

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for an addition and alterations

APPLICANT: Anne Toth

LOCATION: Old and Historic Alexandria District
508 North Washington Street

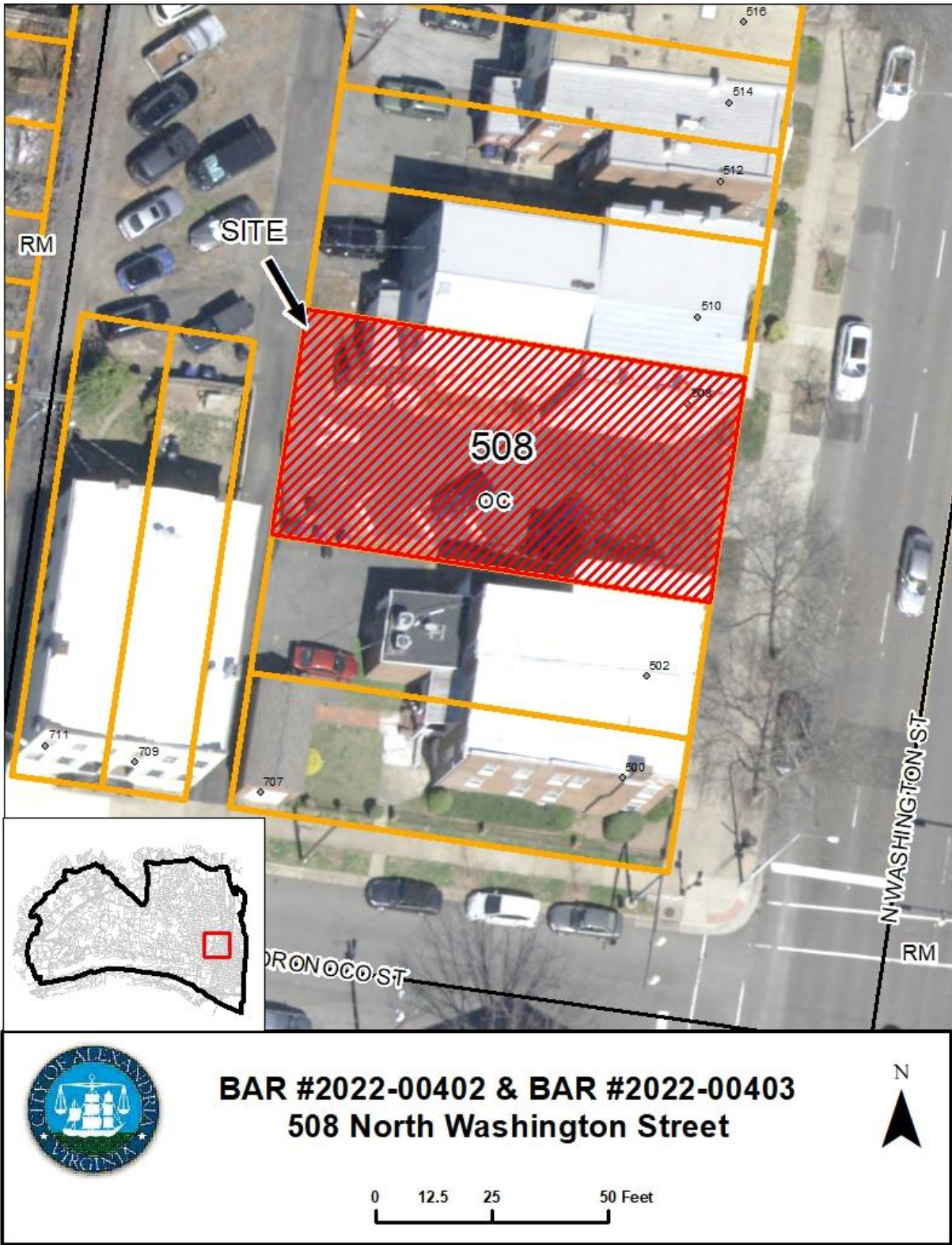
ZONE: OC/Office Commercial zone.

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for an addition and free standing structure as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



Note: Staff coupled the applications for a Permit to Demolish (BAR2022-00403) and Certificate of Appropriateness (BAR2022-00402) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for an addition and Accessory Dwelling Unit (ADU), at 508 North Washington Street.

Permit to Demolish/Capsulate

1. Demolish two areas of brick, one at 30sf and one at 38 sf, on the south elevation of the existing building to allow for new openings.
2. Encapsulate 409 sf of exterior wall and second floor window on the south elevation of the existing building.

Certificate of Appropriateness

1. Construct new addition at east end of south elevation clad in limestone with wood trim and aluminum clad windows.
2. Construct new freestanding two story ADU with parking on the ground floor at the west side of the property, directly adjacent to the public alley. The lower portion of the structure will be clad in unpainted brick and the upper portion will be painted wood. The roof will be a pyramidal standing seam metal.

Site context

The alley to the west, behind the subject property, is public. The proposed addition will be visible from the right-of-way.

II. HISTORY

The two-bay, two-and-a-half story Victorian style townhouse consists of a masonry main block and two-story ell with a one-story addition at the rear. The one-story addition is a masonry and frame structure. The subject property was constructed **between 1891 and 1896** when it first appears on Sanborn maps. There have not been any significant changes to the footprint of the property since construction.

Previous BAR Approvals

The Board approved alterations on May 12, 1955.

BAR 2021-00091 & 2021-00092 – The Board approved modifications and an addition on the west end of the south elevation.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to

neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	No, see below.
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relate only to the specific portions of the building proposed for demolition/capsulation, not the overall building.

In the opinion of staff, none of the criteria for demolition and capsulation of a portion of the south wall are met, and the Permit to Demolish/Capsulate should be granted. The proposed addition has been carefully located west of the two windows closest to the front of the building on this elevation, preserving the integrity of this corner (Figure 1). While one second floor window on the main block of the structure will be encapsulated, the adjacent ground floor window is being retained by cantilevering the second floor space above this window. While it is original to the house, the masonry being removed is not particularly unique or of uncommon design as this is a typical building for the historic district. Staff, therefore, does not object to the demolition/capsulation of the afore-mentioned architectural features.



Figure 1: Scope of proposed demolition on South elevation

Certificate of Appropriateness

According to the *Design Guidelines*, “An addition to a historic building should be clearly distinguishable from the original structure. An addition should not obscure or dilute the architectural and historic importance of an existing building by creating a false sense of the past.”

As the subject property faces Washington Street, it is subject to the standards of 10-105 (A) (3) of the City of Alexandria Zoning Ordinance. These regulations are meant to ensure that the historic character of the George Washington Memorial Parkway is maintained. Some key elements of these standards include the following:

- (i) Elements of design consistent with historic buildings which are found on the street shall be emphasized.
- (ii) New buildings and additions to existing buildings shall not, by their style, size, location, or other characteristics, detract from, overwhelm, or otherwise intrude upon historic buildings which are found on the street.
- (iii) The design of new buildings or additions to existing buildings shall be complementary to historic buildings which are found on the street.
- (iv) The massing of new buildings or additions to existing buildings adjacent to historic buildings which are found on the street shall closely reflect and be proportional to the massing of the adjacent historic buildings.
- (3) Building materials characteristic of buildings having historic architectural merit within the district shall be utilized. The texture, tone, and color of such materials shall display a level of variety, quality, and richness at least equal to that found abundantly in the historic setting.

Proposed Addition

The basic diagram for the proposed addition is a simple limestone clad rectangle connected to the south side of the existing building on the short side with the longer side facing North Washington Street. On the east and west sides of this rectangle are located a projecting two story porch element rendered in painted wood pilasters and columns with full height windows and doors. Centered

above the intersection of these two forms is a standing seam pyramid shaped roof. The base of the addition is an unpainted brick water table with steps centered on the east and west sides.

On the east side, the porch is enclosed on the ground floor and open above. Full height glazed doors infill between the pilasters on the ground floor and allow access to the exterior porch at the second floor. On the west side the porch is enclosed on the second floor and open on the first. On this elevation, full height windows on the second floor are made to resemble the doors on the east side. A ground floor covered porch on this side faces the interior courtyard. At both the upper and lower level porches a decorative metal railing will infill between the decorative columns. The railing will use a “cattail pattern” giving the design an organic impression.

The limestone rectangular form will include a painted wood belt course that aligns with the upper level porch base and a painted wood entablature and cornice that extends to the two porch forms, unifying the masses. At the east and west elevations, the limestone portion features small rectangular windows located at the upper third of the adjacent doors and centered on the wall. The south elevation includes four larger rectangular window openings with the second floor windows slightly shorter than the ground floor windows. One of the openings at the second floor is covered with false shutters, maintaining the balanced elevation while allowing for interior privacy. These windows feature a two over two configuration. On the upper level of the west elevation, the limestone gives way to painted wood siding for the segment that is cantilevered above the open ground floor. This detail allows for the existing ground floor window in this location to remain in place. See Figures 2-4 below for the proposed design.



Figure 2: Proposed south elevation



Figure 3: Proposed east elevation



Figure 4: Proposed west elevation

The proposed design includes many features that are found on buildings in the historic district, many of them within a short distance of the project site including some on Washington Street. The submission includes photographs of some of these elements. The simple limestone cladding is featured prominently on the building at the northwest corner of Prince Street and South Washington Street. The porch elements are similar in design to those found directly across North Washington Street from the project site and at the building at the nearby southeast corner of North Washington Street and Oronoco Street. The low pitch pyramid roof on the addition draws inspiration from this structure as well. The cantilevered section at the northwest corner of the addition serves a utilitarian purpose but the use of wood cladding is reminiscent of a similar detail above the entry at 801 Duke Street. The proposed design uses these elements as a means to reference the historic fabric while also crafting its own unique identity. In this way, the design is directly in conformance with the direction of the Washington Street Guidelines.

Accessory Dwelling Unit

The proposed Accessory Dwelling Unit (ADU) at the rear of the property will be a simple 20 foot square, two story structure with ground floor parking and a residential unit above. The building will feature overhead doors at the north and west elevations on the ground floor for vehicular access and an exterior metal stair on the east elevation providing access to the upper level. Pedestrian access to the ground floor will be through a door on the east elevation centered on the second floor door above. The lower level of the structure will be clad in unpainted brick capped with a precast sill. The upper level will be painted wood that is set back from the brick below. Side by side, two over two windows will be located on the upper level beneath a standing seam metal pyramidal roof. See figures 5-8 below for the proposed design.



Figure 5: Proposed east elevation

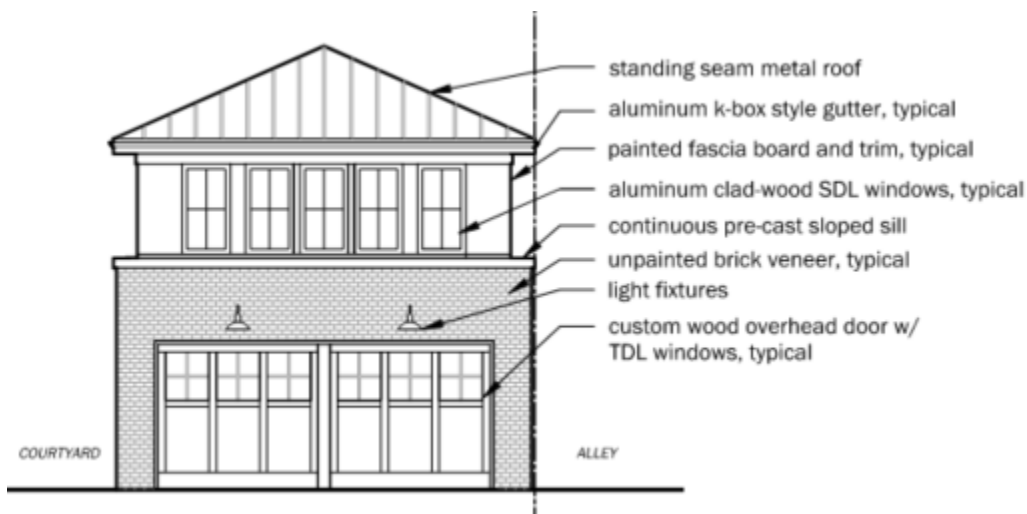


Figure 6: Proposed north elevation



Figure 7: Proposed west elevation

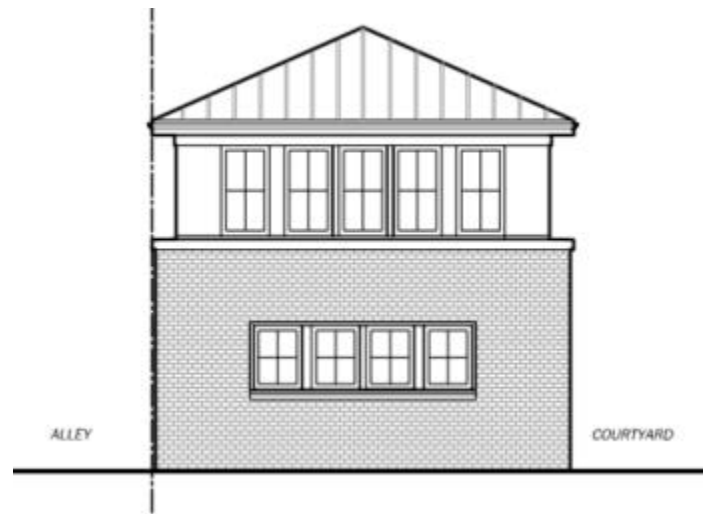


Figure 8: Proposed south elevation

As with the design of the proposed addition, the design for the ADU takes cues from existing nearby historic structures. The square shape and higher pitch pyramidal roof are reminiscent of the existing carriage house at 708 Pendleton Street, which is in the same alley as the proposed structure. The ganged windows and recessed upper levels give the impression of a turret on top of the heavier brick base. The use of unpainted masonry and painted wood trim is reminiscent of the existing historic building while being clearly modern and secondary to the main structure.

Staff finds that the proposed design is consistent with both the *Design Guidelines* and the portions of the Zoning Ordinance directly relevant to properties that front onto Washington Street. The proposed addition is “clearly distinguishable from the original structure” while including design elements derived from nearby historic structures. The choice of high quality materials for the construction of both the addition and the ADU are “characteristic of buildings having historic architectural merit within the district shall be utilized. The texture, tone, and color of such materials shall display a level of variety, quality, and richness at least equal to that found abundantly in the historic setting.” Staff also appreciates that instead of directly replicating

elements and designs from nearby structures, the proposed design distills these elements into a composition that is well proportioned and stands as secondary to the historic building to remain, while maintaining its own unique character.

With these comments, staff finds the proposed project to be in compliance with both the *Design Guidelines* and the Zoning Ordinance and compatible with the nearby historic structures. Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for an addition and free standing structure as submitted.

STAFF

Bill Conkey, AIA Historic Preservation Architect, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

- F-1 The proposed addition within the side yard received a special exception BZA2022-00012 to construct an addition expanding an existing noncomplying wall in the required front yard.
- F-2 The proposal complies with open space and FAR.
- F-3 The ADU exceeds 16 feet in height and therefore has a required rear yard setback of 5 feet. Per 7-1003, half of the width of the rear 10-foot alley may count towards the required setback for the ADU. Therefore, the ADU may be located at the rear property line and still comply with zoning. No architectural features cross over the rear property line into the alley.
- F-4 The ADU is 19.1 feet in height and therefore complies with the ADU height restriction.
- F-5 The ADU has a footprint of 400 square feet and therefor complies with the size restriction for an ADU on a lot that is larger than 2,500 square feet.
- F-6 Elevations showing the average finished grade and floor plans for the ADU confirming it includes the facilities required to qualify as an accessory dwelling must be included when submitting for building permit.
- F-7 An ADU application must be submitted prior to applying for a building permit.
- F-8 The proposed side addition and accessory dwelling unit comply with zoning.

Code Administration

A building permit and plan review are required prior to the start of construction.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

- F-1 The applicant should provide a determination of disturbed area per City Guidelines to T&ES prior to submitting for permits. If the land disturbance meets or exceeds 2500 square feet, a released grading plan will be required prior to submitting for permits. (T&ES)

- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)

- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

- C-6 All improvements to city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 An 1864 map of the city indicates that there may have been a building standing on this lot at that time. However, the lot appears vacant on subsequent maps in the 1870s and 1880s. Not until the mid-1890s does the building that now stands on the lot appear on historic maps, built by R.L. Garrett. The property may contain evidence of domestic activities related to the late nineteenth and early twentieth centuries.
- R-1 Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- R-2 The applicant should not allow metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
- R-3 The above statements (in R-1, R-2) must appear in the General Notes of the site plan so that on-site contractors are aware of the requirement.

V. ATTACHMENTS

- 1 – Application Materials for BAR 2022-00402 & 2022-00403
2 – Supplemental Materials

ADDRESS OF PROJECT: _____

DISTRICT: ☐ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: *(Please check all that apply)*

☐ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail : _____

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ _____

Name: _____ Phone: _____

E-mail: _____ / wm.cromley@mindspring.com

Legal Property Owner:

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☐ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☐ EXTERIOR ALTERATION: *Please check all that apply.*

☐ awning
☐ doors
☐ lighting
☐ other _____

☐ fence, gate or garden wall
☐ windows
☐ pergola/trellis

☐ HVAC equipment
☐ siding
☐ painting unpainted masonry

☐ shutters
☐ shed

☐ ADDITION
☐ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.

☐ ☐ Description of the reason for demolition/encapsulation.
☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☐ ^{N/A} ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ^{N/A} ☐ Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☐ ^{N/A} ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☐ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☐ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☐ I, the applicant, or an authorized representative will be present at the public hearing.
- ☐ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Evin D. May

Printed Name: _____

Date: _____

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

8/22/2022

Date

Erin L May, AIA

Printed Name

Erin L May

Signature



Department of Planning & Zoning Floor Area Ratio and Open Space Calculations

B**A. Property Information****Zone: OC**

A1. Street Address Zone

A2. x =
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor AreaExisting Gross Area

Basement

First Floor

Second Floor

Third Floor

Attic

Porches

Balcony/Deck

Lavatory***

Other**

Allowable Exclusions**

Basement**

Stairways**

Mechanical**

Attic less than 7'***

Porches**

Balcony/Deck**

Lavatory***

Other**

Other**

B1. Sq. Ft.
Existing Gross Floor Area*

B2. Sq. Ft.
Allowable Floor Exclusions**

B3. Sq. Ft.
Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

B1. Total Gross B2. Total Exclusions

C. Proposed Gross Floor AreaProposed Gross Area

Basement

First Floor

Second Floor

Third Floor

Attic

Porches

Balcony/Deck

Lavatory***

Other

Allowable Exclusions**

Basement**

Stairways**

Mechanical**

Attic less than 7'***

Porches**

Balcony/Deck**

Lavatory***

Other**

Other**

C1. Sq. Ft.
Proposed Gross Floor Area*

C2. Sq. Ft.
Allowable Floor Exclusions**

C3. Sq. Ft.
Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

C1. Total Gross C2. Total Exclusions

D. Total Floor Area

D1. Sq. Ft.
Total Floor Area (add B3 and C3)

D2. Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space (RA & RB Zones)

E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: E. J. May

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Date: _____

508 N. Washington Street

Alexandria, Virginia

BOARD OF ARCHITECTURAL REVIEW


Application Deadline: August 22, 2022

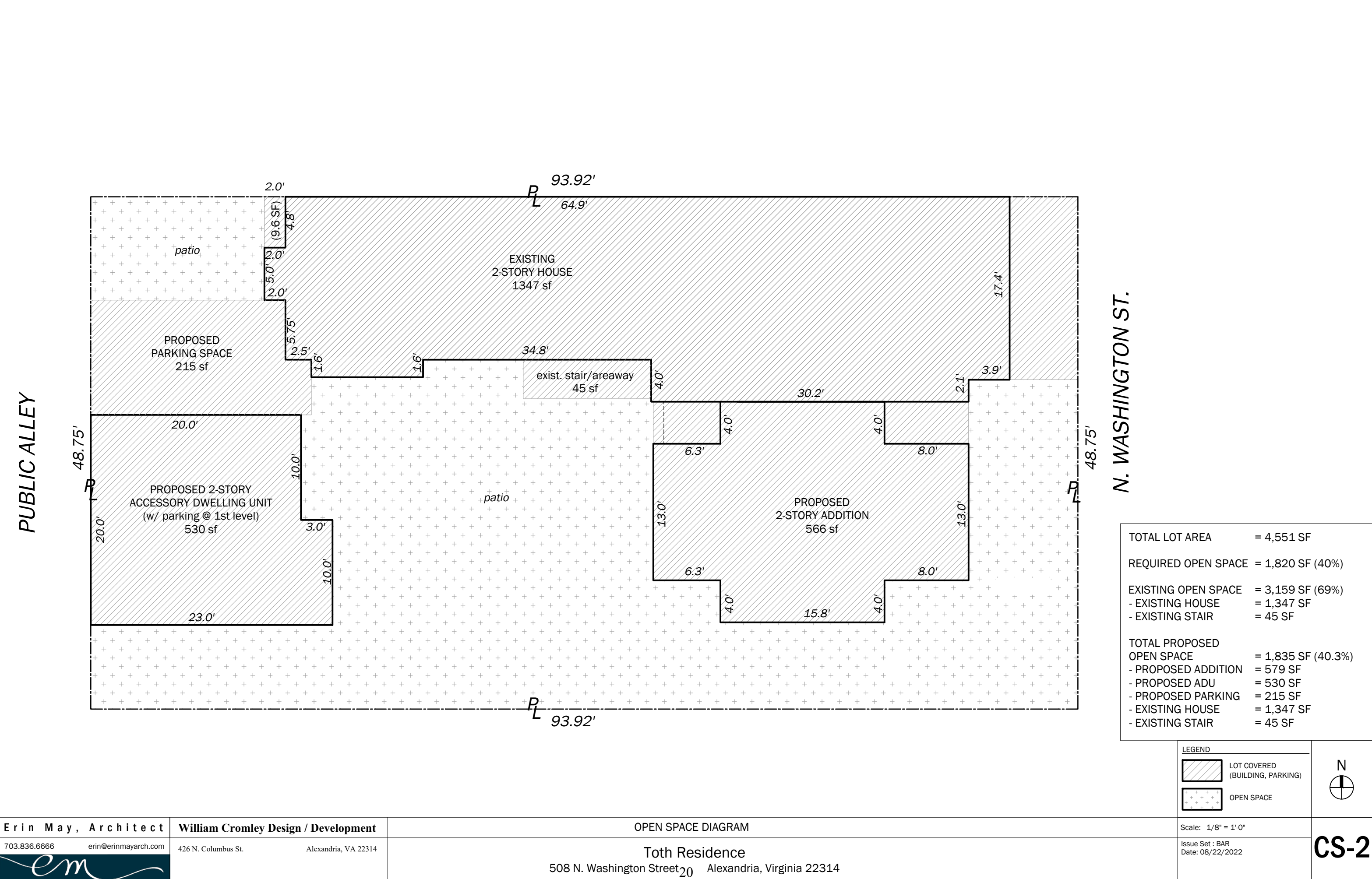
Hearing Date: September 21, 2022



DRAWING INDEX

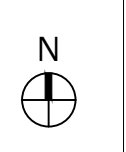
C-1	Cover Sheet, Drawing Index
C-2	Open Space Diagram
EX-0	Existing Survey
EX-1	Existing Photos
EX-2	Existing References
EX-3	Existing/Demolition Elevation
A-0	Proposed Survey
A-1	Proposed West and East Elevations
A-2	Proposed South Elevation
A-3	Garage Elevations
A-4	Window and Door Specifications

Erin May, Architect	William Cromley Design / Development	COVER SHEET		Issue Set : BAR Date: 08/22/2022	C-1
703.836.6666 erin@erinmayarch.com 	426 N. Columbus St. Alexandria, VA 22314	Toth Residence 508 N. Washington Street19 Alexandria, Virginia 22314			



TOTAL LOT AREA	= 4,551 SF
REQUIRED OPEN SPACE	= 1,820 SF (40%)
EXISTING OPEN SPACE	= 3,159 SF (69%)
- EXISTING HOUSE	= 1,347 SF
- EXISTING STAIR	= 45 SF
TOTAL PROPOSED OPEN SPACE	= 1,835 SF (40.3%)
- PROPOSED ADDITION	= 579 SF
- PROPOSED ADU	= 530 SF
- PROPOSED PARKING	= 215 SF
- EXISTING HOUSE	= 1,347 SF
- EXISTING STAIR	= 45 SF

LEGEND	
	LOT COVERED (BUILDING, PARKING)
	OPEN SPACE



Erin May, Architect		William Cromley Design / Development		OPEN SPACE DIAGRAM	
703.836.6666	erin@erinmayarch.com	426 N. Columbus St.	Alexandria, VA 22314	Toth Residence	
		508 N. Washington Street		Alexandria, Virginia 22314	
				Scale: 1/8" = 1'-0"	CS-2
				Issue Set : BAR Date: 08/22/2022	



STREET VIEW LOOKING SOUTH




STREET VIEW LOOKING NORTH



SITE



SOUTH WALL

Erin May, Architect 703.836.6666 erin@erinmayarch.com 	William Cromley Design / Development 426 N. Columbus St. Alexandria, VA 22314	EXISTING PHOTOS Toth Residence 508 N. Washington Street21 Alexandria, Virginia 22314	Issue Set : BAR Date: 08/22/2022	EX-1
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LIMESTONE CLADDING



PYRAMID ROOF



PORCH



LYCEUM




LEE HOUSE AND PORCH

Erin May, Architect		William Cromley Design / Development		EXISTING REFERENCES			Issue Set : BAR Date: 08/22/2022	EX-2
703.836.6666	erin@erinmayarch.com	426 N. Columbus St.	Alexandria, VA 22314	Toth Residence 508 N. Washington Street 22 Alexandria, Virginia 22314				

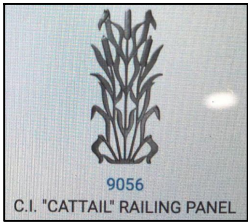


EXISTING SIDE (SOUTH) ELEVATION

Erin May, Architect 703.836.6666 erin@erinmayarch.com 	William Cromley Design / Development 426 N. Columbus St. Alexandria, VA 22314	DEMOLITION AND ENCAPSULATION ELEVATION Toth Residence 508 N. Washington Street23 Alexandria, Virginia 22314	Issue Set : BAR Date: 08/22/2022	EX-3
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refer to Rear Elevation,
this sheet, for typical
material notes

ornamental steel guardrail




FRONT (EAST) ELEVATION




- copper pyramid roof
- painted brick w/ copper cap
- painted wood entablature
- limestone wall cladding
- stone picture-frame window casing
- aluminum clad-wood SDL windows, typical
- painted wood pilasters and recessed panels
- painted wood belt course
- painted wood columns
- unpainted brick water table and foundation veneer

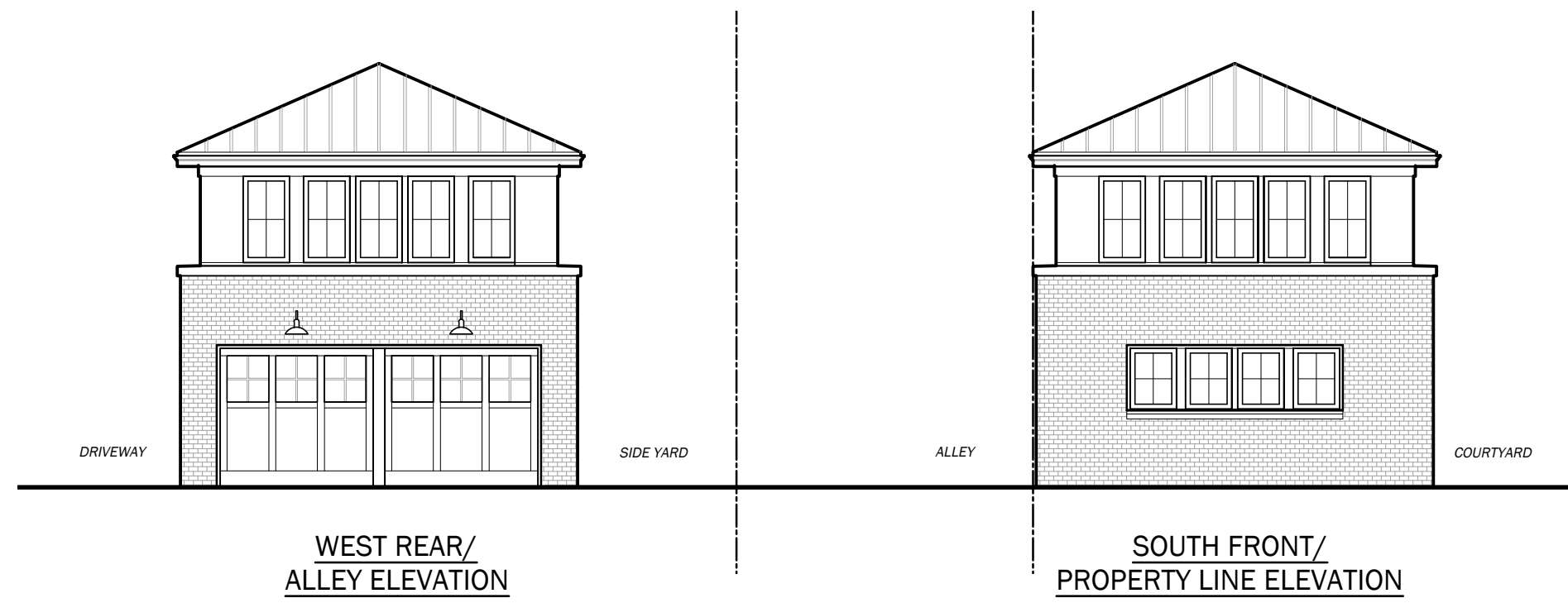
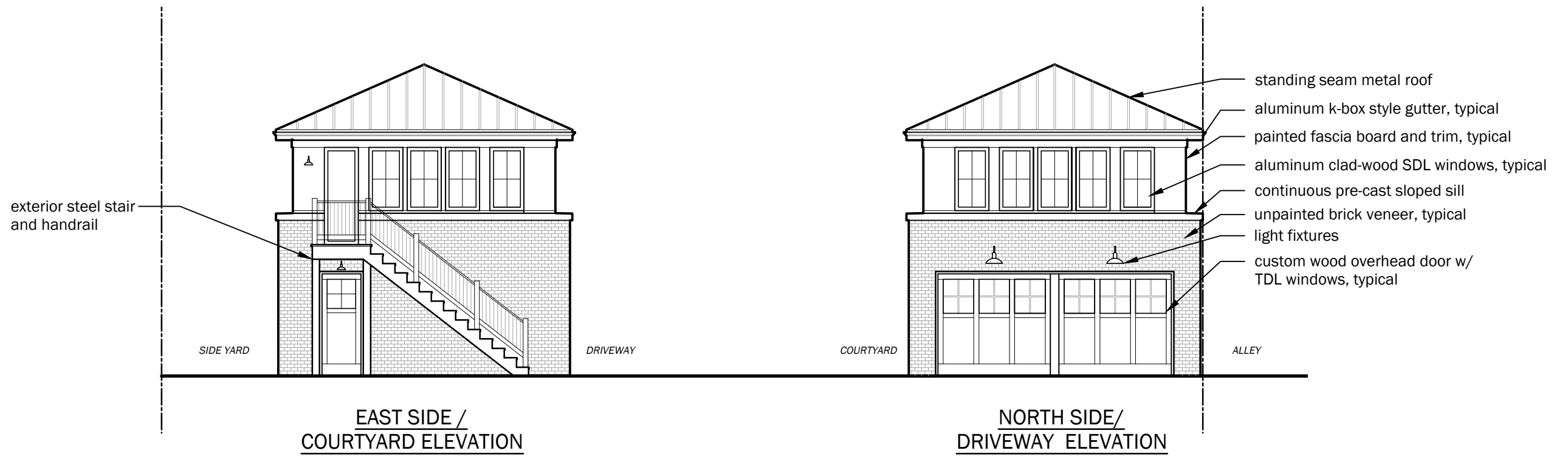
REAR (WEST) ELEVATION


Erin May, Architect 703.836.6666 erin@erinmayarch.com 	William Cromley Design / Development 426 N. Columbus St. Alexandria, VA 22314	PROPOSED ELEVATIONS Toth Residence 508 N. Washington Street24 Alexandria, Virginia 22314	Scale : 1/8" = 1'-0" Issue Set : BAR Date: 08/22/2022	A-1
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SIDE (SOUTH) ELEVATION

<div>Erin May, Architect</div> <div>703.836.6666 erin@erinmayarch.com</div> <div></div>	<div>William Cromley Design / Development</div> <div>426 N. Columbus St. Alexandria, VA 22314</div>	<div>PROPOSED ELEVATIONS</div> <div>Toth Residence</div> <div>508 N. Washington Street25 Alexandria, Virginia 22314</div>	<div>Scale : 1/8" = 1-0'</div> <div>Issue Set : BAR Date: 08/22/2022</div>	<div>A-2</div>
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Erin May, Architect 703.836.6666 erin@erinmayarch.com 	William Cromley Design / Development 426 N. Columbus St. Alexandria, VA 22314	PROPOSED ELEVATIONS Toth Residence 508 N. Washington Street26 Alexandria, Virginia 22314	Scale : 1/8" = 1'-0" Issue Set : BAR Date: 08/22/2022	A-3
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Aluminum clad is definitely the most popular exterior choice from Lincoln, offering color flexibility and structural strength while providing a homeowner with a low maintenance exterior. Extruded aluminum .050 thick frame and sash cladding protects homes from the outdoor elements and add structural integrity for maximum functionality. The Aluminum Clad Collection is wide-ranging and includes a full line of windows, patio doors and a multitude of options.

Beauty, durability, variety and performance are all brought to you by the Aluminum Clad Collection and built with pride at Lincoln.

Features

- **Available Product:**
Full product selection.
- **Maintenance:**
Minimal. Periodic soap & water.
- **Structural Performance:**
Superior strength and rigidity for all-weather protection.
- **Thermal Performance:**
High. Good for meeting Energy Star.





Primed Frames

Wood with a white factory applied water-based acrylic latex primer and white, paintable cellular PVC sill, blindstop & casings.

- Five (5) standard exterior trim options: 2" Brickmould, Williamsburg Trim, Backband, 2-Piece Backband and Flat Casing (up to 8").
- Two (2) sill nosing options: 1" and 2"



Aluminum or Vinyl Clad Sash

Choose a low-maintenance sash option in either extruded aluminum or vinyl.

- Extruded Aluminum Clad Sash: Painted to AAMA 2605 performance requirements in 8 standard colors, 38 feature and custom colors. Also available in AAMA 2604 spray-on anodized in 7 finishes.
- Extruded Vinyl Clad Sash: Available in 2 extruded colors, White & Adobe.

Here is another opportunity to have your windows and doors made to fit the interior design, décor and style of the room. Additionally, the exterior interacts with the overall architecture and creates fantastic curb appeal. Enhancing windows and doors with lite divisions definitely puts the icing on the cake. Although there are standard lite configurations designated for all products, custom designs are also welcome.

Lite & Grille Options

- Simulated Divided Lite (SDL)
- Interior Wood Grille
- Internal Aluminum Grille (GBG)
- Lincoln Divided Lite (LDL)



Simulated Divided Lite

- $\frac{5}{8}$ ", $\frac{7}{8}$ ", $1\frac{1}{8}$ " and 2"
- Profiled or Square
- Bronze, Black & Mill Finish
Shadow Bar



Simulated Divided Lite

Interior Wood Grille

- Single Profile Widths:
 $\frac{5}{8}$ ", 1", $1\frac{1}{8}$ " and $1\frac{1}{4}$ "
- Double Profile Width: $\frac{7}{8}$ "
- With Surround
- Without Surround

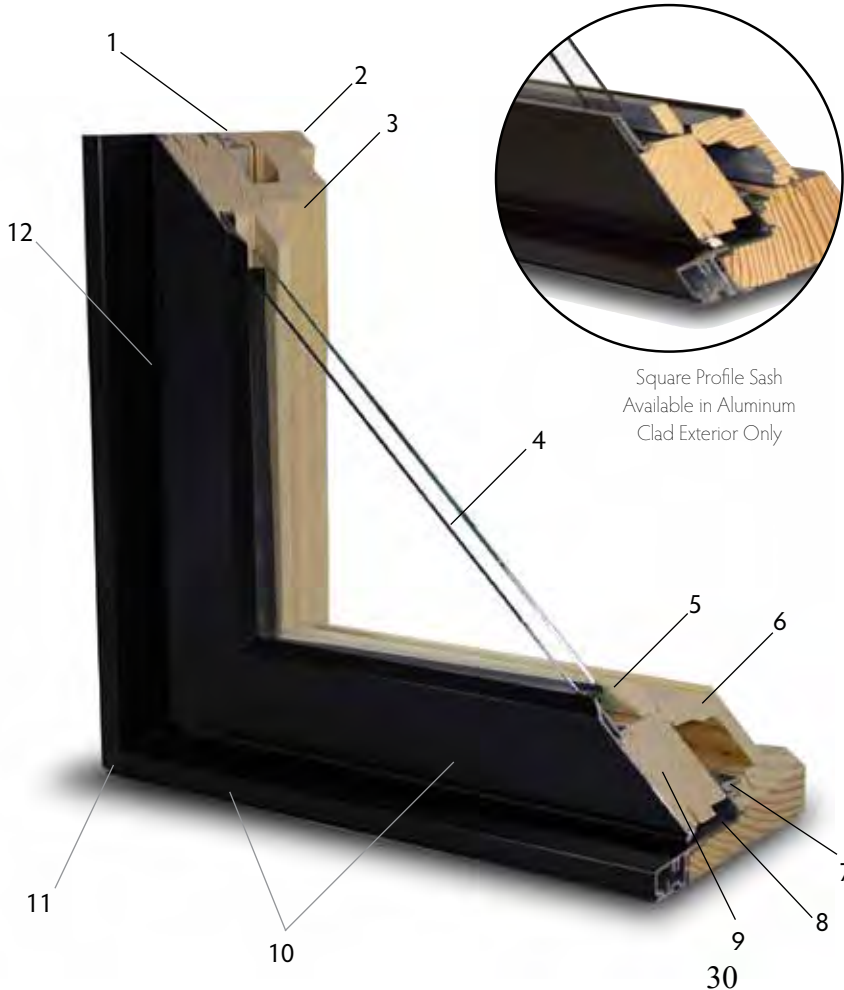


Interior Wood Grille
(With Surround)

Available as a traditional cranking unit or as our increasingly popular push-out style, Lincoln casements and awnings have a lot to offer.

Casement and awning features include an architecturally pleasing recessed sash, mortise and tenon joinery, multi-point locking hardware with single handle activation and adjustable hinges.

Awnings can be mulled above or below a studio window or utilized as a standalone element. Because they are hinged at the top, awnings provide secure ventilation and shed water during a light rain.



Square Profile Sash
Available in Aluminum
Clad Exterior Only

Specifications

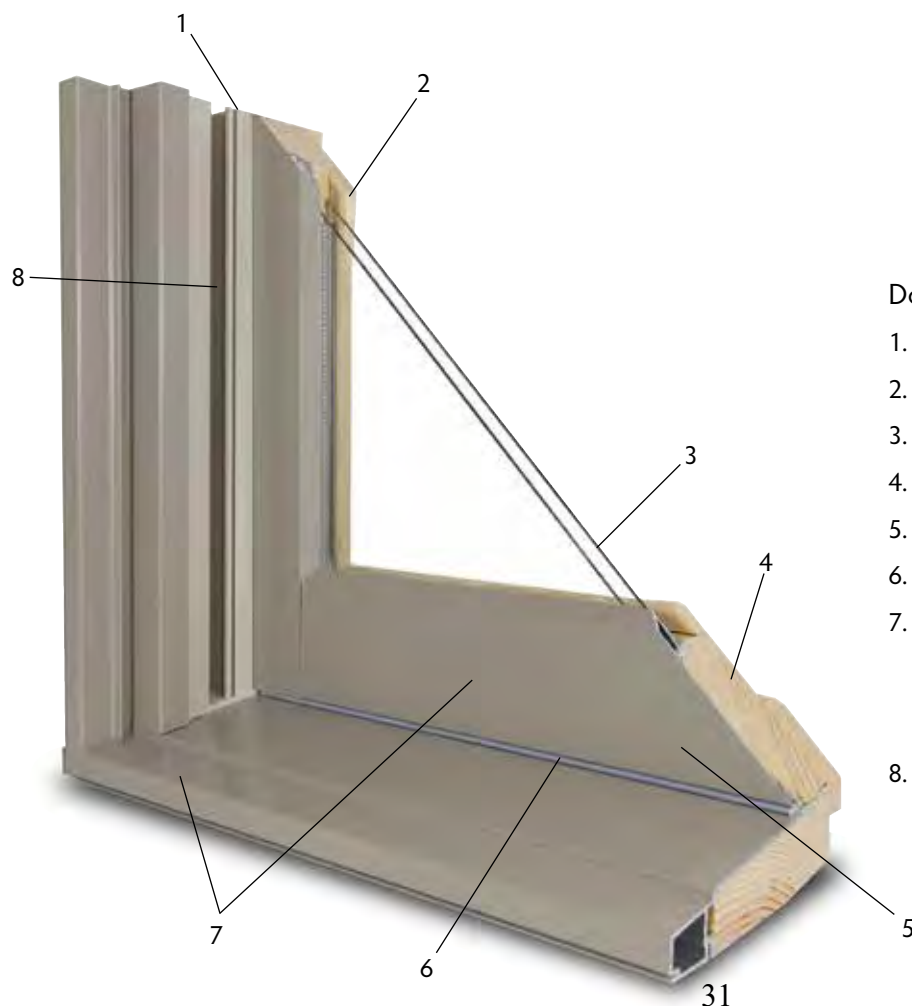
Maximum RO Width	42 ½"
Maximum RO Height	96 ½"
Sash Thickness	1 ¾" thick

1-3/4" Sash

1. 4-9/16" jamb.
2. 1-3/16" thick side jambs, head and sill.
3. Clean interior stop design.
4. 7/8" warm edge insulating glass.
5. Interior wood glazing bead.
6. Maximum thickness sill cover.
7. Full surround frame weatherstrip.
8. Thermally enhanced frame with specialty composite polymer.
9. 1-3/4" thick sash.
10. .050 extruded aluminum on sash and frame. Vinyl exteriors utilize .050 extruded PVC vinyl. Wood units have primed sash on the exterior with cPVC, sill nosing and brickmould.
11. Gasketed frame corners on aluminum clad products with corner key for added stability.
12. Sash weatherstrip with combination drip cap detail on top rail.

Double hung windows are popular due to their traditional design that compliments so many different styles of homes. They're also easy to operate, maintain and clean.

Lincoln double hungs allow architects, designers and builders to customize and tailor each individual project. Your specialist will create a contemporary edge with the clean lines of our narrow rail sash. Or stick with a strong historical influence by utilizing our traditional wide rail sash. Double hungs offer the flexibility to accommodate many design elements and are a great choice for both residential or light commercial projects.



Specifications	
Maximum RO Width	45 3/4"
Maximum RO Height	93"
Sash Thickness	1 7/16" thick
Bottom Rail Height	2 1/16"

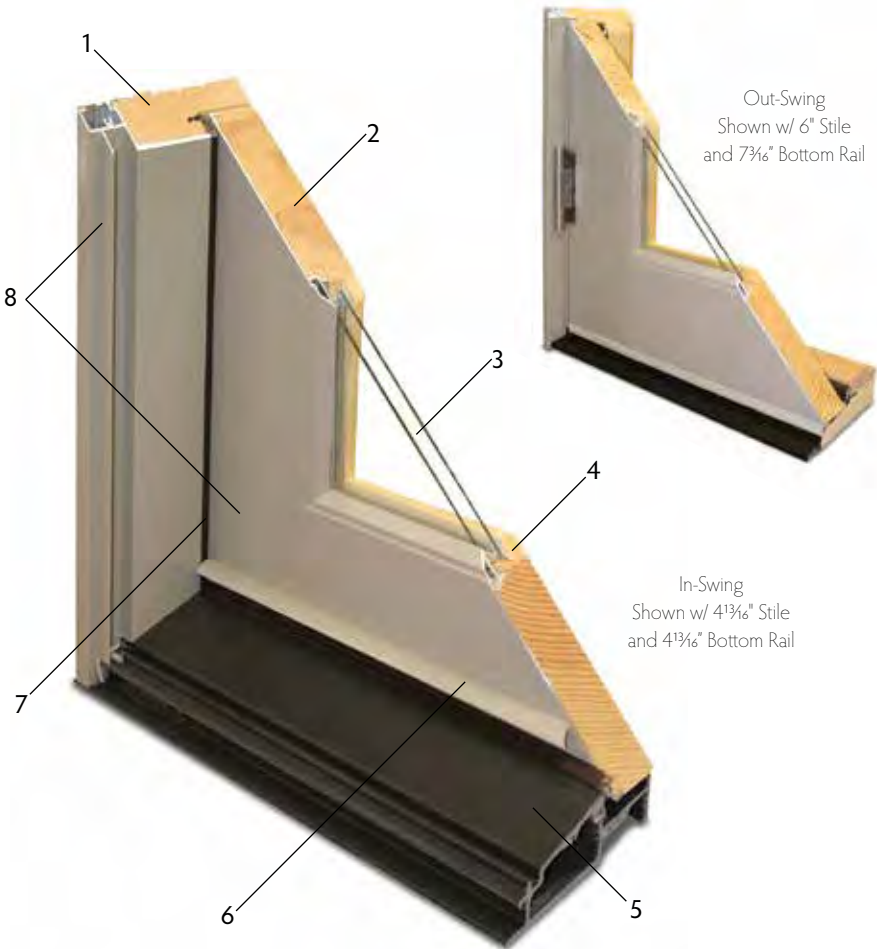
Double Hung with Wide Rail Sash

1. Full 4-9/16" jamb depth.
2. Interior wood glazing bead.
3. 11/16" warm edge insulating glass.
4. 1-7/16" thick sash.
5. Traditional wide rail sash profile option.
6. Weatherstripped at head, sill and checkrail.
7. .050 extruded aluminum on sash and frame. Vinyl exteriors utilize .050 extruded PVC vinyl. Wood units have primed sash on the exterior with cPVC sill, sill nosing, blindstops and brickmould.
8. Recessed jambliner option with inverted balance system.

Our most comprehensive door category, swing products are widely used for nearly every type of project including new construction, remodeling and light commercial. Swing doors are versatile, long-lasting and design friendly.

Configurations

- 1, 2, 3 and 4-wide
- French doors: 2, 3 and 4-wide
- Transoms: 1, 2, 3 and 4-wide
- Sidelites: 2 1/2", 3 3/8" & 4 13/16" Stiles
- Segment head:
 - 1 and 2-wide
 - French 2-wide
 - Quarter segment French sidelite
- Full Radius



	Specifications
Maximum RO Width	1 wide = 3' 7 7/8" -- 2 wide= 6' 2 7/8"
Maximum RO Height	9' 2 3/4"
Door Panel Thickness	1 3/4" thick panels
Stile Widths	3 3/8", 4 13/16" & 6"
Top Rail Heights	3 3/8", 4 13/16" & 6"
Bottom Rail Heights	4 13/16", 7 3/8" & 12"

- 1. 4 5/8" jamb.
- 2. 1 3/4" thick panels.
- 3. 3/4" tempered insulating glass.
- 4. Interior wood glazing bead.
- 5. .125 pultruded resin coated fiberglass sill.
- 6. Panel drip edge.
- 7. Full surround weatherstrip.
- 8. .050 extruded aluminum clad on sash and frame. Wood units have primed panels on the exterior with cPVC brickmould.