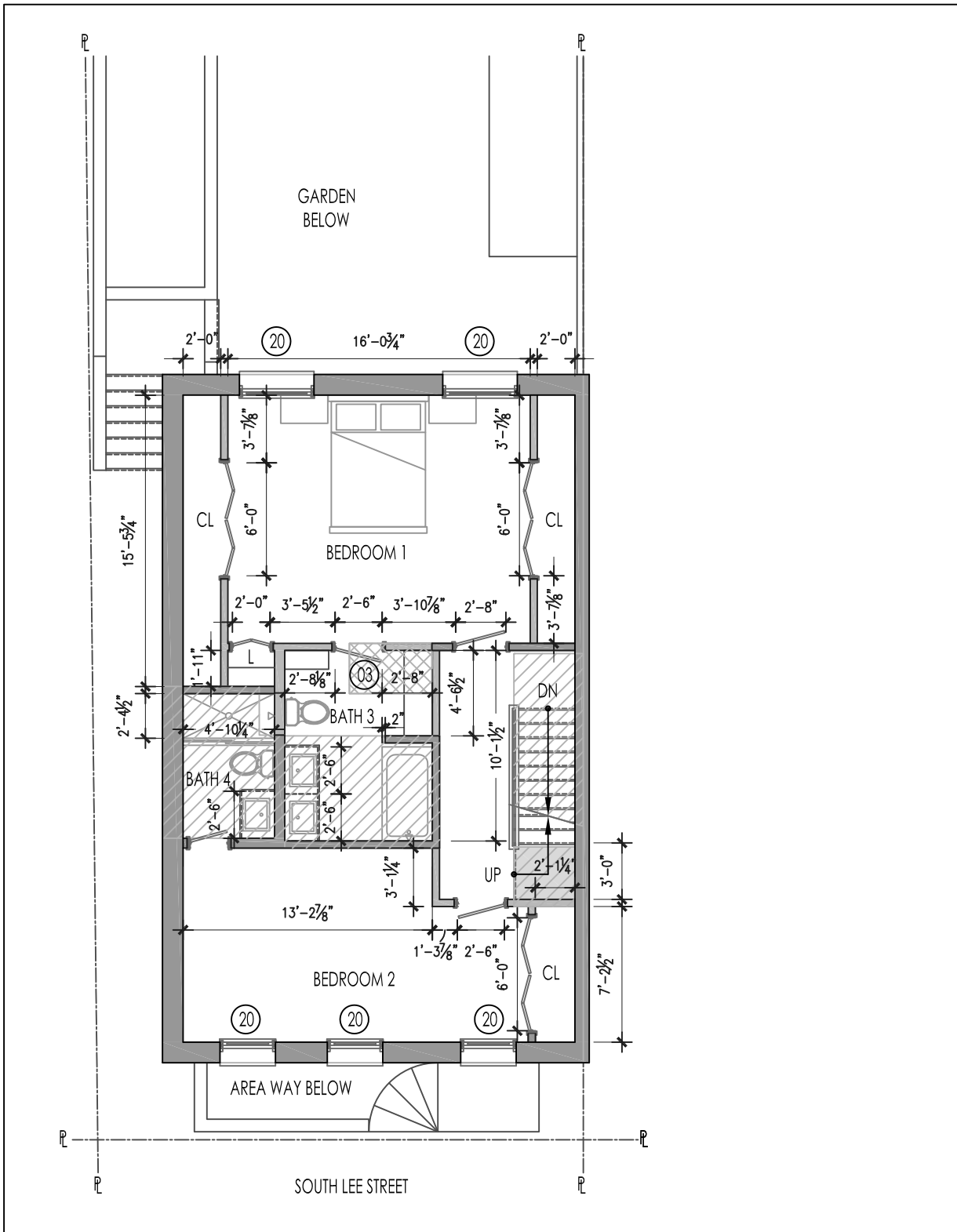
DEMOLITION NOTES	
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	EXISTING AREA DEDUCTED
	NEW EXISTING AREA DEDUCTED
	NEW AREA
	NEW AREA TO BE DEDUCTED
	EXISTING OPEN SPACE
	PROPOSED OPEN SPACE


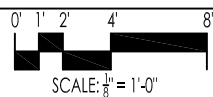

BAR APPLICATION

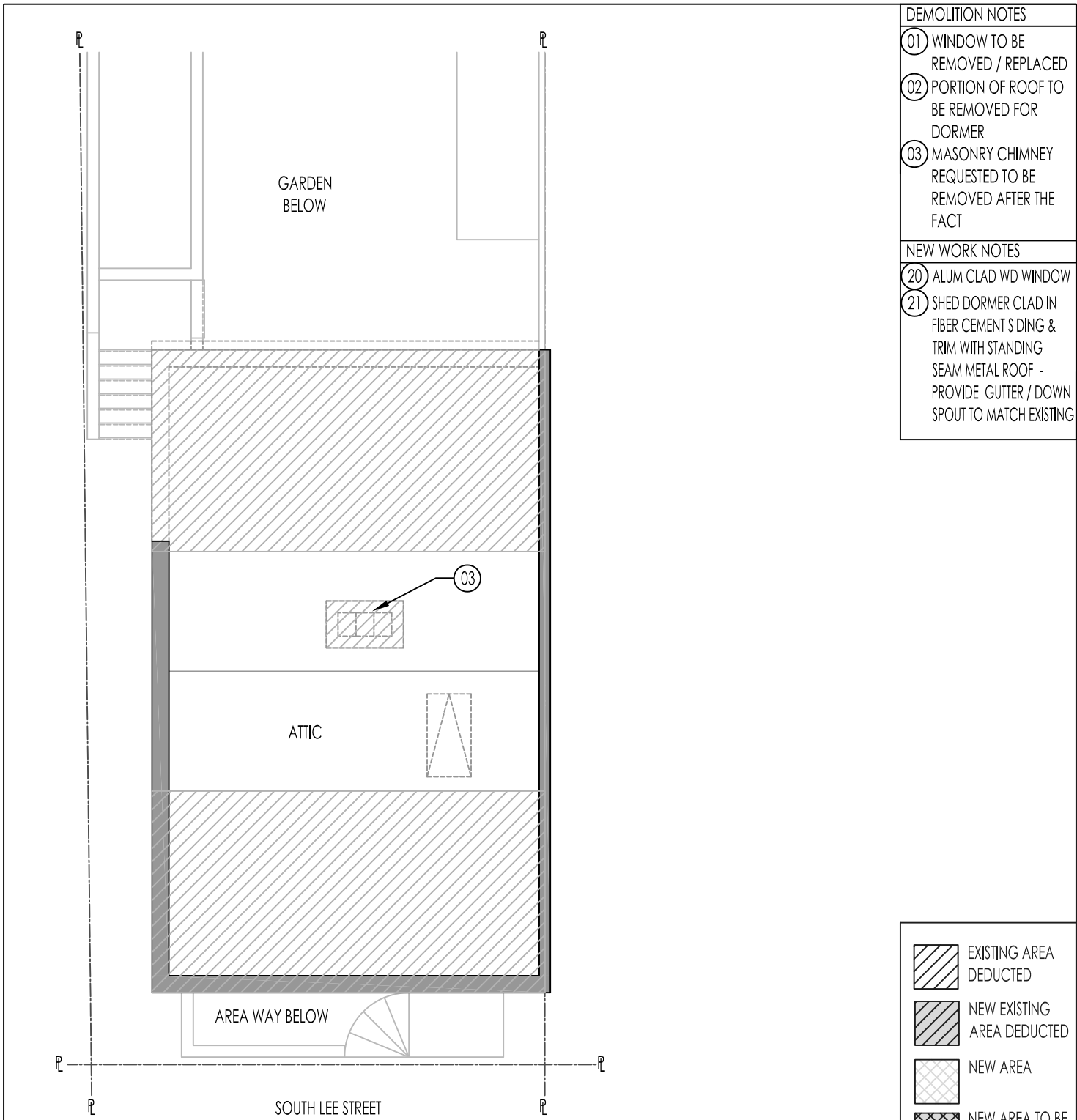
ASK
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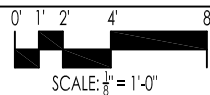


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EXISTING ATTIC PLAN SHOWING PROPOSED DEMOLITION

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**ASK
 2.3**

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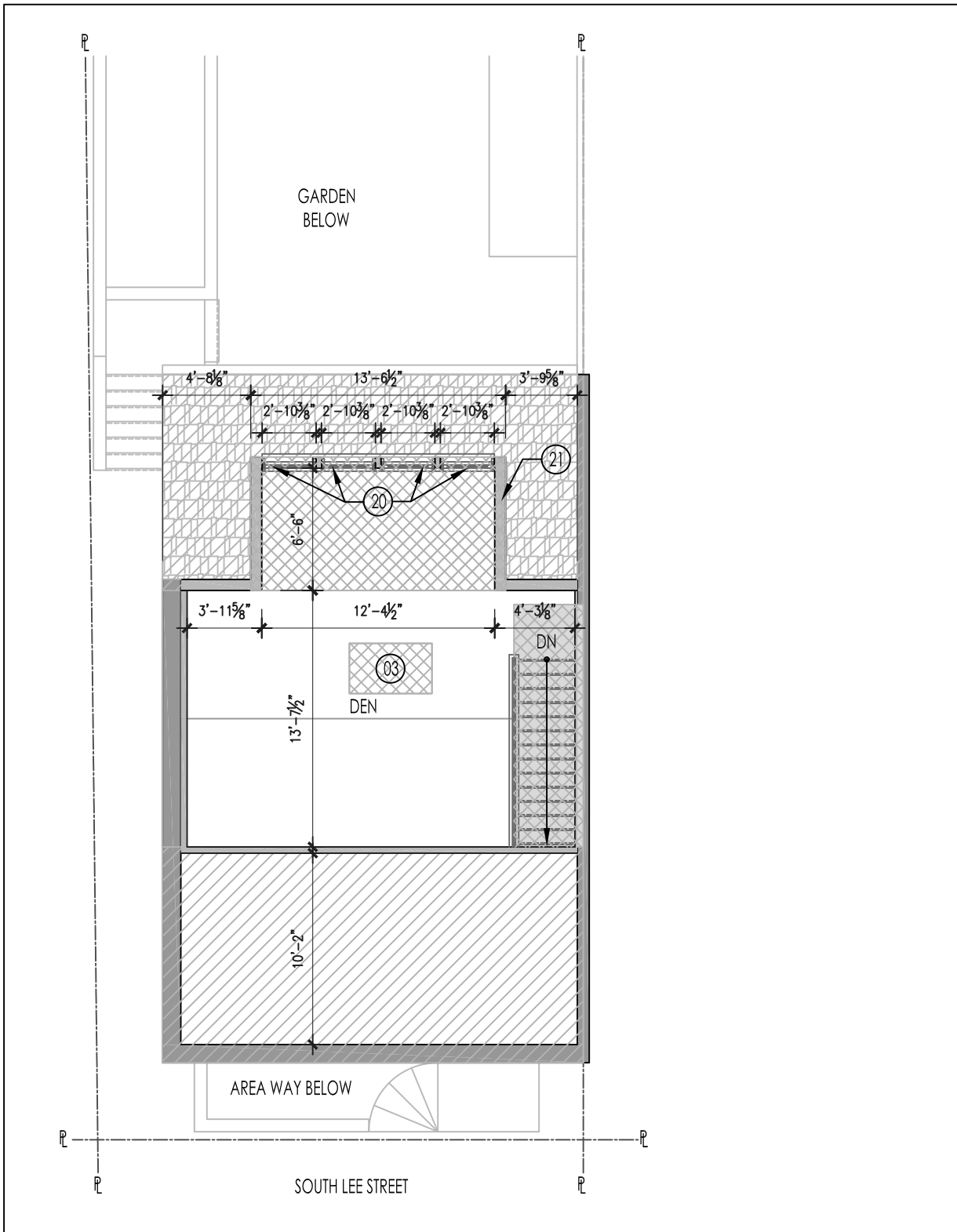
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	EXISTING AREA DEDUCTED
	NEW EXISTING AREA DEDUCTED
	NEW AREA
	NEW AREA TO BE DEDUCTED
	EXISTING OPEN SPACE
	PROPOSED OPEN SPACE

BAR APPLICATION

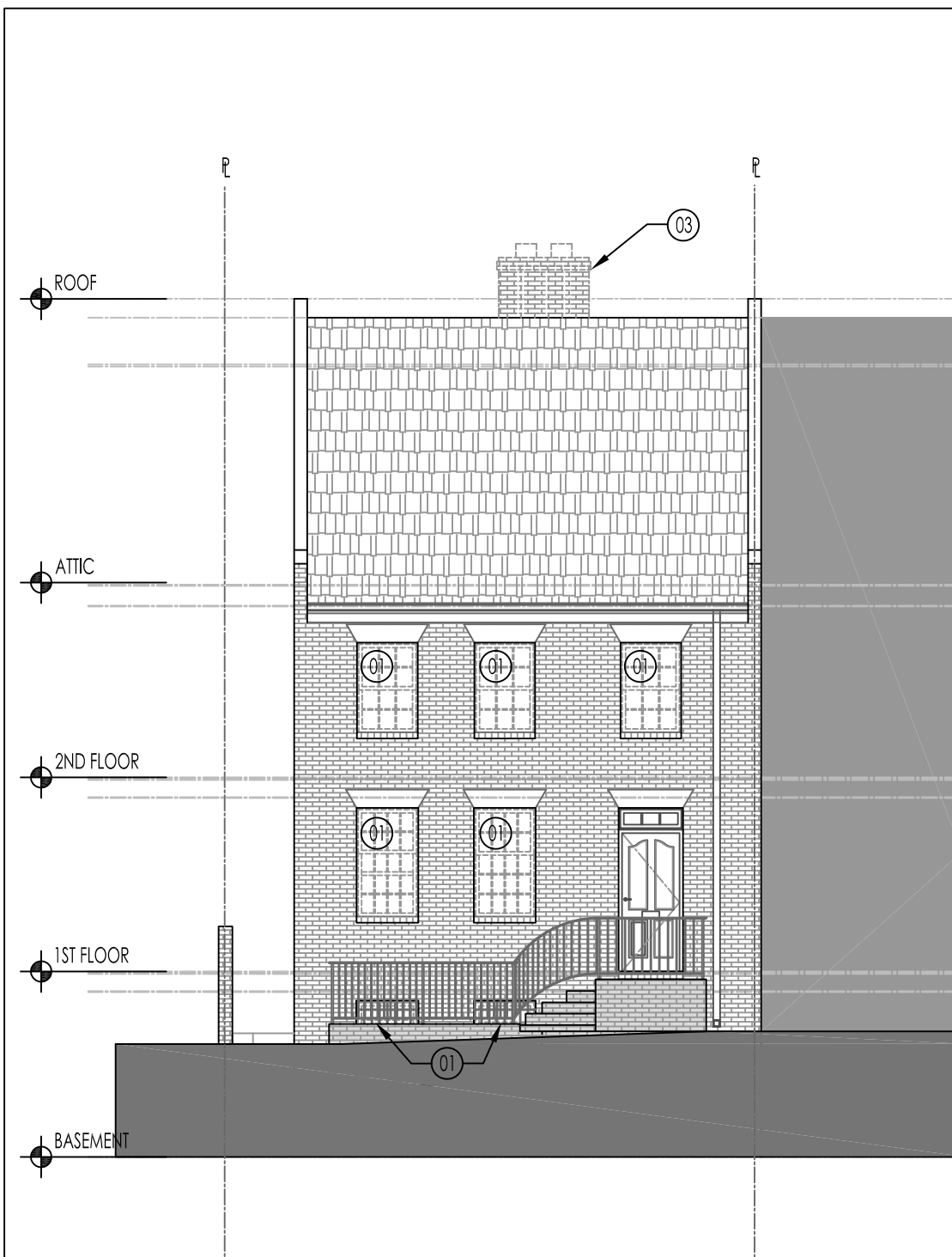
ASK
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Lynn & Raymond Stewart 616 South Lee Street Alexandria, VA 22314			
		Conkey architects	



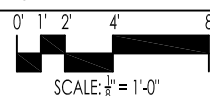
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EXISTING FRONT (WEST) ELEVATION SHOWING PROPOSED DEMOLITION

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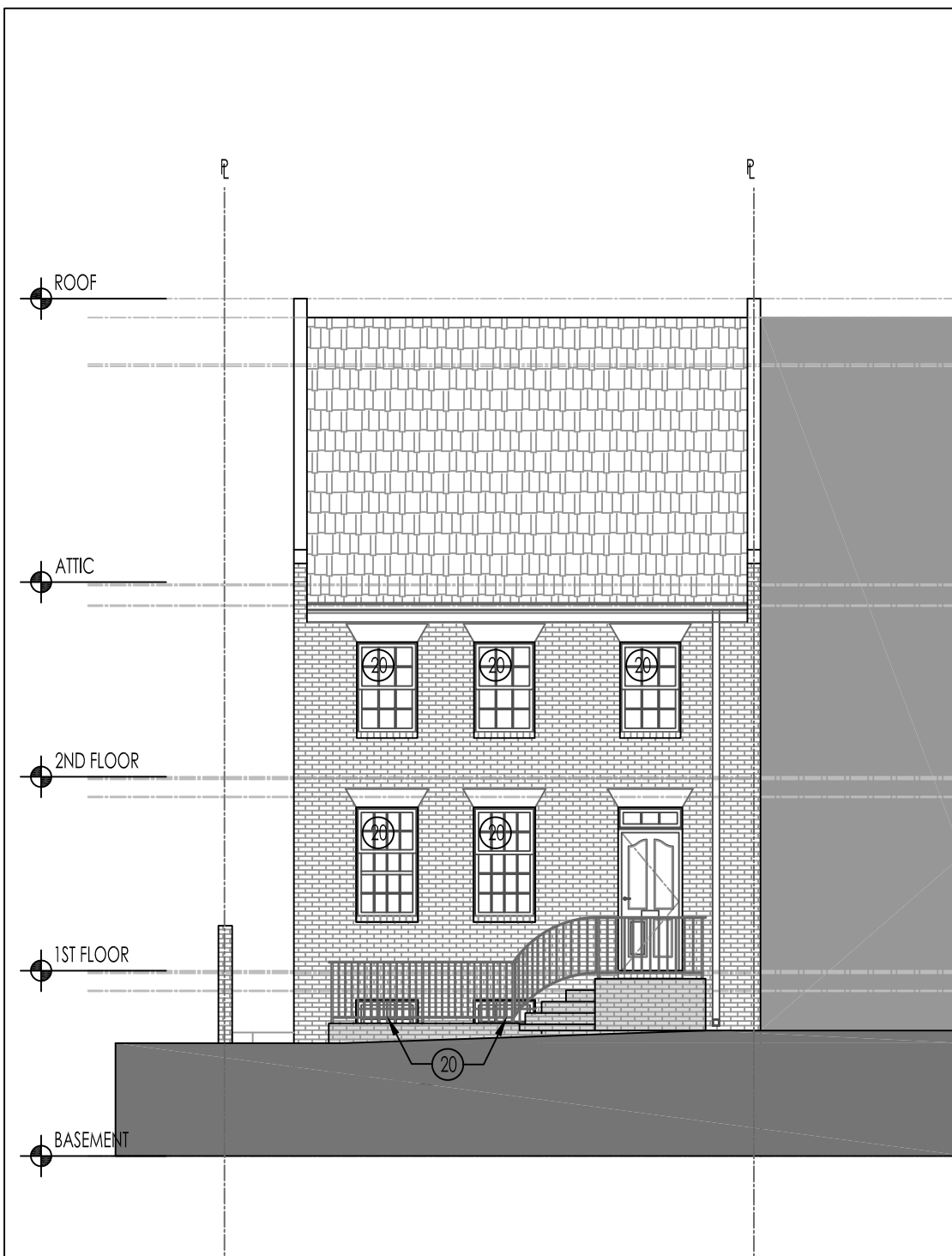
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ASK
3.1

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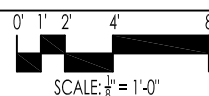
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PROPOSED FRONT (WEST) ELEVATION

CLIENT:
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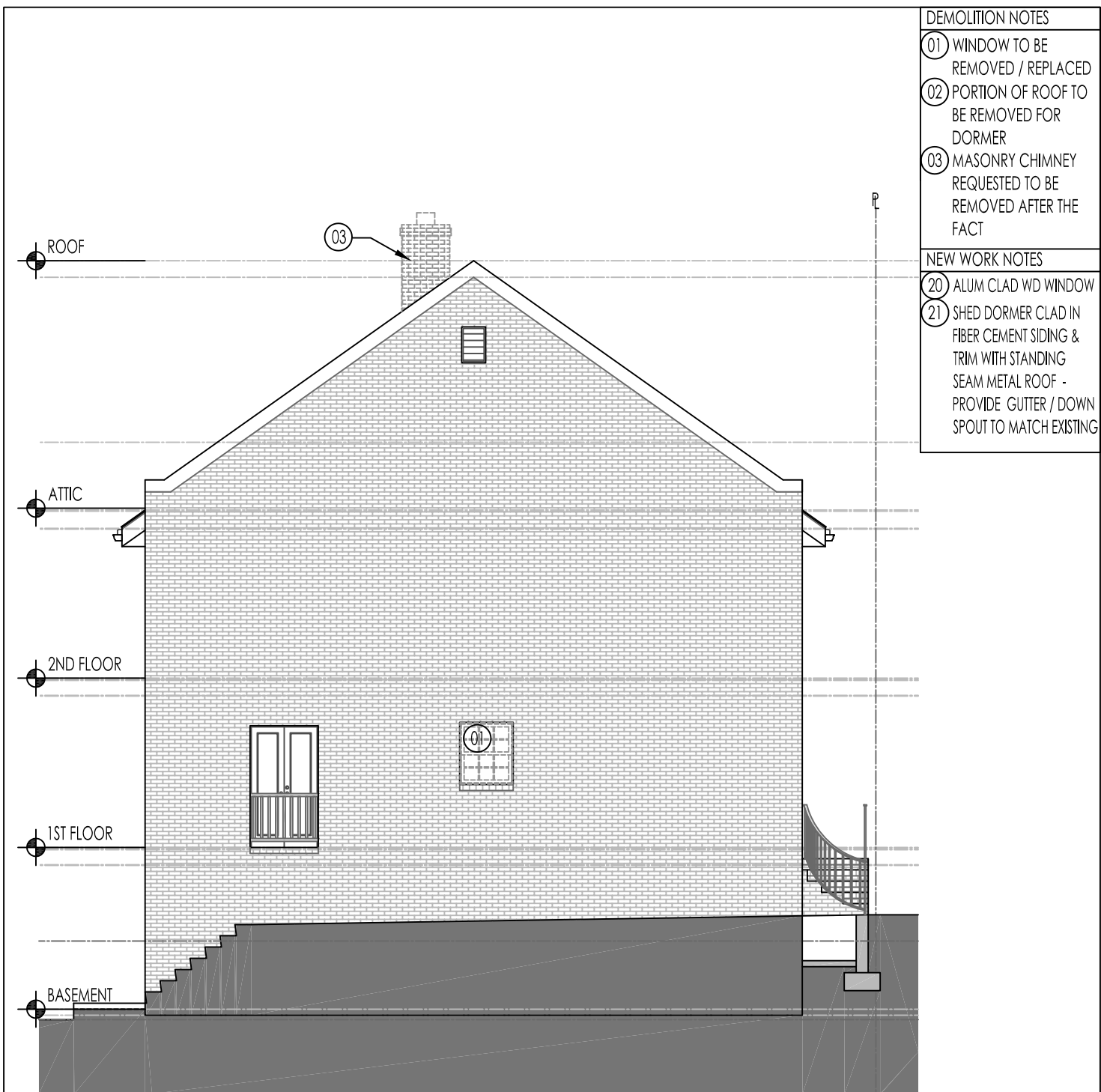
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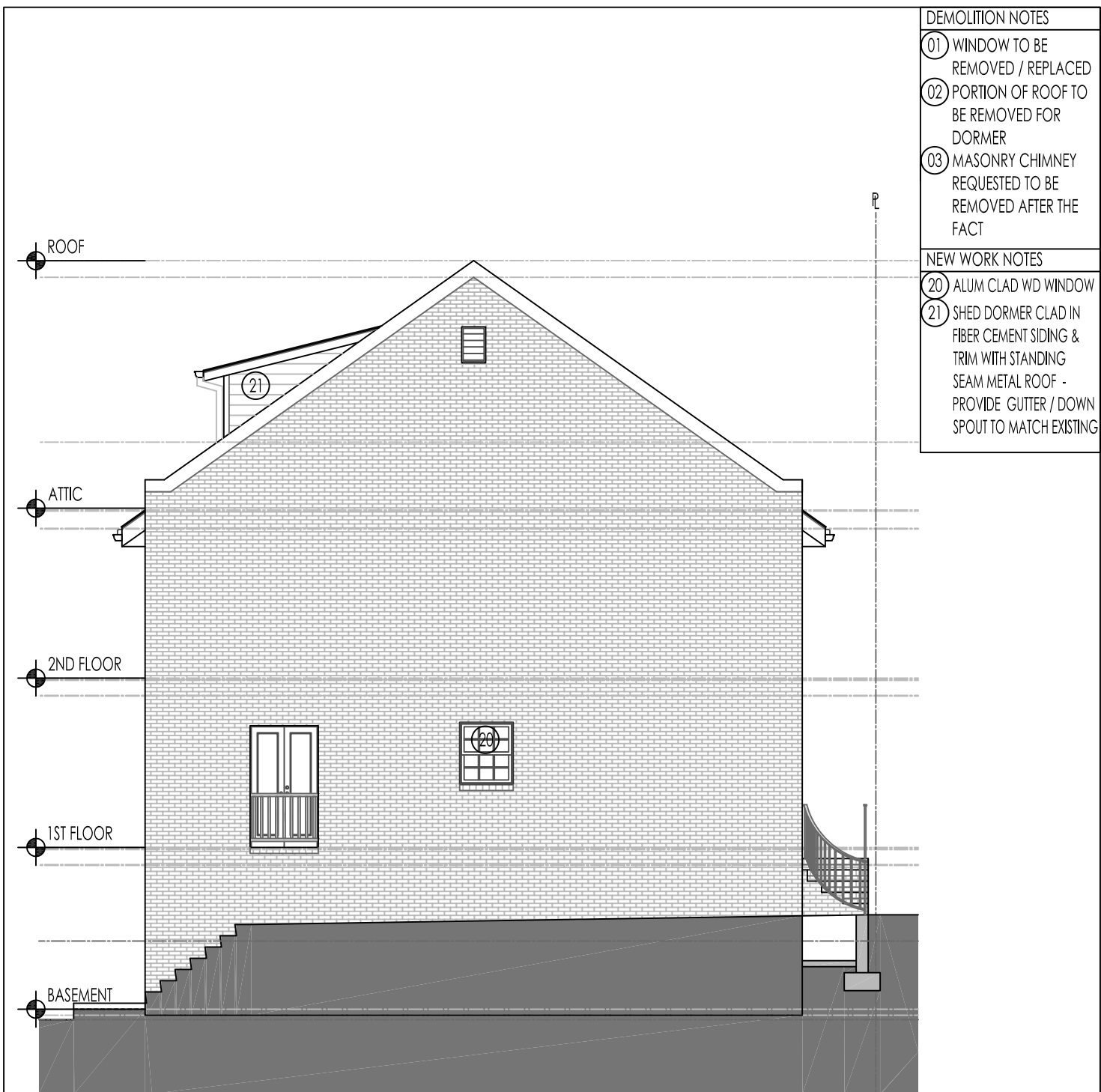
ASK
3.1A

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EXISTING SIDE (NORTH) ELEVATION SHOWING PROPOSED DEMOLITION				COPYRIGHT ©	
CLIENT: Lynn & Raymond Stewart 616 South Lee Street Alexandria, VA 22314		<div>0' 1' 2' 4' 8'</div> <div></div> <div>SCALE: 1/8" = 1'-0"</div>		ARCHITECT: <div>325 north patrick street alexandria, va 22314 703 . 589 . 4550 info@conkeyarchitects.com</div>	
		08 AUGUST 2022		Conkey architects	
				ASK 3.2	
				NOT FOR CONSTRUCTION	



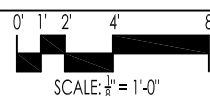
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PROPOSED SIDE (NORTH) ELEVATION

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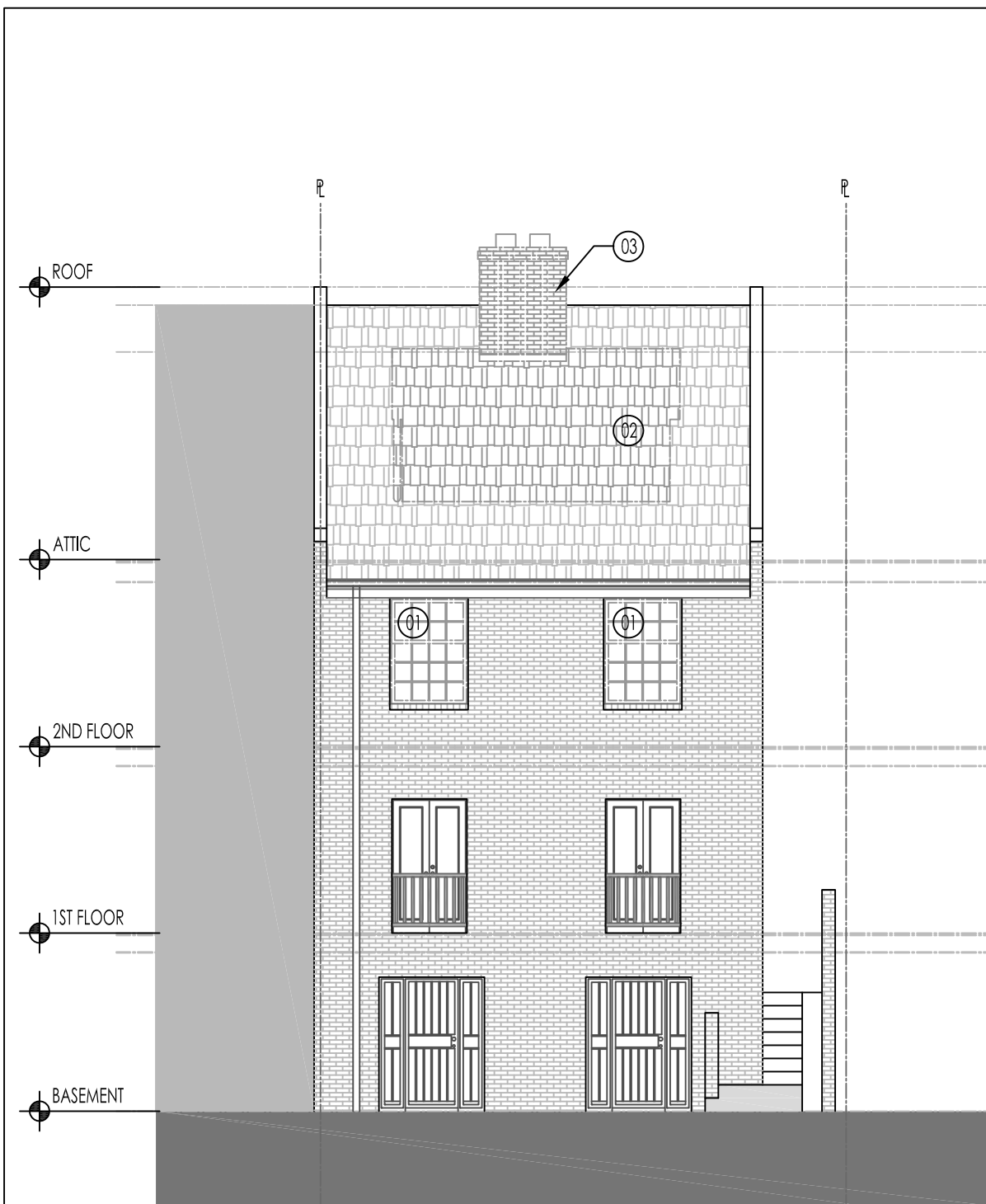
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ASK
3.2A

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DEMOLITION NOTES

- 01 WINDOW TO BE REMOVED / REPLACED
- 02 PORTION OF ROOF TO BE REMOVED FOR DORMER
- 03 MASONRY CHIMNEY REQUESTED TO BE REMOVED AFTER THE FACT

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- 20 ALUM CLAD WD WINDOW
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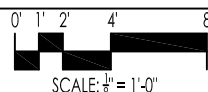
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EXISTING REAR (EAST) ELEVATION SHOWING PROPOSED DEMOLITION

CLIENT:

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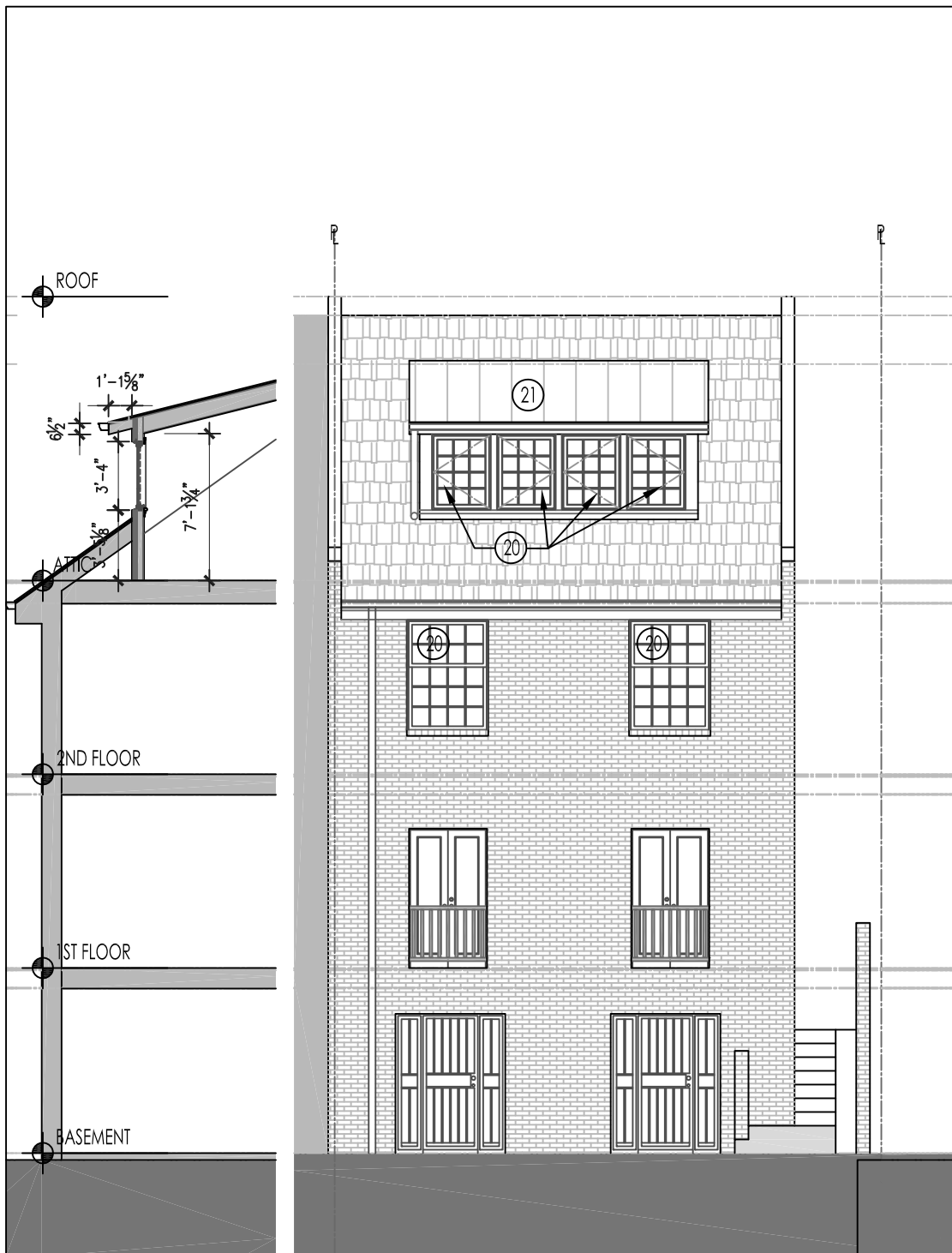
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BAR APPLICATION

ASK
3.3

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DEMOLITION NOTES	
01	WINDOW TO BE REMOVED / REPLACED
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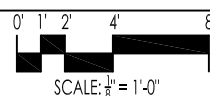
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PROPOSED REAR (EAST) ELEVATION

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ASK
3.3A

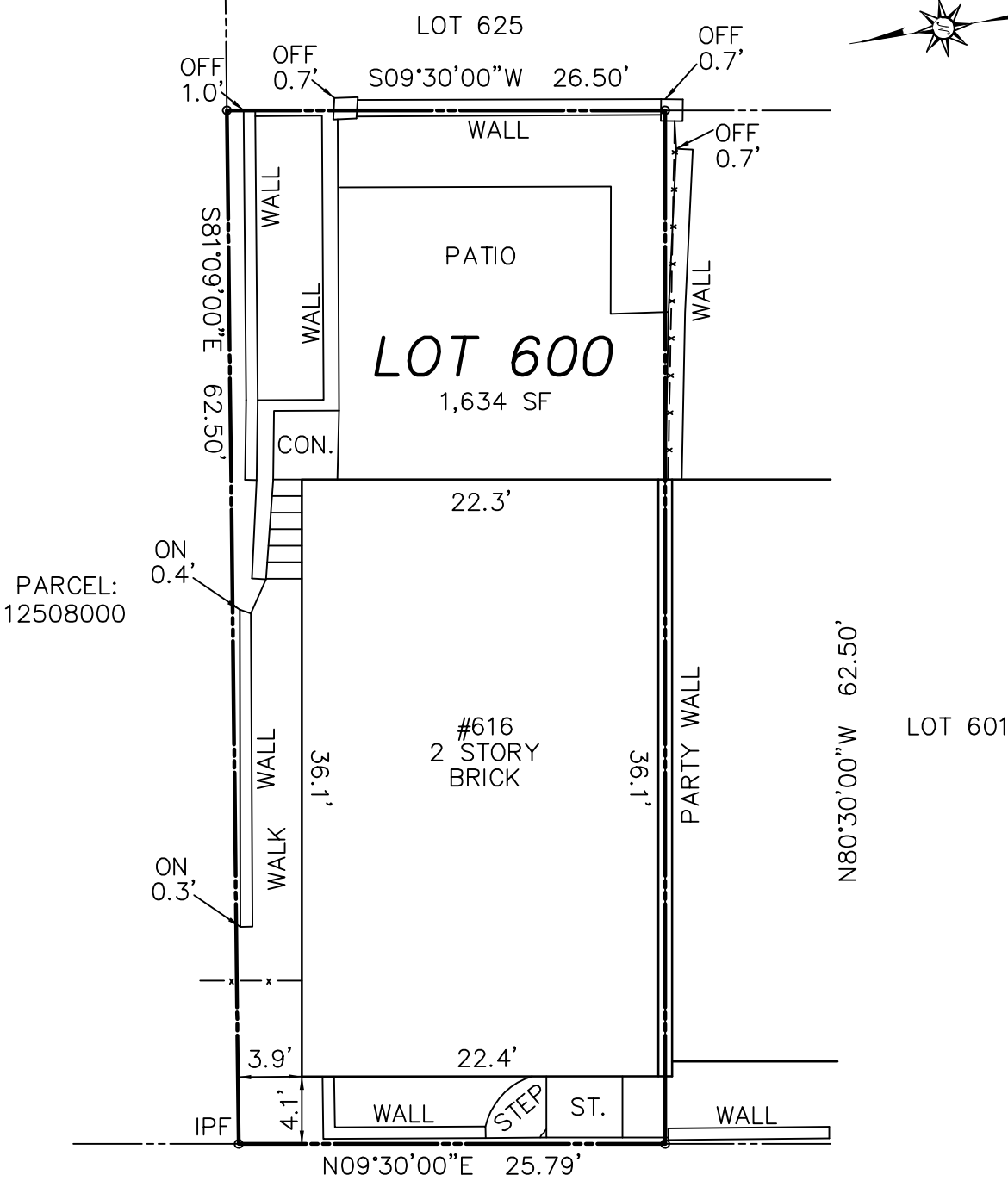
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LINE TYPES:

- BOUNDARY LINE
- EASEMENT
- DRIVEWAY/ROAD
- FENCING
- OVERHEAD WIRE
- STRUCTURE

LEGEND:

- ADW-ASPHALT DRIVEWAY
A/C-AIR CONDITIONING
A/W-AREAWAY
B.E.-BASEMENT ENTRANCE
BF- BOLT FOUND
BO- BOLLARD
BRL-BUILDING RESTRICTION LINE
CDW-CONCRETE DRIVEWAY
CO-CLEANOUT
CONC.-CONCRETE
- F.E.-FIRE ESCAPE
FIOS-FIBER OPTICS UTILITY BOX
ER-ELECTRICIAL RISER
GDW-GRAVEL DRIVEWAY
GEN.-GENERATOR
IPF-IRON PIPE FOUND
IRS- IRON ROD SET
IRF-IRON ROD FOUND
MH-MANHOLE
PAD-CONCRETE PAD
- PP-POWER POLE
R/W-RIGHT OF WAY
SMH-SANITARY MANHOLE
ST.-STOOP
TELE-TELEPHONE PEDESTAL
TR/TRANS-TRANSFORMER
WM-WATER METER
WV-WATER VALVE
W.W.-WINDOW WELL



SOUTH LEE STREET

(50' R/W)

0.1 MILE TO
GIBBON STREET

LOCATION SURVEY

LOT 600
POMMANDER WALK
CITY OF ALEXANDRIA, VIRGINIA
SCALE 1"=10' DATE 06-21-22



- 1.) NO TITLE REPORT FURNISHED.
- 2.) FENCE LOCATIONS, IF SHOWN, ARE APPROXIMATE AND DO NOT CERTIFY AS TO OWNERSHIP.
- 3.) PLAT SUBJECT TO RESTRICTIONS OF RECORD.
- 4.) NO CORNER MARKERS SET.

MERESTONE LAND SURVEYING PLLC

LAND SURVEYING & G.P.S. SERVICES

MERESTONE LAND SURVEYING PLLC
1229 GARRISONVILLE ROAD SUITE 105 STAFFORD, VA 22556
(540)752-9197 FAX (540)752-9198

ULTIMATE

MARVIN SIGNATURE™ COLLECTION



ULTIMATE CASEMENT



Casement and Picture windows with Satin Nickel hardware



Casement windows with Matte Black hardware

ULTIMATE CASEMENT

The Ultimate Casement window is offered in some of the largest sizes in the industry, with a secure multi-point lock, durable hardware that ensures smooth operation, and Marvin's exclusive Wash Mode for easy cleaning—even on upper floors. With many design options, including round top shapes, the Ultimate Casement window flexes to fit your vision and can be sized to complement the most expansive views.



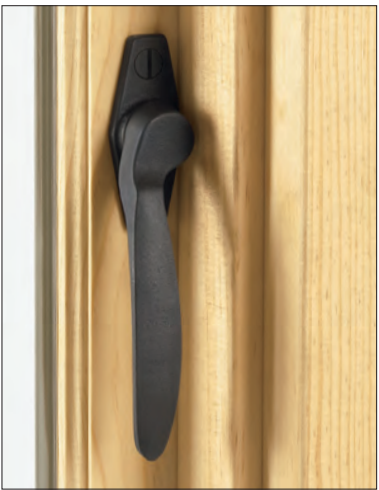
ULTIMATE CASEMENT INTERIOR WITH FOLDING HANDLE



ULTIMATE CASEMENT EXTERIOR WITH FOLDING HANDLE



ULTIMATE CASEMENT PUSH OUT INTERIOR WITH PUSH OUT HANDLE



EXTERIOR FINISH OPTIONS

STONE WHITE
COCONUT CREAM
SIERRA WHITE
CASHMERE
PEBBLE GRAY
HAMPTON SAGE
CADET GRAY
CLAY
CASCADE BLUE
SUEDE
GUNMETAL
WINEBERRY
BRONZE
BAHAMA BROWN
EVERGREEN
EBONY
BRIGHT SILVER (PEARLESCENT)
COPPER (PEARLESCENT)
LIBERTY BRONZE (PEARLESCENT)
CUSTOM COLOR: ANY COLOR YOU WANT

COLOR PER MANUFACTURER'S
STANDARD RANGE OF COLORS

EXTRUDED ALUMINUM

Extruded aluminum is an extremely tough cladding that protects wood windows, mimics the profiles of wood, and provides superior durability. It is the most commonly ordered Marvin material.

Select a color from our palette of 19 durable extruded aluminum colors, including a spectrum of rich hues and three pearlescent finishes. If you have more specialized needs, we can also work with you to create a custom color.

WOOD SPECIES

Wood is a premium material for windows and doors, offering classic aesthetic appeal, many options for customization, and design versatility.

We treat exposed millwork with a water repellent wood preservative to help it last longer. Choose from one of the four options below. Each is ready to be finished to match your project’s exacting requirements.

PINE
VERTICAL GRAIN DOUGLAS FIR
MAHOGANY
WESTERN RED CEDAR Exterior trim package only



Ultimate Double Hung G2 window in Ebony

Ultimate Double Hung G2 window in Suede



DIVIDED LITES



Casement windows with custom Simulated Divided Lites



DIVIDED LITES

The look of multiple, individual panes of glass in a window sash is popular in a wide range of architectural styles—from historic replications to modern farmhouses. For those who seek historical accuracy, authentic divided lites utilize many individual glass panes in a single window. Simulated divided lites, available in a number of different styles, mimic the look of individual panes of glass in a window sash without sacrificing the energy efficiency of a single pane of glass. Our custom capabilities allow us to create almost any divided lite pattern to match your design style.



SIMULATED DIVIDED LITE (SDL)

SDL bars are permanently adhered to both sides of the glass. Simulated Divided Lites with Spacer Bars (SDLs) are an energy-efficient way to create the look of authentic divided lites.



AUTHENTIC DIVIDED LITE (ADL)

Separate panes of glass are glazed between bars—the way windows have been made since the beginning. Available exclusively with wood exterior units.



GRILLES-BETWEEN-THE-GLASS (GBG)

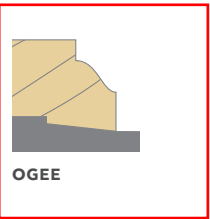
Grilles are permanently installed between the glass panes. This low-maintenance grille offers the look of a divided lite pattern with the ease of cleaning just one pane of glass. Available with different interior and exterior colors.

FIVE STANDARD BAR WIDTHS



STICKING AND PROFILES

Sticking refers to the interior profiles of your wood window. Choose from the standard Ogee profile (used on traditional projects) or the optional clean, contemporary Square sticking.



OGEE



SQUARE



SQUARE STICKING

SCREENS



Double Hung Insert G2 windows with Full Screens

SCREENS

Choose from an aluminum surround in three finishes or a wood interior surround that complements warm wood interiors and comes factory-prepped for staining and painting. A variety of screen mesh options in aluminum or fiberglass allow for further customization for aesthetics or to ensure you're choosing a mesh that's fine enough to keep even the littlest bugs away.

CASEMENT SCREEN OPTIONS



RETRACTABLE SCREEN
The innovative Retractable Screen from Marvin lets the breeze in and easily retracts out of sight when not in use. A tight seal and a strong adjustable pull bar ensure extraordinary performance. Marvin's unique concealed design makes the screen nearly undetectable when it is in the retracted position.

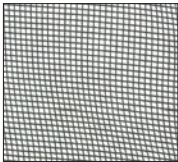


INSWING CASEMENT SCREEN
The beautifully crafted inswing screen can bring in fresh air along with its classic appearance to standard or round top casement windows.

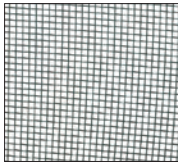


WOOD SCREEN SURROUND
The patented wood screen surround with Hi-Transparency screen mesh and aluminum exterior creates a seamless wood interior.

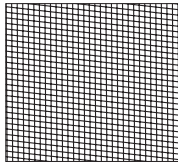
SCREEN MESH OPTIONS



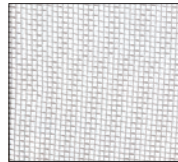
CHARCOAL FIBERGLASS



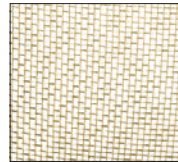
CHARCOAL ALUMINUM WIRE



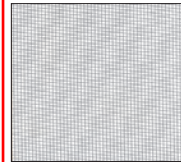
BLACK ALUMINUM WIRE



BRIGHT ALUMINUM WIRE



BRIGHT BRONZE WIRE



HI-TRANSPARENCY MESH

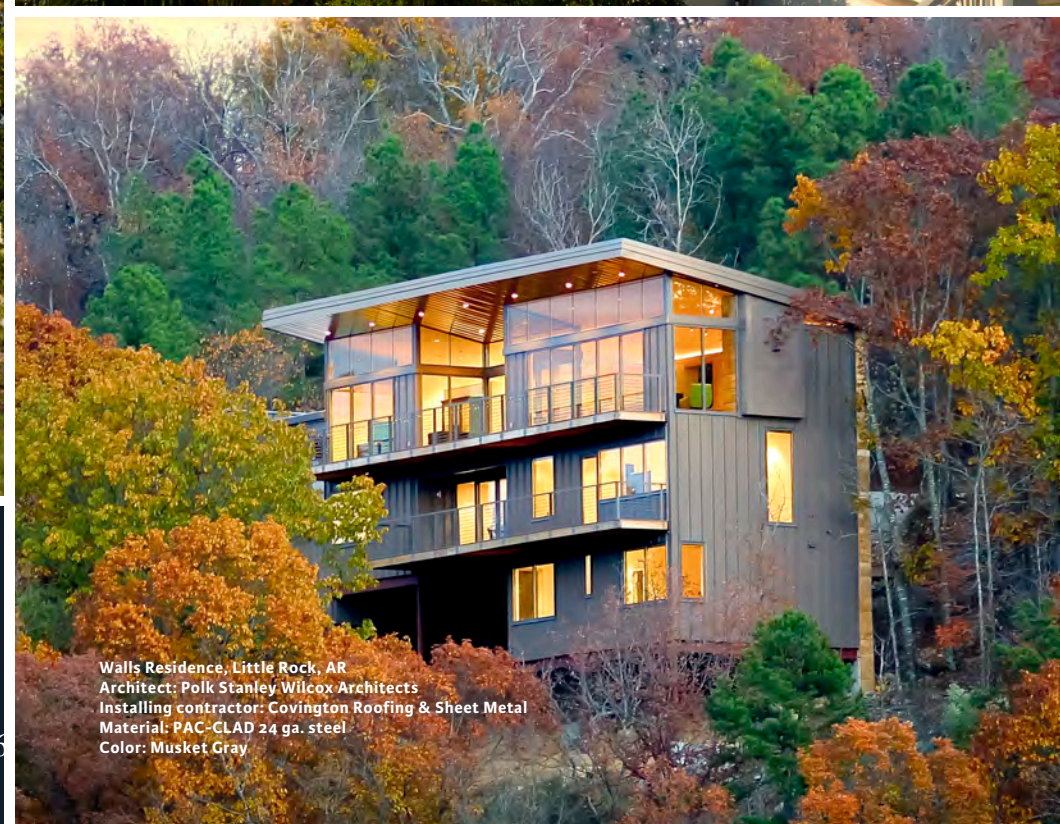
RESIDENTIAL



Cover Photo:
Residence, Burr Ridge, IL
Architect: Michael Buss Architects
Installing contractor: Complete Flashings
Builder: McNaughton Brothers Construction
Material: Snap-Clad .032 aluminum
Color: Charcoal



Residence, Ponte Vedra Beach, FL
Architect: Jaycox Reinel Architects
General contractor: C. F. Knight Inc.
Roofing fabricator: Thorne Metal Systems
Material: PAC-CLAD Slate Gray .040 aluminum



Walls Residence, Little Rock, AR
Architect: Polk Stanley Wilcox Architects
Installing contractor: Covington Roofing & Sheet Metal
Material: PAC-CLAD 24 ga. steel
Color: Musket Gray



PAC-CLAD
P E T E R S E N

AN ELEGANT PALETTE

Petersen's extensive color palette includes options that are complementary to most architectural styles, building materials including brick, stone and wood, plus exterior products such as siding, windows and doors.

▲★ PATINA GREEN	▲★ TEAL	▲★ HEMLOCK GREEN	FOREST GREEN	HARTFORD GREEN
▲★ EVERGREEN	▲★ HUNTER GREEN	▲★ ARCADIA GREEN	▲★ MILITARY BLUE	BERKSHIRE BLUE
▲ GRAPHITE	▲★ CHARCOAL	INTERSTATE BLUE	▲★ SLATE BLUE	AWARD BLUE
MATTE BLACK	▲★ DARK BRONZE	▲ BURNISHED SLATE	▲★ AGED BRONZE	▲★ MEDIUM BRONZE
▲★ MANSARD BROWN	BURGUNDY	▲★ TERRA COTTA	▲★ COLONIAL RED	▲★ CARDINAL RED
MIDNIGHT BRONZE	▲★ MUSKET GRAY	▲★ SIERRA TAN	▲★ SANDSTONE	▲★ ALMOND
▲★ SLATE GRAY	▲★ CITYSCAPE	▲★ GRANITE	▲★ STONE WHITE	▲★ BONE WHITE

Premium Colors

▲●★ ANODIC CLEAR	▲●★ SILVERSMITH	●▲★ SILVER	●▲★ CHAMPAGNE	●▲★ COPPER PENNY
●▲★ ZINC	●▲★ WEATHERED ZINC	★ WEATHERED STEEL	★ WEATHERED COPPER	●▲★ AGED COPPER

▲ Cool Colors ● Metallic Colors ★ Energy Star Colors ★ Premium Colors

Due to limitations of the printing process, color representation on the grid above is not 100% accurate. Please request a free color guide from your Petersen rep, architect or contractor to confirm your color choice before placing an order.



Design: Stuart Cohen & Julie Hacker Architects
Photo: Tony Soluri Photography

BEYOND THE ORDINARY

A home with a metal roof stands with more pride than neighboring homes, and for good reason. The beauty of a metal roof is superior to the asphalt shingles most homeowners think of when envisioning a residential roof. A metal roof will perform better, too. The properties of metal combined with the incredible solar reflectivity of our superior PAC-CLAD paint coating can reduce the cost of heating and cooling a home. Additionally, a metal roof will last much longer and endure better than an asphalt or wood roof. While neighbors

complain about replacing their non-metal roofs, those living under metal roofs will beam with pride that theirs looks as good as the day it was installed.

SEE IT ON YOUR HOME TODAY

Drop a photo of any home into our online visualization tool to see how Petersen's PAC-CLAD products will look on it. Visit pac-clad.com and click on PAC E-Tools to work with the visualizer. Or, ask your contractor for assistance.

A LIFETIME INVESTMENT

Alvhem, Centreville, MD
Owner: Robert Dahl
Architect: Torchio Architects
Installing contractor: CitiRoof Corp.
Profile: Precision Series HWP
Color: Matte Black
Photo: Buchanan Studios Inc.

When considering a metal roof, discussions should focus on lifetime value, not upfront cost. A metal roof is for homeowners who appreciate its value. The price of a metal roof, which comes with an estimated lifetime of 50 years if properly maintained, can be up to three times the installed cost of other materials. In return for the investment, the made-in-the-USA metal roof will last 3 or 4 times longer than a typical residential roof.

METAL EXPERIENCE MATTERS

When choosing an architect or contractor, experience matters. A metal roof is a different animal that requires a specialized skill set to properly specify and install. Choosing architects and contractors with metal roof experience will maximize your metal roof's performance, and add a level of comfort to your decision.

NEW CONSTRUCTION OR REMODELING

A metal roof will look beautiful and perform well on a home built from the ground up, or on a home undergoing an exterior remodel or simple roof replacement. A good architect or designer can blend a Petersen metal roof or siding with any architectural style or color.

STEEL OR ALUMINUM

Petersen's PAC-CLAD metal roofing and siding products are available in either steel or aluminum. An experienced Petersen rep, architect or contractor will guide homeowners toward the material that's best for their home.

A GREEN, SUSTAINABLE PRODUCT

A Petersen metal roof is made with recycled content, qualifying it as a "green" or recycled-content product. It is also 100% recyclable at the end of its useful life, unlike other roofing materials which are routinely disposed of by the ton in landfills.

LITERALLY COOL COLORS

A PAC-CLAD metal roof from Petersen is available in 35 colors that are rated by the Cool Roof Rating Council, plus 31 that are Energy Star-rated. Coating technology that is specifically formulated for PAC-CLAD products reflects sunlight and cools a roof by emitting radiation to its surroundings. The roof stays cooler and reduces the amount of heat conducted to a home, saving up to 40% of a typical home's annual energy costs.

WARRANTY COVERAGE

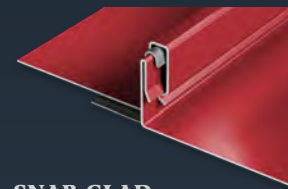
Petersen offers a limited 30-year finish warranty on its PAC-CLAD painted metal roof and siding panels. A weathertight warranty is available on selected metal roof products.

BEAUTIFUL PROFILES

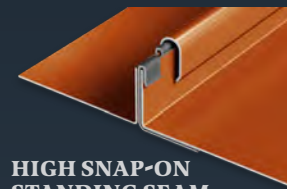


Private residence, Florida
Architect: T. S. Adams Studio Architects
Installing contractor: Cartercraft Roofing
Profiles: PAC-150, Flush panel
Colors: Weathered Zinc, Champagne

Metal Roofing



SNAP-CLAD



**HIGH SNAP-ON
STANDING SEAM**



**PAC-150
90° SINGLE LOCK**

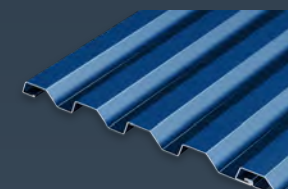


**PAC-150
180° DOUBLE LOCK**

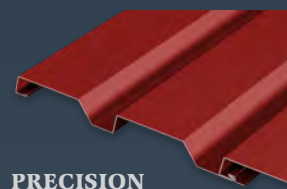


**REDI-ROOF
STANDING SEAM**

Siding



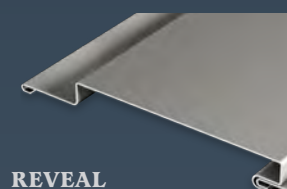
**PRECISION
SERIES HWP**



**PRECISION
SERIES
HIGHLINE 16-C**

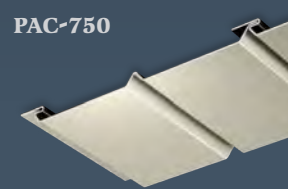


**FLUSH
PANEL**

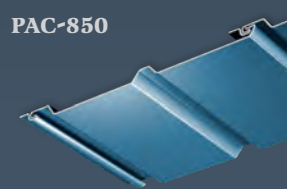


**REVEAL
PANEL**

Soffit Panels



PAC-750



PAC-850

Soffit panels come in solid, full-vented and half-vented variations.